

ORDINANCE NO. 2021-478

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LOS ALTOS
AMENDING TITLE 14 (ZONING) BY CREATING OBJECTIVE ZONING
STANDARDS FOR RESIDENTIAL DEVELOPMENT**

WHEREAS, the Housing Accountability Act, Government Code Section 65589.5, limits a public agency's ability to deny approval of a housing development project or to approve the project at a lower density if the project complies with any and all objective general plan, zoning, design, and subdivision standards applicable to the project; and

WHEREAS, on January 1, 2018, Senate Bill 35, intended to help address California's housing shortage, went into effect requiring streamlined and ministerial review process for multifamily and mixed-use housing projects meeting specific qualifications; and

WHEREAS, on January 1, 2020, Senate Bill 330 went into effect encouraging the use of objective design standards and discouraging the adoption of new subjective design standards; and

WHEREAS, as defined by the Housing Accountability Act and Senate Bill 35 (Government Code Sections 65589.5 and 65913.4), objective zoning standards and objective design review standards mean standards that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal; and

WHEREAS, on November 5, 2020, December 3, 2020, and January 21, 2021, the Planning Commission held a duly noticed public hearings on Zoning Code Text Amendment (ZTA 20-003); and

WHEREAS, on January 21, 2021, the Planning Commission recommended approval of the proposed zoning text amendment Zoning Text Amendment (ZTA 20-003) to the City Council; and

WHEREAS, on February 23, 2021, March 16, 2021, and July 13, 2021, August 24, 2021 and September 14, 2021, the City Council reviewed Zoning Text Amendments (ZTA 20-0003); and

WHEREAS, this Ordinance implements Goal 2 and Policy 1.4 of the of the City's 2015-2023 Housing Element by evaluating the design review process and by ensuring the orderly development of multifamily housing within Los Altos; and

WHEREAS, based on all the evidence presented in the administrative record, including but not limited to the staff reports for the proposed Objective Standards, the proposed Ordinance relates to organizational or administrative activities of governments that will not result in direct or indirect physical changes in the environment, and therefore is exempt from California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines Section 15061(b)(3), which states the general rule that CEQA applies only to projects which have the potential for

causing a significant effect on the environment as the Ordinance has no potential to result in a direct, or reasonably foreseeable, indirect impact on the environment; and pursuant to CEQA Guidelines Section 15308 (Actions by Regulatory Agencies for the Protection of the Environment), in that the proposed Objective Standards will preserve the scenic quality of the City of Los Altos by establishing enforceable development standards and design guidelines that are intended to protect the existing community character.

WHEREAS, the streamlining of multifamily housing development projects will assist the City of Los Altos in achieving State and regional goals for the construction of new affordable units as defined in the Regional Housing Needs Allocation (RHNA) process;

NOW THEREFORE, the City Council of the City of Los Altos does hereby ordain as follows:

SECTION 1. AMENDMENT OF CODE: Title 14 of the Los Altos Municipal Code is hereby amended and replaced with the new standards and shall read as follows:

The following definitions shall be added to 14.02.070 (Definitions) of the Los Altos Municipal Code:

“Board-formed concrete” means concrete that has textured patterns on its finished surfaces that retain the wood grain of boards or molds used to form the wet concrete.

“Chamfered corner” means a building corner which is cut back at a 45-degree diagonal from the primary façade to provide a corner surface at least 8 feet in length

“Façade” means the exterior wall on any side of a building.

“Lined” parking refers to a building configuration where residential, commercial, or office uses are located between a street-facing property line and above-ground parking levels. Also referred to as a “wrapped” building

Section 14.66.180 (Maintenance of landscape areas) shall be amended to read as follows:

14.66.180 - Maintenance of landscaped areas- A landscaped strip or other landscaped area provided in compliance with district regulations or as a condition approval ~~of a use permit~~ shall be planted with fast growing materials as identified by a landscape architect licensed in California suitable for screening or ornamenting the site, whichever is appropriate, and plant materials shall be replaced as needed to screen or ornament the site. Landscaped strips and other landscaped areas shall be watered, weeded, pruned, fertilized, sprayed, or otherwise maintained as deemed necessary by the building inspector.

R3-4.5-14.16.100- Design Controls-repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

R3-5-14.18.120-Design Controls-repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

R3-3-14.20.120-Design Controls-repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

R3-1.8-14.22.110-Design Controls-repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

R3-14.24.110-Design Controls-repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

CN-14.40-150-Design Controls-repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

CD-14.44.130-Design Controls-repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

CRS-14.48.130-Design Controls- repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

CT-14.50.170-Design Controls- repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

CD/R3-14.52.110-Design Controls-repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

CRS/OAD-14.54.130-Design Controls-repealed and replaced with Objective Design Standards, identified as Exhibit A to this ordinance, which are incorporated herein by this reference.

SECTION 2. 14.66.275 and 14.66.280 ADDED: The Los Altos Municipal Code is hereby amended to add the following new subsections:

14.66.275-Entrance Type Standards-as referenced in Exhibit A (Objective Design Standards)

14.66.280-Design Standards to All Multi-Family Zones and Commercial Zones that Support Residential Mixed-Use Development as referenced in Exhibit A (Objective Design Standards).

SECTION 3. ADDITIONAL MODIFICATIONS

Additional edits to the Los Altos Municipal Code for the objective standards project are being requested by the City Council. These additional edits are reflected in the motion adopted by the City Council on August 24, 2021. After review by the Planning Commission, the City Council will review said edits at a later public hearing. Ordinance No. 2021-478 as introduced on August 24, 2021, adopted on September 14, 2021. It will be in full force and effect on October 14, 2021 and will be applied to all multi-family projects submitted after that date. The revised Ordinance will be introduced and adopted at a future date, and when it is in full force and effect it will be applied to all multi-family projects submitted after said effective date.

SECTION 4. SEVERABILITY. If any section, subsection, sentence, clause or phrase of this code is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portions of this code.

SECTION 5. CEQA. The City Council finds the adoption of this ordinance to be statutorily exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to pursuant to Sections 15061(b)(3) and 15308, of the CEQA Guidelines.

SECTION 6. PUBLICATION. This ordinance shall be published as provided in Government Code section 36933. Within 15 days of the passage of this ordinance, the City Clerk shall cause the full text of the ordinance, with the names of those City Council members voting for and against the ordinance, to be published in an adjudicated newspaper. In lieu of publishing the full text of the ordinance, the City Clerk, if so directed by the City Attorney and within 15 days, shall cause a summary of the ordinance, prepared by the City Attorney and with the names of the City Council members voting for and against the ordinance, to be published in an adjudicated newspaper, and shall post in the office of the City Clerk a certified copy of the full text of the ordinance, along with the names of those City Council members voting for and against the ordinance. The publication of a summary of the ordinance in lieu of the full text of the ordinance is authorized only where the requirements of Government Code Section 36933(c)(1) are met.

SECTION 7. EFFECTIVE DATE. This ordinance shall be effective upon the commencement of the thirty-first day following the adoption date.

The foregoing ordinance was duly and properly introduced at a regular meeting of the City Council of the City of Los Altos held on August 24, 2021 and was thereafter, at a regular meeting held on September 14, 2021 passed and adopted by the following vote:

AYES: Council Members Lee Eng, Meadows, Weinberg, Vice Mayor Enander and Mayor Fligor

NOES: None

ABSENT: None

ABSTAIN: None



Neysa Fligor Mayor

ATTEST



Andrea Chelemengos MMC, City Clerk



City of Los Altos Objective Design Standards



September 2021

Prepared for:

City of Los Altos
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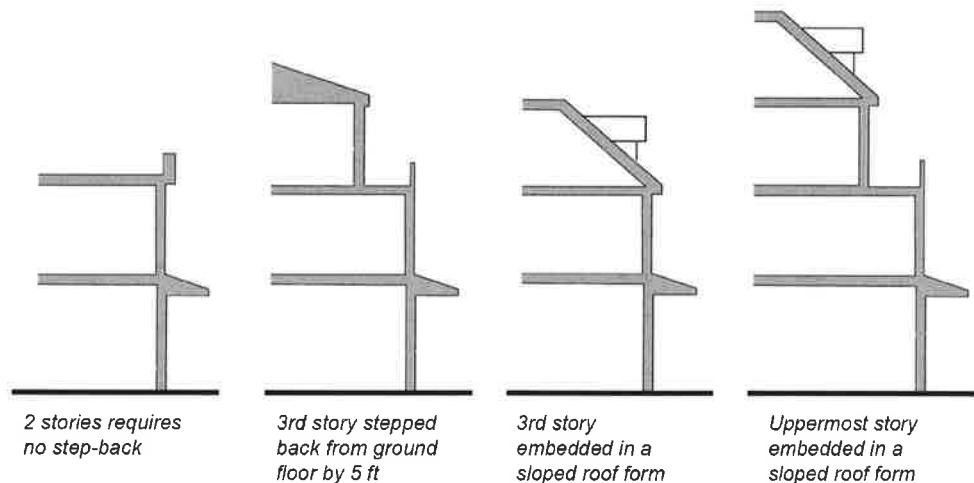
Revised 14.40.150 Design Control (CN)

A. Building Placement. A minimum 75 percent of ground-floor building frontages facing El Camino Real must be built at the minimum setback line. This standard applies to the building frontage only (exclusive of side setbacks).

B. Building Massing and Articulation.

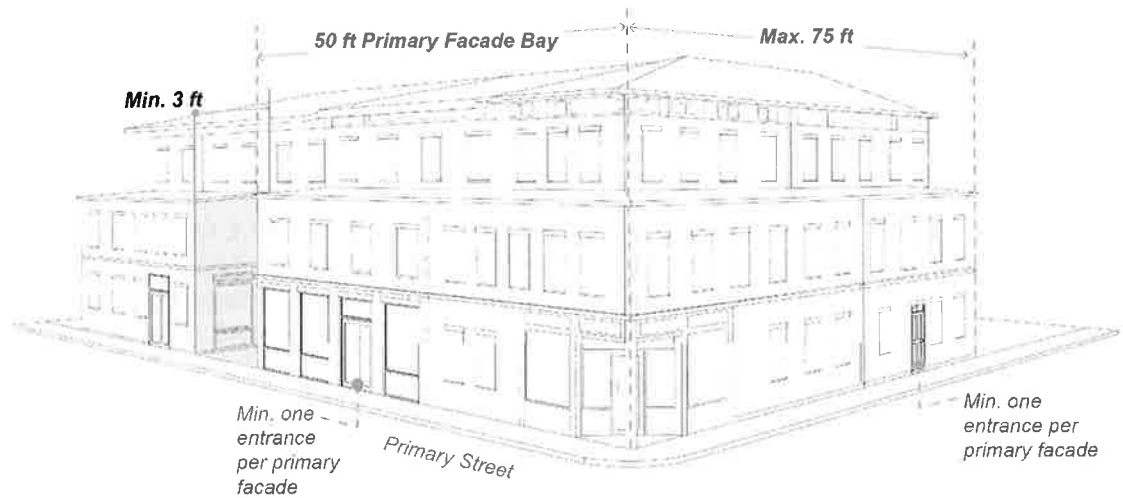
1. ***Upper-story Step-backs, Front and Street Side***

- a. Along all frontages except El Camino Real, the third story must be either stepped back a minimum 5 feet from the ground floor façade or embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, as allowed by standards in Section 14.40.150.B.7.
- b. For buildings over three stories along all frontages except El Camino Real, the uppermost story must be embedded in a sloped roof form.

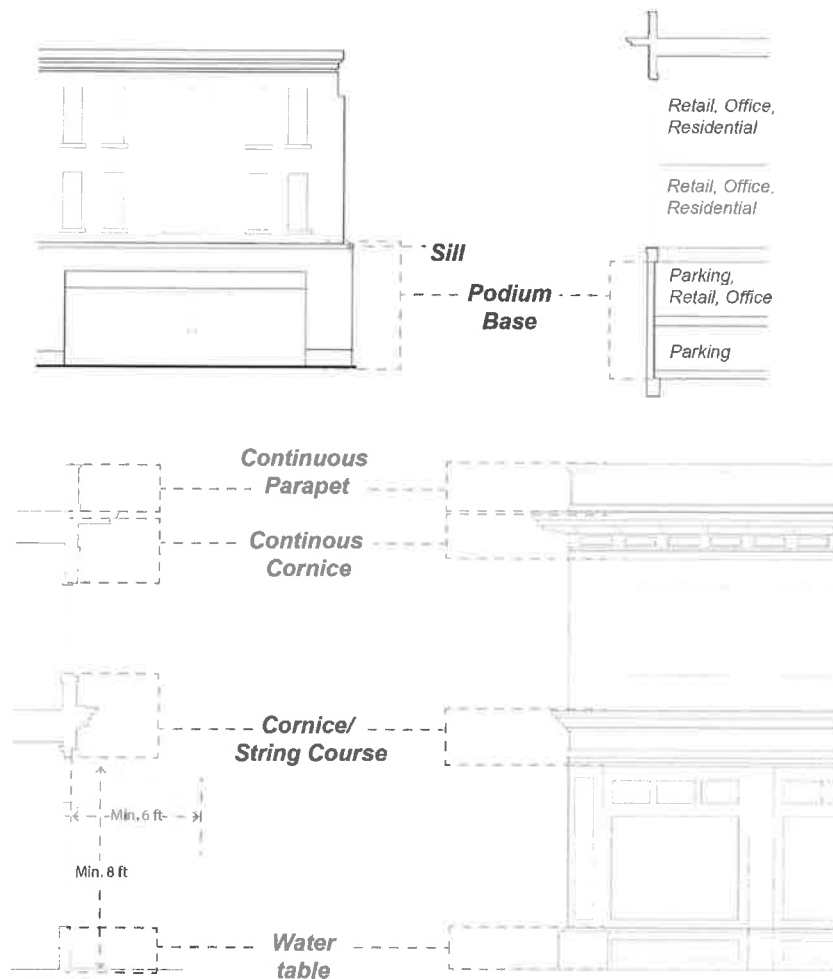


- c. There are no upper-story step-back requirements for building frontages along El Camino Real in the CN district.
2. ***Upper Story Step-backs, Side Interior and Rear where Abutting an R-1 District.***
- a. The third story must be either stepped back a minimum 10 feet from ground floor façade or embedded in a sloped roof form.
 - b. For buildings over three stories, the uppermost story must be embedded in a sloped roof form.
3. ***Vertical Articulation.***
- a. When a building façade exceeds 75 feet in length along a right of way, it must be separated into primary façade bays no greater than 50 feet and secondary façade bays defined by a recess a minimum 3 feet deep and 10 feet wide.
 - b. A minimum one entrance shall be provided per primary façade bay.

- c. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.



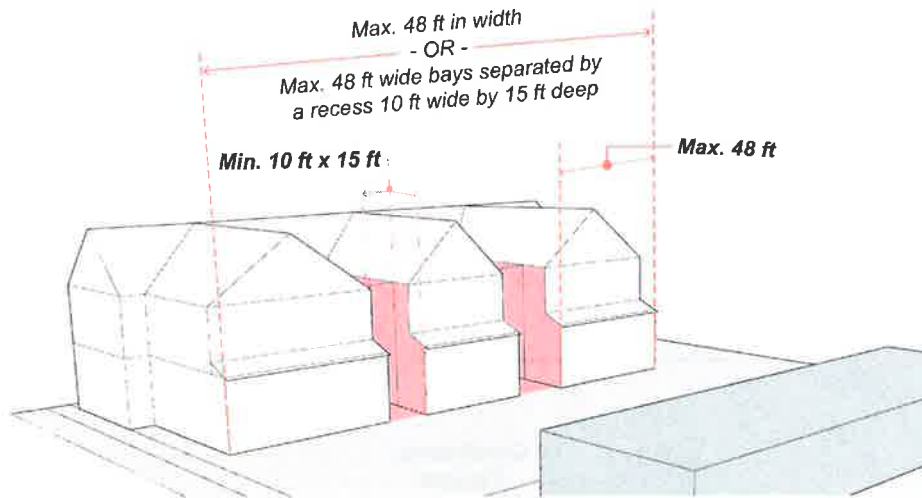
4. **Horizontal Articulation.** New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.
- a. One or more of the following patterns shall be used to define the base:
- Watertable: Base material extends from grade to between 8 and 54 inches above grade.
 - Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound (multi-story buildings only).
 - Watertable + Cornice/String Course: A watertable using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine (multi-story buildings only).
- b. The top of each building mass/bay shall be defined by elements spanning the full length of the façade of the mass/bay. Such elements may include a cornice, eave and/or gable(s), or other elements listed under Section 17.40.150.B.7. These elements shall be consistent with the overall architectural style of the building mass/bay.



5. **Adjacencies.**

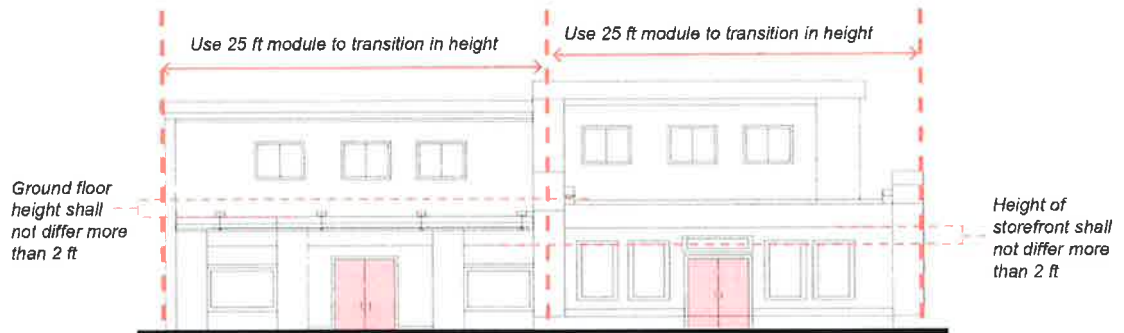
a. *Facades Adjacent to an R-1 District.*

- i. Building façade planes abutting an R-1 district may not exceed 48 feet in width.
- ii. When a building façade abutting an R-1 district exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 10 feet wide and 15 feet deep.
- iii. Balconies, roof decks and other habitable outdoor space is not allowed on upper-story facades abutting R-1 zones.
- iv. Sliding glass doors, French doors, and floor-to-ceiling windows are not allowed on upper-story facades abutting R-1 zones.



b. *Storefront Facades Adjacent to Storefront Facades.*

- i. The height of a storefront shall not differ from the height of any adjacent storefront by more than 2 feet.
- ii. The height of ground story shall not differ from height of any adjacent ground story by more than 2 feet.
- iii. Storefronts may transition in height using a module of 25 feet in length along a right-of-way.

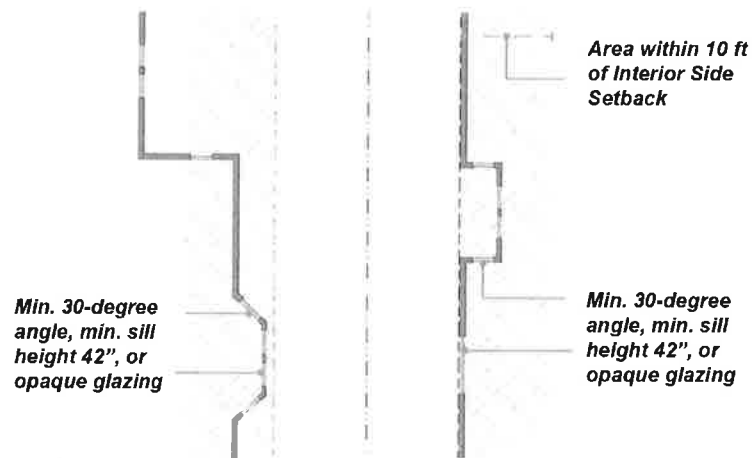


c. *Compatibility with Adjacent Shorter Buildings with Height Difference of One Story or More.* When adjacent to an existing shorter building with a height difference of one story or more, a proposed building must utilize two or more of the following strategies:

- i. Incorporate the uppermost floor into the roof form
- ii. Break the mass of the building into smaller modules through changes in wall plane, setbacks, and/or height
- iii. Match window heights and/or proportions
- iv. Relate roof cornices and moldings at floor lines

6. **Privacy and Line of Sight.**

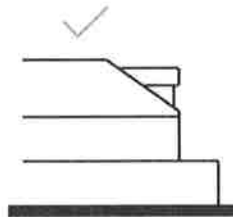
- a. Primary living spaces and balconies located along a side setback shall orient principal windows and balconies toward the front and rear of the building.
- b. Where windows are within 10 feet of and oriented toward an interior side setback, glazing shall either be a minimum 30-degree angle measured perpendicular to the adjacent side setback line, have minimum sill height of 42 inches, or be opaque.
- c. The maximum sill height for an ingress/egress window is 44 inches from finished floor.



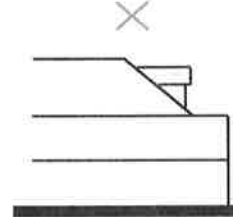
7. **Roofline and Roof Design.**

- a. Roof designs shall be limited to:
 - i. Hipped
 - ii. Gable
 - iii. Shed
 - iv. Dormer
 - v. Parapet
 - (a) Not allowed on frontages facing Fremont Avenue.
 - (b) When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
 - (1) Steps
 - (2) Curves
 - (3) Angled surfaces

- (c) The length of a parapet segment on the third floor and above may not exceed 25 feet.
- b. When the top story is stepped back and embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, the floor below must (and other floors may) be stepped back to meet the slope of the top story.



Acceptable:
One story below the story embedded in a sloped roof is also stepped-back .



Not acceptable:
Top story embedded in a sloped roof is the only story stepped back.

- c. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
- d. Roofline/parapet at corners shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.



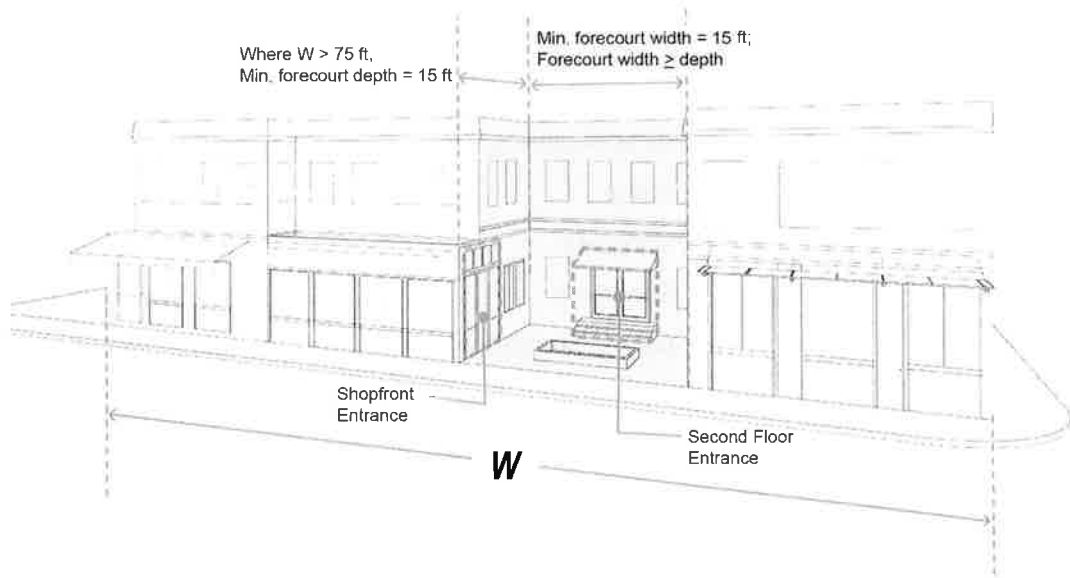
C. Building Design.

1. Façade Design.

- a. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
- b. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
- c. Residential facades shall incorporate at least one element that signals habitation, such as bay windows, or balconies.
- d. Non-glazed wall areas (blank walls) must be enhanced with architectural details, landscaping, and/or landscaped trellises or lattices.

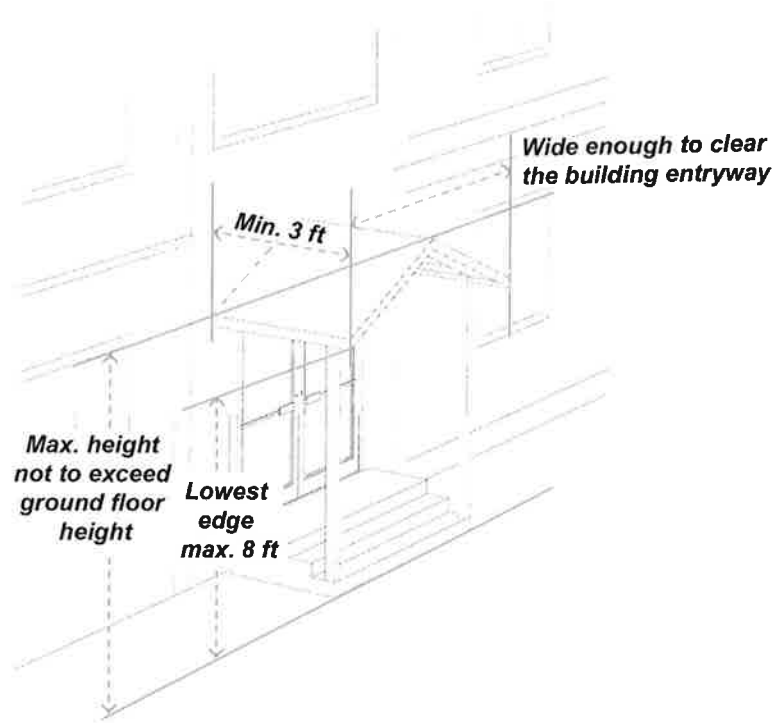
2. ***Pedestrian-Scaled Entrances.***

- a. Building entrances must incorporate at least one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.
 - i. Stoop
 - ii. Dooryard
 - iii. Shopfront
 - (a) Shopfronts more than 25 feet in width must incorporate variations in bulkhead, awnings, materials and/or color to visually articulate the shopfront into modules not to exceed 25 continuous feet.
 - iv. Gallery
 - v. Arcade
 - vi. Forecourt
 - (a) Forecourts must feature at least one entry to a shop and/or second floor use.
 - (b) Forecourts for buildings more than 70 feet in length along a right-of-way must have a minimum width and depth of 15 feet from front façade. Width of forecourt shall be equal to or greater than depth.
 - (c) The size of the forecourt must be appropriate relative to the size of the building. The maximum ratio of building height to forecourt is 2:1 (height < 2 x width).
 - (d) Forecourt must be enclosed on at least three sides by buildings.
 - (e) Forecourt must remain open to the sky (arbors and trellises are allowed).

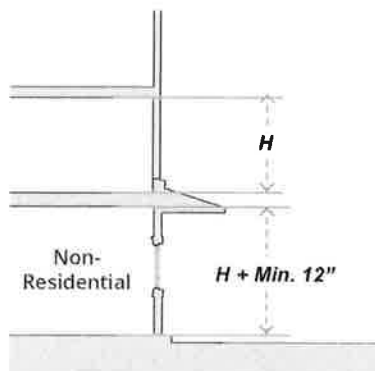


- b. *Primary Entrance Location(s)*. The building entrance shall be located along the primary right-of-way.
- c. *Corner Entrances*. Chamfered corners must incorporate a building entrance. Any required entrances may be provided on the corner of the building assuming one of the intersecting sides is a primary frontage.
- d. *Street-facing Entries to Upper Floors*. Street-facing entries to upper floors shall be equal in quality and detail to storefronts. This standard may be satisfied through two or more of the following:
 - i. Dedicated awning, canopy, or other roof element
 - ii. Stairs with a single color applied to treads and a contrasting color or pattern applied to risers
 - iii. Dedicated light fixture(s)
 - iv. Decorative street address numbers or tiles
 - v. Plaque signs for upper-floor business tenants
- e. *Entry Protection*. Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides.
 - i. Protection may be coterminous with an accent element.
 - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
 - iii. The lowest edge of a projecting awning or door canopy shall have a vertical clearance of no more than 8 feet.

- iv. Recessed entries shall differentiate pavement within the recess through the use of a dedicated paving material or pattern.



- f. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story. Roof elements are excepted.
3. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling.



4. **Interior Courtyard.** Interior courtyards must be:
- a. Partially visible from the street and linked to the street by a clear accessible path of travel.

- b. Enclosed on at least two sides by buildings
 - c. Open to the sky (arbors and trellises are allowed)
 - d. A minimum width of 20 feet and a minimum area of 400 square feet.
5. **Paseos.** Paseos must be:
- a. A minimum width of 10 feet for through-block paseos
 - b. A minimum width of 4 feet for entries to courtyards or individual single businesses.

D. Window Design.

- 1. Window frames, backbands, and sills.
 - a. All windows shall have a sill.
 - i. The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
 - ii. The sill shall be sloped toward the outside.
 - iii. The sill shall have a drip at its outer edge.
- 2. Vinyl windows are prohibited on facades visible from a right-of-way.
- 3. Tinted glass is not allowed.

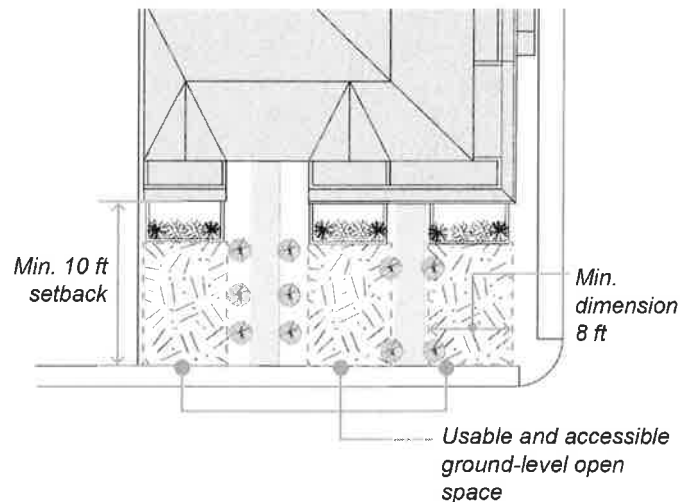
E. Building Materials.

- 1. Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - b. Siding (lap, vertical, panelized, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum not permitted.
 - c. Stone
 - d. Brick
- 2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, panelized, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.

- c. Stone (building base only)
- d. Brick (building base only)
- e. Tile (for bulkheads below display windows and decorative accents only)
- f. Metal (matte finish or Cor-ten)
 - i. Ribbed metal, titanium, and mirrored finishes are not permitted.
- g. Concrete Masonry Units (watertable and building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
- h. Concrete (building base only, board-form only, cast concrete not permitted).

F. Ground Level Open Space. Where any required front, rear, or side yard setback is 10 feet or greater, on-site ground-level open space shall be provided within the setback.

- 1. The ground level open space shall be usable and accessible.
- 2. The minimum dimension for ground level open space shall be 8 feet.



G. Landscaping, Paving and Pedestrian Amenities.

- 1. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Recommended patterns shall include, but are not limited to:
 - a. Planters for flowers and shrubs within street frontage.
 - b. Landscape buffers between parking spaces and building facades.
 - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.
- 2. Within the Loyola Corners Specific Plan Overlay district, landscaping, paving and pedestrian amenities shall be as specified in the Loyola Corners Specific Plan.
- 3. See Sections 14.66.180 (Maintenance of Landscaped Areas) and 14.70.070 (Landscaped Strips) for additional landscaping standards.

H. Site Circulation and Access

1. New development on abutting lots shall be designed to allow cross-access for internal pedestrian, bicycle, and vehicular circulation systems.
2. Bicycle racks shall be provided:
 - a. In or within 50 feet of every parking area; and
 - b. Within 20 feet of at least one building entrance.

I. Service Areas and Screening.

1. Service areas must be located at the rear of lot.
2. Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

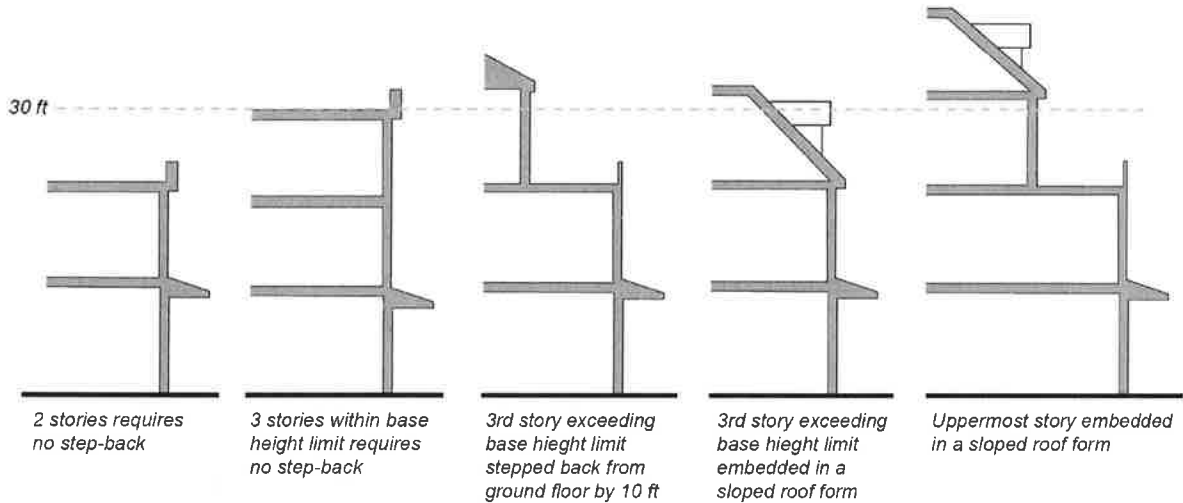
J. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all residential mixed-use development in the CN District.

Revised 14.44.130 Design Control (CD)

A. Building Massing and Articulation.

1. *Upper-story Step-backs.*

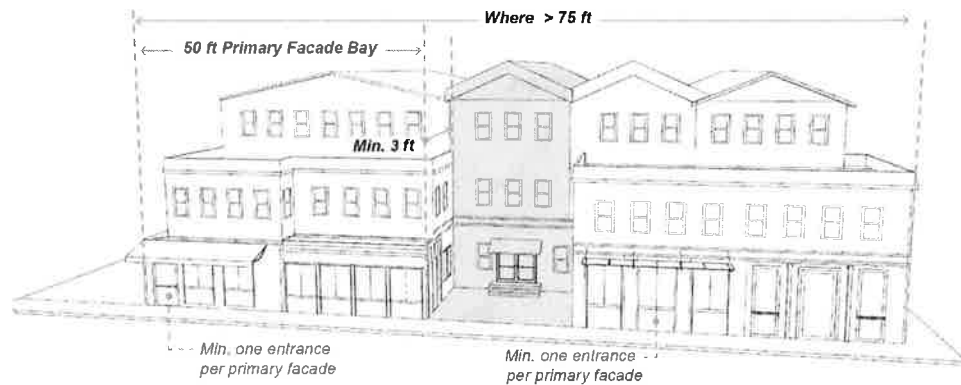
- a. *Front:* Minimum 10 feet from ground floor façade for stories above 30 feet in height as shown in the diagram



- b. *Street Side:* Minimum 10 feet from ground floor façade for stories above 30 feet in height, as shown in the diagram
- c. For buildings over three stories in height, the uppermost story must be embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, as allowed by standards in Section 14.44.130.A.6.

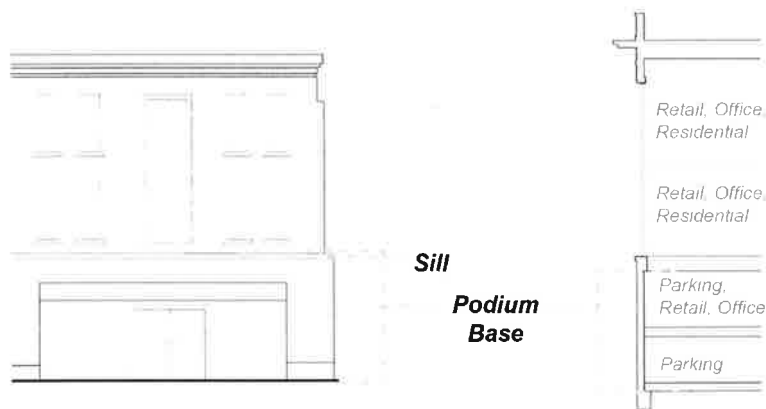
2. *Vertical Articulation.*

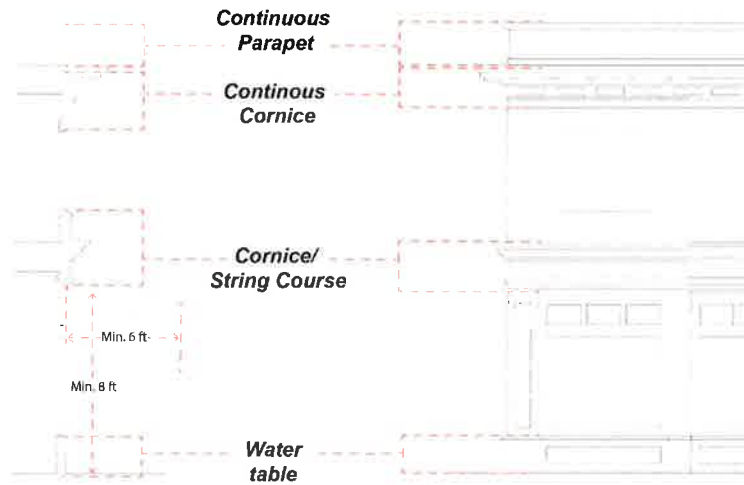
- a. When a building façade exceeds 75 feet in length along a right of way, it must be separated into primary façade bays no greater than 50 feet and secondary façade bays defined by a recess a minimum 3 feet deep and 10 feet wide.
- b. A minimum one entrance shall be provided per primary façade bay.
- c. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.



3. **Horizontal Articulation.** New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.

- a. One or more of the following patterns shall be used to define the base:
 - i. Watertable: Base material extends from grade to between 8 and 54 inches above grade.
 - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound (multi-story buildings only).
 - iii. Watertable + Cornice/String Course: A watertable using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine (multi-story buildings only).
- b. The top of each building mass/bay shall be defined by elements spanning the full length of the façade of the mass/bay. Such elements may include a cornice, eave and/or gable(s), or other elements listed under Section 17.44.130.A.6. These elements shall be consistent with the overall architectural style of the building mass/bay.

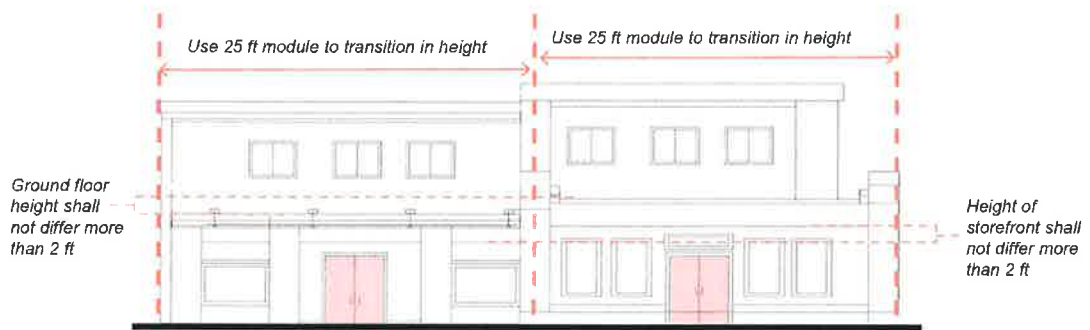




4. **Adjacencies.**

a. *Storefront Facades Adjacent to Storefront Facades.*

- i. The height of a storefront shall not differ from the height of any adjacent storefront by more than 2 feet.
- ii. The height of ground story shall not differ from height of any adjacent ground story by more than 2 feet.
- iii. Storefronts may transition in height using a module of 25 feet in length along a right-of-way.

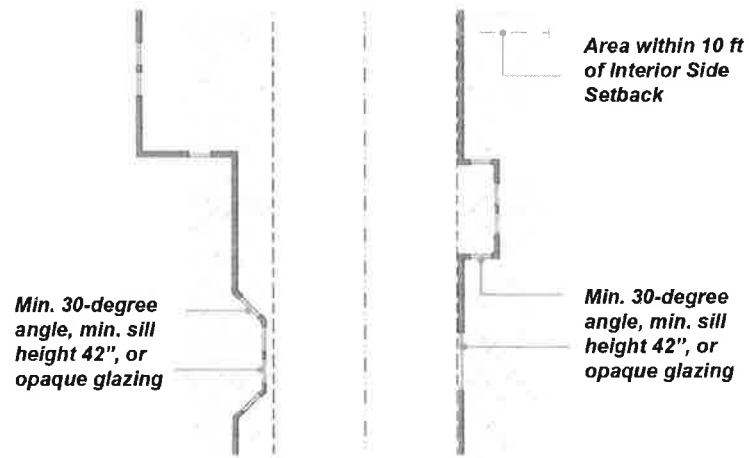


b. *Compatibility with Adjacent Shorter Buildings with Height Difference of One Story or More.* When adjacent to an existing shorter building with a height difference of one story or more, a proposed building must utilize two or more of the following strategies:

- i. Incorporate the uppermost floor into the roof form
- ii. Break the mass of the building into smaller modules through changes in wall plane, setbacks, and/or height
- iii. Match window heights and/or proportions
- iv. Relate roof cornices and moldings at floor lines

5. **Privacy and Line of Sight.**

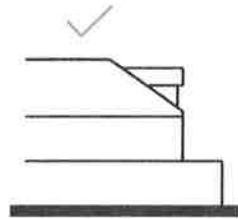
- a. Primary living spaces and balconies located along a side setback shall orient principal windows and balconies toward the front and rear of the building.
- b. Where windows are within 10 feet of and oriented toward an interior side setback, glazing shall either be a minimum 30-degree angle measured perpendicular to the adjacent side setback line, have minimum sill height of 42 inches, or be opaque.
- c. The maximum sill height for an ingress/egress window is 44 inches from finished floor.



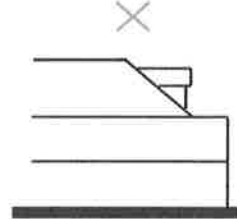
6. **Roofline and Roof Design.**

- a. Roof designs shall be limited to:
 - i. Hipped
 - ii. Gable
 - iii. Mansard
 - (a) Applicable for buildings 3 or more stories.
 - iv. Dormer
 - v. Parapet.
 - (a) When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
 - (1) Steps
 - (2) Curves
 - (3) Angled surfaces
 - (b) The length of a parapet segment on the third floor and above may not exceed 25 feet.

- b. When the top story is stepped back and embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, the floor below must (and other floors may) be stepped back to meet the slope of the top story.

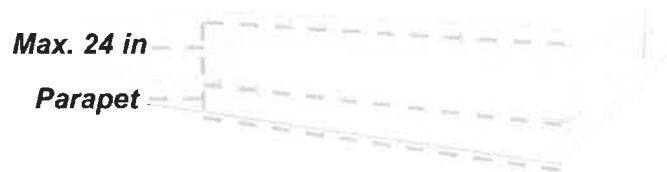


Acceptable:
One story below the story embedded in a sloped roof is also stepped-back .



Not acceptable:
Top story embedded in a sloped roof is the only story stepped back.

- c. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
- d. Roofline/parapet at corners shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.

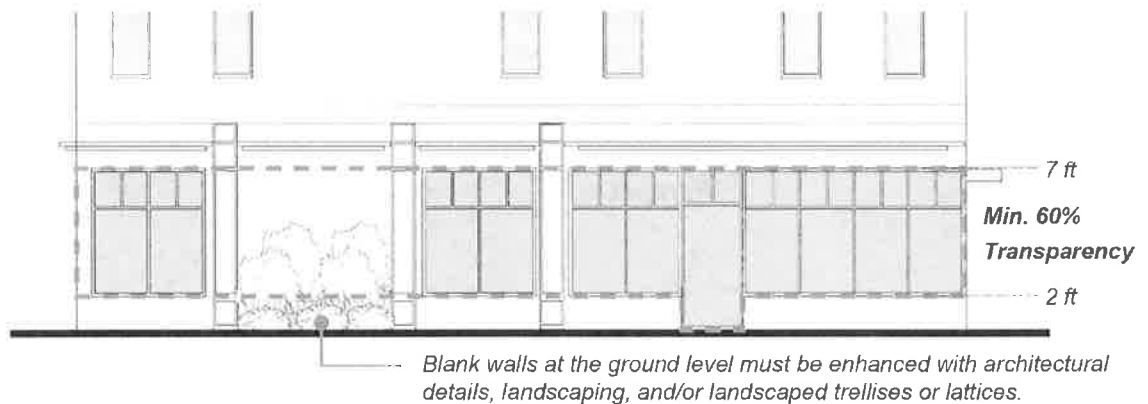


B. Building Design.

1. Façade Design.

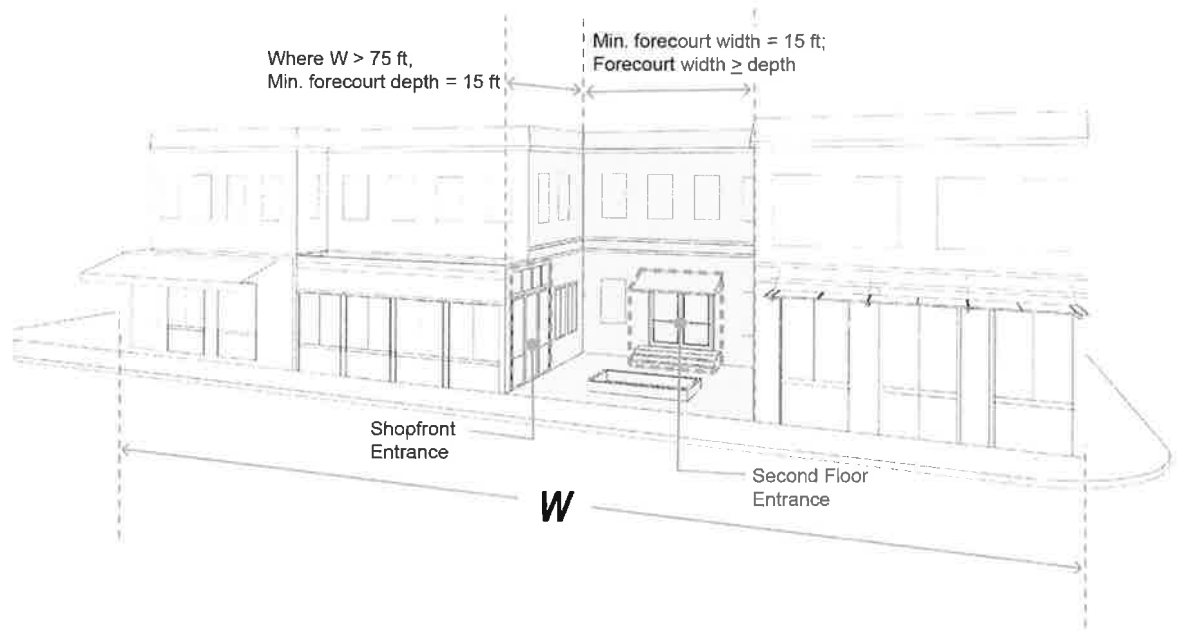
- a. Building facades must continue the pattern established by existing buildings in Downtown Los Altos by reinforcing the underlying maximum 50-foot module along all street frontages through the use of the following techniques:
- i. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
 - ii. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
 - iii. Residential facades shall incorporate at least one element that signals habitation, such as bay windows, or balconies.

- iv. Non-glazed wall areas (blank walls) must be enhanced with architectural details, landscaping, and/or landscaped trellises or lattices.
- b. At least two of the following strategies must be used in a manner that reinforces the maximum 50-foot module:
 - i. Change in roof parapet height or shape.
 - ii. Change in roof style
 - iii. Change in materials palette
 - iv. Change in building height, minimum 8-foot difference.
 - v. Change in frontage type or change in details of Shopfront frontage type if used.
 - vi. Use of upper floor projections such as bay windows or balconies.
- 2. **Ground Level Transparency.** A minimum 60 percent of commercial ground floor street-facing facades between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.



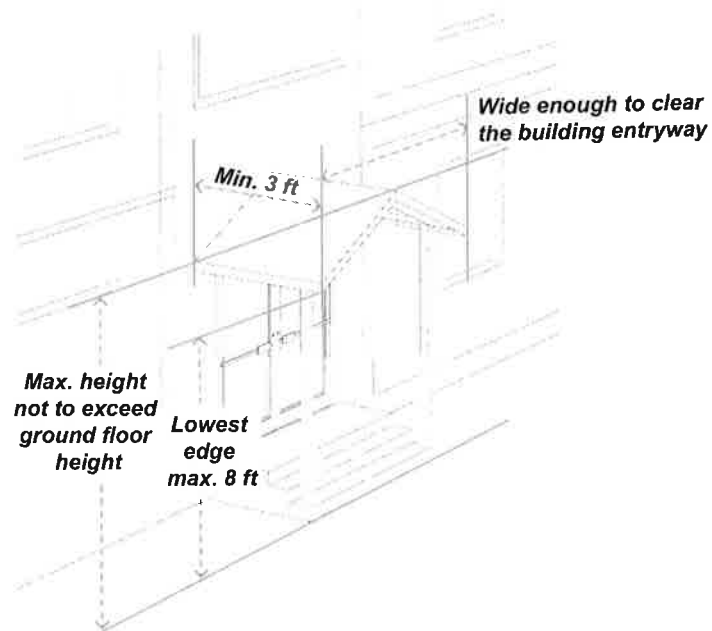
- 3. **Pedestrian-Scaled Entrances.**
 - a. Building entrances must incorporate at least one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.
 - i. Stoop
 - ii. Dooryard
 - iii. Shopfront
 - (a) Shopfronts more than 25 feet in width must incorporate variations in bulkhead, awnings, materials and/or color to visually articulate the shopfront into modules not to exceed 25 continuous feet.
 - iv. Gallery

- v. Arcade
- vi. Forecourt
 - (a) Forecourts must feature at least one entry to a shop and/or second floor use.
 - (b) Forecourts for buildings more than 70 feet in length along a right-of-way must have a minimum width and depth of 15 feet from front façade. Width of forecourt shall be equal to or greater than depth.
 - (c) The size of the forecourt must be appropriate relative to the size of the building. The maximum ratio of building height to forecourt is 2:1 (height < 2 x width).
 - (d) Forecourt must be enclosed on at least three sides by buildings.
 - (e) Forecourt must remain open to the sky (arbors and trellises are allowed).



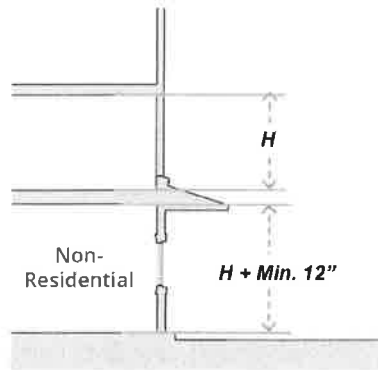
- vii. Terrace
 - b. *Primary Entrance Location(s)*. Locate primary entrance on the front right-of-way and/or in the interior courtyard.
 - c. *Corner Entrances*. Chamfered corners must incorporate a building entrance. Any required entrances may be provided on the corner of the building assuming one of the intersecting sides is a primary frontage.
 - d. *Street-facing Entries to Upper Floors*. Street-facing entries to upper floors shall be equal in quality and detail to storefronts. This standard may be satisfied through two or more of the following:
 - i. Dedicated awning, canopy, or other roof element

- ii. Stairs with a single color applied to treads and a contrasting color or pattern applied to risers
 - iii. Dedicated light fixture(s)
 - iv. Decorative street address numbers or tiles
 - v. Plaque signs for upper-floor business tenants
- e. *Entry Protection.* Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides.
- i. Protection may be coterminous with an accent element.
 - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
 - iii. The lowest edge of a projecting awning or door canopy shall have a vertical clearance of no more than 8 feet.
 - iv. Recessed entries shall differentiate pavement within the recess through the use of a dedicated paving material or pattern.



- f. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story. Roof elements are excepted.

4. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling.



5. **Interior Courtyard.** Interior courtyards must be:
- Partially visible from the street and linked to the street by a clear accessible path of travel.
 - Enclosed on at least two sides by buildings
 - Open to the sky (arbors and trellises are allowed)
 - A minimum width of 20 feet and a minimum area of 400 square feet.
6. **Paseos.** Paseos must be:
- A minimum width of 10 feet for through-block paseos.
 - A minimum width of 4 feet for entries to courtyards or individual single businesses.

C. Window Design.

- Window frames, backbands, and sills.
 - All windows shall have a sill.
 - The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
 - The sill shall be sloped toward the outside.
 - The sill shall have a drip at its outer edge.
- Vinyl windows are prohibited on facades visible from a right-of-way.

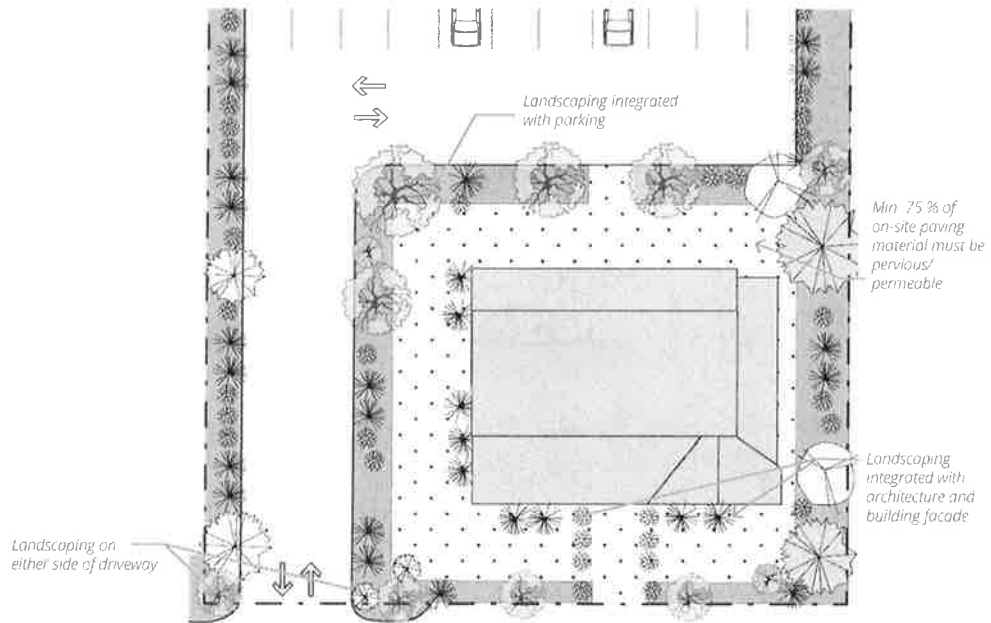
D. Building Materials.

- Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - Siding (lap, vertical, panelized, or shingle)
 - All siding shall be wood, composite wood, or cement fiberboard.

- ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not allowed.
 - c. Stone
 - d. Brick
- 2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, panelized, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone (building base only)
 - d. Brick (building base only)
 - e. Tile
 - f. Metal (matte finish or Cor-ten)
 - i. Ribbed metal, titanium, and mirrored finishes are not permitted.
 - g. Concrete Masonry Units (watertable and building base only, and not allowed on any façade facing a right-of-way or a single-family zone).
 - h. Concrete (building base only, board-form only, cast concrete not permitted).

E. Landscaping, Paving, and Pedestrian Amenities.

- 1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
- 2. All paving located adjacent to a sidewalk must be textured (decorative or permeable).
- 3. A minimum 75 percent of on-site paving material must be pervious/permeable.
- 4. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Recommended patterns shall include, but are not limited to:
 - a. Planters for flowers and shrubs within street frontage.
 - b. Landscape buffers between parking spaces and building facades.
 - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks. A publicly visible and accessible pedestrian amenity such as benches, a fountain, a rain garden, decorative paving, and/or public art.
- 5. See Sections 14.66.180 (Maintenance of Landscaped Areas) and 14.70.070 (Landscaped Strips) for additional landscaping standards.

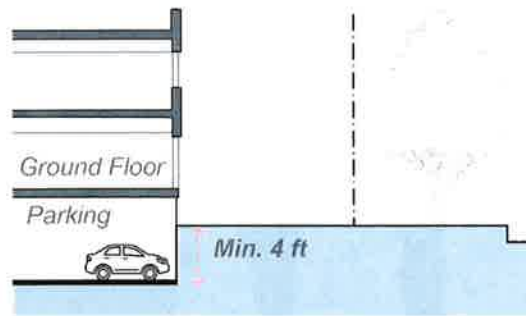


F. Parking Design and Access.

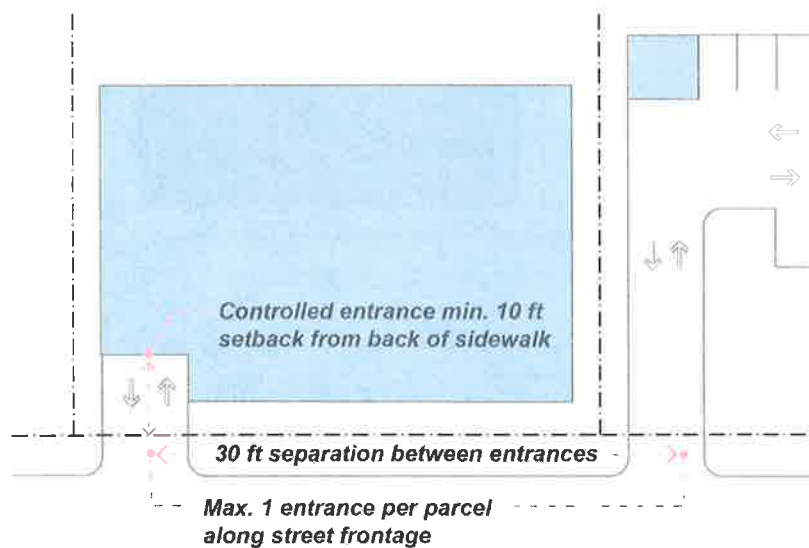
1. Where structured parking is provided, the parking area must be either:
 - a. "Lined" with ground-floor non-residential uses at least 30 feet deep as measured from the front façade; or



- b. Designed such that the floor elevation is a minimum 4 vertical feet below the elevation of the adjacent sidewalk.



2. Visible structured parking must be screened from view from the right-of-way by at least one of the following features:
- a. Regular punched openings designed to resemble windows of habitable spaces
 - b. Trellis/living wall
 - c. Custom textured or decorative screening
3. **Entrances to Parking Facilities.**
- a. A maximum of two curb cuts for one-way traffic and one curb cut for two-way traffic may be permitted per street frontage per lot.
 - b. Controlled entrances to parking facilities (gates, doors, etc.) shall be located a minimum 10 feet from the back of sidewalk.
 - c. Entrances to parking facilities along a street frontage shall be separated by a minimum of 40 feet, excluding access to parking plazas.
 - d. Where possible, curb cuts serving adjacent parking facilities shall be shared.



G. Site Circulation and Access.

1. A clearly defined, lighted and landscaped pedestrian route shall be provided between all parking areas and primary pedestrian entrance.
2. New development on abutting lots shall be designed to allow cross-access for internal pedestrian, bicycle, and vehicular circulation systems.
3. Bicycle racks shall be provided:
 - a. In or within 50 feet of every parking area; and
 - b. Within 20 feet of at least one building entrance.

H. Service Areas and Screening.

1. Service areas must be located at the rear of lot or along a parking plaza.
2. Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

I. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all residential mixed-use development in the CD District.

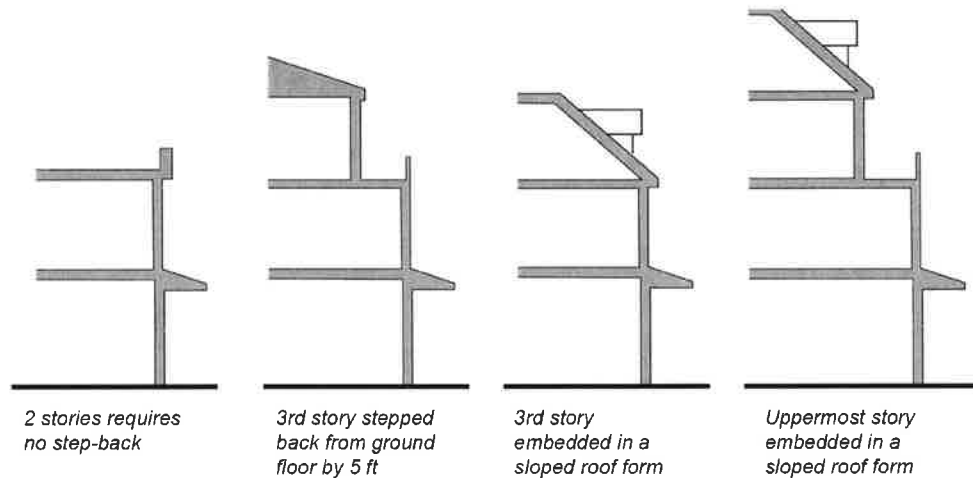
Revised 14.48.130 Design Control (CRS)

A. Building Massing and Articulation.

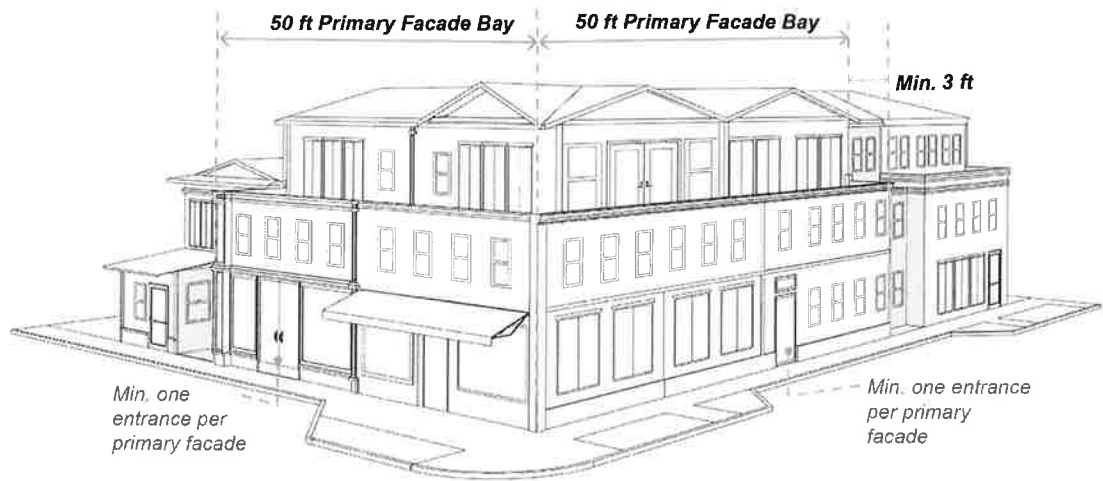
1. *Upper-story Step-backs, Front and Street Side.*

- a. The third story must be either stepped back a minimum 5 feet from the ground floor façade or embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, as allowed by standards in Section 14.48.130.A.6.
- b. For buildings over three stories, the uppermost story must be embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, as allowed by standards in Section 14.48.130.A.6.

2. *Vertical Articulation.*

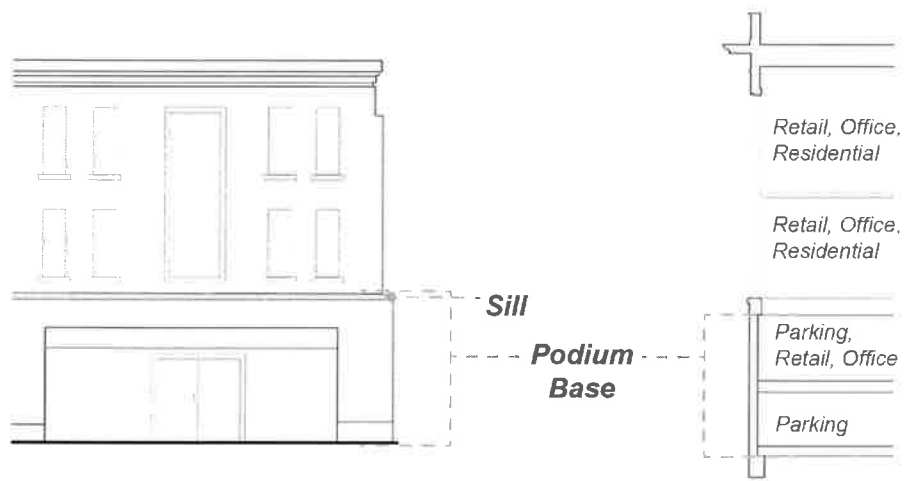


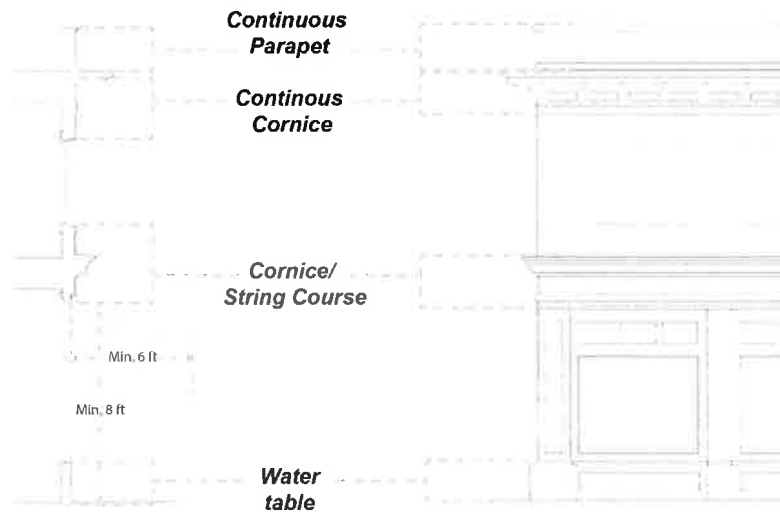
- a. When a building façade exceeds 50 feet in length along a right of way, it must be separated into primary façade bays no greater than 50 feet and secondary façade bays defined by a recess a minimum 3 feet deep and 10 feet wide.
- b. The building shall include at least one ground-floor entrance every 25 feet.



3. **Horizontal Articulation.** New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.

- a. One or more of the following patterns shall be used to define the base:
 - i. Watertable: Base material extends from grade to between 8 and 54 inches above grade.
 - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound (multi-story buildings only).
 - iii. Watertable + Cornice/String Course: A watertable using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine (multi-story buildings only).



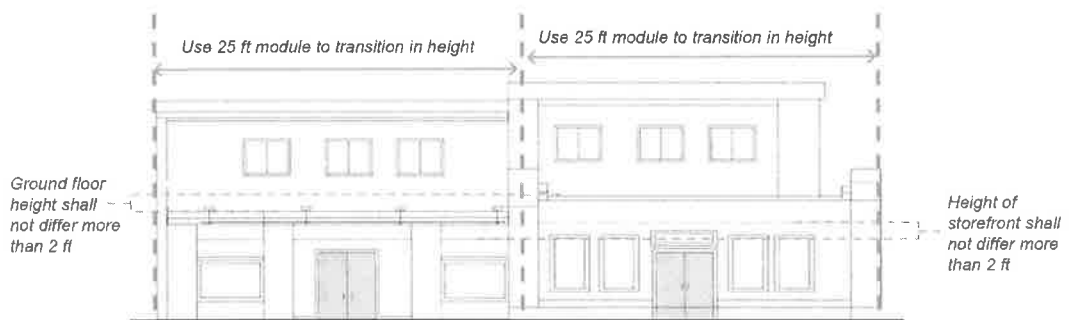


- b. The top of each building mass/bay shall be defined by elements spanning the full length of the façade of the mass/bay. Such elements may include a cornice, eave and/or gable(s), or other elements listed under Section 17.48.130.B.7. These elements shall be consistent with the overall architectural style of the building mass/bay.

4. **Adjacencies.**

a. *Storefront Facades Adjacent to Storefront Facades.*

- i. The height of a storefront shall not differ from the height of any adjacent storefront by more than 2 feet.
- ii. The height of ground story shall not differ from height of any adjacent ground story by more than 2 feet.
- iii. Storefronts may transition in height using a module of 25 feet in length along a right-of-way.



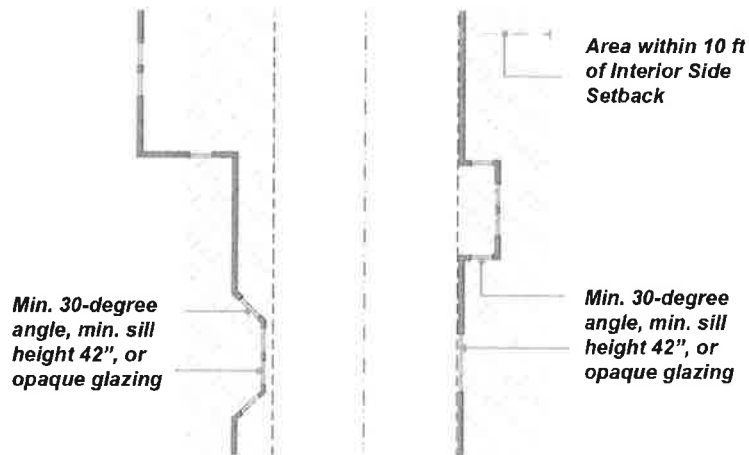
- b. *Compatibility with Adjacent Shorter Buildings with Height Difference of One Story or More.* When adjacent to an existing shorter building with a height difference

of one story or more, a proposed building must utilize two or more of the following strategies:

- i. Incorporate the uppermost floor into the roof form
- ii. Break the mass of the building into smaller modules through changes in wall plane, setbacks, and/or height
- iii. Match window heights and/or proportions
- iv. Relate roof cornices and moldings at floor lines

5. **Privacy and Line of Sight.**

- a. Primary living spaces and balconies located along a side setback shall orient principal windows and balconies toward the front and rear of the building.
- b. Where windows are within 10 feet of and oriented toward an interior side setback, glazing shall either be a minimum 30-degree angle measured perpendicular to the adjacent side setback line, have minimum sill height of 42 inches, or be opaque.
- c. The maximum sill height for an ingress/egress window is 44 inches from finished floor.



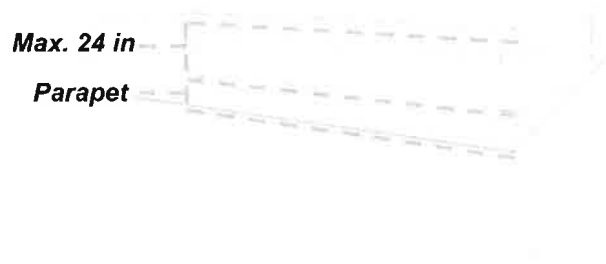
6. **Roofline and Roof Design.**

- a. Roof designs shall be limited to:
 - i. Hipped
 - ii. Gable
 - iii. Dormer
 - iv. Parapet.
 - (a) When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than

two of the following design elements to break up the length of the parapet:

- (1) Steps
- (2) Curves
- (3) Angled surfaces

- (b) The length of a parapet segment on the third floor and above may not exceed 25 feet.
- b. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
- c. Roofline/parapet at corners shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.

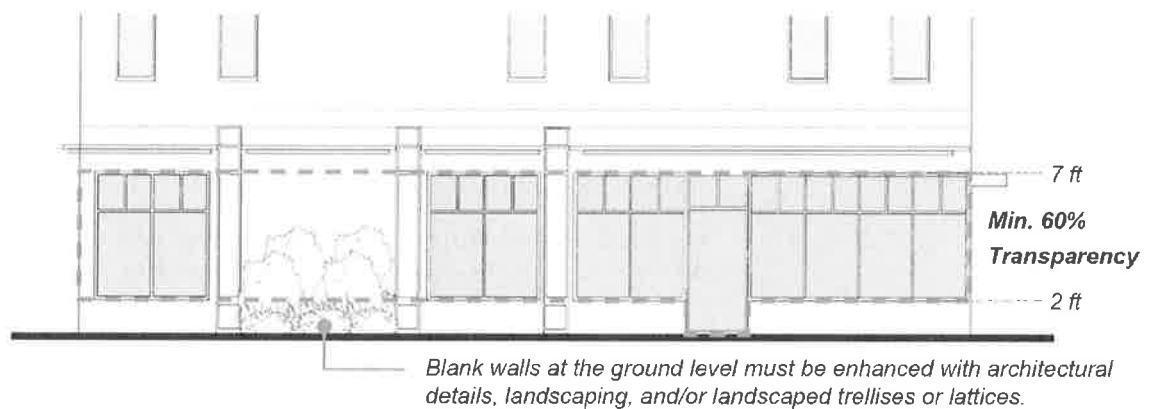


B. Building Design.

1. Façade Design.

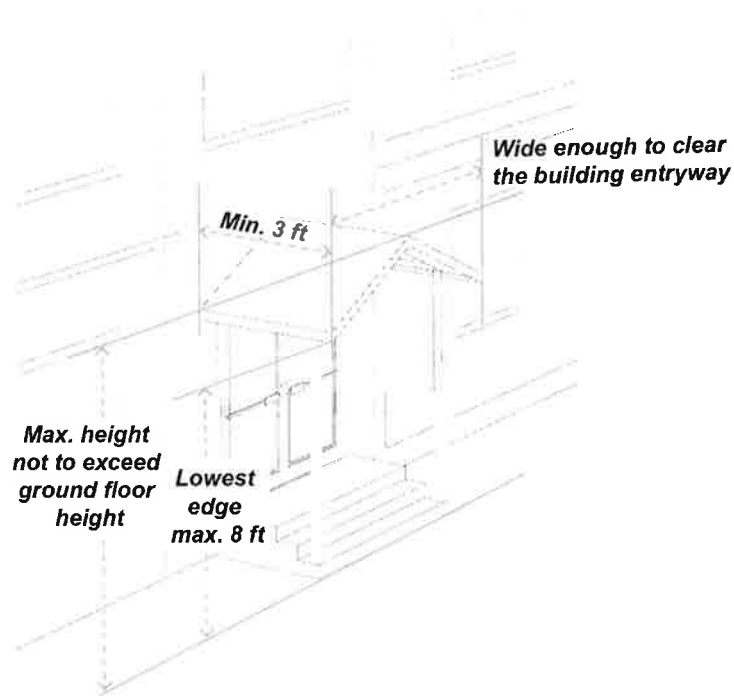
- a. Building facades must continue the pattern established by existing buildings in Downtown Los Altos by reinforcing the underlying maximum 25-foot module along all street frontages through the use of the following techniques:
 - i. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
 - ii. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
 - iii. Residential facades shall incorporate at least one element that signals habitation, such as bay windows, or balconies.
 - iv. Non-glazed wall areas (blank walls) must be enhanced with architectural details, landscaping, and/or landscaped trellises or lattices.
- b. At least two of the following strategies must be used in a manner that reinforces the maximum 25-foot module:
 - i. Change in roof parapet height or shape

- ii. Change in roof style
 - iii. Change in materials palette
 - iv. Change in building height, minimum 8-foot difference
 - v. Change in frontage type or change in details of Shopfront frontage type if used
 - vi. Use of upper floor projections such as bay windows or balconies.
2. **Ground Level Transparency.** A minimum 60 percent of commercial ground floor street-facing facades between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.



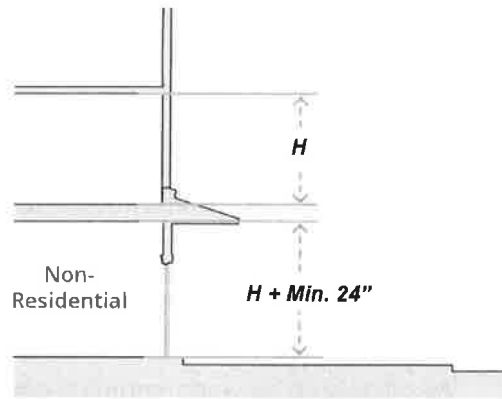
3. **Pedestrian-Scaled Entrances.**
- a. Building entrances must incorporate at least one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.
 - i. Stoop
 - ii. Shopfront
 - (a) The maximum width of single shopfront shall be 25 feet.
 - iii. Gallery
 - iv. Arcade with Shopfront frontage.
 - b. *Primary Entrance Location(s).* Locate primary entrance on the front right-of-way.
 - c. *Corner Entrances.* Chamfered corners must incorporate a building entrance. Any required entrances may be provided on the corner of the building assuming one of the intersecting sides is a primary frontage.
 - d. *Street-facing Entries to Upper Floors.* Street-facing entries to upper floors shall be equal in quality and detail to storefronts. This standard may be satisfied through two or more of the following:
 - i. Dedicated awning, canopy, or other roof element

- ii. Stairs with a single color applied to treads and a contrasting color or pattern applied to risers
 - iii. Dedicated light fixture(s)
 - iv. Decorative street address numbers or tiles
 - v. Plaque signs for upper-floor business tenants
- e. *Entry Protection.* Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides.
- i. Protection may be coterminous with an accent element.
 - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
 - iii. The lowest edge of a projecting awning or door canopy shall have a vertical clearance of no more than 8 feet.
 - iv. Recessed entries shall differentiate pavement within the recess through the use of a dedicated paving material or pattern.



- f. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story. Roof elements are excepted.

4. **Ground Floor Floor-to-Ceiling Height.** Minimum 24 inches taller than typical upper floor floor-to-ceiling height.



5. **Interior Courtyard.** Interior courtyards must be:
- Partially visible from the street and linked to the street by a clear accessible path of travel.
 - Enclosed on at least two sides by buildings.
 - Open to the sky (arbors and trellises are allowed)
 - A minimum width of 20 feet and a minimum area of 400 square feet.
6. **Paseos.** Paseos must be:
- A minimum width of 10 feet for through-block paseos.
 - A minimum width of 4 feet for entries to courtyards or individual single businesses.

C. Window Design.

- Window frames, backbands, and sills.
 - All windows shall have a sill.
 - The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
 - The sill shall be sloped toward the outside.
 - The sill shall have a drip at its outer edge.
- Vinyl windows are prohibited on facades visible from a right-of-way.
- Tinted glass is not allowed.

D. Building Materials.

- Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - Siding (lap, vertical, or shingle)

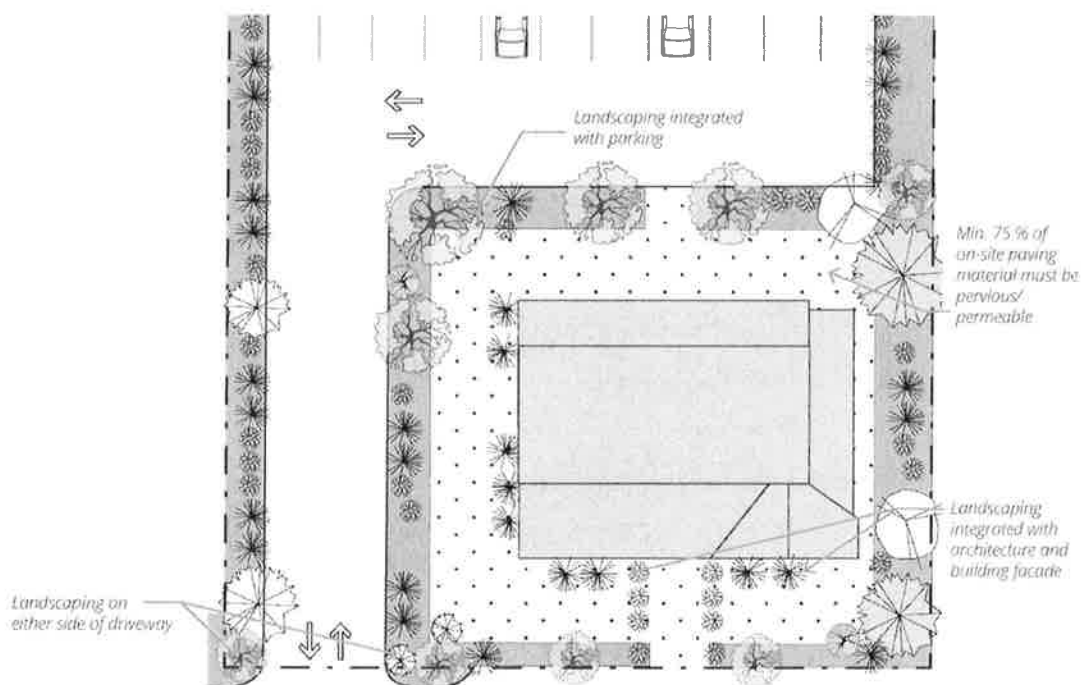
- i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone
 - d. Brick
- 2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone (building base only)
 - d. Brick (building base only)
 - e. Tile (for bulkheads below display windows and decorative accents only)
 - f. Metal (Matte finish or Cor-ten)
 - i. Ribbed metal, titanium, and mirrored finishes are not permitted.
 - g. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
 - h. Concrete (watertable and building base only, board-form only, cast concrete not permitted).

E. Downtown Gateways. A downtown gateway is located at the intersection of Foothill Expressway at Main Street.

- 1. Building design at gateway intersection shall include:
 - a. Façade lighting; and
 - b. Overhangs or sloped roof forms.
- 2. Ground-floor design at gateway intersections must address both street frontages through:
 - a. Entrances that are visible and directly accessible from both streets;
 - b. Building transparency beyond the required minimum for the first 15 feet of building frontage from the corner;
 - c. Landscaped area with a minimum dimension of six feet; and
 - d. A usable public space with pedestrian-scaled features.

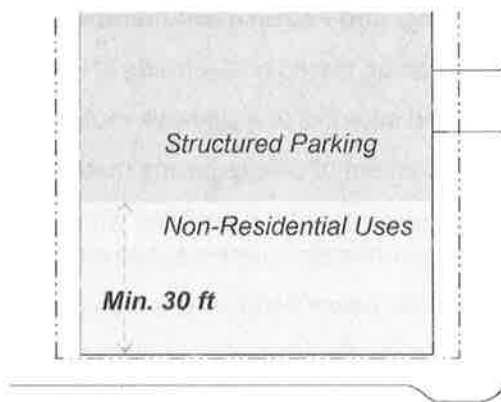
F. Landscaping and Paving, and Pedestrian Amenities.

1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
2. All paving located adjacent to a sidewalk must be textured (decorative or permeable).
3. A minimum 75 percent of on-site paving material must be pervious/permeable.
4. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Recommended patterns shall include, but are not limited to:
 - a. Planters for flowers and shrubs within street frontage.
 - b. Landscape buffers between parking spaces and building facades.
 - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.
 - d. A publicly visible and accessible pedestrian amenity such as benches, a fountain, a rain garden, decorative paving, and/or public art.
5. See Sections 14.66.180 (Maintenance of Landscaped Areas) and 14.70.070 (Landscaped Strips) for additional landscaping standards.

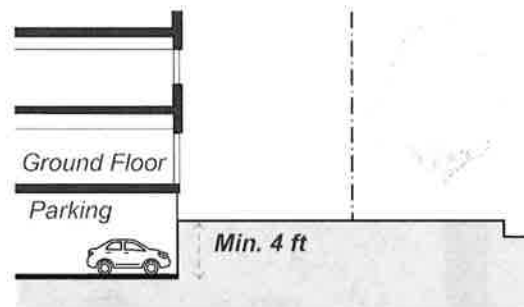


G. Parking Design and Access.

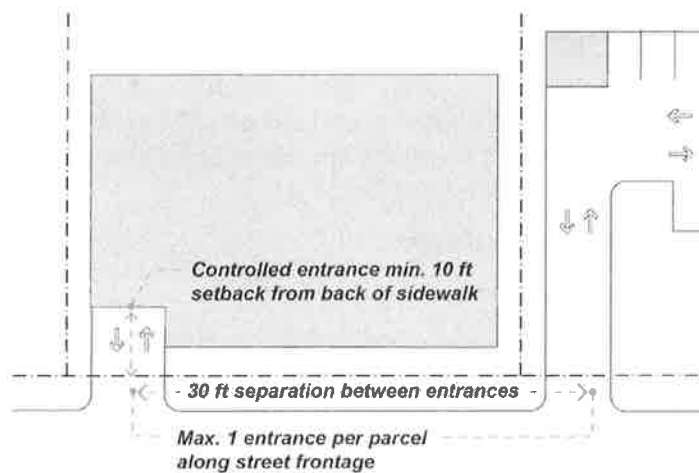
1. Where structured parking is provided, the parking area must be either:
 - a. "Lined" with ground-floor non-residential uses at least 30 feet deep as measured from the front façade; or



- b. Designed such that the floor elevation is a minimum 4 vertical feet below the elevation of the adjacent sidewalk.



- 2. Visible structured parking must be screened from view from the right-of-way by at least one of the following features:
 - a. Regular punched openings designed to resemble windows of habitable spaces
 - b. Trellis/living wall
 - c. Custom textured or decorative screening
- 3. **Entrances to Parking Facilities.**
 - a. Curb cuts are not permitted along State Street and Main Street, except those providing direct access to parking plazas. On all other street frontages, a maximum of two curb cuts for one-way traffic and one curb cut for two-way traffic may be permitted per street frontage per lot.
 - b. Controlled entrances to parking facilities (gates, doors, etc.) shall be located a minimum 10 feet from the back of sidewalk.
 - c. Entrances to parking facilities along a street frontage shall be separated by a minimum of 40 feet, excluding access to parking plazas.
 - d. Where possible, curb cuts serving adjacent parking facilities shall be shared.



H. Site Circulation and Access

1. A clearly defined, lighted and landscaped pedestrian route shall be provided between all parking areas and primary pedestrian entrance.
2. New development on abutting lots shall be designed to allow cross-access for internal pedestrian, bicycle, and vehicular circulation systems.
3. Bicycle racks shall be provided:
 - a. In or within 50 feet of every parking area; and
 - b. Within 20 feet of at least one building entrance.

I. Service Areas and Screening.

1. Service areas must be located at the rear of lot or along a parking plaza.
2. Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

J. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all residential mixed-use development in the CRS District.

Revised 14.50.170 Design Control (CT)

A. Building Placement. A minimum 75 percent of ground-floor building frontages facing El Camino Real must be built at the minimum setback line. This standard applies to the building frontage only (exclusive of side setbacks).

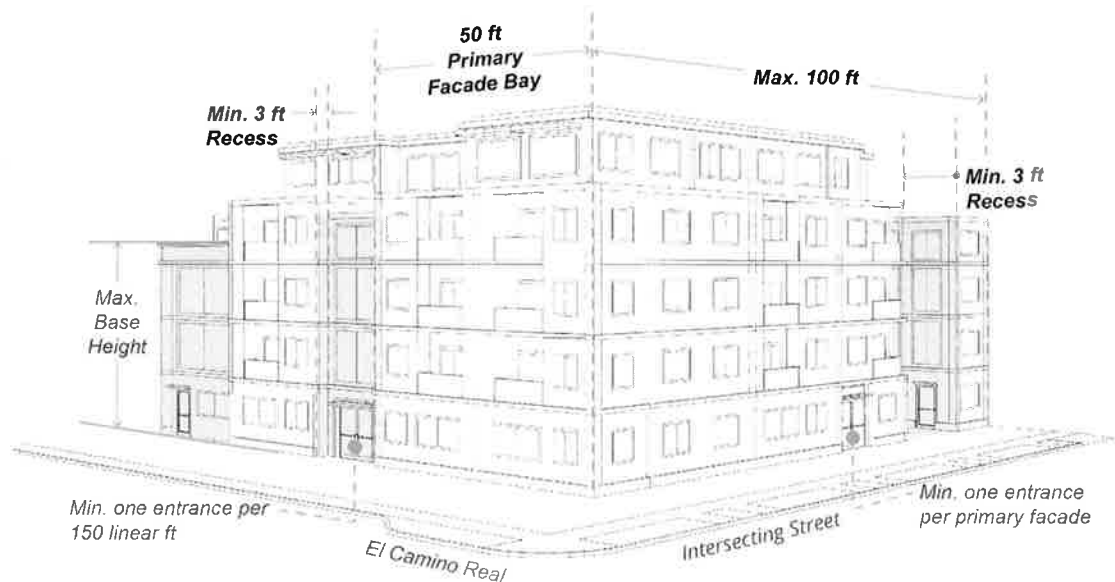
B. Building Massing and Articulation.

1. **Upper-story Step-backs.**

- a. *Front:* Minimum 10 feet from ground floor façade for stories above 45 feet in height.
- b. *Street Side:* Minimum 10 feet from ground floor façade for stories above 45 feet in height.

2. **Vertical Articulation.**

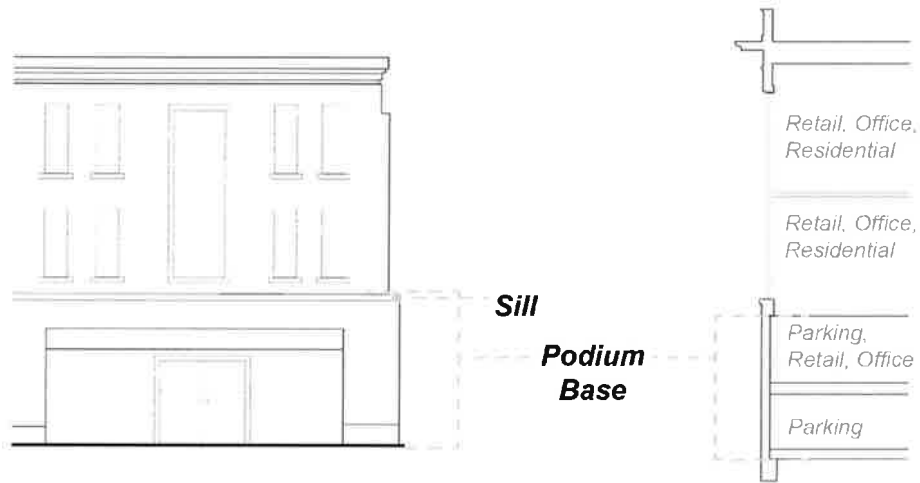
- a. When a building façade exceeds 100 feet in length along a right of way, it must be separated into primary façade bays no greater than 50 feet and secondary façade bays defined by a recess a minimum 3 feet deep and 10 feet wide.
- b. A minimum one entrance shall be provided per 150 linear feet along El Camino Real and per primary façade bay along all other rights-of-way.
- c. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.

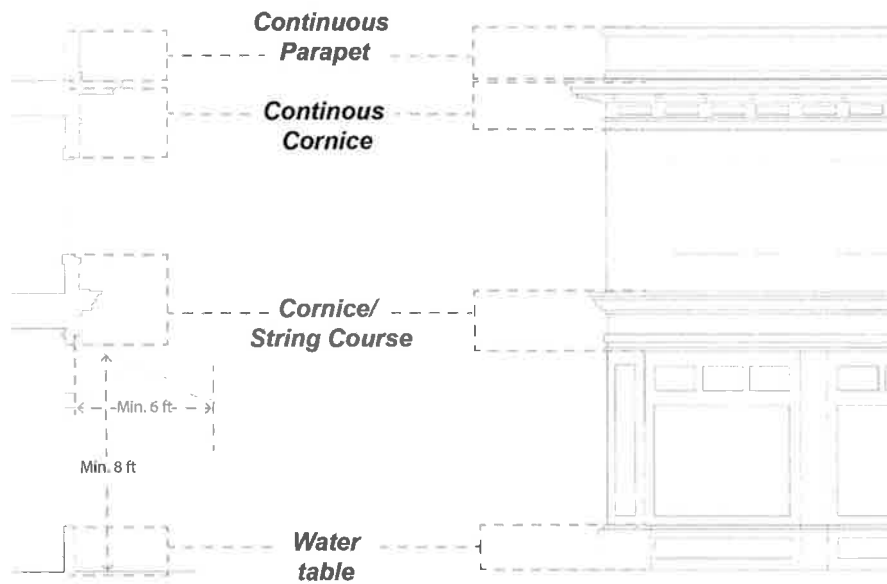


3. **Horizontal Articulation.** New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.

- a. One or more of the following patterns shall be used to define the base:

- i. Watertable: Base material extends from grade to between 8 and 54 inches above grade.
 - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound (multi-story buildings only).
 - iii. Watertable + Cornice/String Course: A watertable using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine (multi-story buildings only).
- b. The top of each building mass/bay shall be defined by elements spanning the full length of the façade of the mass/bay. Such elements may include a cornice, eave and/or gable(s), or other elements listed under Section 17.50.170.B.6. These elements shall be consistent with the overall architectural style of the building mass/bay.

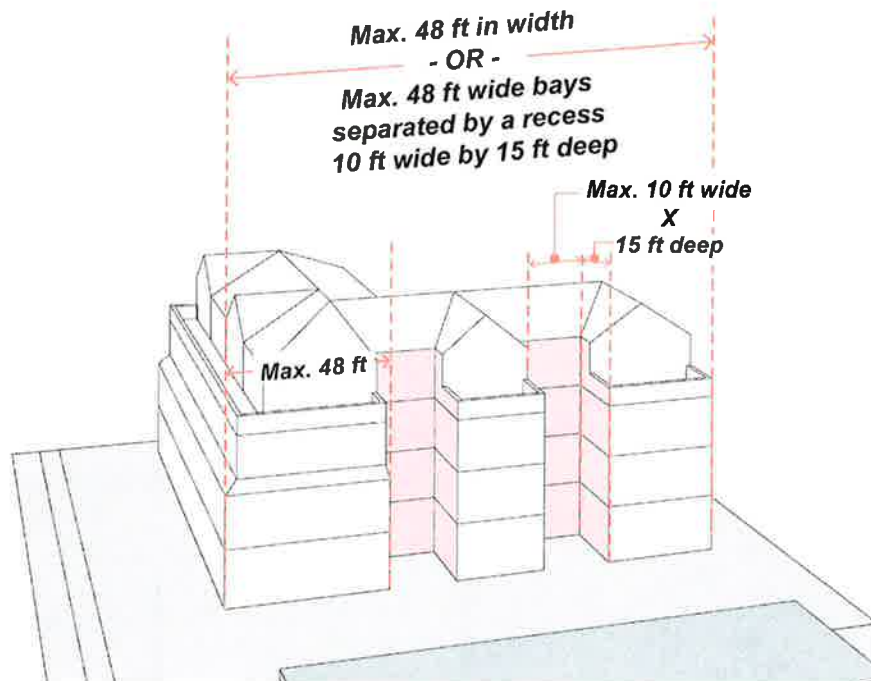




4. **Adjacencies.**

a. *Facades Adjacent to an R-1 District.*

- i. Building façade planes abutting an R-1 district may not exceed 48 feet in width.
- ii. When a building façade abutting an R-1 district exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 10 feet wide and 15 feet deep.
- iii. Balconies, roof decks and other habitable outdoor space are not allowed on upper-story facades abutting R-1 zones.
- iv. Sliding glass doors, French doors, and floor-to-ceiling windows are not allowed on upper-story facades abutting R-1 zones.



b. *Storefront Facades Adjacent to Storefront Facades.*

- i. The height of a storefront shall not differ from the height of any adjacent storefront by more than 2 feet.
- ii. The height of ground story shall not differ from height of any adjacent ground story by more than 2 feet.
- iii. Storefronts may transition in height using a module of 25 feet in length along a right-of-way.



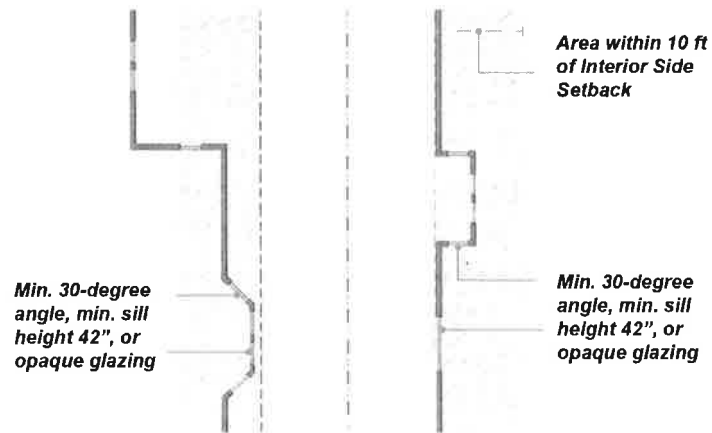
c. *Compatibility with Adjacent Shorter Buildings with Height Difference of One Story or More.* When adjacent to an existing shorter building with a height difference of one story or more, a proposed building must utilize two or more of the following strategies:

- i. Incorporate the uppermost floor into the roof form

- ii. Break the mass of the building into smaller modules through changes in wall plane, setbacks, and/or height
- iii. Match window heights and/or proportions
- iv. Relate roof cornices and moldings at floor lines

5. **Privacy and Line of Sight.**

- a. Primary living spaces and balconies located along a side setback shall orient principal windows and balconies toward the front and rear of the building.
- b. Where windows are within 10 feet of and oriented toward an interior side setback, glazing shall either be a minimum 30-degree angle measured perpendicular to the adjacent side setback line, have minimum sill height of 42 inches, or be opaque.
- c. The maximum sill height for an ingress/egress window is 44 inches from finished floor.



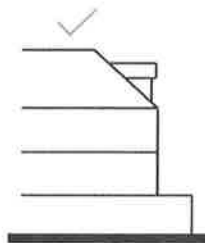
6. **Roofline and Roof Design.**

- a. Roof designs shall be limited to:
 - i. Hipped
 - ii. Gable
 - iii. Shed
 - iv. Dormer
 - v. Parapet.
 - (a) When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
 - (1) Steps

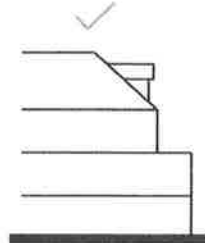
(2) Curves

(3) Angled surfaces

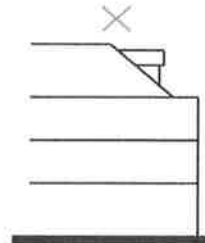
(b) The length of a parapet segment on the third floor and above may not exceed 25 feet.



Acceptable:
Multiple stories below the story embedded in a sloped roof are also stepped-back.



Acceptable:
One story below the story embedded in a sloped roof is also stepped-back.



Not acceptable:
Top story embedded in a sloped roof is the only story stepped back.

- b. When the top story is stepped back and embedded in a sloped roof form, the floor below must (and other floors may) be stepped back to meet the slope of the top story.
- c. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
- d. Roofline/parapet at corners shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.

Max. 24 in

Parapet

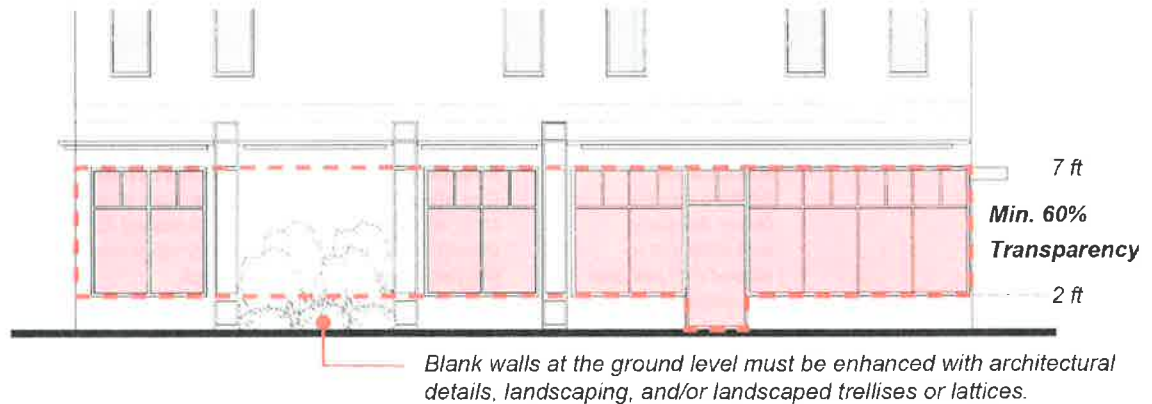


C. Building Design.

1. Façade Design.

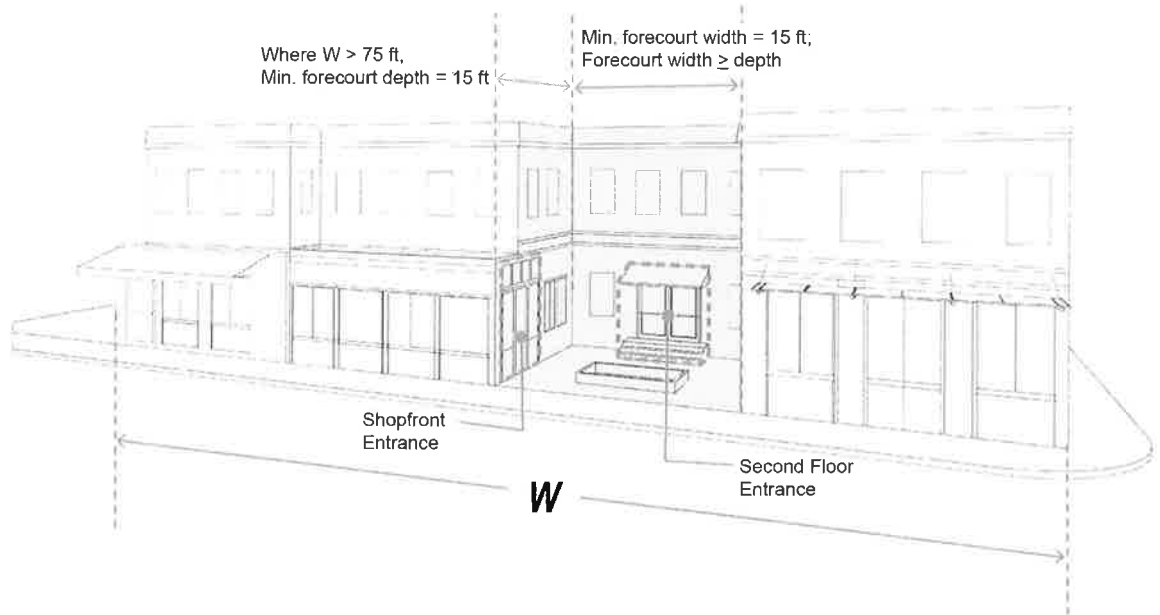
- a. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
- b. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.

- c. Residential facades shall incorporate at least one element that signals habitation, such as bay windows, or balconies.
 - d. Non-glazed wall areas (blank walls) must be enhanced with architectural details, landscaping, and/or landscaped trellises or lattices.
2. **Ground Level Transparency.** A minimum 60 percent of commercial ground floor street-facing facades between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.



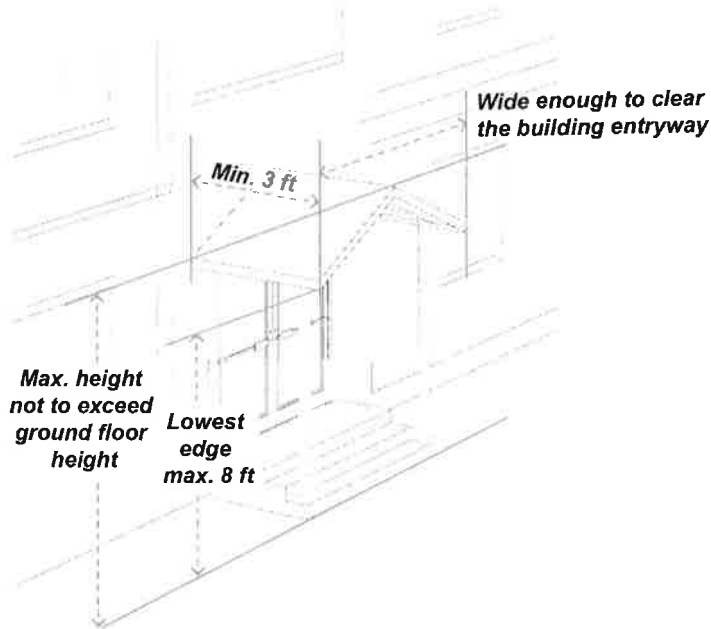
3. **Pedestrian-Scaled Entrances.**
- a. Buildings more than 70 feet in length along a right-of-way must incorporate at least one forecourt frontage on the right-of-way-facing façade. Required forecourts must also comply with the standards of Section 14.50.170.C.3.b.v. below.
 - b. Each street-facing building façade must incorporate at one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.
 - i. Stoop
 - ii. Shopfront
 - (a) Shopfronts more than 25 feet in width must incorporate variations in bulkhead, awnings, materials and/or color to visually articulate the shopfront into modules not to exceed 25 continuous feet.
 - iii. Gallery
 - iv. Arcade
 - v. Forecourt
 - (a) Forecourts must feature at least one entry to a shop and/or second floor use.

- (b) The size of the forecourt must be appropriate relative to the size of the building. The maximum ratio of building height to forecourt is 2:1 (height < 2 x width).
- (c) Forecourt must be minimum 15 feet in width.
- (d) Forecourt must be enclosed on at least three sides by buildings.
- (e) Forecourt must remain open to the sky (arbors and trellises are allowed).

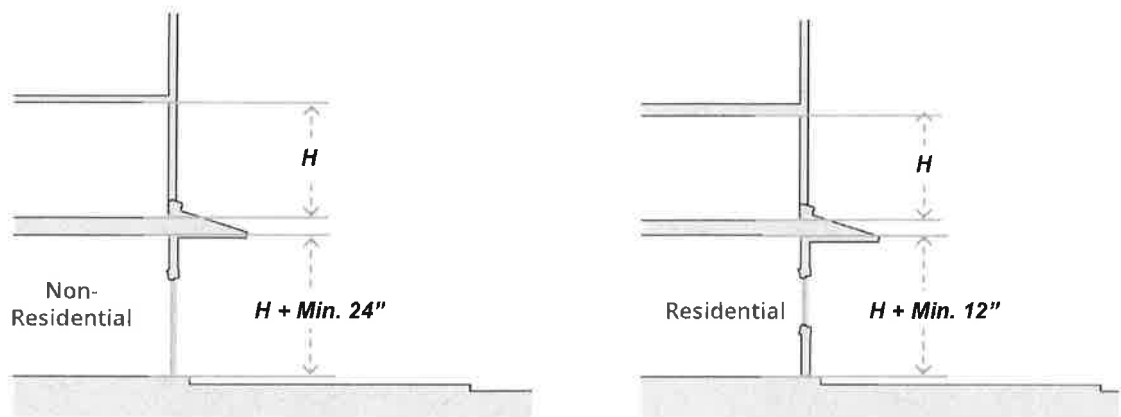


- vi. Terrace
- c. *Primary Entrance Location(s)*. Locate primary entrance on the front right-of-way.
- d. *Individual Entries*. Ground floor residential units facing a street must provide individual entries along the street frontage.
- e. *Corner Entrances*. Chamfered corners must incorporate a building entrance. Any required entrances may be provided on the corner of the building assuming one of the intersecting sides is a primary frontage.
- f. *Street-facing Entries to Upper Floors*. Street-facing entries to upper floors shall be equal in quality and detail to storefronts. This standard may be satisfied through two or more of the following:
 - i. Dedicated awning, canopy, or other roof element
 - ii. Stairs with a single color applied to treads and a contrasting color or pattern applied to risers
 - iii. Dedicated light fixture(s)
 - iv. Decorative street address numbers or tiles
 - v. Plaque signs for upper-floor business tenants

- g. **Entry Protection.** Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides.
- i. Protection may be coterminous with an accent element.
 - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
 - iii. The lowest edge of a projecting awning or door canopy shall have a vertical clearance of no more than 8 feet.
 - iv. Recessed entries shall differentiate pavement within the recess through the use of a dedicated paving material or pattern.



- h. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story. Roof elements are excepted.
4. **Ground Floor Floor-to-Ceiling Height.**
- a. Minimum 24 inches taller than typical upper floor floor-to-ceiling height where ground floor is non-residential.
 - b. Minimum 12 inches taller than typical upper floor floor-to-ceiling where ground floor is residential.



5. **Interior Courtyard.** Interior courtyards must be:
 - a. Partially visible from the street and linked to the street by a clear accessible path of travel.
 - b. Enclosed on at least two sides by buildings
 - c. Open to the sky (arbors and trellises are allowed)
 - d. A minimum width of 20 feet and a minimum area of 400 square feet.
6. **Paseos.** Paseos must be:
 - a. A minimum width of 10 feet for through-block paseos.
 - b. A minimum width of 4 feet for entries to courtyards or individual single businesses.

D. Window Design. Vinyl windows are prohibited on facades visible from a right-of-way.

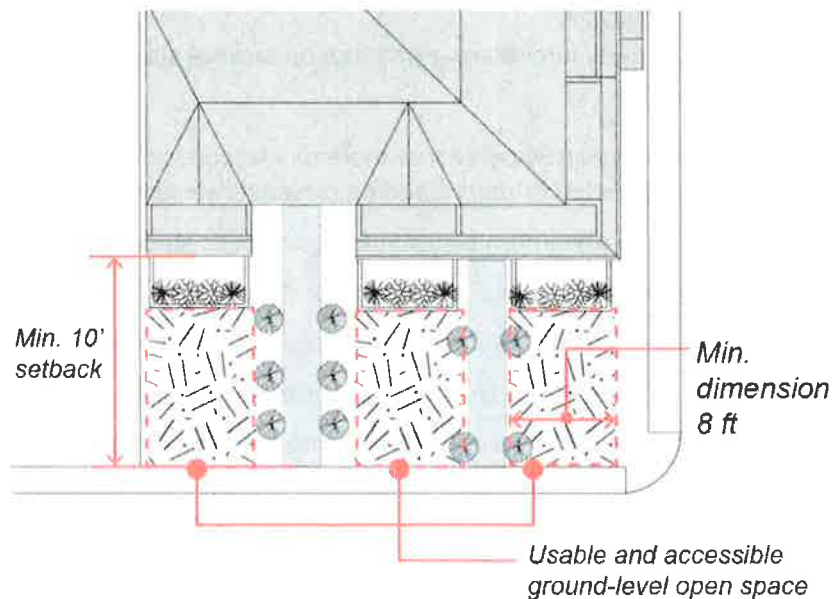
E. Building Materials.

1. Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - b. Siding (lap, vertical, panelized, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone
 - d. Brick
 - e. Concrete (board-form only).
2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:

- a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, panelized, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone (building base only)
 - d. Brick (building base only)
 - e. Tile
 - f. Metal (matte finish or Cor-ten)
 - i. Ribbed metal, titanium, and mirrored finishes are not permitted.
 - g. Concrete Masonry Units (watertable and building base only, and not allowed on any façade facing a right-of-way or a single-family zone).
 - h. Concrete (building base only, board-form only, cast concrete not permitted).
3. On attached elements, such as bay windows, orioles, and balconies.

F. Ground Level Open Space. Where any required front, rear, or side yard setback is 10 feet or greater, on-site ground-level open space shall be provided within the setback.

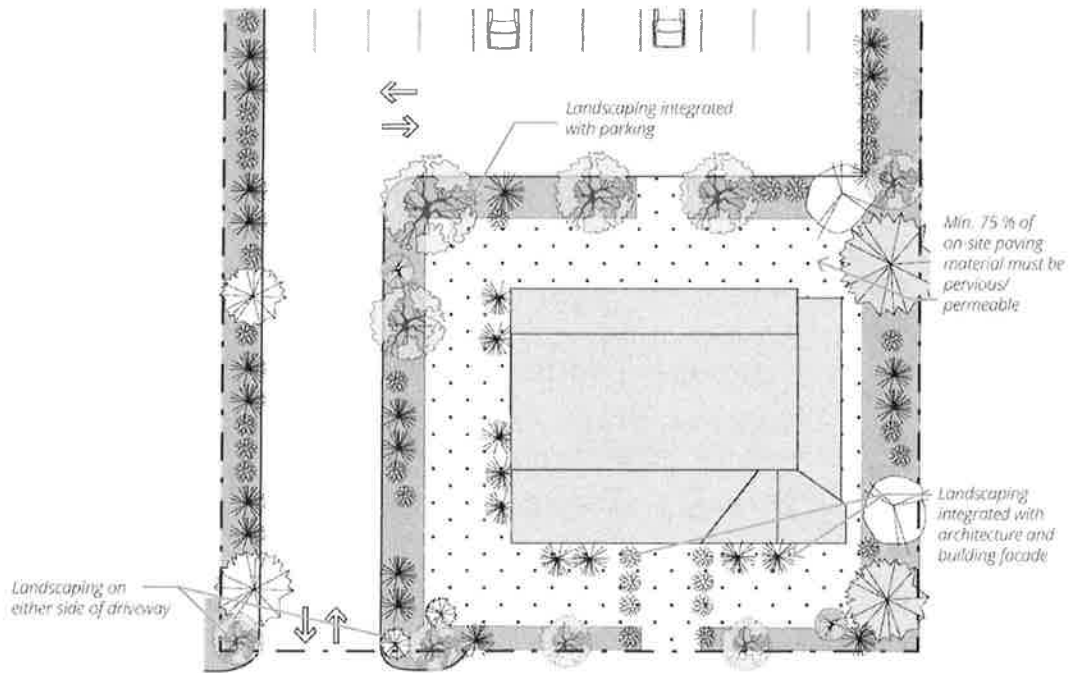
1. The ground level open space shall be usable and accessible.
2. The minimum dimension for ground level open space shall be 8 feet.



G. Landscaping and Paving.

1. Landscaping must be placed on each side of a driveway at grade or in raised planters.

2. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Recommended patterns shall include, but are not limited to:
 - a. Planters for flowers and shrubs within street frontage.
 - b. Landscape buffers between parking spaces and building facades.
 - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.
3. See Sections 14.66.180 (Maintenance of Landscaped Areas) and 14.70.070 (Landscaped Strips) for additional landscaping standards.

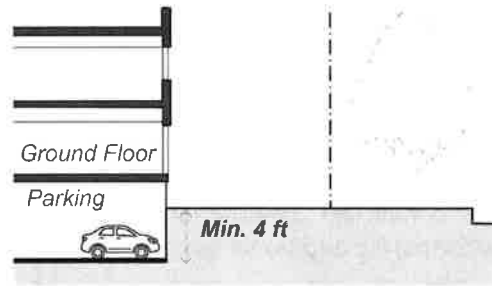


H. Parking Design and Access.

1. Where structured parking is provided, the parking area must be either:
 - a. "Lined" with ground-floor non-residential uses at least 30 feet deep as measured from the front façade; or



- b. Designed such that the floor elevation is a minimum 4 vertical feet below the elevation of the adjacent sidewalk.



- 2. Visible structured parking must be screened from view from the right-of-way by at least one of the following features:
 - a. Regular punched openings designed to resemble windows of habitable spaces
 - b. Trellis/living wall
 - c. Custom textured or decorative screening
- 3. **Entrances to Parking Facilities.**
 - a. A maximum of two curb cuts for one-way traffic and one curb cut for two-way traffic may be permitted per street frontage per lot.
 - b. Controlled entrances to parking facilities (gates, doors, etc.) shall be located a minimum 10 feet from the back of sidewalk.
 - c. Entrances to parking facilities along a street frontage shall be separated by a minimum of 60 feet.
 - d. Where possible, curb cuts serving adjacent parking facilities shall be shared.

I. Site Circulation and Access

- 1. New development on abutting lots shall be designed to allow cross-access for internal pedestrian, bicycle, and vehicular circulation systems.
- 2. Bicycle racks shall be provided:
 - a. In or within 50 feet of every parking area; and
 - b. Within 20 feet of at least one building entrance.

J. Service Areas and Screening.

- 1. Service areas must be located at the rear of lot.
- 2. Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

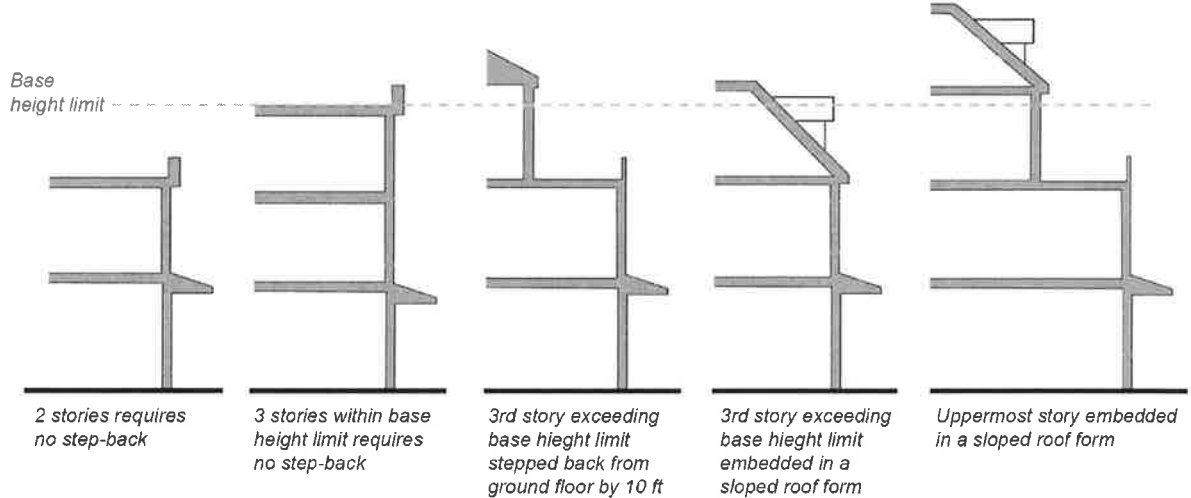
K. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all residential mixed-use development in the CT District.

Revised 14.52.110 Design Control (CD/R3)

A. Building Massing and Articulation.

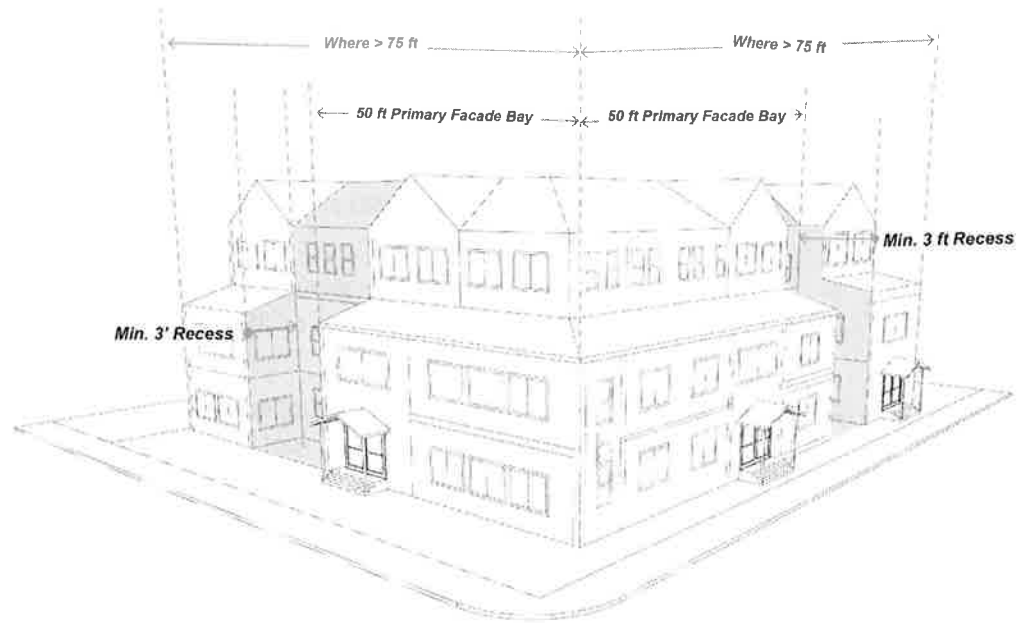
1. Upper-story Step-backs

- a. *Front:* Minimum 10 feet from ground floor façade for stories above 30 feet in height (commercial or mixed use) or 35 feet (residential only) as shown in the diagram.
- b. *Street Side:* Minimum 10 feet from ground floor façade for stories above 30 feet in height (commercial or mixed use) or 35 feet (residential only) as shown in the diagram.
- c. For buildings over three stories, the uppermost story must be embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, as allowed by standards in Section 14.52.110.A.6.

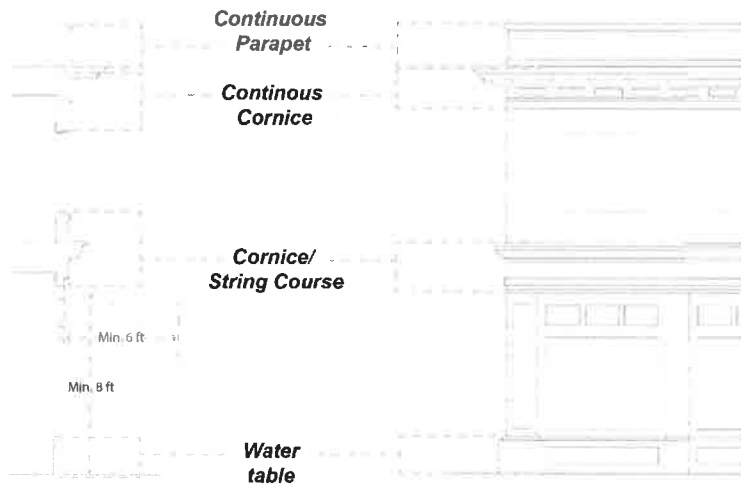
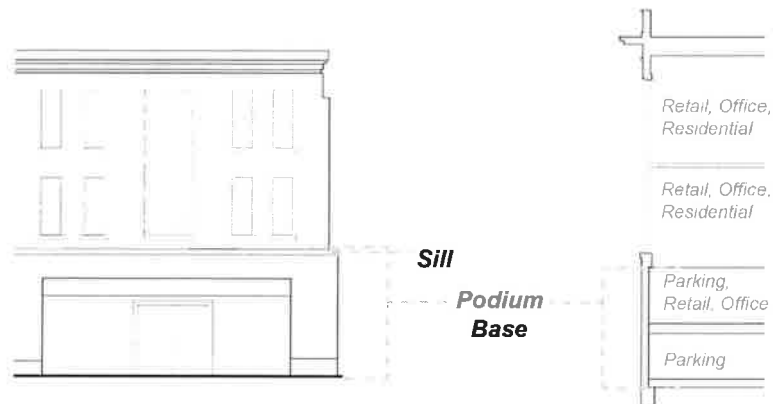


2. Vertical Articulation.

- a. When a building façade exceeds 75 feet in length along a right of way, it must be separated into primary façade bays no greater than 50 feet and secondary façade bays defined by a recess a minimum 3 feet deep and 10 feet wide.
- b. The building shall include at least one ground-floor entrance every 25 feet.
- c. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.



3. **Horizontal Articulation.** New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.
- a. One or more of the following patterns shall be used to define the base:
 - i. Watertable: Base material extends from grade to between 8 and 54 inches above grade.
 - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound (multi-story buildings only).
 - iii. Watertable + Cornice/String Course: A watertable using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine (multi-story buildings only).
 - b. The top of each building mass/bay shall be defined by elements spanning the full length of the façade of the mass/bay. Such elements may include a cornice, eave and/or gable(s), or other elements listed under Section 17.52.110.A.6. These elements shall be consistent with the overall architectural style of the building mass/bay.



4. **Adjacencies.**

a. *Storefront Facades Adjacent to Storefront Facades.*

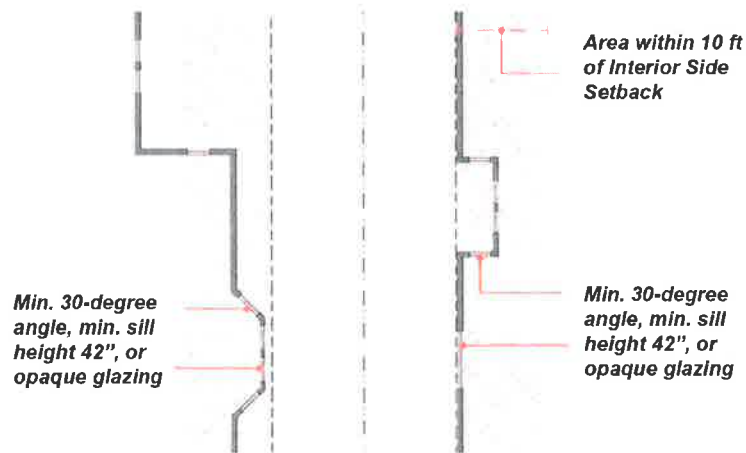
- i. The height of a storefront shall not differ from the height of any adjacent storefront by more than 2 feet.
- ii. The height of ground story shall not differ from height of any adjacent ground story by more than 2 feet.
- iii. Storefronts may transition in height using a module of 25 feet in length along a right-of-way.



- b. *Compatibility with Adjacent Shorter Buildings with Height Difference of One Story or More.* When adjacent to an existing shorter building with a height difference of one story or more, a proposed building must utilize two or more of the following strategies:
 - i. Incorporate the uppermost floor into the roof form
 - ii. Break the mass of the building into smaller modules through changes in wall plane, setbacks, and/or height
 - iii. Match window heights and/or proportions
 - iv. Relate roof cornices and moldings at floor lines

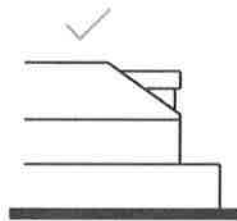
5. **Privacy and Line of Sight.**

- a. Primary living spaces and balconies located along a side setback shall orient principal windows and balconies toward the front and rear of the building.
- b. Where windows are within 10 feet of and oriented toward an interior side setback, glazing shall either be a minimum 30-degree angle measured perpendicular to the adjacent side setback line, have minimum sill height of 42 inches, or be opaque.
- c. The maximum sill height for an ingress/egress window is 44 inches from finished floor.

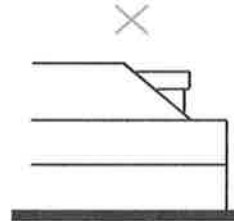


6. **Roofline and Roof Design.**

- a. Roof designs shall be limited to:
 - i. Hipped
 - ii. Gable
 - iii. Mansard
 - (a) Applicable for buildings 3 or more stories.
 - iv. Dormer
 - v. Parapet.
 - (a) Allowed only along First Street frontages.
 - (b) When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
 - (1) Steps
 - (2) Curves
 - (3) Angled surfaces
 - (c) The length of a parapet segment on the third floor and above may not exceed 25 feet.
- b. When the top story is stepped back and embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, the floor below must (and other floors may) be stepped back to meet the slope of the top story.

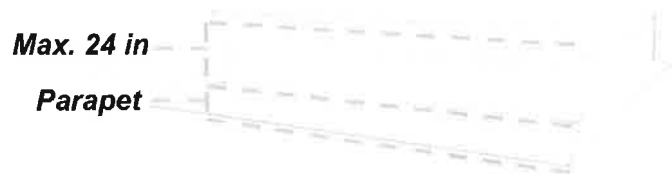


Acceptable:
One story below the story embedded in a sloped roof is also stepped-back .



Not acceptable:
Top story embedded in a sloped roof is the only story stepped back.

- c. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
- d. Roofline/parapet at corners shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.



B. Building Design.

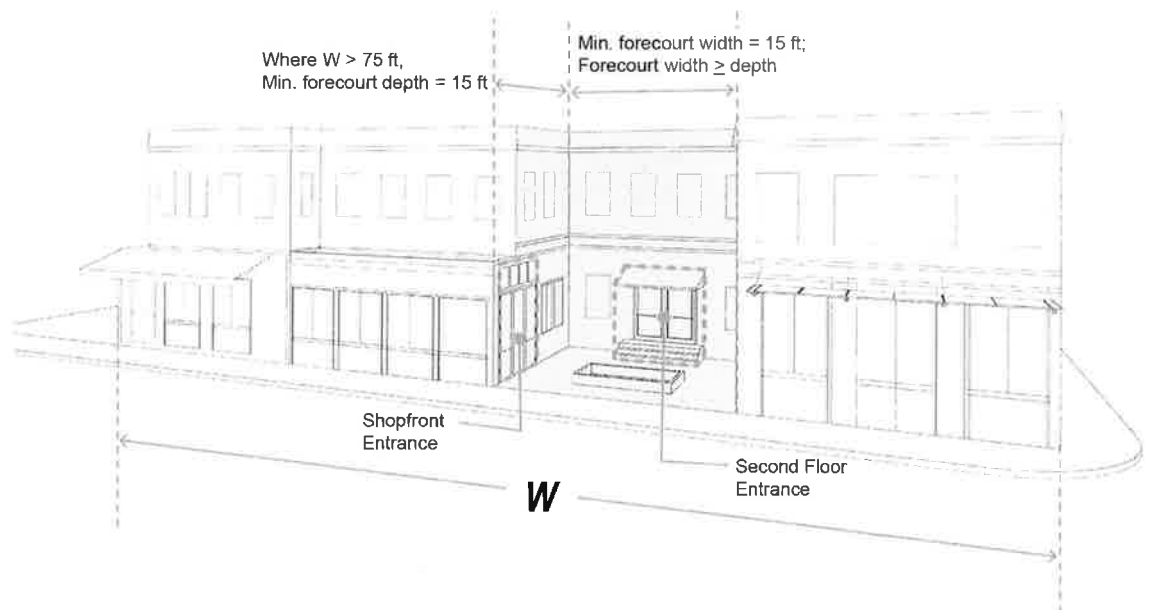
1. *Façade Design.*

- a. Building facades must continue the pattern established by existing buildings in Downtown Los Altos by reinforcing the underlying maximum 50-foot module along all street frontages through the use of the following techniques:
 - i. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
 - ii. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
 - iii. Residential facades shall incorporate at least one element that signals habitation, such as bay windows, or balconies.
 - iv. Non-glazed wall areas (blank walls) must be enhanced with architectural details, landscaping, and/or landscaped trellises or lattices.
- b. At least two of the following strategies must be used in a manner that reinforces the maximum 50-foot module:
 - i. Change in roof parapet height or shape.
 - ii. Change in roof style
 - iii. Change in materials palette
 - iv. Change in building height, minimum 8-foot difference.
 - v. Change in frontage type or change in details of Shopfront frontage type if used.
 - vi. Use of upper floor projections such as bay windows or balconies.

2. *Pedestrian-Scaled Entrances.*

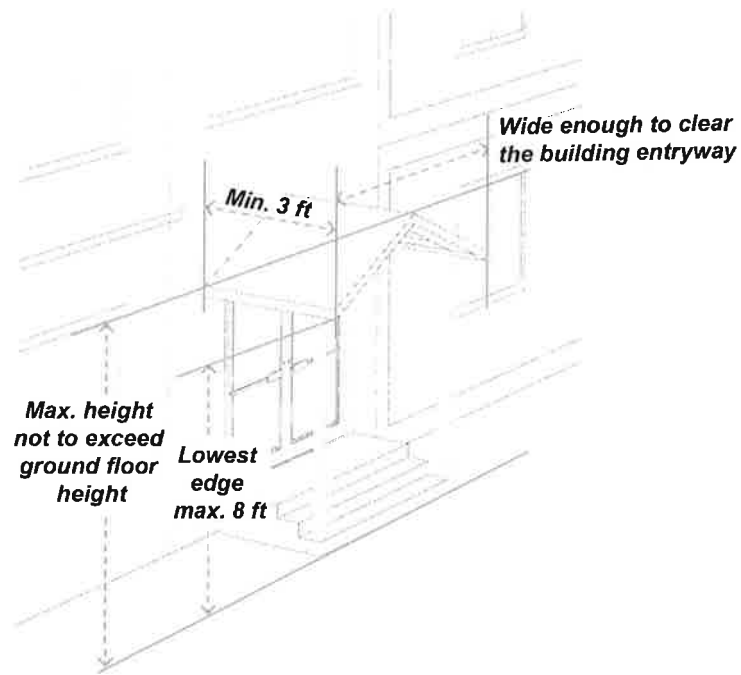
- a. Buildings more than 75 feet in frontage length along a right-of-way and First Street must incorporate at least one forecourt with a minimum depth of 20 feet from front façade. Required forecourts must also comply with the standards of Section 14.52.110.B.2.b.vi. below.

- b. Building entrances must incorporate at least one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.
- i. Stoop
 - ii. Dooryard
 - iii. Shopfront
 - (a) The maximum width of single shopfront shall be 25 feet.
 - iv. Gallery
 - v. Arcade
 - vi. Forecourt
 - (a) Forecourts must feature at least one entry to a shop and/or second floor use.
 - (b) Forecourts for buildings more than 70 feet in length along a right-of-way must have a minimum width and depth of 15 feet from front façade. Width of forecourt shall be equal to or greater than depth.
 - (c) The size of the forecourt must be appropriate relative to the size of the building. The maximum ratio of building height to forecourt is 2:1 (height < 2 x width).
 - (d) Forecourt must be enclosed on at least three sides by buildings.
 - (e) Forecourt must remain open to the sky (arbors and trellises are allowed).



- vii. Terrace

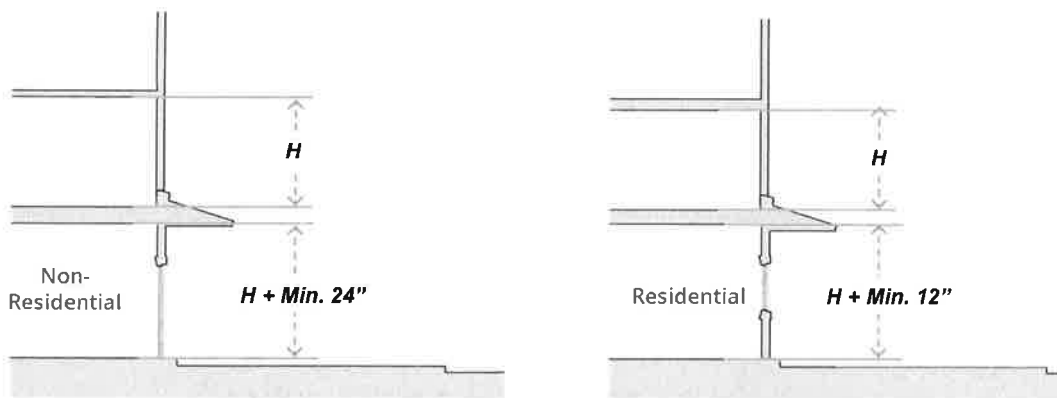
- c. *Primary Entrance Location(s)*. Locate primary entrance on the front right-of-way and/or in the interior courtyard.
- d. *Individual Entries*. Ground floor residential units facing a street must provide individual entries along the street frontage.
- e. *Corner Entrances*. Chamfered corners must incorporate a building entrance. Any required entrances may be provided on the corner of the building assuming one of the intersecting sides is a primary frontage.
- f. *Street-facing Entries to Upper Floors*. Street-facing entries to upper floors shall be equal in quality and detail to storefronts. This standard may be satisfied through two or more of the following:
 - i. Dedicated awning, canopy, or other roof element
 - ii. Stairs with a single color applied to treads and a contrasting color or pattern applied to risers
 - iii. Dedicated light fixture(s)
 - iv. Decorative street address numbers or tiles
 - v. Plaque signs for upper-floor business tenants
- g. *Entry Protection*. Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides.
 - i. Protection may be coterminous with an accent element.
 - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
 - iii. The lowest edge of a projecting awning or door canopy shall have a vertical clearance of no more than 8 feet.
 - iv. Recessed entries shall differentiate pavement within the recess through the use of a dedicated paving material or pattern.



- h. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story. Roof elements are excepted.

3. **Ground Floor Floor-to-Ceiling Height.**

- a. Minimum 24 inches taller than typical upper floor floor-to-ceiling height where ground floor is non-residential.
- b. Minimum 12 inches taller than typical upper floor floor-to-ceiling height where ground floor is residential.



4. **Interior Courtyard.** Interior courtyards must be:

- a. Partially visible from the street and linked to the street by a clear accessible path of travel.
- b. Enclosed on at least two sides by buildings.

- c. Open to the sky (arbors and trellises are allowed).
 - d. A minimum width of 20 feet and a minimum area of 400 square feet.
5. **Paseos.** Paseos must be:
- a. A minimum width of 10 feet for through-block paseos.
 - b. A minimum width of 4 feet for entries to courtyards or individual single businesses.

C. Window Design.

- 1. Window frames, backbands, and sills.
 - a. All windows shall have a sill.
 - i. The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
 - ii. The sill shall be sloped toward the outside.
 - iii. The sill shall have a drip at its outer edge.
- 2. Vinyl windows are prohibited on facades visible from a right-of-way.

D. Building Materials.

- 1. Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - b. Siding (lap, vertical, panelized, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone
 - d. Brick
- 2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, panelized, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone (building base only)
 - d. Brick (building base only)

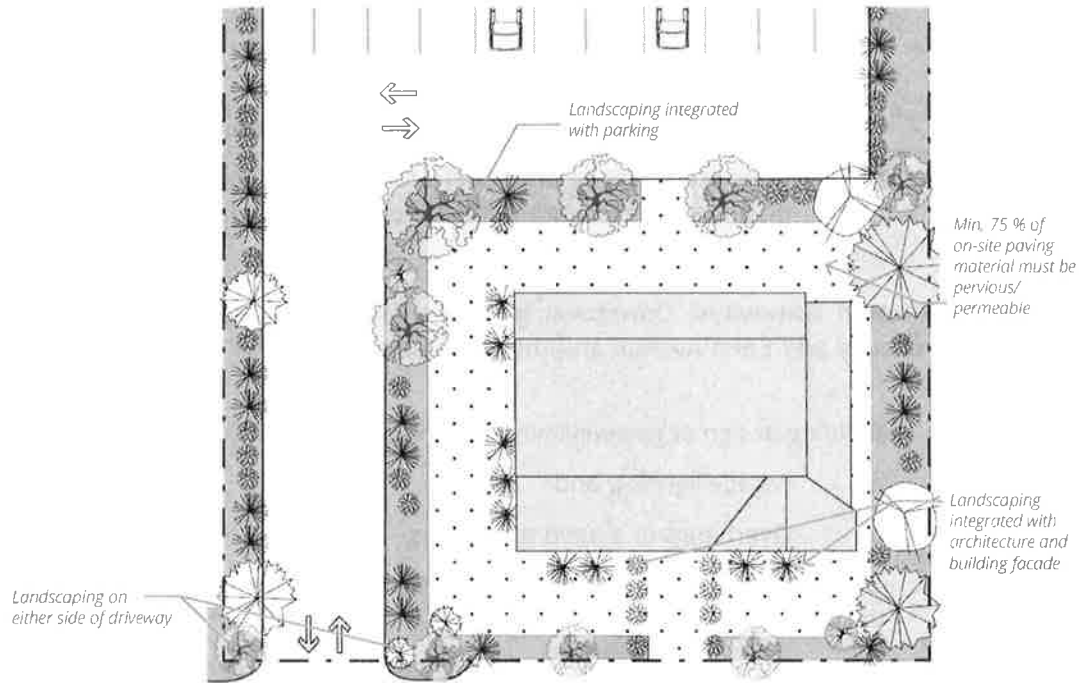
- e. Tile
- f. Metal (matte finish or Cor-ten)
 - i. Ribbed metal, titanium, and mirrored finishes are not permitted.
- g. Concrete Masonry Units (watertable and building base only, and not allowed on any façade facing a right-of-way or a single-family zone).
- h. Concrete (building base only, board-form only, cast concrete not permitted).

E. Downtown Gateways. Downtown gateways are located at the intersection of Foothill Expressway and Edith Avenue and the intersection of Foothill Expressway and San Antonio Road.

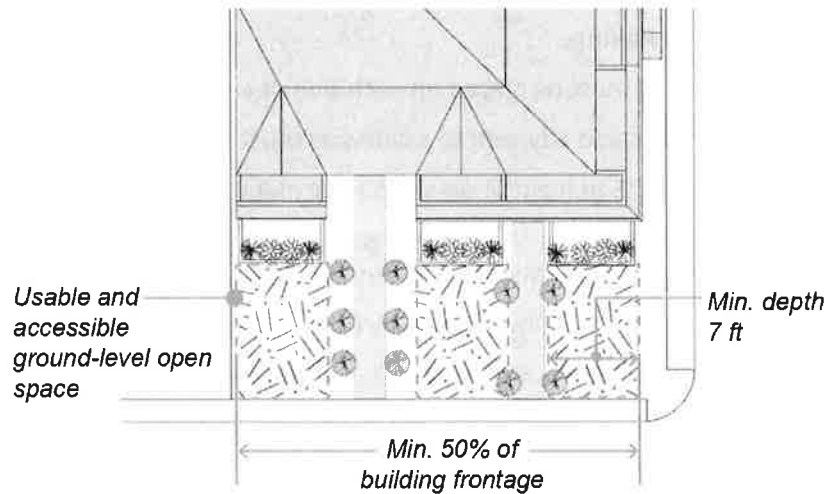
- 1. Building design at gateway intersection shall include:
 - a. Façade lighting; and
 - b. Overhangs or sloped roof forms.
- 2. Ground-floor design at gateway intersections must address both street frontages through:
 - a. Entrances that are visible and directly accessible from both streets;
 - b. Building transparency beyond the required minimum for the first 15 feet of building frontage from the corner;
 - c. Landscaped area with a minimum dimension of six feet; and
 - d. A usable public space with pedestrian-scaled features.

F. Landscaping and Paving.

- 1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
- 2. All paving located adjacent to a sidewalk must be textured (decorative or permeable).
- 3. A minimum 75 percent of on-site paving material must be pervious or permeable.
- 4. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Recommended patterns shall include, but are not limited to:
 - a. Planters for flowers and shrubs within street frontage.
 - b. Landscape buffers between parking spaces and building facades.
 - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.
- 5. See Sections 14.66.180 (Maintenance of Landscaped Areas) and 14.70.070 (Landscaped Strips) for additional landscaping standards.



- G. Ground Level Open Space.** The required front setback area for residential-only development must be improved with a usable open space a minimum of 7 feet in depth for a minimum 50 percent of the building frontage.

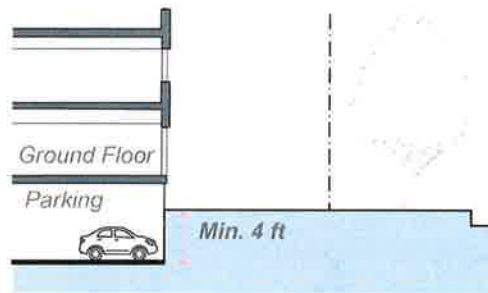


H. Parking Design and Access.

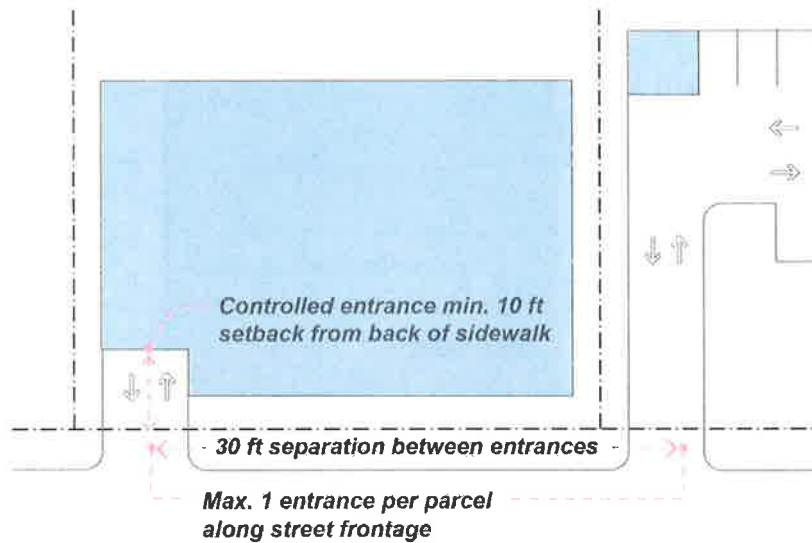
1. Where structured parking is provided, the parking area must be either:
 - a. "Lined" with ground floor non-residential uses at least 30 feet deep as measured from the front façade; or



- b. Designed such that the floor elevation is a minimum 4 vertical feet below the elevation of the adjacent sidewalk.



- 2. Visible structured parking must be screened from view from the right-of-way by at least one of the following features:
 - a. Regular punched openings designed to resemble windows of habitable spaces
 - b. Trellis/living wall
 - c. Custom textured or decorative screening
- 3. **Entrances to Parking Facilities.**
 - a. A maximum of two curb cuts for one-way traffic and one curb cut for two-way traffic may be permitted per street frontage per lot.
 - b. Controlled entrances to parking facilities (gates, doors, etc.) shall be located a minimum 10 feet from the back of sidewalk.
 - c. Entrances to parking facilities along a street frontage shall be separated by a minimum of 30 feet.
 - d. Where possible, curb cuts serving adjacent parking facilities shall be shared.



I. Site Circulation and Access.

1. A clearly defined, lighted and landscaped pedestrian route shall be provided between all parking areas and primary pedestrian entrance.
2. New development on abutting lots shall be designed to allow cross-access for internal pedestrian, bicycle, and vehicular circulation systems.
3. Bicycle racks shall be provided:
 - a. In or within 50 feet of every parking area; and
 - b. Within 20 feet of at least one building entrance.

J. Service Areas and Screening.

1. Service areas must be located at the rear of lot or along a parking plaza.
2. Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

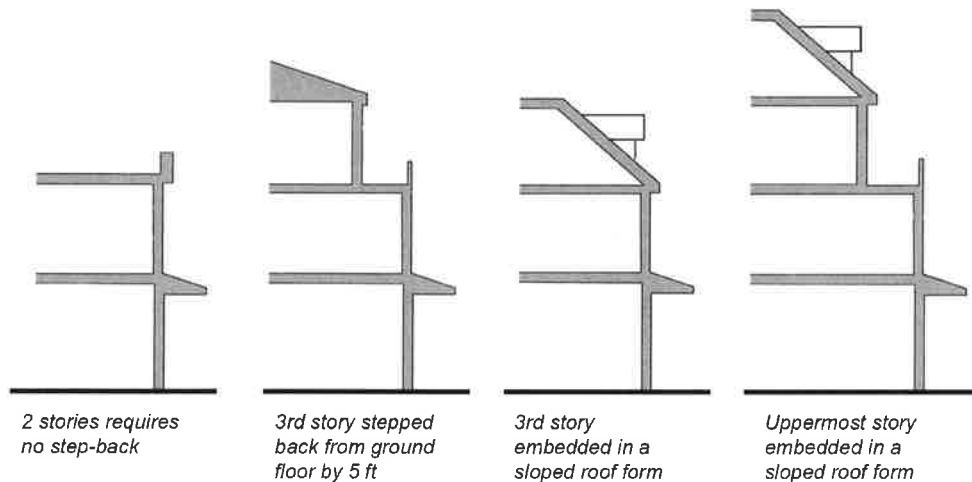
K. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all residential mixed-use development in the CD/R3 District.

Revised 14.54.130 Design Control (CRS/OAD)

A. Building Massing and Articulation.

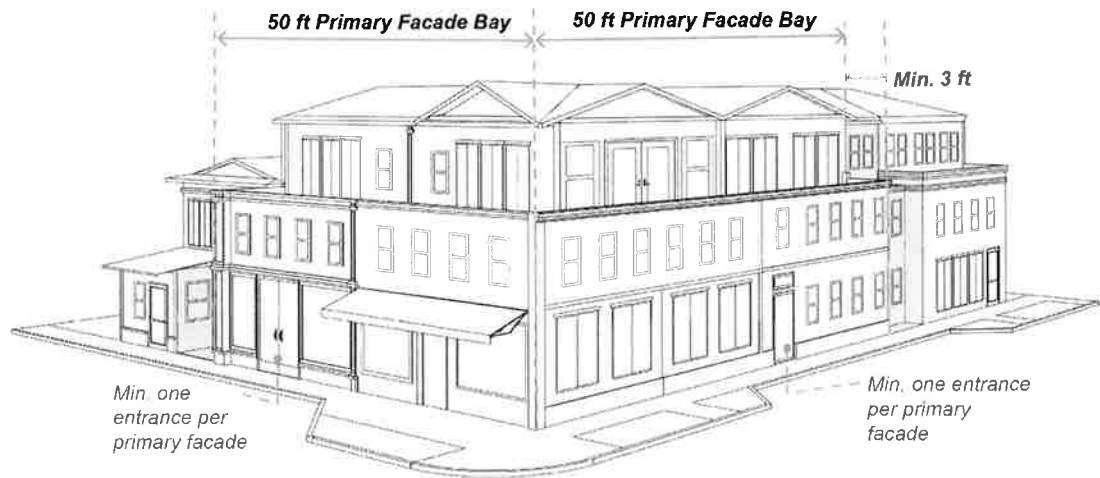
1. *Upper-story Step-backs, Front and Street Side.*

- a. The third story must be either stepped back a minimum 5 feet from the ground floor façade or embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, as allowed by standards in Section 14.54.130.A.6.
- b. For buildings over three stories, the uppermost story must be embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, as allowed by standards in Section 14.54.130.A.6.

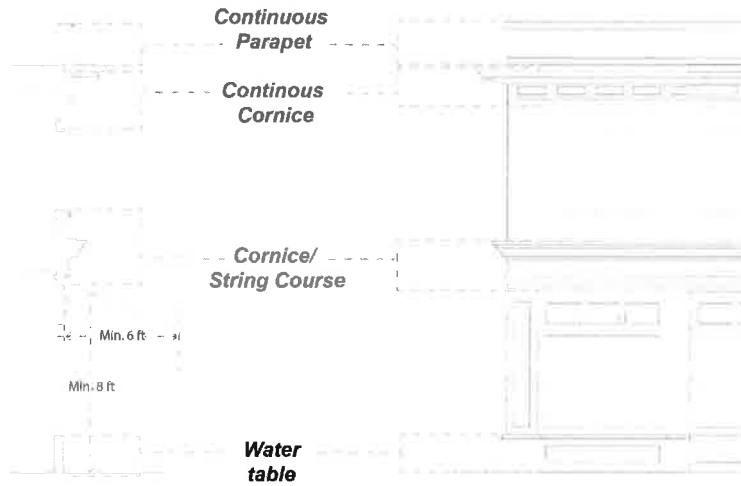
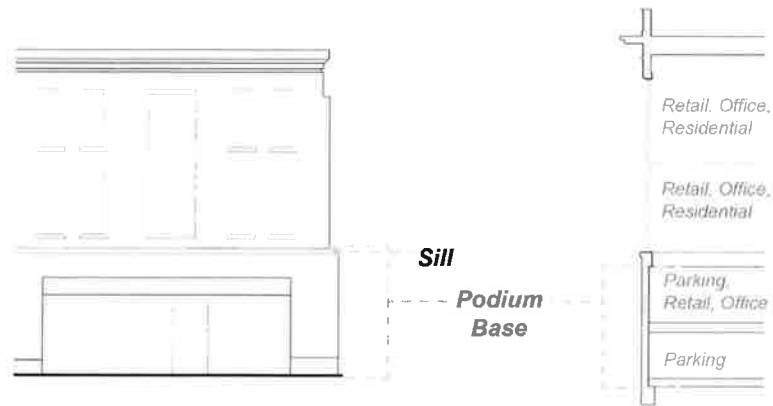


2. *Vertical Articulation.*

- a. When a building façade exceeds 50 feet in length along a right of way, it must be separated into primary façade bays no greater than 50 feet and secondary façade bays defined by a recess a minimum 3 feet deep and 10 feet wide.
- b. A minimum one entrance shall be provided per primary façade bay.
- c. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.



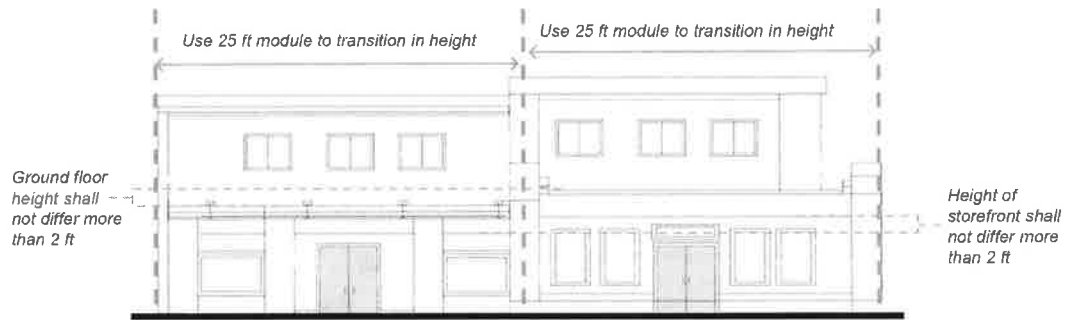
3. **Horizontal Articulation.** New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.
- a. One or more of the following patterns shall be used to define the base:
 - i. Watertable: Base material extends from grade to between 8 and 54 inches above grade.
 - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound (multi-story buildings only).
 - iii. Watertable + Cornice/String Course: A watertable using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine (multi-story buildings only).
 - b. The top of each building mass/bay shall be defined by elements spanning the full length of the façade of the mass/bay. Such elements may include a cornice, eave and/or gable(s), or other elements listed under Section 17.54.130.A.6. These elements shall be consistent with the overall architectural style of the building mass/bay.



4. **Adjacencies.**

a. *Storefront Facades Adjacent to Storefront Facades.*

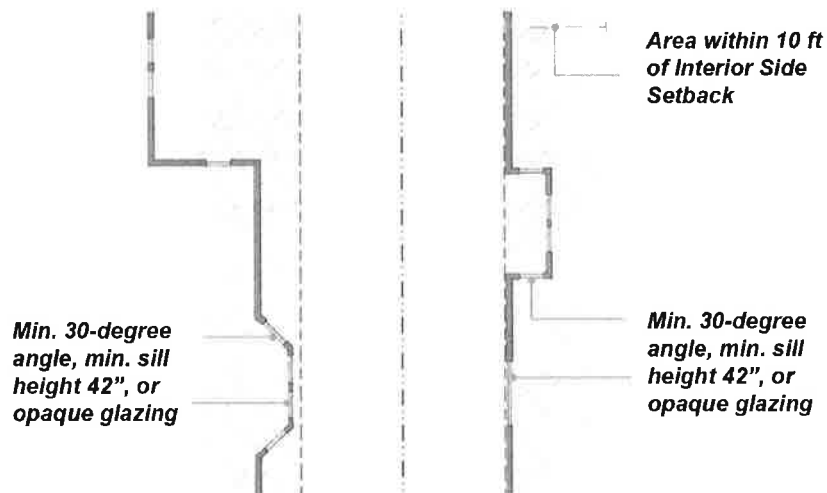
- i. The height of a storefront shall not differ from the height of any adjacent storefront by more than 2 feet.
- ii. The height of ground story shall not differ from height of any adjacent ground story by more than 2 feet.
- iii. Storefronts may transition in height using a module of 25 feet in length along a right-of-way.



- b. **Compatibility with Adjacent Shorter Buildings with Height Difference of One Story or More.** When adjacent to an existing shorter building with a height difference of one story or more, a proposed building must utilize two or more of the following strategies:
 - i. Incorporate the uppermost floor into the roof form
 - ii. Break the mass of the building into smaller modules through changes in wall plane, setbacks, and/or height
 - iii. Match window heights and/or proportions
 - iv. Relate roof cornices and moldings at floor lines

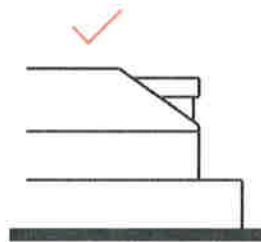
5. **Privacy and Line of Sight.**

- a. Primary living spaces and balconies located along a side setback shall orient principal windows and balconies toward the front and rear of the building.
- b. Where windows are within 10 feet of and oriented toward an interior side setback, glazing shall either be a minimum 30-degree angle measured perpendicular to the adjacent side setback line, have minimum sill height of 42 inches, or be opaque.
- c. The maximum sill height for an ingress/egress window is 44 inches from finished floor.

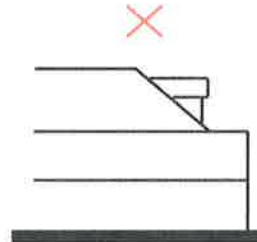


6. **Roofline and Roof Design.**

- a. Roof designs shall be limited to:
- i. Hipped
 - ii. Gable
 - iii. Mansard
 - (a) Applicable for buildings 3 or more stories.
 - iv. Dormer
 - v. Parapet.
 - (a) When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
 - (1) Steps
 - (2) Curves
 - (3) Angled surfaces
 - (b) The length of a parapet segment on the third floor and above may not exceed 25 feet.
- b. When the top story is stepped back and embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, the floor below must (and other floors may) be stepped back to meet the slope of the top story.



Acceptable:
One story below the story embedded in a sloped roof is also stepped-back .



Not acceptable:
Top story embedded in a sloped roof is the only story stepped back.

- c. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.

- d. Roofline/parapet at corners shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.

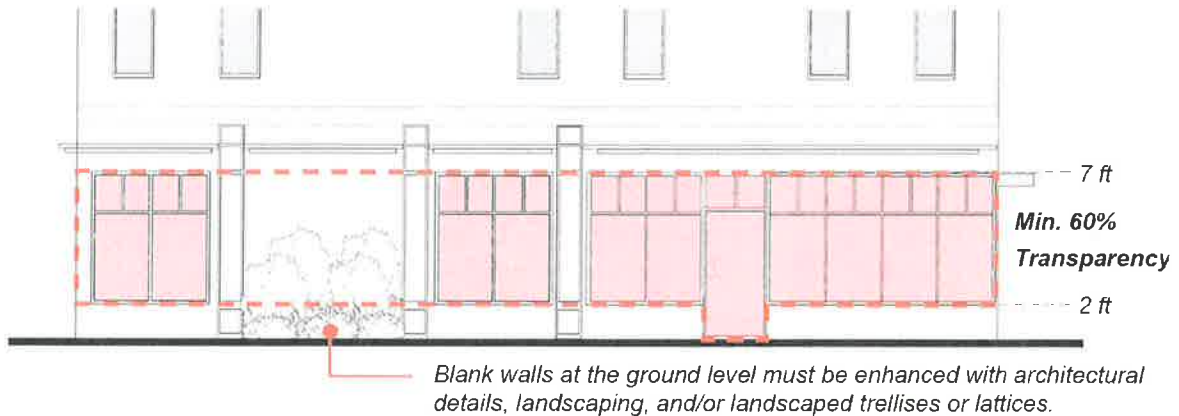


B. Building Design.

1. Façade Design.

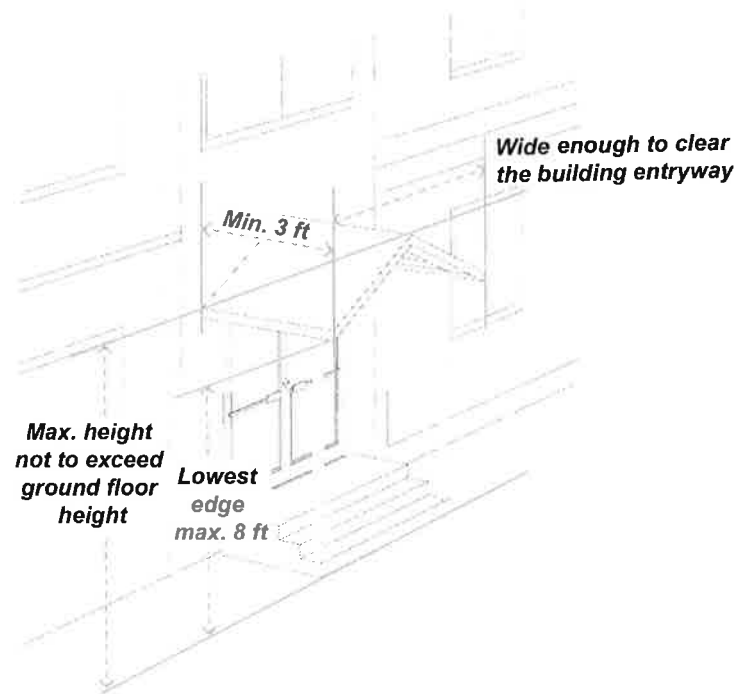
- a. Building façade must continue the pattern established by existing buildings in Downtown Los Altos by reinforcing the underlying maximum 25-foot module along all street frontages through the use of the following techniques:
- i. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls, columns, or other structural elements. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
 - ii. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
 - iii. Residential facades shall incorporate at least one element that signals habitation, such as bay windows, or balconies.
 - iv. Non-glazed wall areas (blank walls) must be enhanced with architectural details, landscaping, and/or landscaped trellises or lattices.
- b. At least two of the following strategies must be used in a manner that reinforces the maximum 25-foot module:
- i. Change in roof parapet height or shape.
 - ii. Change in roof style
 - iii. Change in materials palette
 - iv. Change in building height, minimum 8-foot difference.
 - v. Change in frontage type or change in details of Shopfront frontage type if used.
 - vi. Use of upper floor projections such as bay windows or balconies.

2. **Ground Level Transparency.** A minimum 60 percent of commercial ground floor street-facing facades between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.

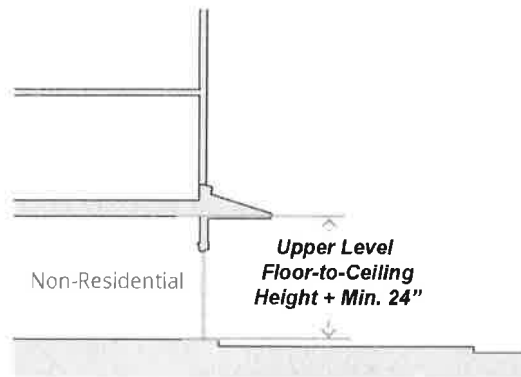


3. **Pedestrian-Scaled Entrances.**
- a. Building entrances must incorporate at least one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.
 - i. Shopfront
 - (a) Shopfronts more than 25 feet in width must incorporate variations in bulkhead, awnings, materials and/or color to visually articulate the shopfront into modules not to exceed 25 continuous feet.
 - ii. Gallery
 - iii. Arcade with Shopfront frontage.
 - b. *Primary Entrance Location(s).* Locate primary entrance on the front right-of-way.
 - c. *Corner Entrances.* Chamfered corners must incorporate a building entrance. Any required entrances may be provided on the corner of the building assuming one of the intersecting sides is a primary frontage.
 - d. *Street-facing Entries to Upper Floors.* Street-facing entries to upper floors shall be equal in quality and detail to storefronts. This standard may be satisfied through two or more of the following:
 - i. Dedicated awning, canopy, or other roof element
 - ii. Stairs with a single color applied to treads and a contrasting color or pattern applied to risers
 - iii. Dedicated light fixture(s)
 - iv. Decorative street address numbers or tiles

- v. Plaque signs for upper-floor business tenants
- e. **Entry Protection.** Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides.
 - i. Protection may be coterminous with an accent element.
 - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
- i. The lowest edge of a projecting awning or door canopy shall have a vertical clearance of no more than 8 feet.
- ii. Recessed entries shall differentiate pavement within the recess through the use of a dedicated paving material or pattern.



- f. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story. Roof elements are excepted.
4. **Ground Floor Floor-to-Ceiling Height.** Minimum 24 inches taller than typical upper floor floor-to-ceiling height.



5. **Interior Courtyard.** Interior courtyards must be:
 - a. Partially visible from the street and linked to the street by a clear accessible path of travel.
 - b. Enclosed on at least two sides by buildings
 - c. Open to the sky (arbors and trellises are allowed)
 - d. A minimum width of 20 feet and a minimum area of 400 square feet.
6. **Paseos.** Paseos must be:
 - a. A minimum width of 10 feet for through-block paseos.
 - b. A minimum width of 4 feet for entries to courtyards or individual single businesses.

C. Window Design.

1. Window frames, backbands, and sills.
 - a. All windows shall have a sill.
 - i. The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
 - ii. The sill shall be sloped toward the outside.
 - iii. The sill shall have a drip at its outer edge.
2. Vinyl are prohibited on facades visible from a right-of-way.
3. Tinted glass is not allowed.

D. Building Materials.

1. Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard

- ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum are not permitted.
 - c. Stone
 - d. Brick
- 2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone (watertable and building base only)
 - d. Brick (watertable and building base only)
 - e. Tile (for bulkheads below display windows and decorative accents only)
 - f. Metal (matte finish or Cor-ten)
 - i. Ribbed metal, titanium, and mirrored finishes not allowed.
 - g. Concrete Masonry Units (watertable and building base only, and not allowed on any façade facing a right-of-way or a single-family zone).
 - h. Concrete (watertable and building base only, board-form only, cast concrete not permitted).

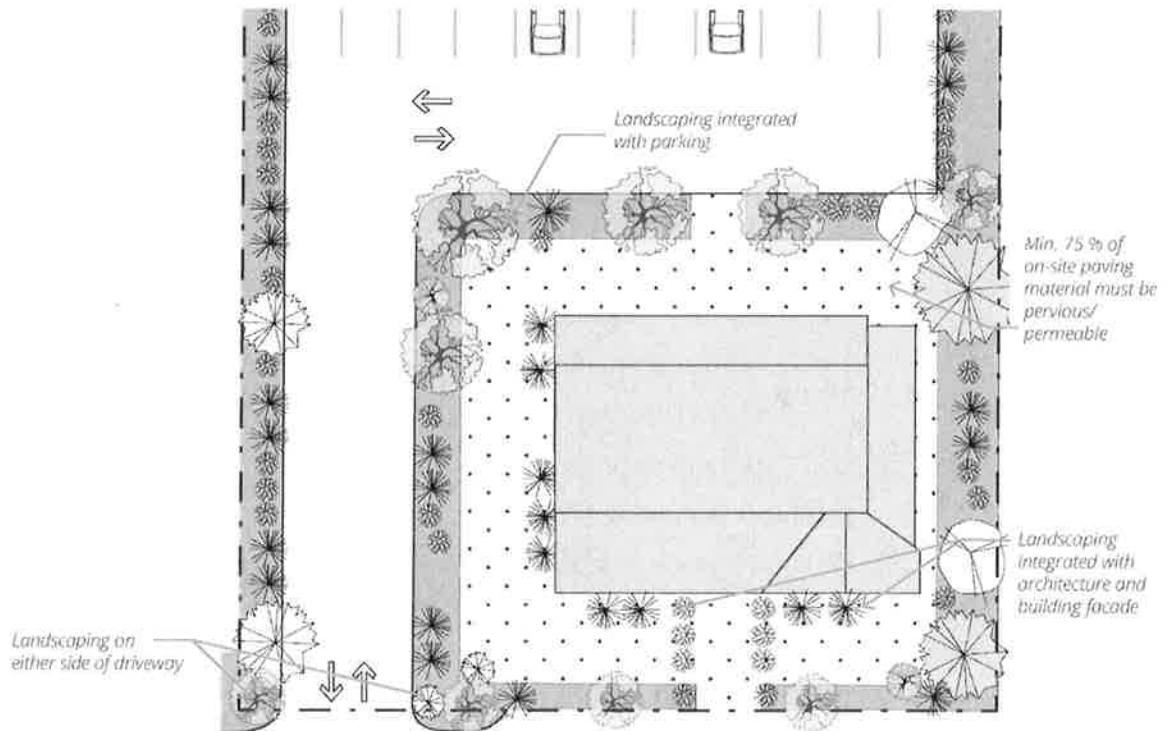
E. Downtown Gateway. A downtown gateway is located at the intersection of Edith Avenue, State Street, and San Antonio Road.

- 1. Building design at gateway intersection shall include:
 - a. Façade lighting; and
 - b. Overhangs or sloped roof forms.
- 2. Ground-floor design at gateway intersections must address both street frontages through:
 - a. Entrances that are visible and directly accessible from both streets;
 - b. Building transparency beyond the required minimum for the first 15 feet of building frontage from the corner;
 - c. Landscaped area with a minimum dimension of six feet; and
 - d. A usable public space with pedestrian-scaled features.

F. Landscaping and Paving, and Pedestrian Amenities

- 1. Landscaping must be placed on each side of a driveway at grade or in raised planters.

2. All paving located adjacent to a sidewalk must be textured (decorative or permeable).
3. A minimum 75 percent of on-site paving material must be pervious/permeable.
4. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Recommended patterns shall include, but are not limited to:
 - a. Planters for flowers and shrubs within street frontage.
 - b. Landscape buffers between parking spaces and building facades.
 - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.
 - d. A publicly visible and accessible pedestrian amenity such as benches, a fountain, a rain garden, decorative paving, and/or public art.
5. See Sections 14.66.180 (Maintenance of Landscaped Areas) and 14.70.070 (Landscaped Strips) for additional landscaping standards.

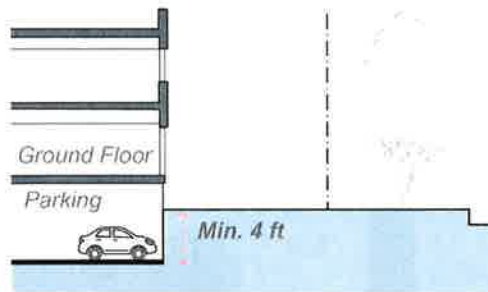


G. Parking Design and Access

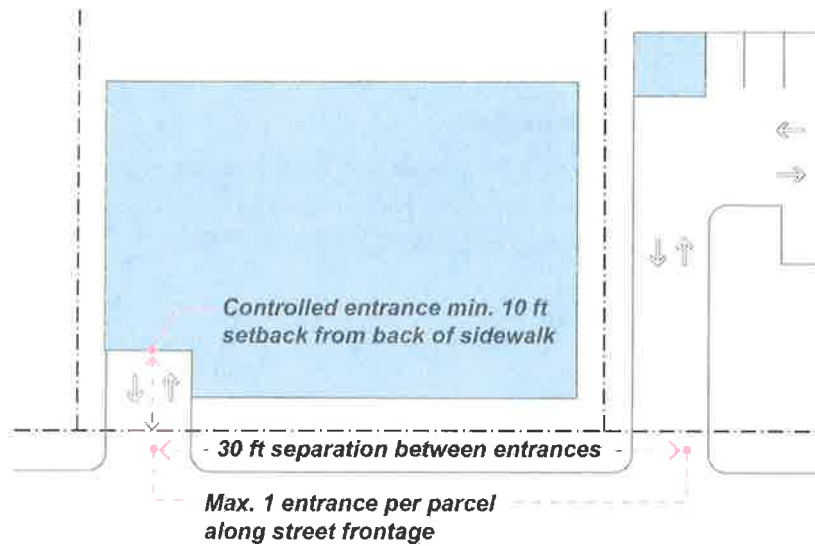
1. Where structured parking is provided, the parking area must be either:
 - a. "Lined" with ground floor non-residential uses at least 30 feet deep as measured from the front façade; or



- b. Designed such that the floor elevation is a minimum 4 vertical feet below the elevation of the adjacent sidewalk.



- 2. Visible structured parking must be screened from view from the right-of-way by at least one of the following features:
 - a. Regular punched openings designed to resemble windows of habitable spaces
 - b. Trellis/living wall
 - c. Custom textured or decorative screening
- 3. **Entrances to Parking Facilities.**
 - a. Controlled entrances to parking facilities (gates, doors, etc.) shall be located a minimum 10 feet from the back of sidewalk.
 - b. Entrances to parking facilities along a street frontage shall be separated by a minimum of 40 feet, excluding access to parking plazas.
 - c. Where possible, curb cuts serving adjacent parking facilities shall be shared.



H. Site Circulation and Access

1. A clearly defined, lighted and landscaped pedestrian route shall be provided between all parking areas and primary pedestrian entrance.
2. New development on abutting lots shall be designed to allow cross-access for internal pedestrian, bicycle, and vehicular circulation systems.
3. Bicycle racks shall be provided:
 - a. In or within 50 feet of every parking area; and
 - b. Within 20 feet of at least one building entrance.

I. Service Areas and Screening.

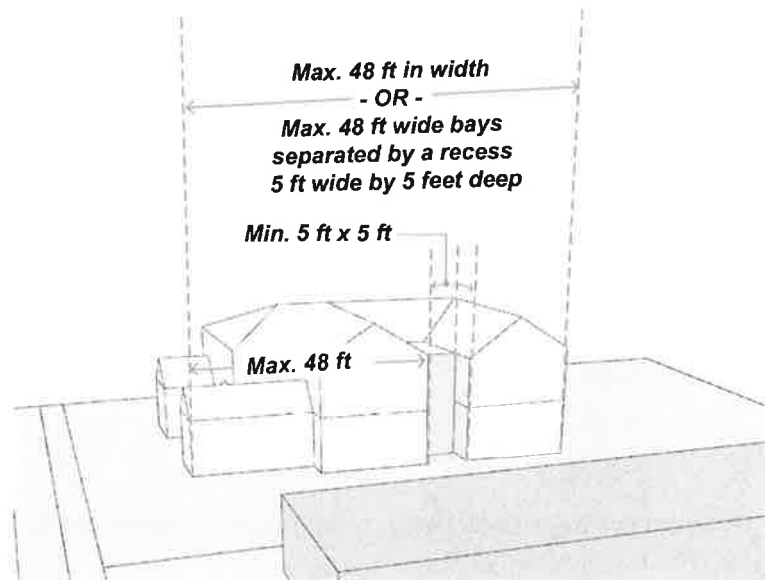
1. Service areas must be located at the rear of lot or along a parking plaza.
2. Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

J. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all residential mixed-use development in the CRS/OAD District.

Revised 14.16.100 Design Control (R3-4.5)

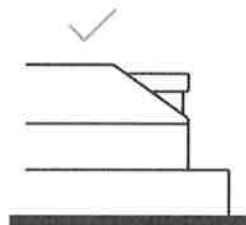
A. Building Massing and Articulation.

1. For buildings exceeding the height limit established in the applicable base and overlay zone, the right-of-way-facing facades of the uppermost floor must be embedded in a sloped roof form as allowed by Section 14.16.1100.A.4.
2. **Vertical Articulation.**
 - a. Each building volume shall be defined according to one of the following classifications:
 - i. Main Body (one per building): The widest volume of the structure, containing main entrances and the most public interior spaces.
 - ii. Wing (optional, multiple per main body allowed): A narrower volume attached to a Main Body volume.
 - b. Each Main Body volume shall contain at least one entrance.
 - c. Street-facing Wings shall be recessed by no less than 3 feet relative to the front façade of the Main Body.
 - d. The eave/roof of a Wing shall be no higher than the corresponding elements of the Main Body.
3. **R-1 Adjacencies.**
 - a. Building façade planes abutting an R-1 district may not exceed 48 feet in width.
 - b. When a building façade abutting an R-1 district exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 5 feet wide and 5 feet deep.
 - c. Balconies, roof decks and other habitable outdoor space is not allowed on upper-story facades abutting R-1 zones.
 - d. Sliding glass doors, French doors, and floor-to-ceiling windows are not allowed on upper-story facades abutting R-1 zones.

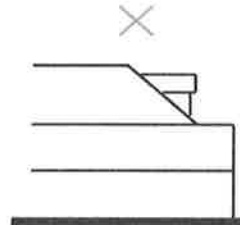


4. **Roofline and Roof Design.**

- a. Acceptable roof forms are limited to:
 - i. Hipped
 - ii. Gable
 - iii. Dormer
- b. When the top story is stepped back and embedded in a sloped roof form, the floor below must (and other floors may) be stepped back to meet the slope of the top floor.



Acceptable:
One story below the
story embedded in a
sloped roof is also
stepped-back .

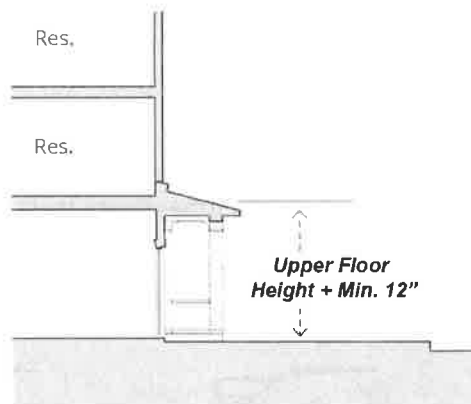


Not acceptable:
Top story embedded
in a sloped roof is the
only story stepped
back.

- c. Façade facing R-1 Zone must utilize a hipped or gable roof and may incorporate dormers.
- d. Roofline at corners shall not exceed roofline of adjacent wallplanes by more than 24 inches.

B. Building Design.

1. **Façade Composition.** Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
2. **Building Entrances.** Building entrances must incorporate one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.
 - a. Stoop
 - b. Porch
 - c. Dooryard
3. **Primary Entrance Location(s).** Locate primary entrance along the front right-of-way and/or interior courtyard.
4. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling height.



C. Window Design.

1. All windows must have a sill.
2. Vinyl sliding windows are prohibited on facades visible from a right-of-way.

D. Building Materials.

1. Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum are not permitted.

- c. Stone
 - d. Brick
2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:
- a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone (watertable and building base only)
 - d. Brick (watertable and building base only)
 - e. Tile
 - f. Concrete (watertable and building base only, board-form only, cast concrete not permitted).

E. Screening.

- 1. Service, trash, and utility areas must be screened from view of the right-of-way.
- 2. Screening must be architecturally consistent with primary building in terms of materials, colors, and style.

F. Topography and Grading.

- 1. A stepped foundation is required where the average slope beneath the proposed structure exceeds 10 percent.
- 2. Terracing and plantings must reflect the shape of the natural terrain.

G. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all multi-family development in the R3-4.5 District.

Revised 14.18.120 Design Control (R3-5)

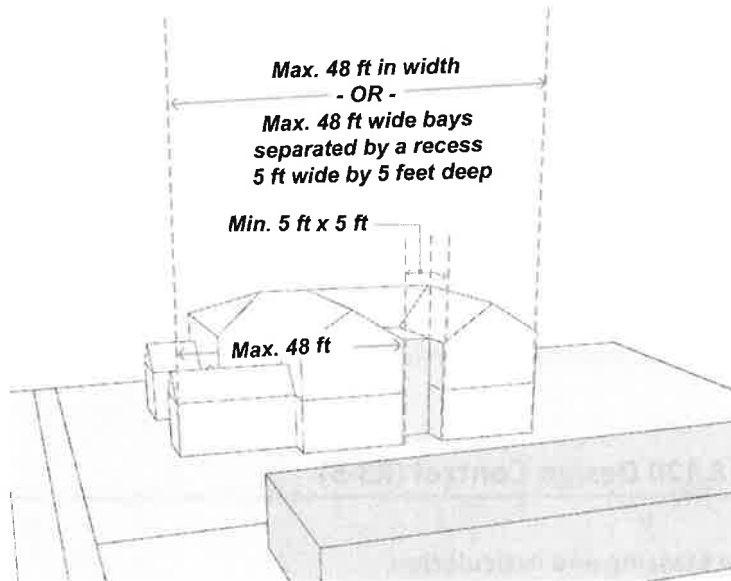
A. Building Massing and Articulation.

- 1. For buildings exceeding the height limit established in the applicable base and overlay zone, the right-of-way-facing facades of the uppermost floor must be embedded in a sloped roof form as allowed by Section 14.18.120.A.4.
- 2. **Vertical Articulation**
 - a. Each building volume shall be defined according to one of the following classifications:

- i. Main Body (one per building): The widest volumes of the structure, containing main entrances and the most public interior spaces.
 - ii. Wing (optional, multiple per main body allowed): A narrower volume attached to a Main Body volume.
- b. Each Main Body volume shall contain at least one entrance.
 - c. Street-facing Wings shall be recessed by no less than 3 feet relative to the front façade of the Main Body.
 - d. The eave/roof of a Wing shall be no higher than the corresponding elements of the Main Body.

3. **R-1 Adjacencies.**

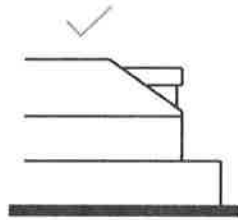
- a. Building façade planes abutting an R-1 district may not exceed 48 feet in width.
- b. When a building façade abutting an R-1 district exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 5 feet wide and 5 feet deep.
- c. Balconies, roof decks and other habitable outdoor space is not allowed on upper-story facades abutting R-1 zones.
- d. Sliding glass doors, French doors, and floor-to-ceiling windows are not allowed on upper-story facades abutting R-1 zones.



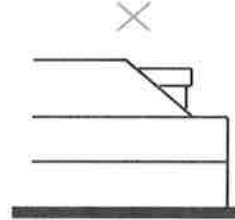
4. **Roofline and Roof Design.**

- a. Acceptable roof forms:
 - i. Hipped
 - ii. Gable
 - iii. Dormer

- b. When the top story is stepped back and embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, the floor below must (and other floors may) be stepped back to meet the slope of the top story.



Acceptable:
One story below the story embedded in a sloped roof is also stepped-back .

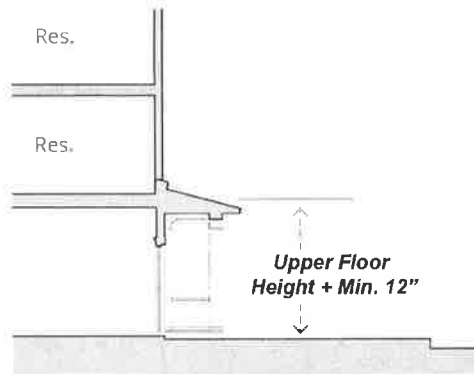


Not acceptable:
Top story embedded in a sloped roof is the only story stepped back.

- c. Façade facing R-1 Zone must utilize a hipped or gable roof and may incorporate dormers.
- d. Roofline at corners shall not exceed roofline of adjacent wallplanes by more than 24 inches.

B. Building Design.

1. **Façade Composition.** Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
2. **Building Entrances.** Building entrances must incorporate one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.
 - a. Stoop
 - b. Porch
 - c. Dooryard
3. **Primary Entrance Location(s).** Locate primary entrance on the front ROW and/or interior courtyard.
4. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling height.



C. Window Design.

1. All windows must have a sill.
2. Vinyl sliding windows are prohibited on facades visible from a right-of-way.

D. Building Materials.

1. Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone
 - d. Brick
2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone (watertable and building base only)
 - d. Brick (watertable and building base only)
 - e. Tile
 - f. Concrete (watertable and building base only, board-form only, cast concrete not permitted).

E. Landscaping.

1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
2. Low walls and/or hedges must screen the parking along the sidewalk. When walls are used, the materials and design must be compatible with and not obscure the architectural style of the building.

F. Screening.

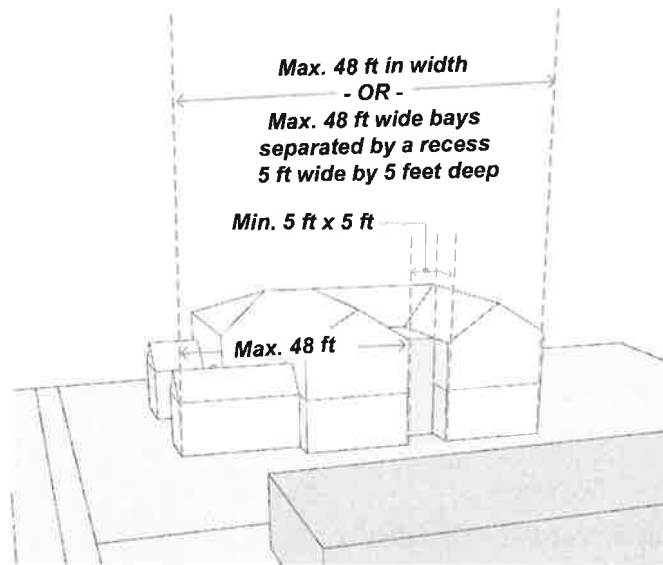
1. Service, trash, and utility areas must be screened from view of the right-of-way.
2. Screening must be architecturally consistent with primary building in terms of materials, colors, and style.

G. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all multi-family development in the R3-5 District.

Revised 14.20.120 Design Control (R3-3)

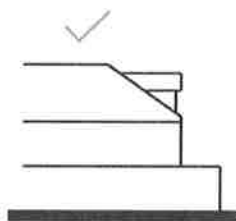
A. Building Massing and Articulation.

1. For buildings exceeding the height limit established in the applicable base and overlay zone, the right-of-way-facing facades of the uppermost floor must be embedded in a sloped roof form as allowed by Section 14.20.120.A.4.
2. **Vertical Articulation**
 - a. Each building volume shall be defined according to one of the following classifications:
 - i. Main Body (one per building): The widest volumes of the structure, containing main entrances and the most public interior spaces.
 - ii. Wing (optional, multiple per main body allowed): A narrower volume attached to a Main Body volume.
 - b. Each Main Body volume shall contain at least one entrance.
 - c. Street-facing Wings shall be recessed by no less than 3 feet relative to the front façade of the Main Body.
 - d. The eave/roof of a Wing shall be no higher than the corresponding elements of the Main Body.
3. **R-1 Adjacencies.**
 - a. Building façade planes abutting an R-1 district may not exceed 48 feet in width.
 - b. When a building façade abutting an R-1 district exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 5 feet wide and 5 feet deep.
 - c. Balconies, roof decks and other habitable outdoor space is not allowed on upper-story facades abutting R-1 zones.
 - d. Sliding glass doors, French doors, and floor-to-ceiling windows are not allowed on upper-story facades abutting R-1 zones.

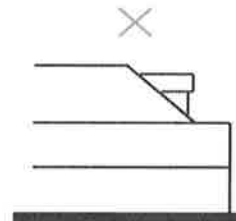


4. **Roofline and Roof Design.**

- a. Acceptable roof forms:
 - i. Hipped
 - ii. Gable
 - iii. Dormer
- b. When the top story is stepped back and embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, the floor below must (and other floors may) be stepped back to meet the slope of the top story.
- c. Façade facing R-1 Zone must utilize a hipped or gable roof and may



Acceptable:
One story below the story embedded in a sloped roof is also stepped-back .



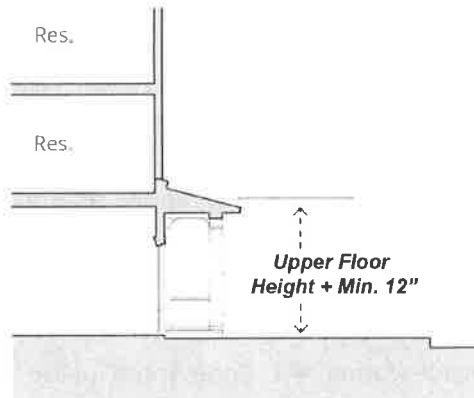
Not acceptable:
Top story embedded in a sloped roof is the only story stepped back.

incorporate dormers.

- d. Roofline at corners shall not exceed roofline of adjacent wallplanes by more than 24 inches.

B. Building Design.

1. **Façade Composition.** Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
2. **Building Entrances.** Building entrances must incorporate one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.
 - a. Stoop
 - b. Porch
 - c. Dooryard
3. **Primary Entrance Location(s).** Locate primary entrance along the front right-of-way and/or interior courtyard.
4. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling height.



C. Window Design.

1. All windows must have a sill.
2. Vinyl sliding windows are prohibited on facades visible from a right-of-way.

D. Building Materials.

1. Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.

- c. Stone
 - d. Brick
2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:
- a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone (watertable and building base only)
 - d. Brick (watertable and building base only)
 - e. Tile
 - f. Concrete (watertable and building base only, board-form only, cast concrete not permitted).

E. Landscaping.

- 1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
- 2. Low walls and/or hedges must screen the parking along the sidewalk. When walls are used, the materials and design must be compatible with and not obscure the architectural style of the building.

F. Screening.

- 1. Service, trash, and utility areas must be screened from view of the right-of-way.
- 2. Screening must be architecturally consistent with primary building in terms of materials, colors, and style.

G. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all multi-family development in the R3-3 District.

Revised 14.22.110 Design Control (R3-1.8)

A. Building Massing and Articulation.

1. *Upper-story Step-backs.*

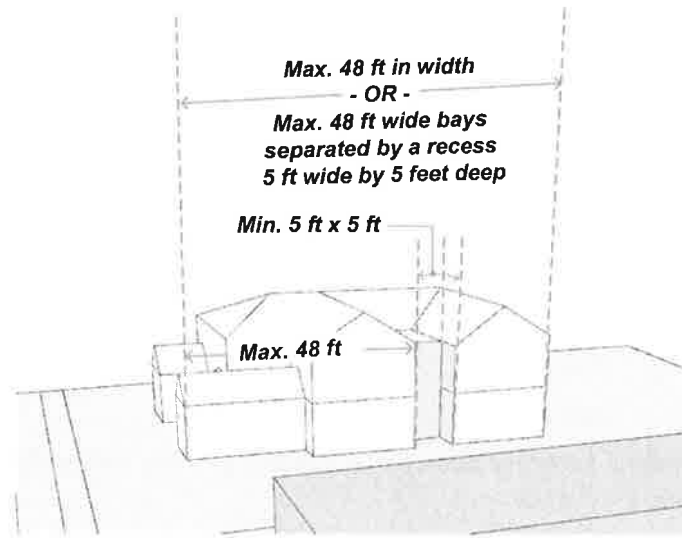
- a. *Front:* Minimum 5 feet from ground floor façade for third story and above for building facades 50 feet or greater in width.
- b. *Street Side:* Minimum 5 feet from ground floor façade for third story and above for building facades 50 feet or greater in width.
- c. For buildings exceeding the height limit established in the applicable base and overlay zone, the right-of-way-facing facades of the uppermost floor must be embedded in a sloped roof form as allowed by Section 14.22.110.A.4.

2. *Vertical Articulation*

- a. Each building volume shall be defined according to one of the following classifications:
 - i. *Main Body* (one per building): The widest volumes of the structure, containing main entrances and the most public interior spaces.
 - ii. *Wing* (optional, multiple per main body allowed): A narrower volume attached to a Main Body volume.
- b. Each Main Body volume shall contain at least one entrance.
- c. Street-facing Wings shall be recessed by no less than 3 feet relative to the front façade of the Main Body.
- d. The eave/roof of a Wing shall be no higher than the corresponding elements of the Main Body.

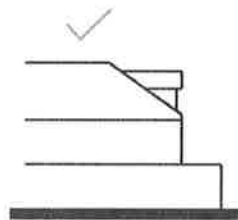
3. *R-1 Adjacencies.*

- a. Building façade planes abutting an R-1 district may not exceed 48 feet in width.
- b. When a building façade abutting an R-1 district exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 5 feet wide and 5 feet deep.
- c. Balconies, roof decks and other habitable outdoor space is not allowed on upper-story facades abutting R-1 zones.
- d. Sliding glass doors, French doors, and floor-to-ceiling windows are not allowed on upper-story facades abutting R-1 zones.

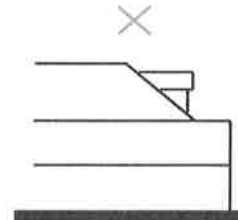


4. **Roofline and Roof Design.**

- a. Acceptable roof forms:
 - i. Hipped
 - ii. Gable
 - iii. Dormer
- b. When the top story is stepped back and embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, the floor below must (and other floors may) be stepped back to meet the slope of the top story.



Acceptable:
One story below the
story embedded in a
sloped roof is also
stepped-back .

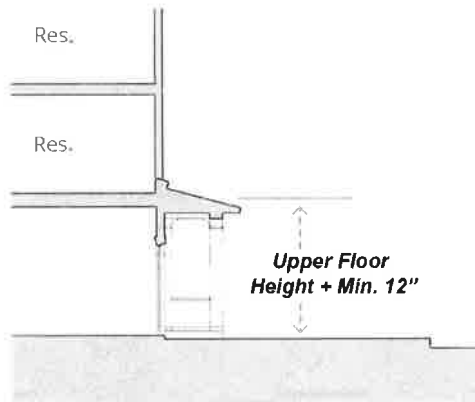


Not acceptable:
Top story embedded
in a sloped roof is the
only story stepped
back.

- c. Façade facing R-1 Zone must utilize a hipped or gable roof and may incorporate dormers.
- d. Roofline at corners shall not exceed roofline of adjacent wallplanes by more than 24 inches.

B. Building Design.

1. **Façade Composition.** Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
2. **Building Entrances.** Building entrances must incorporate one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.
 - a. Stoop
 - b. Porch
 - c. Dooryard
3. **Primary Entrance Location(s).** Locate primary entrance on the front ROW and/or interior courtyard.
4. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling height.



C. Storage. Each multi-family residential dwelling unit shall have a minimum of ninety-six (96) cubic feet of enclosed storage, excluding closet and garage areas.

D. Window Design.

1. All windows must have a sill.
2. Vinyl sliding windows are prohibited on facades visible from a Right of Way.

E. Building Materials.

1. Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.

- ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone
 - d. Brick
- 2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard
 - ii. Wood siding shall be painted or stained
 - iii. Vinyl and aluminum siding are not permitted
 - c. Stone (watertable and building base only)
 - d. Brick (watertable and building base only)
 - e. Tile
 - f. Concrete (watertable and building base only, board-form only, cast concrete not permitted)

F. Landscaping.

- 1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
- 2. Low walls and/or hedges must screen the parking along the sidewalk. When walls are used, the materials and design must be compatible with and not obscure the architectural style of the building.

G. Screening.

- 1. Service, trash, and utility areas must be screened from view of the right-of-way.
- 2. Screening must be architecturally consistent with primary building in terms of materials, colors, and style.

H. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all multi-family development in the R3-1.8 District.

Revised 14.24.110 Design Control (R3-1)

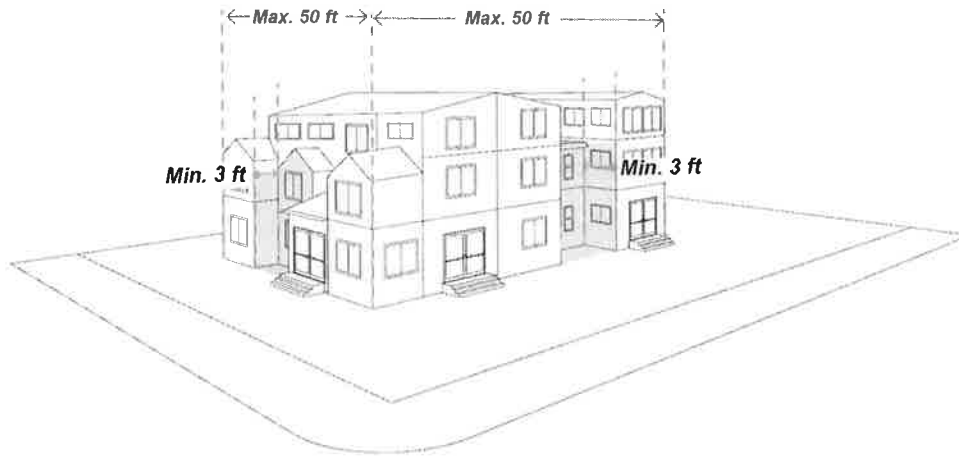
A. Building Placement. A minimum 85 percent of the building frontage must be built at the minimum setback line. This standard applies to the building frontage only (exclusive of side setbacks).

B. Building Massing and Articulation.

1. **Upper-story Step-backs.**

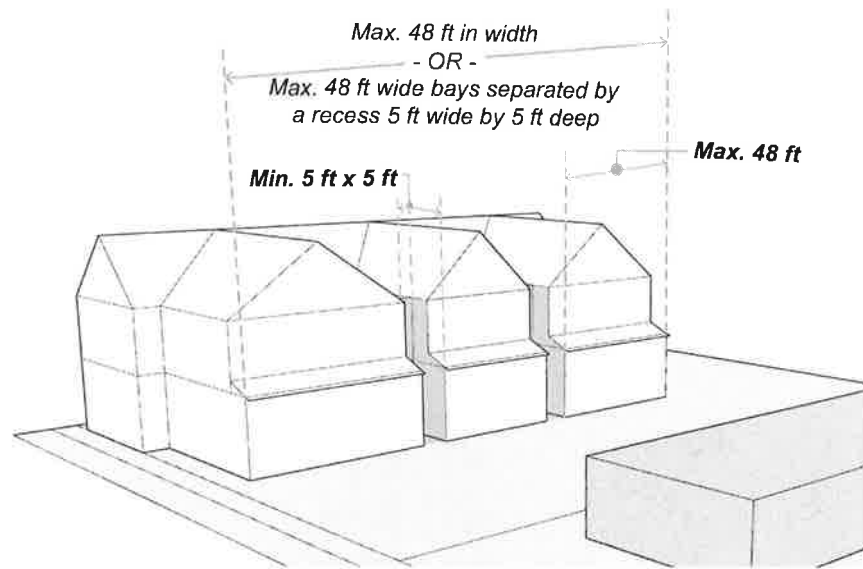
- a. *Front:* Minimum 5 feet from ground floor façade for fourth story and above for building facades 50 feet or greater in width.
- b. *Street Side:* Minimum 5 feet from ground floor façade for fourth story and above for building facades 50 feet or greater in width.
- c. *Interior Side and Rear Abutting an R-1 District:* Minimum 5 feet from ground floor façade for fourth story and above.
- d. For buildings exceeding the height limit established in the applicable base and overlay zone, the right-of-way-facing facades of the uppermost floor must be embedded in a sloped roof form as allowed by Section 14.24.110.A.5.

2. **Vertical Articulation.** When a building façade exceeds 50 feet in length along a right of way, it must be separated into primary façade bays no greater than 50 feet and secondary façade bays defined by a recess a minimum 3 feet deep and 10 feet wide.



3. **R-1 Adjacencies.**

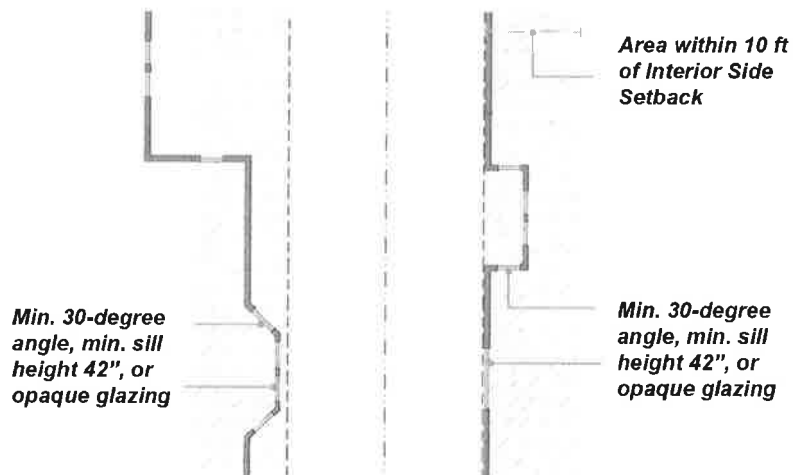
- a. Building façade planes abutting an R-1 district may not exceed 48 feet in width.
- b. When a building façade abutting an R-1 district exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 5 feet wide and 5 feet deep.



- c. Balconies, roof decks and other habitable outdoor space is not allowed on upper-story facades abutting R-1 zones.
- d. Sliding glass doors, French doors, and floor-to-ceiling windows are not allowed on upper-story facades abutting R-1 zones.

4. **Privacy and Line of Sight.**

- a. Primary living spaces and balconies located along a side setback shall orient principal windows and balconies toward the front and rear of the building.
- b. Where windows are within 10 feet of and oriented toward an interior side setback, glazing shall either be a minimum 30-degree angle measured perpendicular to the adjacent side setback line, have minimum sill height of 42 inches, or be opaque.
- c. The maximum sill height for an ingress/egress window is 44 inches from finished floor.



5. **Roofline and Roof Design.**

a. Roof designs shall be limited to:

- i. Hipped
- ii. Gable
- iii. Dormer
- iv. Parapet

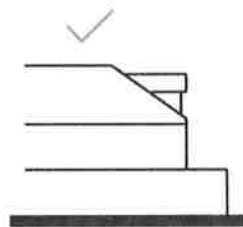
(a) When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:

- (1) Steps
- (2) Curves
- (3) Angled surfaces

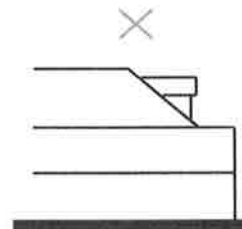
(b) Parapet limited to 25 percent of cumulative roof perimeter on the third floor and above.

(c) The length of a parapet segment on the third floor and above may not exceed 25 feet.

b. When the top story is stepped back and embedded in a sloped roof form such as a mansard roof or a hipped and/or gabled roof with dormers, the floor below must (and other floors may) be stepped back to meet the slope of the top story.



Acceptable:
One story below the story embedded in a sloped roof is also stepped-back .



Not acceptable:
Top story embedded in a sloped roof is the only story stepped back.

c. Façade facing R-1 Zone must utilize a hipped or gable roof and may incorporate dormers.

d. Corner Treatment. Roofline/parapet at corners shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.

C. Building Design.

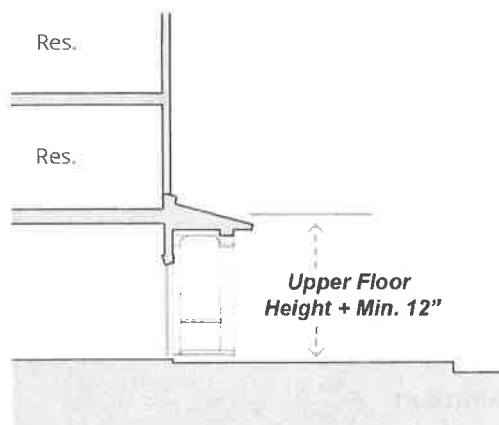
1. ***Façade Composition.***

- a. Building facades must continue the pattern established by existing buildings in Downtown Los Altos by reinforcing the underlying maximum 25-foot module along all street frontages through the use of the following techniques:
 - i. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns.
 - ii. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
 - iii. Facades shall incorporate at least one element that signals habitation, such as porches, bay windows, or balconies.
 - iv. Non-glazed wall areas (blank walls) must be enhanced with architectural details, landscaping, and/or landscaped trellises or lattices.
- a. At least two of the following strategies must be used in a manner that reinforces the maximum 25-foot module:
 - i. Change in roof parapet height or shape.
 - ii. Change in roof style
 - iii. Change in materials palette
 - iv. Change in building height, minimum 8-foot difference.
 - v. Change in frontage type or change in details of Shopfront frontage type if used.
 - vi. Use of upper floor projections such as bay windows or balconies.

2. ***Building Entrances.*** Building entrances must incorporate one of the following entry features. See Section 14.66.275 (Entrance Type Standards) for design standards applicable to each entrance type listed.

- a. Stoop
- b. Porch
- c. Dooryard
- d. Gallery
- e. Arcade
- f. Forecourt
 - i. Forecourts must feature at least one entry to a shop and/or second floor use.

- ii. Forecourts for buildings more than 70 feet in length along a right-of-way must have a minimum width and depth of 15 feet from front façade. Width of forecourt shall be equal to or greater than depth.
 - iii. The size of the forecourt must be appropriate relative to the size of the building. The maximum ratio of building height to forecourt is 2:1 (height < 2 x width).
 - iv. Forecourt must be enclosed on at least three sides by buildings.
 - v. Forecourt must remain open to the sky (arbors and trellises are allowed).
- g. Terrace
- 3. **Primary Entrance Location(s).** Locate primary entrance on the front ROW and/or interior courtyard.
- 4. **Individual Entries.** Ground floor residential units facing a street must provide individual entries along the street frontage.
- 5. **Interior Courtyard.** Interior courtyards must be:
 - a. Enclosed on at least two sides by buildings
 - b. Open to the sky (arbors and trellises are allowed)
 - c. A minimum width of 20 feet and a minimum area of 400 square feet.
- 6. **Paseos.** Paseos must be:
 - a. A minimum width of 10 feet for through-block paseos
 - b. A minimum width of 4 feet for entries to courtyards or individual single businesses.
- 7. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling height.



D. Window Design.

- 1. All windows must have a sill.

2. Vinyl sliding windows are prohibited on facades visible from a right-of-way.

E. Building Materials.

1. Primary shall mean 50 percent or more of a façade surface area excluding transparent surfaces. Permitted primary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco or EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone
 - d. Brick
2. Secondary shall mean less than 50 percent of a façade surface area excluding transparent surfaces. Permitted secondary cladding materials are limited to:
 - a. Stucco (minimum 2-coat stucco; synthetic stucco not allowed, EIFS not allowed)
 - b. Siding (lap, vertical, or shingle)
 - i. All siding shall be wood, composite wood, or cement fiberboard.
 - ii. Wood siding shall be painted or stained.
 - iii. Vinyl and aluminum siding are not permitted.
 - c. Stone (watertable and building base only)
 - d. Brick (watertable and building base only)
 - e. Tile
 - f. Metal (matte finish or Cor-ten)
 - i. Ribbed metal, titanium, and mirrored finishes not allowed
 - g. Concrete Masonry Units (watertable and building base only, and not allowed on any façade facing a right-of-way or a single-family zone).
 - h. Concrete (watertable and building base only, board-form only, cast concrete not permitted).

F. Landscaping and Paving.

1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
2. Low walls and/or hedges must screen the parking along the sidewalk. When walls are used, the materials and design must be compatible with and not obscure the architectural style of the building.
3. A minimum 75 percent of on-site paving material must be pervious/permeable.

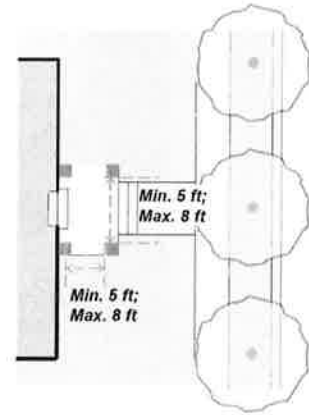
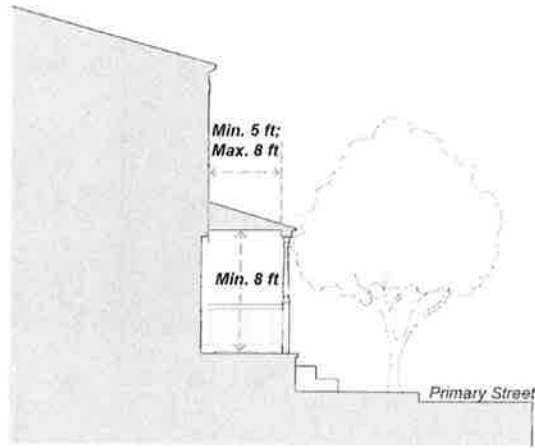
G. Screening.

1. Service areas must be located at the rear of lot or along a parking plaza.
2. Screening must be architecturally consistent with primary building in terms of materials, colors, and style.

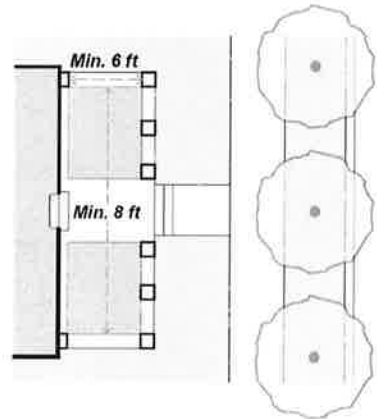
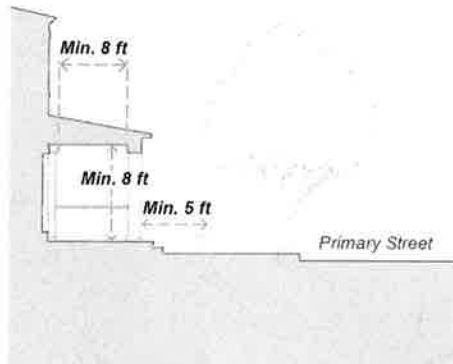
H. Additional Design Standards. See Section 14.66.280 for additional design standards applicable to all multi-family development in the R3-1 District.

New Section 14.66.275 Entrance Type Standards

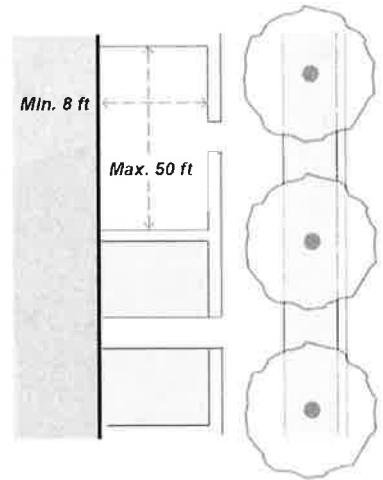
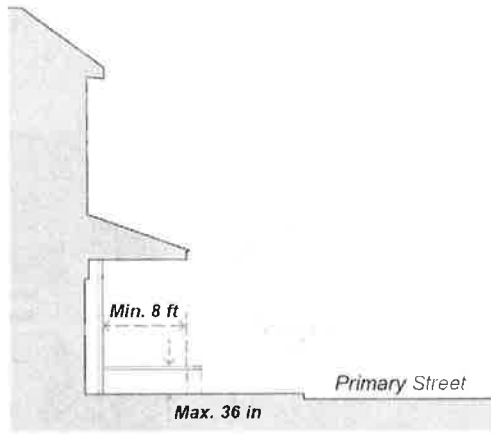
A. Stoop



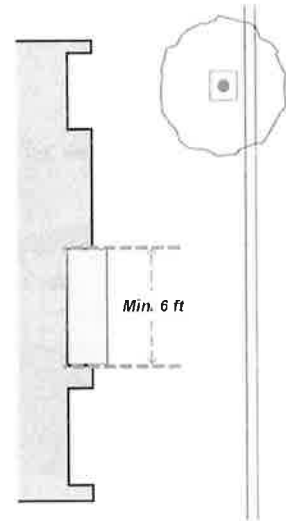
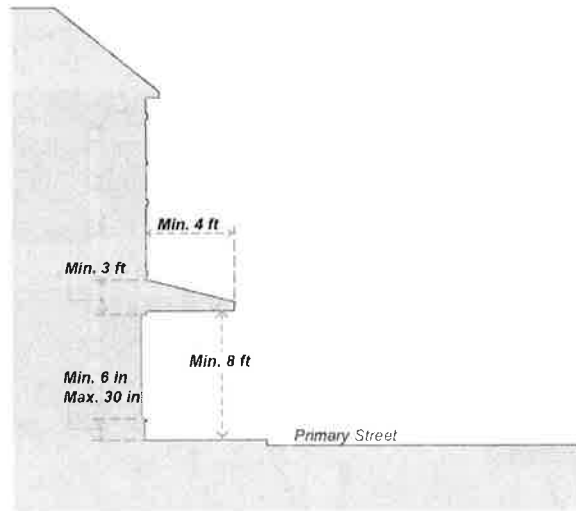
B. Porch



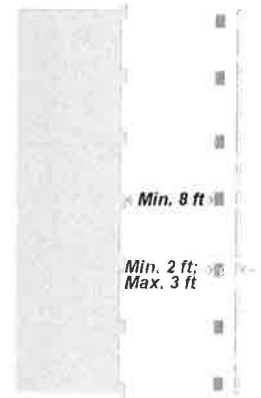
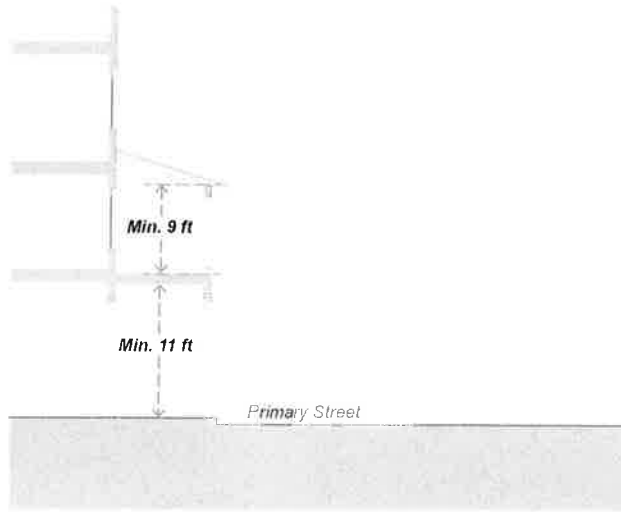
C. Dooryard



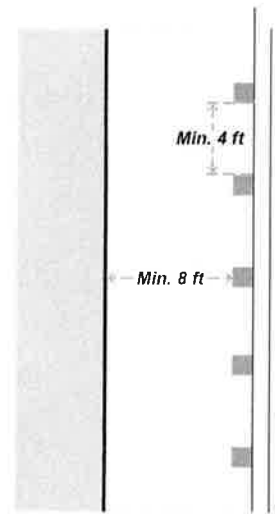
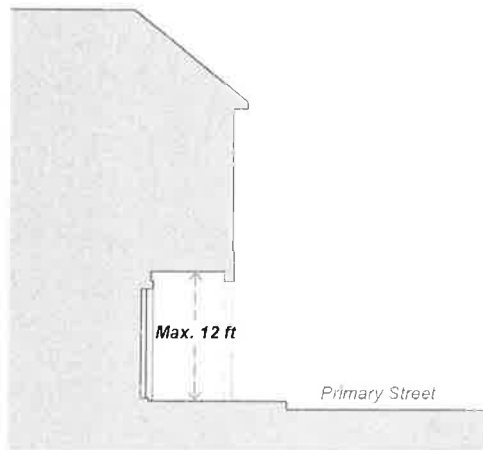
D. Shopfront



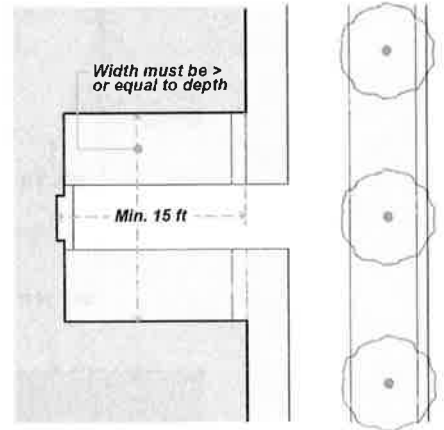
E. Gallery



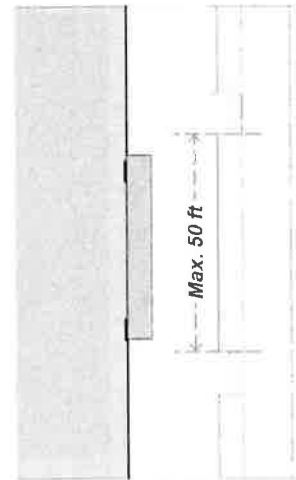
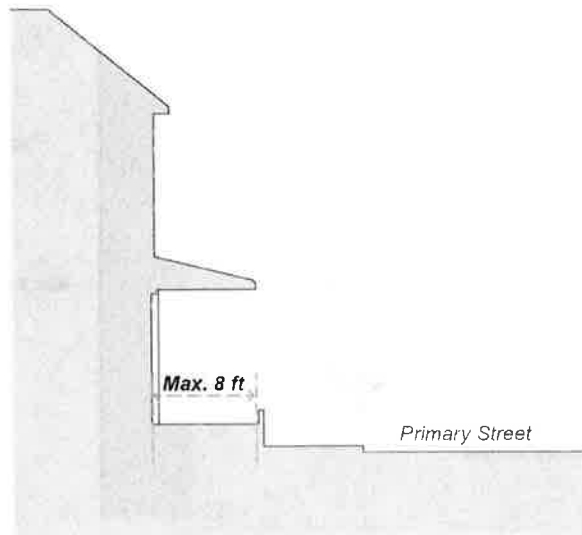
F. Arcade



G. Forecourt



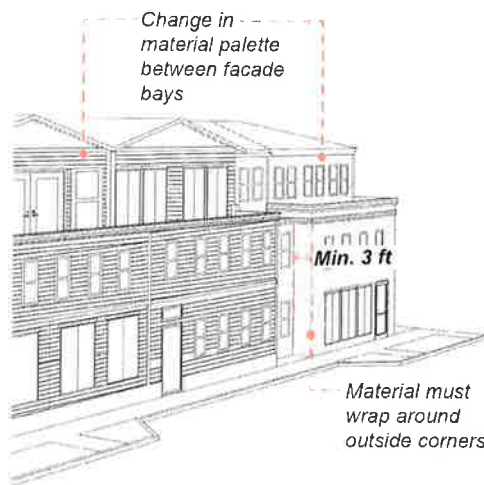
H. Terrace



New Section 14.66.280 Design Standards Applicable to All Multi-Family and Residential Mixed-Use Development

A. Architectural Integrity.

1. Material palette on all floors above the ground floor, not including floors contained within a sloped roof form, must be consistent.
2. Change in material may occur only at the inside corner of a change in wall plane. Material must wrap around outside corners.



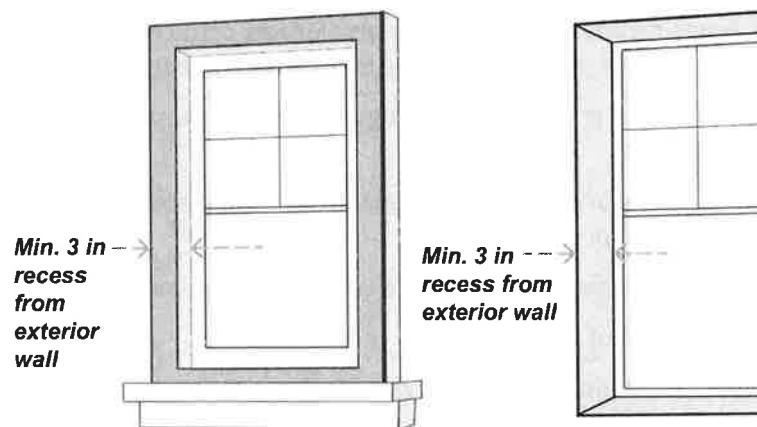
B. Firewalls and Visible Sidewalls.

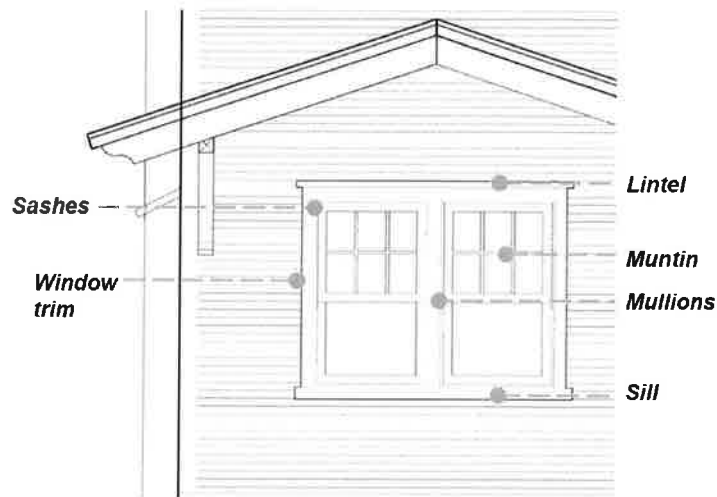
1. Any exposed surfaces shall be consistent with and expressive of the overall building design and shall be finished in the same palette of materials as the rest of the building. Front façade finished materials, façade cornices, wall top projections, decorative details, and moldings must be carried and repeated on the side wall.
2. At least one of the following techniques must be employed on firewalls/visible sidewalls:
 - a. Incorporation of windows where code allows and adequate fire protection can be provided.
 - b. Gable and hip roofs to vary the height and appearance of sidewalls.
 - c. Inset panels.
 - d. Stepped-back front façade of upper floor(s) to vary the sidewall profile.

C. Durability. Exterior finish materials shall have an expected lifespan of no less than 30 years.

1. Features to direct rainwater away from exterior walls shall include one or more of the following:
 - a. Cornice, with drip at outer edge of corona (minimum 12-inch projection).
 - b. Projecting eaves (minimum 12-inch projection).

- c. Scuppers, with or without downspouts (minimum 12-inch projection if no downspouts are used).
 - d. Gutters, with downspouts or rain chains.
 - i. Downspouts shall be one color and shall not change colors to match the wall behind them.
 - ii. Downspouts shall be round or rectangular, made of copper or metal.
 - iii. Downspouts shall not break façade profiles (such as a cornice) but shall wrap around projecting profile.
2. Exterior timber shall be protected from decay by one or more of the following:
- a. Material properties (e.g., cedar)
 - b. Staining and sealing
 - c. Painting
3. Exterior ferrous metals shall be protected from corrosion by one or more of the following:
- a. Metallurgical properties (e.g., galvanized, stainless, or weathering steel)
 - b. Painting or other impermeable coating.
4. **Windows.**
- a. All windows must be recessed a minimum of 3 inches from the outer wall surface for all Commercial and Multi-Family zones except the CT zone.
 - b. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.





D. Materials. Materials shall appear only in places and configurations appropriate to their structural properties.

1. Where walls use masonry finish materials (e.g. stone, brick, CMU), any openings spanned by the material must be either:
 - a. Arched, with each arch defined by a continuous series of voussoirs and a single keystone at the apex; or
 - b. Rectangular, with a continuous lintel spanning the opening and extending beyond by 4 to 6 inches at each end. Vertical dimension of the lintel shall be no less than 1/8 of the clear span. Steel lintels are exempt from this minimum vertical dimension.
2. When used, exterior timber posts, beams, rafters, purlins, brackets, etc. shall be joined according to structural principles.
3. Where a change in material is desired, all façade materials shall turn the corner and terminate into a vertical element of the façade composition.
4. **Materials Defining Building Elements.**
 - a. *Base.* For multistory buildings, the base of the building shall be defined by a distinct material selected from among the following: Stone, brick, concrete, CMU, or stucco ("base material").
 - b. *Body.* Typical materials for the main body of the building include wood, fiber cement, brick, stone, or stucco. If brick is used, it must extend vertically to the base; if stone is used, it must extend vertically to the foundation.
 - c. *Parapet.* Parapets shall terminate in a parapet cap of stone, concrete, tile, metal, or molded stucco.
 - d. *Bays.* Horizontal changes in finish material shall occur at the boundaries between bays rather than within a bay.
 - e. *Arcades.* Arcades shall be supported by columns or piers in concrete/cast stone, fiberglass, or stucco. Archivolts and imposts shall be expressed using similar materials/appearance.

- f. *Structural elements.* Structural elements visible on the building exterior (e.g. rafters, purlins, posts, beams, balconies, brackets, trusses, columns, arches, etc.), even when ornamental, shall be sized and spaced according to their corresponding structural role, and materials shall be selected accordingly (see A. Architectural Integrity).

5. **Materials Allowed for Building Details/Ornament.**

- a. Wood
- b. Metal (wrought iron, copper, aluminum, tin)
- c. Glass fiber reinforced concrete (GFRC)/fiberglass
- d. Terra Cotta
- e. Tile
- f. Plaster

E. Colors.

- 1. A maximum of 4 colors shall be applied to be the building façade:
 - a. 1 primary color comprising 50 percent or more of the façade excluding transparent surfaces.
 - b. 1 secondary color comprising no more than 30 percent of the façade excluding transparent surfaces.
 - c. 1 tertiary color comprising no more than 20 percent of the façade excluding transparent surfaces.
 - d. 1 accent color for use on trim and architectural details.
- 2. Materials with intrinsic, naturally-occurring coloration shall not count towards this maximum. Such materials are limited to copper, Corten steel, unpainted wood, tile, and brick. Materials with prefinished color (stucco, cement fiberboard, colorized metal) shall count towards the maximum.
- 3. Changes in color may occur:
 - a. To articulate changes between base, body, and top portions of a façade, which must be separated by a cornice or profile or a change in material and must remain consistent across the length of the façade bay.
 - b. When a portion of the elevation is articulated as a separate building with a break in the roof form and a step back in the façade plane 5 feet or greater or step up in façade height at least 10 feet.
 - c. On attached elements, such as bay windows, orioles, and balconies.

F. Façade Lighting. Façade lighting shall be incorporated into all storefront design and all facades facing an R-1 district. Fixtures shall be:

- 1. Shielded and directed onto the building facade.
- 2. Consistent in style with the primary building.

G. Habitable Outdoor Space. Private, habitable outdoor space supported by the building structure, such as balconies or terraces, shall be either uncovered or sheltered. The following patterns are strongly recommended:

1. **Pergola:** Posts supporting beams with brackets, which in turn support purlins and/or rafters. Posts shall be no narrower in any dimension than 3.5" or 1/20 of the unbraced post length, whichever is greater.
2. **Trabeation:** Posts or columns supporting beams with or without brackets, which in turn support either an additional floor level (for multi-story porches/balconies) or a full roof system based on rafters and/or purlins with decking and finish material. Posts shall be no narrower in any dimension than 3.5" or 1/20 of the unbraced post length, whichever is greater. The distance between posts shall be no wider than the total post height.
3. **Arcuation:** Encompassed by walls that are penetrated by arched openings bounded by either columns or piers. The ratio of column diameter [at lowest part of shaft] to column height shall be no less than 1:10 and no greater than 1:7. Width of piers at corners [abutments] shall be no less than 1/3 of the opening width; piers between multiple arched openings may be narrower.
4. **Rectilinear:** Bounded by square/rectangular piers framing rectilinear wall openings. If lintels are expressed on the facade, they shall extend over the piers by 4"-6" at each end. Piers shall be no narrower in any dimension than 15.5" or 1/6 of the opening width, whichever is greater. Piers at corners shall be wider than piers between openings.
5. **Fabric Shading:** Shaded by fabric elements such as awnings or stretched canvas, secured to the building structure, sheltered by Main Roof Form, supported by other building volumes.
 - a. Cantilevered balconies shall be secured architecturally to the wall below by brackets.
 - b. Bracket material shall be consistent with that of the balcony's floor structure.

H. Historic Preservation.

1. Additions to buildings with historic designation shall be identifiable from original construction. Additions shall employ similar or complementing materials and colors and shall exhibit similar opening proportions, facade rhythms and horizontal elements as the original.
2. Original transom windows shall be maintained or restored where possible. If the ceiling inside the structure has been lowered, the ceiling shall be stepped up to meet the transom so that light will penetrate building interior.
3. Deteriorated architectural features shall be repaired rather than replaced wherever possible. If replacement is necessary, new materials shall match the original in design, color, texture, and other visual qualities. If the original was painted, the substitute materials shall be painted as well.

I. Sustainability in Design.

1. All new construction shall incorporate landscaping and fenestration to passively cool the building; energy-efficient HVAC; and energy efficient lighting.
2. All energy generation devices must blend in with the building color.
3. All on-site landscaping shall be drought-resistant and require minimal irrigation.

J. On-site landscaping.

1. Trees proposed within street-facing setbacks must be selected from the Los Altos Street Tree Planting List.
2. Trees planted on the south side of the building must be deciduous.
3. Species shall be selected and located according to direct sunlight needs.
4. Vegetation shall be installed along all exposed east and west facing walls.
5. Groundcovers shall be planted over a minimum 50 percent of landscaped areas to prevent ground reflection and keep surfaces cool.
6. When parking is tucked under a building, landscape planters must be provided to break up the continuous paving at the building's edge.

K. Screening.

1. Rooftop mechanical equipment must be screened from public view.
2. Barbed wire, chain-link, and razorwire are not permitted.

Content to be Added to 14.02.070 Definitions

"Board-formed concrete" means concrete that has textured patterns on its finished surfaces that retain the wood grain of boards or molds used to form the wet concrete.

"Chamfered corner" means a building corner which is cut back at a 45-degree diagonal from the primary façade to provide a corner surface at least 8 feet in length.

"Façade" means the exterior wall on any side of a building.

"Lined" parking refers to a building configuration where residential, commercial, or office uses are located between a street-facing property line and above-ground parking levels. Also referred to as a "wrapped" building.

"Sloped roof" means a roof with a pitch of 4:12 or greater.

