

Kitchen & Bath remodel: VANI & ASK HANSEN RESIDENCE

960 BERRY AVENUE
LOS ALTOS, CA 94024

General

- 1/2" gypsum board installed from foundation to roof sheathing on the garage side at separation wall between garage and residence (CRC Table R302.6)
- 5/8" Type X gypsum board installed on ceilings and supporting members (i.e. beams, columns and bearing walls) where living areas are above or ceiling is used as the separation (CRC Table R302.6)
- 1 3/8" minimum solid core or 20 min rated door with self closing and self latching devices at separation wall between garage and residence (CRC R302.5.1)
- Tub/Showers walls must be smooth, hard, non-absorbent surface (e.g. ceramic tile or fiberglass) to a height not less than 6' above the floor (CRC R307.2)
- Minimum 36" deep landing outside all exterior doors not more than 7-3/4" lower than threshold for in-swing doors, and at the same elevation on each side of the door for out-swing doors. (CRC R311.3)
- Depth of landing must be equal to width of stairs (CRC 1009.8)
- 7-3/4" Rise maximum and 10" Run Minimum for all stairs (CRC 302.7)
- 1/2" gypsum board at walls and soffit of enclosed space under stairs
- Must have 6'-8" minimum headroom at stairway (CRC311.7.2)
- Handrails to have a 1-1/4" minimum and 2" maximum grippable cross section, no sharp corners, and at a height of 34" to 38" above nosing, extended continuously from top to bottom of riser, and terminate at newel posts or return walls (CRC R311.7.3)
- Guard is required on the open side of the stairway at a height of 34" to 38" and shall have intermediate rails spaced such that a sphere 4-3/8" in diameter cannot pass through (CRC R312.1.3 Exception 2)
- Fireplace and chimney must be pre-manufactured and are required to be listed and installed in accordance with their listings and manufacturer's instructions (CRC R1004)
- Concrete Foundation wall shall extend at least 6" above the finished grade (CRC R404.1.6)

Mechanical

- All air ducts penetrating separation wall or ceiling between garage and living area shall be 26 GA. minimum (CRC R302.5.2)
- Door to furnace room must be 24" wide minimum
- Furnace room shall provide a minimum 30" clear working space
- Indoor Air Quality and Exhaust- each bathroom shall be mechanically vented and shall comply with the following per Calgreen Section 4.506
 - i. Fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building
 - ii. Unless functioning as a component of a whole house ventilation system, fans must be controlled by humidity control
- All new kitchen hoods, dryer vents and bath fans shall have backdraft dampers (CMC 504.1)
- ATTIC ACCESS: not to be smaller than the largest furnace component with a minimum of 22" x 36". Attic shall have a minimum of 30" head room and a clear, solid path that is 24" wide minimum from the access to the FAU. Access opening shall have a light switch within reach and the FAU shall have an electric receptacle.
- AC Condenser units supported from the ground shall rest on a concrete or other approved base extending not less than 3" above the ground level (CMC 1106.2)

Electrical

- Carbon monoxide alarms shall be installed in this dwelling unit per CRC R315
- Carbon Monoxide alarms shall be listed as complying with UL 2034 and UL 2075
- Two small appliance branch circuits are required for the kitchen and are limited to supplying wall and counter space outlets for the kitchen, pantry, breakfast room, dining room or similar areas. These circuits can not serve outside plugs, range hood, disposals, dishwashers or microwaves- only the required countertop/wall outlets including the refrigerator.
- All branch circuits that supply 120-volt, single phase, 15- and 20- ampere outlets installed in dwelling unit family rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be ARC-fault circuit interrupter (AFCI) protected per CEC 210.12(B)
- All branch circuits that supply 125-volt, 15- and 20- ampere outlets shall be listed tamper resistant receptacles per CEC 406.12
- GFCI protection is required Bathrooms, Garages, outdoor receptacles & receptacles serving countertop within 6' of laundry, utility or wet bar sink

A dedicated 20 amp branch circuit shall be provided to supply the laundry receptacle outlet
A dedicated 20 amp circuit is required to serve the bathroom outlets. This circuit cannot supply any other receptacles, lights, fans, etc. (Exception- where the circuit supplies a single bathroom, outlets for other equipment within the same bathroom shall be permitted to be supplied.)

Plumbing

- Per California Civil Code 1101.4(a), all noncompliant plumbing fixtures throughout the entire house must be upgraded to meet new water efficient plumbing fixtures:
 - a. Water Closets with flow rates exceeding 1.6 gpf to be upgraded to 1.28 gpf maximum
 - b. Shower heads with flow rates exceeding 2.5 gpm to be upgraded to 2.0 gpm @ 80 psi
 - c. Bathroom faucets with flow rates exceeding 2.2 gpm to be upgraded to 1.8 gpm @ 60 psi
 - d. Kitchen faucets with flow rates exceeding 2.2 gpm to be upgraded to 1.8 gpm @ 60 psi
- Seismic anchorage of water heater to include anchors or straps at points within the upper & lower 1/3rd of its verticle dimension. Lower strap must be a minimum 4" above the controls
- Water Heater shall have a pressure relief valve with a drain to the exterior
- Water Heater shall installed at least 18" above floor and be protected from vehicle impact (e.g. Bollard)
- Water closets to have maximum 1.28gpf
- Showerheads to have maximum flow of 2 gallons per minute at 80psi
- Lavatory faucets have a maximum flow rate not to exceed 1.5 gallons per minute at 60 psi
- Kitchen faucet has a maximum flow rate not to exceed 1.8 gallons per minute at 60 psi
- Shower and tub shower combinations shall be provided with individual control valves of the pressure balance or thermostatic mixing valve type (CPC Section 418.0)
- First hour rating of Water Heater must be 80 gallons per CPC Table 5-1
- Four inch diameter drainage pipe may be required for four and more water closet fixtures in the same horizontal branch. CPC Section and Table 703.2 (footnote #4)

Per the Residential Mandatory Measures of the 2013 California Green Building Code:

- A copy of the operation & maintenance manual will be given to the building occupant or owner addressing items 1 through 10 in section 4.401.1
- Duct systems are to be sized, designed, and equipment shall be selected per section 4.507.2. HVAC system installers must be trained and certified and special inspectors employed by the enforcing agency must be qualified.
- Automatic irrigation systems controllers installed at the time of final inspection shall be weather based (4.304.1)
- Rodent Proofing- Annular spaces around pipes, electrical cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency per Calgreen Section 4.406.1
- Cover duct openings and other related air distribution component openings during construction per Calgreen Section 4.504.1
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits per Calgreen Section 4.504.2.1
 - Paints, stains and other coatings shall be compliant with VOC limits per Calgreen Section 4.504.2.2
 - Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. Verification of compliance shall be provided per Calgreen Section 4.504.2.3
 - Carpet and carpet systems shall be compliant with VOC limits per Calgreen Section 4.504.3
 - Minimum 80% of floor area receiving resilient flooring shall comply with 4.504.4
 - Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards per Calgreen Section 4.504.5
 - Install capillary break and vapor retarder at slab on grade foundations (4.505.2)
 - Check moisture content of building materials in wall and floor framing before enclosure (4.505.3)
 - Each bathroom shall be mechanically ventilated with an Energy Star exhaust fan, and fan must be controlled by humidity control (4.506.1)

	Existing	Proposed	Allowed/ Required
Lot Coverage <i>Land area covered by all structures that are over 6 feet in height</i>	2653 square feet (18.8 %)	0 square feet (0.0 %)	4233.7 square feet (30.0 %)
Floor Area <i>Measured to the outside surface of exterior walls</i>	2433 square feet (58.5 %)	0 square feet (0.0 %)	4161.2 square feet (30.0 %)
Setbacks			
Front	31.3 feet	31.3 feet	25 feet
Rear	101.25 feet	80.2 feet	25 feet
Right side (1st/ 2nd)	26 feet 39 feet	10.5 feet 39 feet	10 feet 17.5 feet
Left side (1st/ 2nd)	18 feet 3.5 feet	1.8 feet 3.5 feet	10 feet 17.5 feet
Height	25.3 feet	25.3 feet	27 feet
	Existing	Change In	Total Proposed
Habitable Living Area <i>Includes habitable basement areas</i>	2433.4 square feet	0 square feet	2433.4 square feet
Non-Habitable Area <i>Does not include covered porches or open structures</i>	255.7 square feet	0 square feet	255.7 square feet
Net Lot Area:		14112.4 square feet	
Front Yard Hardscape Area <i>Hardscape area in the front yard setback shall not exceed 50%</i>		290.8 square feet (2.1 %)	
Landscaping Breakdown	Total Hardscape Area (existing and proposed) 3218.6 sq ft		
	Existing softscape (undisturbed) area 10893.8 sq ft		
	New softscape area 0 sq ft <i>Sum of all three should equal the site's net lot area</i>		

Project Summary:

- Renovation to existing kitchen finishes including new flooring, cabinets, countertops and reconfigured electrical.
- Relocation of bathroom to expand office space
- Add windows to office under existing header
- No new sq footage proposed. Overall reduction in glazing

960 Berry Avenue
APN: 189-29-032
District: R1-10
Property Size: 10000 sf
Occupancy Type: R3/U
Type of construction: V-B

OWNER

Vani & Ask Hansen
960 Berry Avenue
Los Altos, CA 94024
213-268-3568

CONTRACTOR

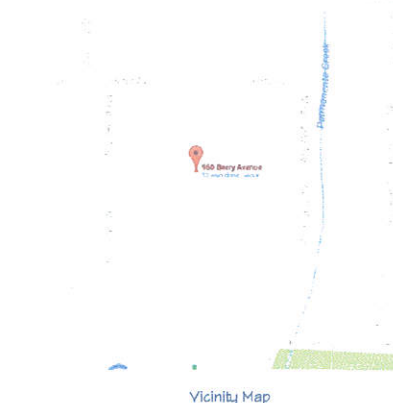
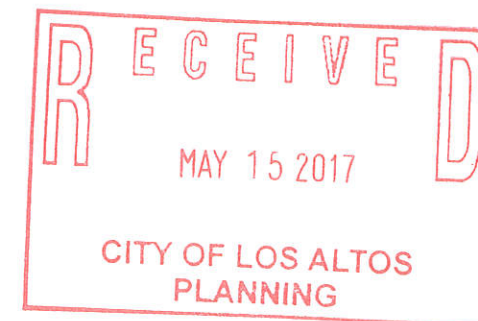
Via Builders Inc
4600 El Camino Real #209
Los Altos, CA 94022
650-948-1077 LIC#717805

Applicable Codes

- 2013 California Residential Code
- 2013 California Building Code
- 2013 California Electrical Code
- 2010 California Energy Code
- 2013 California Mechanical Code
- 2013 California Plumbing Code
- 2013 California Green Building Standards
- 2013 California Fire Code

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NUMBER	DATE	REVISION TABLE	DESCRIPTION

HANSEN RESIDENCE
960 BERRY AVENUE
LOS ALTOS, CA 94024

Project Information

DRAWINGS PROVIDED BY:
Via Builders, Inc.
4600 El Camino Real, Suite 209
Los Altos, CA 94022-1528



DATE:

4/5/2017

SCALE:

1/8" = 1'

SHEET:

A-1

REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

HANSEN RESIDENCE
 960 BERRY AVENUE
 LOS ALTOS, CA 94024

Floor Plan

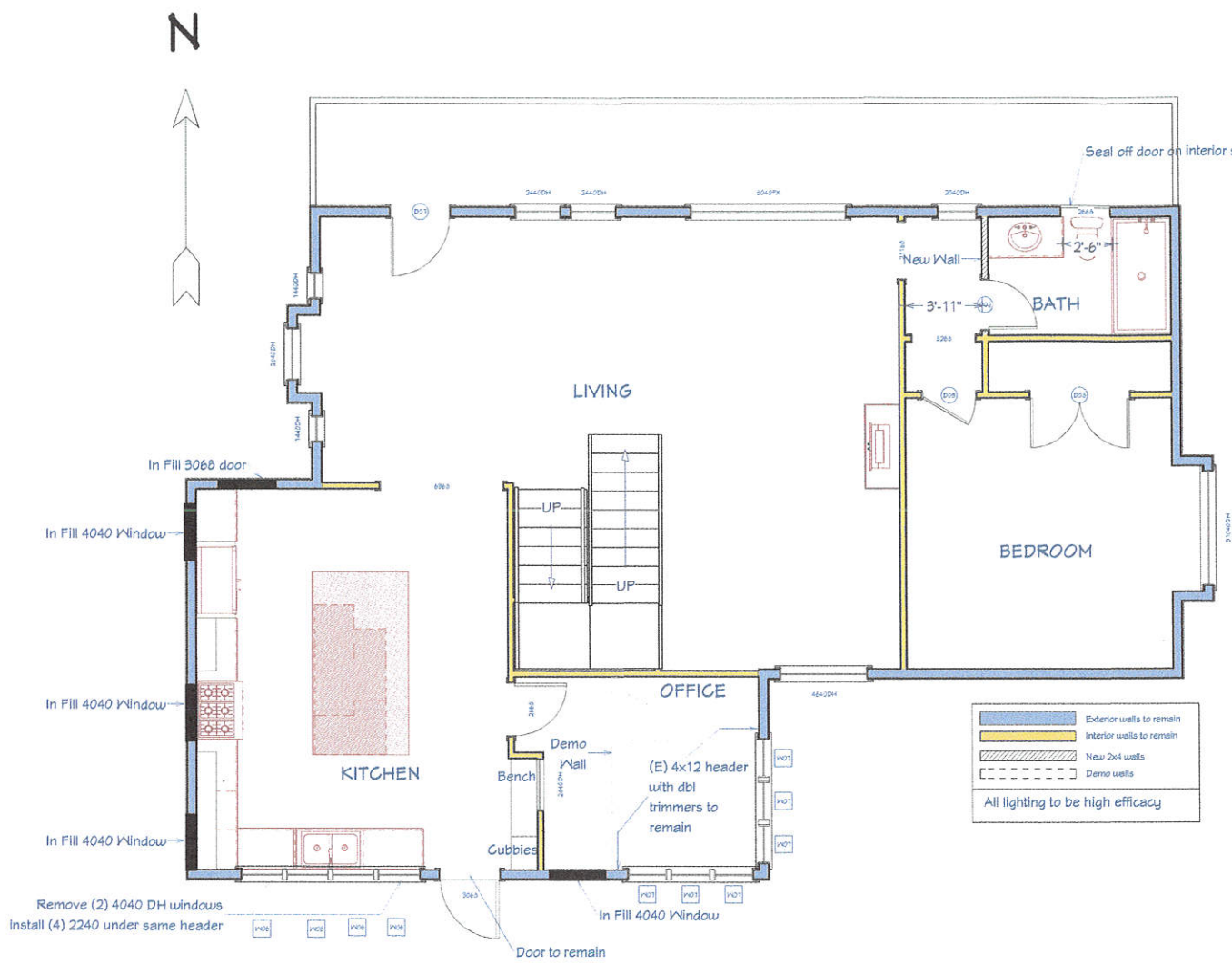
DRAWINGS PROVIDED BY:

 Via Builders, Inc.
 4600 El Camino Real, Suite 209
 Los Altos, CA 94022-1328

DATE: 4/5/2017

SCALE: 1/4" = 1'

SHEET: A-3



DOORS SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	FIRE
D02	2668	2	1	2668 R IN	30"	80"	HINGED-DOOR P04	
D03	2868	1	1	2868 L EX	32"	80"	EXT. HINGED-DOOR E21	
D05	2868	2	1	2868 R IN	32"	80"	HINGED-DOOR P04	
D06	3068	1	1	3068 L EX	36"	80"	EXT. HINGED-GLASS	
D07	3068	2	1	3068 R IN	36"	80"	HINGED-DOOR P04	
D08	5068	1	1	5068 L/R IN	60"	80"	DOUBLE HINGED-DOOR P04	
D09	5868	1	1	5868 L/R IN	68"	80"	DOUBLE HINGED-DOOR P04	

WINDOW SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	TEMPERED
W04	2840DH	1	1	2840DH	32"	48"	DOUBLE HUNG	
W06	2240DH	4	1	2240DH	26"	48"	DOUBLE HUNG	YES
W07	2040DH	6	1	2040DH	24"	48"	DOUBLE HUNG	

2013 RESIDENTIAL ELECTRICAL CODE STAMP

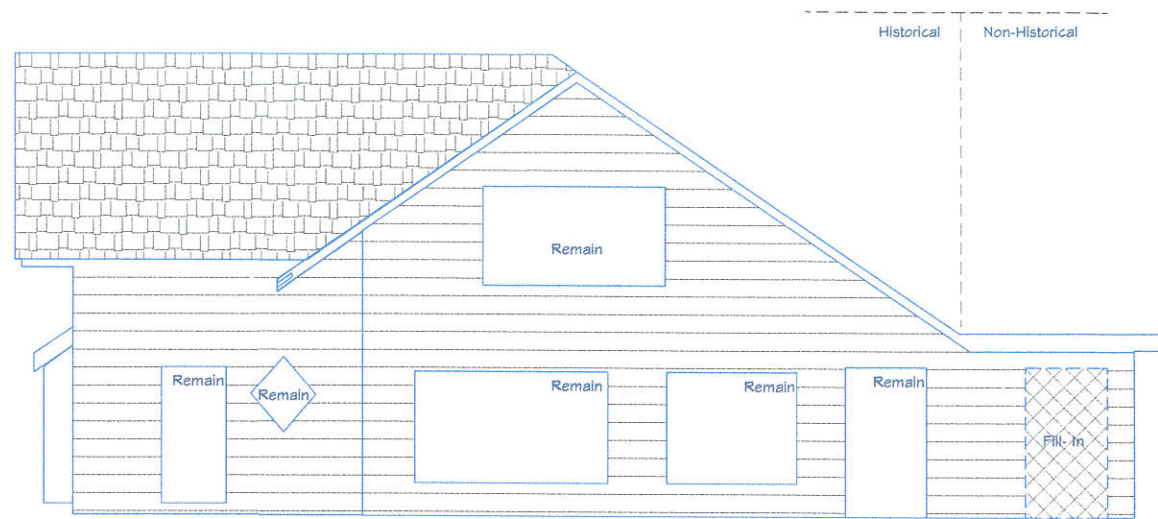
- GFCI (ground-fault) outlet locations, bathrooms, garages, outdoors, kitchens, @ sinks, CEC 210.8 & 680.11
- AFCI (arc-fault) branch circuits locations, CEC 210.12
- No point measured horizontally along wall more than 6'-0" from a receptacle outlet CEC 210.52(A)(1)
- Kitchen, pantry, dining room outlets CEC 210.52(c)
- Outlet required in hallways >10 feet, CEC 210.52(h)
- Switched lighting outlets at habitable rooms, stairways, halls & garages; attics, underfloor & utility rooms with equipment or storage, CEC 210.70
- Marked & Listed boxes for support of ceiling fans, CEC 314.27(c)
- Overcurrent devices not located in bathroom or over stairway, protect from physical damage & wet or damp, CEC 240.24 & 32
- Tamper-resistant receptacles all locations, CEC 406.12
- Clothes closet lighting type & clearance, CEC 410.16
- Gas & Electric meter installations, PG&E Green Book
- Lighting to comply with 2013 California Building Energy Efficiency Standards (Title 24)
- Outdoor receptacles, CEC 406.9
- Code edition, 2013 California Electrical Code

2013 CALIFORNIA RESIDENTIAL PLAN STAMP

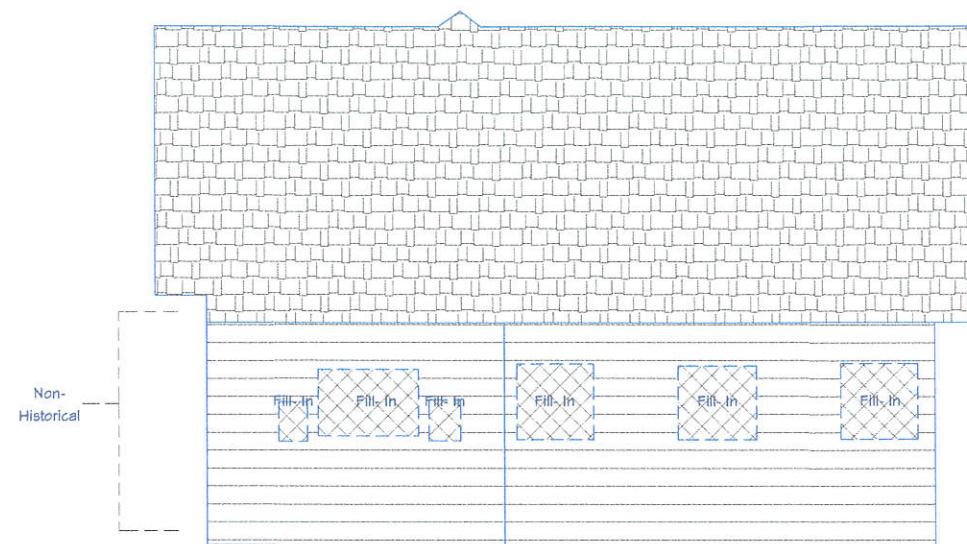
- Exterior walls and openings to be 1 hour rated and restricted openings if closer than 5'-0" to the property line, CRC R502.1
- 4% natural ventilation, 8% natural light, of floor area or artificial light and ventilation, CRC R303
- Emergency escape & rescue openings @ basements, habitable attics & every sleeping room, 5.7/5.0 square feet, CRC R310
- Smoke & carbon monoxide alarms @ sleeping rooms, hallways and @ each story to be interconnected and powered by the home with battery backup, CRC R314 & R315
- 7 3/4" maximum stairway riser, 10" minimum tread, CRC R311.7.5
- Handrails 34"-38" above nose of tread, CRC R311.7.8
- 42" guards & 24" window sill height for fall protection, CRC R312
- Safety glazing required in hazardous locations, CRC R308.4
- Fire separation @ garage/ carport & dwelling, CRC R302.5 & R302.6
- Metal or glass door @ fireplace opening, Title 24
- Seismic strapping @ water heater, CFC 507.2
- Outside combustion air @ water heater & furnace, CFC 507.4 & CMG 701.6
- Dryer vent 14' maximum length, CMG 504.3
- Bathroom exhaust fans required in all bathrooms, CRC R303.3.1

2013 TITLE 24 RESIDENTIAL LIGHTING PLAN STAMP

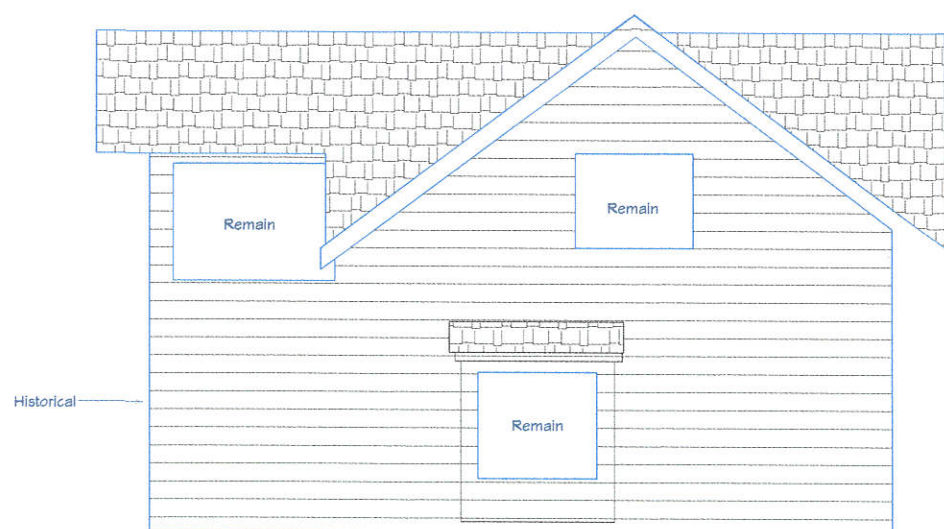
- All permanent lighting to be high efficacy except as noted below
- Maximum relamping rated wattage to be labeled on all luminaires
- Kitchen lighting:** 50% of all installed rated lighting wattage to be high efficacy, internal cabinet lighting excepted
- Bathroom Lighting:** At least 1 high efficacy light, all other lights to be high efficacy or controlled by a vacancy sensor
- Garage, Laundry or Utility room Lighting:** High efficacy & controlled by a vacancy sensor
- Other room lighting:** High efficacy, or controlled by a vacancy sensor or dimmer
- Outdoor lighting:** High efficacy, or controlled by a motion sensor and photocell or astronomical time control
- LED lighting must be CEC certified to be considered high efficacy
- Lighting & exhaust fans to be switched separately
- High efficacy lighting to be switched separately from low efficacy lighting
- Recessed lights to be certified for zero insulation clearance and air-tightness; caulked or gasketed
- 2013 California Energy Efficiency Standards (Title 24)



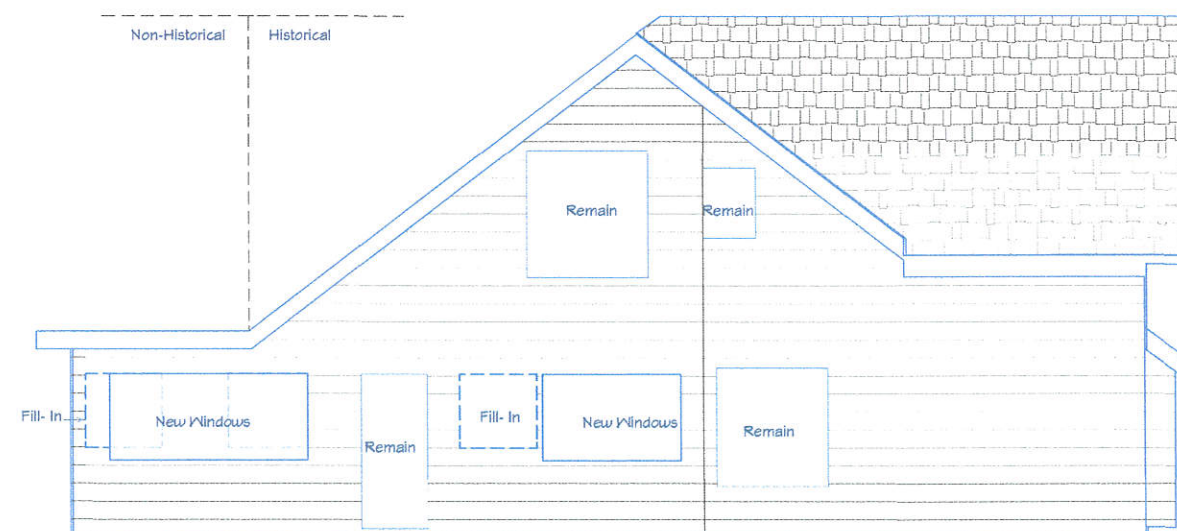
Proposed Front (North) Elevation



Proposed Right (West) Elevation



Proposed Left (East) Elevation



Proposed Rear (South) Elevation



REVISION TABLE	
NUMBER	DATE

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Window Elevations

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Los Altos, CA 94022-1328

DATE:

4/5/2017

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A-3