

PROJECT DESCRIPTION:  
 POOL HOUSE REMODEL  
 TED AND MARCIA ADAMS  
 189 NORTH GORDON WAY  
 LOS ALTOS, CA 94022  
 APN 170-29-067  
 ZONE R1-10

PERMIT JURISDICTION: LOS ALTOS, CALIFORNIA

DESIGN - BUILD FIRM: HAMMERSCHMIDT CONSTRUCTION, INC.  
 DRAFTING: ABALONEHILL DESIGN  
 STRUCTURAL ENGINEER: BETTA GROUP  
 FIRE SPRINKLER ENGINEER: N/A  
 SOILS ENGINEER: N/A  
 GEOLOGIST: N/A  
 SURVEY ENGINEER: NA  
 LANDSCAPE CONTRACTOR: N/A

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- T24.2. PAGE: TITLE 24 \*\*\*

\*\*\* NOT IN PLANNING SET

FIRE NOTES:  
 FIRE DEPARTMENT JURISDICTION: LOS ALTOS, CALIFORNIA  
 FIRE HYDRANT DISTANCE: 140 FEET FROM PROPERTY LINE  
 ADDRESSING AT STREET FOUR (4) INCH NUMBERS  
 ROOF: COMPOSITE CLASS B OR BETTER  
 FIREPLACE/WOOD STOVE w/ SPARK ARRESTER: YES

UTILITIES  
 GAS/PROPANE SERVICE: PGE  
 ELECTRIC: PGE  
 200 AMP TWO PHASE 220 / 208 VAC  
 WATER: LOS ALTOS, CALIFORNIA  
 SEWER: LOS ALTOS, CALIFORNIA

- Abbreviation:
- AFCI arc fault circuit interrupter
  - AFF above finished floor
  - BET better
  - DF Douglas fir
  - DFL Douglas fir larch
  - EA each
  - EN end nail
  - GFCI ground fault circuit interrupter
  - GFI ground fault interrupter
  - FLS floor(s)
  - FN face nail
  - FTG footing
  - FV field verify
  - HDR header
  - HW hardwood
  - M.B. machine bolt
  - O.C. on center
  - PTDF pressure treated Douglas fir
  - SQFT square feet
  - S.W.S shear wall schedule
  - TBD to be determined
  - T&G tongue and groove
  - TYP typical
  - VAC volts alternating current
  - VDC volts direct current
  - w/ with
  - WD wood
  - WP waterproof
  - WWF welded wire fabric

- & and
- [E] existing
- [N] new
- [R] remodel

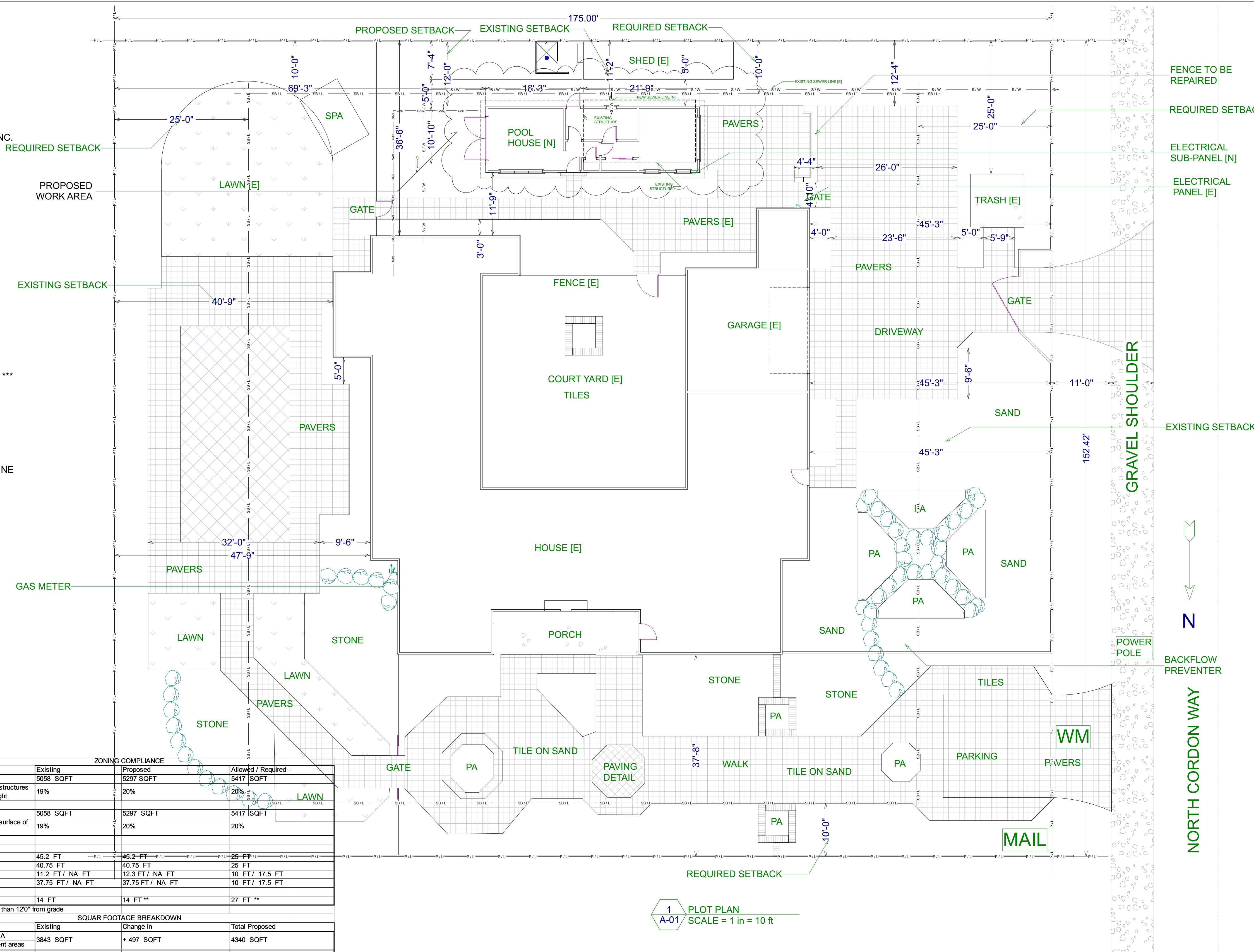
Disclaimers:  
 These Drawings are the proprietary work product and property of Kevin WR Crispin, AbaloneHill Design, developed for the exclusive use of AbaloneHill Design. Use of these drawings and concepts contained herein without the written permission of AbaloneHill Design is prohibited and may subject you to a claim for damage. These renderings, floor plans and elevations constitute partial fulfillment of the typical permit application package.

To the best of my knowledge these plans are drawn to comply with the owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's / builder's expense and responsibility. These design drawings are to assist a state license structural engineer to produce engineering requirements and details to comply with local and state specific codes. The contractor shall verify all dimensions and enclosed drawings. AbaloneHill Design is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker cannot guarantee against human error. The contractor of the job must check all dimensions and other details prior to start of construction and be solely responsible thereafter.

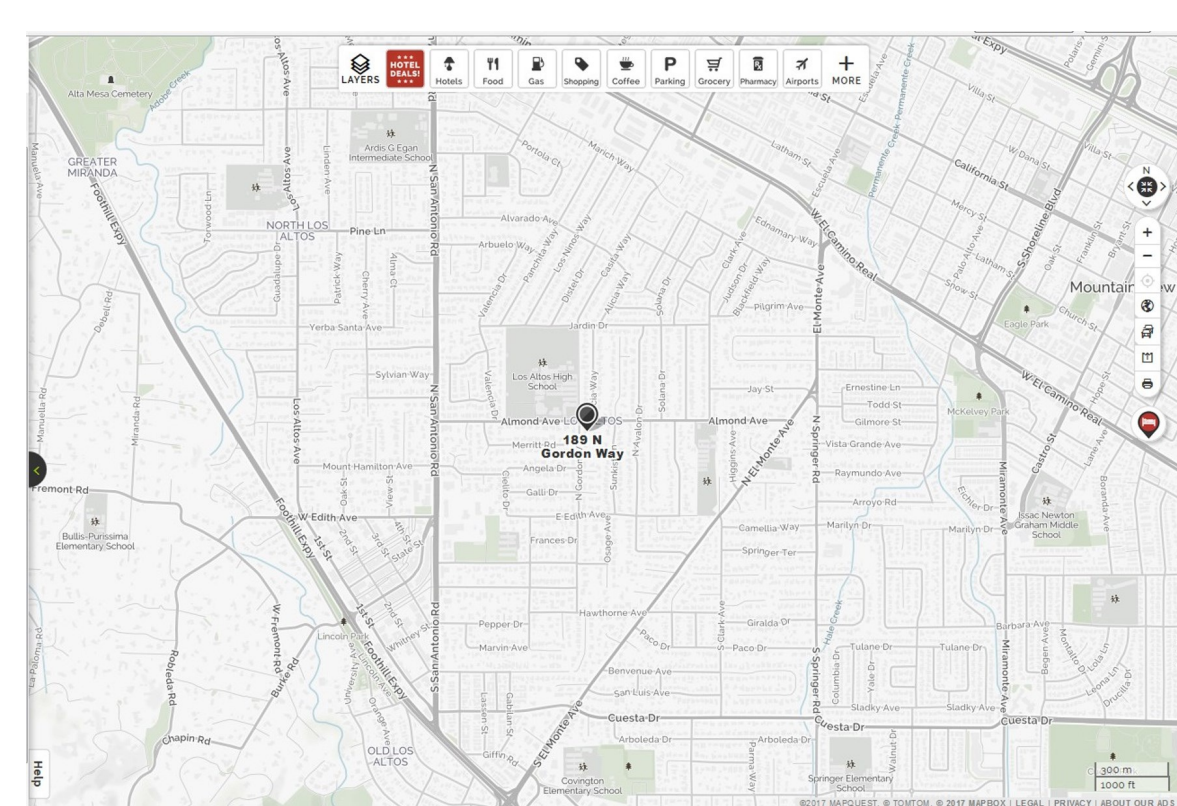
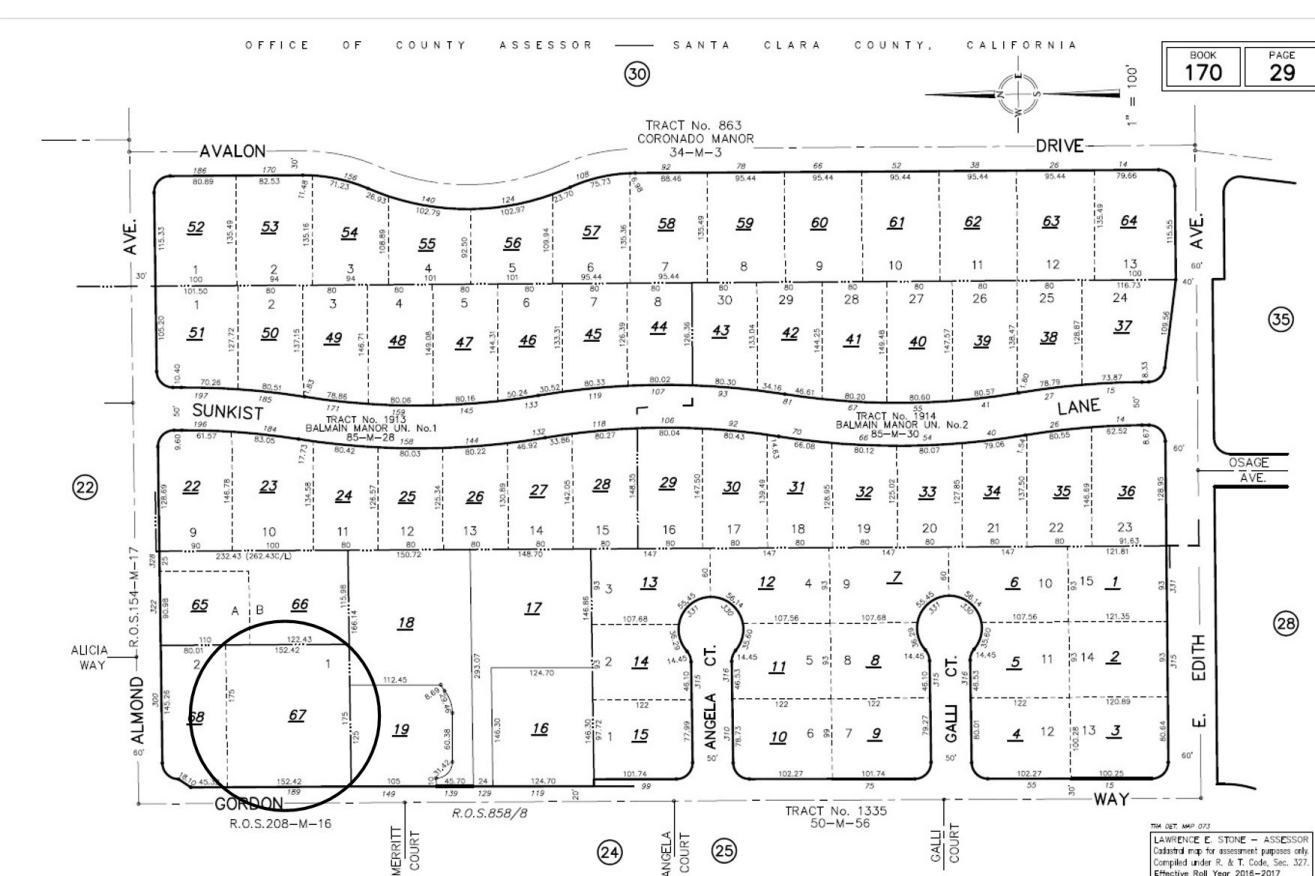
Joist, framing, rafter, and truss drawings are for visualization purpose and are not intended as competent structural design. Competent structural design and requirements are the responsibility of the owner's/builder's license structural engineer.

Owner/Builder/Contractor must verify all dimensions, structural details and building codes and grade requirements.

ZONING COMPLIANCE			
	Existing	Proposed / Allowed / Required	
LOT COVERAGE:	5058 SQFT	5297 SQFT	
Land area covered by all structures that are over 6 feet in height	19%	20%	
FLOOR AREA:	5058 SQFT	5417 SQFT	
Measured to the outside surface of exterior walls	19%	20%	
SETBACKS:			
Front	45.2 FT	45.2 FT	
Rear	40.75 FT	40.75 FT	
Right side (1st / 2nd)	11.2 FT / NA FT	12.3 FT / NA FT	
Left side (1st / 2nd)	37.75 FT / NA FT	37.75 FT / NA FT	
HEIGHT	14 FT	14 FT **	
** pool house roof is less than 120" from grade			
SQUAR FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA	3843 SQFT	+ 497 SQFT	4340 SQFT
Include habitable basement areas			
NON-HABITABLE AREA:	1214 SQFT	- 258 SQFT	956 SQFT
Does not include covered porches or open structures			
LOT CALCULATIONS			
NET LOT AREA:	22,157 SQFT	= 26,674 SQFT - 4,517 SQFT	
FRONT YARD HARDSCAPE	1364 SQFT	36%	
Hardscape area in the front yard setback shall not exceed 50%			
LANDSCAPING BREAKDOWN:			
Total hardscape area (proposed and existing)			9,503 SQFT
Existing softscape (undisturbed) area:			12,893 SQFT
New softscape (new or replaced landscaping) area:			- 239 SQFT
Sum of all three should equal the site's net lot area:			22,157 SQFT



1 PLOT PLAN  
 A-01 SCALE = 1 in = 10 ft



COVER SHEET / PLOT PLAN

General Notes:

Design drawings and plans are to be used to remodel a living unit at 189 North Gordon Way, Los Altos, CA. It is intended that these drawings shall be used in support of Engineering structural plans, calculation sheets, and specifications, and List others. Land Survey provides a Plot Plan separately.

NOTE: This project shall comply with the: 2016 California Building Code, 2016 California Residential Code, 2016 California Mechanical Code, 2016 California Plumbing Code, 2016 California Electrical Code, 2016 California Green Building Code (CALGreen), 2016 California Fire Code (with local amendments), 2016 International Property Maintenance Code, 2016 State of California Title 24 Energy Regulations, and amending portions of those California Building Standards making express findings of local necessity

\*\*\* FIELD PERSONNEL \*\*\*  
 1. FIELD PERSONNEL (FP) TO VERIFY EXISTING CONDITIONS OF JOBSITE PRIOR TO BEGINNING WORK. CHECK FOUNDATION FOR ANY EVIDENCE OF COMPROMISED SOIL CONDITIONS. IF EVIDENCE OF POOR SOIL CONDITIONS PROPER SOIL TEST WILL BE CONDUCTED PRIOR TO DIGGING FOOTINGS. FP TO EXAMINE PLAN DIMENSIONS AND SCOPE OF CONSTRUCTION. ALL DIMENSION ARE SUBJECT TO FIELD VERIFICATION.

\*\*\* PRECAUTIONS \*\*\*  
 HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.

\*\*\* CONSTRUCTION DETAILS \*\*\*  
 1. IN THE EVENT THAT CONTRACT DETAILS AND PLAN DETAILS ARE DIFFERENT, CONTRACT DETAILS SUPERCEDE PLAN DETAILS.

PROJECT SCOPE:  
 1 REPLACE AND EXPAND EXISTING POOL HOUSE,  
 2 REPAIR EXISTING WOOD STONE FENCE

No.	Revisions/Issue	Date
14	Floor Plan Redlines	09/18/17
13	Floor Plan Redlines	08/30/17
12	Floor Plan Redlines	08/22/17
11	Floor Plan Redlines	08/21/17
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1	Floor Plans Existing & Proposed	04/12/17

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**Los Altos, Ca 94022**

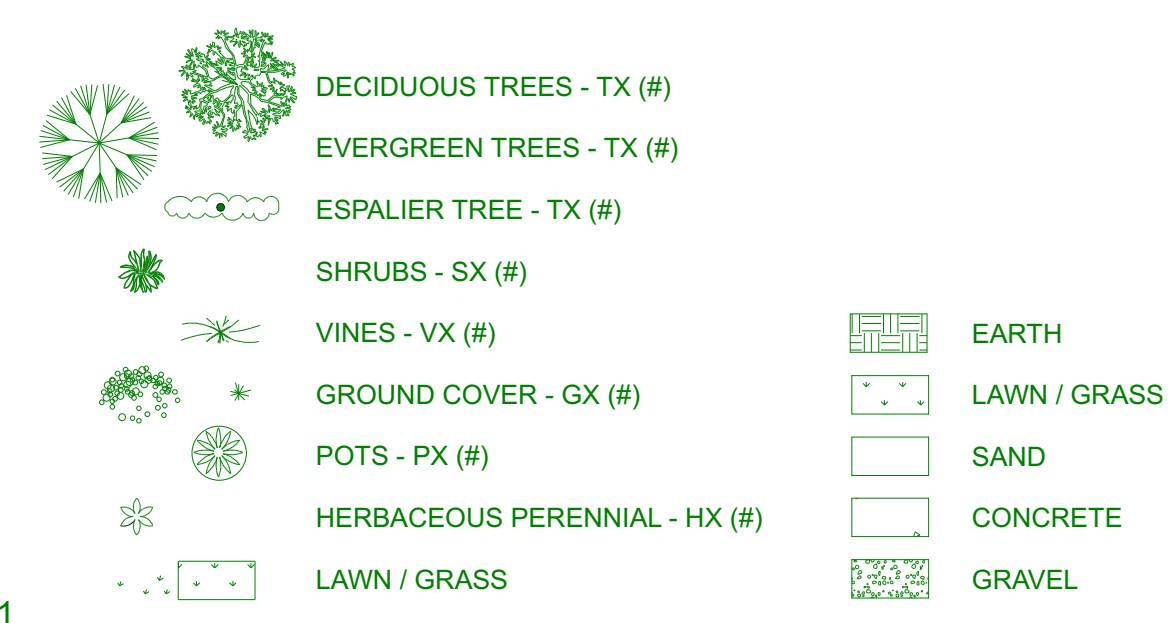
Design Build Firm  
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Drafting Services  
**Kevin WR Crispin**  
**AbaloneHill Design**

Project  
**20170412**  
 Date  
**10/14/2017**  
 Scale  
**A-01**

TREES					
SYMBOL	SCIENTIFIC NAME	COMMON NAME	TRUNK	FOLIAGE	COMMENTS
			DIAMETER INCH	DIAMETER FEET	
T1	Cedrus deodara	DEODAR CEDAR	24	40	
T2	Prunus armeniaca	APRICOT	8	12	
T4	Quercus Agrifolia	COSTAL LIVE OAK	42	56	CONSTRUCTION PROTECTION
T5	Magnolia acuminata	CUCUMBER MAGNOLIA	18	32	
T6	Pinus radiata	MONTEREY PINE	36	60	
T7	Yucca sp.	YUCCA			
T8	Syagrus romanzoffiana	QUEEN PALM	17	25	
T9	Syagrus romanzoffiana	QUEEN PALM	17	25	
T10	Magnolia grandiflora	SOUTHERN MAGNOLIA	17	28	
T13	Syagrus romanzoffiana	QUEEN PALM	12	22	
T14	Arbutus unedo "marina"	MARINA STRAWBERRY TREE	10	20	
T15	Erioborya japonica	LOQUAT	8	18	
T16	Syagrus romanzoffiana	QUEEN PALM	15	25	
T17	Quercus Agrifolia	COSTAL LIVE OAK	18	32	
T18	Arbutus unedo "marina"	MARINA STRAWBERRY TREE	12	30	
T19	Arbutus unedo "marina"	MARINA STRAWBERRY TREE	12	30	
T20	Arbutus unedo "marina"	MARINA STRAWBERRY TREE	12	30	
T21	Jacaranda mimosifolia	JACARANDA	9	18	
T22	Arbutus unedo "marina"	MARINA STRAWBERRY TREE	9	20	
T23	Arbutus unedo "marina"	MARINA STRAWBERRY TREE	9	20	

protect trees in work area and access



**STREET TREE PROTECTION SPECIFICATIONS**

31-1 **General** - Tree protection has three primary functions, 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

31-2 **Reference Documents**

- a. **Detail 505** - Illustration of situations described below.
- b. **Tree Technical Manual** ([www.cityofpaloalto.org/trees/](http://www.cityofpaloalto.org/trees/))
  - 1. Trenching Restriction Zones (Section 2.20(C))
  - 2. Arborist Reporting Protocol (Section 6.30)
  - 3. Site Plan Requirements (Section 6.35)

31-3 **Materials**

- a. **The Tree Protection Zone (TPZ)** is an restricted area around the base of the tree with a radius of 10 times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.
- b. **Type I Tree Protection:** The fence shall enclose the entire area under the canopy dripline or TPZ (whichever is greater) of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved.
- c. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.
- d. **Type III Tree Protection:** Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major scaffold limbs may also require plastic fencing as directed by the City Arborist.
- e. **Size, type and area to be fenced.** All trees to be preserved shall be protected with six (6') foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing.

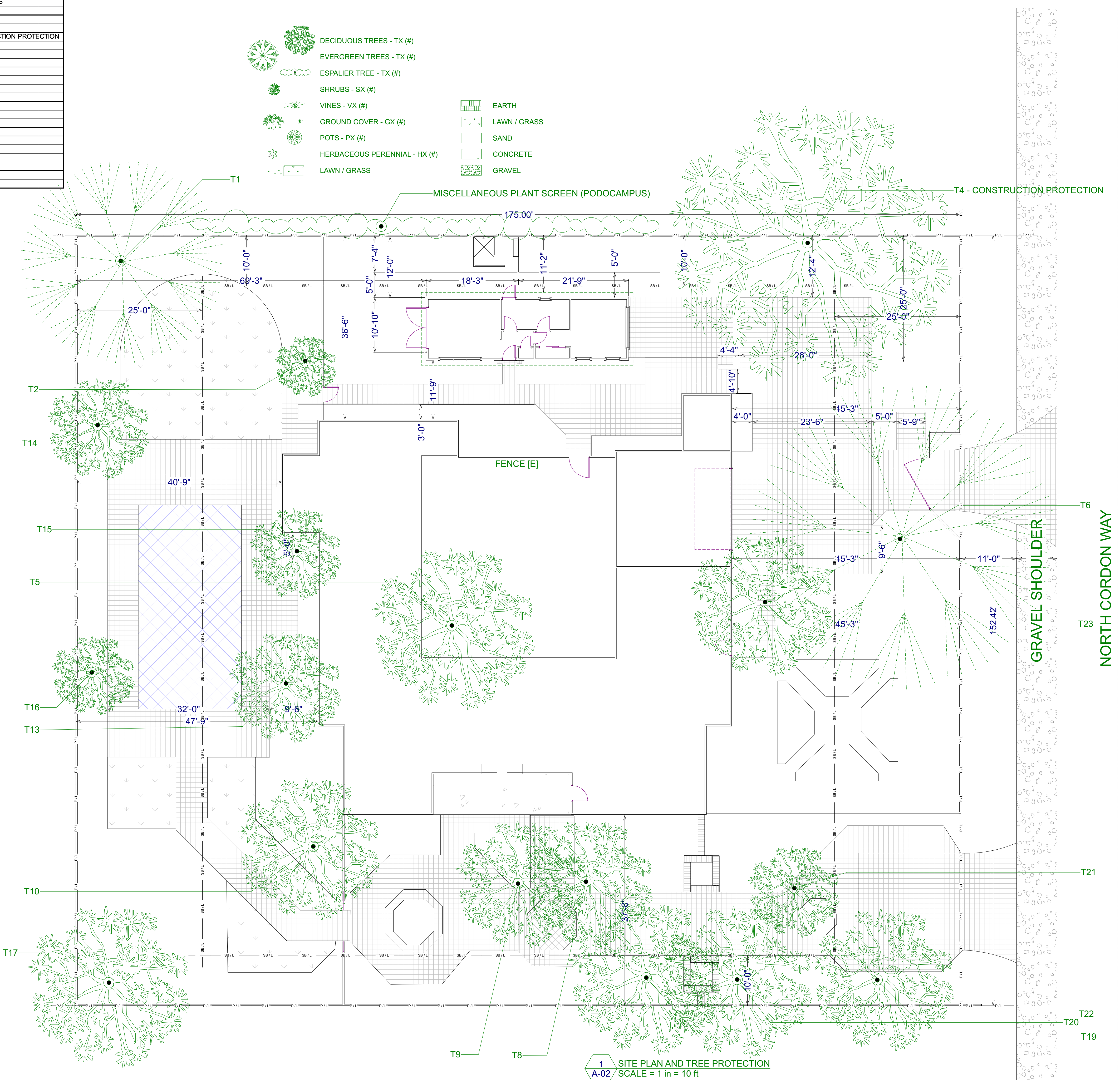
2004 Standard Drawings and Specifications  
Street Tree Protection, Section 31 Page 1 of 2

- f. **'Warning' sign.** A warning sign shall be prominently displayed on each fence at 20-foot intervals. The sign shall be a minimum 8.5-inches x 11-inches and clearly state: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."

31-4 **Execution**

- a. **Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public ROW require a Street Work Permit from Public Works.
- b. **During construction**
  - 1. All neighbors' trees that overhang the project site shall be protected from impact of any kind.
  - 2. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
  - 3. The following tree preservation measures apply to all trees to be retained:
    - a. No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.
    - b. The ground under and around the tree canopy area shall not be altered.
    - c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION



1 SITE PLAN AND TREE PROTECTION  
A-02 SCALE = 1 in = 10 ft

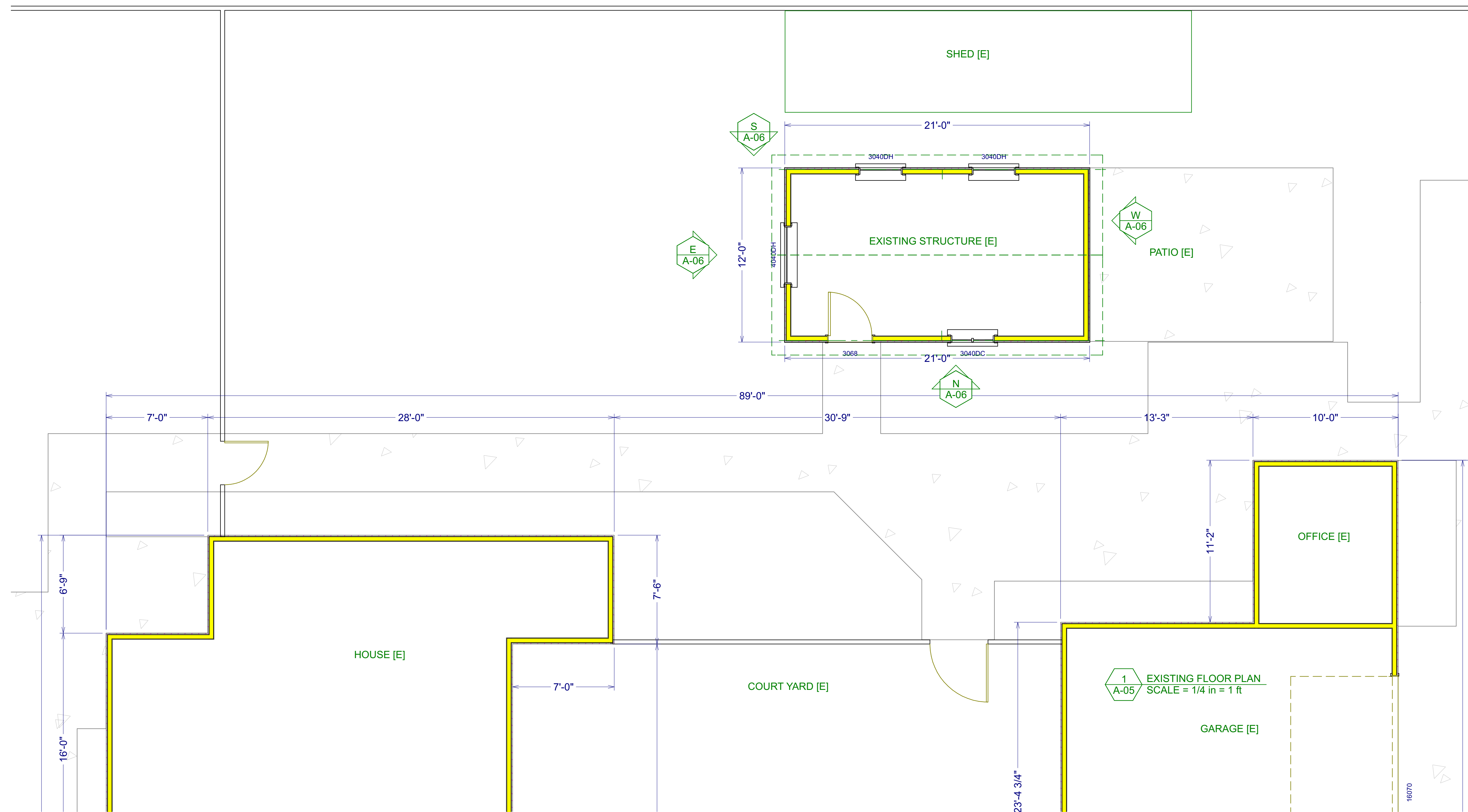
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Project  
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Date  
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Scale  
**A-02**



EXISTING FLOOR PLAN

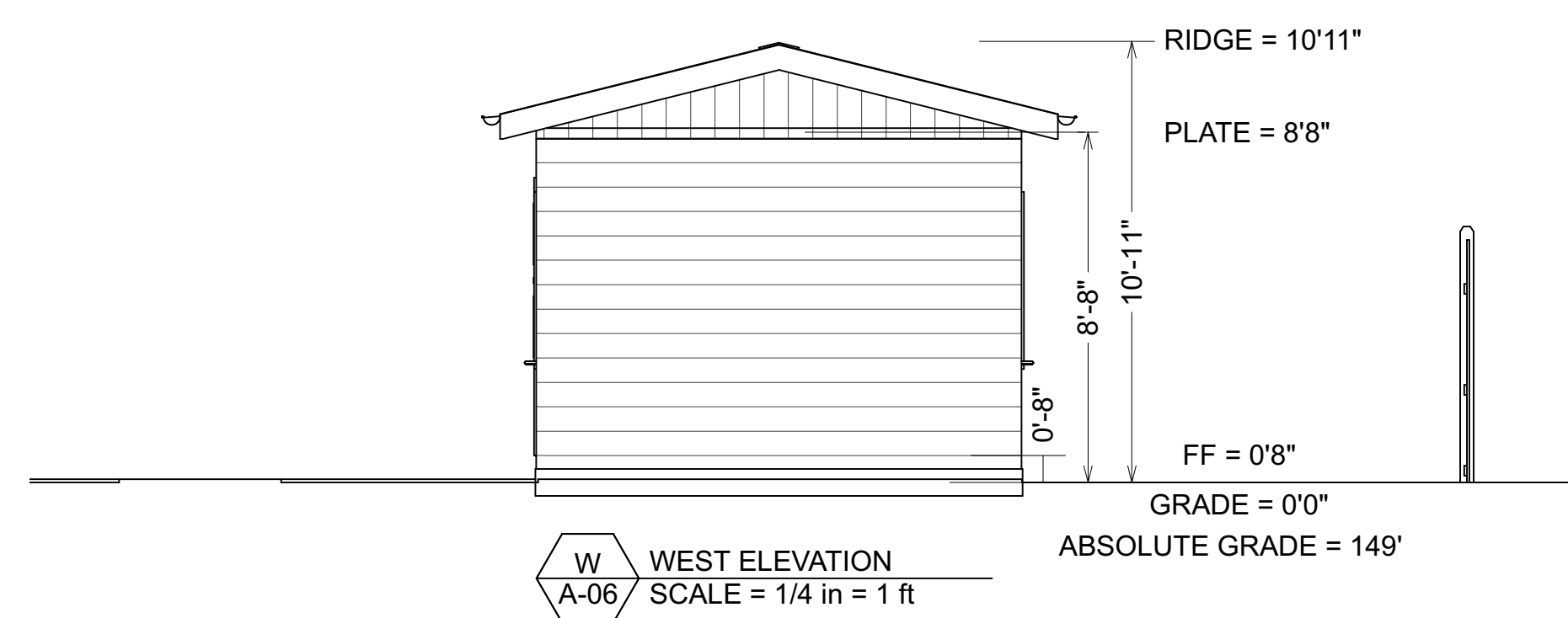
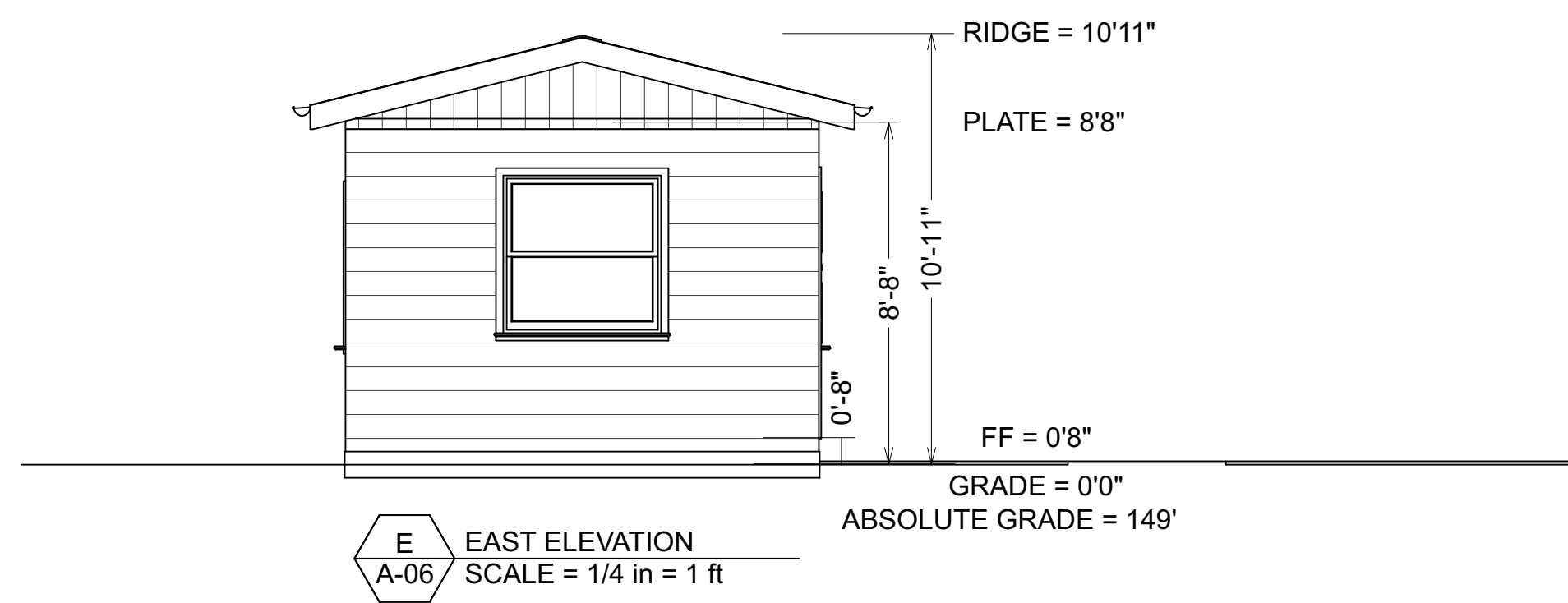
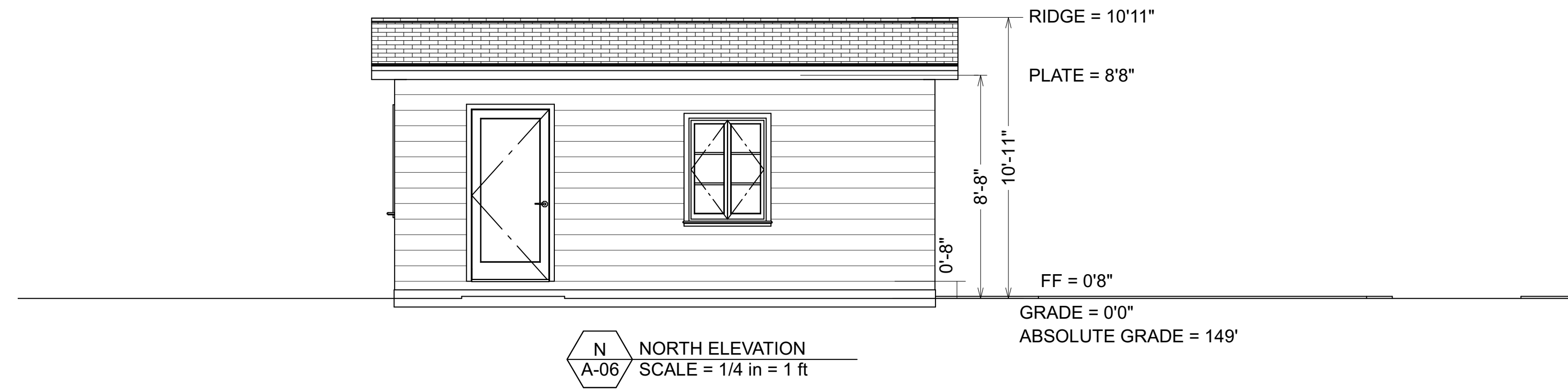
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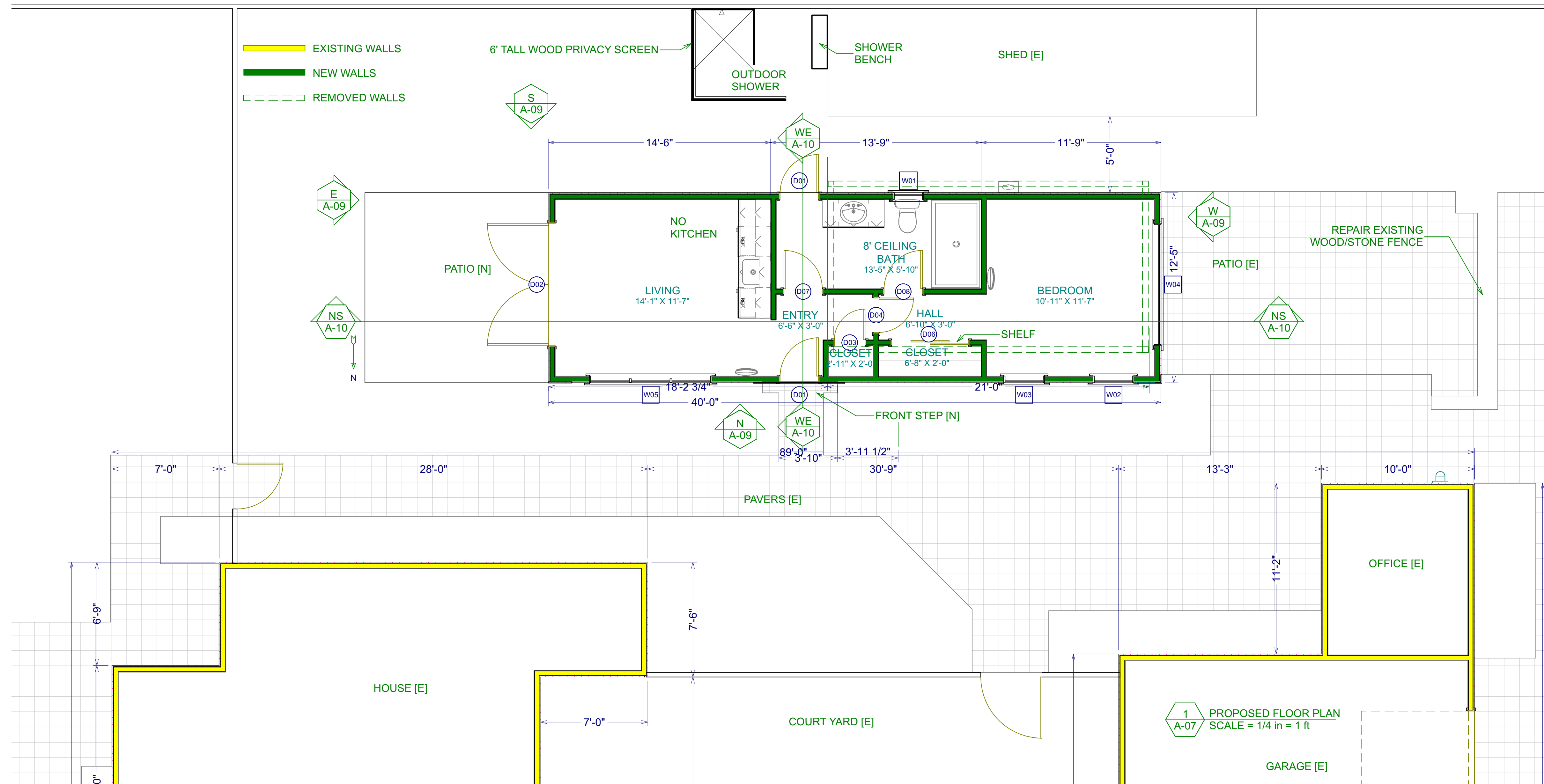
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**A-06**

DOOR SCHEDULE					WINDOW SCHEDULE						
NUMBER	QTY	FLOOR	DIMENSIONS	DESCRIPTION	COMMENTS	NUMBER	QTY	FLOOR	DIMENSIONS	DESCRIPTION	COMMENTS
D01	2	1	30"X80"X1 3/4" R EX	EXT. HINGED-GLASS	[N] TEMPERED, 5 LITE	W01	1	1	24"X48"SC	SNGL CASEMENT-HL	[N]
D02	1	1	(2) 48"X80"X1 3/4" L/R EX	EXT. DOUBLE HINGED-GLASS	[N] TEMPERED, 5 LITE	W02	1	1	32"X48"SC	SNGL CASEMENT-HR	[N] EGRESS
D03	1	1	24"X80"X1 3/8" R IN	HINGED-DOOR	[N]	W03	1	1	32"X48"SC	SNGL CASEMENT-HL	[N] EGRESS
D04	1	1	27"X80"X1 3/8" L IN	HINGED DOOR	[N]	W04	1	1	96"X20"FX	FIXED GLASS	[N]
D06	1	1	60"X80"X1 3/8" R IN	SLIDER DOOR	[N]	W05	1	1	96"X48"TC	TRIPLE CASEMNT-LHL/RHR	[N]
D07	1	1	30"X80"X1 3/8" L IN	HINGED-DOOR	[N]	W10	14	2	22"X18"AW	AWNING	[N] CLEAR STORY, NOT SHOWN
D08	1	1	30"X80"X1 3/8" R IN	HINGED-DOOR	[N]						

JELDWIN WOOD CLAD WINDOWS  
 NUMBER AND SIZE OF CLEARSTORY WINDOWS SUBJECT TO ENGINEERING



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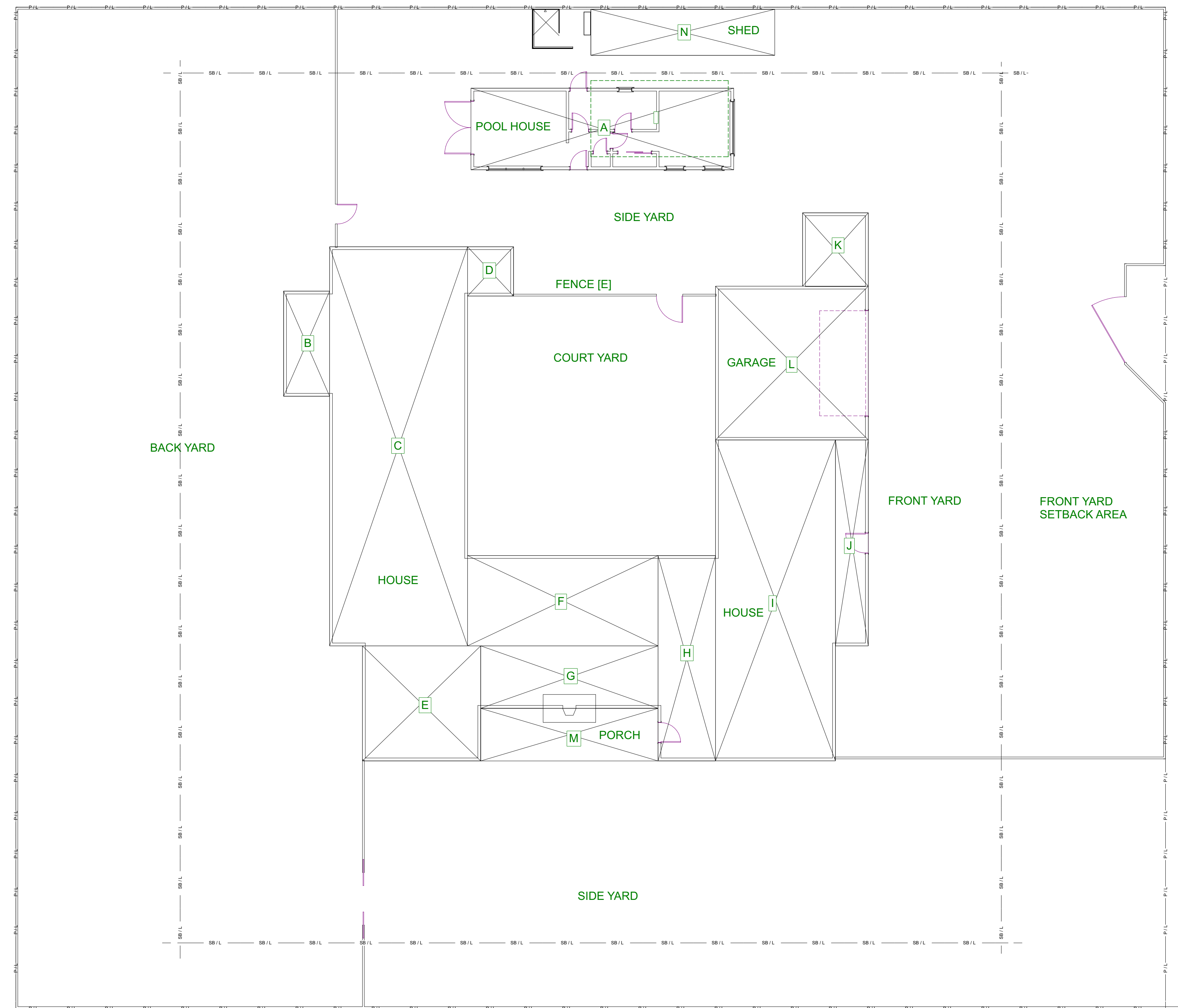
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**A-07**

PROPOSED FLOOR PLAN

FIRST FLOOR AREA CALCULATION								
	ft		in		EXISTING	NEW	TOTAL	COMMENTS
A	400"	480"	125"	149"	258	239	497	POOL HOUSE
B	70"	84"	160"	192"	112	0	112	
C	210"	252"	609"	729"	1276	0	1276	
D	70"	84"	76"	90"	53	0	53	
E	180"	216"	176"	210"	315	0	315	
F	290"	348"	139"	165"	399	0	399	
G	270"	324"	96"	114"	257	0	257	
H	89"	105"	313"	375"	273	0	273	
I	183"	219"	4810"	586"	891	0	891	
J	50"	60"	314"	376"	157	0	157	
K	100"	120"	112"	134"	112	0	112	
L	233"	279"	235"	281"	544	0	544	GARAGE
M	270"	324"	80"	96"	216	0	216	PORCH
N	280"	336"	70"	84"	196	0	196	SHED
TOTAL	SQFT				5,297		5,297	
ALLOWED	SQFT				5,417		5,417	
LOT AREA	SQFT				26,674		26,674	
FAR OK								

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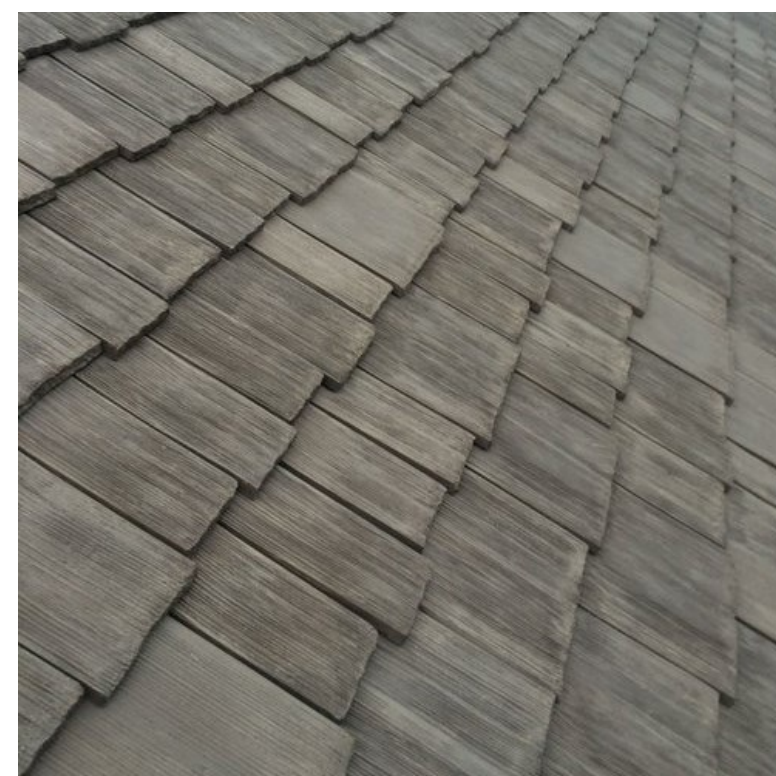
Design Build Firm  

**HAMMERSCHMIDT CONSTRUCTION, INC.**  
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 LOS ALTOS, CA 94024  
 Tel (650) 948-4200 Fax (650) 948-5222

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 AbaloneHill Design

Project 20170412	A-08
Date 10/14/2017	
Scale	



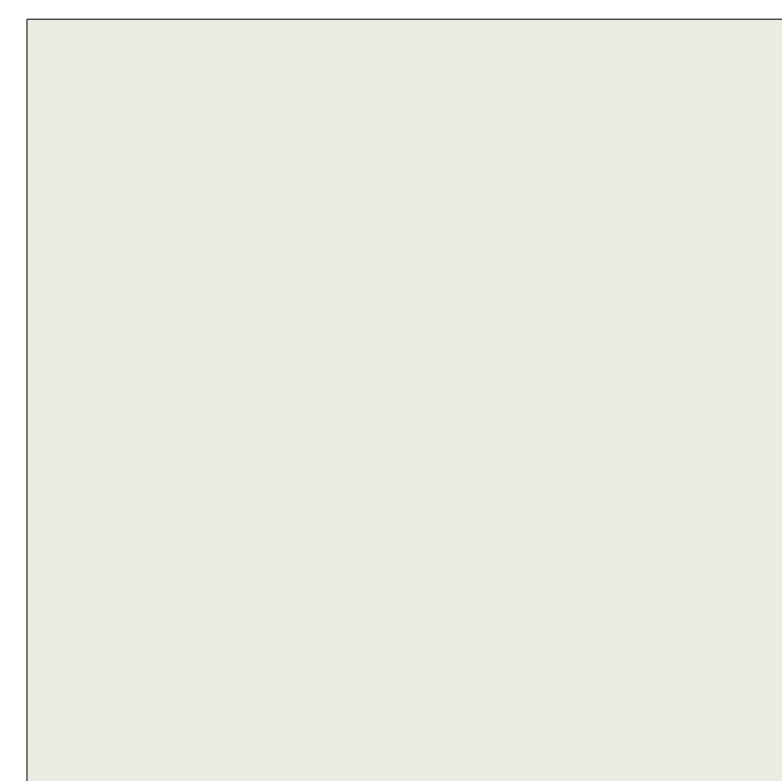
ROOF  
WALDEN  
CeDUR



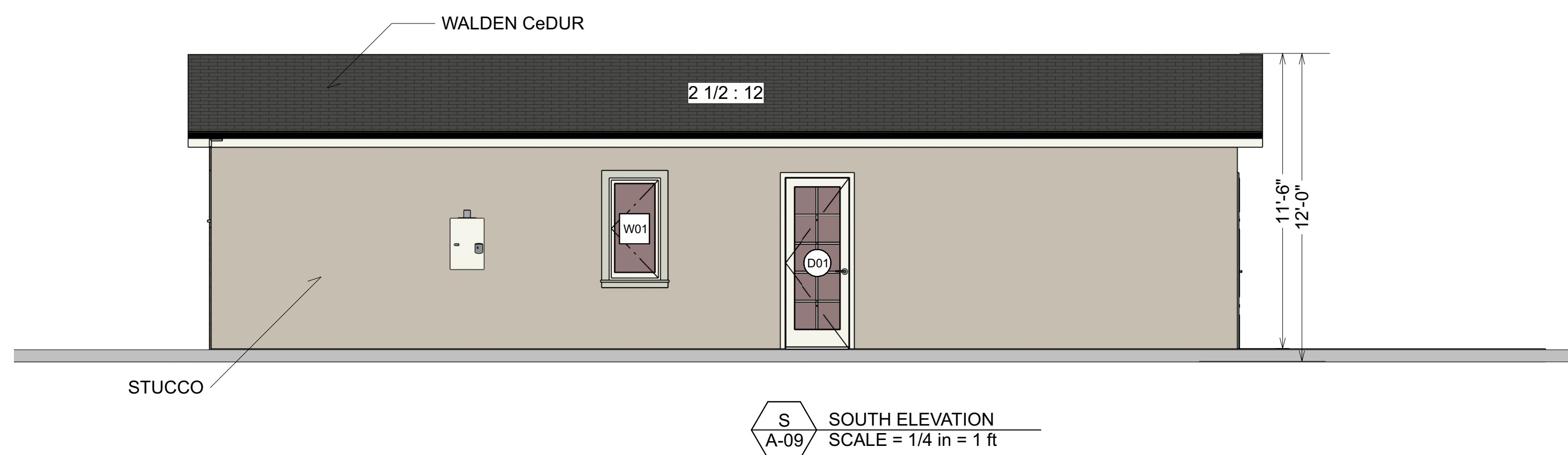
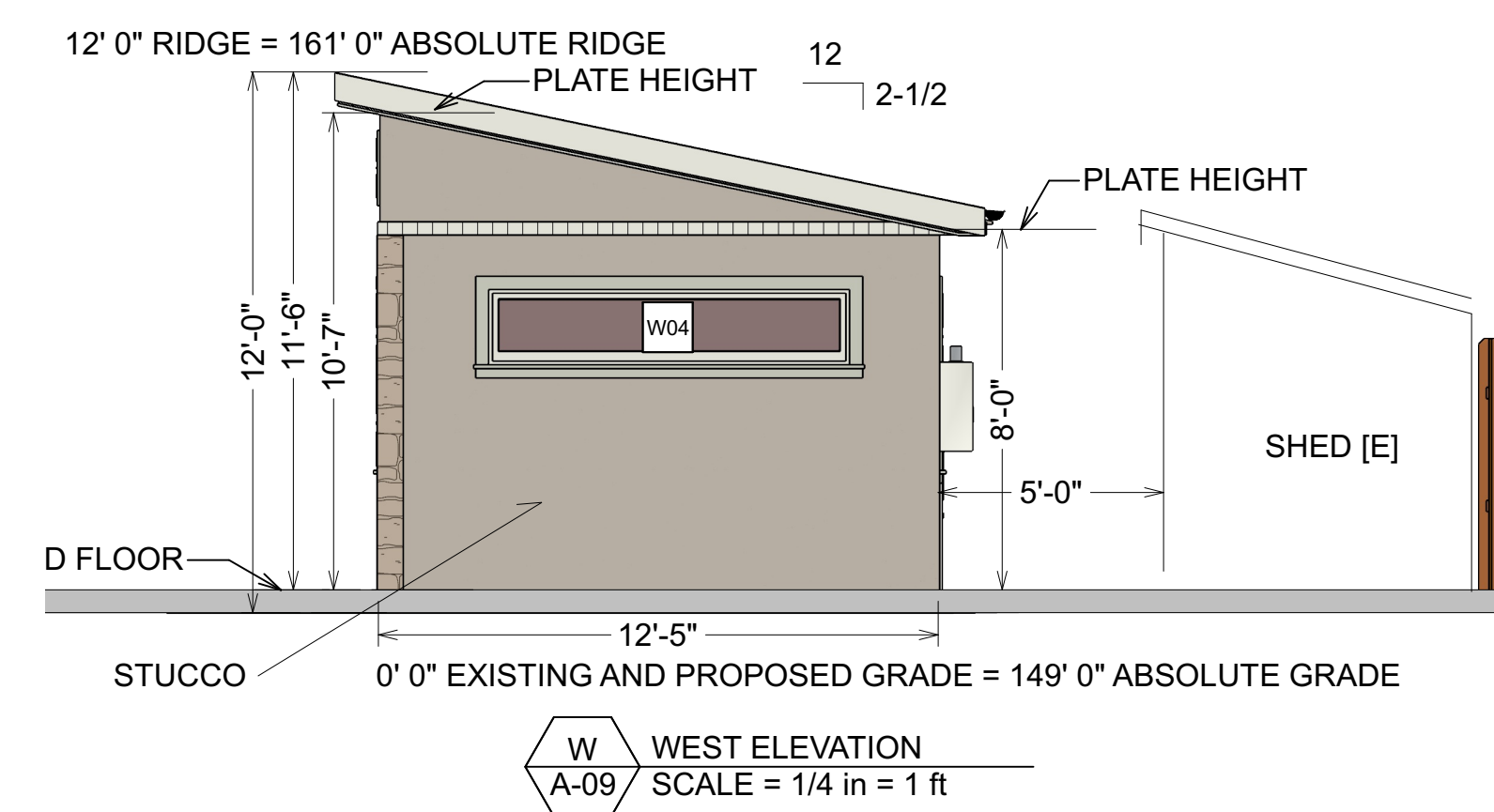
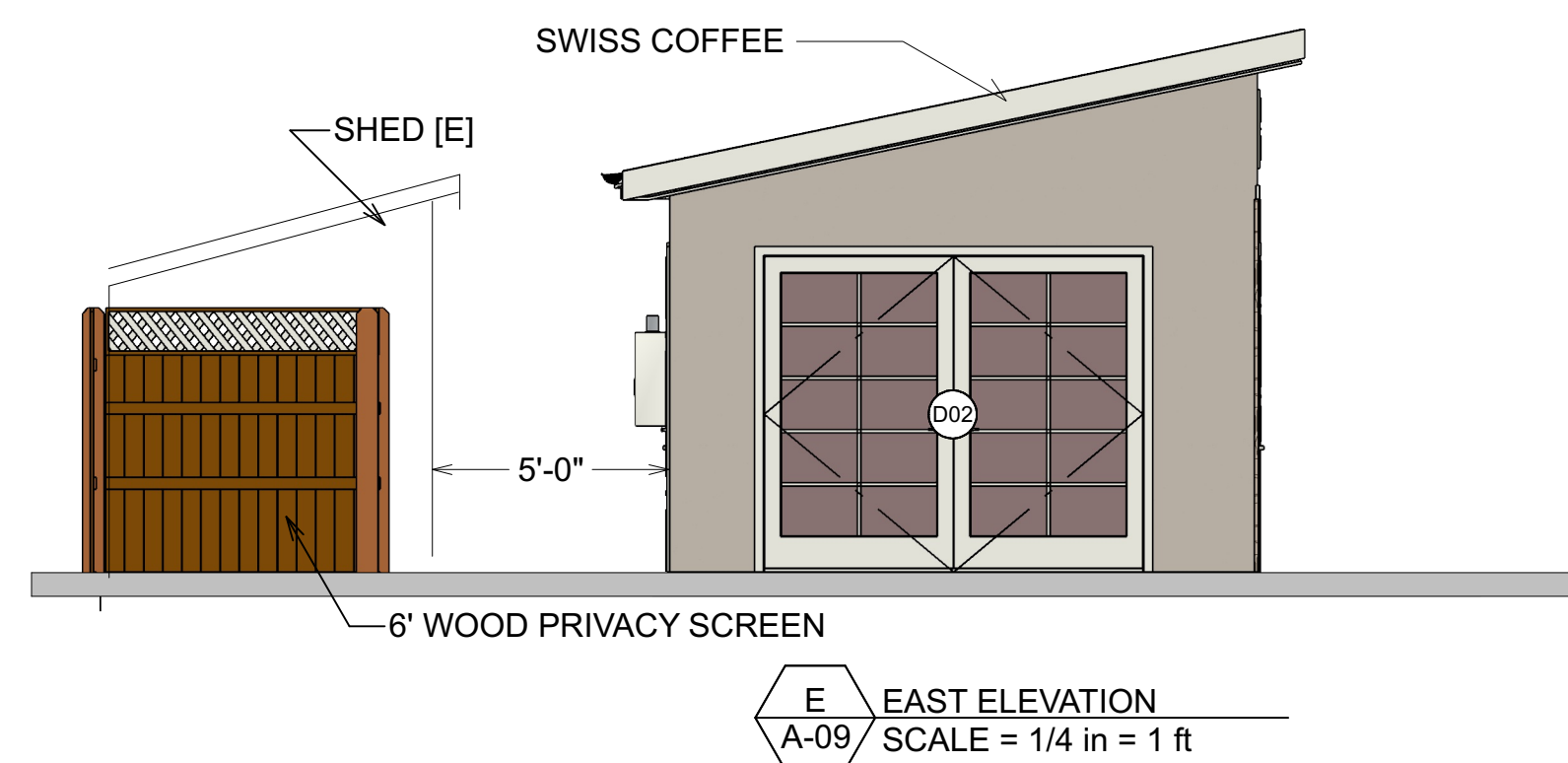
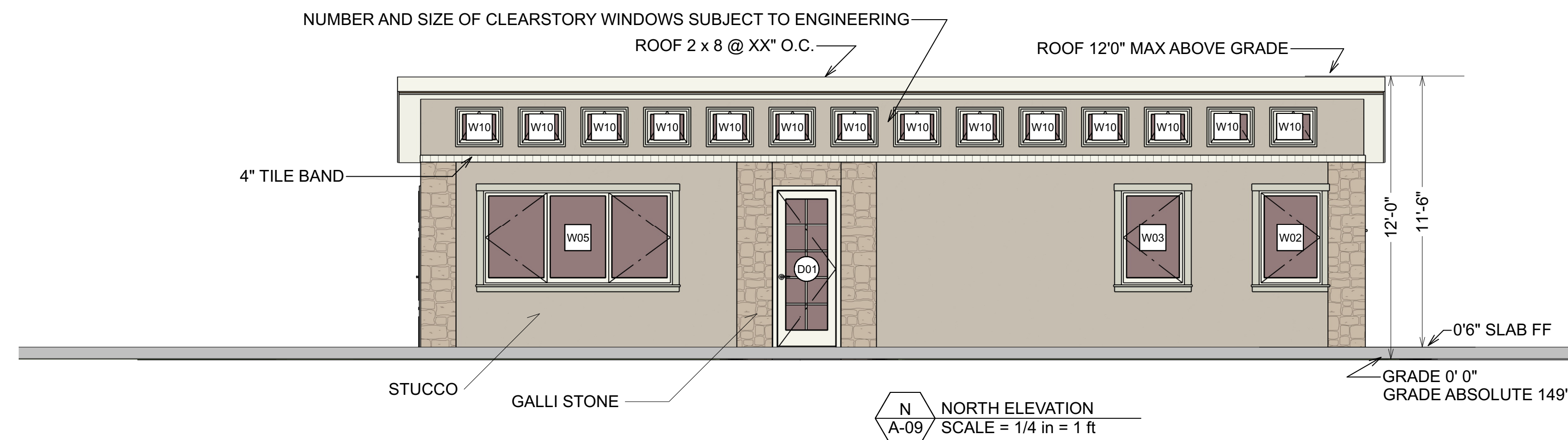
STUCCO  
SAND FINISH  
MONTEREY WHITE  
BENJAMIN MOORE



STONE  
GALLI STONE



TRIM  
SWISS COFFEE  
BENJAMIN MOORE



No.	Revisions/Issue	Date
14	Floor Plan Redlines	09/18/17
13	Floor Plan Redlines	08/30/17
12	Floor Plan Redlines	08/22/17
11	Floor Plan Redlines	08/21/17
10	Floor Plan Redlines - New Floor Plan	07/29/17
9	Floor Plan Redlines	07/12/17
8	Floor Plan Redlines	07/08/17
7	Floor Plan Roof Redlines	06/30/17
1	Floor Plans Existing & Proposed	04/12/17

Project  
**Pool House Remodel**  
Ted and Marcia Adams  
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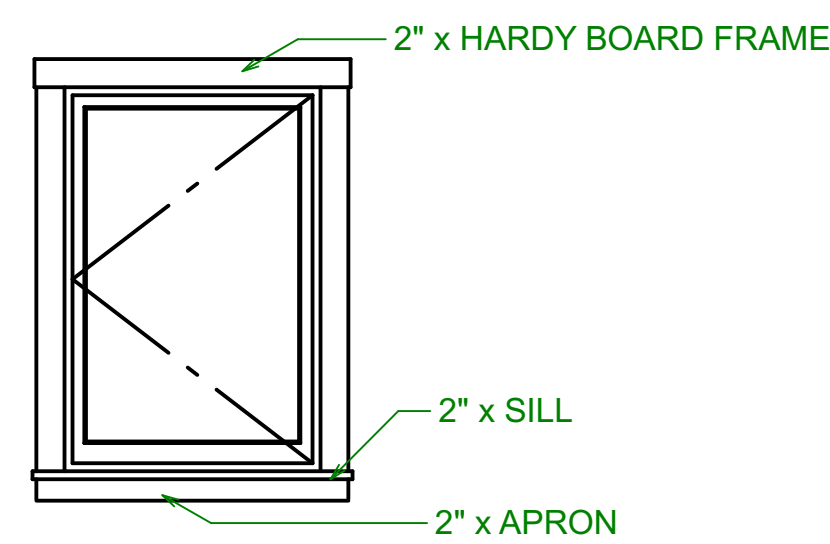
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Project  
20170412

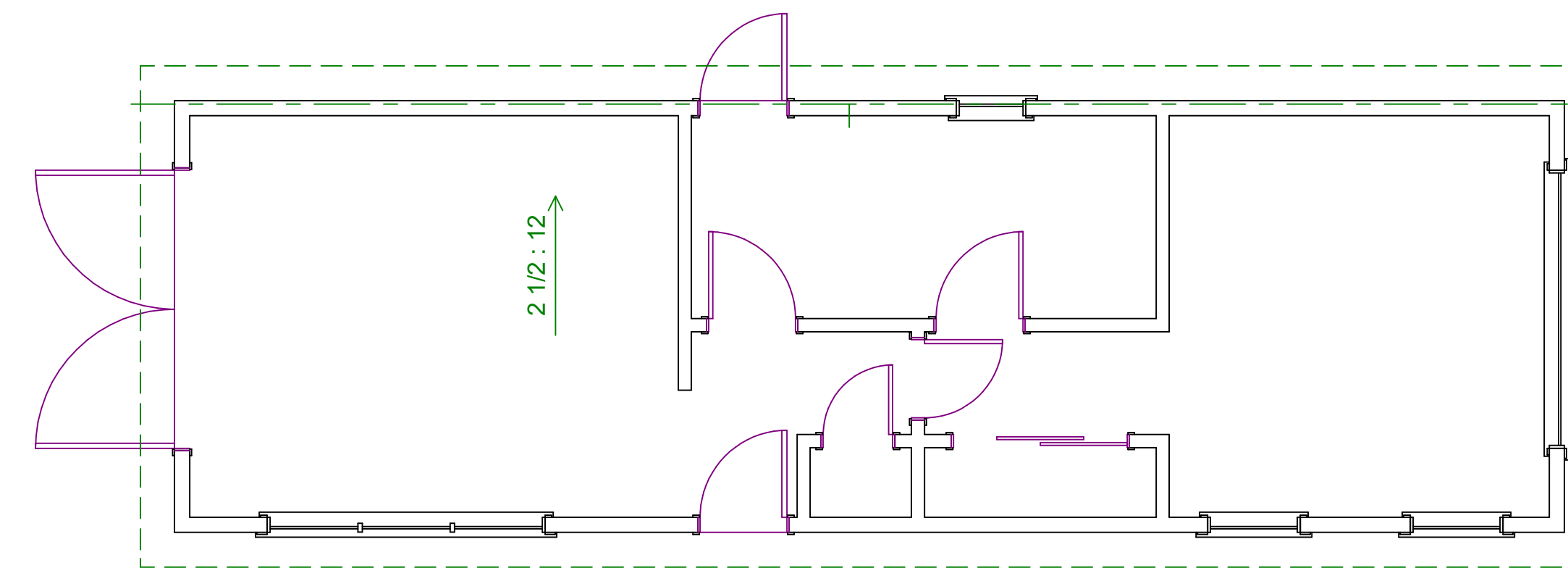
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10/14/2017

Scale

**A-09**

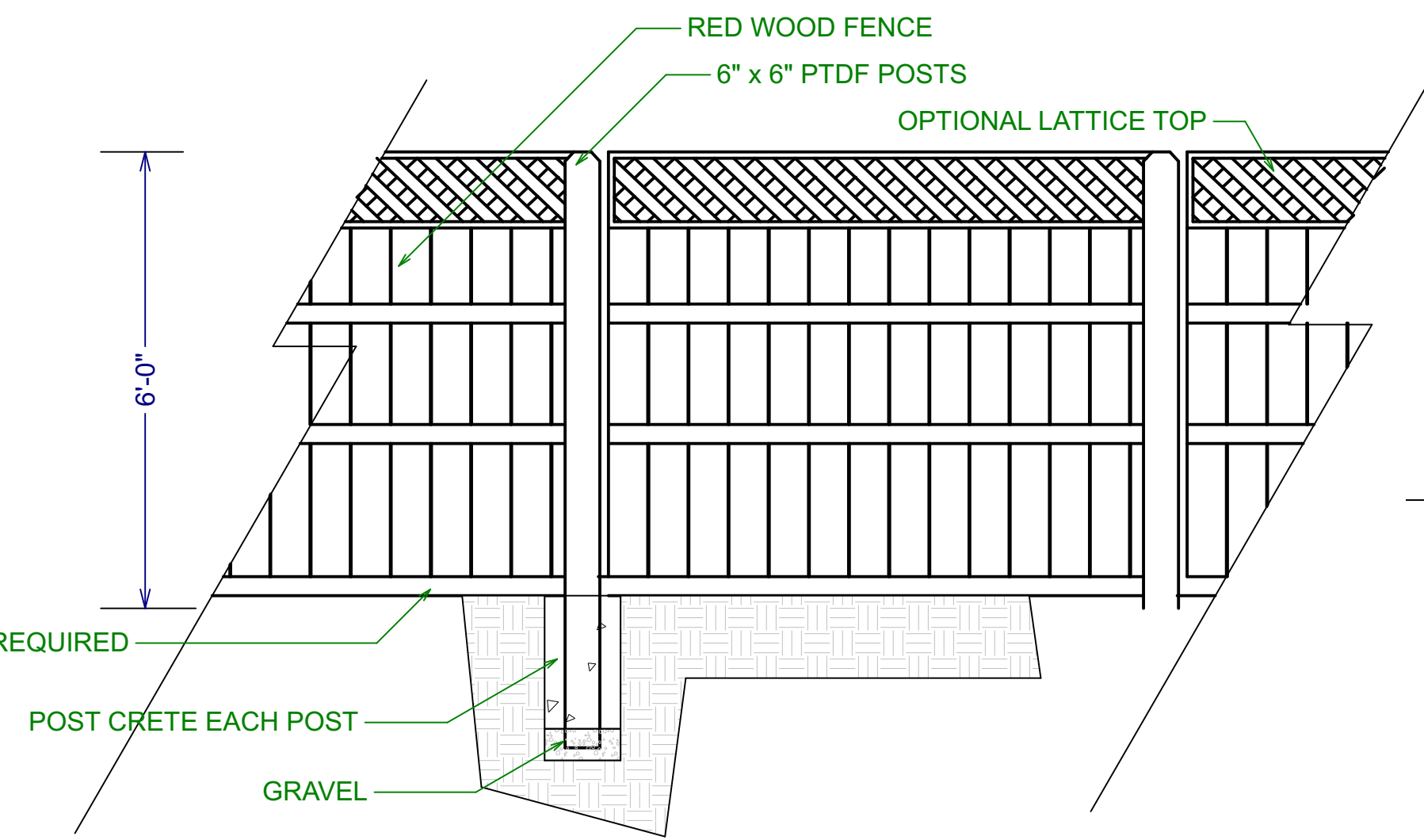


1 WINDOW FRAME DETAIL  
A-10 SCALE = 1/2 in = 1 ft

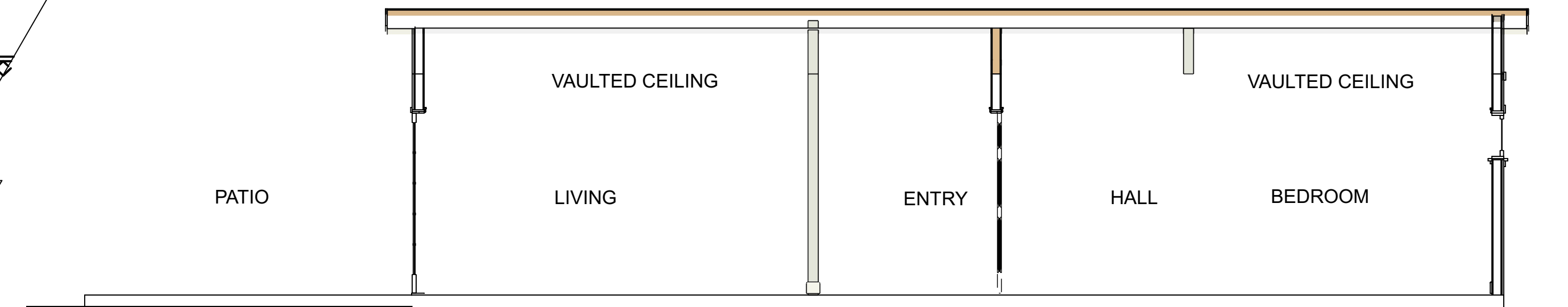


PITCH TO ACCOMMODATE NO MORE THAN 12"0" ABOVE GRADE

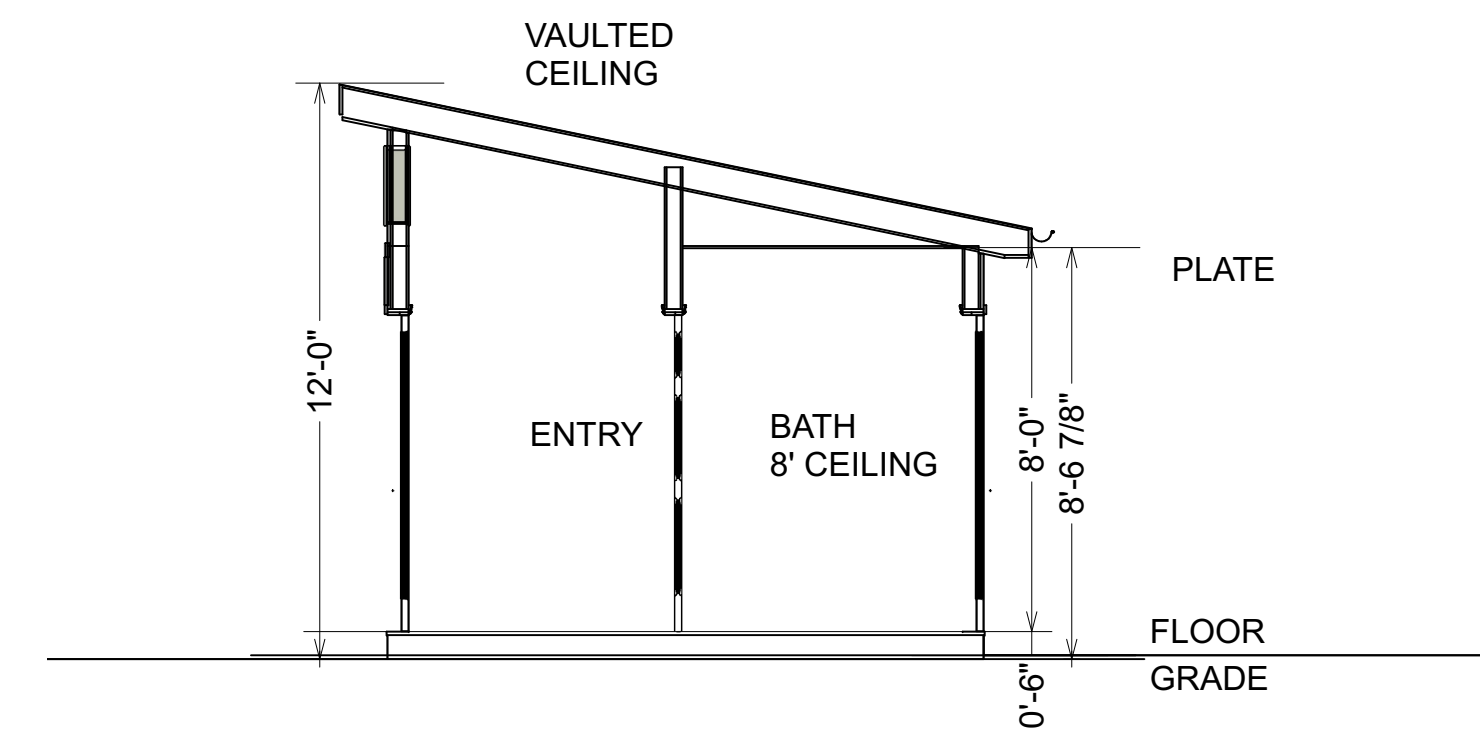
3 ROOF PLAN  
A-10 SCALE = 1/4 in = 1 ft



2 6" PRIVACY SCREEN DETAIL  
A-10 SCALE = 1/2 in = 1 ft



NS NORTH SOUTH X-SECTION  
A-10 SCALE = 1/4 in = 1 ft



WE WEST EAST X-SECTION  
A-10 SCALE = 1/4 in = 1 ft

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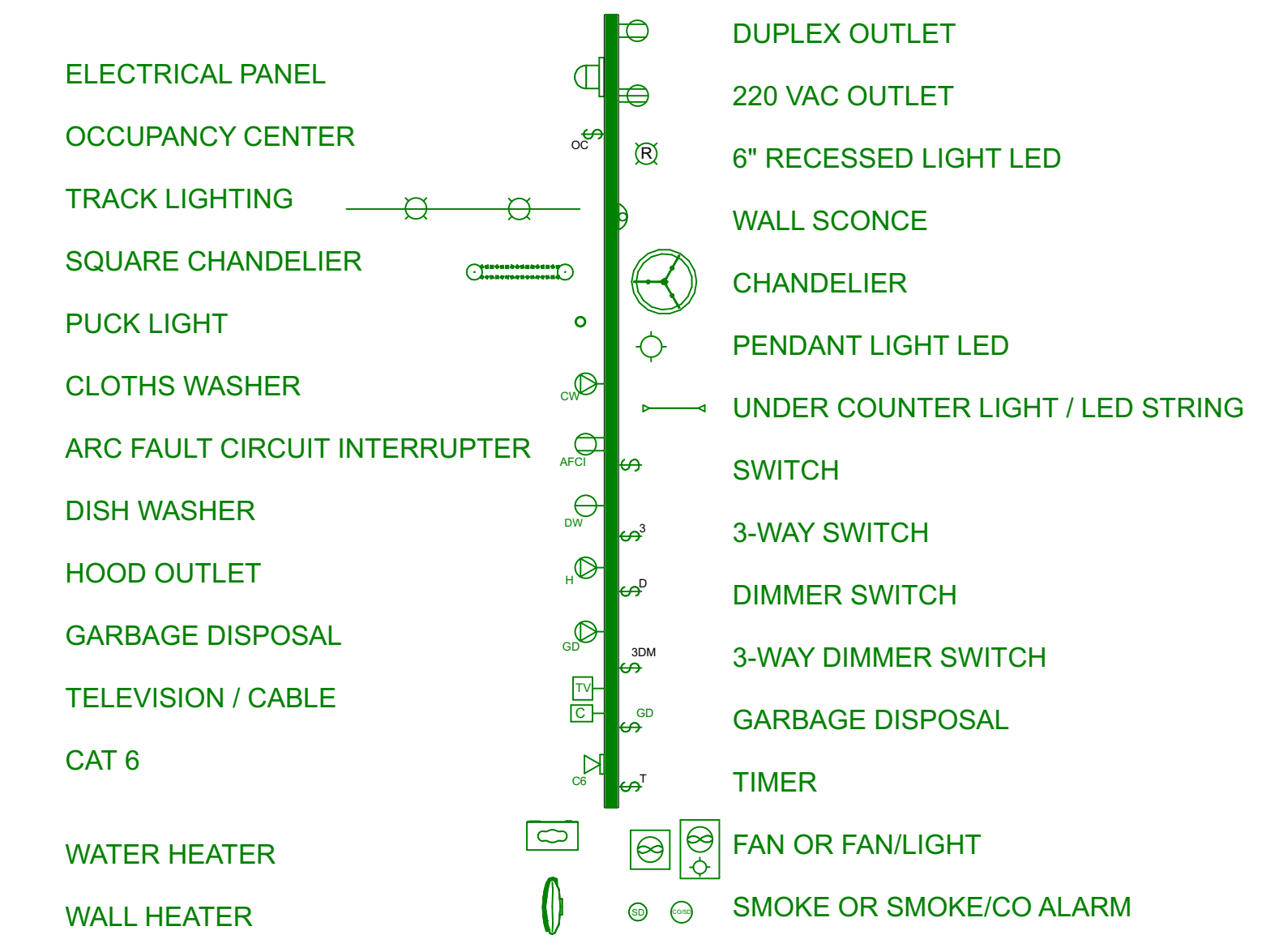
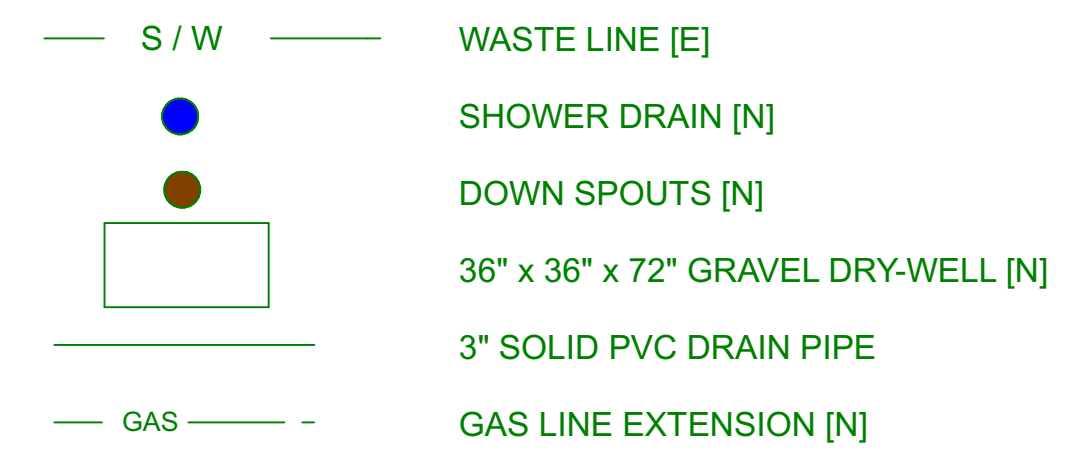
Project  
 20170412

Date  
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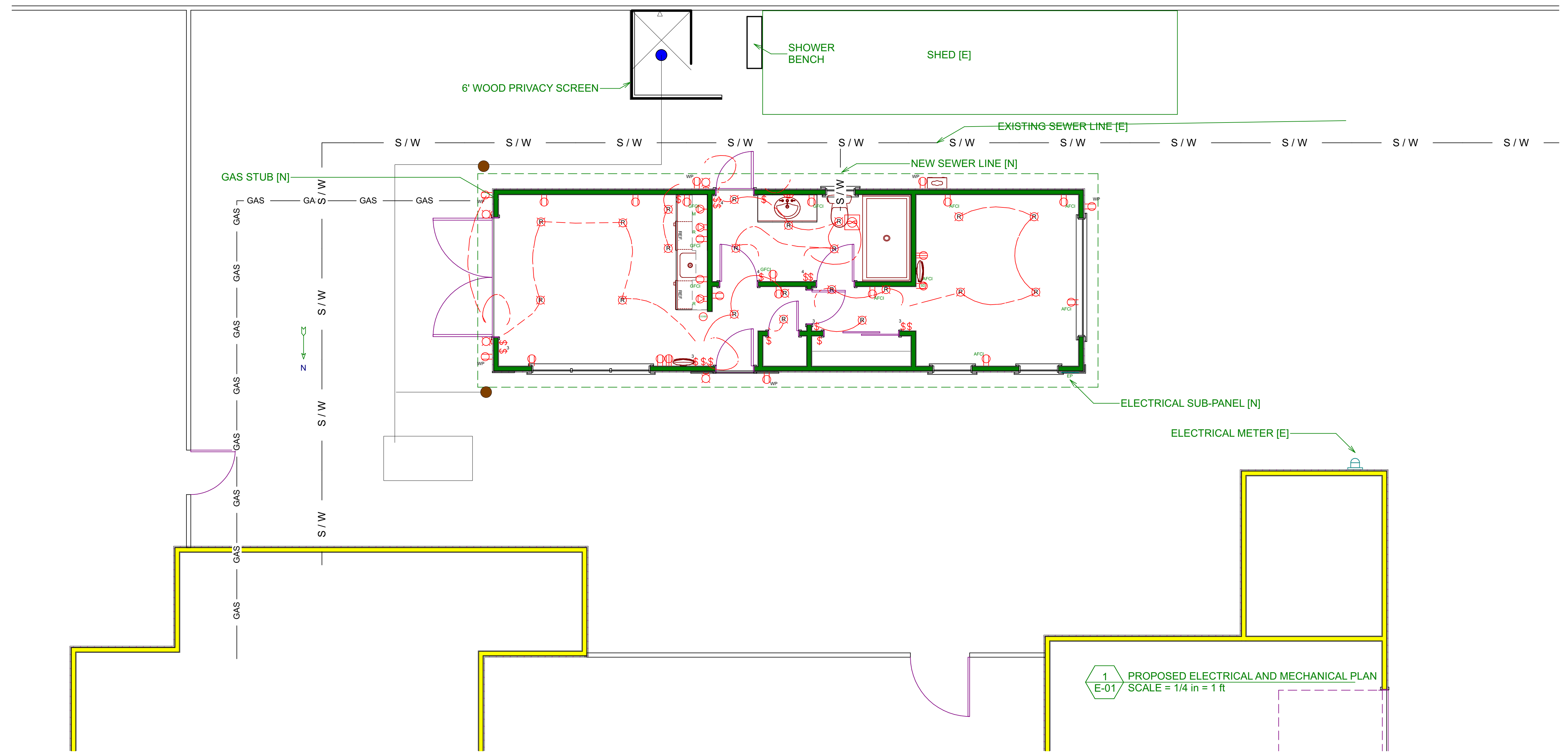
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**A-10**





ALL LIGHTING IS HIGH EFFICACY LIGHTING



1 PROPOSED ELECTRICAL AND MECHANICAL PLAN  
E-01  
SCALE = 1/4 in = 1 ft

PROPOSED ELECTRICAL / MECHANICAL PLAN

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