GENERAL NOTES

- 1. DIMENSIONS ON DRAWINGS: DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS. IF CONFLICTS EXIST NOTIFY THE DESIGNER/ENGINEER BEFORE PROCEEDING WITH THE WORK. DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.
- 2. CONFLICTS IN DOCUMENTS: NOTIFY DESIGNER IMMEDIATELY FOR CLARIFICATION SHOULD ANY CONFLICT IN INFORMATION FOUND IN THE DOCUMENTATION BE DISCOVERED.
- 3. CUTTING AND PATCHING: WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF EXISTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS ADJACENT SURFACES TO MATCH ADJACENT EXISTING SURFACES. PATCHING INCLUDES FINISH PAINTING OF AREA DISRUPTED.
- 4. AGENCY, INSPECTIONS, AND UTILITY COORDINATION: THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED CITY AGENCY INSPECTIONS. IN ADDITION, THE CONTRACTOR IS TO COORDINATE WORK WITH ALL UTILITY COMPANIES (GAS, ELECTRICITY, WATER, PHONES, ETC.) SUCH THAT SERVICE TO THE SITE IS EITHER MAINTAINED OR PROVIDED IN A TIMELY MANNER TO THE COMPLETION OF THE WORK. COORDINATE NEW SERVICE LOCATIONS AND CONFIGURATIONS WITH THE APPROPRIATE PROVIDER, THE OWNER, DESIGNER AND THE ENGINEER.
- 5. SPECIAL INSPECTIONS AND TESTING: IF REQUIRED BY THE GOVERNING AGENCIES, THE OWNER IS TO PROVIDE REQUIRED SPECIAL INSPECTIONS AND TESTING VIA EITHER THE STRUCTURAL ENGINEER OR A LICENSED THIRD-PARTY TESTING AGENCY. THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK AND GIVE THE DESIGNER, STRUCTURAL ENGINEER AND OWNER A MINIMUM FIVE DAY NOTIFICATION ONCE THE WORK IS READY FOR INSPECTION. KEEP ALL REPORTS FOR SUBMITTAL TO AUTHORITIES AT FINAL INSPECTION.
- 6. SITE UTILITIES: THE CONTRACTOR IS TO CAREFULLY REVIEW ANY EXISTING UTILITIES AND IDENTIFY THOSE THAT REQUIRE RELOCATION WITH REGARD TO THE PROPOSED SCOPE OF WORK. CONTRACTOR IS TO IDENTIFY WHETHER UPGRADES ARE REQUIRED TO MEET THE THE REQUIREMENTS OF THE CODE VERIFY THE EXISTING ELECTRICAL SERVICE, MAIN PANEL AND SUB-PANELS, WATER AND HVAC ARE ADEQUATE FOR THE PROPOSED SCOPE OF WORK
- 7. PROTECTION OF PROPERTY: PROTECT THE ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE. DO NOT TRESPASS ON NEIGHBORING PROPERTY. IF REQUIRED, SUBMIT WRITTEN REQUEST TO NEIGHBOR(S) WITH COPY TO OWNER AND DESIGNER AT LEAST 10 DAYS PRIOR TO NEEDED DATE OF TRESPASS. IF ANY DAMAGE OR DISTURBANCE OCCURS TO NEIGHBORING PROPERTIES. RESTORE TO PREVIOUS EXISTING CONDITION AT NO ADDITIONAL COST TO OWNER.
- 8. OWNER'S PROPERTY: IF OWNER'S FURNISHINGS, DECORATIONS OR OTHER PERSONAL PROPERTY ARE IN THE WAY OF THE NEW WORK. COORDINATE WITH THE OWNER FOR THEIR SAFE PROTECTION, RELOCATION, OR REMOVAL FROM THE JOBSITE PRIOR TO THE START OF THE WORK.
- 9. TEMPORARY BARRIERS: PROVIDE TEMPORARY BARRIERS TO PROTECT BOTH EXISTING AREAS AND NEW WORK COMPLETED FROM DISTURBANCE DUST, DIRT, DEBRIS OR OTHER DAMAGE. IF ANY DISTURBANCE OR DAMAGE OCCURS, RESTORE TO PREVIOUS CONDITION AT NO COST TO THE OWNER.
- 10. DEBRIS REMOVAL: MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS AND RUBBISH CAUSED BY OPERATIONS. LEAVE THE JOBSITE CLEAN AND SECURE AT THE END OF EACH WORKING DAY.
- 11. FINAL CLEANING: THE WORK INCLUDES FINAL CLEANING AT THE SITE INCLUDING THE BUILDING INTERIOR, EXTERIOR AND SITE. WIPE DOWN AND DUST ALL SURFACES, VACUUM OR MOP ALL FLOORS, WASH AND POLISH GLASS, REMOVE ANY AND ALL PAINT SPOTS ON EXPOSED SURFACES AND REMOVE ALL DEBRIS AND TRASH.
- 12. WARRANTIES: ALL WORK PERFORMED IS TO BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. EXCEPT WHERE LONGER PERIODS ARE GIVEN BY PRODUCT MANUFACTURERS OR ELSEWHERE IN THE CONSTRUCTION DOCUMENTS. NEATLY ARRANGE ALL PRODUCT WARRANTIES, USER MANUALS AND OTHER PERTINENT MATERIALS AND PROVIDE THEM TO THE OWNER AT FINAL COMPLETION OF WORK
- 13. DOORS AND WINDOWS: THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING DOOR AND WINDOW COORDINATION
- A.) REVIEW ALL ROUGH OPENING SIZES AND LOCATIONS WITH DESIGNER AND WINDOW SUPPLIER AT SITE PRIOR TO THE COMMENCEMENT OF WORK ON BOTH THE FOUNDATIONS AND THE ROUGH FRAMING. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES BETWEEN OPENINGS SHOWN ON THE DESIGNER DRAWINGS AND THOSE AT THE FOUNDATIONS AND FRAMING AS DESCRIBED IN THE STRUCTURAL DRAWINGS
- B.) AT COMPLETION OF ROUGH FRAMING, REVIEW OPENINGS WITH DESIGNER AND WINDOW SUPPLIER. SUBMIT COPY OF WINDOW ORDER TO DESIGNER FOR REVIEW PRIOR TO PROCEEDING WITH ORDER
- C.) VERIFY WITH SUPPLIER THAT WINDOWS TO BE USED FOR EGRESS PURPOSES MEET THE MINIMUM REQUIREMENTS SET FORTH IN THE BUILDING CODE. PROVIDE FIRE RATINGS AND TEMPERED GLAZING AS REQUIRED BY THE DRAWINGS OR AS SET FORTH IN THE BUILDING CODE
- D.) COORDINATE INSTALLATION OF ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES TO INSURE A WEATHER-TIGHT CONDITION.
- 14. MECHANICAL: THE CONTRACTOR IS TO PROVIDE DESIGN-BUILD SERVICES FOR THE PLUMBING AND MECHANICAL SCOPE OUTLINED IN THE DRAWINGS. COMPLY WITH ALL APPLICABLE CODES AND TITLE 24 ENERGY COMPLIANCE SECURE AND PAY FOR ALL REQUIRED PERMITS. REVIEW DRAWINGS AND COORDINATE PATHWAYS SUCH THAT THEY ARE HIDDEN FROM VIEW. IF PATHWAYS CANNOT BE CONCEALED WITHIN THE WALLS, SOFFITS AND CEILING PROFILES AS SHOWN ON THE DRAWINGS, COORDINATE ALTERNATE LOCATIONS WITH DESIGNER ON SITE PRIOR TO PROCEEDING WITH THE WORK.

REOUK RESIDENCE

EXTERIOR REMODEL

1365 GRANT RD. LOS ALTOS CA 94024 BUILDING PERMIT APPLICATION 11-16-15

INFORMATION

INSULATION

INTERIOR

LAMINATE

LOW POINT

MECHANICAL

MAXIMUM

MINIMUM

NUMBER

ON CENTER

O.F.C.I. OWNER FURNISHED

PLYWOOD

RISER(S)

RETURN AIR

ROOF DRAIN

ROOF DRAIN

RE-USE EXISTING

FOR NEW LIGHT(S)

RE-USE EXISTING SWITCH

REFRIGERATOR

PLUS OR MINUS

PRESSURE TREATED

CONTRACTOR INSTALLED TYP.

NORTH

OPNG. OPENING

PLAS. PLASTER

P.T.

JOIST

LINEN

INT.

LIN.

MAX.

SITE MAP

ΑT

A.B.

B.O.B.

CAB.

CEM.

COL.

DBL.

DET.

D.W.

EA.

AND

ANCHOR BOLT

ABOVE FINISH FLOOR

ABOVE FINISH GRADE

BOTTOM OF BEAM

CONTROL JOINT

CONCRETE MASONRY UNIT

AREA DRAIN

ADJACENT

ALUMINUM

BLOCKING

CABINET

CARPET

CEILING

CEMENT

CONCRETE

COLUMN

DISPOSAL

DOUBLE

DETAIL

DOWN

EXISTING

EACH

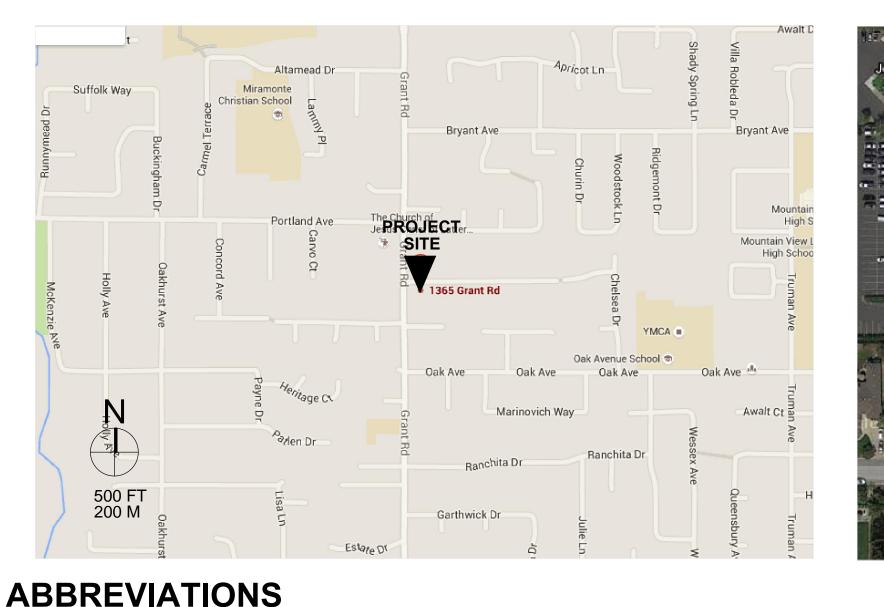
DWG(S). DRAWING(S)

DOWN SPOUT

DISH WASHER

EXPANSION JOINT

VICINITY MAP



ELECTRICAL

ELEVATION

EXTERIOR

FOUNDATION

FLOOR DRAIN

FINISH FLOOR

F.O.W. FACE OF FINISH WALL

FIRE PLACE

GALVANIZED

GLUE-LAM BEAM

GENERAL CONTRACTOR

GALVANIZED SHEET METAL R.

FOOTING

GYP. BD. GYPSUM BOARD

HOSE BIB

HIGH POINT

HEADER

HRD. WD_{HARD} WOOD

HEIGHT

F.O.C. FACE OF CONCRETE

F.O.F. FACE OF FINISH

F.O.S. FACE OF STUD

FINISH

FORCED AIR UNIT

EXISTING TO BE REMOVED JST.

EQUAL

ELEV.

EQ.

EXT.

F.D.

FTG.

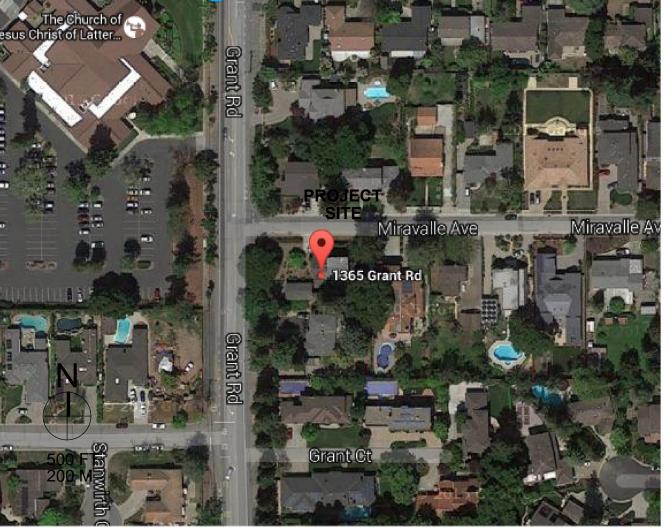
G.C.

GL.

HT.

G.L.B.

F.A.U.



DRAWING LEGEND

ROOM	WALL TYPE 99 BI
RAIN WATER LEADER	WALL TITE
SOUTH	DOOR TYPE (99A)
SOLID CORE	WINDOW TYPE $\langle \hat{x} \rangle$
SIMILAR	material T
SEE LANDSCAPE DWGS.	FINISH TYPE XX 99
SLOPE TO DRAIN	
STORAGE	finish——— El
SEE STRUCTURAL DWGS.	ELEVATION DATUM 🕀
STEEL	т
TREAD(S)	DEVISION IN
THRESHOLD	REVISION
TEMPERED	
TOP OF DECK	
TOP OF SLAB	C
TOP OF WALL	WALLECEN
TYPICAL	WALL LEGEN
UNESS OTHERWISE NOTED)
VAPOR BARRIER	EXISTING WALL TO REMA
VERIFY IN FIELD	EXISTING WALL TO BE DE
WEST	EXISTING WALL TO BE DE

SHEAR WALL LOCATION, S.S.D.

NOTE: NOT ALL SYMBOLS OCCUR IN DRAWING SET

SLDG SECTION LEVATION/SECTION NTERIOR ELEVATION COLUMN GRIDLINE

NEW NON-RATED WALL NEW 1-HOUR FIRE RATED WALL

PROJECT DATA

- PROJECT NAME: DANIIL REOUK RESIDENCE PROJECT DESCRIPTION: EXTERIOR REMODEL TO (E) 2 STORY SINGLE FAMILY RESIDENCE. THE WORKS INCLUDES OUTDOOR PATIO EXTENSION, REPLACEMENT OF FEW (E) 2ND FLOOR WINDOWS AT ELEVATIONS THAT DO NOT FRONT ON STREETS. REMOVAL OF (E) CHIMNEY, INSTALLATION OF (N) AIR CONDITIONING UNIT (N) MECHANICAL, (N) ELECTRICAL AND (N) PLUMBING.
- PROJECT ADDRESS 1365 GRANT ROAD LOS ALTOS CA 94024
 - APN: 197-19-104
- **ZONING: R1, RESIDENTIAL SINGLE FAMILY**
- OCCUPANCY: R-3
- HISTORICAL DESIGNATION: YES **HOUSE BUILT: 1914**
- CONSTRUCTION CLASSIFICATION: VB
- GOVERNING CODES:
- ALL WORK SHALL BE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE FOLLOWING:

2013 CALIFORNIA HISTORICAL BUILDING CODE (CHBC) 2012 INTERNATIONAL EXISTING BUILDING CODE (I.B.C) AS AMMENDED BY THE 2013 CALIFORNIA BUILDING CODE (C.B.C.) 2012 INTERNATIONAL RESIDENTIAL CODE (I.R.C.) AS AMMENDED BY 2013 CALIFORNIA RESIDENTIAL CODE (I.R.C.) 2012 UNIFORM MECHANICAL CODE (U.M.C.) AS AMMENDED BY 2013 CALIFORNIA MECHANICAL CODE (C.M.C.) 2012 UNIFORM PLUMBING CODE (C.P.C.) AS AMMENDED BY 2013 CALIFORNIA PLUMBING CODE (C.P.C.) 2011 NATIONAL ELECTRIC CODE (N.E.C.) AS AMMENDED BY 2013 CALIFORNIA ELECTRICAL CODE (C.E.C.) 2013 CALIFORNIA ENERGY CODE (E.E.C.) 2013 NATIONAL ENERGY CODE (N.E.C.) 2013 BUILDING ENERGY EFFICIENCY STANDARDS 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE (C.G.B.S.C.)

11. FLOOR AREA CALCULATIONS

	EXISTING
(E) MAIN HOUSE	2,428 SQ. F
(E) 2-CAR GARAGE/IN LAW UNIT	762 SQ. F

NOTE: NO NEW AREA IS PROPOSED

2,428 SQ. FT.

762 SQ. FT.

PROJECT DIRECTORY

OWNER DANIIL REOUK 1365 GRANT RD. LOS ALTOS CA 94024 PH: (952) 212-5582 E-MAIL: dv222@yahoo.com

PH: (510) 848-9006

HISTORIC PRESERVATION ARCHITECT JILL JOHNSON 2234 RUSSELL STREET BERKELEY CA 94705

E-MAIL: jill_r_johnson@sbcglobal.net

E-MAIL: jplangeloh@yahoo.com DESIGNER/DRAFTER RANEL CORTEZ 1079 ADASON DR.

REGISTER ENGINEER

JOHN LANGELOH, PE

5654 GOLD RIVER WAY

MARYSVILLE CA 95901

PH: (916) 220-0080

SAN LEANDRO CA 94578 PH: (510) 352-4102 E-MAIL: zet.design1@gmail.com

DRAWING INDEX

PROJECT DRAWINGS

A-0.0 PROJECT INFORMATION.GENERAL NOTES INDEX, LEGEND & VICINITY MAP

A-0.1 EXISTING SITE PLAN A-1.1 EXISTING/DEMO LOWER & UPPER FLOOR PLAN

- A-1.2 EXISTING/DEMO & PROPOSED BASEMENT/CRAWL SPACE PLAN
- A-1.3 PROPOSED LOWER & UPPER FLOOR PLAN
- A-2.1 EXISTING EXTERIOR ELEVATION
- A-2.2 PROPOSED EXTERIOR ELEVATION
- A-3.1 SPECIFICATION & INFORMATION

11.16.2015 **SCALE** As hown

SHEET

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

RM.

R.W.L

S.S.D.

STL.

T.O.S.

T.O.W.

U.O.N.

V.I.F.

W.

ROOM

WASHER / DRYER

WELDED WIRE MESH

WATER HEATER

WITH

WOOD

REVISION

Copyright © 2013

Preservation Architect:
JOHNSON

ussell Street
ey CA 94705

JOHN LANGELOH, PE

5654 Gold River Way
Marysville CA 95901
Phone: 916-220-0080
Designer/Drafter:

RANEL CORTEZ
1079 Adason Dr.
San Leandro CA 94578
Berkeley CA 94705

Cour Residence CA 9402

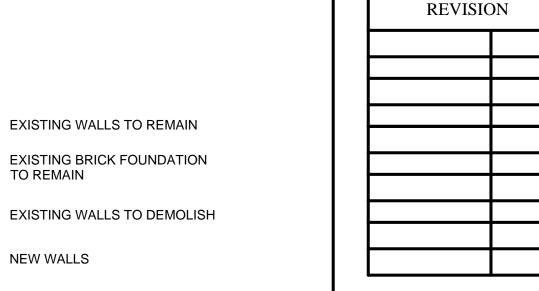
DATE 11.16.2015 SCALE 1/4" = 1'-0" SHEET

A-0.1

MAY BE LESS THAN 1'-3" FROM CENTER OF TOILET.

- 3. TOILET, LAUNDRY, KITCHEN AND BATHROOM EXHAUST FANS, WHEN PROVIDED SHALL HAVE EXTERIOR TERMINATION WITH BACKDRAFT DAMPER A MIN. 3'-0" FROM PROPERTY LINE AND ALL BUILDING OPENINGS PER CMC 504.5. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
- 4. ALL (N) TOILETS SHALL BE MAX.1.28 GPF, (N) SHOWER HEADS SHALL HAVE A FLOW OF 2.5 GPM AND (N) FAUCETS SHALL HAVE A FLOW OF 2.2 GPM PER 2013 CPC SECTION 402.
- 5. BULT-IN SHOWERS TO BE PROVIDED WITH CODE APPROVED SHOWER PAN WATERPROOFING SYSTEM W/ FLOOR DRAIN LOCATED 2" MIN. BELOW FIN. THRESHOLD AT SHOWER ENTRY. MIN. FLOOR SPACE AREA INSIDE SHOWER TO BE 1,029 SQ.IN.
- 6. ALL (N) SHOWER & BATH TUB WALL FINISHES TO BE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT (CEMENT, FIBER CEMENT, GLASS MAT GYPSUM, ETC.) TO A HEIGHT OF 72" ABOVE DRAIN INLET PER CRC SECTION R307.2
- 7. PROVIDE TEMPERED GLASS SHOWER ENCLOSURE WITH STAINLESS STEEL CLIPS. GLAZING SHALL MEET REQUIREMENTS OF CBC CHAPTER 24. IDENTIFICATION PER 2403.1 & 2406.3 HAZARDOUS LOCATIONS.
- 8. ALL PLUMBING FIXTURES SHALL COMPLY WITH 2013 CALIFORNIA PLUMBING CODE.
- 9. REFER TO SHEETS MF-1R & CF-1R "TITLE 24" FOR ENERGY CALCULATIONS.
- 10. BEDROOMS TO BE PROVIDED WITH AT LEAST ONE WINDOW MEETING EMERGENCY ESCAPE & RESCUE REQUIREMENTS 2013 CBC SECTION 1026. MIN. NET CLEAR OPENING TO BE 5.7 S.F., MIN. NET CLR. HT. TO BE 24", MIN. NET CLR. WIDTH TO BE 20". MAXIMUM HT. ABOVE FLOOR TO BE 44".
- 11. (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING
- 12. (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.40 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
- 13. STAIRS TO BE PROVIDED WITH 1 1/4" MAX. DIA. HANDRAIL, 3'-0" ABOVE TREAD NOSING. MIN. 1 1/2" OUT FROM FACE OF WALL.
- 14. INSTALL R-13 BATT INSULATION IN ALL (N) 2x4 INTERIOR WALLS SEPARATING CONDITIONED AND UNCONDITIONED SPACE.
- 15. INSTALL R-19 BATT INSULATION IN (N) 2X6 EXTERIOR WALLS AND R-13 BATT INSULATION IN (N) 2X4 EXTERIOR WALLS AND LOCATIONS AT (E) EXTERIOR WALLS WHERE THE SHEATING
- IS TO BE REMOVED AS REQUIRED FOR CONSTRUCTION. 16. PROVIDE HIGH & LOW COMBUSTION AIR OPENINGS FROM OUTSIDE OPENING OR PL PER CMC 504.5. WITHIN 12" OF FLOOR AND CEILING AT FURNANCE AND WATER
- HEATER SPACE PER CMC SECTION 702. MIN. DIA. OF 8" 17. PROVIDE METAL SEISMIC STRAPS TO WALL AT WATER HEATERS.
- 18. DRYER EXHAUST DUCT TO BE MIN. 4" DIA. AND 14'-0" MAX. LENGTH WITH TWO 90 DEGREE TURNS MAX. PER CMC 504.3.2.
- 19. PROVIDE 100 SQ. IN. NET OPENING IN CLOSET DOOR FOR DRYER MAKE -UP AIR PER CMC SECTION 504.3.2.
- 20. EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF CMC 403.7 TABLE 4-4 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION.
- 21. WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION AND MAKE UP AIR AS NEEDED. DRYER EXHAUST TO MEET REQUIREMENTS OF: CMC 504.3.1 AND 4"Ø DUCT PER CMC 504.3.2 DRYER DUCTS PER CMC 504.3.2.1 AND 504.3.2.2/. TERMINATION 3' FROM ANY
- 22. DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3. - GAS VENT TERMINATION PER CMC 802.6.2(1)&(2) - GAS VENT TERMINATION CAP PER CMC 802.6.2.5
- 23. DOMESTIC RANGE AND COOKTOP UNIT INSTALLATION PER MFR'S. INSTRUCTIONS AND VENT SHALL PER CMC 504.2

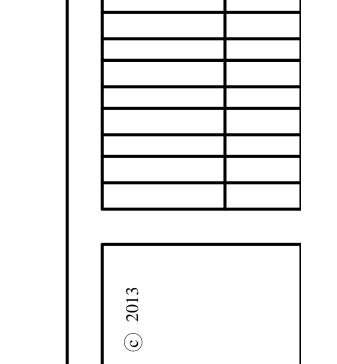
- GAS VENT SUPPORT PER MFGR AND CMC 802.5.6 & 802.6.5.

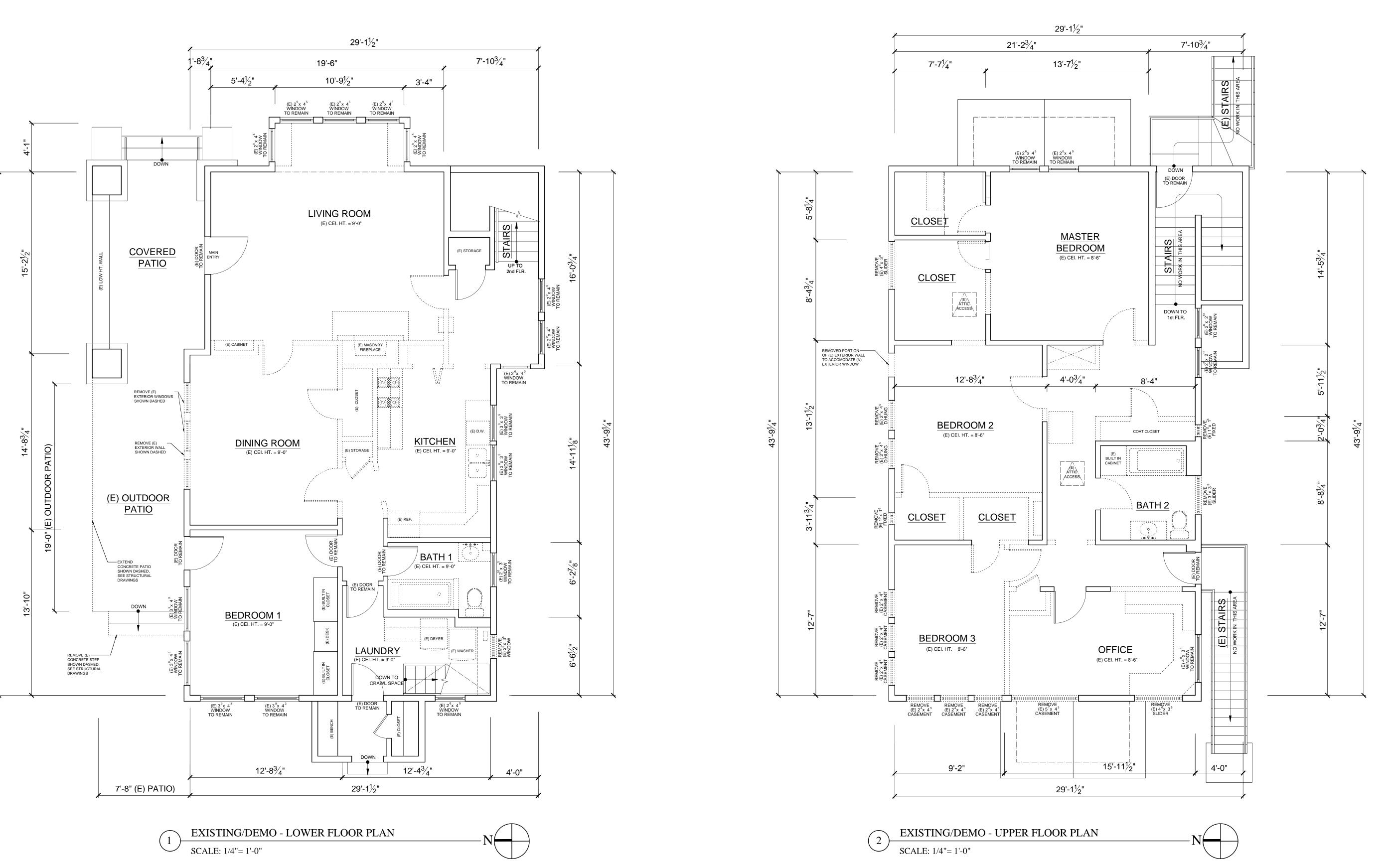


LEGEND:

DENOTES EXISTING

DENOTES NEW





DATE 11.16.2015 SCALE 1/4" = 1'-0"

A-1.1

- 1. REFER TO PROJECT DATA ON SHEET A-0.0FOR APPLICABLE CODES WHICH APPLY TO CONSTRUCTION OF THIS PROJECT. SEE GENERAL NOTES ON SHEET A-0.1 FOR MINIMUM REQUIREMENTS OF GENERAL CONTRACTORS IN THE EXECUTION OF THIS PROJECT.
- FOR MINIMUM REQUIREMENTS OF GENERAL CONTRACTORS IN THE EXECUTION OF THIS PROJECT.

 2. TOILETS TO BE INSTALLED CENTERED WITHIN A CLEAR SPACE 2'-6" MIN. NO ADJACENT WALL OR VERTICAL SURFACE

MAY BE LESS THAN 1'-3" FROM CENTER OF TOILET.

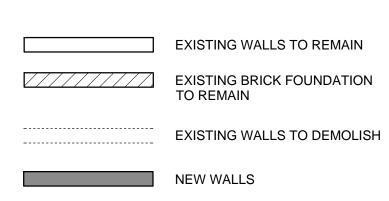
- 3. TOILET, LAUNDRY, KITCHEN AND BATHROOM EXHAUST FANS, WHEN PROVIDED SHALL HAVE EXTERIOR TERMINATION WITH BACKDRAFT DAMPER A MIN. 3'-0" FROM PROPERTY LINE AND ALL BUILDING OPENINGS PER CMC 504.5. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
- 4. ALL (N) TOILETS SHALL BE MAX.1.28 GPF, (N) SHOWER HEADS SHALL HAVE A FLOW OF 2.5 GPM AND (N) FAUCETS SHALL HAVE A FLOW OF 2.2 GPM PER 2013 CPC SECTION 402.
- 5. BULT-IN SHOWERS TO BE PROVIDED WITH CODE APPROVED SHOWER PAN WATERPROOFING SYSTEM W/ FLOOR DRAIN LOCATED 2" MIN. BELOW FIN. THRESHOLD AT SHOWER ENTRY. MIN. FLOOR SPACE AREA INSIDE SHOWER TO BE 1,029 SQ.IN.
- 6. ALL (N) SHOWER & BATH TUB WALL FINISHES TO BE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT (CEMENT, FIBER CEMENT, GLASS MAT GYPSUM, ETC.) TO A HEIGHT OF 72" ABOVE DRAIN INLET PER CRC SECTION R307.2
- 7. PROVIDE TEMPERED GLASS SHOWER ENCLOSURE WITH STAINLESS STEEL CLIPS. GLAZING SHALL MEET REQUIREMENTS OF CBC CHAPTER 24. IDENTIFICATION PER 2403.1 & 2406.3 HAZARDOUS LOCATIONS.
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- 12. (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.40 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
- 13. STAIRS TO BE PROVIDED WITH 1 1/4" MAX. DIA. HANDRAIL, 3'-0" ABOVE TREAD NOSING. MIN. 1 1/2" OUT FROM FACE OF WALL.
- 14. INSTALL R-13 BATT INSULATION IN ALL (N) 2x4 INTERIOR WALLS SEPARATING CONDITIONED AND UNCONDITIONED SPACE.
- 15. INSTALL R-19 BATT INSULATION IN (N) 2X6 EXTERIOR WALLS AND R-13 BATT INSULATION IN (N) 2X4 EXTERIOR WALLS AND LOCATIONS AT (E) EXTERIOR WALLS WHERE THE SHEATING IS TO BE REMOVED AS REQUIRED FOR CONSTRUCTION.
- 16. PROVIDE HIGH & LOW COMBUSTION AIR OPENINGS FROM OUTSIDE WITHIN 12" OF FLOOR AND CEILING AT FURNANCE AND WATER HEATER SPACE PER CMC SECTION 702. MIN. DIA. OF 8"
- 17. PROVIDE METAL SEISMIC STRAPS TO WALL AT WATER HEATERS.
 18. DRYER EXHAUST DUCT TO BE MIN. 4" DIA. AND 14'-0" MAX. LENGTH WITH TWO 90 DEGREE TURNS MAX. PER CMC 504.3.2
- WITH TWO 90 DEGREE TURNS MAX. PER CMC 504.3.2.

 19. PROVIDE 100 SQ. IN. NET OPENING IN CLOSET DOOR FOR DRYER MAKE -UP AIR PER CMC SECTION 504.3.2.
- 20. EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF CMC 403.7 TABLE 4-4 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT CUTSHEET FOR APPROVAL PRIOR TO INSTALLATION.
- 21. WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION AND MAKE UP AIR AS NEEDED. DRYER EXHAUST TO MEET REQUIREMENTS OF: CMC 504.3.1 AND 4"Ø DUCT PER CMC 504.3.2 DRYER DUCTS PER CMC 504.3.2.1 AND 504.3.2.2/. TERMINATION 3' FROM ANY OPENING OR PL PER CMC 504.5.
- 22. DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3.

 GAS VENT TERMINATION PER CMC 802.6.2(1)&(2)

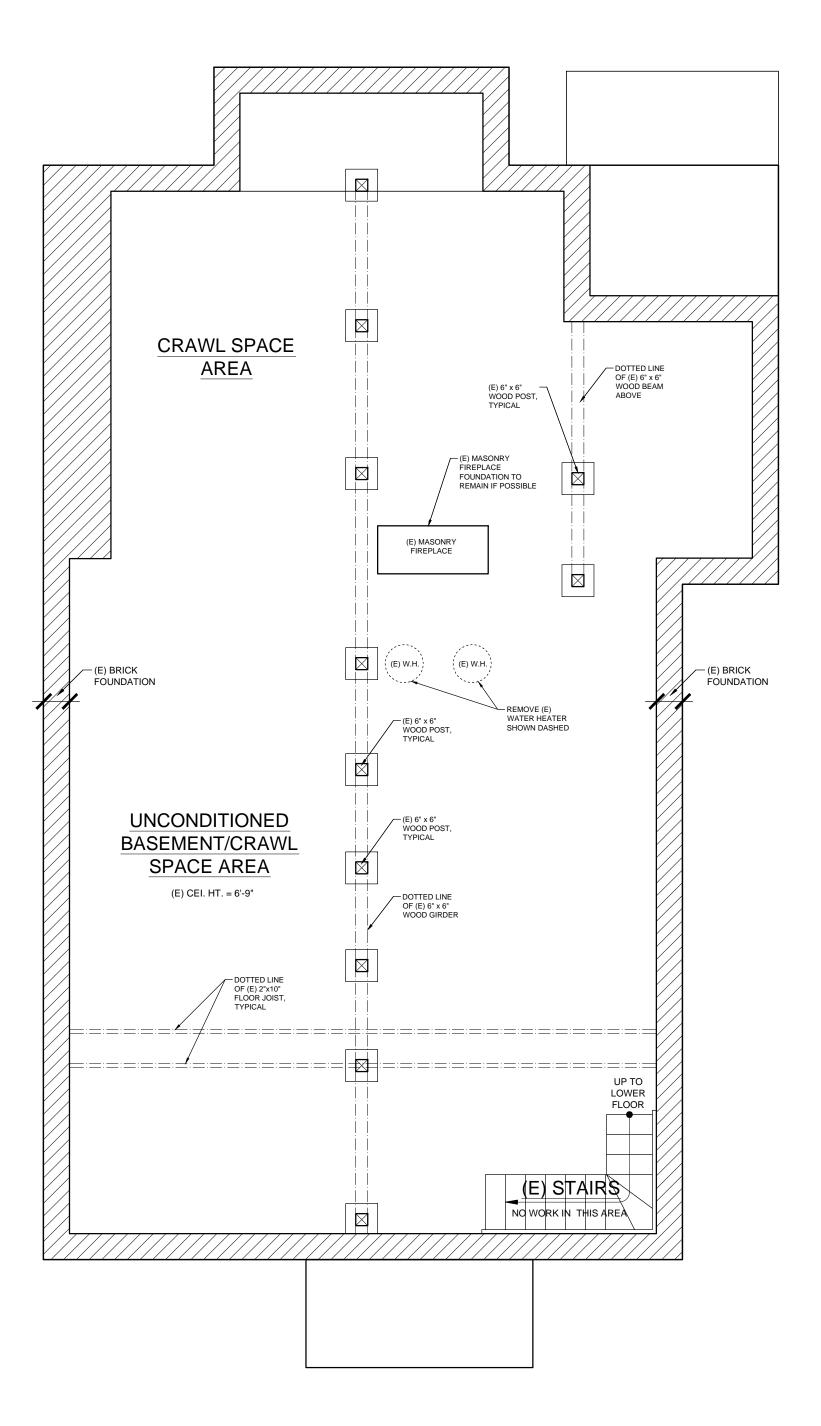
 GAS VENT TERMINATION CAP PER CMC 802.6.2.5
- GAS VENT SUPPORT PER MFGR AND CMC 802.5.6 & 802.6.5.
 DOMESTIC RANGE AND COOKTOP UNIT INSTALLATION PER MFR'S. INSTRUCTIONS AND VENT SHALL PER CMC 504.2





(E) DENOTES EXISTING

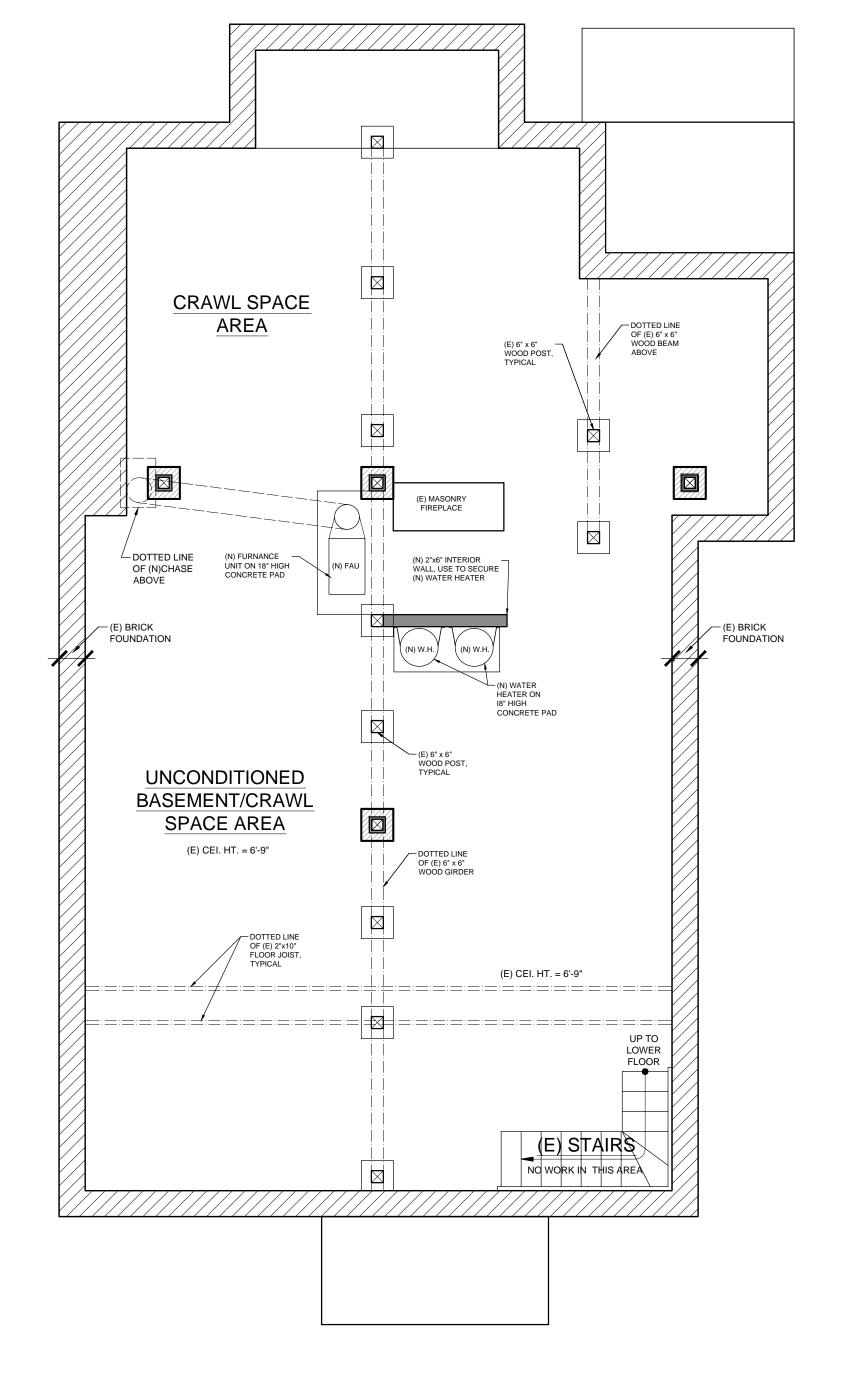
(N) DENOTES NEW



EXISTING/DEMO - BASEMENT/CRAWL SPACE PLAN

SCALE: 1/4"= 1'-0"





PROPOSED - BASEMENT/CRAWL SPACE PLAN

SCALE: 1/4"= 1'-0"



Existing/Demo- Basement/Crawl Spa Proposed - Basement/Crawl Space Pl

> DATE 11.16.2015 SCALE 1/4" = 1'-0"

A-1.2

IN THE EXECUTION OF THIS PROJECT. 2. TOILETS TO BE INSTALLED CENTERED WITHIN A CLEAR SPACE 2'-6" MIN. NO ADJACENT WALL OR VERTICAL SURFACE

MAY BE LESS THAN 1'-3" FROM CENTER OF TOILET.

- 3. TOILET, LAUNDRY, KITCHEN AND BATHROOM EXHAUST FANS, WHEN PROVIDED SHALL HAVE EXTERIOR TERMINATION WITH BACKDRAFT DAMPER A MIN. 3'-0" FROM PROPERTY LINE AND ALL BUILDING OPENINGS PER CMC 504.5. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES, CABINETRY AND APPLIANCES. G.C. TO COORDINATE LOCATION.
- 4. ALL (N) TOILETS SHALL BE MAX.1.28 GPF, (N) SHOWER HEADS SHALL HAVE A FLOW OF 2.5 GPM AND (N) FAUCETS SHALL
- 5. BULT-IN SHOWERS TO BE PROVIDED WITH CODE APPROVED SHOWER PAN WATERPROOFING SYSTEM W/ FLOOR DRAIN LOCATED 2" MIN. BELOW FIN. THRESHOLD AT SHOWER ENTRY MIN. FLOOR SPACE AREA INSIDE SHOWER TO BE 1,029 SQ.IN.
- 6. ALL (N) SHOWER & BATH TUB WALL FINISHES TO BE A SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT (CEMENT, FIBER CEMENT, GLASS MAT GYPSUM, ETC.) TO A HEIGHT OF 72" ABOVE DRAIN INLET PER CRC SECTION R307.2
- 7. PROVIDE TEMPERED GLASS SHOWER ENCLOSURE WITH STAINLESS STEEL CLIPS. GLAZING SHALL MEET REQUIREMENTS OF CBC CHAPTER 24. IDENTIFICATION PER 2403.1 & 2406.3 HAZARDOUS LOCATIONS.
- 8. ALL PLUMBING FIXTURES SHALL COMPLY WITH 2013 CALIFORNIA PLUMBING CODE.
- 9. REFER TO SHEETS MF-1R & CF-1R "TITLE 24" FOR ENERGY
- 10. BEDROOMS TO BE PROVIDED WITH AT LEAST ONE WINDOW MEETING EMERGENCY ESCAPE & RESCUE REQUIREMENTS 2013 CBC SECTION 1026. MIN. NET CLEAR OPENING TO BE 5.7 S.F., MIN. NET CLR. HT. TO BE 24", MIN. NET CLR. WIDTH TO BE 20". MAXIMUM HT. ABOVE FLOOR TO BE 44".
- 11. (N) GLASS IN DOORS SHALL BE SAFETY GLAZING PER CBC 2406. WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLAZING PER CBC 2406.3
- 12. (N) WINDOW. MINIMUM U-VALUE PER TITLE 24 REQUIREMENTS TABLE 116A AND S.H.G.C. PER TABLE 116B, U MAX=0.40 AND REQUIREMENTS OF TITLE 24 CALCULATIONS.
- 13. STAIRS TO BE PROVIDED WITH 1 1/4" MAX. DIA. HANDRAIL, 3'-0" ABOVE TREAD NOSING. MIN. 1 1/2" OUT FROM FACE OF WALL
- 14. INSTALL R-13 BATT INSULATION IN ALL (N) 2x4 INTERIOR WALLS SEPARATING CONDITIONED AND UNCONDITIONED SPACE.
- 15. INSTALL R-19 BATT INSULATION IN (N) 2X6 EXTERIOR WALLS AND R-13 BATT INSULATION IN (N) 2X4 EXTERIOR WALLS AND LOCATIONS AT (E) EXTERIOR WALLS WHERE THE SHEATING IS TO BE REMOVED AS REQUIRED FOR CONSTRUCTION.
- 16. PROVIDE HIGH & LOW COMBUSTION AIR OPENINGS FROM OUTSIDE WITHIN 12" OF FLOOR AND CEILING AT FURNANCE AND WATER HEATER SPACE PER CMC SECTION 702. MIN. DIA. OF 8"
- 17. PROVIDE METAL SEISMIC STRAPS TO WALL AT WATER HEATERS. 18. DRYER EXHAUST DUCT TO BE MIN. 4" DIA. AND 14'-0" MAX. LENGTH WITH TWO 90 DEGREE TURNS MAX. PER CMC 504.3.2.
- 19. PROVIDE 100 SQ. IN. NET OPENING IN CLOSET DOOR FOR DRYER MAKE -UP AIR PER CMC SECTION 504.3.2.
- 20. EXHAUST FAN TO PROVIDE MIN. 5 AIR CHANGES PER HOUR AND PER REQUIREMENTS OF CMC 403.7 TABLE 4-4 AND SOURCE OF MAKE-UP AIR. MECHANICAL CONTRACTOR TO SIZE AND SUBMIT
- 21. WASHER/DRYER. PROVIDE UTILITY CONNECTION BOX WITH 2-125V AND 1-250V OUTLETS. PROVIDE EXHAUST VENTILATION AND MAKE UP AIR AS NEEDED. DRYER EXHAUST TO MEET REQUIREMENTS OF: CMC 504.3.1 AND 4"Ø DUCT PER CMC 504.3.2 DRYER DUCTS PER CMC 504.3.2.1 AND 504.3.2.2/. TERMINATION 3' FROM ANY OPENING OR PL PER CMC 504.5.

LEGEND:

EXISTING WALLS TO REMAIN

EXISTING BRICK FOUNDATION

EXISTING WALLS TO DEMOLISH

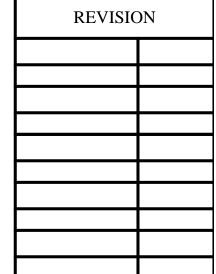
TO REMAIN

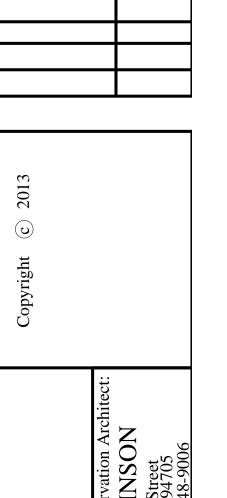
NEW WALLS

DENOTES EXISTING

DENOTES NEW

- 22. DIRECT VENT EQUIPMENT SHALL BE VENTED WITH THE TERMS OF THE LISTING AND THE MANUFACTURER'S INSTRUCTIONS AND SHALL COMPLY WITH CBC 802.2.5, 802.6.2(3) & 802.8.3. - GAS VENT TERMINATION PER CMC 802.6.2(1)&(2) - GAS VENT TERMINATION CAP PER CMC 802.6.2.5 - GAS VENT SUPPORT PER MFGR AND CMC 802.5.6 & 802.6.5.
- 23. DOMESTIC RANGE AND COOKTOP UNIT INSTALLATION PER MFR'S. INSTRUCTIONS AND VENT SHALL PER CMC 504.2

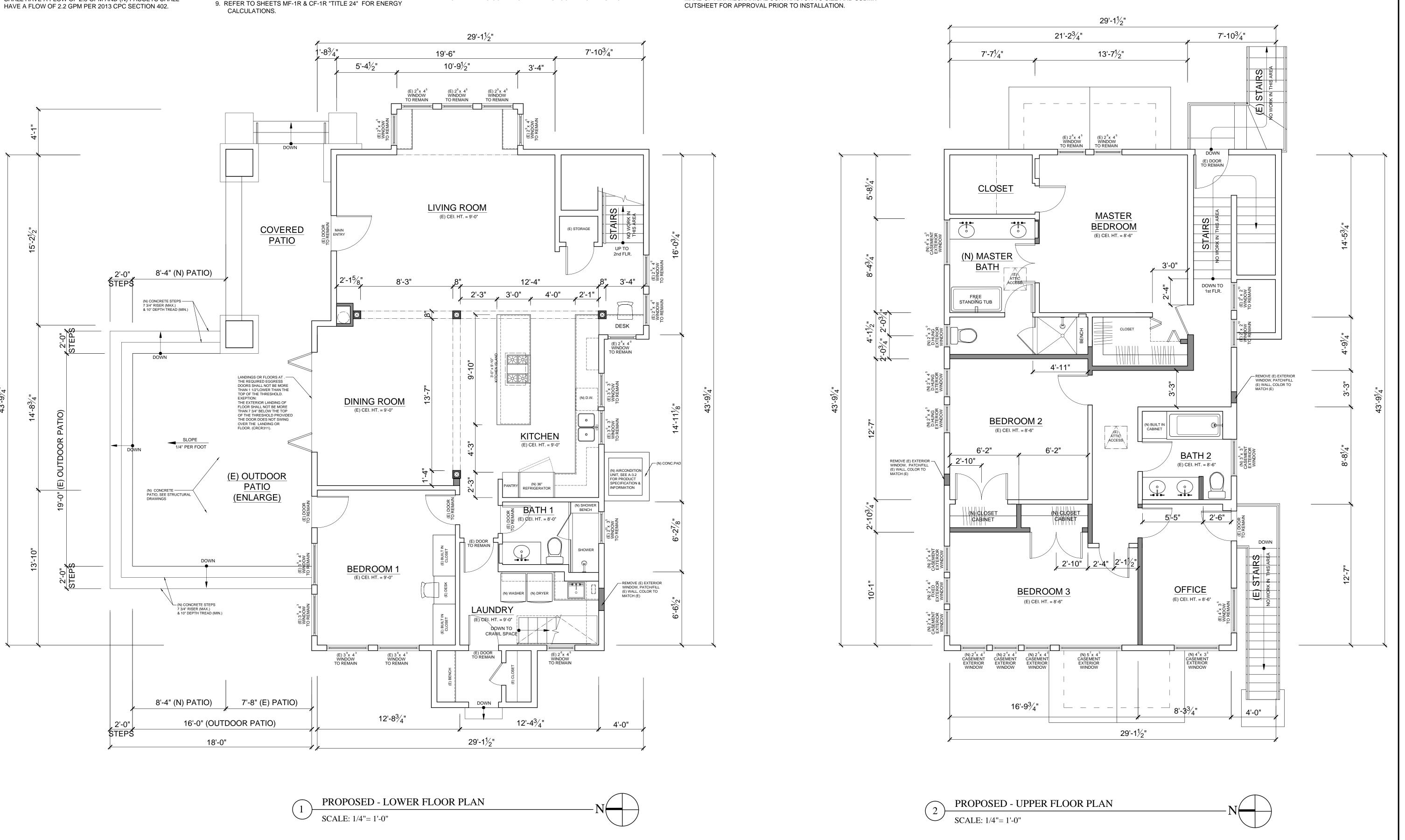


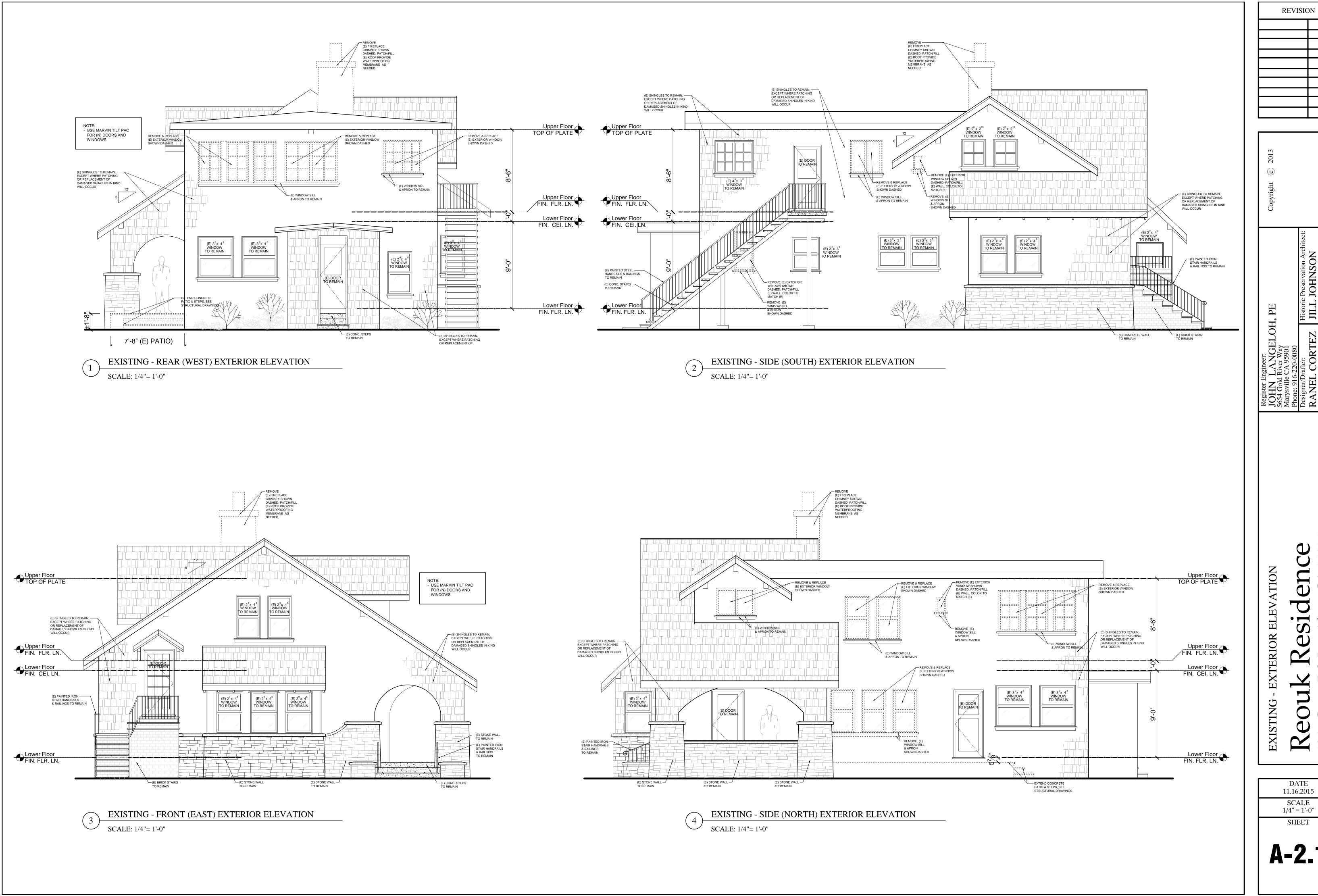


Altos

DATE 11.16.2015 SCALE 1/4" = 1'-0"

SHEET

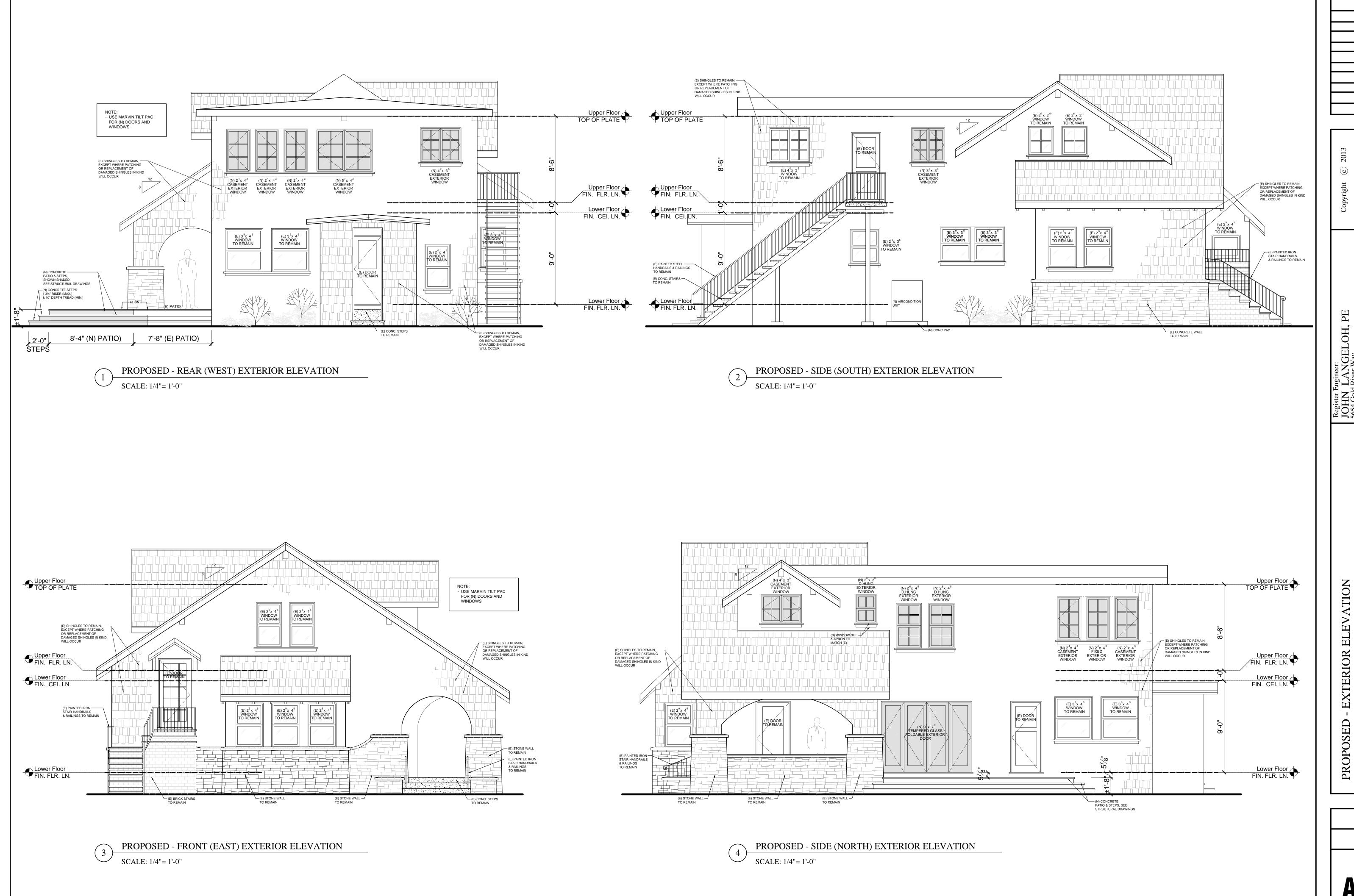




ICE 94024

Altos

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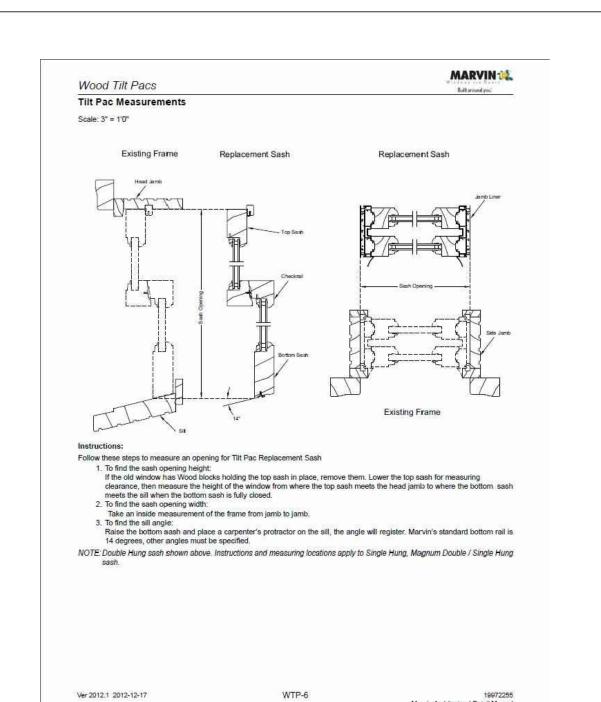
POSED - EXTERIOR ELEVATION

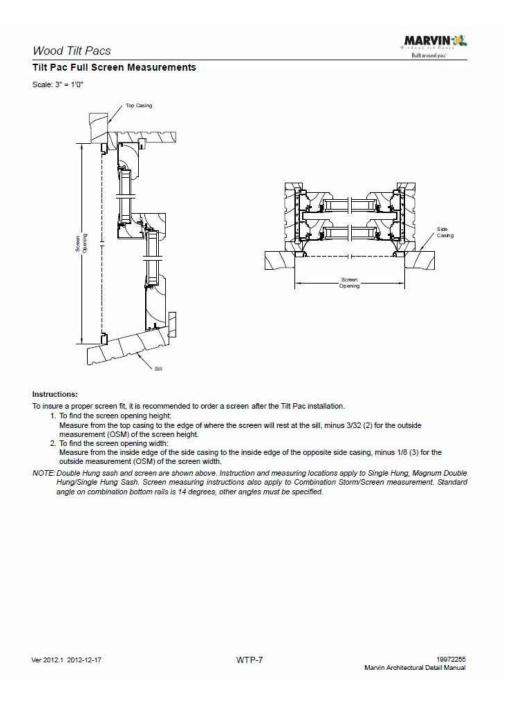
POUR Residence

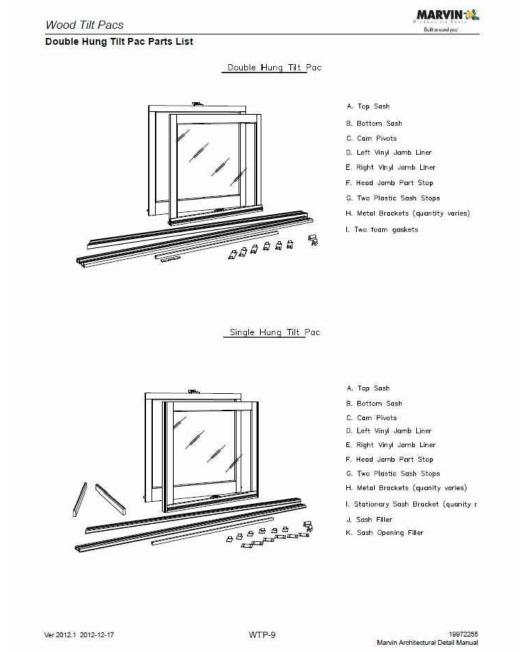
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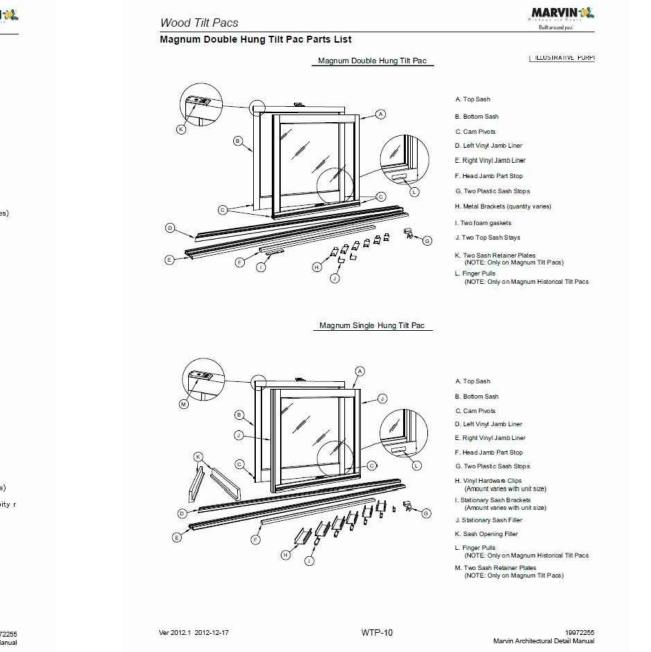
DATE 11.16.2015 SCALE 1/4" = 1'-0" SHEET

A-2.2











MARVIN 👯

Wood Tilt Pacs

Unit Features

Wood Tilt Pac: WTP

Hardware:

Weather Strip:

Insect Screens:

Glass and Glazing:

Ver 2015.1 2015-08-29

Full sized wood screen is standard

Wood Magnum Tilt Pac: WMTP

Top rail width: 2 15/32* (63)

Bottom rail width: 3 3/4" (95)

Bottom rail woth: 3 3/4" (95)
Stile width: 1 25/32" (45)
Magnum Double Hung Tilt Pac
Sash thickness: 1 3/4" (44)
Top rail width: 2 1/4" (57)

Bottom rail width: 3 1/2" (89)
Stile width: 2 1/4" (57)

Bottom rail bevel 14 degrees
 Removable exterior glazing stops

Lock: high pressure zinc die-cast cam lock and keeper

Two locks on glass sizes of 36" (914) and wider

Optional sash lifts: high pressure zinc die-cast
 Color: Satin Taupe
 Optional: Bronze, White or Brass

· Optional wood half screen, or aluminum full or half screen

Color: Satin Taupe
Optional: Bronze, White, Plated Brass, Antique Brass, Satin Chrome, Oil Rubbed Bronze, Satin Nickel, Polished Chrome
Double Hung Tilt Pac balance system: coil spring block and tackle with nylon cord and fiber filled nylon clutch
Double Hung Magnum Tilt Pac: double coil spring block and tackle with nylon cord and fiber filled nylon clutch
Jamb track: vinyl extrusion, foam backing
Color: Beige or White

Double Hung weather strip: dual durometer double leaf at check rail; bulb type dual durometer weather strip at bottom rail
 Double Hung Magnum weather strip: continuous leaf weather strip at head jamb parting stop which seals against top sash; dual durometer double leaf at check rail; bulb type dual durometer weather strip at bottom rail

All screens are shipped loose
 All screens are shipped loose
 Aluminum screen colors: Pebble Gray, Bahama Brown, Evergreen, Bronze, Stone White, Ebony, Cobalt Blue, Wineberry, Coconut Cream, Hampton Sage, Cashmere, Arctic White, Cumulus Gray, Desert Beige, Sherwood Green, Sierra White, Cadet Gray, Cascade Blue, or French Vanilla

Screen Mesh: Charcoal fiberglass
 Optional Screen Mesh: Charcoal Aluminum Wire, Black Aluminum Wire, Bright Aluminum Wire, Bright Bronze Wire or Charcoal High Transparency (CH Hi-Tran) fiberglass

Glazing method: single glaze, single glazed with energy panel or hermetically sealed insulated glass
Glazing seal: silicone glazed
Standard glass is insulating Low E2 Argon or Air
Optional glazing available: Low E1 Argon or without Argon, Low E3 Argon or without Argon, clear, tints, tempered, obscure, decorative glass options
Insulated glass will be altitude adjusted for higher elevations, Argon gas not included

Sash retainer plate: standard for magnum units, optional for double hung - polycarbonate theroplastic
 Color: Bronze or White

 Double Hung Tilt Pac Sash thickness: 1 5/16" (33)