

UNIVERSITY AVE.

SITE PLAN

1" = 20'-0"

	EXISTING	ADDITION / REMOVAL	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE: (land area covered by all structures that are over 6 feet in height)	4,162.73 sq. ft. (16.22%)	0.00 sq. ft.	4,162.73 sq. ft. (16.22%)	7,697.58 sq. ft. (30.00%)
FLOOR AREA	1st Floor: 2,434.72 s.f. 2nd Floor: 1,875.88 s.f. Total: 4,750.60 s.f. (18.51%)	1st Floor: 0.00 s.f. 2nd Floor: 0.00 s.f. Total: 0.00 s.f.	1st Floor: 2,434.72 s.f. 2nd Floor: 1,875.88 s.f. Total: 4,750.60 s.f. (18.51%)	5,315.86 sq. ft. (20.72%)
SETBACKS:				
Front	29'-0"		29'-0"	25'-0"
Rear	16'-0"		16'-0"	25'-0"
Right Side (1st / 2nd)	17'-6" / 15'-6"		17'-6" / 15'-6"	10'-0" / 17'-6"
Left Side (1st / 2nd)	12'-0" / 19'-0"		12'-0" / 19'-0"	10'-0" / 17'-6"
HEIGHT:	35'-8"		35'-8"	27'-0"

LOT CALCULATIONS	
NET LOT AREA:	25,658.60 square feet
FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed 50%	215.50 square feet (10.63%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing & proposed): 4,162.73 sq. ft. Existing softscape (undisturbed area): 21,495.87 sq. ft. New softscape area: 0.00 sq. ft.

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: Includes habitable basement areas	4,310.60 sq. ft.	0.00 sq. ft.	4,310.60 sq. ft.
NON-HABITABLE AREA: Does not include covered porches or open structures	440.00 sq. ft.	0.00 sq. ft.	440.00 sq. ft.

GENERAL NOTES

- A** VERIFICATION CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
- B** DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
- C** DISCREPANCIES MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
- D** CONTRACT DOCUMENTS CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY. VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY

SITE PLAN NOTES

- 1** DRIVEWAY EXISTING TO REMAIN
- 2** FLATWORK EXISTING TO REMAIN
- 3** GRADING EXISTING TO REMAIN
- 4** DRAINAGE EXISTING TO REMAIN
- 5** STORM DRAINAGE EXISTING TO REMAIN
- 6** SEWER LATERAL EXISTING TO REMAIN
- 7** GAS & ELEC SERVICE EXISTING TO REMAIN
- 8** SETBACKS AS PER PLAN
- 9** TREES PROTECT EXISTING DURING CONSTRUCTION
- 10** FENCES PROTECT EXISTING DURING CONSTRUCTION
- 11** LANDSCAPE PROTECT EXISTING DURING CONSTRUCTION

CONSULTANT DIRECTORY

SURVEYOR	N/A
SOILS ENGINEER	N/A
CIVIL ENGINEER	N/A
STRUCTURAL ENGINEER	N/A
ENERGY CONSULTANT	N/A
LANDSCAPE ARCHITECT	N/A

TABULATIONS

EXISTING RESIDENCE	
MAIN FLOOR	2,434.72 s.f.
UPPER FLOOR	1,875.88 s.f.
GARAGE	440.00 s.f.
	4,750.60 s.f.
FRONT PORCH	385.12 s.f.
REAR DECK	479.74 s.f.

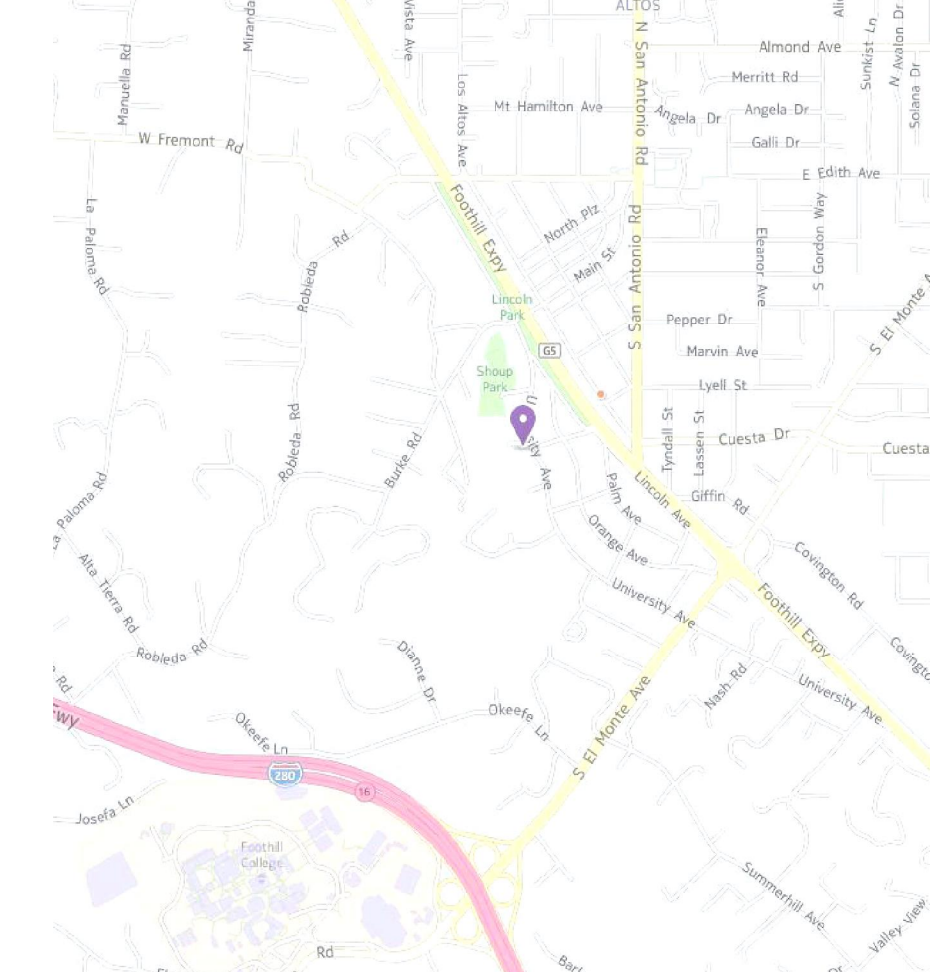
COVERAGE & F.A.R.

	SITE PLAN	ACRES =	
COV:	ALLOWABLE 7,697.58	SQ. FT. =	30.00 %
	EXISTING 3,739.58	SQ. FT. =	14.57 %
	PROPOSED 3,739.58	SQ. FT. =	14.57 %
FAR:	ALLOWABLE 5,315.86	SQ. FT. =	20.72 %
	EXISTING 4,750.60	SQ. FT. =	18.51 %
	PROPOSED 4,750.60	SQ. FT. =	18.51 %

PROPERTY DESCRIPTION

OWNER COURTNEY & PATRICK COPELAND
 ADDRESS 500 UNIVERSITY AVE.
 LOS ALTOS, CA 94022
 PARCEL 175 - 13 - 052
 ACREAGE 0.589 (NET ACRES)
 ZONING R1 - 10 (RESIDENTIAL)
 OCCUPANCY R-3 / U
 CONST. TYPE V - B
 PROJECT EXTERIOR ALTERATIONS TO THE REAR & RIGHT ELEVATIONS - MOVING AND REPLACING EXTERIOR WINDOWS AND DOORS

VICINITY MAP



SHEET INDEX

ARCHITECTURAL SHEETS	
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A - 2	MAIN FLOOR DEMOLITION PLAN
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A - 4	PROPOSED MAIN FLOOR PLAN
A - 5	PROPOSED UPPER FLOOR PLAN
A - 6	EXISTING FRONT ELEVATION PARTIAL PROPOSED FRONT ELEVATION EXISTING LEFT ELEVATION
A - 7	EXISTING REAR ELEVATION PROPOSED REAR ELEVATION
A - 8	EXISTING RIGHT ELEVATION PROPOSED RIGHT ELEVATION

APPLICABLE CODES

THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:
 2013 CALIFORNIA BUILDING CODE
 2013 CALIFORNIA RESIDENTIAL CODE
 2013 CALIFORNIA MECHANICAL CODE
 2013 CALIFORNIA ELECTRICAL CODE
 2013 CALIFORNIA PLUMBING CODE
 2013 CALIFORNIA FIRE CODE
 2010 CALIFORNIA ENERGY CODE
 2013 CALIFORNIA GREEN BUILDING STANDARDS

NOTE
 01-06-15 SUBMITTED FOR HISTORICAL REVIEW

CLIENT (JOB No. 21444)
 COPELAND RESIDENCE
 500 UNIVERSITY AVE., LOS ALTOS, CA 94022
 PHONE NO.

CHAPMAN
 DESIGN
 ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-6890

SHEET
 A - 1

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12-22-14	SUBMITTED FOR BUILDING PERMIT
04-15-15	FIELD REVISION
05-04-15	FIELD REVISION

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SHEET
A - 2

GENERAL NOTES

- I PLUMBING CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

DEMOLITION NOTES

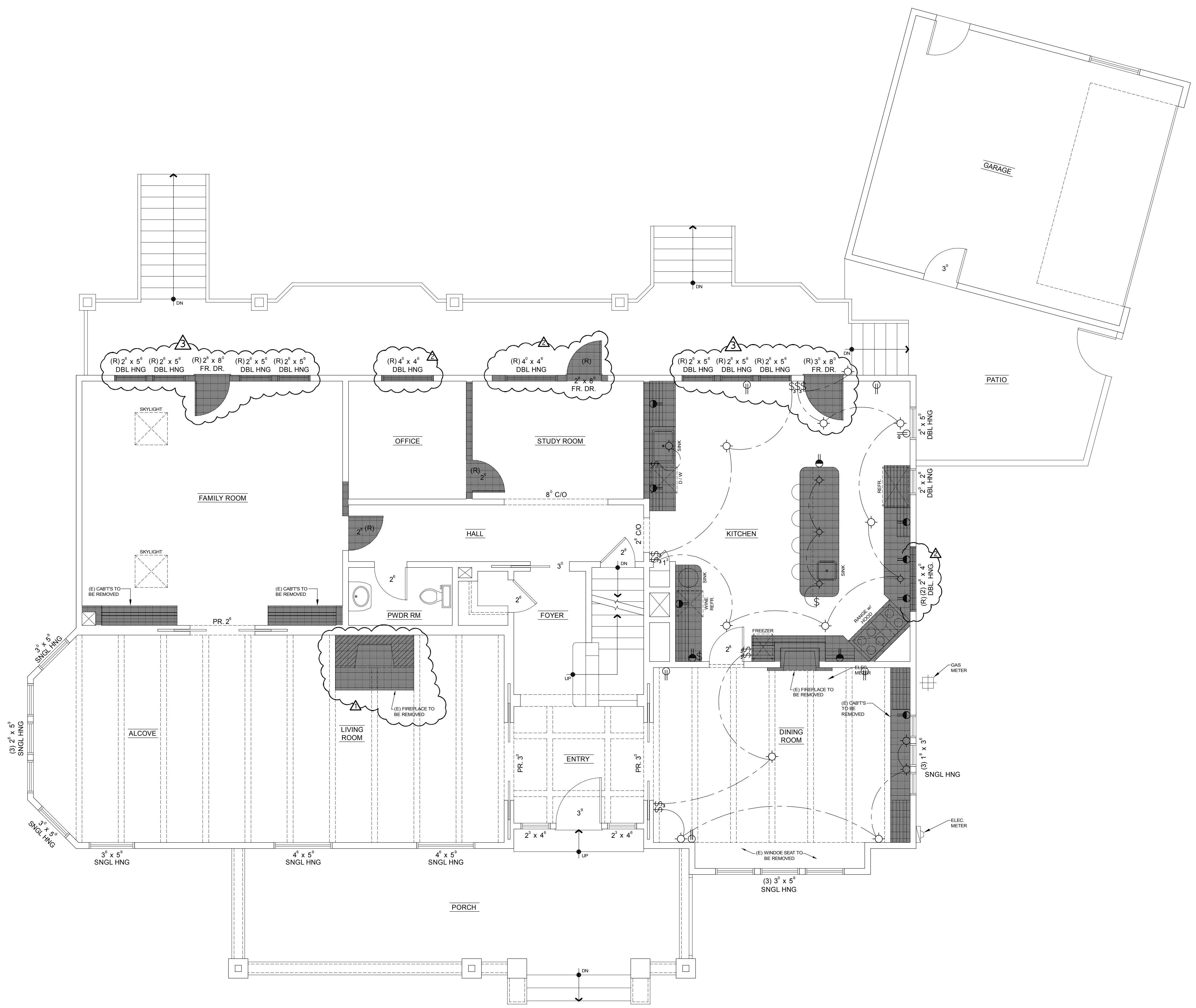
- 1 DOORS REMOVE AND DISCARD AS PER PLAN
- 2 WINDOWS & SKYLIGHTS EXISTING TO REMAIN
- 3 CABINETS REMOVE AND DISCARD AS PER PLAN
- 4 FLOOR COVERINGS REMOVE AND DISCARD PER OWNER'S SPECIFICATIONS
- 5 LIGHT FIXTURES REMOVE AND DISCARD PER OWNER'S SPECIFICATIONS
- 6 APPLIANCES REMOVE AND DISCARD AS PER PLAN & OWNER'S SPECIFICATIONS
- 7 LANDSCAPE PROTECT (E) WHERE POSSIBLE
- 8 FLATWORK PROTECT (E) WHERE POSSIBLE
- 9 VENEER N/A
- 10 ELECTRICAL METER EXISTING TO REMAIN
- 11 GAS METER EXISTING TO REMAIN

(E) ELECTRICAL LEGEND

- 2 NEW GRID PATTERN REQUESTED FOR WINDOWS & DOORS APPROVED FOR REPLACEMENT BY HRC
- 3 NEW REQUEST FOR REPLACEMENT OF NON HISTORICAL WINDOWS & DOORS

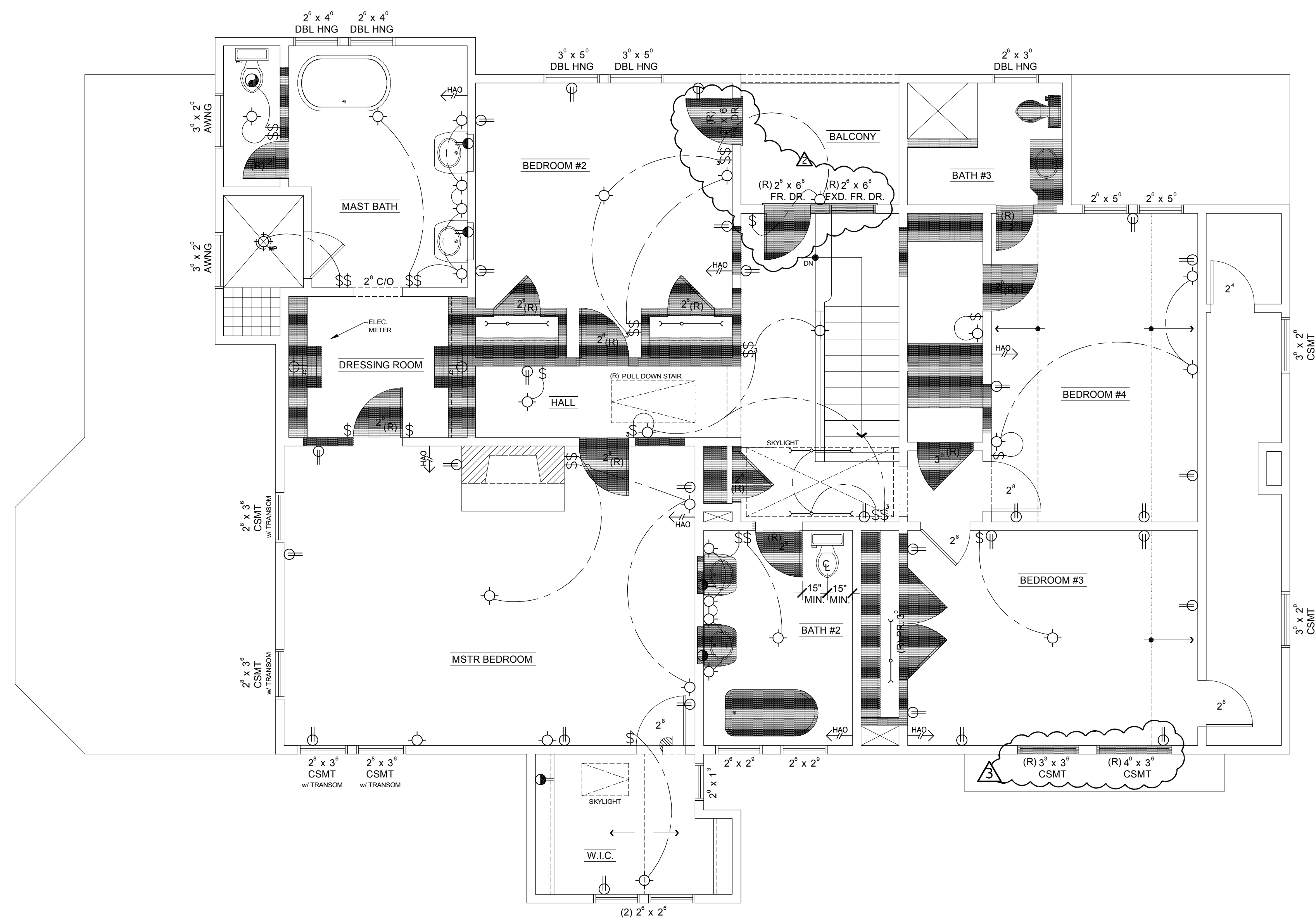
LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED



MAIN FLOOR DEMOLITION PLAN

1/4" = 1'-0"



UPPER FLOOR DEMOLITION PLAN

1/4" = 1'-0"

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- 7 LANDSCAPE PROTECT (E) WHERE POSSIBLE
- 8 FLATWORK PROTECT (E) WHERE POSSIBLE
- 9 VENEER N/A
- 10 ELECTRICAL METER EXISTING TO REMAIN
- 11 GAS METER EXISTING TO REMAIN

(E) ELECTRICAL LEGEND

- 110 V. ELEC. DUPLEX OUTLET (WALL)
- 110 V. ELEC. DUPLEX OUTLET (WALL) +44"
- 110 V. ELEC. QUAD OUTLET (WALL)
- SWITCH
- WALL FIXTURE
- OVERHEAD FIXTURE
- MINI OVERHEAD FIXTURE
- 3-WAY SWITCH
- HOT AIR OUTLET (WALL)
- WATERPROOF CAN LIGHT
- 70 CFM FAN
- FLUORESCENT FIXTURE

- 2 NEW GRID PATTERN REQUESTED FOR WINDOWS & DOORS APPROVED FOR REPLACEMENT BY HRC
- 3 NEW REQUEST FOR REPLACEMENT OF NON HISTORICAL WINDOWS & DOORS

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- R EXISTING TO BE RELOCATED

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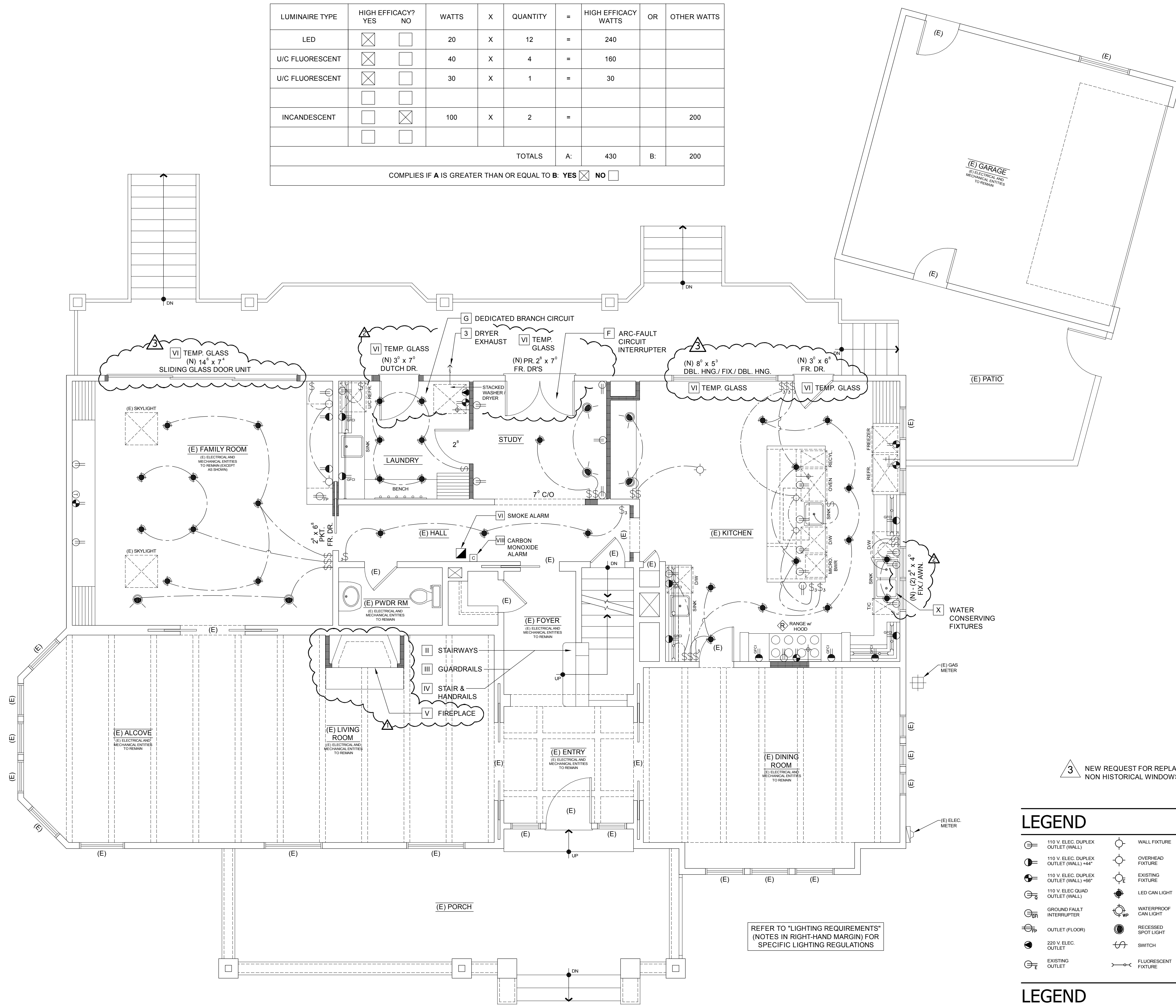
SHEET

A - 3

KITCHEN LIGHTING SCHEDULE
PROVIDE THE FOLLOWING INFORMATION FOR ALL LUMINAIRES TO BE INSTALLED IN KITCHEN

LUMINAIRE TYPE	HIGH EFFICACY? YES NO	WATTS	X	QUANTITY	=	HIGH EFFICACY WATTS	OR	OTHER WATTS
LED	<input checked="" type="checkbox"/> <input type="checkbox"/>	20	X	12	=	240		
U/C FLUORESCENT	<input checked="" type="checkbox"/> <input type="checkbox"/>	40	X	4	=	160		
U/C FLUORESCENT	<input checked="" type="checkbox"/> <input type="checkbox"/>	30	X	1	=	30		
INCANDESCENT	<input type="checkbox"/> <input checked="" type="checkbox"/>	100	X	2	=			200
TOTALS					A:	430	B:	200

COMPLIES IF A IS GREATER THAN OR EQUAL TO B: YES NO



PROPOSED MAIN FLOOR PLAN & ELECTRICAL PLAN

1/4" = 1'-0"

GEN. NOTES - FLOOR PLAN

- I EGRESS ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2013
- MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
- MIN. NET CLEAR OPENABLE WIDTH = 20"
- MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II STAIRWAYS EXISTING TO REMAIN
- III GUARDRAILS EXISTING TO REMAIN
- IV STAIR & HANDRAILS EXISTING TO REMAIN
- V FIREPLACE ASTRIA FIREPLACE w/ "REAL Fyre" PREMIUM GAS LOG (G45 SERIES VENTED GAS LOG SET) INSERT & "Z-FYRE ELITE" GLASS ENCLOSURE
- VI TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013
- VII FIRE BLOCKS PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2013
- VIII WATER CLOSETS PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2013 CPC)
- IX SHOWERS ALL SHOWERS SHALL CONFORM TO SECTION R307 2013 CRC
- X WATER ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. CONSERVING 402, 2013 CPC) SHALL CONFORM TO SEC. 402, 2013 CPC

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS
PER OWNER'S SPECIFICATIONS AND DRAWINGS NY OTHERS (TO BE PROVIDED SEPARATELY) CONTRACTOR TO PROVIDE ALLOWANCE					

GEN. NOTES - ELECTRICAL

- A CODES 2013 C.E.C.
- B GFCI INSTALL GROUND FAULT CIRCUIT INTERRUPTER OUTLETS @ ALL LOCATIONS AS SPECIFIED IN ARTICLE 210.8 C.E.C. 2010
- C SERVICE PANEL ELECTRICAL CONTRACTOR TO VERIFY SIZE & LOAD OF EXISTING SERVICE PANEL - UPGRADE IF NECESSARY AND/OR REQUIRED
- D WIRING ROMEX (OR EQUIVALENT) PER CODE
- E SMOKE ALARM VERIFY EXISTING OR INSTALL PER SECTION R314, C.R.C. 2013 - SMOKE ALARMS TO BE INTERCONNECTED (R314.5, C.R.C. 2013)
- F ARC-FAULT CIRCUIT INTERRUPTER AN AFCI DEVICE (COMBINATION TYPE) SHALL BE PROVIDED TO PROTECT ALL RECEPTACLES IN ALL ROOMS PER SECTION 210.12, C.R.C. 2013
- G DEDICATED BRANCH CIRCUIT ALL NEW/REMODELED BATHROOMS AND LAUNDRY ROOMS TO HAVE A DEDICATED BRANCH CIRCUIT PER ARTICLE 550.12(E), C.E.C. 2013
- H CARBON MONOXIDE ALARMS INSTALL PER SECTION R315, C.R.C. 2013 - CARBON MONOXIDE ALARMS TO BE INTERCONNECTED (R315.1.2, C.R.C. 2013)
- J TAMPER RESISTANT RECEPTACLES PER ARTICLE 406.11, C.E.C. 2013. PROVIDE TAMPER RESISTANT RECEPTACLES IN ALL AREAS SPECIFIED IN ARTICLE 210.52, C.E.C. 2013

MECHANICAL NOTES

- 1 CODES 2013 C.M.C.
- 2 COMBUSTION EXISTING TO REMAIN
- 3 DRYER EXHAUST PROVIDE DRYER EXHAUST VENT TO EXTERIOR AS SHOWN ON PLAN PER SECTIONS 504.3 & 905.4, C.M.C. 2013. PROVIDE VENTILATION PER R303, C.R.C. 2013
- 4 ELEC. DRYERS & RANGES ELECTRIC CLOTHES DRYERS & RANGES SHALL HAVE 4-WIRE GROUNDED ELECTRICAL OUTLET PER ARTICLE 250.140, C.E.C. 2013
- 5 F.A.U. IN ATTIC EXISTING TO REMAIN

PLUMBING NOTES

- 6 CODES 2013 C.P.C.
- 7 WASTE & DRAIN PIPE ABS PIPE, U.O.N. (USE CAST IRON FOR TWO-STORY DROP)
- 8 VENT PIPE ABS PIPE
- 9 HOT & COLD WATER PIPE COPPER - INSULATE HOT WATER LINES
- 10 CONTROL VALVES PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE @ ALL SHOWERS & TUB/SHOWERS PER SECTION 418.0, C.P.C. 2013

LIGHTING REQUIREMENTS

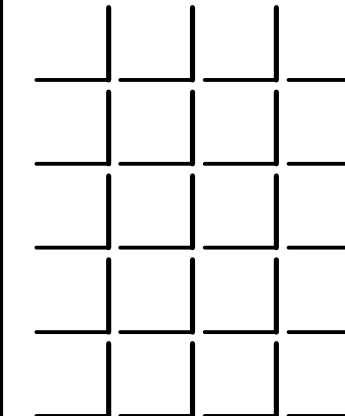
- 11 GENERAL LIGHTING ALL HARDWIRED LIGHTING (HALLWAYS, STAIRS, LIVING ROOM & BEDROOMS) MUST BE HIGH EFFICACY (FLUORESCENT) OR, IF LOW EFFICACY, MUST BE CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR SWITCH OR DIMMER SWITCH THAT CONTROLS WATTAGE
- 12 KITCHEN LIGHTING KITCHEN LIGHTING COMPLIANCE IS BASED ON WATTAGE OF FIXTURES - 50% OF INSTALLED WATTAGE MUST BE HIGH EFFICACY
NOTE: WATTAGE OF LOW EFFICACY LIGHTING IS BASED ON RATING OF FIXTURE INSTALLED NOT WATTAGE OF BULB IN WATTAGE RATING LABELS
NOTE: FOR HIGH EFFICACY LIGHTING TO COMPLY, FIXTURES USED MUST BE A PIN-BASED LIGHTING SYSTEM (NOT A SCREW-BASED LIGHTING SYSTEM)
- 13 BATHROOM, LAUNDRY & GARAGE LIGHTING ALL HARDWIRED LIGHTINGS MUST BE HIGH EFFICACY (FLUORESCENT) OR, IF LOW EFFICACY, MUST BE CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR SWITCH
- 14 OUTDOOR LIGHTING EXISTING TO REMAIN
- 15 DEFINITIONS HIGH EFFICACY: 0-15 WATTS REQ'S MIN. 40 LUMENS/WATT (FLUORESCENT)
15-40 WATTS REQ'S MIN. 50 LUMENS/WATT (FLUORESCENT)
40+ WATTS REQ'S MIN. 60 LUMENS/WATT (FLUORESCENT)
LOW EFFICACY: INCANDESCENT
LOW VOLTAGE HALOGEN
LOW VOLTAGE TUNGSTEN
- 16 NOTES HIGH EFFICACY LIGHTING SYSTEMS MUST BE OPERATED ON SEPARATE SWITCH FROM ANY LOW EFFICACY SYSTEM
ALL RECESSED LIGHTING FIXTURES MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER AND BE CERTIFIED AIRTIGHT

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05-04-15	FIELD REVISION

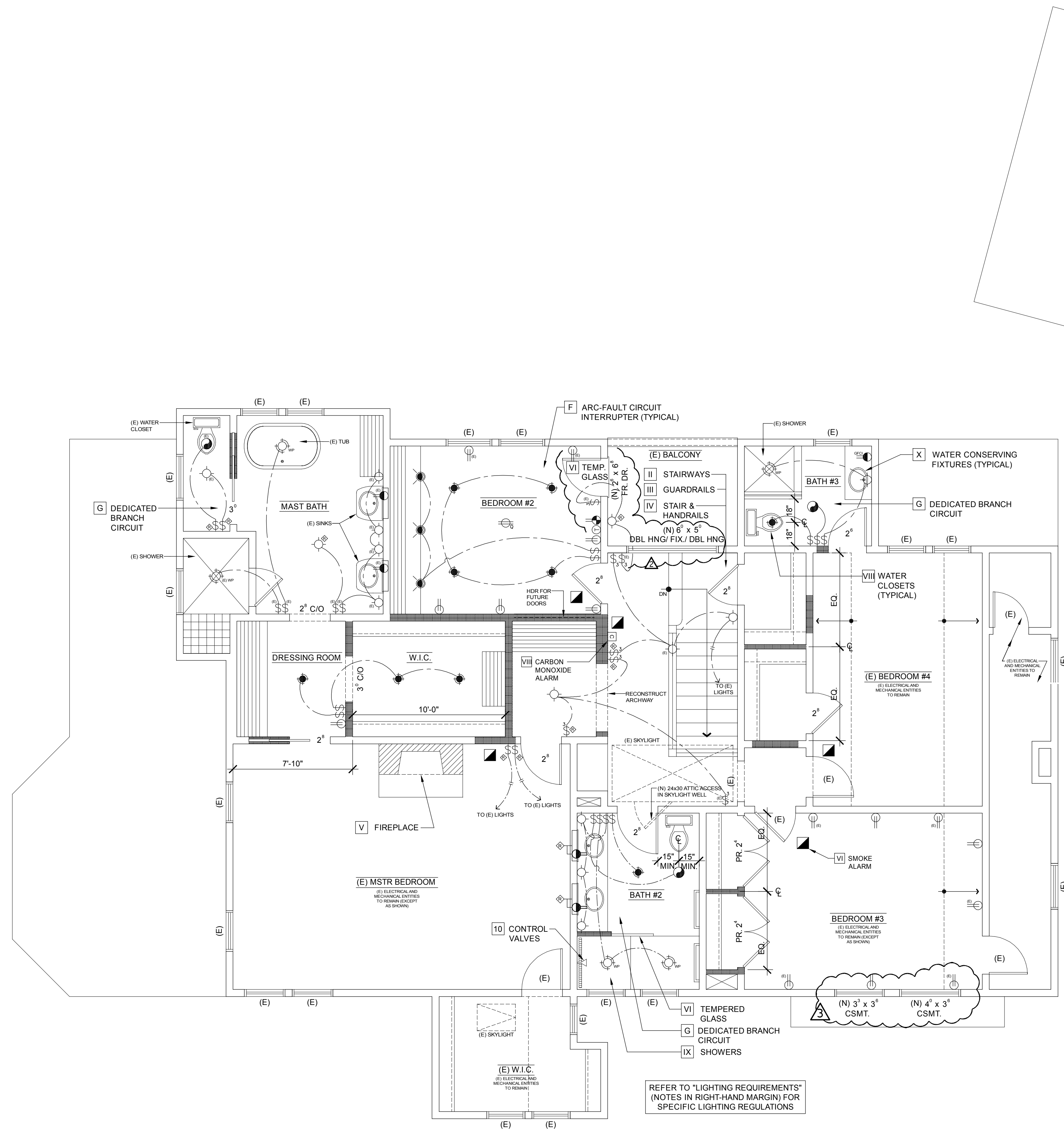
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SHEET

A - 4



PROPOSED UPPER FLOOR PLAN & ELECTRICAL PLAN

1/4" = 1'-0"

3 NEW REQUEST FOR REPLACEMENT OF NON HISTORICAL WINDOWS & DOORS

LEGEND

LEGEND

	EXISTING WALLS TO REMAIN
	NEW WALLS
(E)	EXISTING
(N)	NEW
	RELOCATED

GEN. NOTES - FLOOR PLAN

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- V FIREPLACE EXISTING TO REMAIN
- VI TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013
- VII FIRE BLOCKS PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2013
- VIII WATER CLOSETS PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2013 CPC)
- IX SHOWERS ALL SHOWERS SHALL CONFORM TO SECTION R307 2013 CRC
- X WATER CONSERVING FIXTURES (AS OUTLINED IN SEC. 402, 2013 CPC) SHALL CONFORM TO SEC. 402, 2013 CPC

ROOM FINISH SCHEDULE

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CONTRACTOR TO PROVIDE ALLOWANCE					

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- D WIRING ROMEX (OR EQUIVALENT) PER CODE
- E SMOKE ALARM VERIFY EXISTING OR INSTALL PER SECTION R314.5, C.R.C. 2013 - SMOKE ALARMS TO BE INTERCONNECTED (R314.5, C.R.C. 2013)
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MECHANICAL NOTES

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- 8 VENT PIPE ABS PIPE
- 9 HOT & COLD WATER PIPE COPPER - INSULATE HOT WATER LINES
- 10 CONTROL VALVES PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE @ ALL SHOWERS & TUBS/SHOWERS PER SECTION 418.0, C.P.C. 2013

LIGHTING REQUIREMENTS

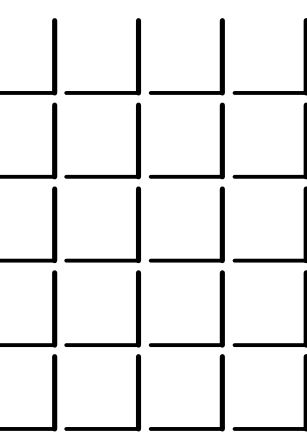
- 11 GENERAL LIGHTING ALL HARDWIRED LIGHTING (HALLWAYS, STAIRS, LIVING ROOM & BEDROOMS) MUST BE HIGH EFFICACY (FLUORESCENT) OR, IF LOW EFFICACY, MUST BE CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR SWITCH OR DIMMER SWITCH THAT CONTROLS WATTAGE
- 12 KITCHEN LIGHTING KITCHEN LIGHTING COMPLIANCE IS BASED ON WATTAGE OF FIXTURES - 50% OF INSTALLED WATTAGE MUST BE HIGH EFFICACY
 - NOTE: WATTAGE OF LOW EFFICACY LIGHTING IS BASED ON RATING OF FIXTURE INSTALLED NOT WATTAGE OF BULB IN FIXTURE (FIXTURE MUST HAVE FACTORY INSTALLED WATTAGE RATING LABELS)
 - NOTE: FOR HIGH EFFICACY LIGHTING TO COMPLY, FIXTURES USED MUST BE A PH-BASED LIGHTING SYSTEM (NOT A SCREW-BASED LIGHTING SYSTEM)
- 13 BATHROOM, LAUNDRY & GARAGE LIGHTING ALL HARDWIRED LIGHTINGS MUST BE HIGH EFFICACY (FLUORESCENT) OR, IF LOW EFFICACY, MUST BE CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR SWITCH
- 14 OUTDOOR LIGHTING EXISTING TO REMAIN
- 15 DEFINITIONS
 - HIGH EFFICACY: 0-15 WATTS REQS MIN. 40 LUMENS/WATT (FLUORESCENT) 15-40 WATTS REQS MIN. 50 LUMENS/WATT (FLUORESCENT) 40+ WATTS REQS MIN. 60 LUMENS/WATT (FLUORESCENT)
 - LOW EFFICACY: INCANDESCENT LOW VOLTAGE HALOGEN LOW VOLTAGE TUNGSTEN
- 16 NOTES HIGH EFFICACY LIGHTING SYSTEMS MUST BE OPERATED ON SEPARATE SWITCH FROM ANY LOW EFFICACY SYSTEM
 - ALL RECESSED LIGHTING FIXTURES MUST BE APPROVED FOR ZERO CLEARANCE INSULATION COVER AND BE CERTIFIED AIRTIGHT

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DATE	DESCRIPTION
12-22-14	SUBMITTED FOR BUILDING PERMIT
05-06-15	FIELD REVISION

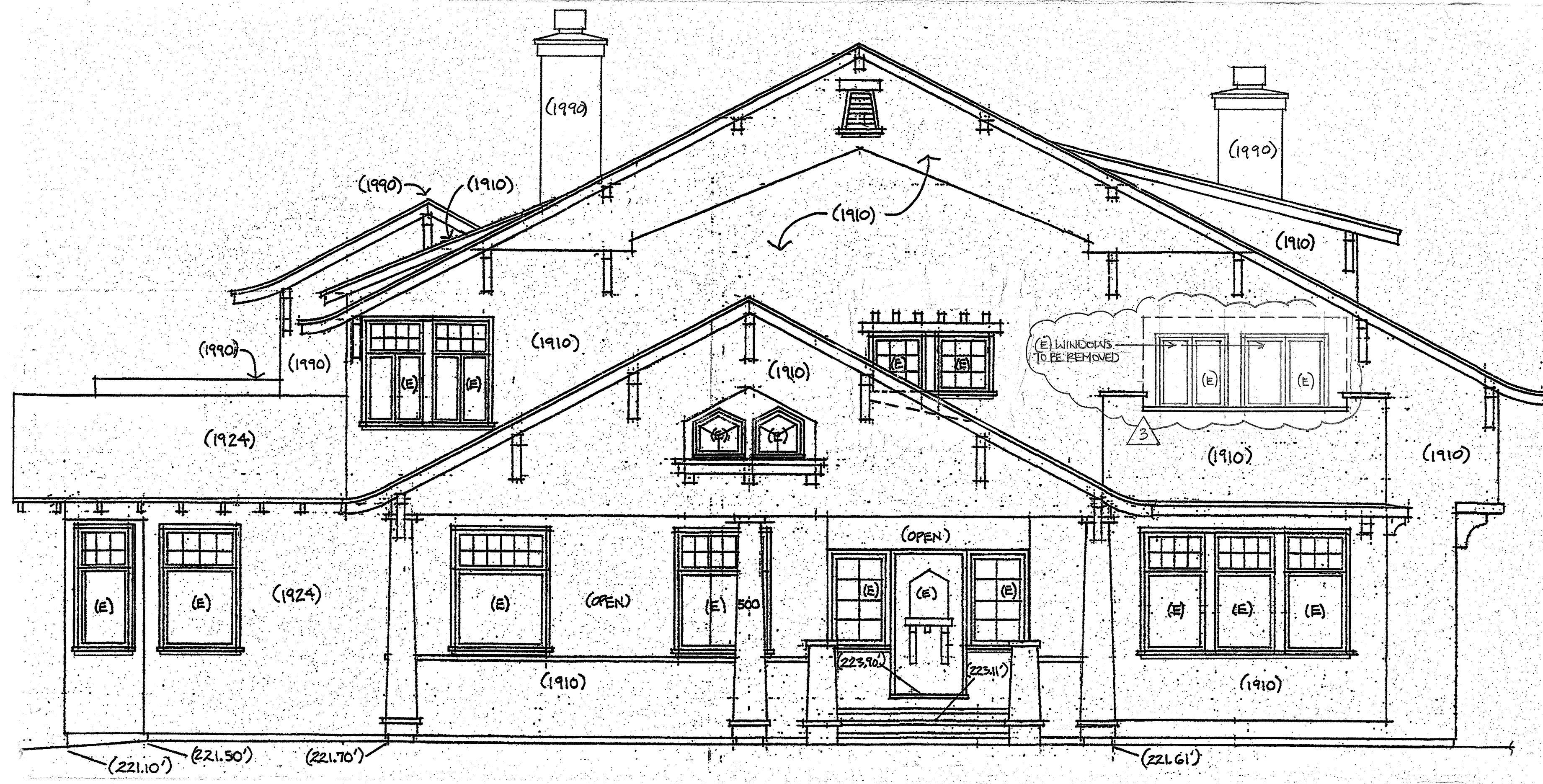
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 500 UNIVERSITY AVE., LOS ALTOS, CA 94022
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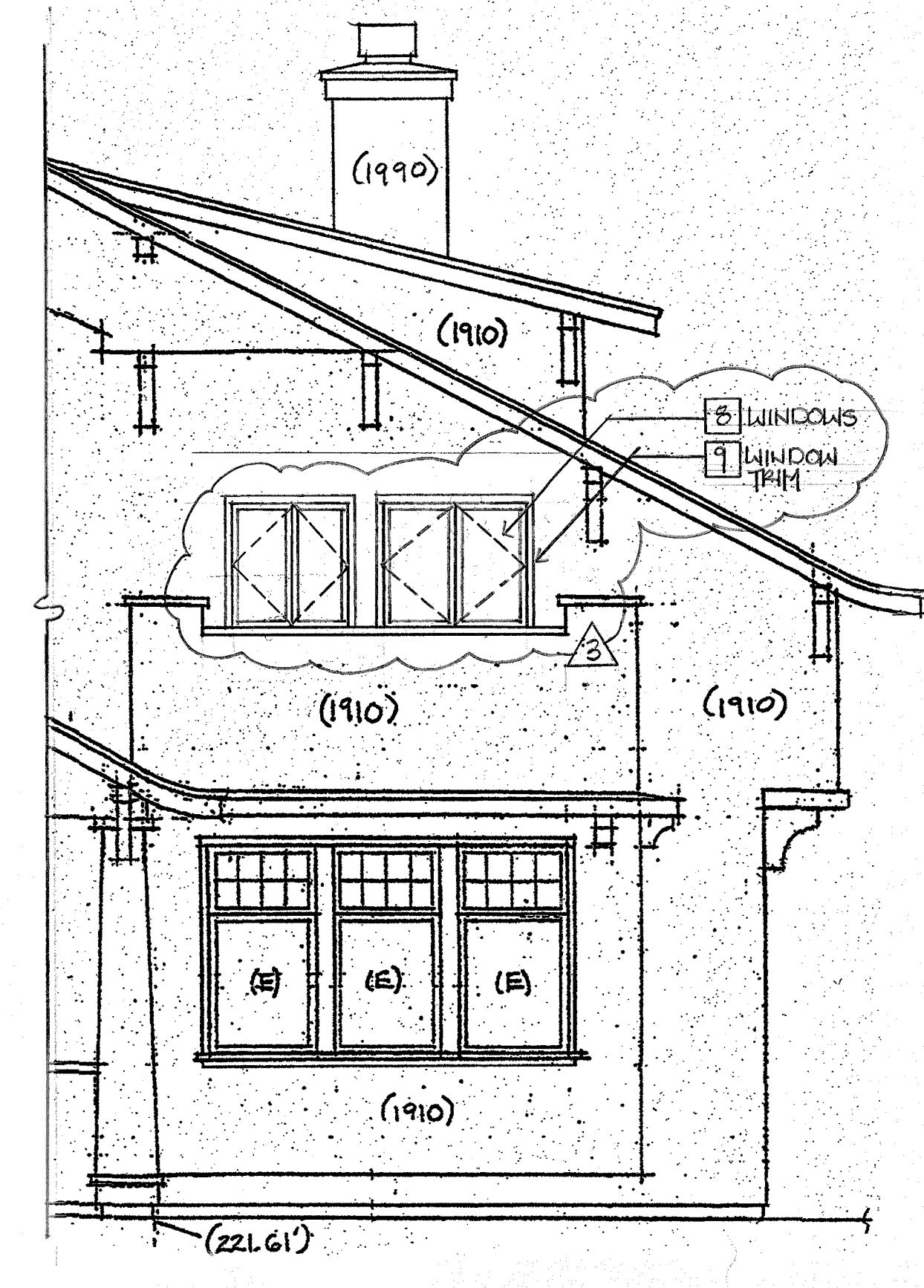
SHEET

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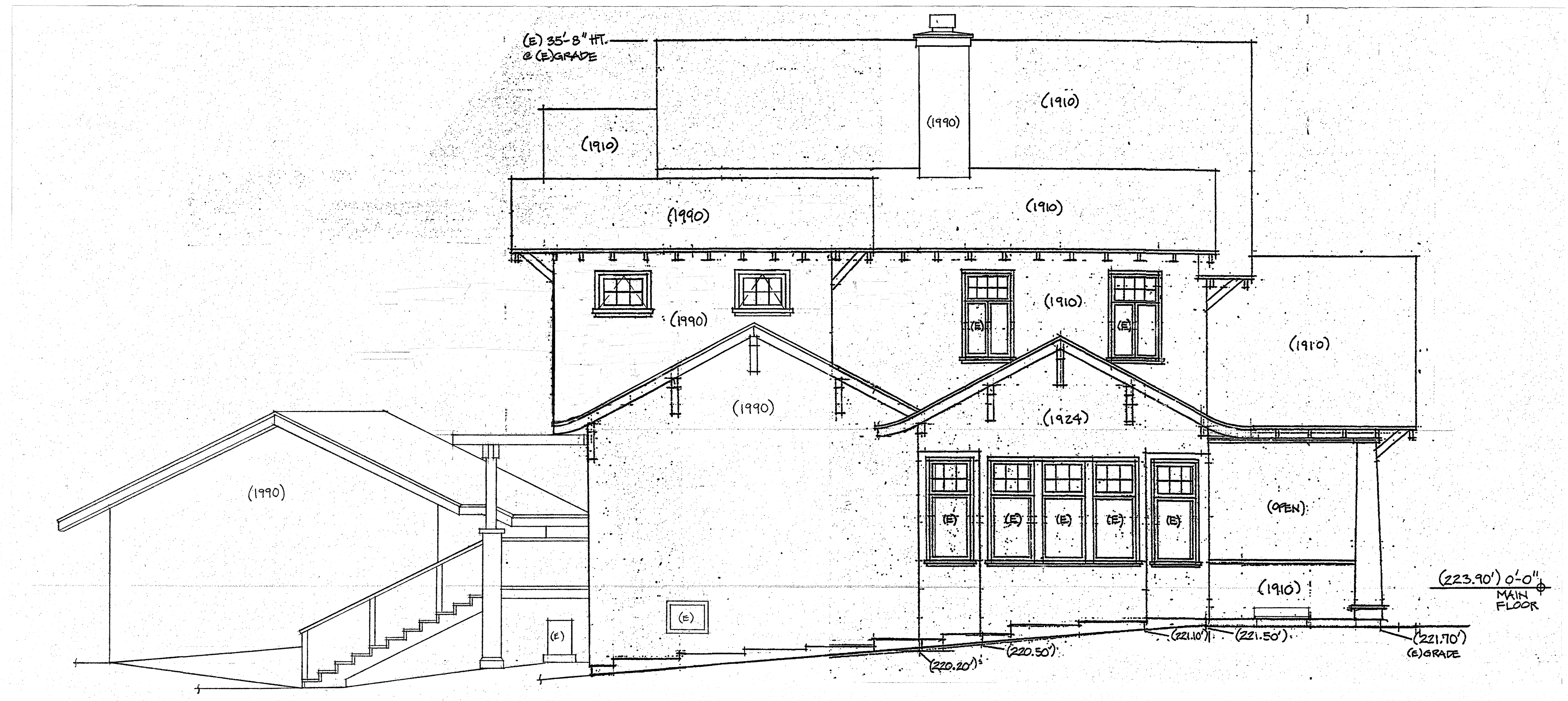
EXISTING FRONT ELEVATION

1/4" = 1'-0"



PROPOSED FRONT ELEVATION (PARTIAL)

1/4" = 1'-0"



EXISTING LEFT ELEVATION (NO ALTERATIONS)

1/4" = 1'-0"

GENERAL NOTES

- I FLUE CLEARANCE EXISTING TO REMAIN
- II CHIMNEY BRACING EXISTING TO REMAIN
- III SPARK ARRESTOR EXISTING TO REMAIN
- IV TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

EXTERIOR MATERIAL NOTES

- 1 ROOFING EXISTING TO REMAIN
- 2 GUTTER EXISTING TO REMAIN
- 3 DOWN SPOUTS EXISTING TO REMAIN
- 4 SIDING EXISTING TO REMAIN
- 5 TRIM EXISTING TO REMAIN
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS EXISTING TO REMAIN
- 9 WINDOW TRIM EXISTING TO REMAIN
- 10 SKYLIGHTS EXISTING TO REMAIN
- 11 CHIMNEY EXISTING TO REMAIN

3 NEW REQUEST FOR REPLACEMENT OF NON-HISTORICAL WINDOWS & DOORS

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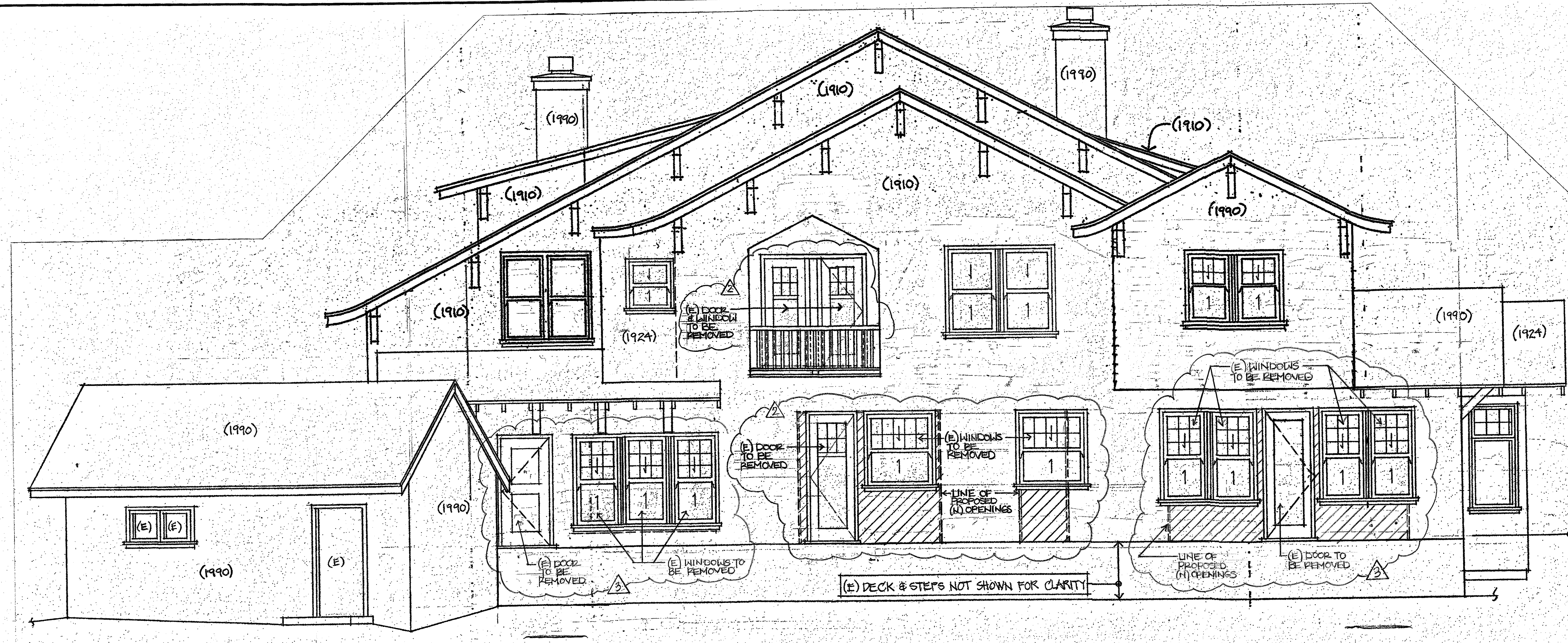
2	FIELD REVISION

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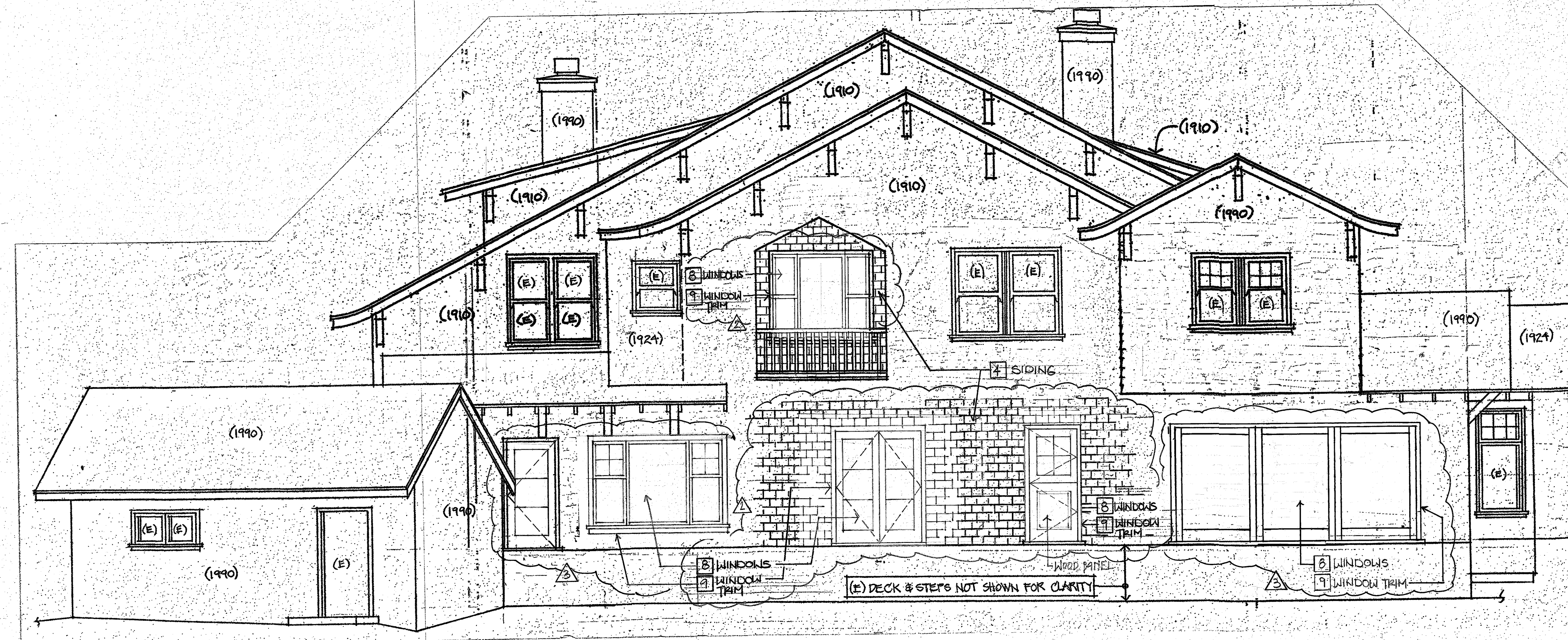
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EXISTING REAR ELEVATION

1/4" = 1'-0"



PROPOSED REAR ELEVATION

1/4" = 1'-0"

GENERAL NOTES

- I FLUE CLEARANCE EXISTING TO REMAIN
- II CHIMNEY BRACING EXISTING TO REMAIN
- III SPARK ARRESTOR EXISTING TO REMAIN
- IV TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

EXTERIOR MATERIAL NOTES

- 1 ROOFING EXISTING TO REMAIN
- 2 GUTTER EXISTING TO REMAIN
- 3 DOWN SPOUTS EXISTING TO REMAIN
- 4 SIDING MATCH (E) WOOD SHINGLES
- 5 TRIM EXISTING TO REMAIN
- 6 STUCCO N/A
- 7 VENEER N/A

- 8 WINDOWS DUAL GLAZED, WOOD WINDOWS & DOORS w/ TRUE DIVIDED LITES TO MATCH EXISTING
- 9 WINDOW TRIM MATCH EXISTING w/ SHINGLE MOULDINGS, DRIP SILLS, MULLIONS & APRON TRIM (CAP FLASHING REQUIRED)
- 10 SKYLIGHTS EXISTING TO REMAIN
- 11 CHIMNEY EXISTING TO REMAIN

2 NEW GRID PATTERN REQUESTED FOR WINDOWS & DOORS APPROVED FOR REPLACEMENT BY HRC

3 NEW REQUEST FOR REPLACEMENT OF NON-HISTORICAL WINDOWS & DOORS

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05-04-18	FIELD REVISION

CLIENT (JOB No. 21444)

COPELAND RESIDENCE

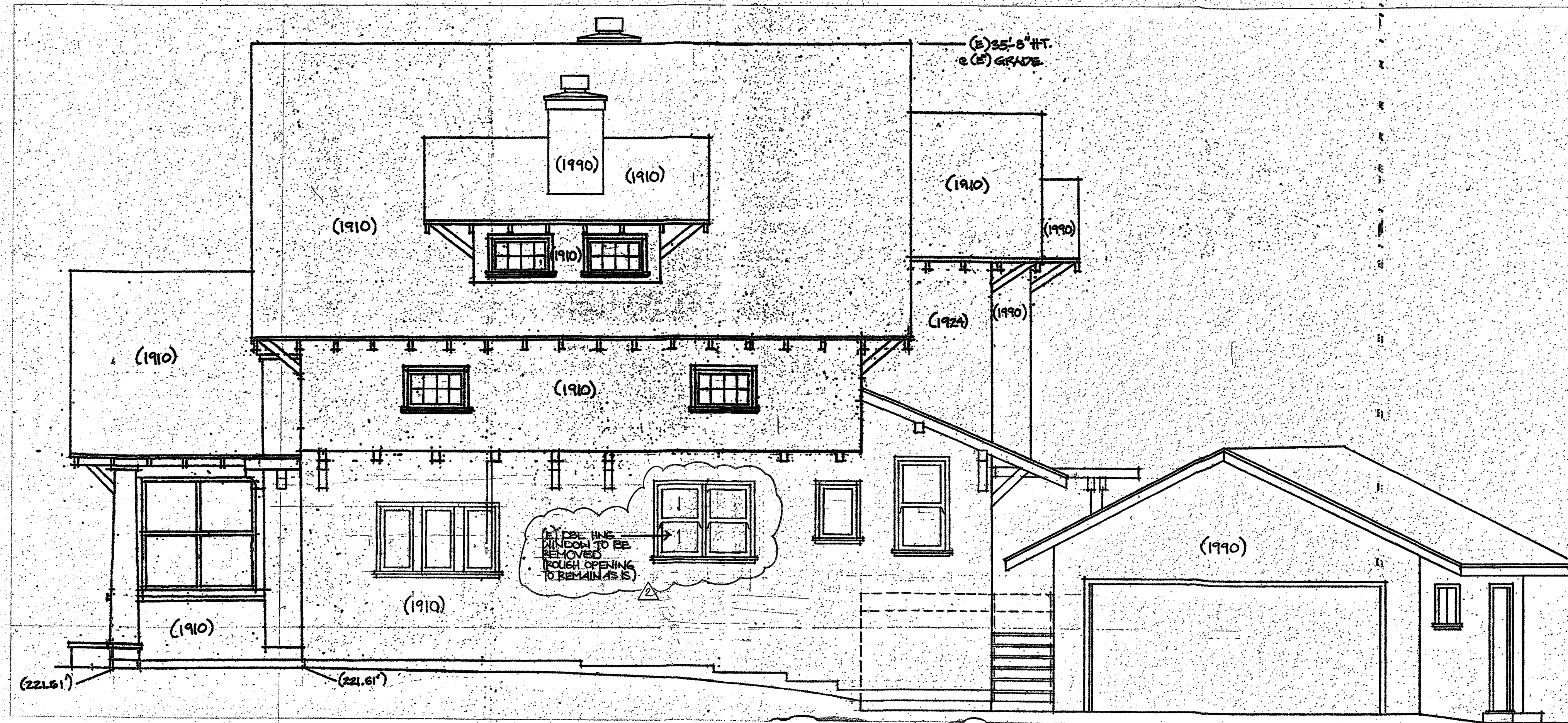
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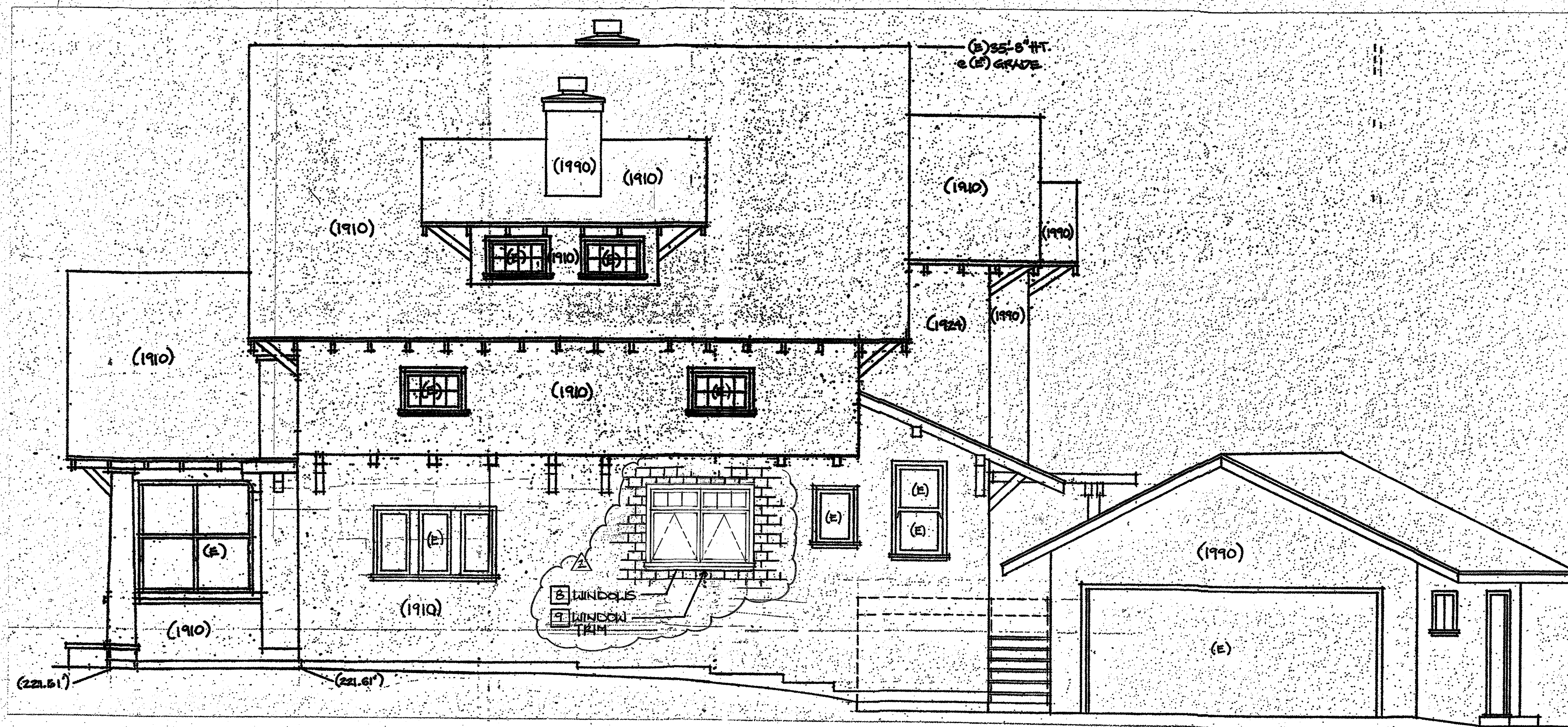
SHEET

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EXISTING RIGHT ELEVATION

1/4" = 1'-0"



PROPOSED RIGHT ELEVATION

1/4" = 1'-0"

GENERAL NOTES

- I FLUE CLEARANCE EXISTING TO REMAIN
- II CHIMNEY BRACING EXISTING TO REMAIN
- III SPARK ARRESTOR EXISTING TO REMAIN
- IV TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2010

EXTERIOR MATERIAL NOTES

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- 2 GUTTER EXISTING TO REMAIN
- 3 DOWN SPOUTS EXISTING TO REMAIN
- 4 SIDING MATCH (E) WOOD SHINGLES
- 5 TRIM EXISTING TO REMAIN
- 6 STUCCO N/A
- 7 VENEER N/A
- 8 WINDOWS DUAL GLAZED, WOOD WINDOWS & DOORS w/ TRUE DIVIDED LITES TO MATCH EXISTING
- 9 WINDOW TRIM MATCH EXISTING w/ SHINGLE MOULDINGS, DRIP SILLS, MULLIONS & APRON TRIM (CAP FLASHING REQUIRED)
- 10 SKYLIGHTS EXISTING TO REMAIN
- 11 CHIMNEY EXISTING TO REMAIN

2 NEW GRID PATTERN REQUESTED FOR WINDOWS & DOORS APPROVED FOR REPLACEMENT BY

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	SUBMITTED FOR HISTORICAL REVIEW
	FIELD REVISION

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