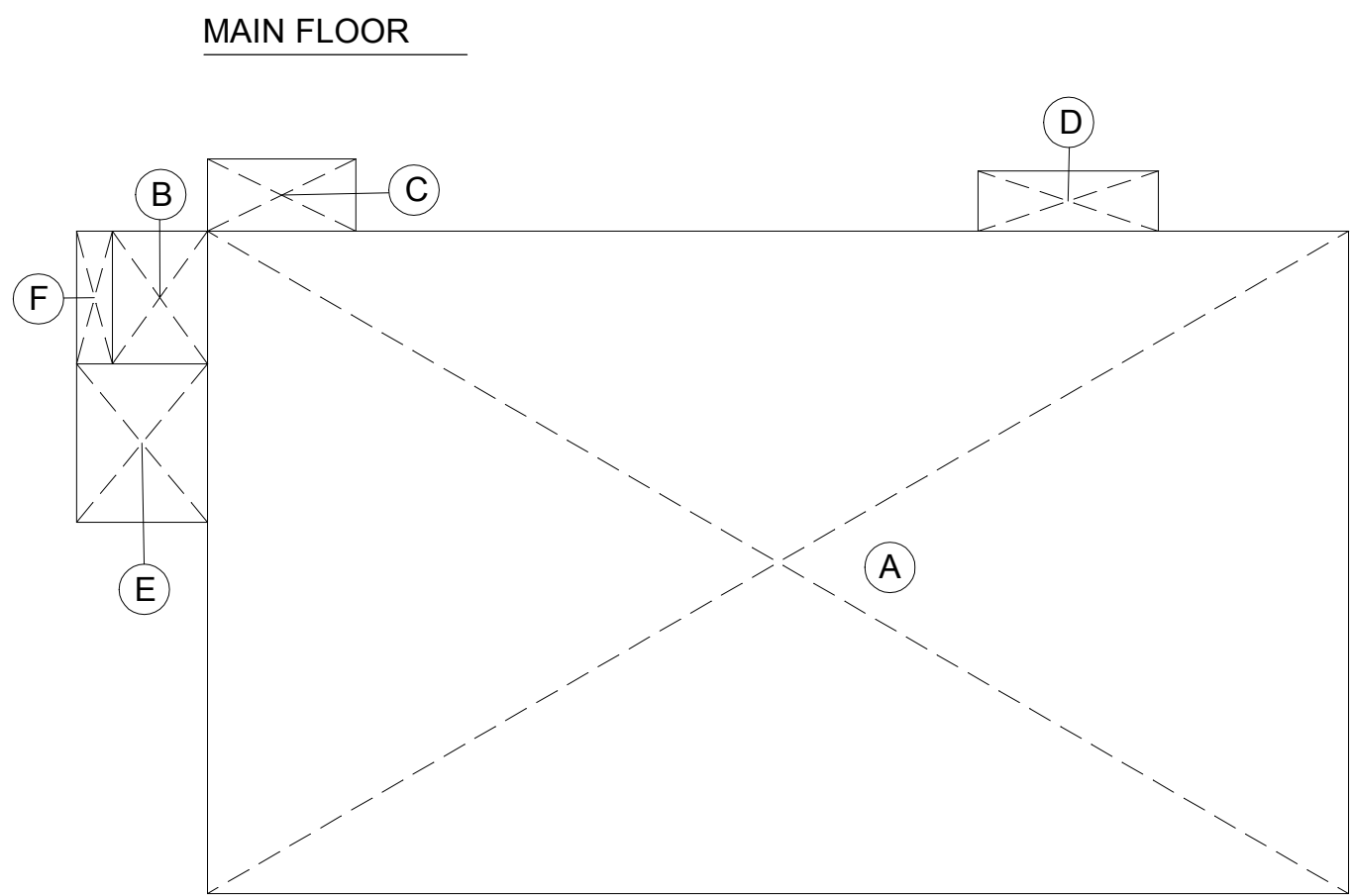
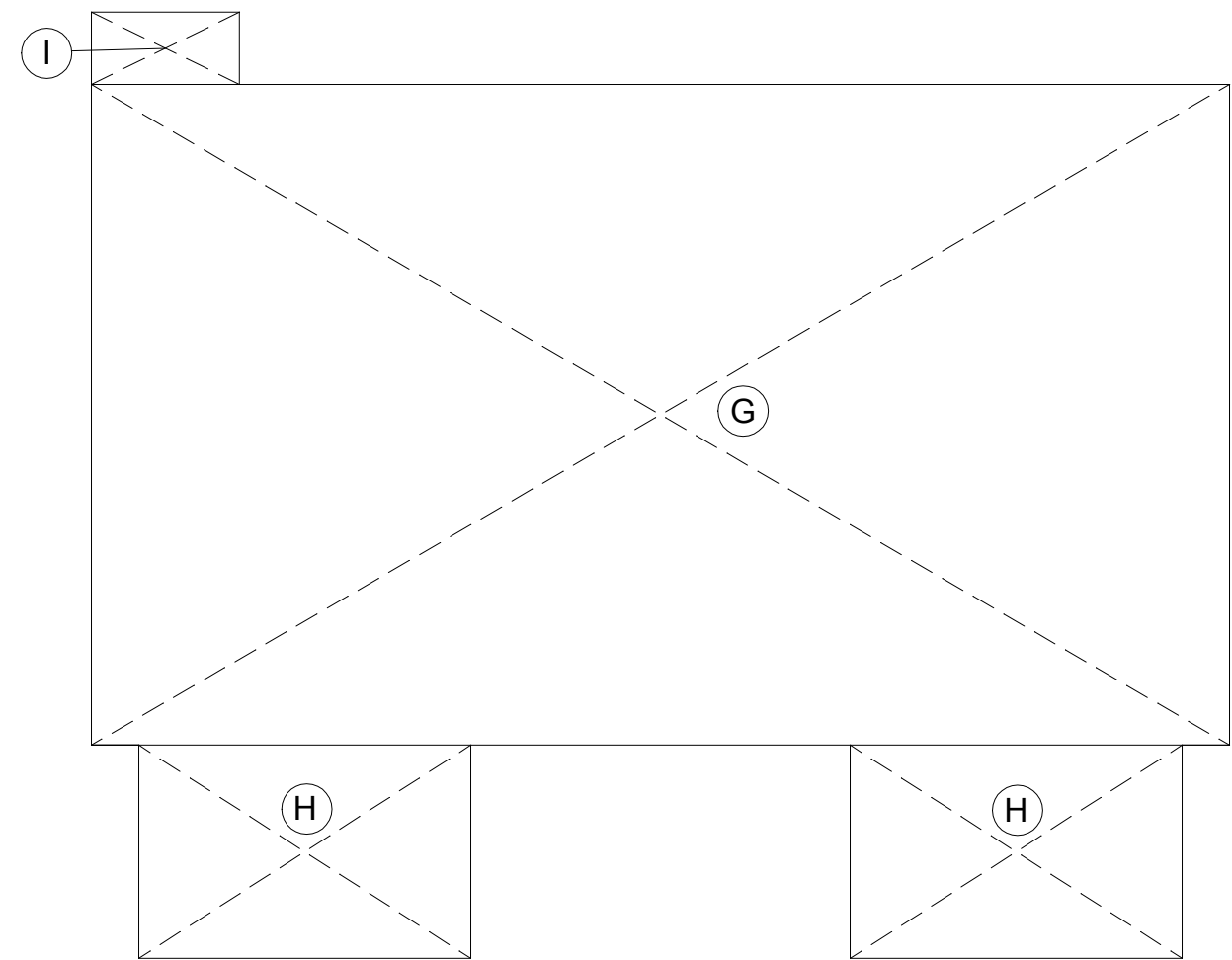




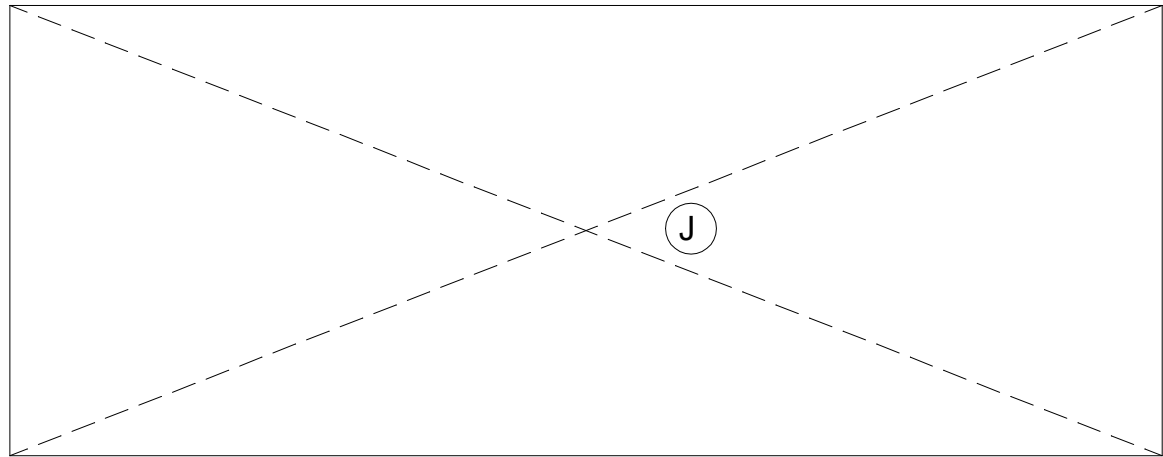
A	27.875 X 48.0	1338.0 S.F.
B	4.0 X 5.58	22.3 S.F.
C	3.0 X 6.25	18.75 S.F.
D	2.54 X 7.58	19.25 S.F.
TOTAL (E.) MAIN FLOOR		1398.3 S.F.
E	6.0 X 6.67	40.0 S.F.
F	2.0 X 5.58	11.2 S.F.
MAIN FLOOR ADDITION		51.2 S.F.
TOTAL MAIN FLOOR		1449.5 S.F.

(E.) UPPER FLOOR



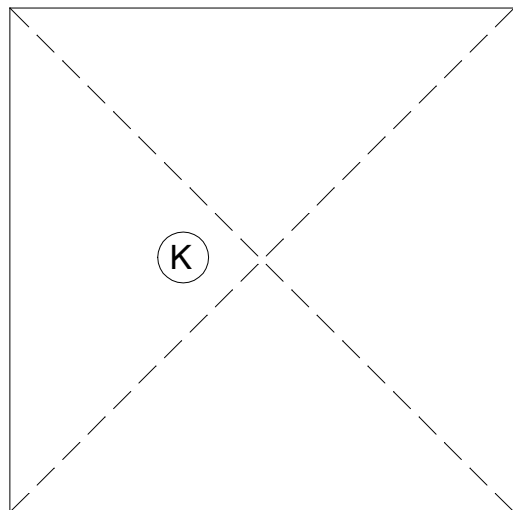
G	27.875 X 48.0	1338.0 S.F.
H	2X 9.0 X 14.0	252.0 S.F.
I	3.0 X 6.25	18.75 S.F.
TOTAL (E.) UPPER FLOOR		1608.75 S.F.

(E.) ATTIC FLOOR



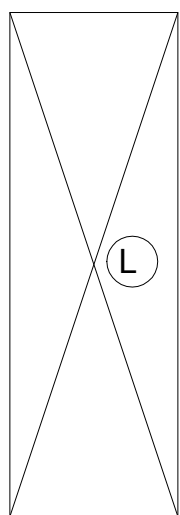
J	18.75 X 48.0	900.0 S.F.
TOTAL (E.) ATTIC FLOOR		900.0 S.F.

(E.) GARAGE ???



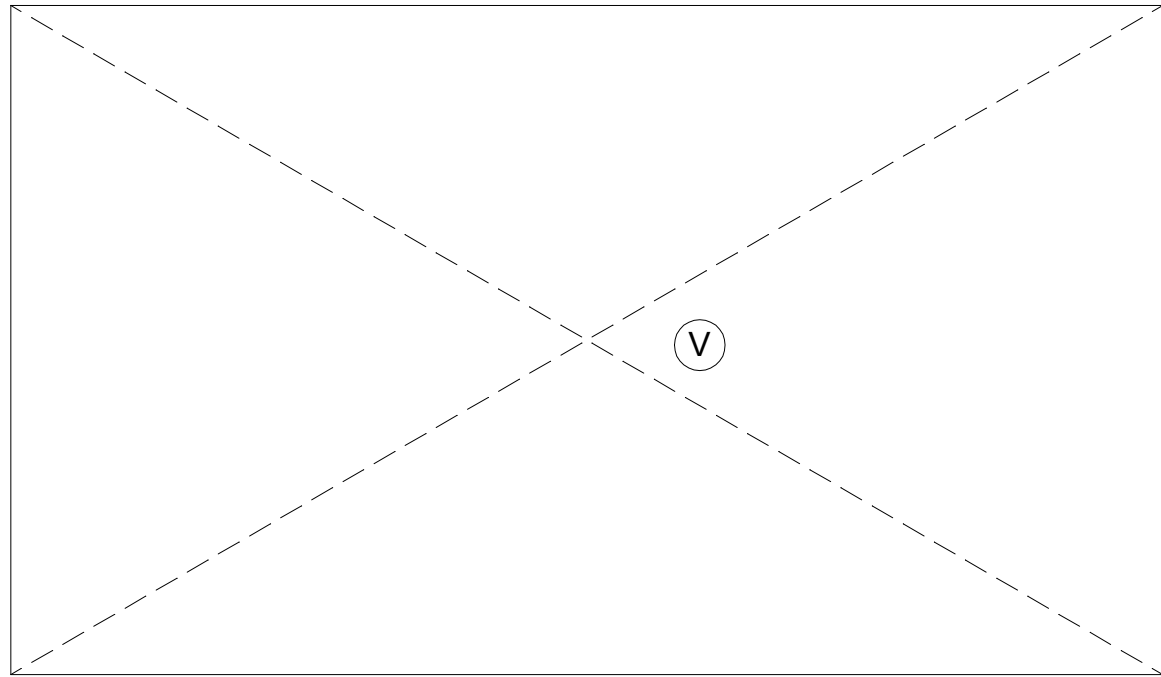
K	21.0 X 21.0	441.0 S.F.
TOTAL (E.) GARAGE		441.0 S.F.

(E.) ATTIC SPACE ABOVE (E.) GARAGE



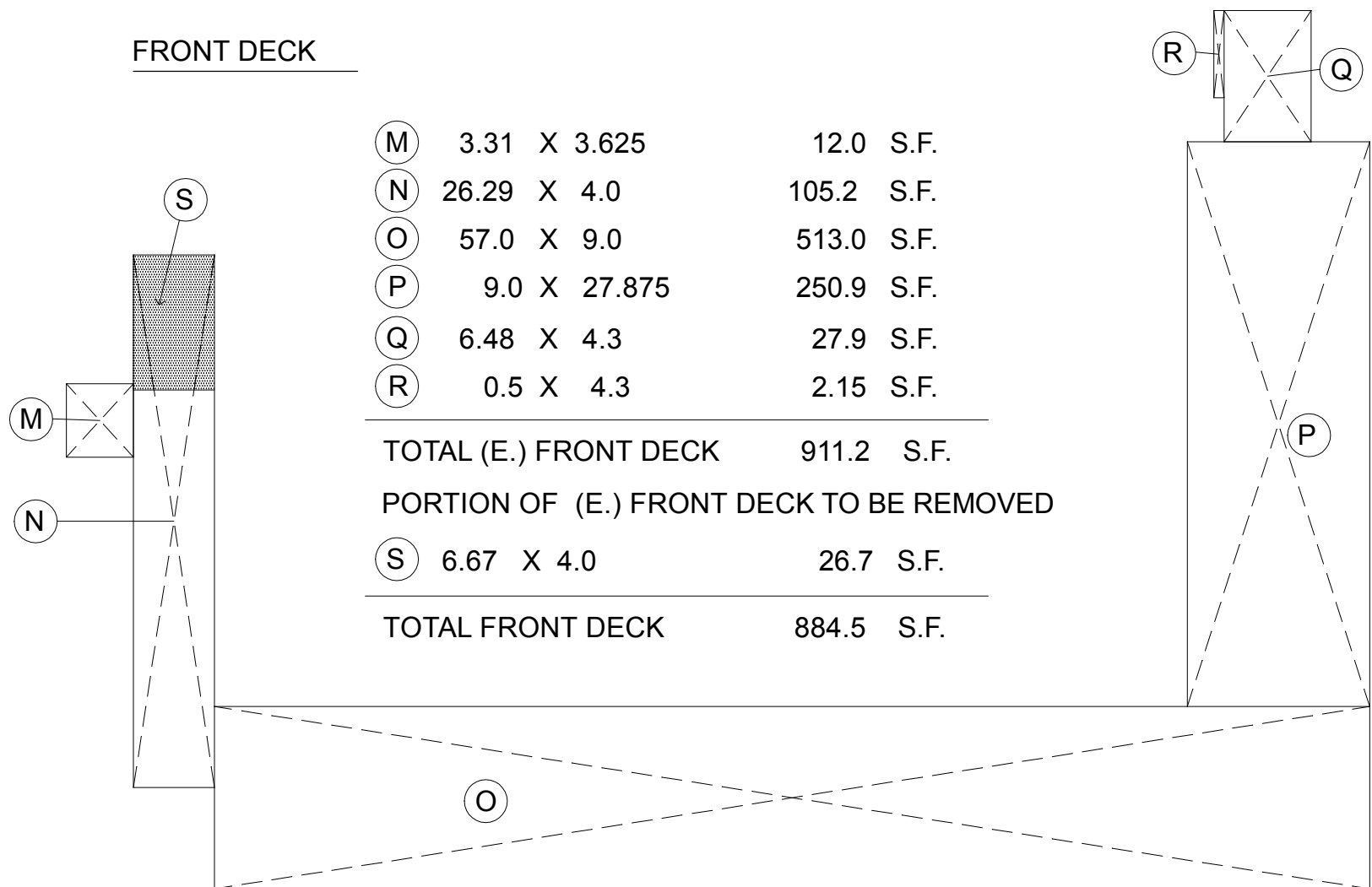
L	8.1 X 21.0	170.1 S.F.
TOTAL (E.) ATTIC SPACE		170.1 S.F.

(E.) BASEMENT



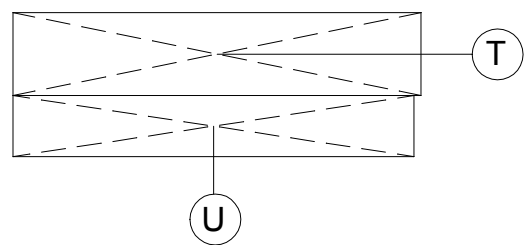
V	27.875 X 48.0	1338.0 S.F.
TOTAL BASEMENT		1338.0 S.F.

FRONT DECK



M	3.31 X 3.625	12.0 S.F.
N	26.29 X 4.0	105.2 S.F.
O	57.0 X 9.0	513.0 S.F.
P	9.0 X 27.875	250.9 S.F.
Q	6.48 X 4.3	27.9 S.F.
R	0.5 X 4.3	2.15 S.F.
TOTAL (E.) FRONT DECK		911.2 S.F.
PORTION OF (E.) FRONT DECK TO BE REMOVED		
S	6.67 X 4.0	26.7 S.F.
TOTAL FRONT DECK		884.5 S.F.

(N.) REAR DECK



T	3.46 X 117.0	58.82 S.F.
U	2.54 X 16.7	42.4 S.F.
TOTAL (N.) REAR DECK		101.2 S.F.

TABULATIONS	TABULATIONS
BASEMENT	1338.00 S.F.
MAIN FLOOR	1398.30 S.F.
UPPER FLOOR	1608.75 S.F.
ATTIC	900.00 S.F.
SUB TOTAL	5245.05 S.F.
(E) GARAGE & ATTIC	611.10 S.F.
TOTAL EXISTING	5856.15 S.F.
(E) TO BE REMOVED	611.10 S.F.
TOTAL (E) TO REMAIN	5245.05 S.F.
PROPOSED ADDITION	51.20 S.F.
NEW GARAGE	441.00 S.F.
TOTAL PROPOSED	5737.25 S.F.

FLOOR AREA & COVERAGE CALCULATION DIAGRAM

NOTE

* THE DRAWING AND THE IDEAS, DESIGNS, PLANS AND SPECIFICATIONS CONTAINED WITHIN ARE THE PROPERTY OF CHAPMAN DESIGN ASSOCIATES AND DEVELOPED FOR THE EXCLUSIVE USE OF THE CLIENT. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, OR USED IN WHOLE OR IN PART FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF CHAPMAN DESIGN ASSOCIATES.

7-10-14	SUBMITTED FOR DESIGN REVIEW

CLIENT(JOB NO. 21409)

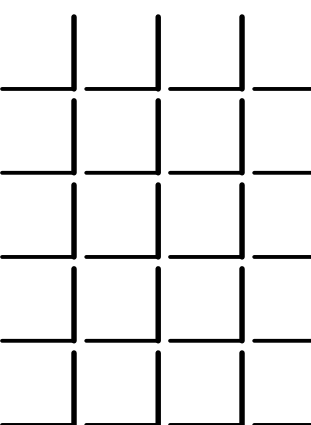
MILLER RESIDENCE

439 RINCONADA CT., LOS ALTOS, CA 94022

PHONE NO. (408) 679-2814

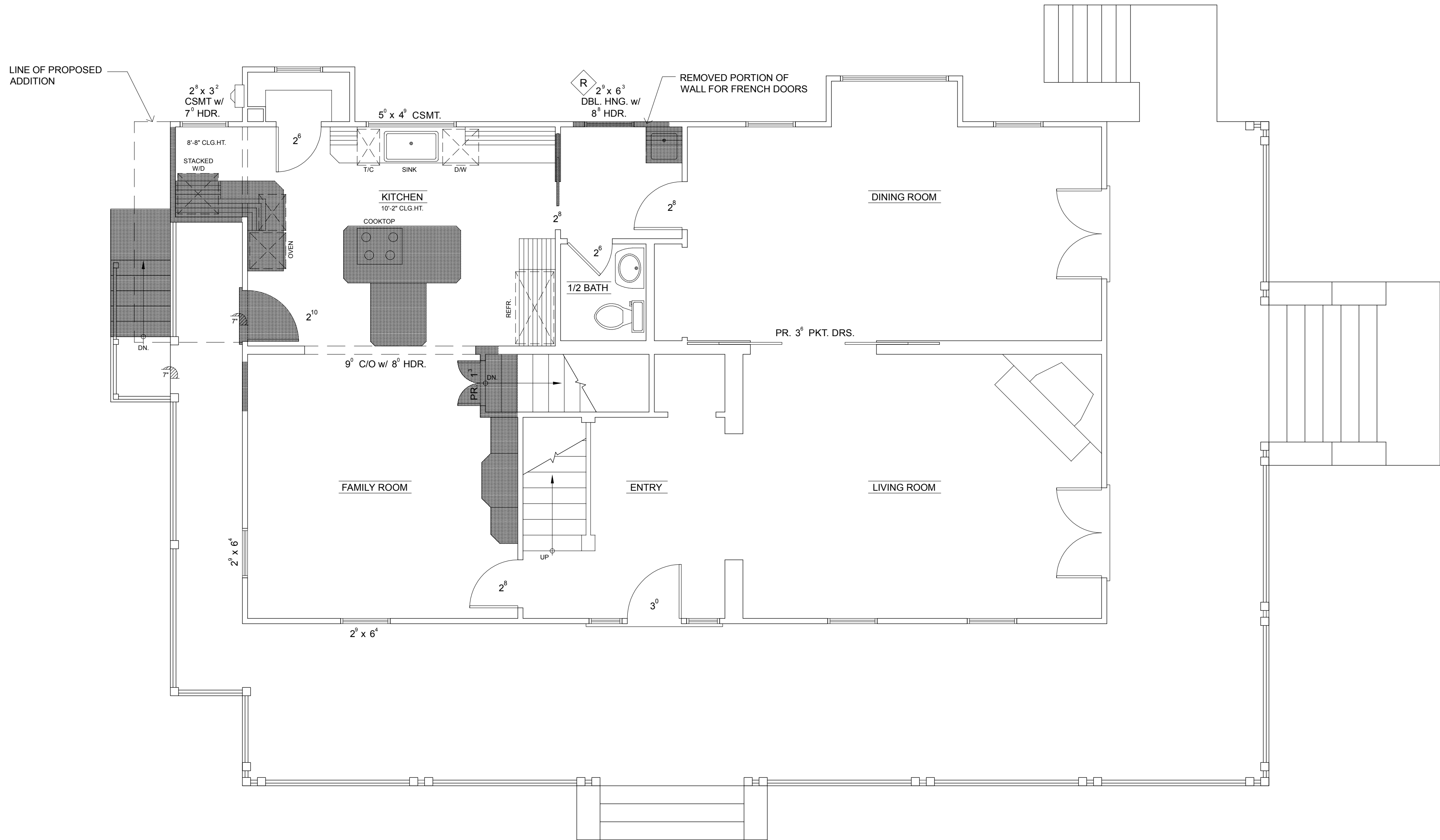
CHAPMAN
DESIGN
ASSOCIATES

620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890



SHEET

A - 1A



EXISTING MAIN FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I PLUMBING** CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL** REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK** REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING** CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL** ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS** IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

DEMOLITION NOTES

- 1 DOORS** PROTECT EXISTING STRUCTURE UNLESS NOTED OTHERWISE
- 2 WINDOWS & SKYLIGHTS**
- 3 CABINETRY**
- 4 FLOOR COVERINGS**
- 5 LIGHT FIXTURES**
- 6 APPLIANCES**
- 7 LANDSCAPE**
- 8 FLATWORK**
- 9 VENEER**
- 10 ELECTRICAL METER**
- 11 GAS METER**

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E)** EXISTING TO REMAIN
- (R)** EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED

REVISIONS

- - CITY PLAN CHECK

NOTE *

7-10-14	SUBMITTED FOR DESIGN REVIEW

CLIENT(JOB NO. 21409)

MILLER RESIDENCE

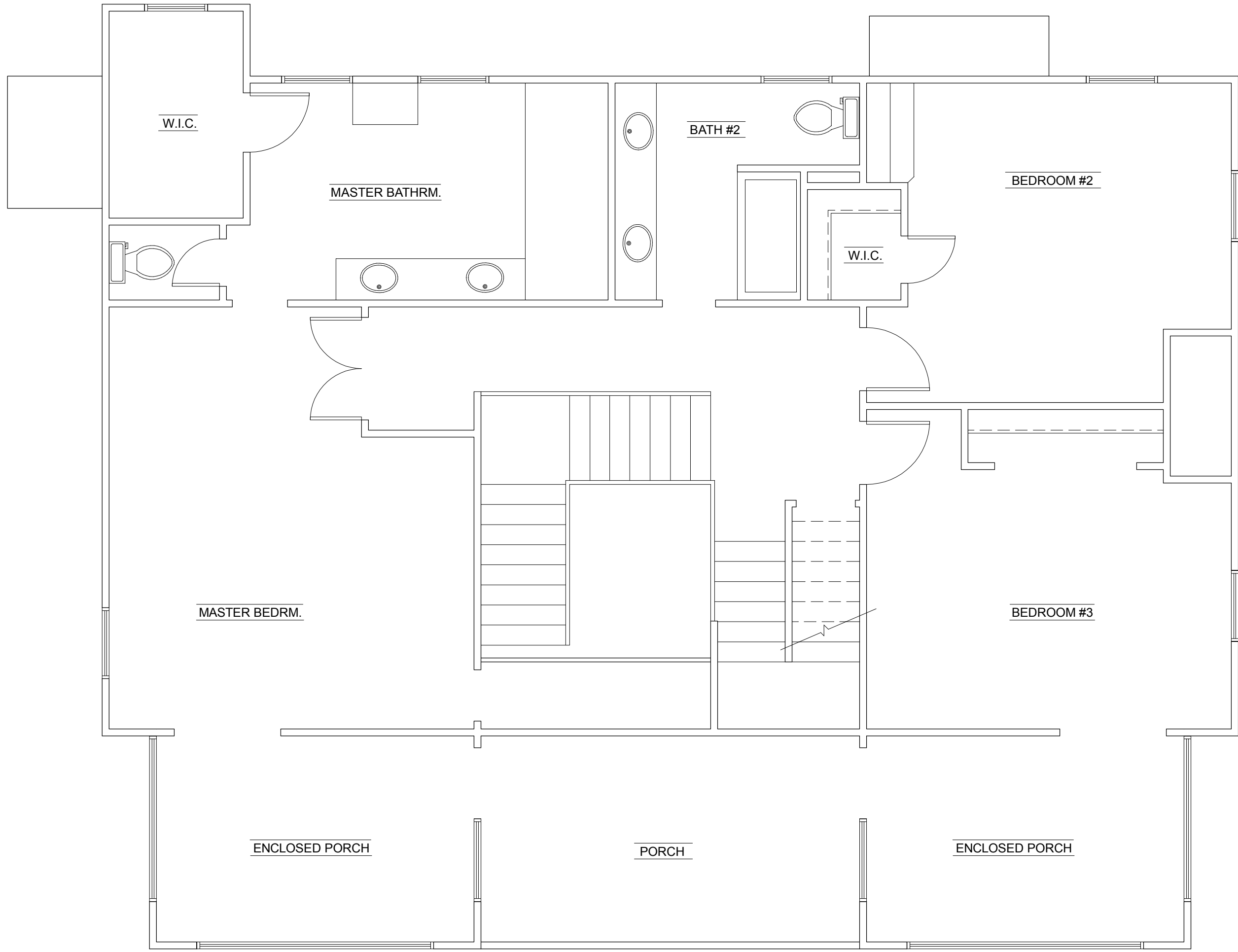
439 RINCONADA CT., LOS ALTOS, CA 94022
PHONE NO. (408) 679-2314

CHAPMAN
DESIGN
ASSOCIATES

620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890

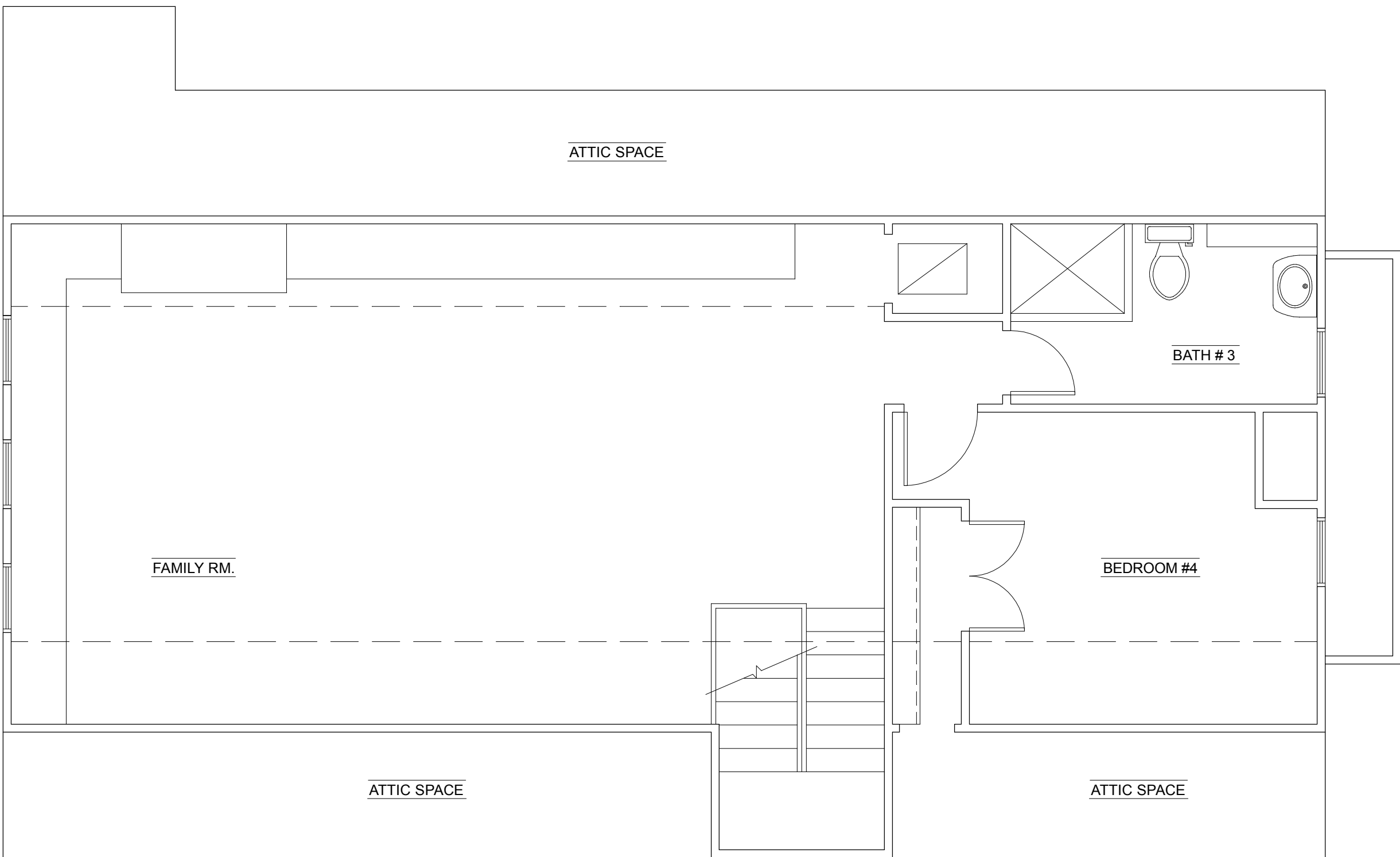
SHEET

A - 2



EXISTING UPPER FLOOR PLAN

1/4" = 1'-0"



EXISTING ATTIC FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I PLUMBING** CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL** REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WIRING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK** REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING** CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL** ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS** IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

DEMOLITION NOTES

- 1 DOORS** PROTECT EXISTING STRUCTURE UNLESS NOTED OTHERWISE
- 2 WINDOWS & SKYLIGHTS**
- 3 CABINETRY**
- 4 FLOOR COVERINGS**
- 5 LIGHT FIXTURES**
- 6 APPLIANCES**
- 7 LANDSCAPE**
- 8 FLATWORK**
- 9 VENEER**
- 10 ELECTRICAL METER**
- 11 GAS METER**

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CASEWORK, FIXTURES, ETC. TO BE REMOVED
- (E)** EXISTING TO REMAIN
- (R)** EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED

REVISIONS

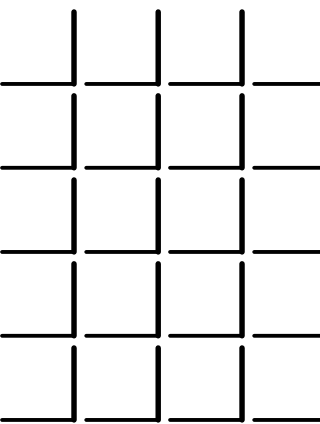
- - CITY PLAN CHECK

*** NOTE**
THE DRAWING AND THE IDEAS, DESIGN, PLANS AND SPECIFICATIONS CONTAINED WITHIN ARE THE PROPERTY OF CHAPMAN DESIGN ASSOCIATES AND DEVELOPED FOR THE CLIENT'S EXCLUSIVE USE. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, REPRODUCED, OR USED FOR OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF CHAPMAN DESIGN ASSOCIATES.

7-10-14	SUBMITTED FOR DESIGN REVIEW

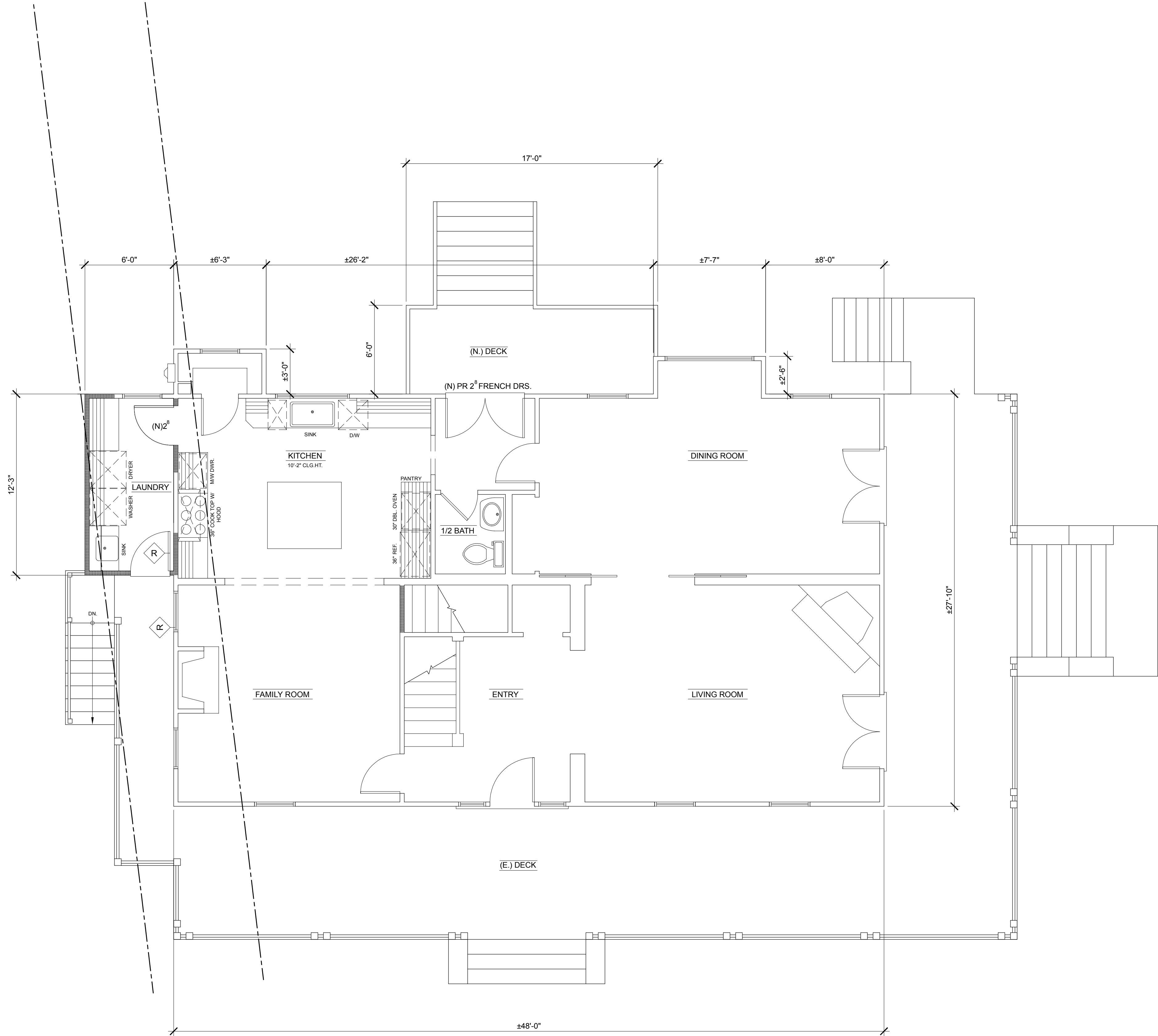
CLIENT(JOB NO. 21409)
MILLER RESIDENCE
439 RINCONADA CT., LOS ALTOS, CA 94022
PHONE NO. (408) 679-2814

CHAPMAN
DESIGN
ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890



SHEET

A - 3



FLOOR PLAN

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2013
 - MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.5&6. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/4" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS** DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2013. USEABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE AND FINISH PER OWNER SPECIFICATIONS.
- IV GUARDRAILS** DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2013. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH
- V STAIR & HANDRAILS** DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2013. STYLE AND FINISH PER OWNER SPECIFICATIONS
- VI FIREPLACE** DESIGN SHALL CONFORM TO CH. 10 CRC 2013, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2013 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
- VII TEMPERED GLASS** PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013
- VIII FIRE BLOCKS** PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2013
- IX WATER CLOSETS** PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2013 CPC)
- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2013 CRC
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2013 CPC) SHALL CONFORM TO SEC. 402, 2013 CPC

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- EXISTING WALLS TO REMAIN
- NEW WALLS
- EXISTING
- NEW
- RELOCATED

REVISIONS

- - CITY PLAN CHECK

*
NOTE
THE DRAWING AND THE IDEAS, DESIGN, PLANS AND SPECIFICATIONS CONTAINED WITHIN ARE THE PROPERTY OF CHAPMAN DESIGN ASSOCIATES AND DEVELOPED FOR THE EXCLUSIVE USE OF THE CLIENT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART OR USED FOR OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF CHAPMAN DESIGN ASSOCIATES.

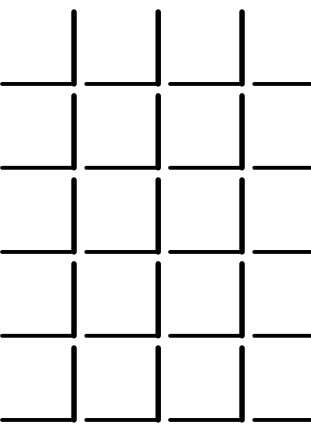
7-10-14	SUBMITTED FOR DESIGN REVIEW

CLIENT(JOB NO. 21409)

MILLER RESIDENCE

439 RINCONADA CT, LOS ALTOS, CA 94022
PHONE NO. (408) 679-2814

CHAPMAN
DESIGN
ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890



SHEET

A - 4

EXTERIOR MATERIAL NOTES

1	ROOFING	COMPOSITION SHINGLE	6	STUCCO	N/A
2	GUTTER	PROFILE	7	VENEER	N/A
3	DOWN SPOUTS	RECTANGULAR	8	WINDOWS	EXISTING TO REMAIN, U.N.O.
4	SIDING	EXISTING 1 X 10 HORIZONTAL SIDING NEW 1 X 6 HORIZONTAL SIDING	9	WINDOW TRIM	EXISTING TO REMAIN
5	TRIM	MATCH CORNER TRIM	10	SKYLIGHTS	N/A
			11	CHIMNEY	N/A

GENERAL NOTES

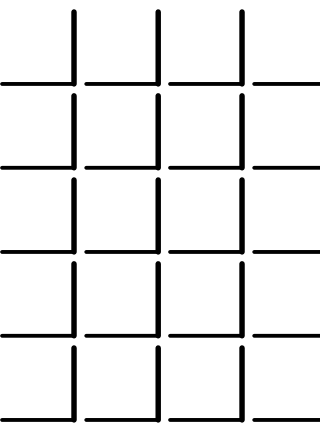
I	STUCCO	REQUIREMENTS: 1) 3-COAT & 7" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2013
II	FLUE CLEARANCE	AS PER SECTION R1003.18 CRC 2013. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
III	CHIMNEY BRACING	AS PER CH. 10 CRC 2013
IV	SPARK ARRESTOR	PROVIDE AS PER SEC. R1003.4.1 CRC 2013
V	TEMPERED GLASS	PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013

*
NOTE
THE DRAWING AND THE IDEAS, DESIGN, PLANS AND SPECIFICATIONS CONTAINED WITHIN ARE THE PROPERTY OF CHAPMAN DESIGN ASSOCIATES AND DEVELOPED FOR THE EXCLUSIVE USE OF THE CLIENT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART OR USED FOR OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF CHAPMAN DESIGN ASSOCIATES.

7-10-14	SUBMITTED FOR DESIGN REVIEW

CLIENT(JOB NO. 21409)
MILLER RESIDENCE
439 RINCONADA CT., LOS ALTOS, CA 94022
PHONE NO. (408) 679-2314

CHAPMAN
DESIGN
ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890



SHEET

A - 5

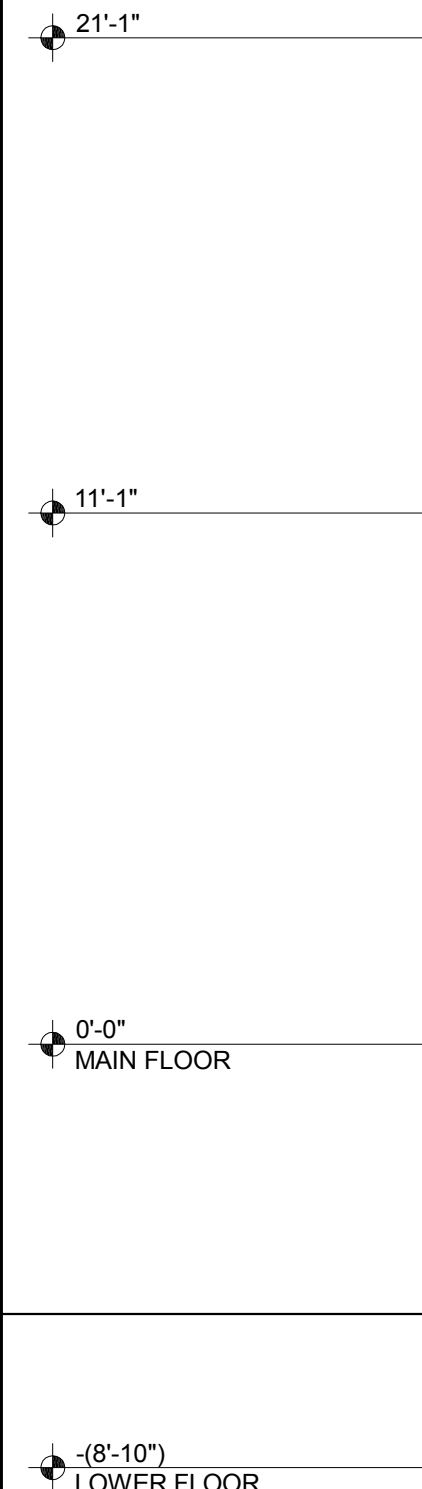
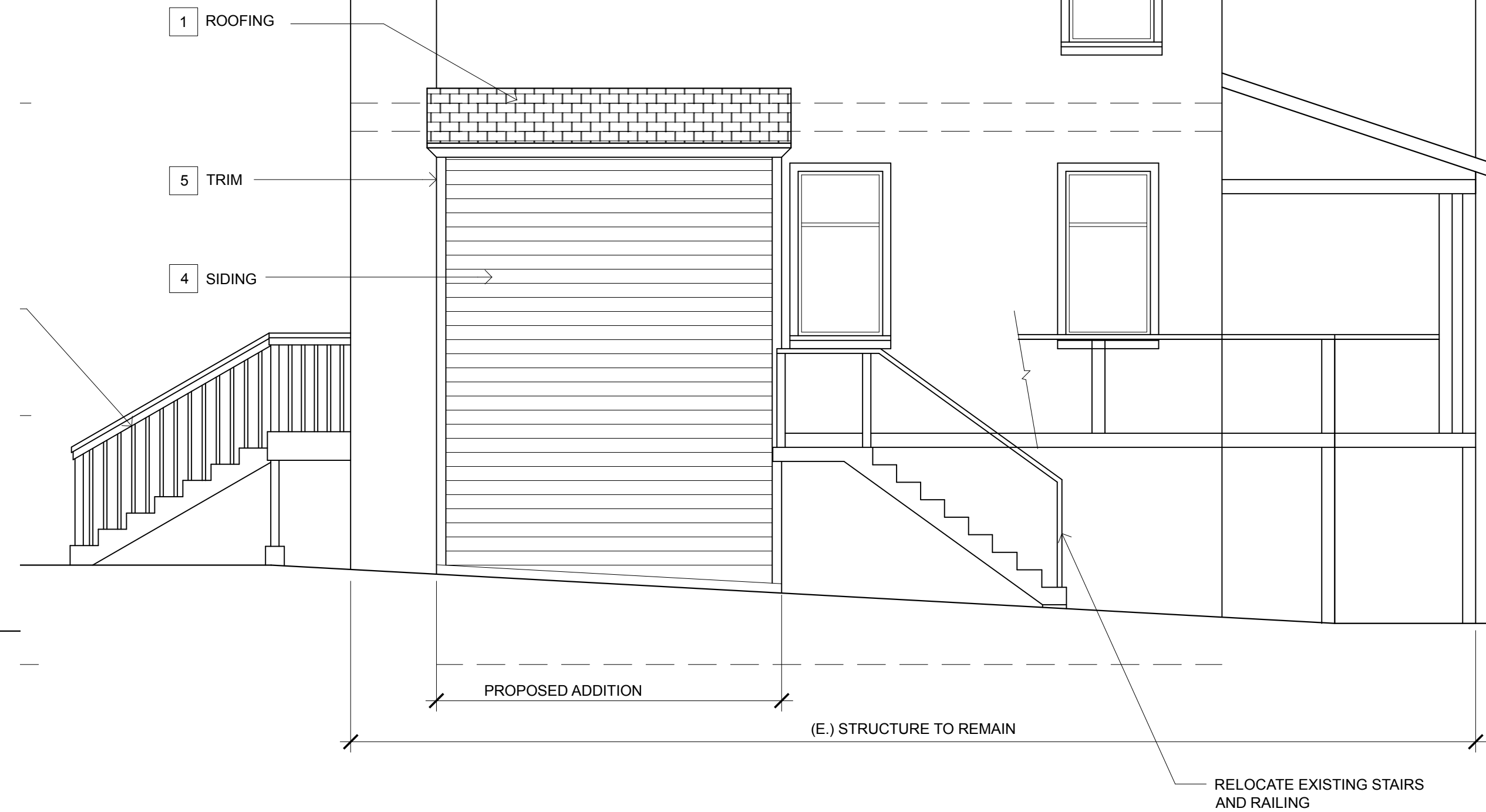


EXISTING REAR ELEVATION

1/4" = 1'-0"

PROPOSED REAR ELEVATION

1/4" = 1'-0"


$$\overline{1/4'' = 1'-0''}$$

$$\overline{1/4'' = 1'-0''}$$

I	STUCCO	REQUIREMENTS: 1) 3-COAT & $\frac{3}{8}$ " MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREEN AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CRC 2013 AS PER SECTION R1003.18 CRC 2013. 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY AS PER CH. 10 CRC 2013
II	FLUE CLEARANCE	
III	CHIMNEY BRACING	
IV	SPARK ARRESTOR	PROVIDE AS PER SEC. R1003.4.1 CRC 2013 PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013
IV	TEMPERED GLASS	

1	ROOFING	COMPOSITION SHINGLE
2	GUTTER	PROFILE
3	DOWN SPOUTS	RECTANGULAR
4	SIDING	EXISTING 1 X 10 HORIZONTAL SIDING NEW 1 X 6 HORIZONTAL SIDING
5	TRIM	MATCH CORNER TRIM
6	STUCCO	N/A
7	VENEER	N/A
8	WINDOWS	EXISTING TO REMAIN, U.N.O.
9	WINDOW TRIM	N/A
10	SKYLIGHTS	N/A
11	CHIMNEY	

- WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS

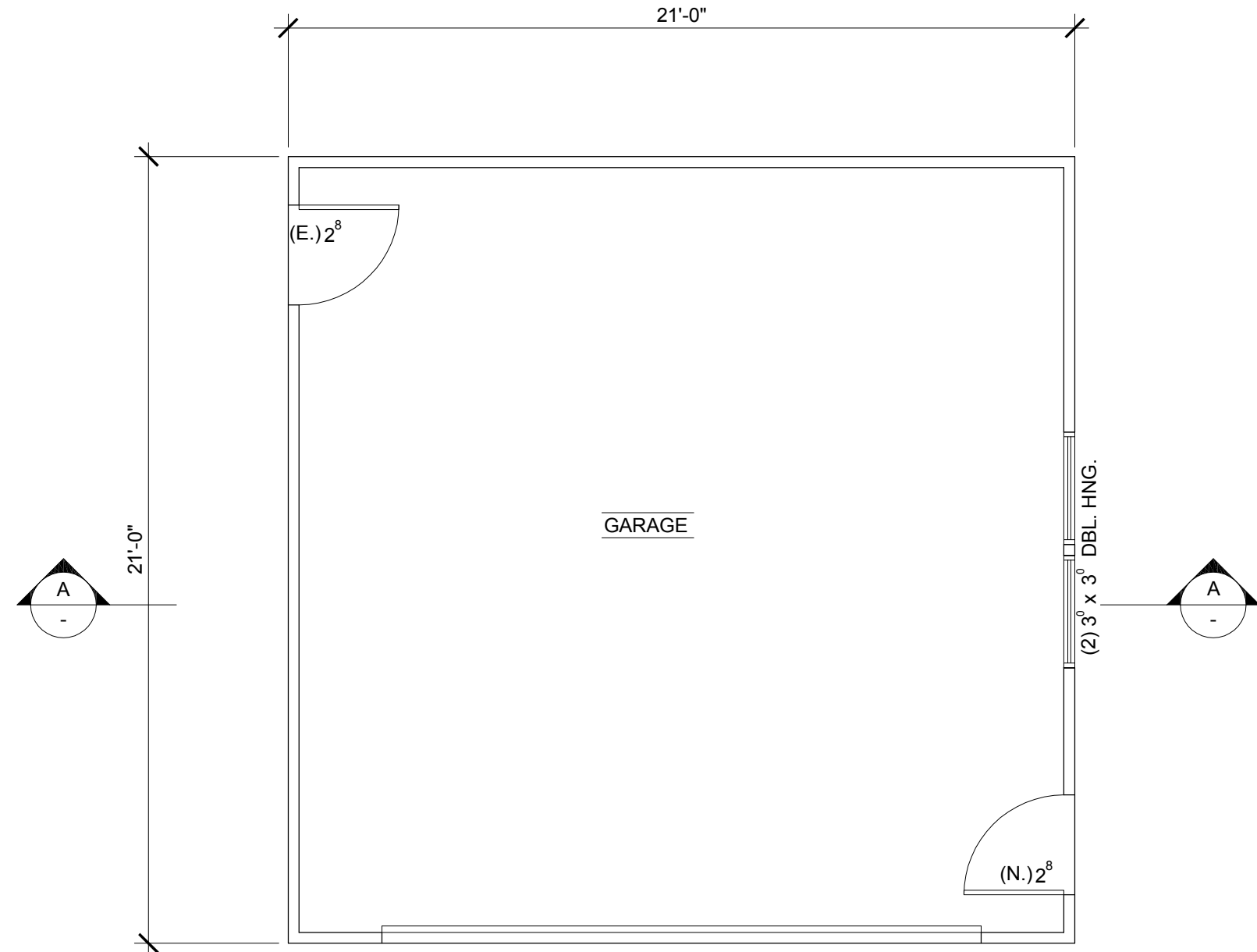
— — CITY PLAN CHECK

-10-14	SUBMITTED FOR DESIGN REVIEW

439 RINCONADA CT., LOS ALTOS, CA 94022
PHONE NO. (408) 679-2814

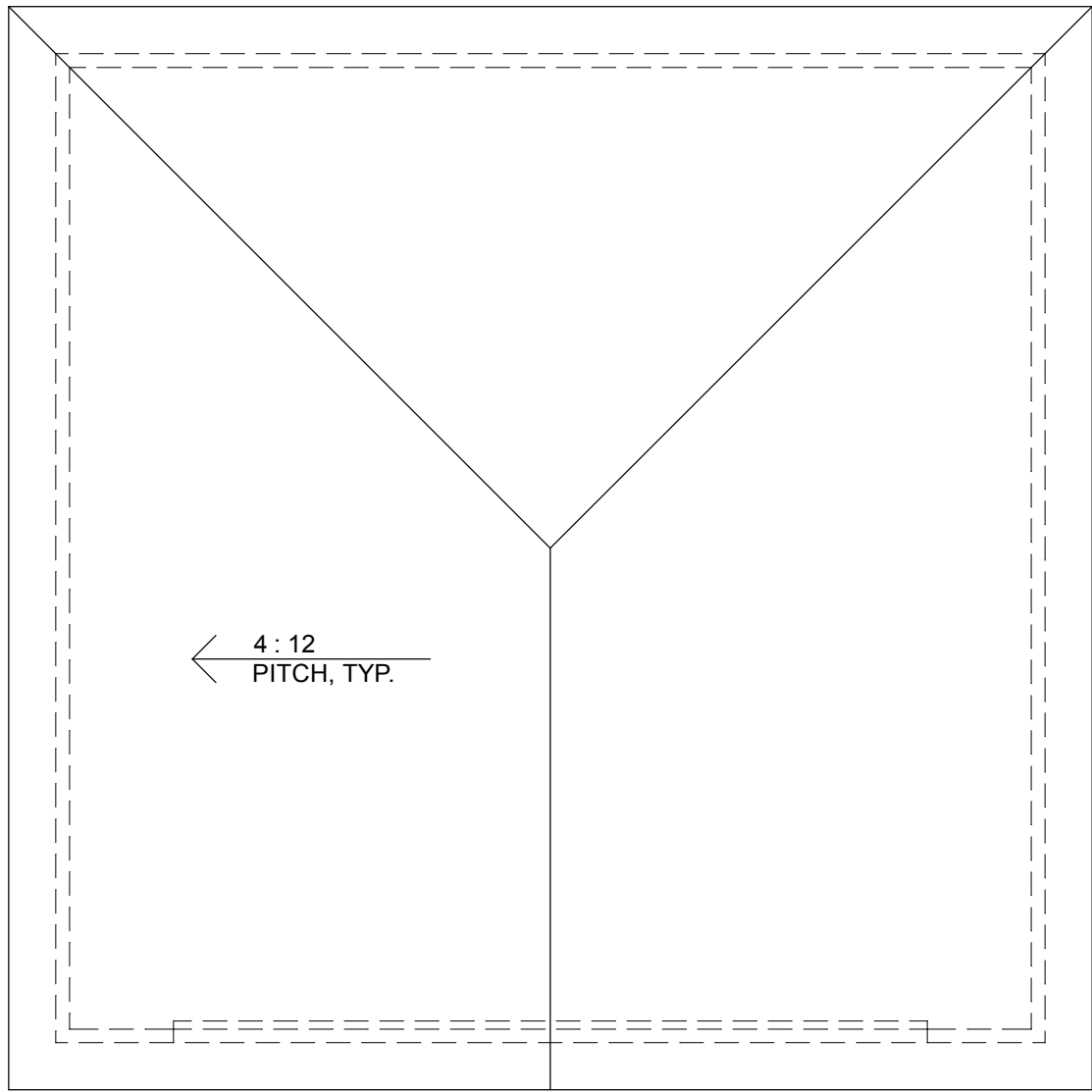
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890

A - 6



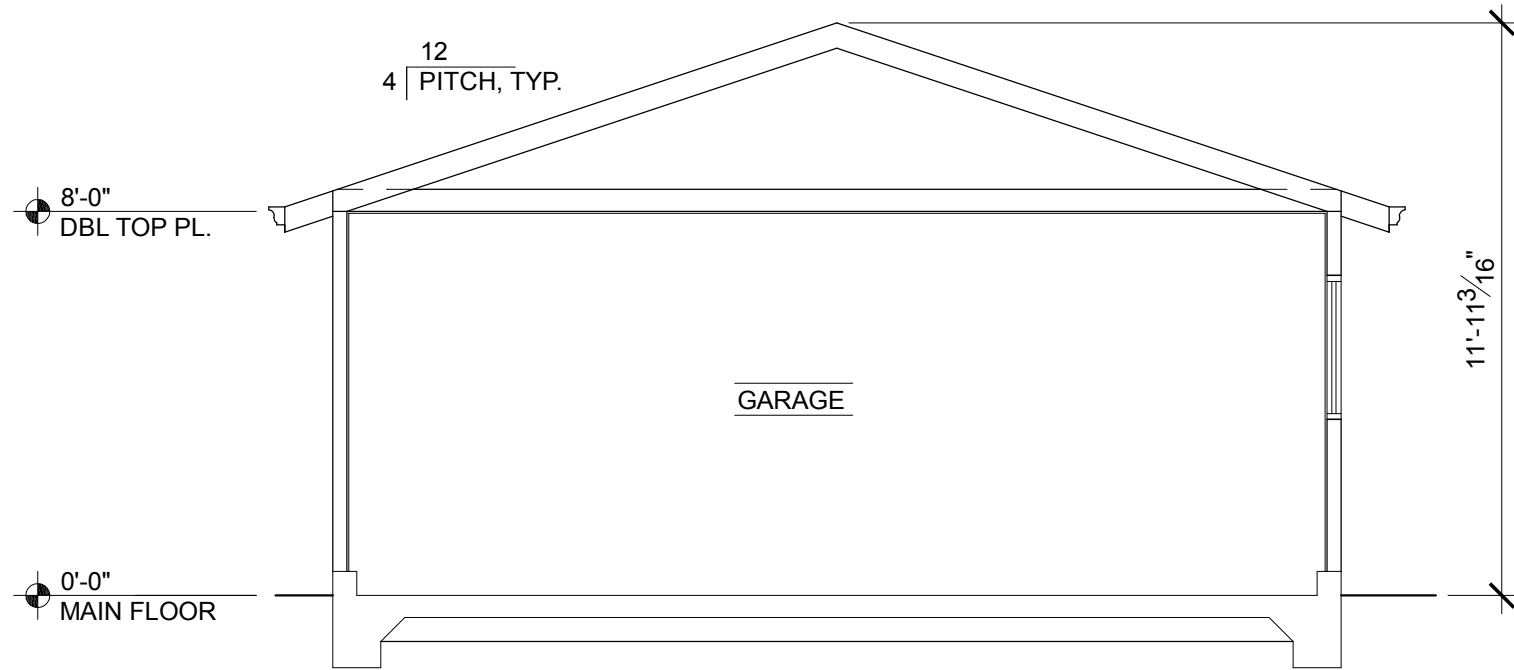
GARAGE FLOOR PLAN

1/4" = 1'-0"



GARAGE ROOF PLAN

1/4" = 1'-0"



SECTION "A-A"

1/4" = 1'-0"

GENERAL NOTES

- I EGRESS** ALL BEDROOMS TO HAVE WINDOWS MEETING EGRESS REQUIREMENTS PER SEC. 310 & 311 CRC 2013
- MIN. NET CLEAR OPENABLE AREA 5.7 S.F.
 - MIN. NET CLEAR OPENABLE WIDTH = 20"
 - MIN. NET CLEAR OPENABLE HEIGHT = 24"
- II GARAGE COMMON WALL** GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER CRC SEC. R302.5&6. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID / HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/4" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- III STAIRWAYS** DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2013. USEABLE SPACE UNDER STAIR TO BE 1 HR. RATED CONSTRUCTION. 6'-8" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE AND FINISH PER OWNER SPECIFICATIONS.
- IV GUARDRAILS** DESIGN SHALL CONFORM TO SEC. R312.2 CRC 2013. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 34"-38" HIGH
- V STAIR & HANDRAILS** DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.8.3 CRC 2013. STYLE AND FINISH PER OWNER SPECIFICATIONS
- VI FIREPLACE** DESIGN SHALL CONFORM TO CH. 10 CRC 2013, WITH NON-COMBUSTIBLE FACE & HEARTH. SEE SEC. R1001.9 CRC 2013 FOR FURTHER INFORMATION REGARDING THE HEARTH. SEE INTERIOR ELEVATIONS FOR SPECIFICATIONS
- VII TEMPERED GLASS** PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013
- VIII FIRE BLOCKS** PROVIDE FIRE BLOCKING IN ALL AREAS AS DESCRIBED, OUTLINED & DEFINED IN SEC. R302.11, R302.8 & R1001.12 CRC 2013
- IX WATER CLOSETS** PROVIDE 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET BOWL AND 30" MIN. CLEAR WIDTH FOR WATER CLOSET SPACE (SEC. 407.6 2013 CPC)
- X SHOWERS** ALL SHOWERS SHALL CONFORM TO SECTION R307 2013 CRC
- XI WATER CONSERVING FIXTURES** ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2013 CPC) SHALL CONFORM TO SEC. 402, 2013 CPC

ROOM FINISH SCHEDULE

SEE ARCHITECTURAL SPECIFICATIONS SHEET FOR ABBREVIATIONS

ROOM NAME	FLOOR	BASEBOARD	WALLS	CEILING	RE-MARKS

LEGEND

- #** WINDOW. SEE "WINDOW SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- #** DOOR. SEE "DOOR SCHEDULE" ON SHEET () FOR FURTHER SPECIFICATIONS
- ||** EXISTING WALLS TO REMAIN
- ||** NEW WALLS
- (E)** EXISTING
- (N)** NEW
- R** RELOCATED

REVISIONS

- - CITY PLAN CHECK

* NOTE

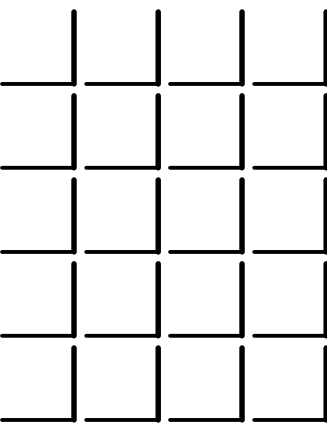
7-10-14	SUBMITTED FOR DESIGN REVIEW

CLIENT(JOB NO. 21409)

MILLER RESIDENCE

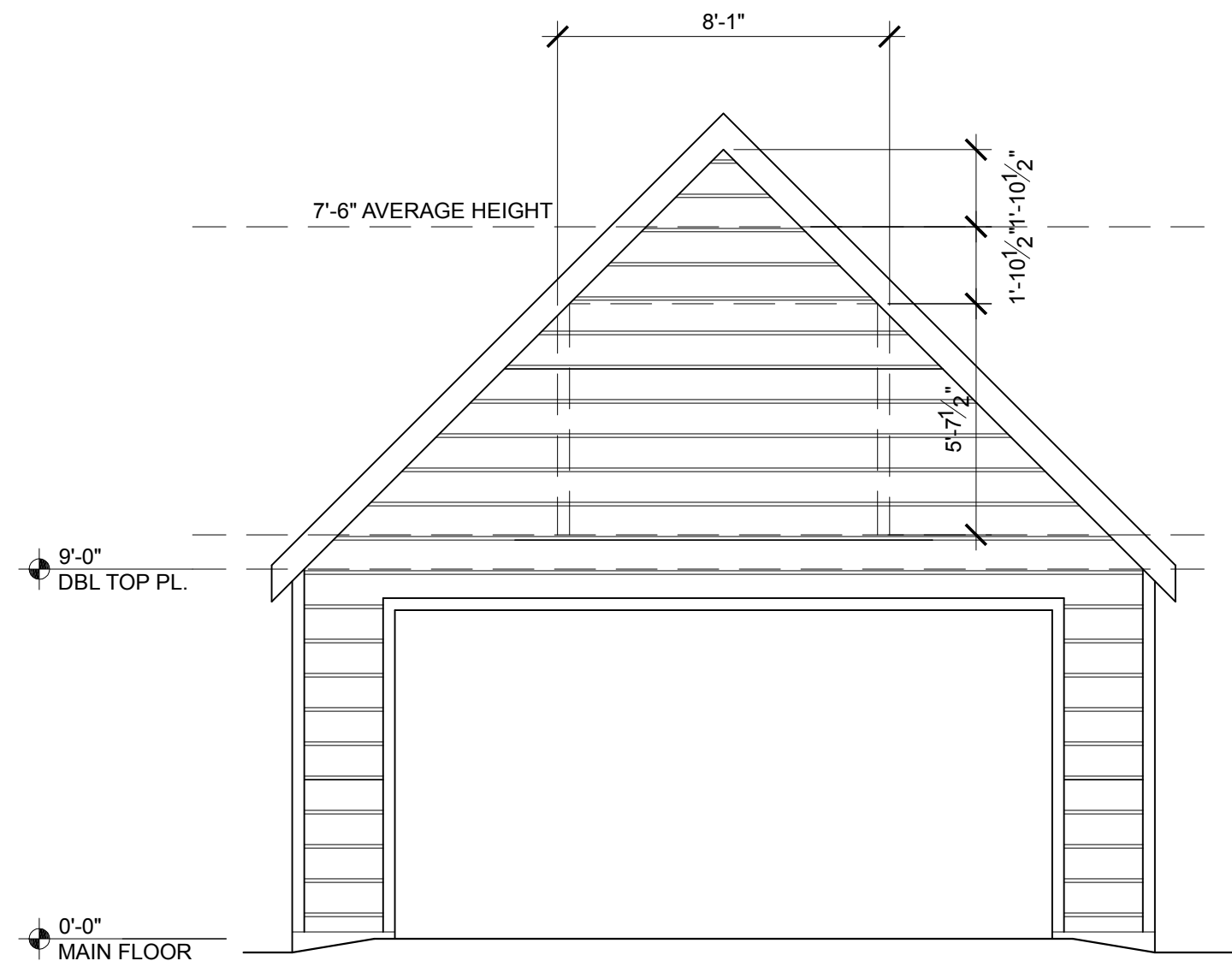
439 RINCONADA CT, LOS ALTOS, CA 94022
PHONE NO. (408) 679-2314

CHAPMAN
DESIGN
ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890



SHEET

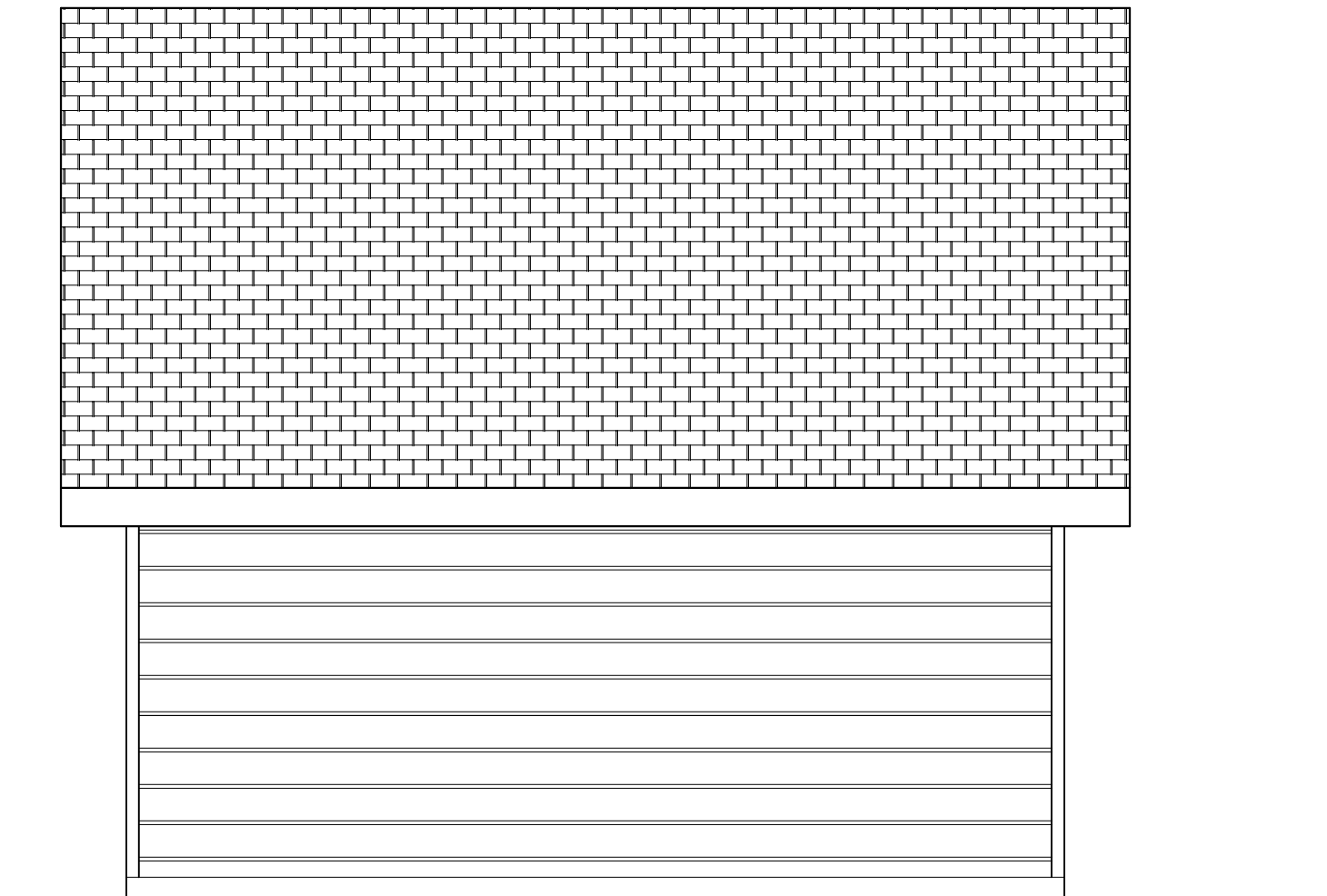
A - 7



FRONT ELEVATION

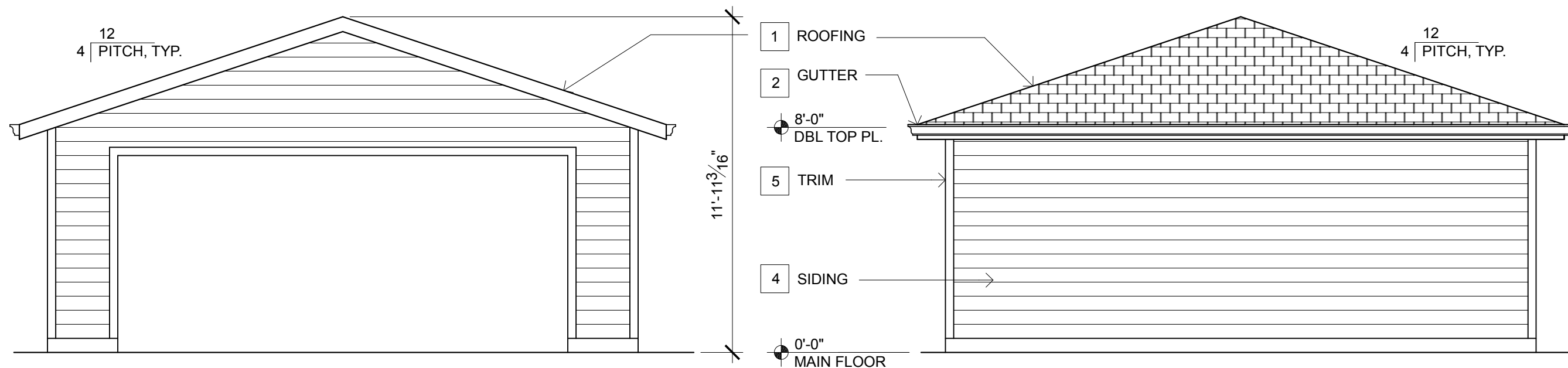
1/4" = 1'-0"

(E) GARAGE - TO BE REMOVED



RIGHT ELEVATION

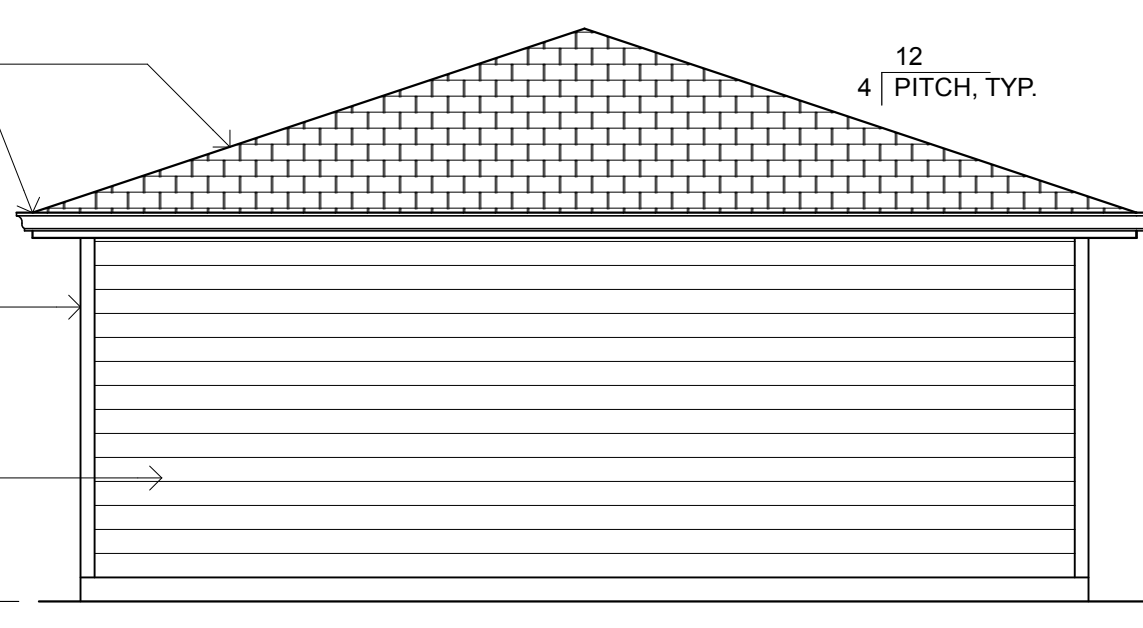
1/4" = 1'-0"



FRONT ELEVATION

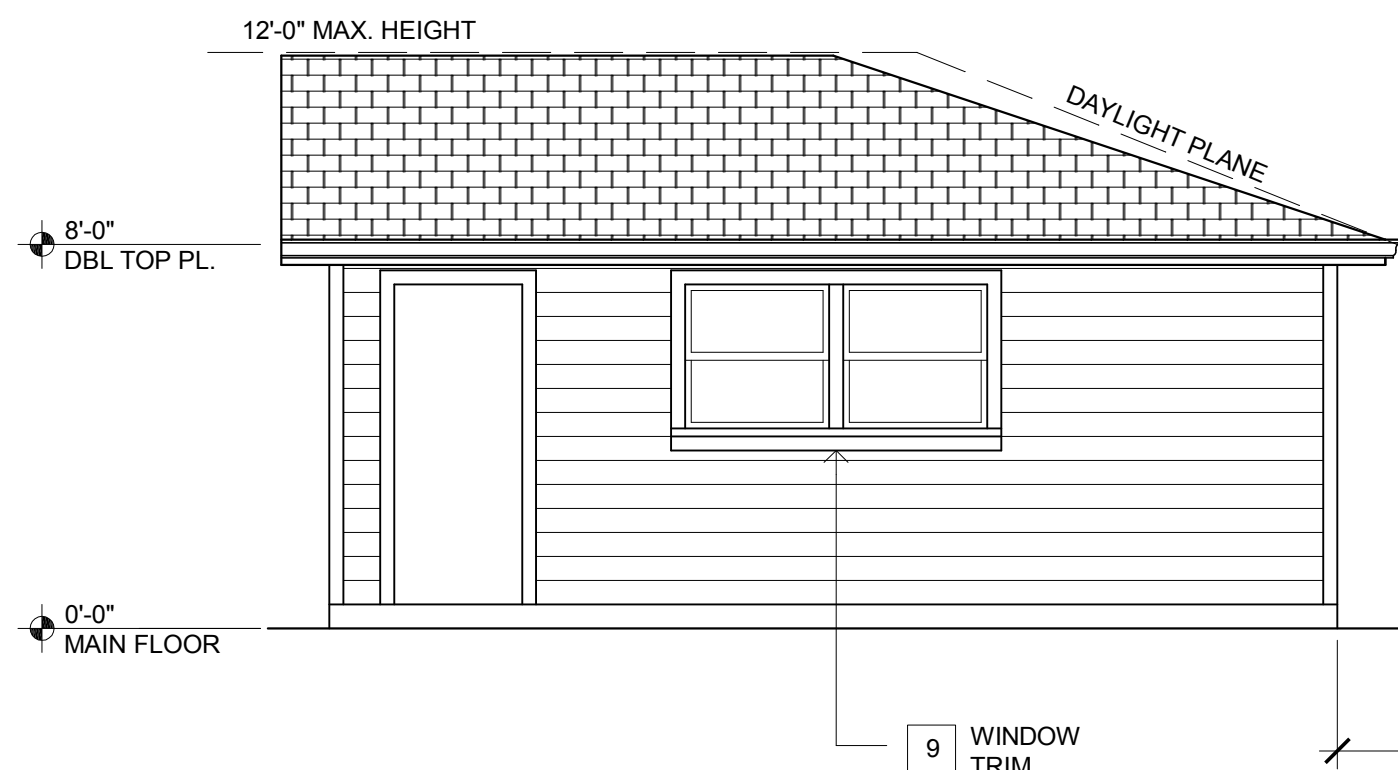
1/4" = 1'-0"

NEW GARAGE



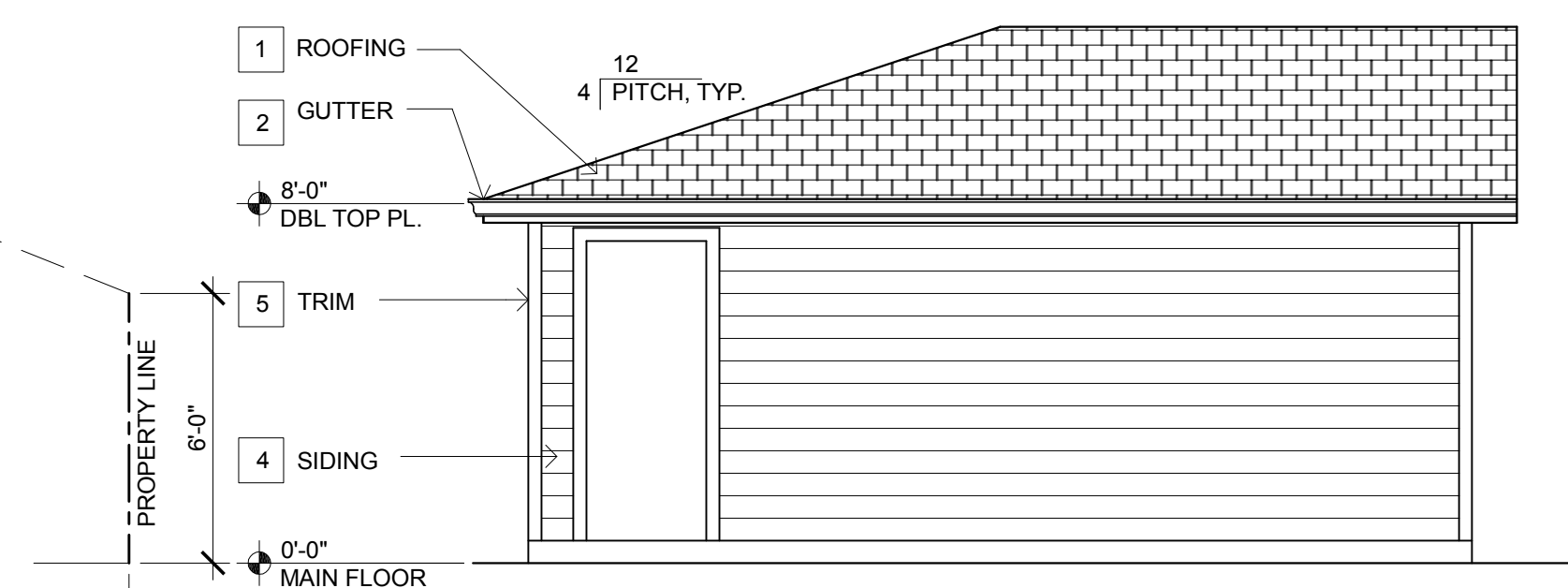
REAR ELEVATION

1/4" = 1'-0"



RIGHT ELEVATION

1/4" = 1'-0"



LEFT ELEVATION

1/4" = 1'-0"

GENERAL NOTES

- I STUCCO** REQUIREMENTS: 1) 3-COAT & 7/8" MIN. THICK 2) HAS 2 LAYERS OF GRADE D BUILDING PAPER 3) 26 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.11, 2510.6 & 2512.1.2 CBC 2013 AS PER SECTION R1003.18 CRC 2013, 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 10'-0" AWAY
- II FLUE CLEARANCE** AS PER CH. 10 CRC 2013
- III CHIMNEY BRACING** PROVIDE AS PER SEC. R1003.4.1 CRC 2013
- IV SPARK ARRESTOR** PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2013
- IV TEMPERED GLASS**

EXTERIOR MATERIAL NOTES

- 1 ROOFING** COMPOSITION SHINGLE
- 2 GUTTER** OGEE
- 3 DOWN SPOUTS** ROUND
- 4 SIDING** 2X6 WOOD SIDING
- 5 TRIM** 2X6 WOOD TRIM
- 6 STUCCO** N/A
- 7 VENEER** N/A
- 8 WINDOWS** DOUBLE HUNG WOOD WINDOWS
- 9 WINDOW TRIM** 2X4 TOP AND SIDES 2X3 SILL AND 2X4 APRON

NOTE

7-10-14	SUBMITTED FOR DESIGN REVIEW

CLIENT(JOB NO. 21409)

MILLER RESIDENCE

439 RINCONADA CT., LOS ALTOS, CA 94022
PHONE NO. (408) 679-2814

CHAPMAN
DESIGN
ASSOCIATES
620 S. EL MONTE AVENUE
LOS ALTOS, CA 94022 (650) 941-6890

SHEET

A - 8

REVISIONS

- - CITY PLAN CHECK