ABBREVIATIONS

@	AT	F.O.F.	FACE OF FINISH	PRELIM.	PRELIMINARY
+	APPROXIMATE	F.O.M.	FACE OF MASONRY	PTD.	PAINTED
-					
£	CENTERLINE	F.O.S.	FACE OF STUDS	P.T.R.	PAPER TOWEL RECEPTACLE
⊅	DIAMETER OR ROUND	FP. RF.	FIRE PROOFING	PWR.	POWER
A /=					
4./E.	ARCHITECT / ENGINEER	FTG.	FOOTING		
A.B.	ANCHOR BOLT	FURN.	FURNITURE	QTY.	QUANTITY
A./C.	AIR CONDITIONING			QUAL.	QUALITY
			a 111a=	CO/ L.	QO/ LITT
ACOUS.	AC <i>O</i> USTICAL	GA.	GAUGE		
ADJ.	ADJUSTABLE	GALV.	GALVANIZED	R.	RISER
A.F.F.	ABOVE FINISHED FLOOR	GL.	GLASS	R.A.	RETURN AIR
					. –
ALUM.	ALUMINUM	GLU. LAM.	GLUE LAMINATED	RAD.	RADIUS
ALT.	ALTERNATE	GLZ.	GLAZING	RBR.	RUBBER
ANOD.	ANODIZED	G.S.M.	GALVANIZED SHEET METAL	R.C.	REINFORCED CONCRETE
ARCH.	ARCHITECT (URAL)	GYP. BD.	GYPSUM BOARD	R.D.	ROOF DRAIN
A. V.	AUDIO VISUAL			REC.	RECESSED
¬. v .	AUDIO VISUAL				
		H.C.	HOLLOW CORE	RECPT.	RECEPTACLE
3D.	BOARD	HOR.	HEADER	REDWD.	REDWOOD
BLDG.	BUILDING	HDMD.	HARDWOOD	REF.	REFERENCE
BLDG. STD.	BUILDING STANDARD	HDWE.	HARDWARE	REINF.	REINFORCED (D) (ING) (MENT)
BLK.	BLOCK	HGR.	HANGER	RESIL.	RESILIENT
BLKG.	BLOCKING	H.M.	HOLLOW METAL	RM.	ROOM
3.T.U.	BRITISH THERMAL UNIT	H.O.	HOLD-OPEN	RND.	ROUND
J. 1 . J.	21411311 11121411112				
		HORIZ.	HORIZONTAL	R.O.	ROUGH OPENING
SAB.	CABINET	HP.	HORSEPOWER	R.W.L.	RAIN WATER LEADER
CEM.	CEMENT	HR.	HOUR		
CEM. PLAS.	CEMENT PLASTER	HT.	HEIGHT	S.D.	STORM DRAIN
CER.	CERAMIC	H.M.	HOT WATER	SECT.	SECTION
		11.7 1.	HOT MATER		
SER. TILE.	CERAMIC TILE			SHT.	SHEET (ING)
S.J.	CONSTRUCTION JOINT	I.D.	INSIDE DIAMETER	SHTHG.	SHEATHING
S.L.	CENTER LINE	INCAND.	INCANDESCENT	SIM.	SIMULAR
SLG.	CEILING	INSUL.	INSULATION	S.M.	SHEET METAL
			11.0027 111011		
CLG. HT.	CEILING HEIGHT			SK.	SINK
CLR.	CLEAR	JAN.	JANITOR	SPEC.	SPECIFICATION
C.M.U.	CONCRETE MASONRY UNIT	J.B.	JUNCTION BOX	SPKLR.	SPRINKLER
C.O.	CLEANOUT			SQ.	SQUARE
		1.454	A N 41N A TE		
COL.	COLUMN	LAM.	LAMINATE	SQ.FT.	SQUARE FOOT
CONC.	CONCRETE	LAV.	LAVAT <i>or</i> y	SQ.IN.	SQUARE INCH
CONF.	CONFERENCE	LB.	POUND	SQ.YD.	SQUARE YARD
SONSTR.	CONSTRUCTION	LIB.	LIBRARY	S.S.D.	SEE STRUCTURAL DRAWINGS
SONT.	CONTINUOUS (ATION)	LIN.	LINEN	S.ST.	STAINLESS STEEL
CONTR.	CONTRACT (OR)	LOC.	LOCATION	STD.	STANDARD
COORD.	COORDINATE	LTG.	LIGHTING	STL.	STEEL
		- 10.			
CORR.	CORRIDOR			STOR.	STORAGE
SSK.	COUNTERSUNK	MAN.	MANUAL	STRUCT.	STRUCTURAL
CM.	COLD WATER	MATL.	MATERIAL	SURF.	SURFACE
		MAX.	MAXIMUM	SUSP.	SUSPENDED
-	DOUBLE				SYSTEM
OBL.	DOUBLE	M.D.F.	MEDIUM DENSITY FIBERBOAR	レラ15.	SISIEM
OBL. GLZ.	DOUBLE GLAZING	MET.	METAL		
DED. CIR.	DEDICATED CIRCUIT	MEZZ.	MEZZANINE	Т.	THERMOSTAT
DEMO.	DEMOLITION	MFG.	MANUFACTURING	T.\$6.	TOUNGE AND GROOVE
DET.	DETAIL	MFR.	MANUFACTURER	TEL.	TELEPHONE
D.F.	DRINKING FOUNTAIN	MIN.	MINIMUM	TEMP.	TEMPERATURE
OIM.	DIMENSION	MISC.	MISCELLANEOUS		12: 11 2: 3 110: 12
				THK	
ON.		SAL IAII/		THK.	THICKNESS
	DOWN	MLWK.	MILLWORK	THK. TK. BD.	
2 5.			MILLWORK	TK. BD.	THICKNESS TACK BOARD
75. 7a	DOWNSPOUT	MTD.	MILLWORK MOUNTED	TK. BD. TMPD. GL.	THICKNESS TACK BOARD TEMPERED GLASS
75. 7M.		MTD. MTG.	MILLWORK MOUNTED MOUNTING	TK. BD.	THICKNESS TACK BOARD
	DOWNSPOUT	MTD.	MILLWORK MOUNTED	TK. BD. TMPD. GL.	THICKNESS TACK BOARD TEMPERED GLASS
DM. DMG.	DOWNSPOUT DISHWASHER DRAWING	MTD. MTG. MTL.	MILLWORK MOUNTED MOUNTING METAL	TK. BD. TMPD. GL. TYP.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL
DM. DMG.	DOWNSPOUT DISHWASHER	MTD. MTG.	MILLWORK MOUNTED MOUNTING	TK. BD. TMPD. GL. TYP. U.O.N.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED
DM. DMG. DMR.	DOWNSPOUT DISHWASHER DRAWING	MTD. MTG. MTL.	MILLWORK MOUNTED MOUNTING METAL	TK. BD. TMPD. GL. TYP.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL
DM. DMG. DMR.	DOWNSPOUT DISHWASHER DRAWING DRAWER	MTD. MTG. MTL. MULL.	MILLWORK MOUNTED MOUNTING METAL MULLION	TK. BD. TMPD. GL. TYP. U.O.N. UR.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL
DM. DMG. DMR. (E)	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING	MTD. MTG. MTL. MULL. N.A.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE	TK. BD. TMPD. GL. TYP. U.O.N.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED
DM. DMG. DMR. (E) EA.	DOMNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH	MTD. MTG. MTL. MULL. N.A. N.I.C.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT	TK. BD. TMPD. GL. TYP. U.O.N. UR.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY
DM. DMG. DMR. (E) EA.	DOMNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH	MTD. MTG. MTL. MULL. N.A. N.I.C.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY
DM. DMG. DMR. (E) EA. EL.	DOMNSPOUT DISHMASHER DRAMING DRAMER EXISTING EACH ELEVATION	MTD. MTG. MTL. MULL. N.A.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE
DM. DMG. DMR. É) EA. EL. ELEC.	DOMNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH	MTD. MTG. MTL. MULL. N.A. N.I.C.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY
DM. DMG. DMR. É) EA. EL. ELEC.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VERT.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL
DM. DMG. DMR. (E) EA. EL. ELEC. ELEV.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VERT. VEST.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE
DM. DMG. DMR. (E) EA. ELC. ELEC. ENCL.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S. O.C. O.D.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VERT. VEST. V.I.F.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD
DM. DMG. DMR. (E) EA. EL. ELEC. ELEV.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VERT. VEST.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE
DM. DMG. DMR. (E) EA. ELEC. ELEC. ENCL. EQ.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S. O.C. O.D. OFF.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VERT. VEST. V.I.F. VIN.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL
DM. DMG. DMR. (E) EA. ELEC. ELEV. ENCL. EQ.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S. O.O. OFF. OPP.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VERT. VEST. V.I.F. VIN. VNR.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER
DM. DMG. DMR. (E) EA. ELEC. ELEC. ENCL. EQ.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S. O.C. O.D. OFF.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VERT. VEST. V.I.F. VIN.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL
DM. DMG. DMR. (E) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S. O.O. OFF. OPP.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VERT. VEST. V.I.F. VIN. VNR.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER
DM. DMG. DMR. (E) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV. EST.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUIPMENT EQUIVALENT ESTIMATE	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S. O.D. OFF. OPP. OPT.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE OPTIONAL	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VEST. VIN. VNR. VOL.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER VOLUME
DM. DMG. DMR. (E) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV. EST.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S. O.O. OFF. OPP.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VERT. VEST. V.I.F. VIN. VNR.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER
DW. DWG. DWR. (E) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV. EST. EXIST.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT ESTIMATE EXISTING	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S. O.D. OFF. OPP. OPT. P.A.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE OPTIONAL PUBLIC ADDRESS	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VEST. VI.F. VIN. VNR. VOL. M.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER VOLUME WASHER
DW. DWG. DWR. (E) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV. EST. EXP.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT ESTIMATE EXISTING EXPANSION	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S. O.D. OFF. OPP. OPT. P.A. PERP.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE OPTIONAL PUBLIC ADDRESS PERPENDICULAR	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VEST. VI.F. VIN. VNR. VOL. W. W./	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER VOLUME WASHER WITH
DW. DWG. DWR. (E) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV. EST. EXP.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT ESTIMATE EXISTING	MTD. MTG. MTL. MULL. N.A. N.I.C. N.T.S. O.D. OFF. OPP. OPT. P.A.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE OPTIONAL PUBLIC ADDRESS	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VEST. VI.F. VIN. VNR. VOL. M.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER VOLUME WASHER
DW. DWG. DWR. (E) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV. EST. EXP.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT ESTIMATE EXISTING EXPANSION	MTD. MTG. MTL. MULL. N.A. N.T.S. O.D. OFF. OPT. P.A. PER P.L.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE OPTIONAL PUBLIC ADDRESS PERPENDICULAR PROPERTY LINE	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VEST. VIST. VIN. VNR. VOL. M. M./ M./O.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER VOLUME WASHER WITH WITHOUT
DW. DWG. DWR. É) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV. EST. EXP. EXT.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT ESTIMATE EXISTING EXPANSION EXTERIOR	MTD. MTG. MTL. MULL. N.A. N.T.S. O.D. OFP. OPT. P.A. P.L. PLAM.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE OPTIONAL PUBLIC ADDRESS PERPENDICULAR PROPERTY LINE PLASTIC LAMINATE	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VEST. VIST. VIN. VNR. VOL. M. M./ M./O. M.C.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER VOLUME MASHER WITH WITHOUT WATER CLOSET
DW. DWG. DWR. É) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV. EST. EXP. EXT.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT ESTIMATE EXISTING EXPANSION	MTD. MTG. MTL. MULL. N.A. N.T.S. O.D. OFF. OPT. P.A. PER P.L.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE OPTIONAL PUBLIC ADDRESS PERPENDICULAR PROPERTY LINE	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VEST. VIST. VIN. VNR. VOL. M. M./ M./O.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER VOLUME WASHER WITH WITHOUT
DW. DWG. DWG. DWR. (E) EA. ELEC. ELEV. ENCL. EQ. EQUIV. EST. EXP. EXT.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT ESTIMATE EXISTING EXPANSION EXTERIOR FLOOR DRAIN	MTD. MTG. MTL. MULL. N.A. N.T.S. O.D. PPT. P.A. PLA PLB PLB	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE OPTIONAL PUBLIC ADDRESS PERPENDICULAR PROPERTY LINE PLASTIC LAMINATE PLUMBING	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VEST. VI.F. VIN. VNR. VOL. M. M./ M./O. M.C. MD.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER VOLUME WASHER WITH WITHOUT WATER CLOSET WOOD
DW. DWG. DWG. DWR. (E) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV. EST. EXP. EXT. EDN.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT ESTIMATE EXISTING EXPANSION EXTERIOR FLOOR DRAIN FOUNDATION	MTD. MTG. MTLL. N.A. C. S. O.D. FF. O.D. FF. P.A. R. P.L. A. G. P. A. G.	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE OPTIONAL PUBLIC ADDRESS PERPENDICULAR PROPERTY LINE PLASTIC LAMINATE PLUMBING PLYWOOD	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VERT. VEST. VI.F. VIN. VNR. VOL. M. M./ M./O. M.C. MD. MIN.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER VOLUME WASHER WITH WITHOUT WATER CLOSET WOOD WINDOW
DW. DWG. DWG. DWR. (E) EA. ELEC. ELEV. ENCL. EQUIP. EQUIV. EST. EXP. EXT. EDN.	DOWNSPOUT DISHWASHER DRAWING DRAWER EXISTING EACH ELEVATION ELECTRICAL ELEVATOR ENCLOSURE EQUAL EQUIPMENT EQUIVALENT ESTIMATE EXISTING EXPANSION EXTERIOR FLOOR DRAIN	MTD. MTG. MTL. MULL. N.A. N.T.S. O.D. PPT. P.A. PLA PLB PLB	MILLWORK MOUNTED MOUNTING METAL MULLION NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE ON CENTER OUTSIDE DIMENSION OFFICE OPPOSITE OPTIONAL PUBLIC ADDRESS PERPENDICULAR PROPERTY LINE PLASTIC LAMINATE PLUMBING	TK. BD. TMPD. GL. TYP. U.O.N. UR. UTIL. V.C.T. VEST. VI.F. VIN. VNR. VOL. M. M./ M./O. M.C. MD.	THICKNESS TACK BOARD TEMPERED GLASS TYPICAL UNLESS OTHERWISE NOTED URINAL UTILITY VINYL COMPOSITION TILE VERTICAL VESTIBULE VERIFY IN FIELD VINYL VENEER VOLUME WASHER WITH WITHOUT WATER CLOSET WOOD
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<u> </u>	ROJECT SUMN	MARY TABLE	
NET LOT AREA	0 S.F.		
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE AREA			
(HOUSE AND COTTAGE)	3917.42 S.F.	0	3,917.42 S.F.
DETACHED GARAGE	921.5 S.F. ±	-391.9 S.F.	529.6 S.F.
	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE	-	-	- S.F. (3850+10%(LOT AREA-11,000)
(including structures over 6' high)			
FRONT YARD COVERAGE	413/2493.2 = 17%	413/2493.2 = 17%	50.0% = 1246.6 S.F.
FLOOR AREA	4838.92 S.F.	4,447.03 S.F.	O S.F. (30%)
MAIN HOUSE SETBACKS (NO	CHANGE)		
FRONT (IST/2ND)	52'-9"/53'-3"±	52'-9"/53'-3"±	25'-0"
REAR (IST/2ND)	63'-2' /2"/ 63'-2' /2"±	63'-2' /2"/ 63'-2' /2"±	25'-0"
RIGHT SIDE (IST/2ND)	19'-8"/21'-3"±	19'-8"/21'-3"±	10'-0" / 17'-6"
LEFT SIDE (IST/2ND)	2 '-5"/25'-5"±	2l'-5"/25'-5"±	10'-0" / 17'-6"
HEIGHT (NO CHANGE)	27'-8"±	27'-8"±	27'-0"

GENERAL NOTES

I. ALL CONSTRUCTION WORK SHALL CONFORM ALL LOCAL AND STATE

2. UNLESS OTHERWISE AGREED, THE A.I.A. DOCUMENT #A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", CURRENT EDITION IS HEREIN INCORPORATED IN THE CONSTRUCTION DOCUMENTS.

3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE PROJECT SCHEDULE. THE CONTRACTOR SHALL, PRIOR TO STARTING THE PROJECT, VERIFY ALL LONG LEAD TIME ITEMS AND ESTABLISH A SCHEDULE FOR EACH SUBCONTRACTOR'S WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE PROGRESS OF THE WORK AND INFORMING THE OWNER IMMEDIATELY OF ANY POTENTIAL DELAYS.

4. ALL CONSTRUCTION DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL. ANY MORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT. THE GENERAL CONTRACTOR IN ASSUMING RESPONSIBILITIES FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AS WELL AS THE LETTER IN WHICH THEY WERE WRITTEN.

5. ALL WORK LISTED, SHOWN, OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE. THE USE OF THE WORD "PROVIDED" IN CONNECTION WITH ANY ITEM SPECIFIED IS INTENDED TO MEAN THAT SUCH SHALL BE FURNISHED, INSTALLED, AND CONNECTED, WHERE SO REQUIRED, EXCEPT AS NOTED OTHERWISE.

6. ALL WORK LISTED, SHOWN, OR IMPLIED ON THESE PLANS, ALL ADDENDA, CHANGE ORDERS, FIELD ORDERS AND SHOP DRAWINGS SHALL BE A PART OF THE CONTRACTORS AGREEMENT. ANY SUBSTITUTIONS PROPOSED BY THE CONTRACTOR FOR THE MATERIALS AND METHODS ILLUSTRATED IN THESE PLANS SHALL BE APPROVED BY THE PROJECT ARCHITECT AND THE BUILDING DEPARTMENT PRIOR TO THE INSTALLATION OF SUCH MATERIALS OR THE PERFORMANCE OF SUCH WORK.

7. DISCREPANCIES BETWEEN DRAWINGS AND/OR SPECIFICATIONS SHALL BE REFERRED TO THE PROJECT ARCHITECT FOR CLARIFICATION BEFORE STARTING THE AFFECTED WORK.

8. THE CONTRACTOR SHALL OBTAIN SUCH INSURANCE COVERAGE AS IS REQUIRED BY THE OWNERS AND REGULATORY AUTHORITIES. THE COST OF SAID INSURANCE SHALL BE INCLUDED IN HIS/HER BID.

9. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS, AS REQUIRED.

IO. EXAMINATION OF THE SITE AND PORTIONS THEREOF, WHICH WILL AFFECT THIS WORK, SHALL BE MADE IMMEDIATELY BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF/HERSELF AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. HE/SHE SHALL, AT SUCH TIME, ASCERTAIN AND CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT WHICH MAY AFFECT HIS/HER WORK.

II. THE CONTRACTOR, OR SUBCONTRACTORS, SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES AND LICENSES REQUIRED FOR PROPER COMPLETION OF THE WORK. THE CONTRACTOR SHALL REQUEST ALL INSPECTIONS REQUIRED BY LOCAL GOVERNMENTAL AGENCIES AND COORDINATE HIS WORK ACCORDINGLY.

12. ELECTRICAL, PLUMBING, AND H.V.A.C. ENGINEERING SHALL BE DESIGN/BUILD AND SELECTED BY THE GENERAL CONTRACTOR. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH FLECTRICAL PLUMBING, AND H.V.A.C. DRAWINGS, AND REPORT TO THE ARCHITECT OR OWNER ANY DISCREPANCIES FOR CORRECTION OR ADJUSTMENT. NO ALLOWANCE WILL BE MADE FOR INCREASED COST INCURRED DUE TO LACK OF PROPER COORDINATION.

13. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AND EXISTING AREAS IN OR OUTSIDE THE JOB SITE. THE CONTRACTOR SHALL LEAVE PREMISES AND ALL AFFECTED AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR MOVE IN. ANY DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES, AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE GENERAL CONTRACTOR.

14. MATERIALS ARE SPECIFIED BY THEIR BRAND NAMES TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW FOR EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THEIR WRITTEN APPROVAL.

15. GENERAL CONTRACTOR SHALL REVIEW AND SUBMIT FINISH SAMPLES, CUT SHEETS AND SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE SAMPLES OF ALL FINISHES, INCLUDING BUT NOT LIMITED TO, PAINTS, STAINS, BASE, FLOOR COVERINGS, LAMINATES, MILLWORK FINISHES, ETC.

16. ALL HORIZONTAL DIMENSIONS ON CONSTRUCTION DRAWINGS ARE FROM FACE OF STUD, OR FACE OF CONCRETE, UNLESS NOTED OTHERWISE. VERTICAL DIMENSIONS ARE FROM FINISH FLOOR LEVELS OR TOPS OF PLATES, AS NOTED. VERIFY ALL DIMENSIONS SHOWN ON DRAWINGS BY TAKING MEASUREMENTS. PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. BEFORE COMMENCING WORK, CHECK ALL LINES AND LEVELS INDICATED. SHOULD THERE BE ANY DISCREPANCIES IMMEDIATELY REPORT TO THE ARCHITECT FOR CORRECTION OR ADJUSTMENT. IN THE EVENT OF FAILURE TO DO SO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS.

17. THESE DRAWINGS AND RELATED COMPUTER FILES AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND REMAIN THE PROPERTY OF BEAUSOLEIL ARCHITECTS. NO REVISIONS, REPRODUCTIONS OR USE OF THESE DOCUMENTS IN ANY WAY SHALL BE MADE WITHOUT THE CONSENT OF BEAUSOLEIL ARCHITECTS. COPYRIGHT (2012) BY BEAUSOLEIL ARCHITECTS, SAN FRANCISCO, CALIFORNIA.

18. ALL EARTHWORK, FOUNDATION, AND SITE DRAINAGE, INCLUDING RESIDENCE AND DECK FOOTING EXCAVATIONS, SUBSURFACE DRAINAGE TRENCH EXCAVATIONS AND BACKFILL, PREPARATION OF SUBGRADE SOILS AND ENGINEERED GRANULAR FILL BENEATH EXTERIOR SLABS, AND FINAL SURFACE DRAINAGE CONTROLS SHOULD BE COMPLETED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC. DATED MAY 24, 2011 MURRAY ENGINEERS, INC. SHOULD BE PROVIDE AT LEAST 48 HOURS ADVANCE NOTIFICATION (650.559.9980) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

19. PROVIDE TEMPORARY PROTECTION FENCING AROUND TREES AS INDICATED. MAINTAIN FENCE DURING CONSTRUCTION ACTIVITIES, EXCEPT AS NEEDED DURING FINAL GRADING AND LANDSCAPING. KEEP CONSTRUCTION MATERIAL AND EQUIPMENT OUT OF FENCED PROTECTION

CAL-GREEN REQUIREMENTS

I. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A STORM WATER DRAINAGE MANAGEMENT PLAN AND SUBMIT FOR BUILDING DEPARTMENT REVIEW BEFORE STARTING CONSTRUCTION.

2. SLOPE FINISH GRADE A MINIMUM OF 1/4"PER FOOT AWAY FROM HOUSE FOR AT LEAST FOUR FEET AT ALL LOCATIONS.

3. INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE FOLLOWING METHODS: WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED, OR A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED POST CONSTRUCTION. WHEN USING THE CALCULATION METHOD MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.

4. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.

5. ANNULAR SPACES AROUND PIPED, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

6. A MINIMUM OF 60% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE.

7. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.

8. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EA PHASE II EMISSION LIMITS WHERE APPLICABLE. MOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

9.DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.

10. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC

II. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.

12. CONTRACTOR SHALL PROVIDE DOCUMENTATION TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

13. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.

14. 50% OF FLOOR AREA RECEIVING RESILIANT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.

15. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

16. VAPOR RETARDED AND CAPILLARY BREAK SHALL BE INSTALLED AT ANY INTERIOR SLAB ON GRADE FOUNDATIONS.

17. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL BE CHECKED BY CONTRACTOR BEFORE ENCLOSURE.

18. EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED

AT EACH BATHROOM.

19. WHOLE HOUSE EXHAUST FANSSHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2.

20. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS: A. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT. B. SIZE DUCT SYSTEMS ACCORDING TO ACCA 26-D (MANUAL D) OR

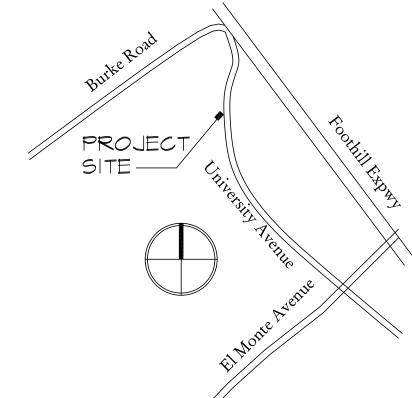
EQUIVALENT. C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S (MANUAL S) OR EQUIVALENT.

21. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

22. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.

23. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

LOCATION MAP



DRAWING INDEX

ARCHITECTURE

A0 COVER SHEET

A0.1 AREA CALCULATIONS

A0.2 TITLE 24 DOCUMENTS

A0.3 TITLE 24 DOCUMENTS

A2.1 FIRST FLOOR DEMOLITION PLAN A2.2 SECOND FLOOR DEMOLITION PLAN

A2.3 PROPOSED FIRST FLOOR PLAN

A2.4 PROPOSED SECOND FLOOR PLAN

A2.5 PROPOSED ROOF PLAN A2.6 GARAGE PLANS AND SECTIONS

A3.1 EXTERIOR ELEVATIONS

A3.2 EXTERIOR ELEVATIONS

A3.3 EXTERIOR ELEVATIONS

A3.4 EXTERIOR ELEVATIONS

A3.5 GARAGE ELEVATIONS

A4.1 BUILDING SECTIONS AND DETAILS

LANDSCAPE

LP-1 PRELIMINARY LANDSCAPE PLAN

LP-2 EXISTING AND NEW OVERLAY SITE PLAN

LP-3 PRELIMINARY ELEVATIONS

LP-4 CONCEPTUAL IMAGERY PLAN

SURVEY

TOPOGRAPHIC SURVEY

PROJECT TEAM

650.400.4427 DAVE HITZ 452 UNIVERSITY AVENUE LOS ALTOS, CA 94022 ARCHITECT ROBERT & CHRISTINE BOLES 415.587.2004

BEAUSOLEIL ARCHITECTS 745 FAXON AVENUE SAN FRANCISCO, CA 94112

LANDSCAPE ARCHITECT ROBERT MOWAT ROBERT MOWAT ASSOCIATES 2068 3RD STREET, SUITE 6

SAN FRANCISCO, CA 94107 <u>SURVEYOR</u> ROGER DODGE DODGE AND ASSOCIATES, SURVEYING 20652 CHAPARRAL CIRCLE

415.777.4656 415.777.0420

PENN VALLEY, CA 95946

530.432.5212

PROJECT DATA

BUILDING CODE:

OCCUPANCY GROUP: BUILDING TYPE:

LOT AREA:

ASSESSOR'S PARCEL NO .:

MAXIMUM F.A.R.: PROPOSED LOT COVERAGE:

MAXIMUM LOT COVERAGE:

EXISTING FLOOR AREA: HOUSE: COTTAGE:

NEW GARAGE: TOTAL PROPOSED FLOOR AREA: TOTAL PROPOSED FAR:

PROJECT DESCRIPTION:

GREEN CODES, 2010 ENERGY CODE SINGLE FAMILY RESIDENCE

2013 CALIFORNIA RESIDENTIAL CODE,

PLUMBING, ELECTRICAL, MECHANICAL, AND

RHI-10 175-13-054 27,059 S.F.

8177.7 S.F. (30%) 5455.9 S.F. (3850+ .10(LOT AREA -11,000))

SEE AREA PLANS 3148.19 S.F. AND TABULATION ON DRAWING AO.I 769.23 S.F. 529.61 S.F. FOR MORE DETAIL

4447.03 S.F. 16.3%

PROJECT CONSISTS OF NEW TWO CAR DETACHED GARAGE, REBUILDING OF EXISTING NON-HISTORIC PORCH AT REAR WITH PARTIAL ROOF DECK ABOVE, INTERIOR REMODEL OF KITCHEN, MUD ROOM, LAUNDRY AND BATHROOM, INCLUDING RELOCATON OF ONE (E) HISTORIC MINDOM.

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CLIENT REVIEW 6.12.14 HISTORICAL REVIEW 7.1.14 PLANNING REVIEW 7.21.14

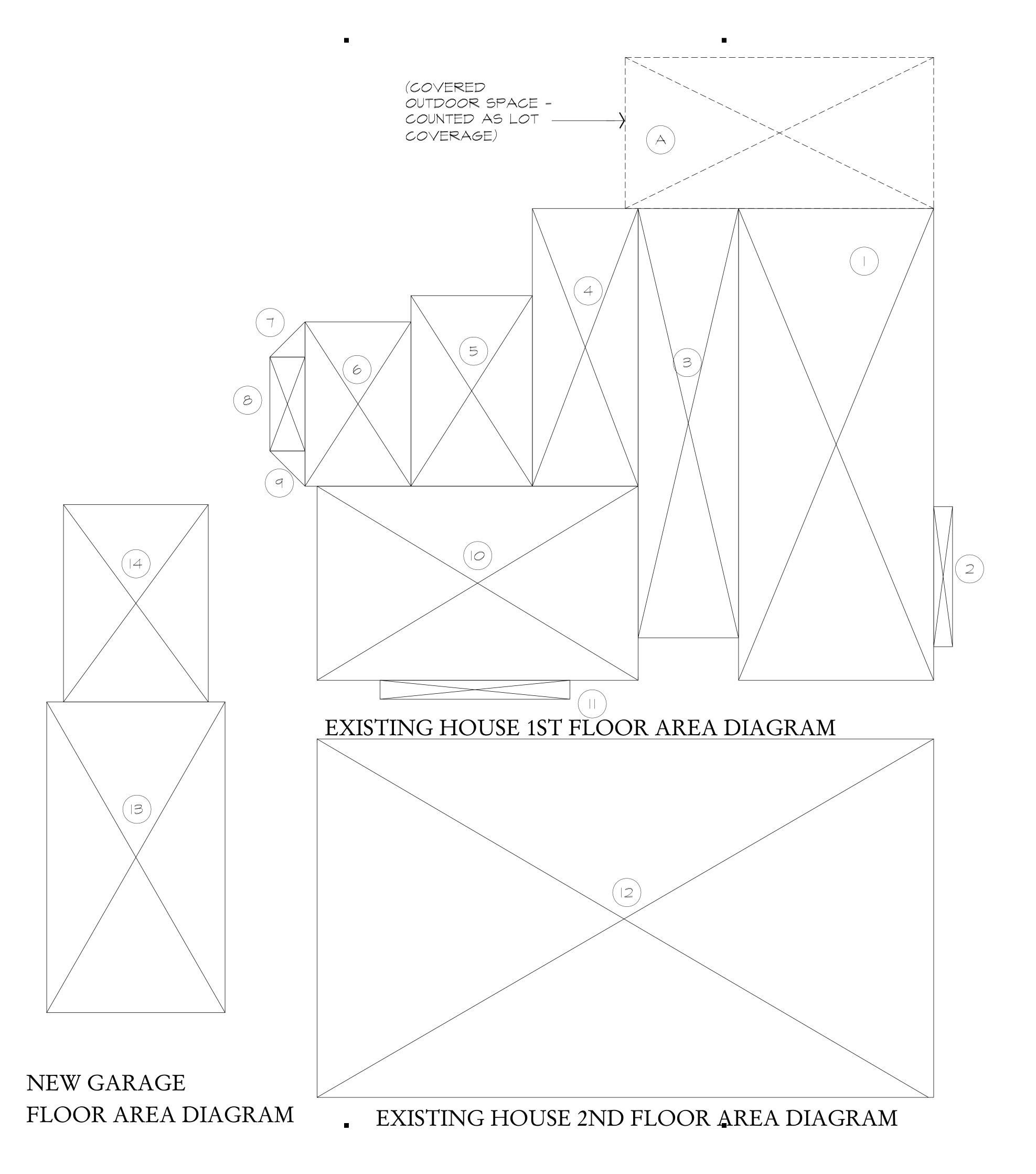
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Sheet Title COVERSHEET

N.T.S. Project No 1407 Date 6.24.14 Drawn By CB/RB Sheet No.



FLOOR AREA CALCULATIONS

NOTE: NONE OF THE ATTIC SPACE MEETS THE DEFINITON OF "HABITABLE SPACE" PER UBC (MINOR ERRORS FROM ROUNDING - TOTALS REPRESENT COMPUTER AIDED AREA

CALCULATIONS)

	FIRST FLOOR	
SECTION	DIMENSIONS	SQ.FT.
	15'-6" × 37'-5 /2"	580.60
2	-6" × - /2"	16.69
3	7'-12" × 34'-1"	272.00
4	8-5" × 22'-0 1/2"	185.06
5	9'-8" × 15'-1 1/2"	145.89
6	8'-5" × 13'-0 1/2"	109.76
7	2'-9 /2" × 2'-9 /2" × /2	3.90
8	2'-9 1/2" × 7'-5 1/2"	20.82
9	2'-9 /2" × 2'-9 /2" × /2	3.90
10	25'-6" × 15'-5"	393.13
	15'- " × '-6"	22.63
FIRST FL	LOOR TOTAL AREA	1,754.32

	SECOND FLOOR	
SECTION	DIMENSIONS	SQ.FT.
12	48'-7" × 28'-5 1/2"	1393.87
SECOND	FLOOR SUBTOTAL	1393.87

TOTAL HOUSE FLOOR AREA =	
1,754.32 +1,393.87 =	3,148.19

,	SARAGE		
SECTION	DIMENSIONS		SQ.FT.
13	4'-2" X 24'-8"		349.44
14	'-6" × 5'-8"		180.17
GARAGE	TOTAL AREA		529.61
	SECTION 13 14	13 4'-2" × 24'-8"	SECTION DIMENSIONS 13

	EXISTING COTTAGE	
SECTION	DIMENSIONS	SQ.FT.
15	FROM SURVEY	769.23
COTTAG	E SUBTOTAL	769.23

TOTAL FLOOR AREA	
SECTION	
EXISTING HOUSE	3148.19
EXISTING COTTAGE	769.23
NEW GARAGE	529.61
TOTAL FLOOR AREA	4,447.05

LOT	COVERAGE	
SECTION	DIMENSIONS	SQ.FT.
A (PORCH)	24'-6" X 2'	293.82
HOUSE		1754.32
GARAGE		529.61
COTTAGE		769.23
TOTAL LOT CO	/ERAGE	3,346.98

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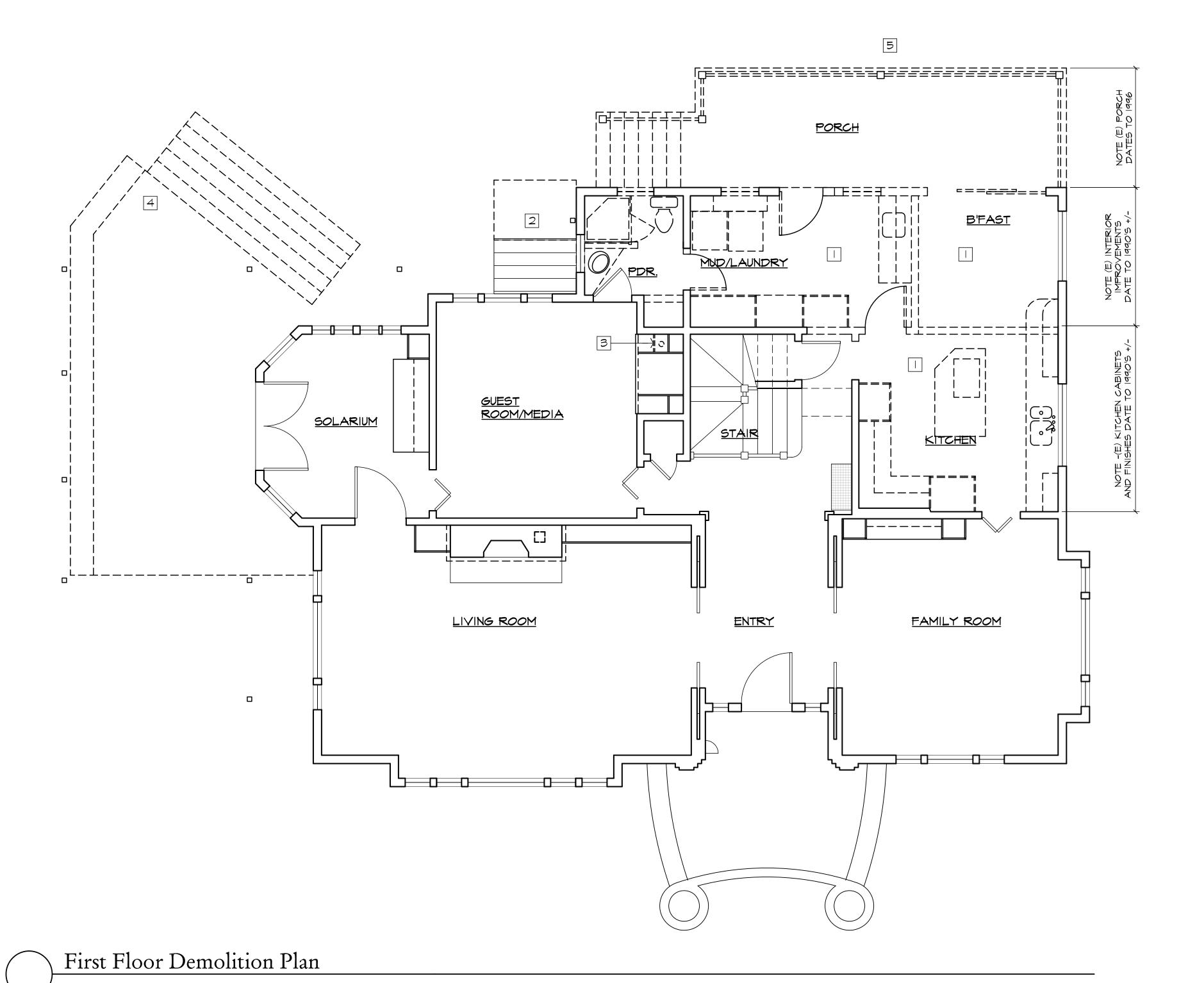
452 University Av Los Altos, Califor

Architecture + Planning + Interiors
745 Faxon Avenue + San Francisco, CA 94112
Tel. (415)587-2004 + Fax (415)587-1853

Sheet Title
AREA
CALCULATIONS

Scale	N.T.S.
Project No.	1407
Date	7.1.14
Drawn By	CB/RB
Sheet No.	

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DEMOLITION LEGEND

DEMOLITION NOTES

- REMOVE ALL INTERIOR FLOOR, WALL AND CEILING FINISHES DOWN TO BARE STRUCTURE
- 2 EXCAVATE FOR FOOTINGS FOR EXTENSION OF EXISTING BASEMENT ACCESS STAIR
- REMOVE (E) BACK PANEL AND MODIFY CABINET AS NEEDED FOR NEW PIPING RISERS
- REMOVE PORTION OF (E) DECK AND STAIRS SEE LANDSCAPE DRAWINGS
- 5 EXAVATE AS REQUIRED FOR NEW EXTENDED PORCH

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HISTORICAL REVIEW 7.1.14
PLANNING REVIEW 7.21.14

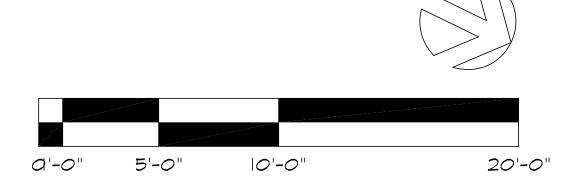
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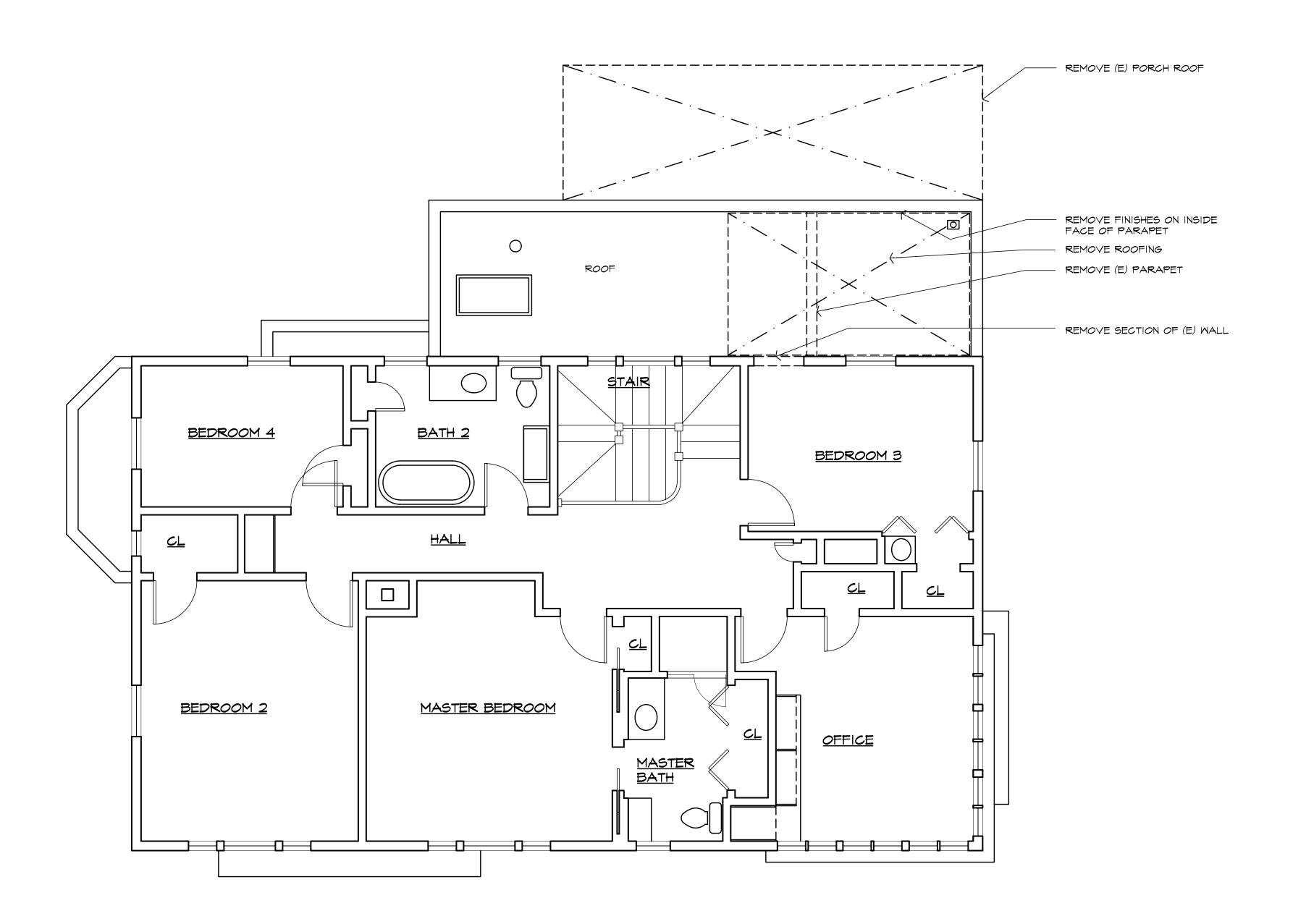


Sheet Title

FIRST FLOOR DEMOLITION PLAN

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	





Second Floor Demolition Plan

DEMOLITION LEGEND

SHEET NOTE REFERENCE.

(E) CONSTRUCTION TO REMAIN.

(E) CONSTRUCTION TO BE REMOVED.

---- UPPER CABINET LINE.

DEMOLITION NOTES

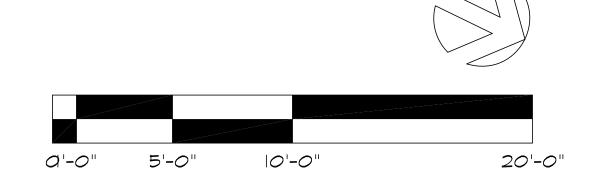
CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14

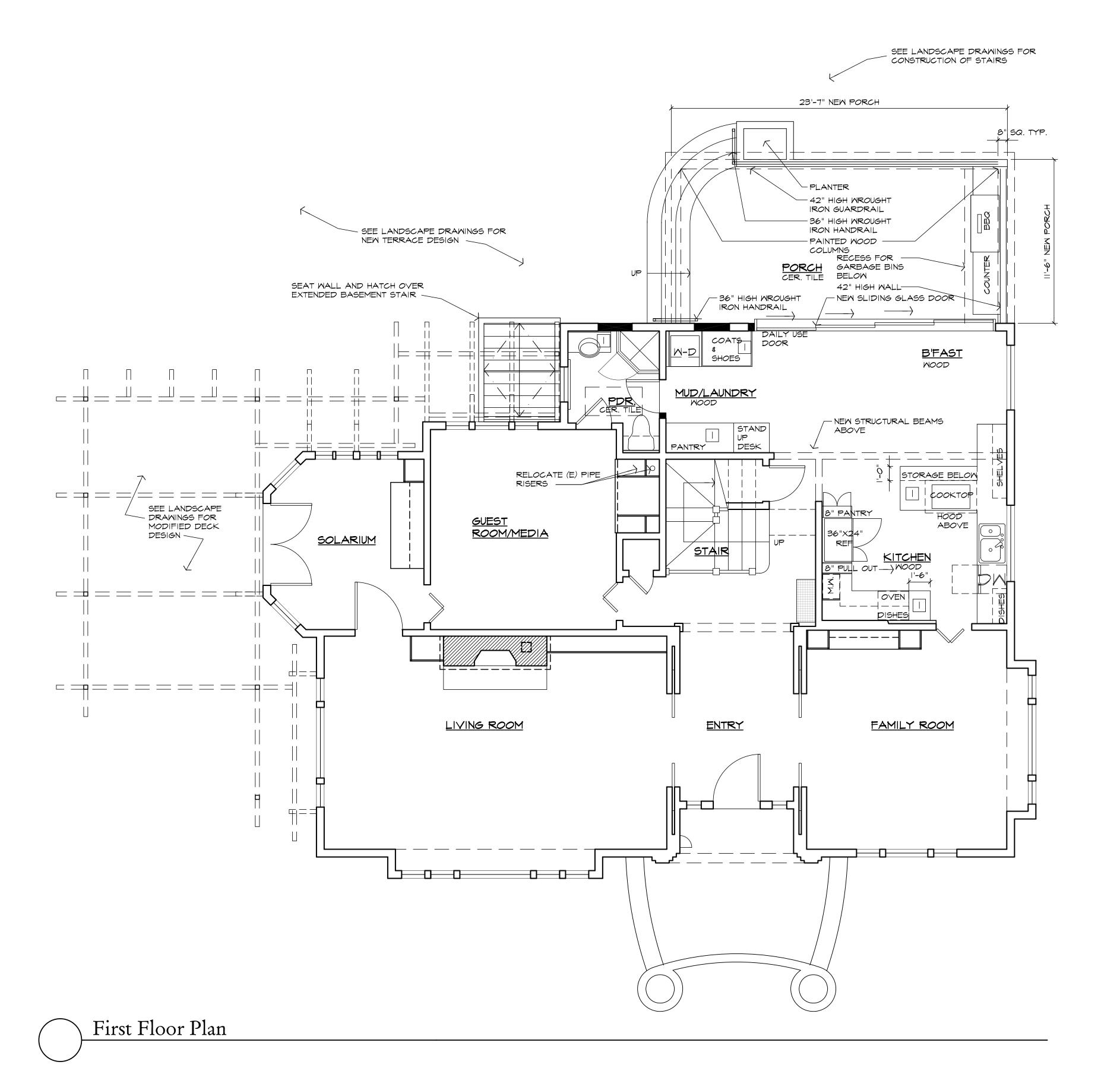
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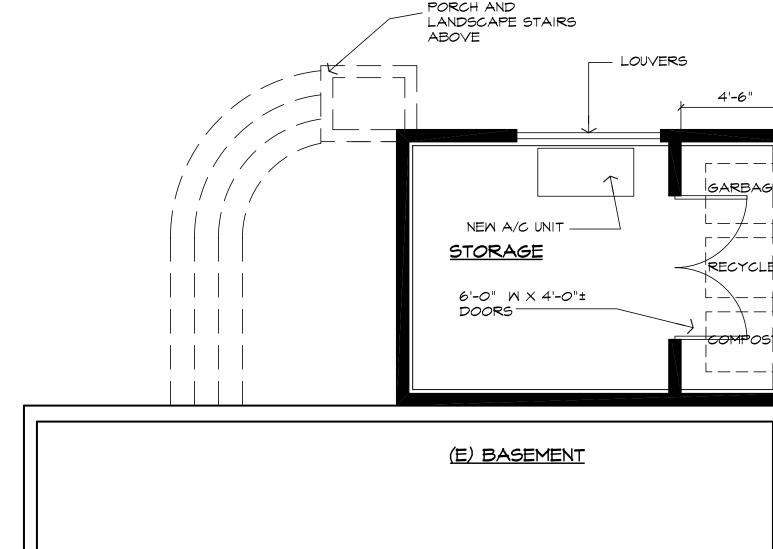


Sheet Title SECOND FLOOR DEMOLITION PLAN

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	







Partial Basement Plan at New Porch

LEGEND AND NOTES

	NEW CONSTRUCTION:
	WALLS ARE 2X4 STUDS, TYPICAL, U.O.N.
	EXISTING CONSTRUCTION TO REMAIN
	ELEMENT ABOVE
	CABINET ABOVE OR ELEMENT BELOW
	WOOD SHELF AND ROD

FLOOR PLAN NOTES

CABINETS / SHELVING AS SELECTED BY OWNER

2 CLOSET SHELF AND POLE

PORCH AND LANDSCAPE STAIRS ABOVE		
NEW A/C UNIT STORAGE 6'-0" W X 4'-0"± DOORS	A'-6" GARBAGE RECYCLE COMPOSIT	Hitz Residence
(E) BASEMENT		

A 4 5 F

Submittal:

CLIENT REVIEW

HISTORICAL REVIEW

PLANNING REVIEW

6.12.14

7.1.14

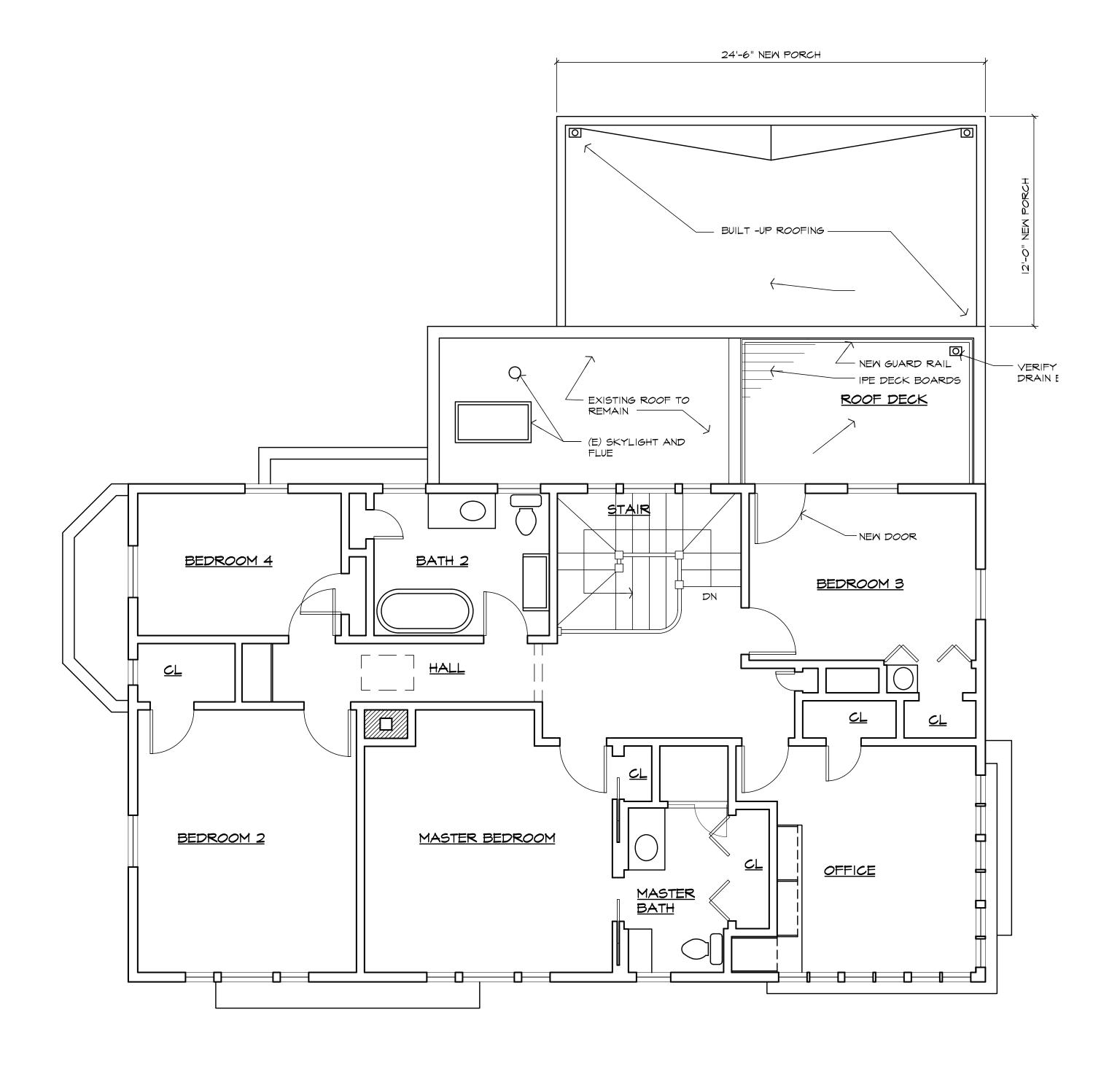
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Sheet Title FIRST FLOOR PROPOSED PLAN

Scale	1/4" = 1'-0"
Project No.	1407
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Drawn By	CB/RB
Sheet No.	

a'-0"	5'-0"	10'-0"	20'-0"



Second Floor Plan

LEGEND AND NOTES

NEW CONSTRUCTION: WALLS ARE 2X4 STUDS, TYPICAL, U.O.N. EXISTING CONSTRUCTION TO REMAIN --- -- ELEMENT ABOVE ---- CABINET ABOVE OR ELEMENT BELOW --- · --- WOOD SHELF AND ROD

FLOOR PLAN NOTES

CABINETS / SHELVING AS SELECTED BY OWNER

2 CLOSET SHELF AND POLE

CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14
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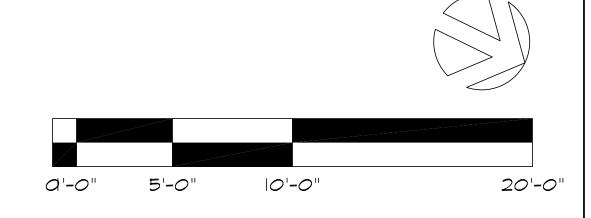
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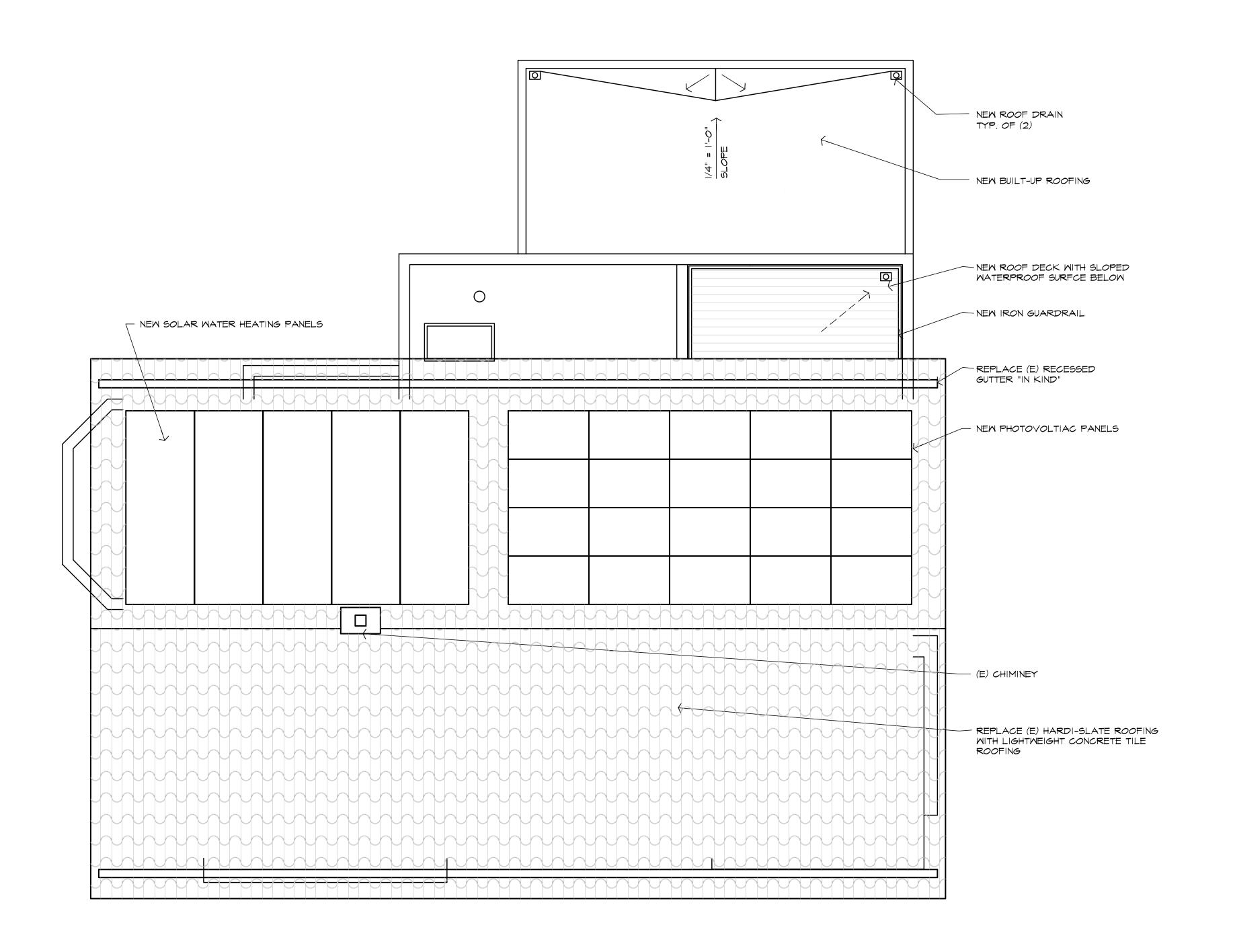
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Sheet Title SECOND FLOOR PROPOSED PLAN

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	

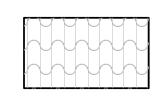




Roof Plan

LEGEND AND NOTES

BUILT-UP ROOFING, 1/4 : 12 MINIMUM SLOPE



BUILT-UP ROOFING, 1/4 : 12 MINIMUM SLOPE

DOWN SPOUT

_

INDICATES DIRECTION OF DOWNSLOPE

0

a'-0"

5'-0"

10'-0"

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HISTORICAL REVIEW

PLANNING REVIEW 7.21.14

6.12.14

7.1.14

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Sheet Title ROOF PLAN

 Scale
 1/4" = 1'-0"

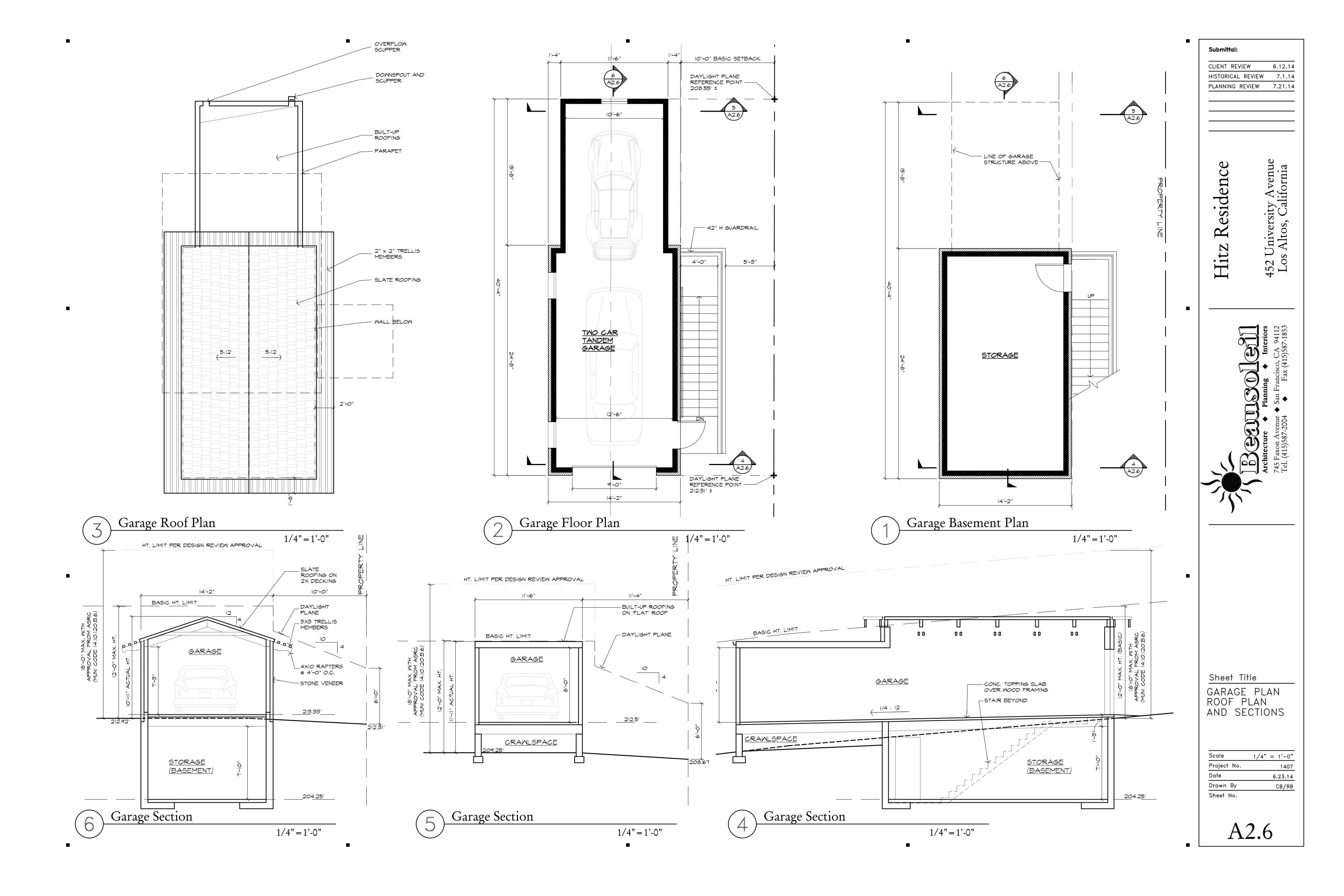
 Project No.
 1407

 Date
 6.23.14

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 CB/RB

Sheet No.

20'-0"





Proposed East (Front) Elevation



Existing East (Front) Elevation

1/4" = 1'-0"

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Project No.
Date
Drawn By
Sheet No. 1/4" = 1'-0" A3.1





Existing North (Right) Elevation 1/4" = 1'-0"

CLIENT REVIEW HISTORICAL REVIEW 7.1.14 PLANNING REVIEW 7.21.14

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Sheet Title ELEVATIONS

Scale Project No. Date 1/4" = 1'-0" Drawn By
Sheet No.



Proposed West (Rear) Elevation

1/4" = 1'-0"

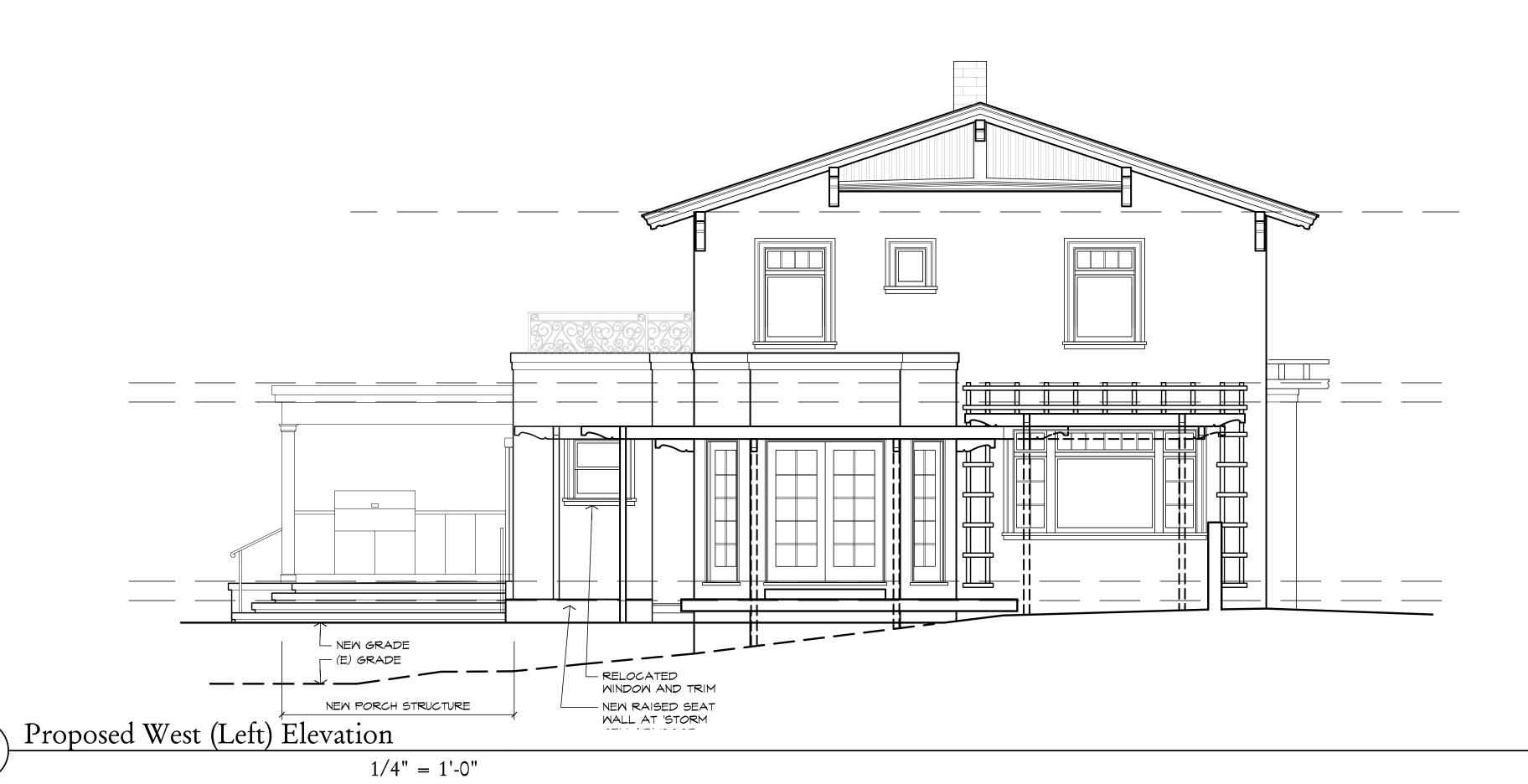


Existing West (Rear) Elevation

1/4" = 1'-0"

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Scale Project No. Date 1/4" = 1'-0" Drawn By
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Existing West (Left) Elevation 1/4" = 1'-0"

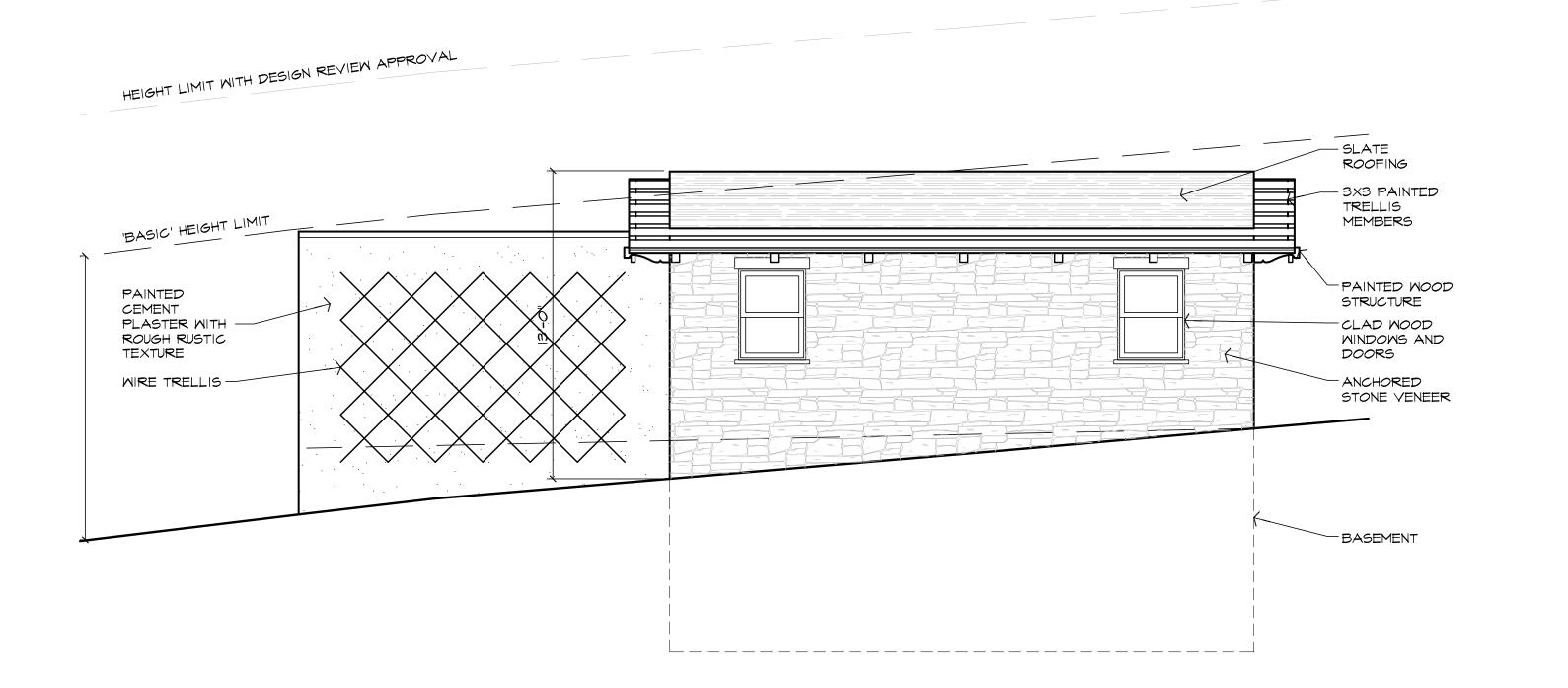
CLIENT REVIEW HISTORICAL REVIEW PLANNING REVIEW 7.21.14

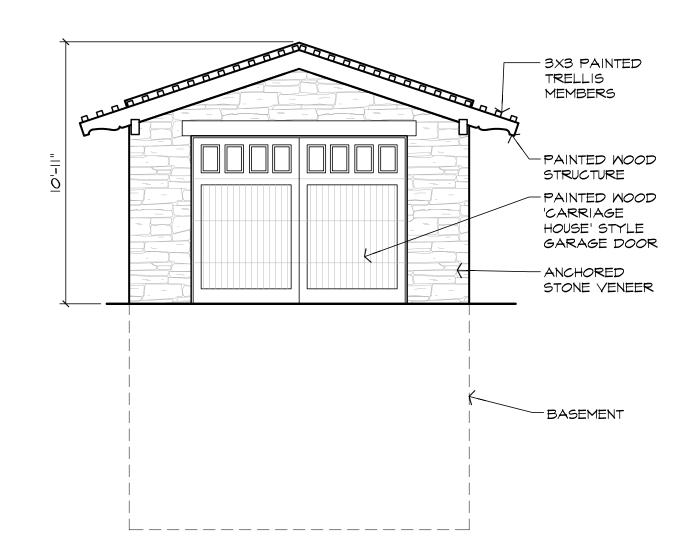
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Sheet Title ELEVATIONS

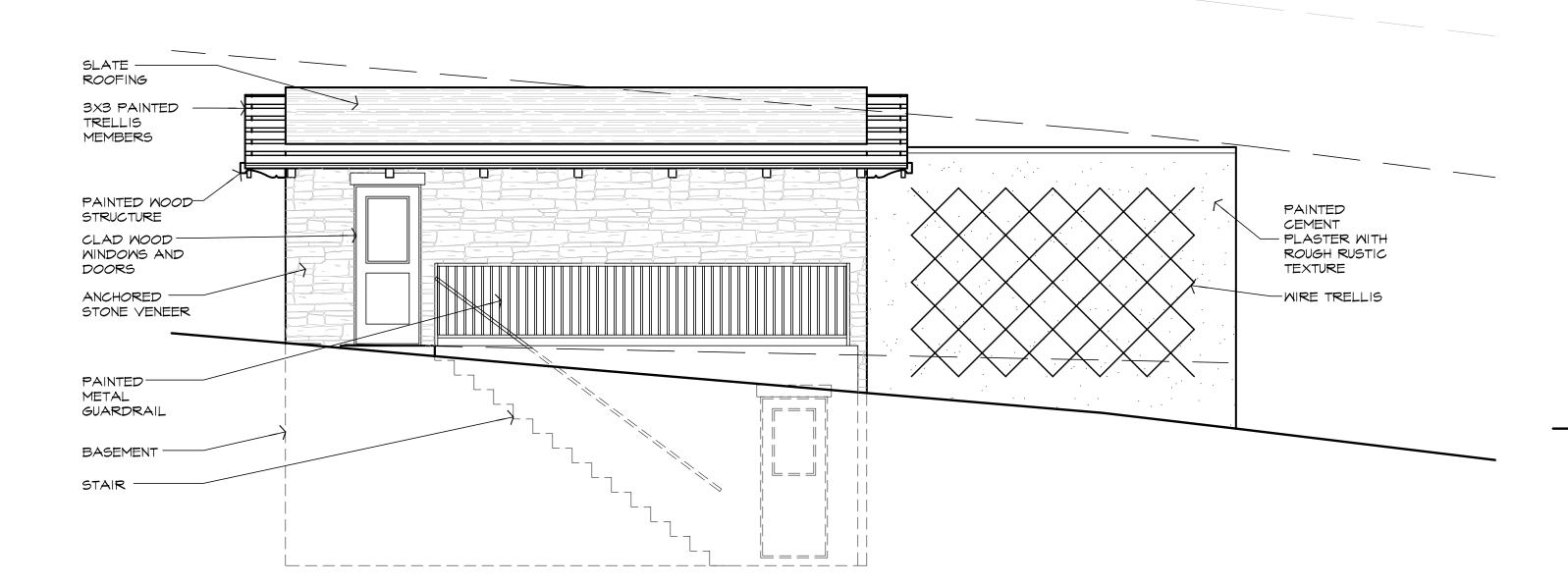
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Project No.
Date
Drawn By
Sheet No. 1/4" = 1'-0" 6.23.14

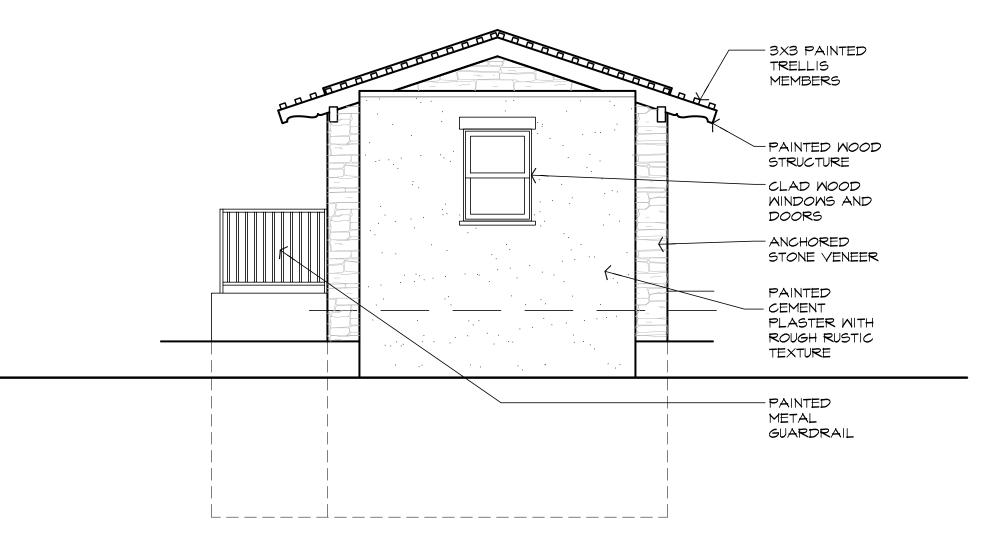




South (left side) Elevation

East (front) Elevation





North (right side) Elevation

West (rear) Elevation

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HISTORICAL REVIEW 7.1.14

PLANNING REVIEW 7.21.14

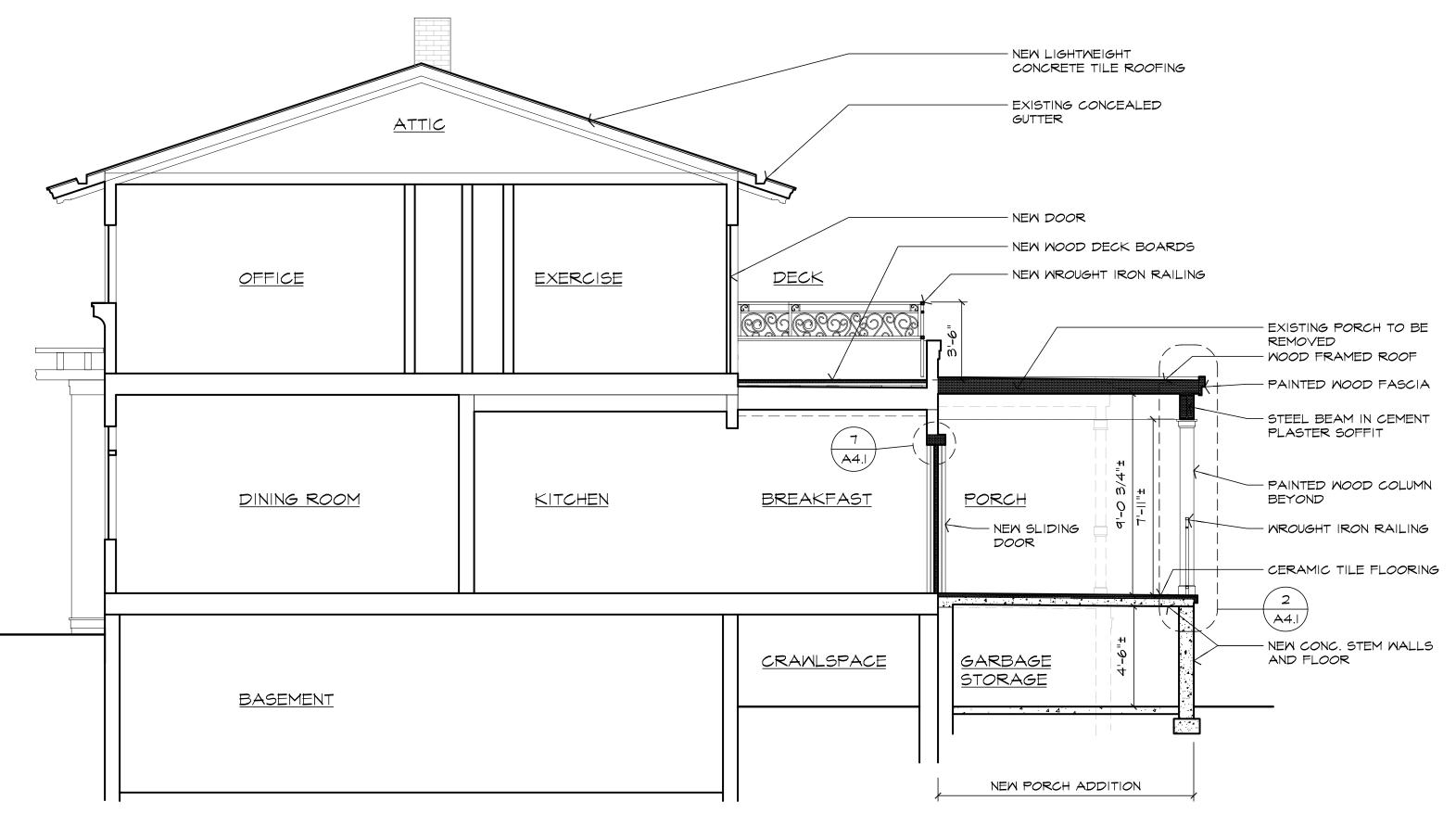
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Los Altos, California

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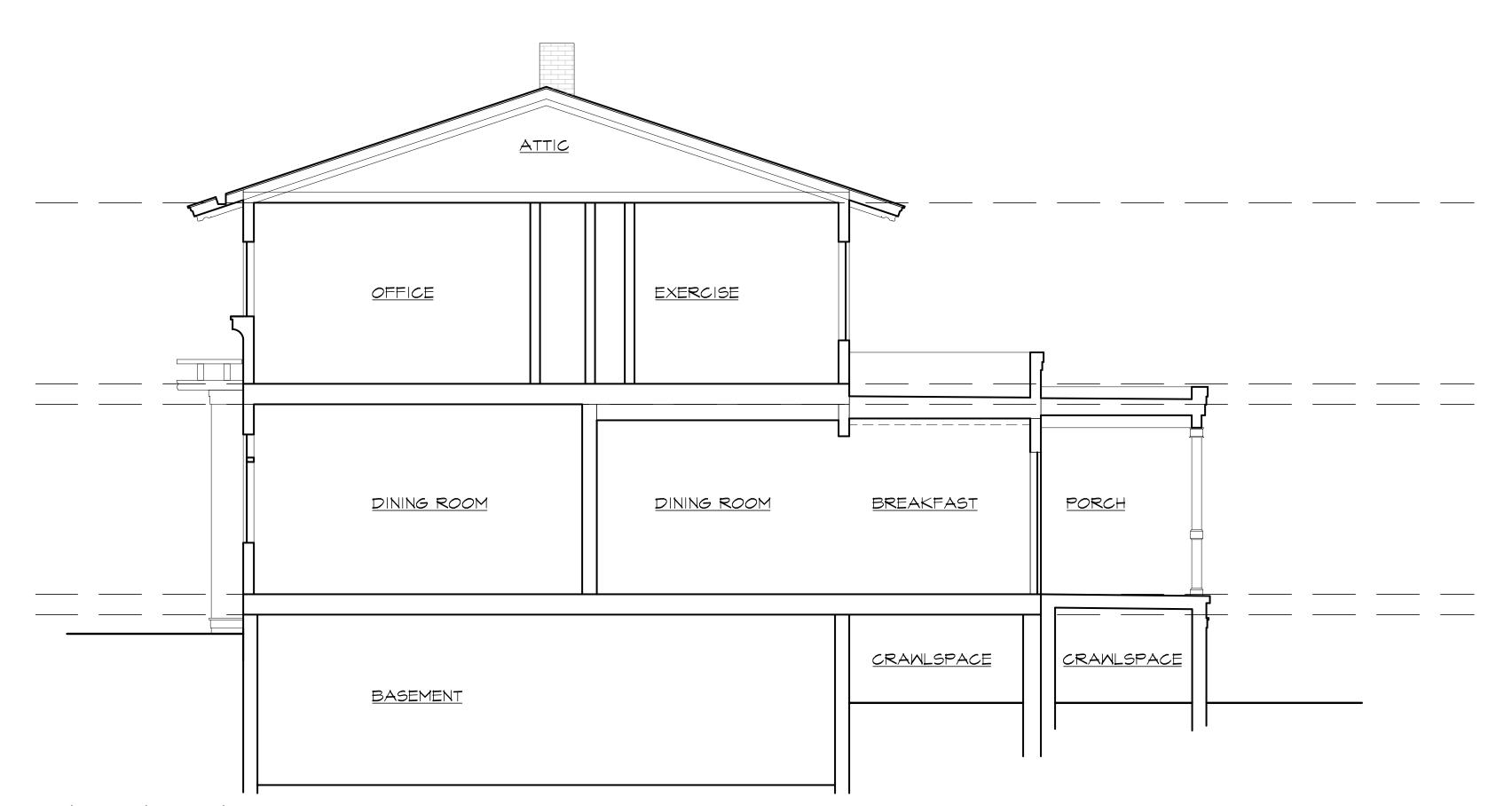
Sheet Title
GARAGE
ELEVATIONS
AND SECTIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
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Proposed Section Through Kitchen

1/4" = 1'-0"



Existing Section Through Kitchen

1/4" = 1'-0"

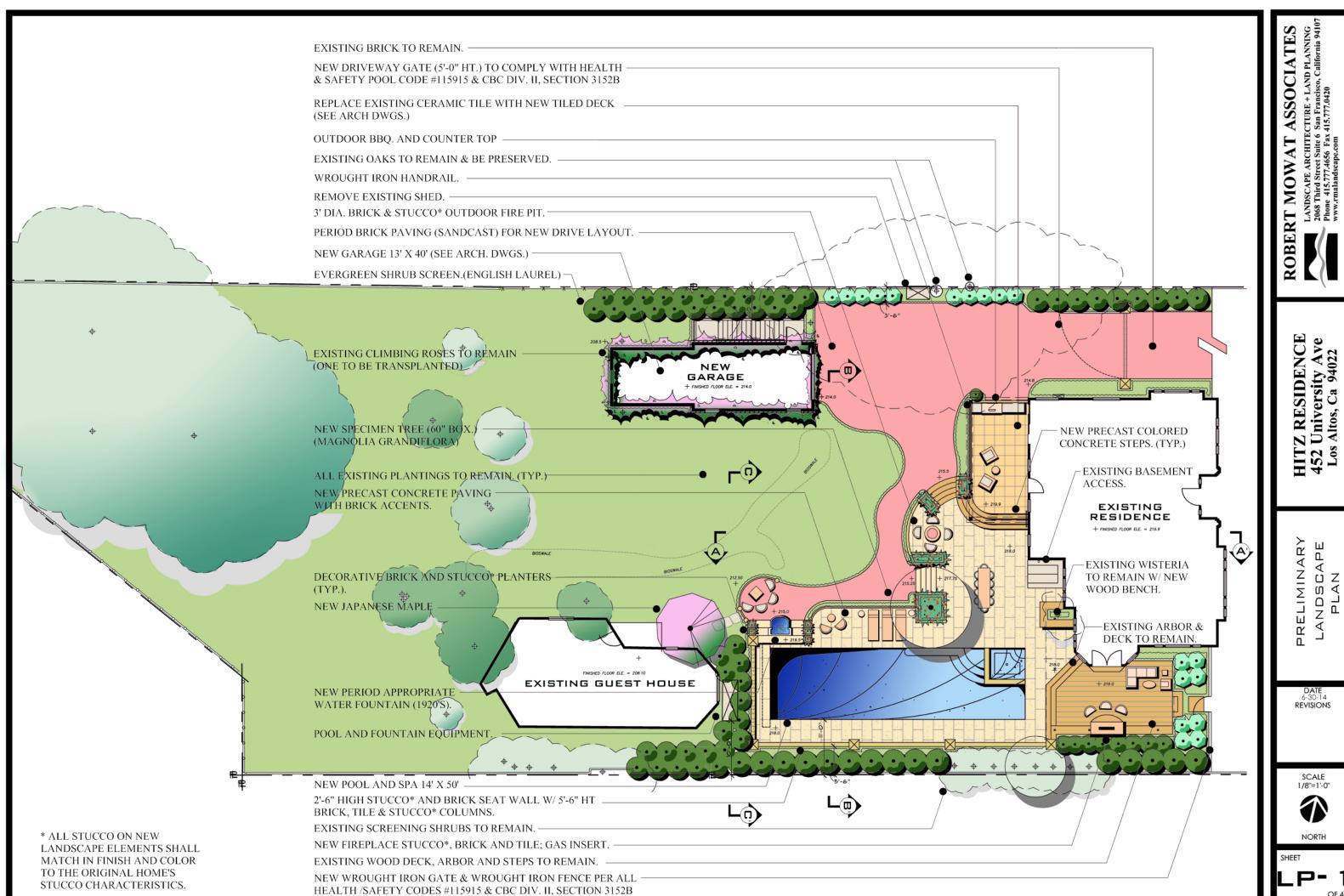
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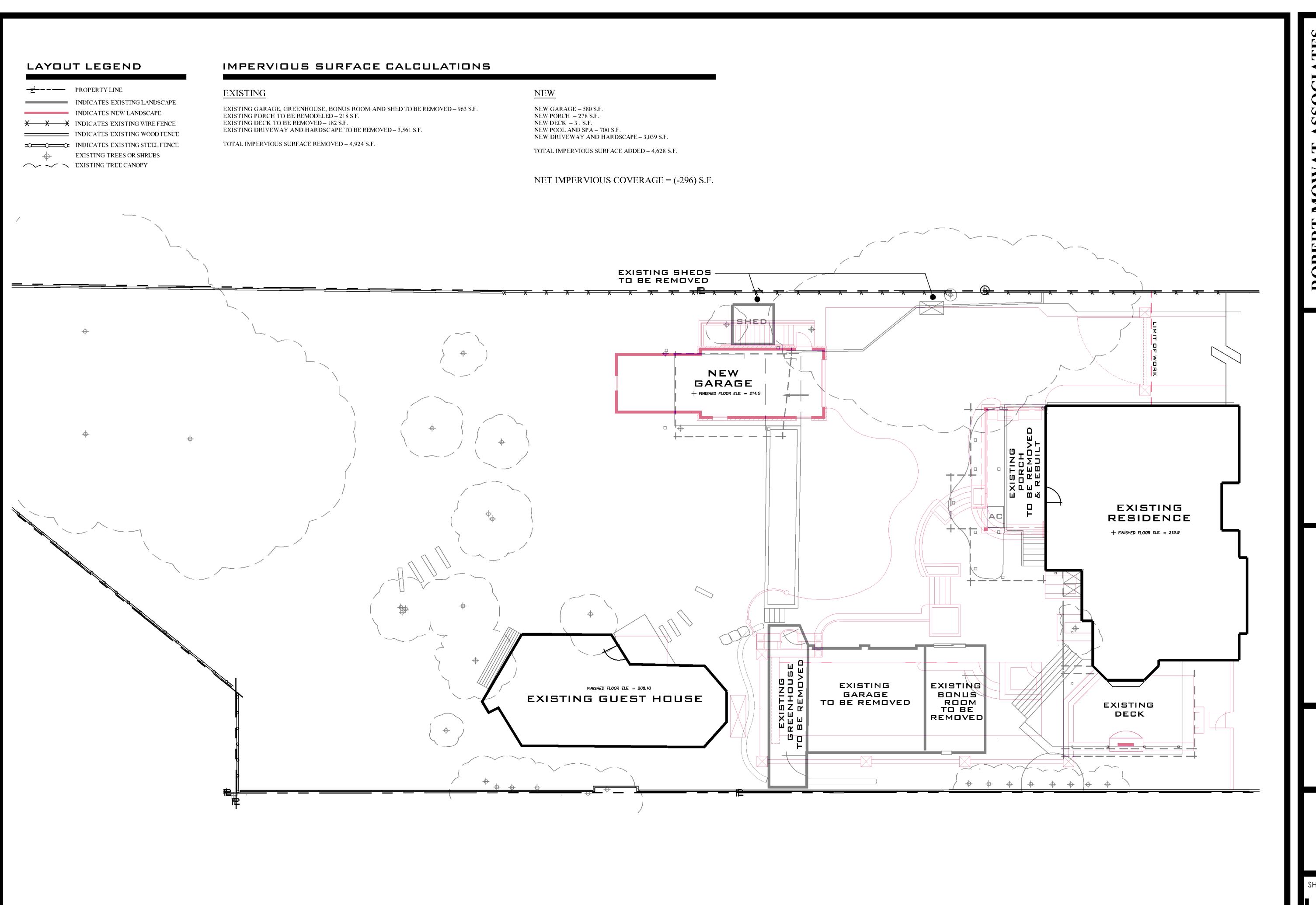
> 452 University Avenue Los Altos, California Residence Hitz

Sheet Title BUILDING SECTION

Scale
Project No.
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Drawn By
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OWAT ASSOCIATE

VPE ARCHITECTURE + LAND PLANNI
d Street Suite 6 San Francisco, California
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KOBEKI IV
LANDS
2068 TI
Phone

RESIDENCE niversity Ave

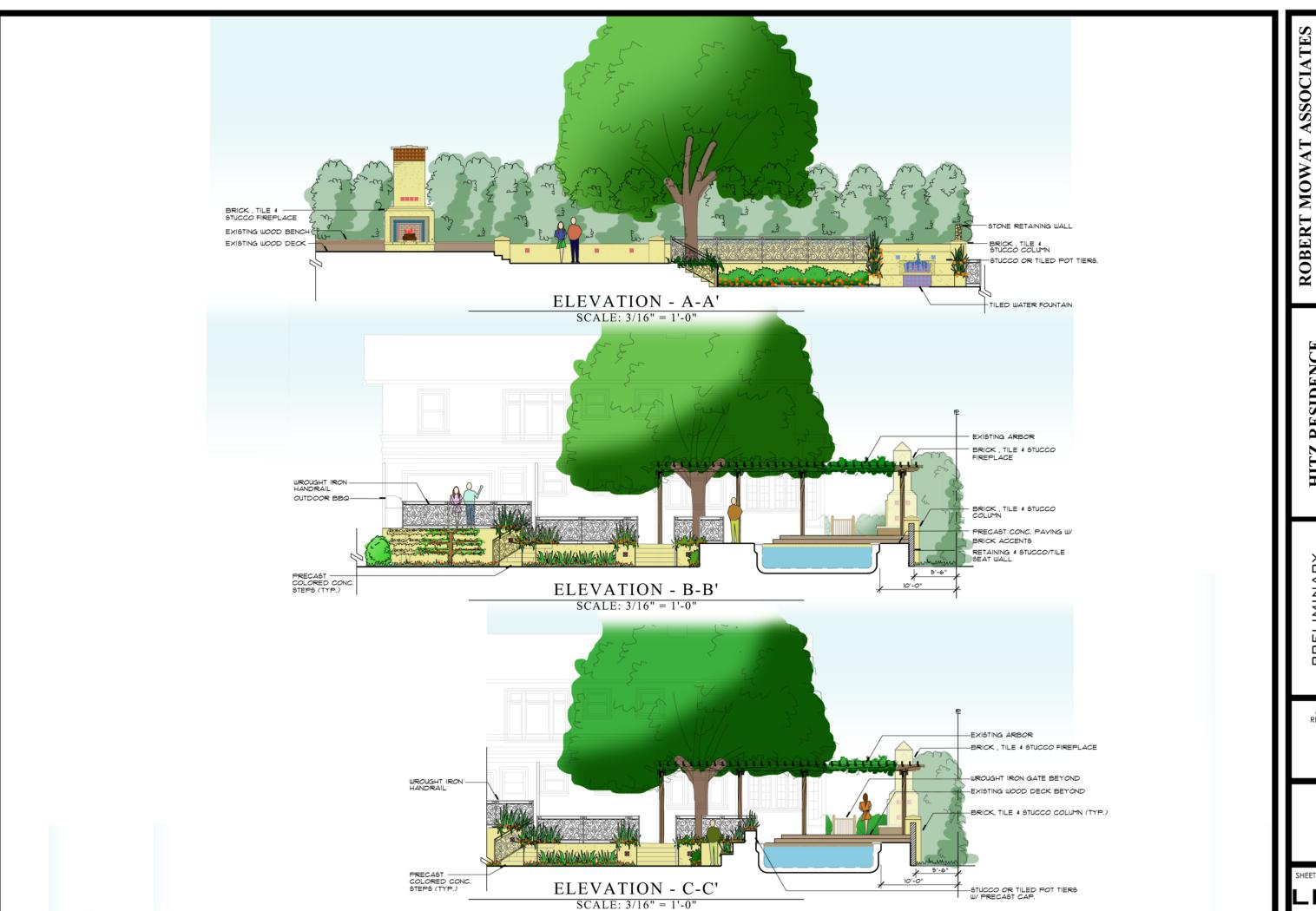
TING AND NEW OVERLAY SITE PLAN

DATE 6-30-14 REVISIONS

SCALE 1/8"=1'-0"

1/8"=1'-0"

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MOWAT ASSOCIATE.

SCAPE ARCHITECTURE + LAND PLANNIN
Third Street Suite 6 San Francisco, California 915,777,4656 Fax 415,777,0420

LAND 2068 ' Phone www.

HITZ RESIDENCE 452 University Ave Los Altos, Ca 94022

PRELIMINARY ELEVATIONS

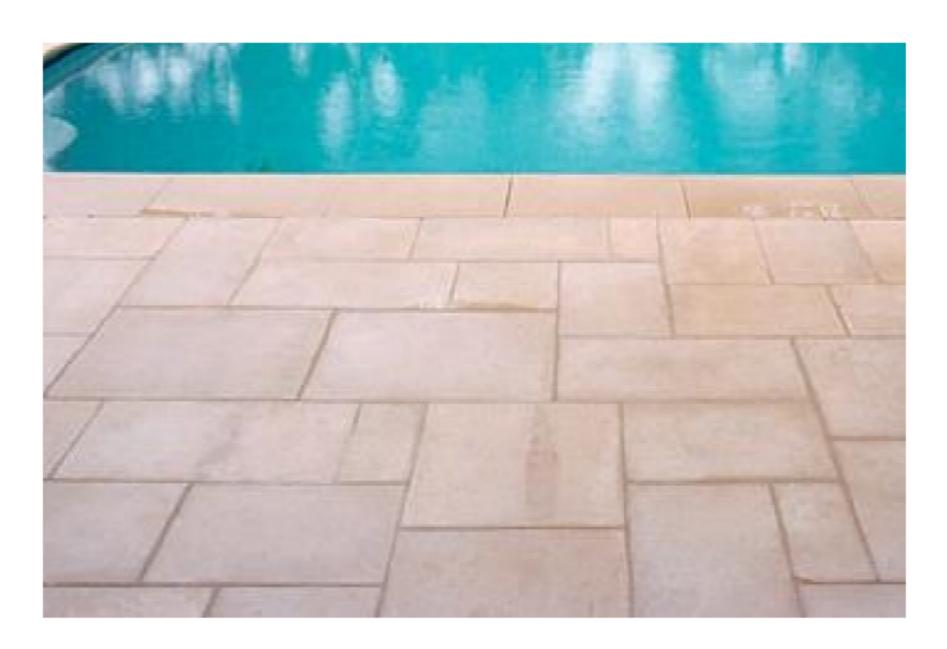
DATE 6-30-14 REVISIONS

SCALE

NORTH

LP-3





PRECAST CONCRETE PAVING



RUSTIC CUT CARMEL VALLEY STONE W/ BRICK ACCENTS.



TILE



WROUGHT IRON RAILING (DESIGN TO BE DETERMINED)

VAT ASSOCIATI
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eet Suite 6 San Francisco, California
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