

Submittal:	
CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14

Hitz Residence
 452 University Avenue
 Los Altos, California



FLOOR AREA CALCULATIONS

NOTE: NONE OF THE ATTIC SPACE MEETS THE DEFINITION OF "HABITABLE SPACE" PER UBC (MINOR ERRORS FROM ROUNDING - TOTALS REPRESENT COMPUTER AIDED AREA CALCULATIONS)

FIRST FLOOR		
SECTION	DIMENSIONS	SQ.FT.
1	15'-6" X 37'-5 1/2"	580.60
2	1'-6" X 11'-1 1/2"	16.69
3	7'-12" X 34'-1"	272.00
4	8'-5" X 22'-0 1/2"	185.06
5	9'-8" X 15'-1 1/2"	145.89
6	8'-5" X 13'-0 1/2"	109.76
7	2'-9 1/2" X 2'-9 1/2" X 1/2	3.90
8	2'-9 1/2" X 7'-5 1/2"	20.82
9	2'-9 1/2" X 2'-9 1/2" X 1/2	3.90
10	25'-6" X 15'-5"	393.13
11	15'-1" X 1'-6"	22.63
FIRST FLOOR TOTAL AREA		1,754.32

SECOND FLOOR		
SECTION	DIMENSIONS	SQ.FT.
12	48'-7" X 28'-5 1/2"	1393.87
SECOND FLOOR SUBTOTAL		1393.87

TOTAL HOUSE FLOOR AREA =	1,754.32 + 1,393.87 =	3,148.19
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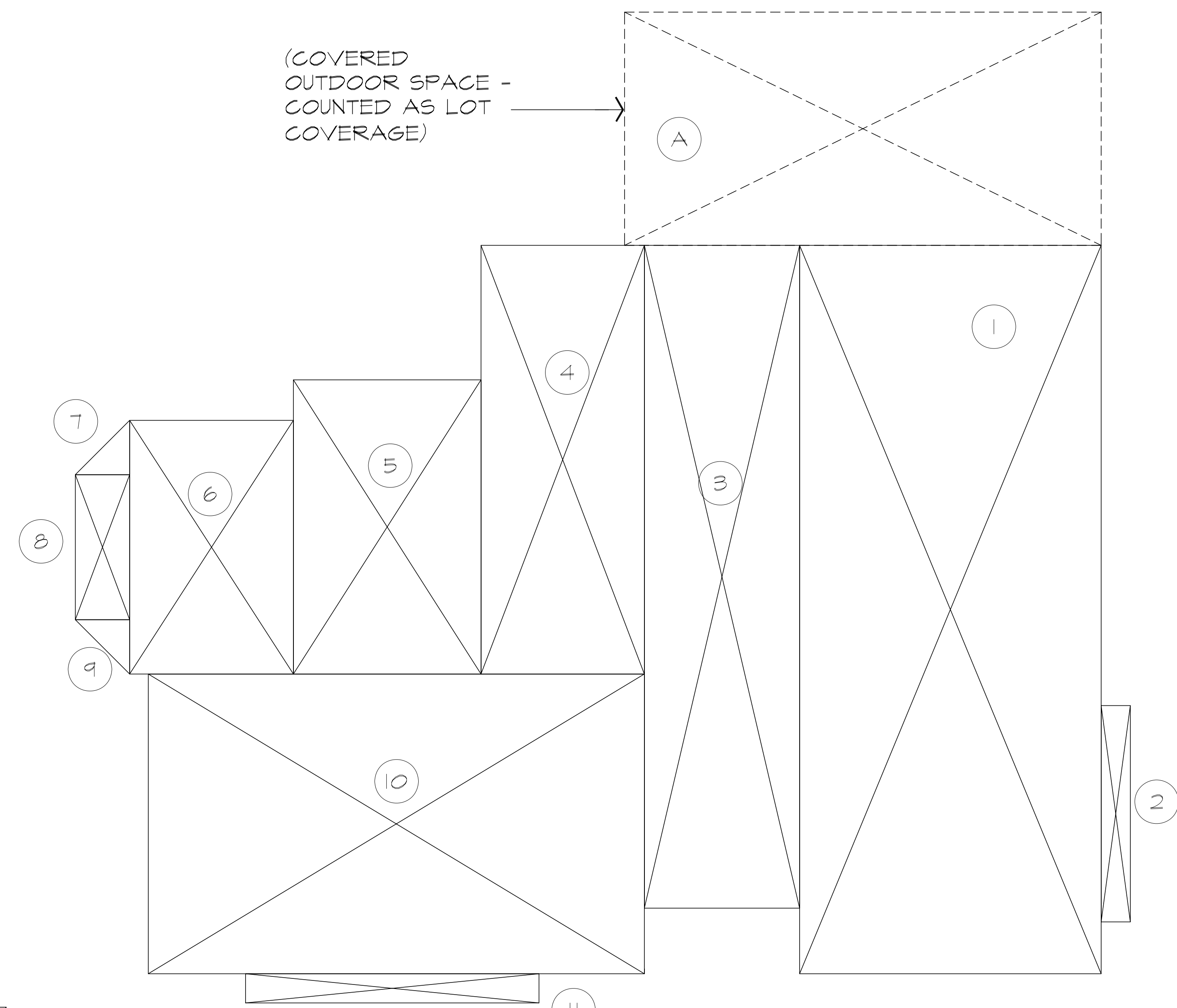
GARAGE		
SECTION	DIMENSIONS	SQ.FT.
13	14'-2" X 24'-8"	349.44
14	11'-6" X 15'-8"	180.17
GARAGE TOTAL AREA		529.61

EXISTING COTTAGE		
SECTION	DIMENSIONS	SQ.FT.
15	FROM SURVEY	769.23
COTTAGE SUBTOTAL		769.23

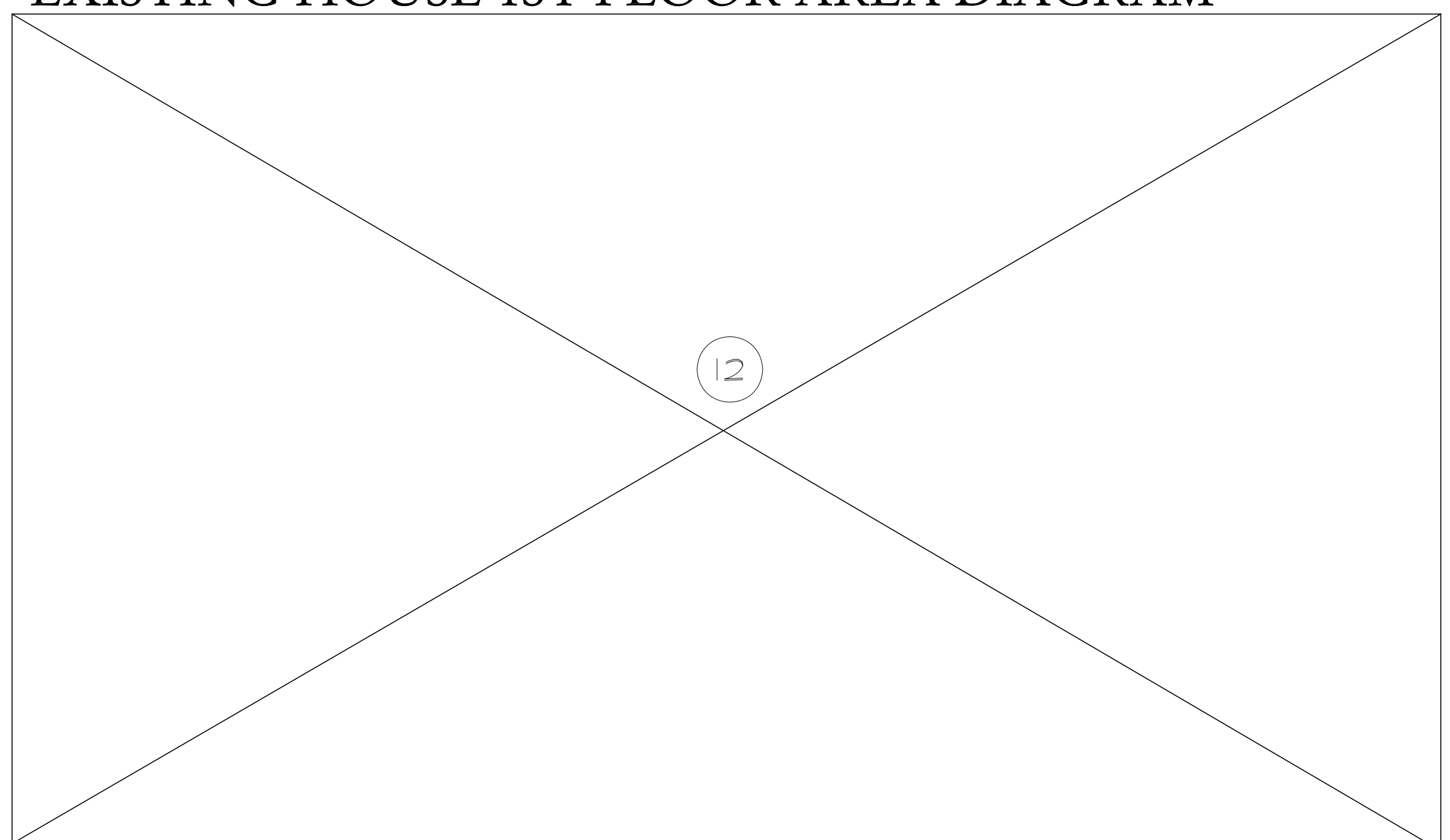
TOTAL FLOOR AREA		
SECTION		
EXISTING HOUSE		3148.19
EXISTING COTTAGE		769.23
NEW GARAGE		529.61
TOTAL FLOOR AREA		4,447.03

LOT COVERAGE		
SECTION	DIMENSIONS	SQ.FT.
A (PORCH)	24'-6" X 12'	293.82
HOUSE		1754.32
GARAGE		529.61
COTTAGE		769.23
TOTAL LOT COVERAGE		3,346.98

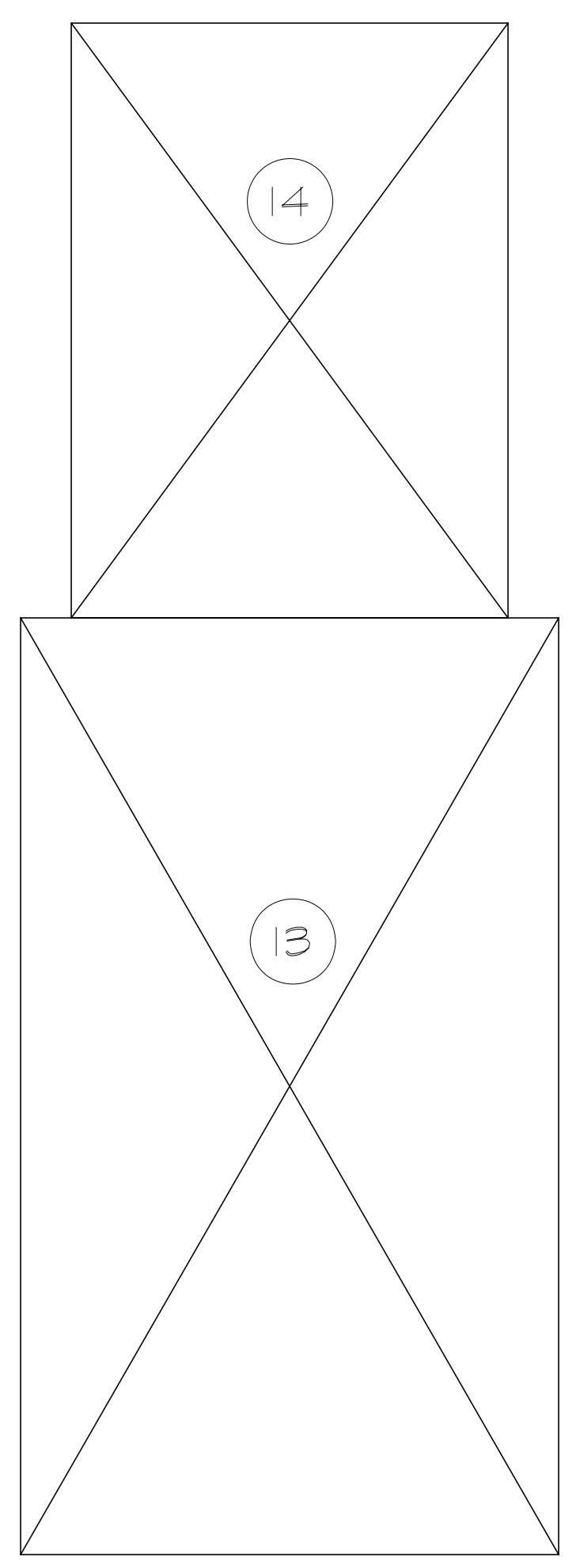
(COVERED OUTDOOR SPACE - COUNTED AS LOT COVERAGE)



EXISTING HOUSE 1ST FLOOR AREA DIAGRAM

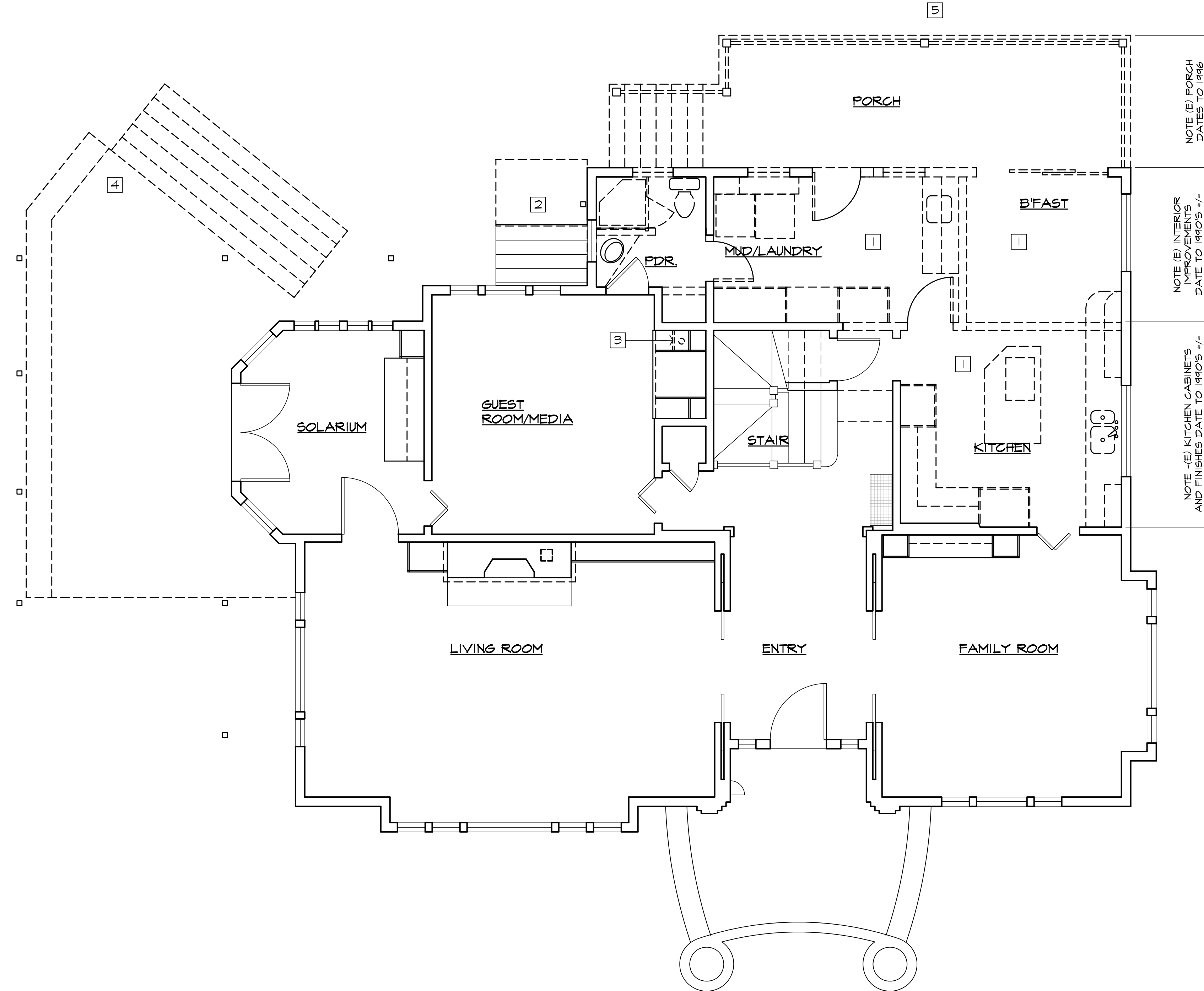


EXISTING HOUSE 2ND FLOOR AREA DIAGRAM



NEW GARAGE FLOOR AREA DIAGRAM

Sheet Title	
AREA CALCULATIONS	
Scale	N.T.S.
Project No.	1407
Date	7.1.14
Drawn By	CB/RB
Sheet No.	



DEMOLITION LEGEND

- ① SHEET NOTE REFERENCE.
- (E) CONSTRUCTION TO REMAIN.
- - - (E) CONSTRUCTION TO BE REMOVED.
- - - - - UPPER CABINET LINE.

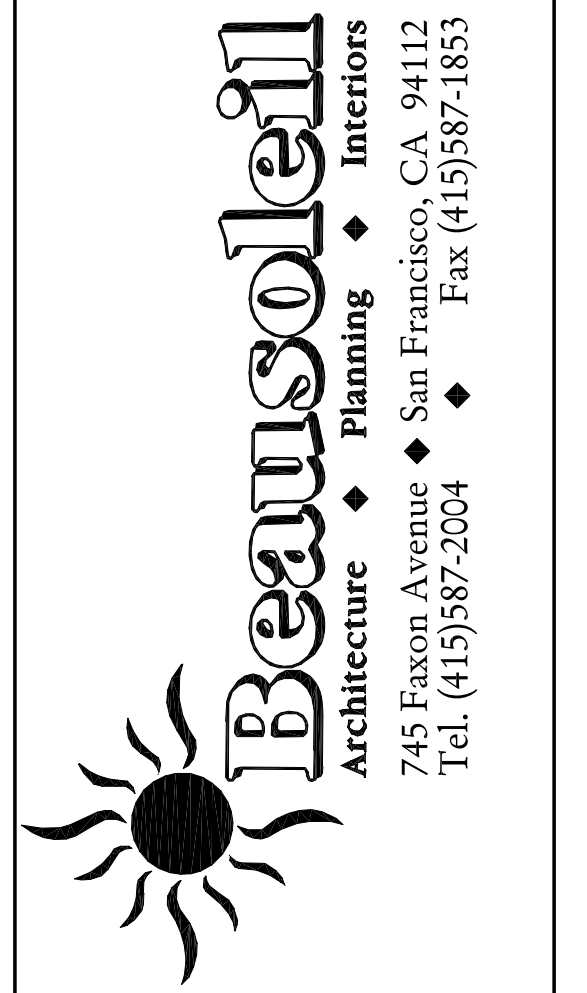
DEMOLITION NOTES

- ① REMOVE ALL INTERIOR FLOOR, WALL AND CEILING FINISHES DOWN TO BARE STRUCTURE
- ② EXCAVATE FOR FOOTINGS FOR EXTENSION OF EXISTING BASEMENT ACCESS STAIR
- ③ REMOVE (E) BACK PANEL AND MODIFY CABINET AS NEEDED FOR NEW PIPING RISERS
- ④ REMOVE PORTION OF (E) DECK AND STAIRS - SEE LANDSCAPE DRAWINGS
- ⑤ EXCAVATE AS REQUIRED FOR NEW EXTENDED PORCH

Submittal:

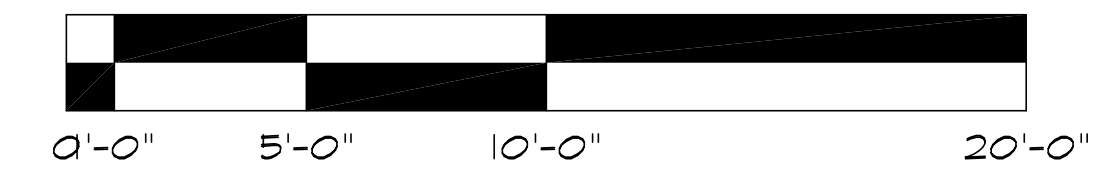
CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
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Hitz Residence
 452 University Avenue
 Los Altos, California



Sheet Title
**FIRST FLOOR
 DEMOLITION
 PLAN**

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	

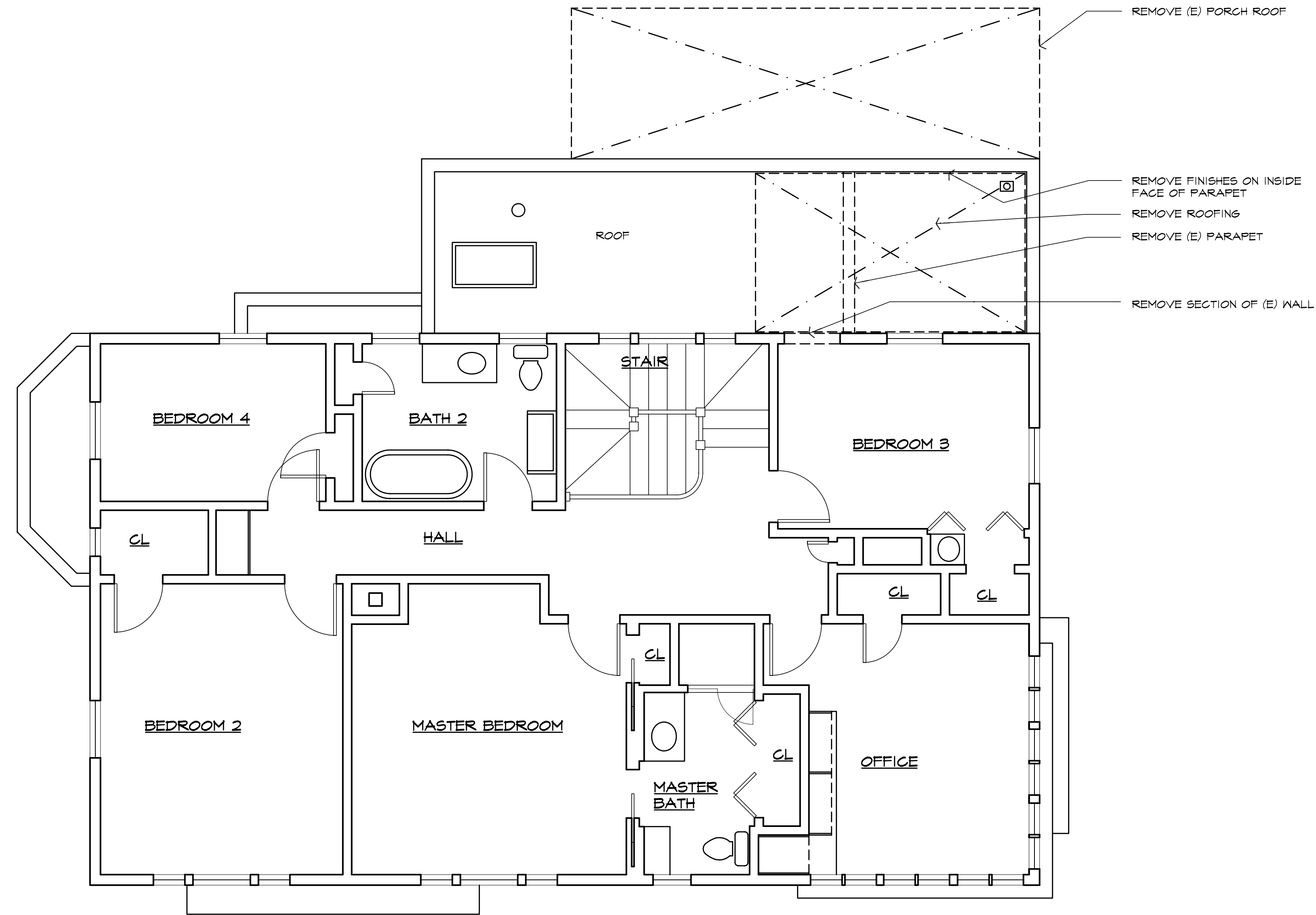


○ First Floor Demolition Plan

DEMOLITION LEGEND

- SHEET NOTE REFERENCE.
- (E) CONSTRUCTION TO REMAIN.
- (E) CONSTRUCTION TO BE REMOVED.
- UPPER CABINET LINE.

DEMOLITION NOTES



Submittal:

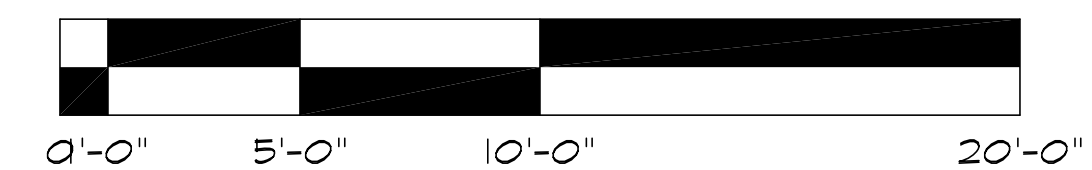
CLIENT REVIEW	6.12.14
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 Los Altos, California



Sheet Title
**SECOND FLOOR
 DEMOLITION
 PLAN**

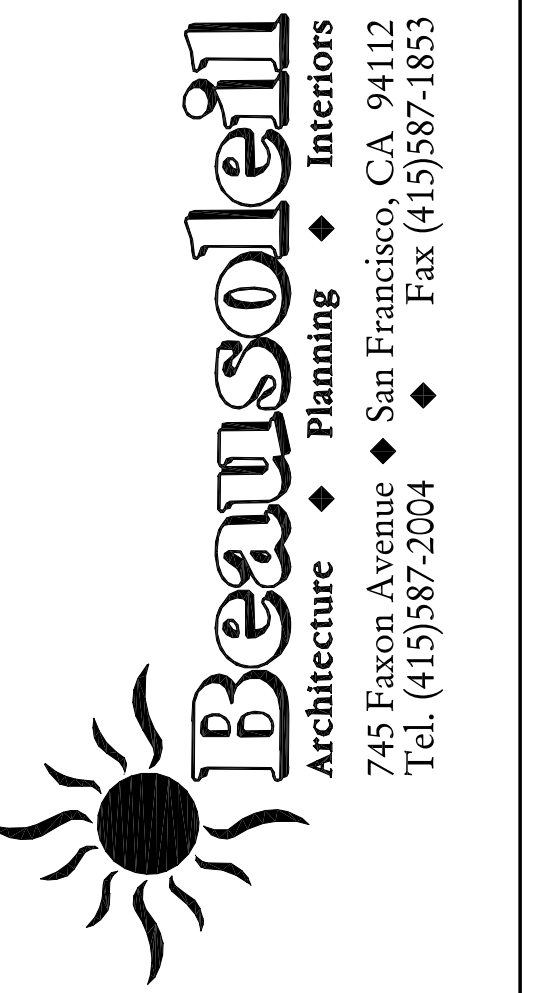
Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	



○ Second Floor Demolition Plan

Submittal:	
CLIENT REVIEW	6.12.14
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PLANNING REVIEW	7.21.14

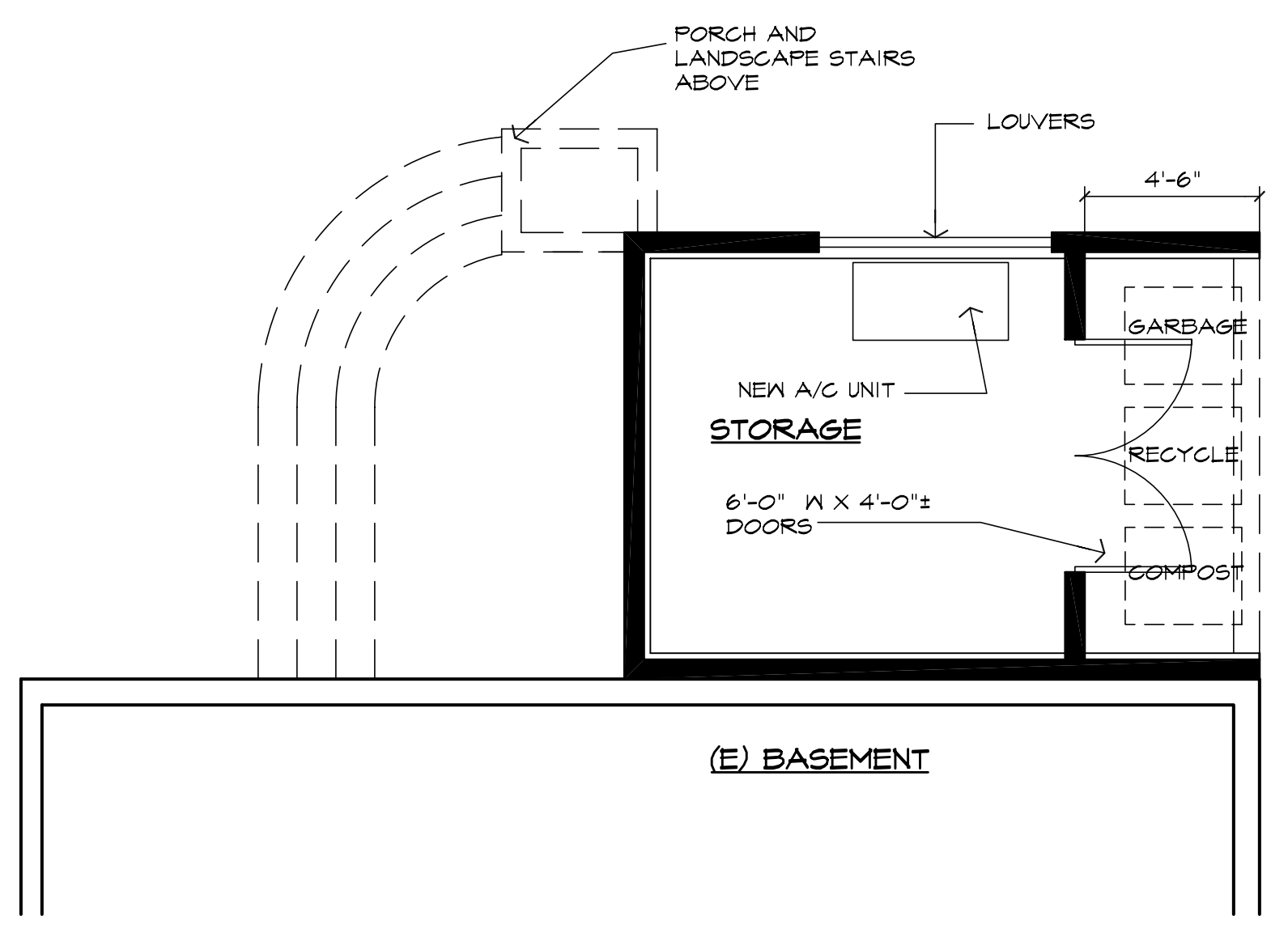
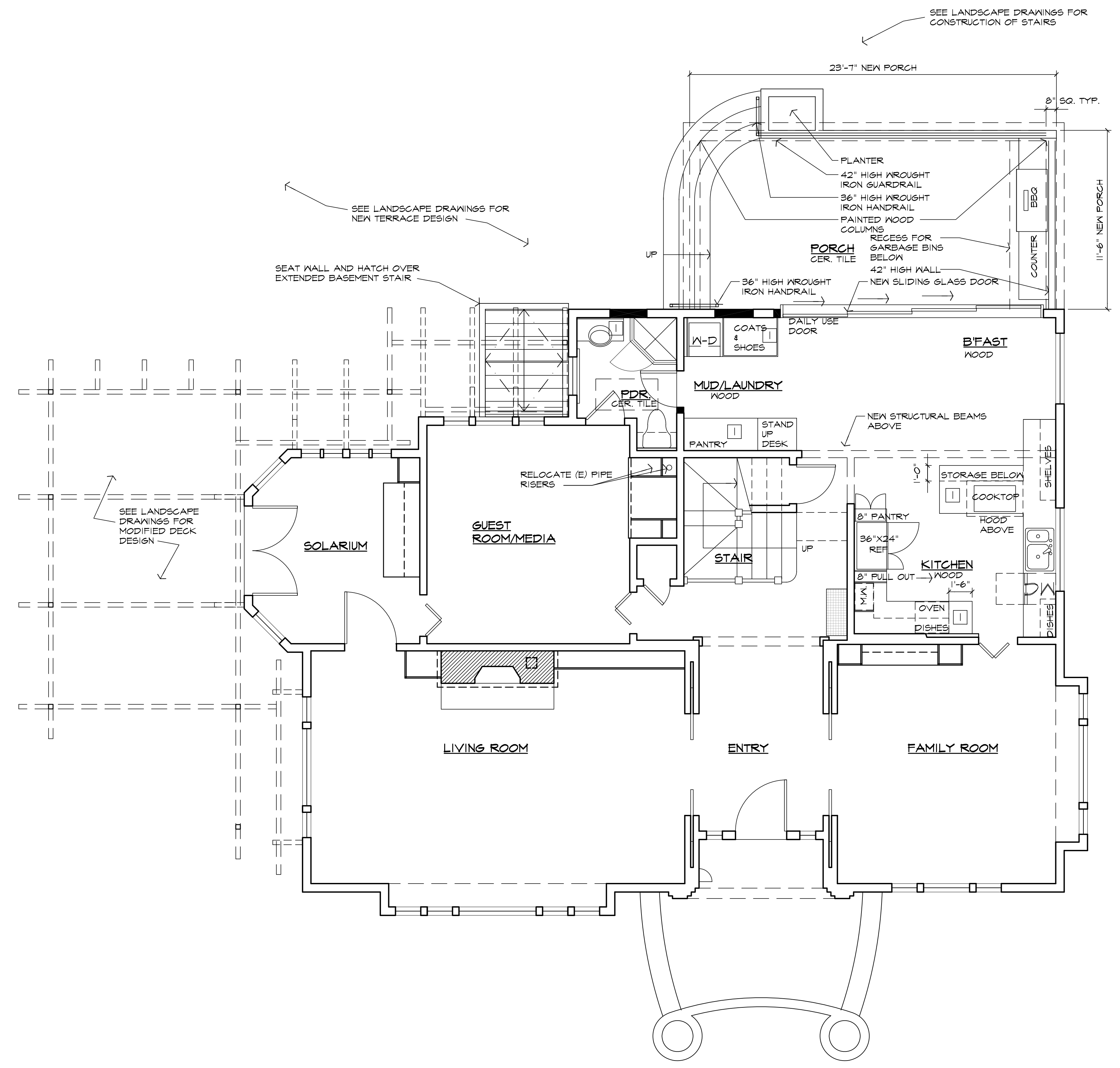
Hitz Residence
 452 University Avenue
 Los Altos, California



Sheet Title
**FIRST FLOOR
 PROPOSED
 PLAN**

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	

A2.3



Partial Basement Plan at New Porch

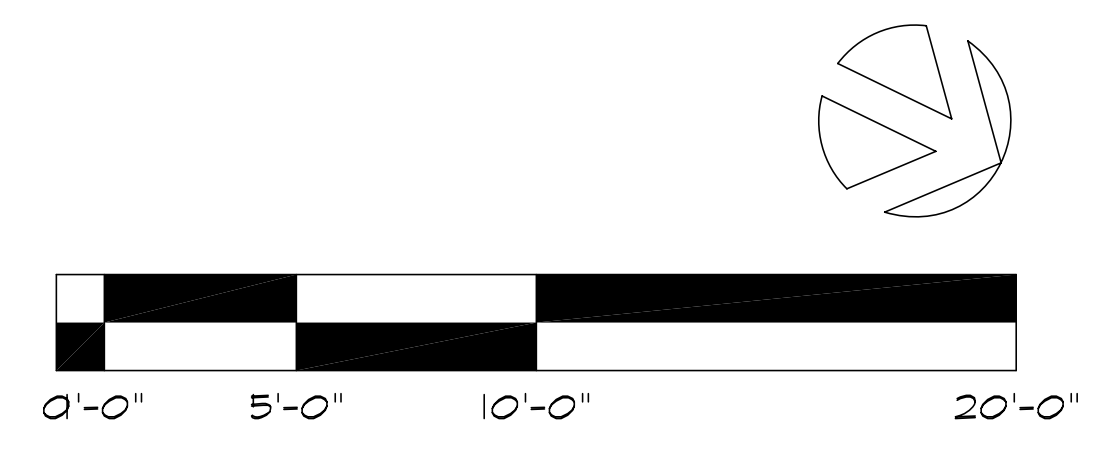
LEGEND AND NOTES

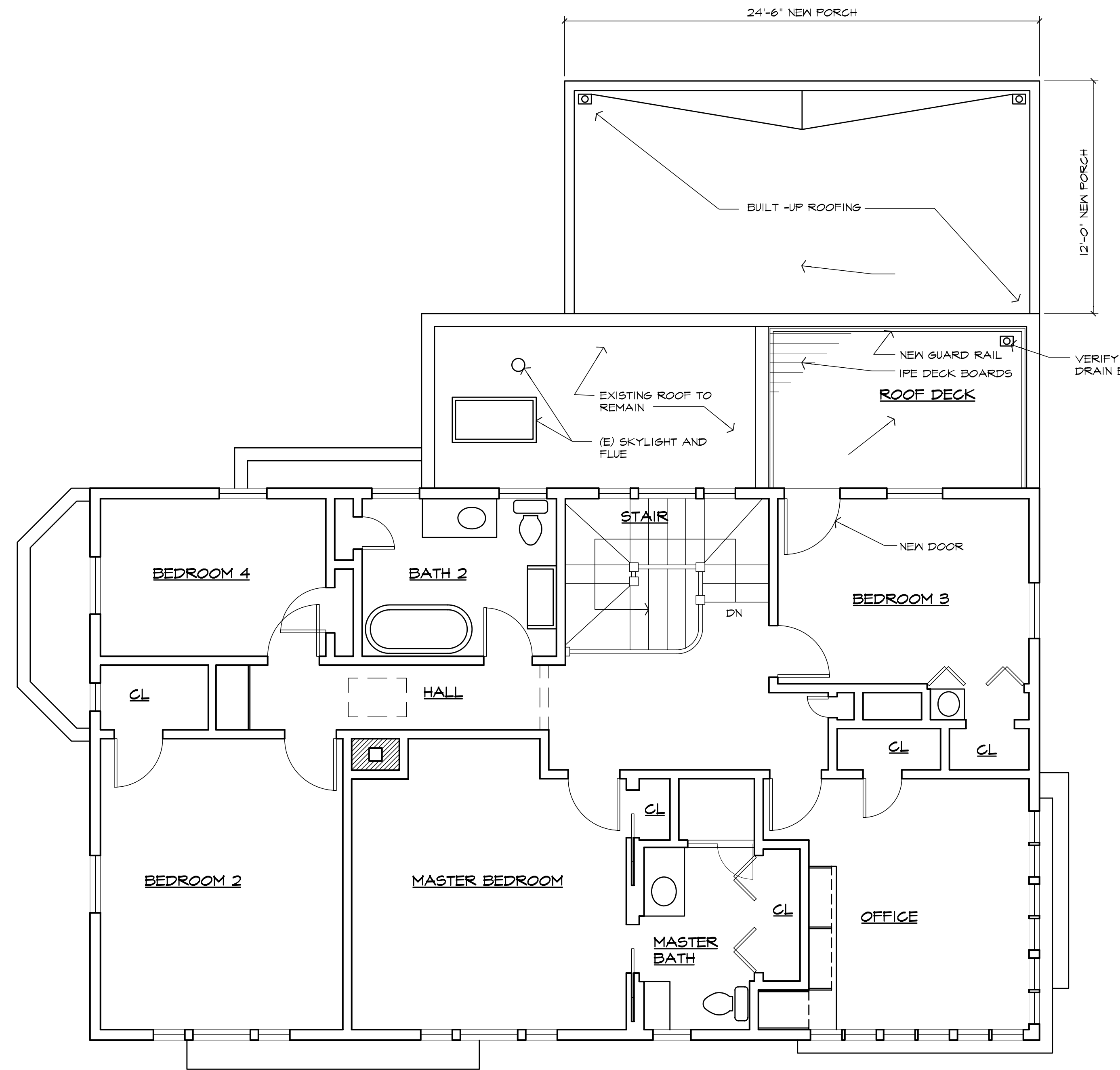
- NEW CONSTRUCTION. WALLS ARE 2X4 STUDS, TYPICAL, U.O.N.
- EXISTING CONSTRUCTION TO REMAIN
- ELEMENT ABOVE
- CABINET ABOVE OR ELEMENT BELOW
- WOOD SHELF AND ROD

FLOOR PLAN NOTES

- 1 CABINETS / SHELVING AS SELECTED BY OWNER
- 2 CLOSET SHELF AND POLE

First Floor Plan





LEGEND AND NOTES

- NEW CONSTRUCTION:
WALLS ARE 2X4 STUDS,
TYPICAL, U.O.N.
- EXISTING CONSTRUCTION TO REMAIN
- ELEMENT ABOVE
- CABINET ABOVE OR ELEMENT BELOW
- WOOD SHELF AND ROD

FLOOR PLAN NOTES

- 1 CABINETS / SHELVING AS SELECTED BY OWNER
- 2 CLOSET SHELF AND POLE

Submittal:

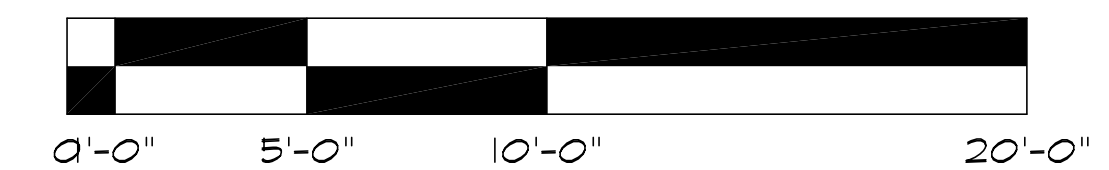
CLIENT REVIEW	6.12.14
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 Los Altos, California



Sheet Title
**SECOND FLOOR
 PROPOSED
 PLAN**


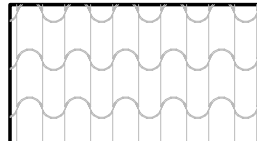


Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	

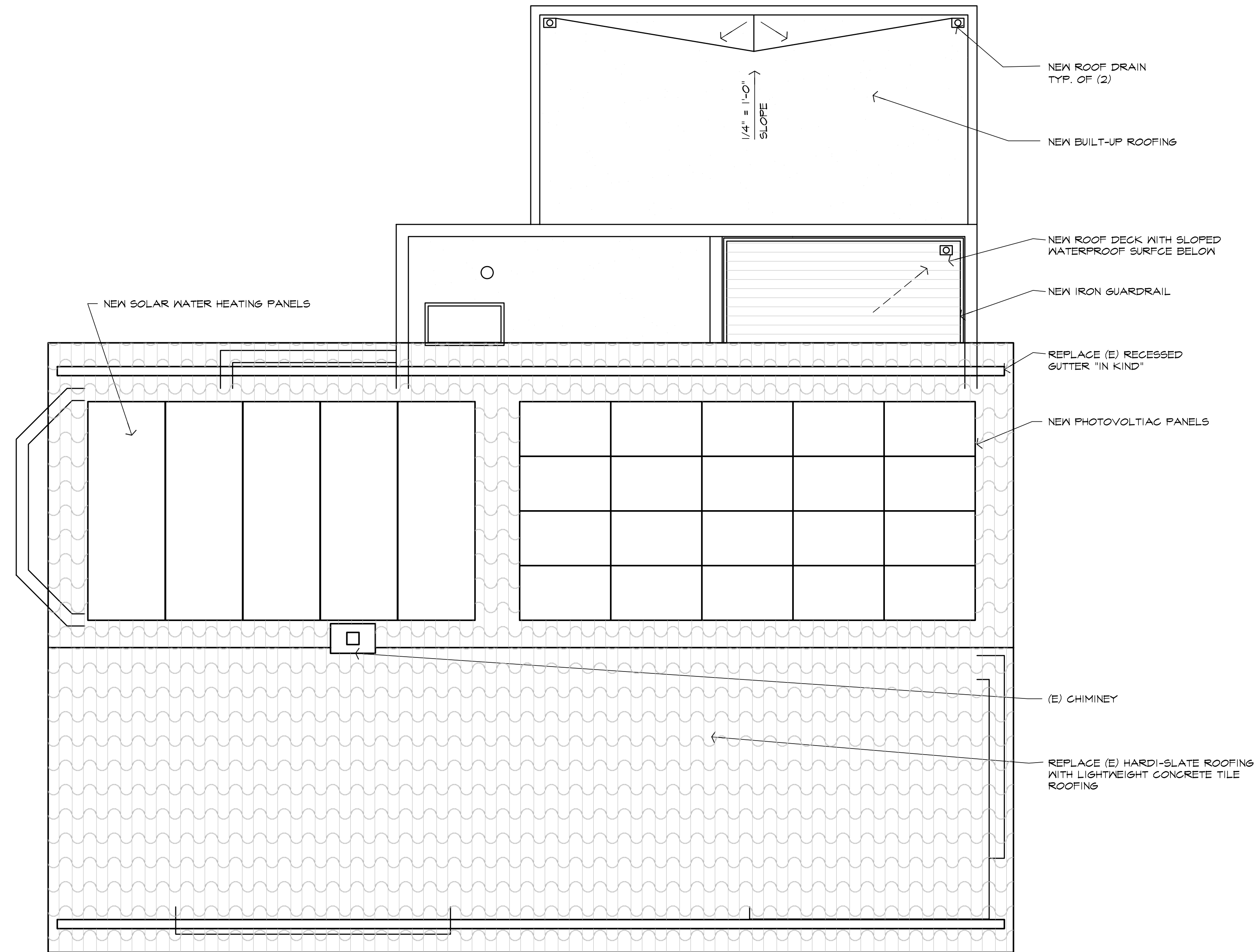


A2.4

○ Second Floor Plan

LEGEND AND NOTES

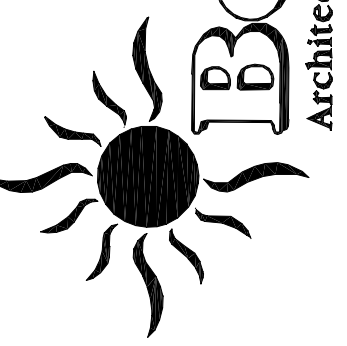
-  BUILT-UP ROOFING, 1/4 : 12 MINIMUM SLOPE
-  BUILT-UP ROOFING, 1/4 : 12 MINIMUM SLOPE
-  INDICATES DIRECTION OF DOWNSLOPE
-  DOWN SPOUT



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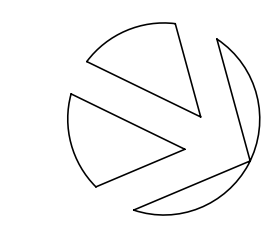
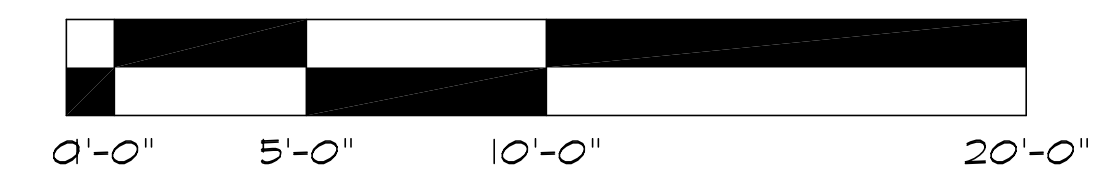
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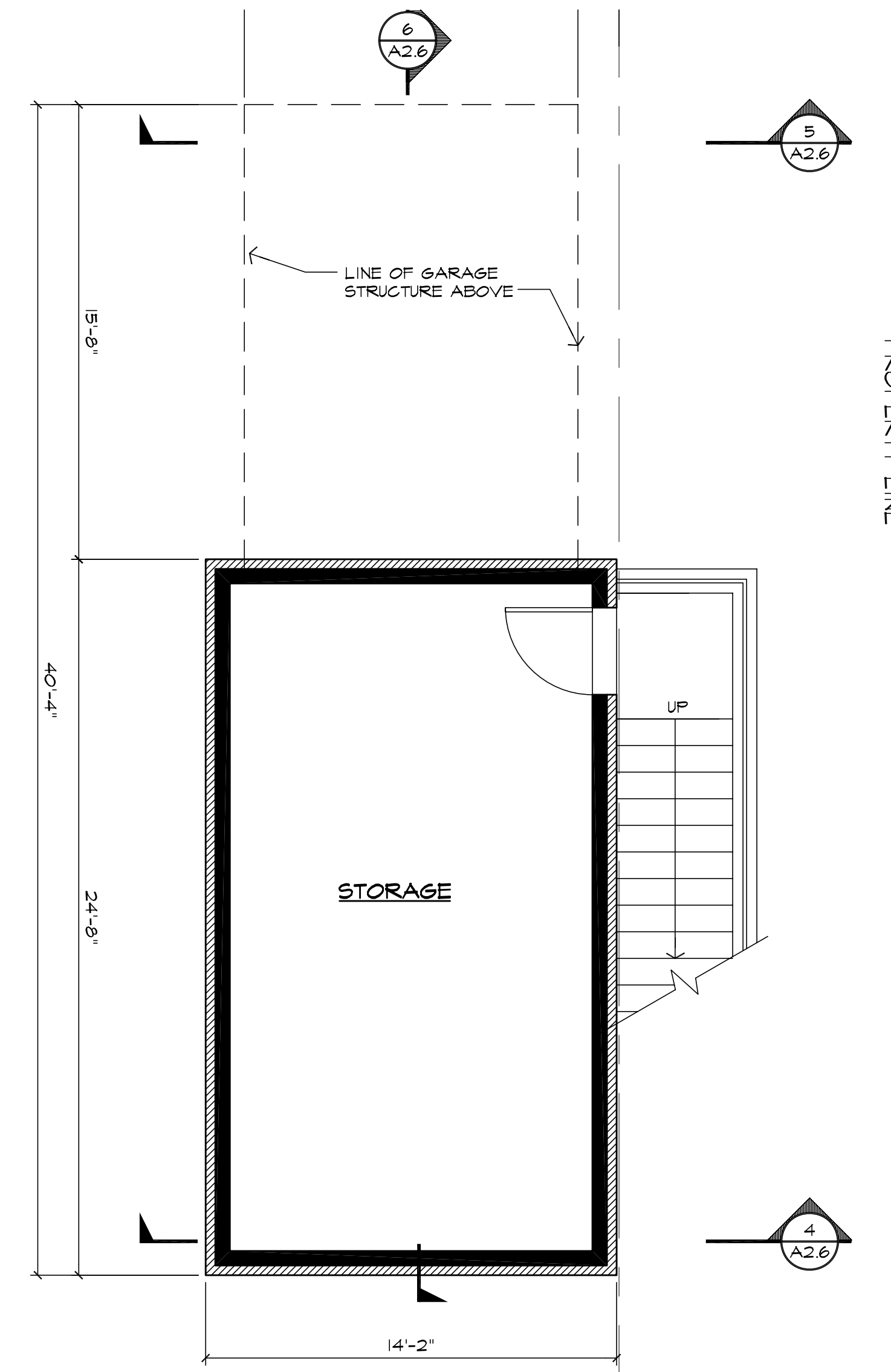
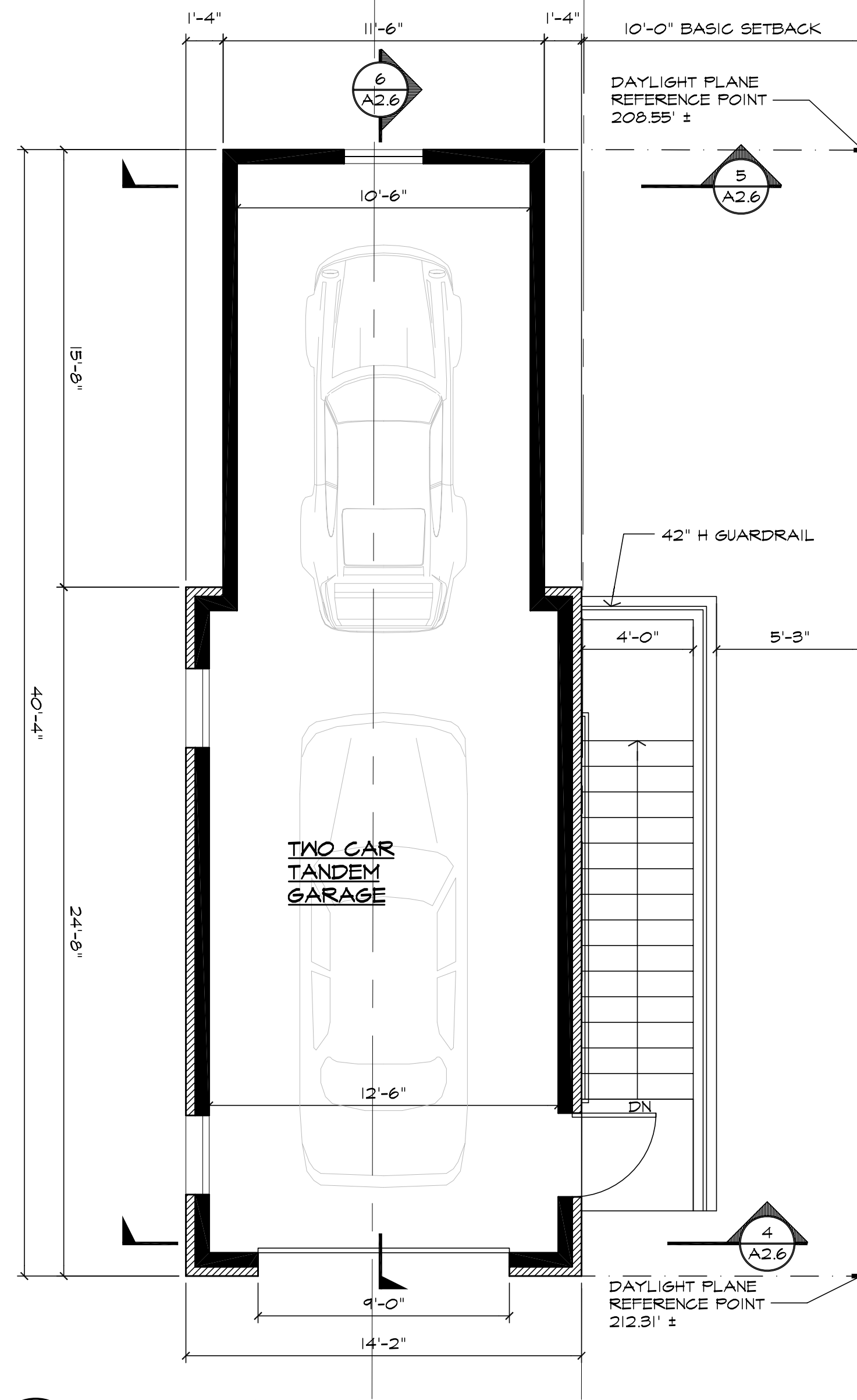
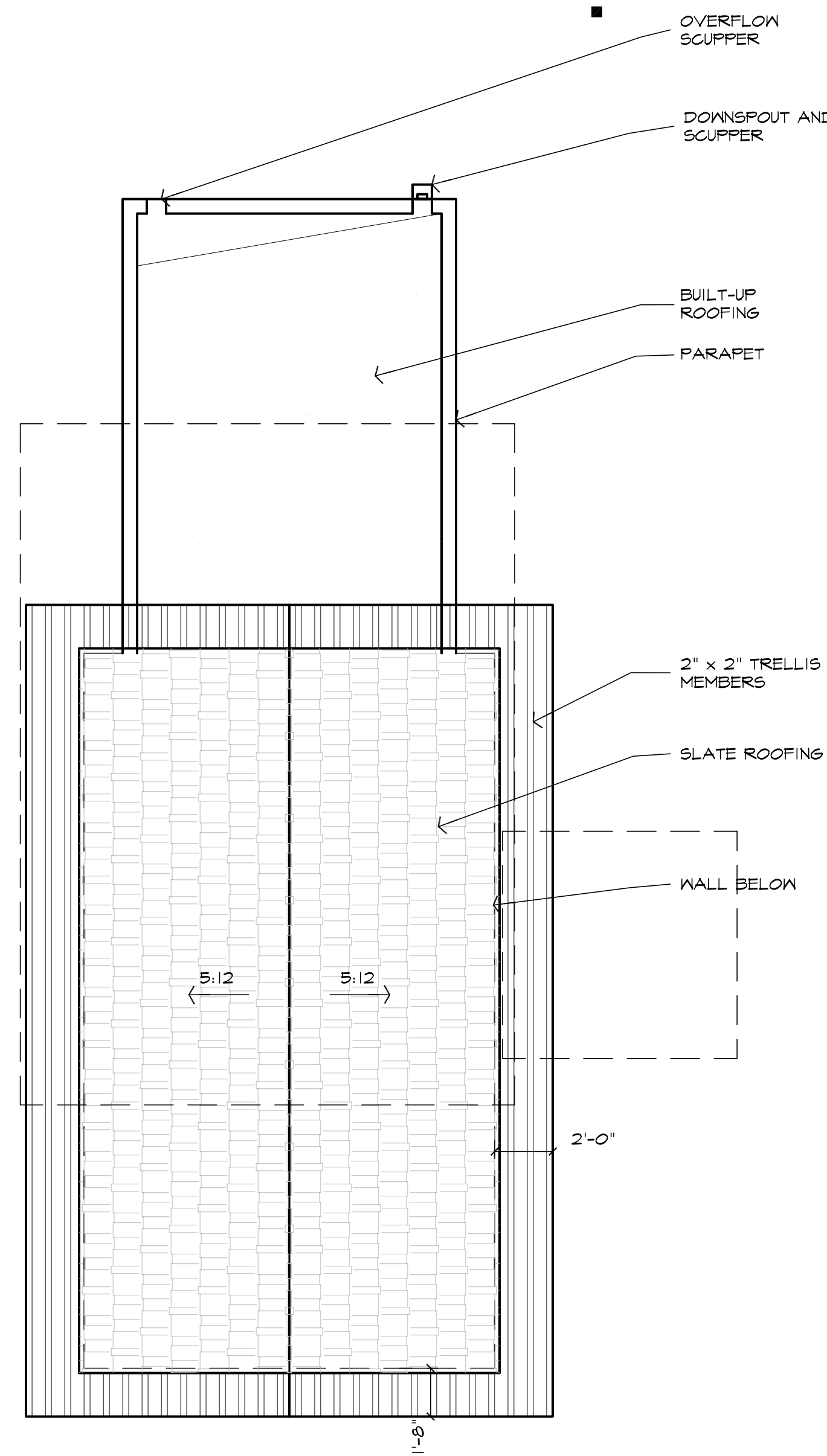
Beausoleil
 Architecture ♦ Planning ♦ Interiors
 745 Faxon Avenue ♦ San Francisco, CA 94112
 Tel. (415)587-2004 ♦ Fax (415)587-1853

Sheet Title
ROOF PLAN

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	



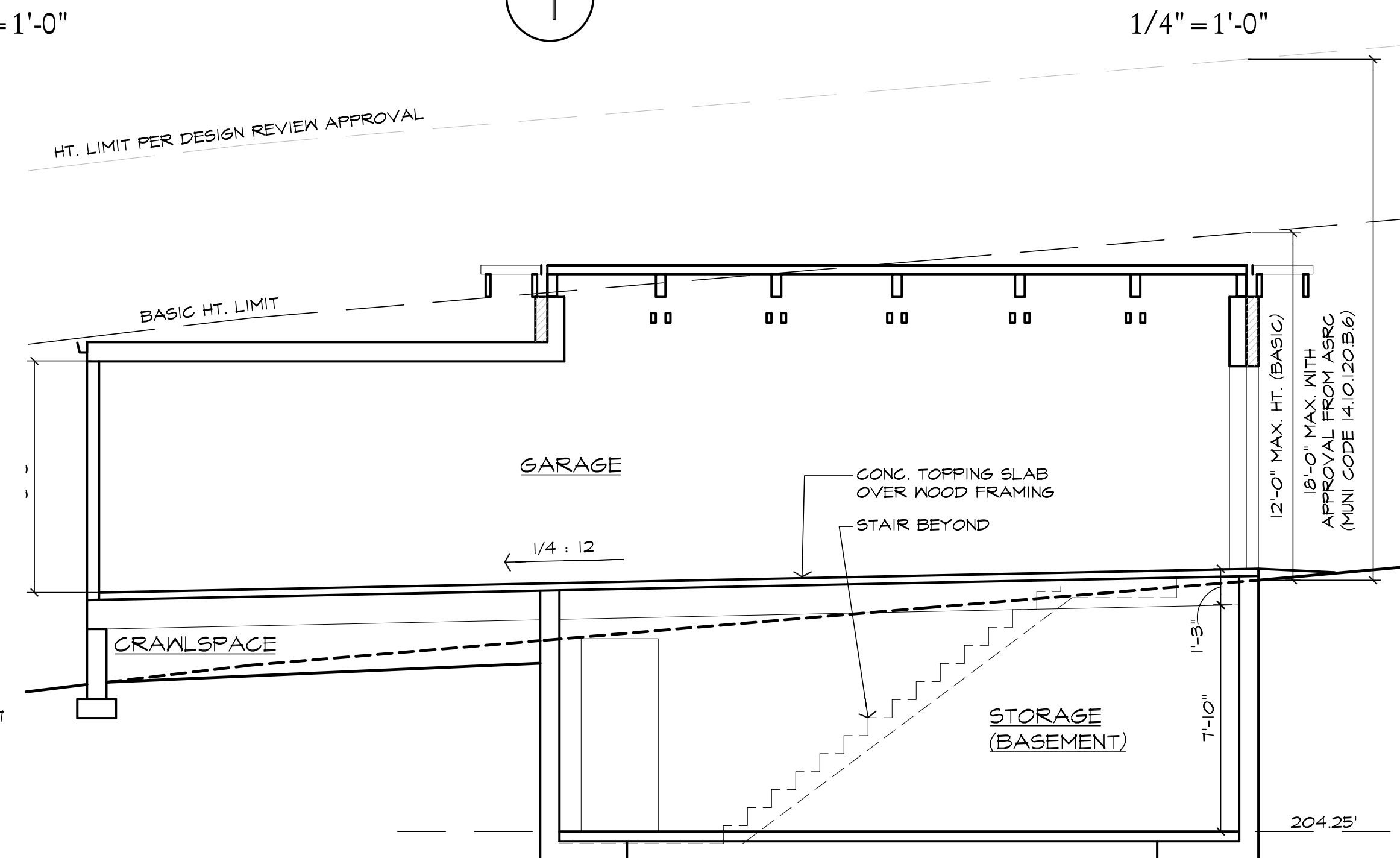
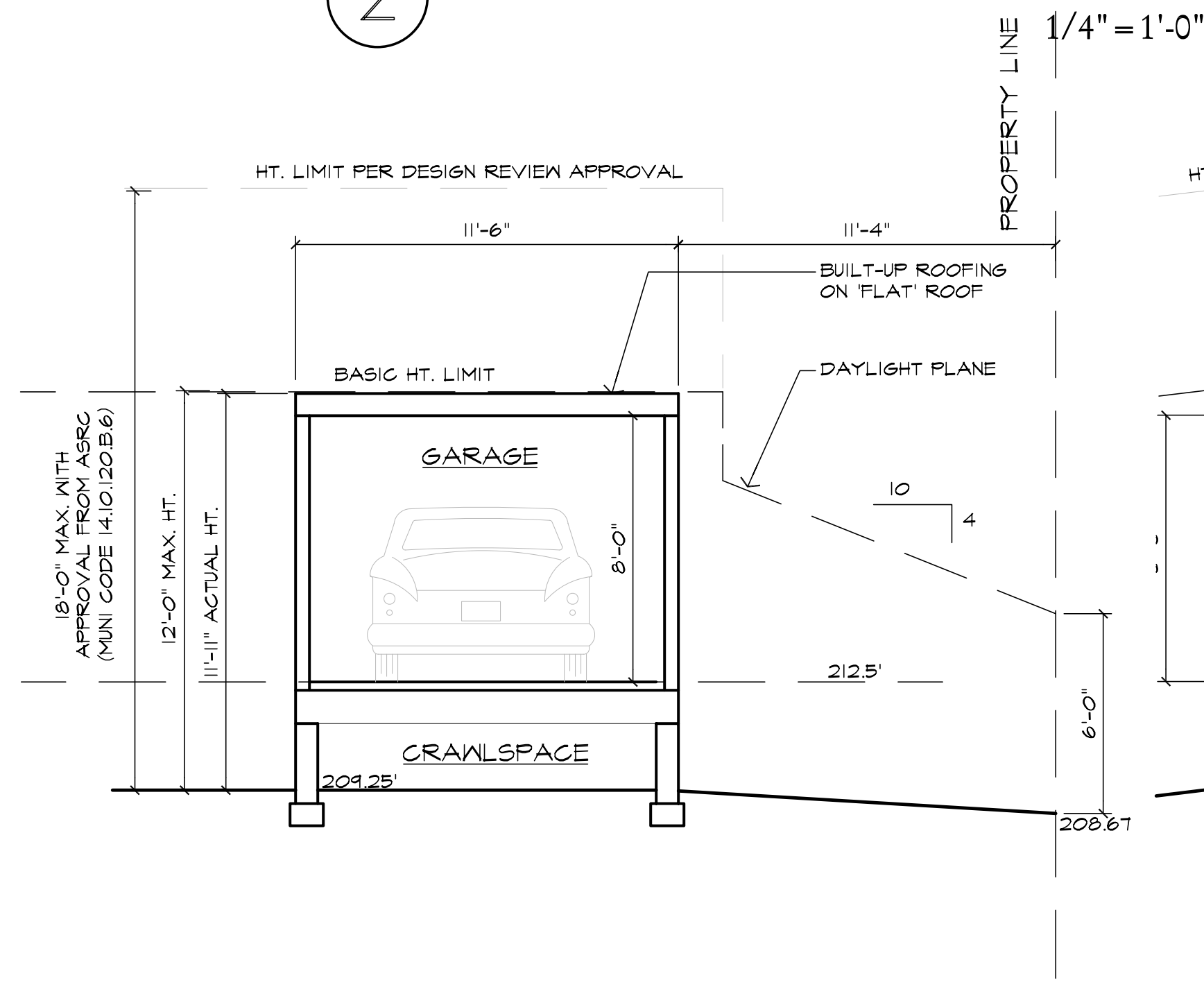
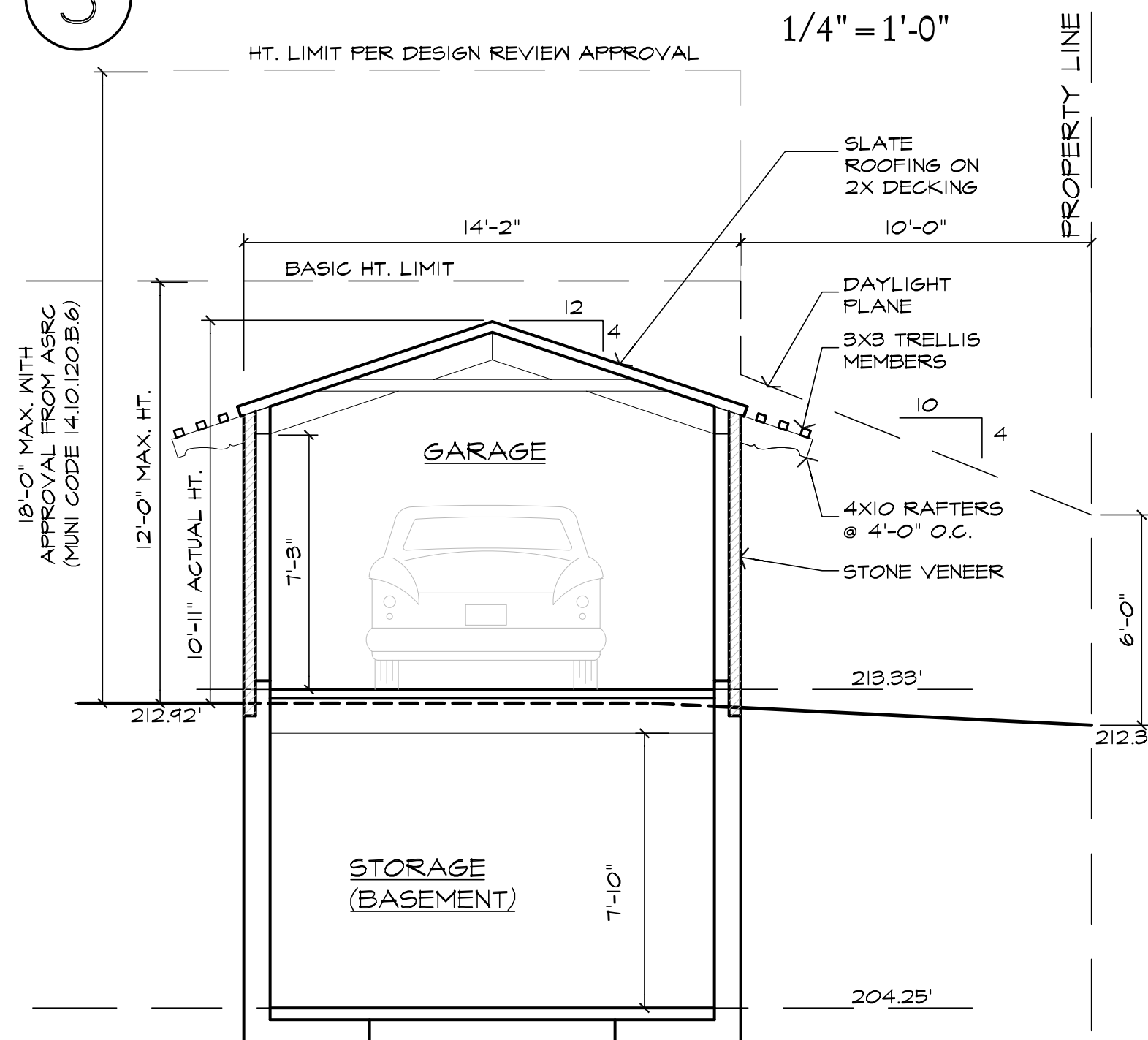
○ Roof Plan



3 Garage Roof Plan 1/4" = 1'-0"

2 Garage Floor Plan 1/4" = 1'-0"

1 Garage Basement Plan 1/4" = 1'-0"



6 Garage Section 1/4" = 1'-0"

5 Garage Section 1/4" = 1'-0"

4 Garage Section 1/4" = 1'-0"

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Sheet Title
 GARAGE PLAN
 ROOF PLAN
 AND SECTIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	

A2.6



1 Proposed East (Front) Elevation
1/4" = 1'-0"

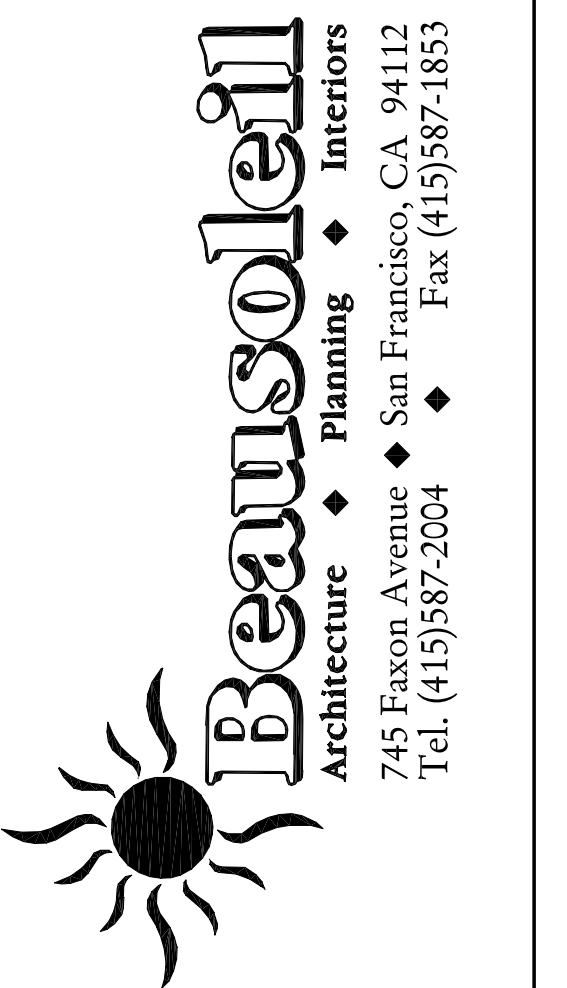


2 Existing East (Front) Elevation
1/4" = 1'-0"

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PLANNING REVIEW	7.21.14

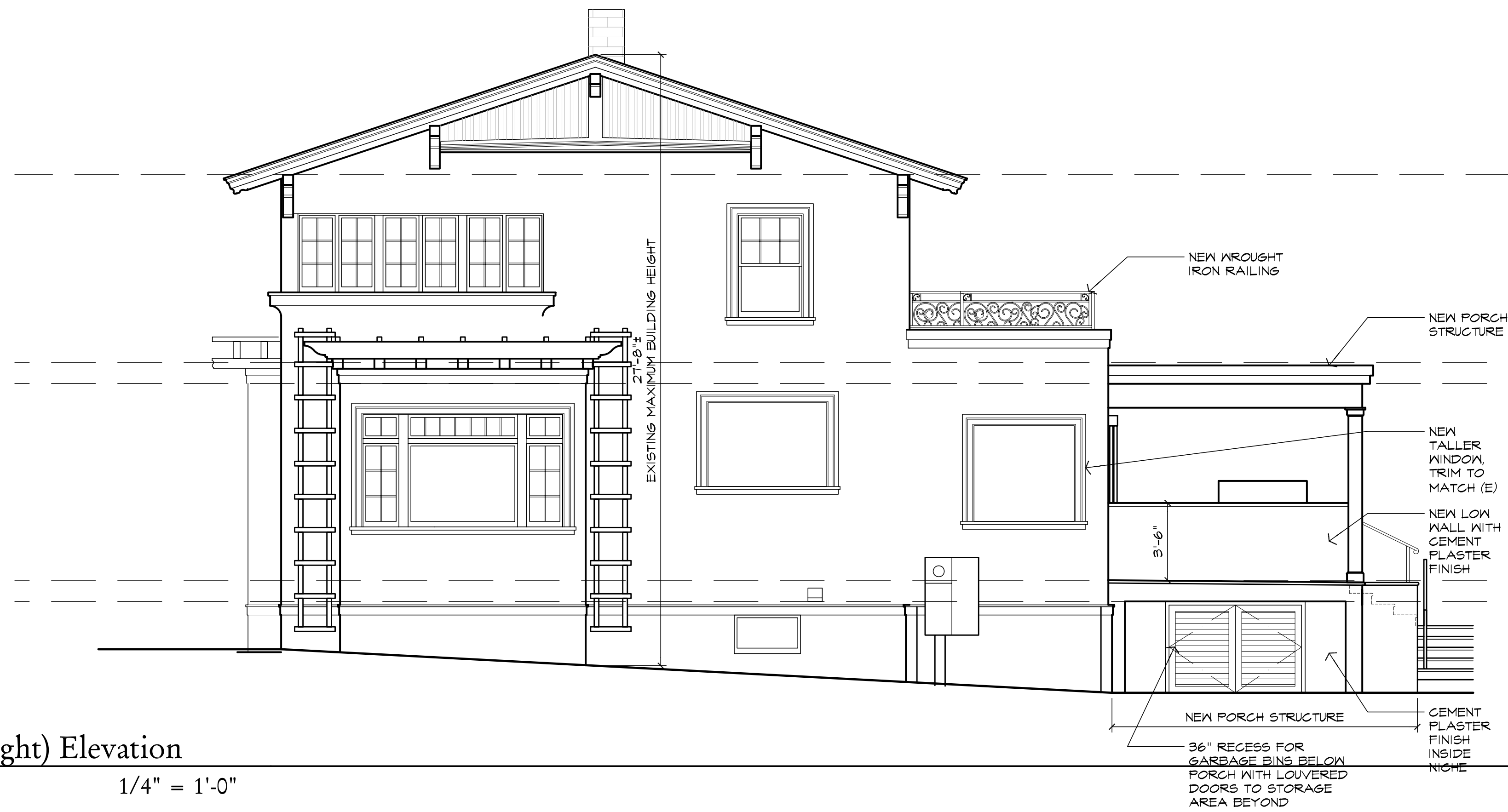
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452 University Avenue
Los Altos, California



Sheet Title
ELEVATIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	RB
Sheet No.	

A3.1



1 Proposed North (Right) Elevation

1/4" = 1'-0"



2 Existing North (Right) Elevation

1/4" = 1'-0"

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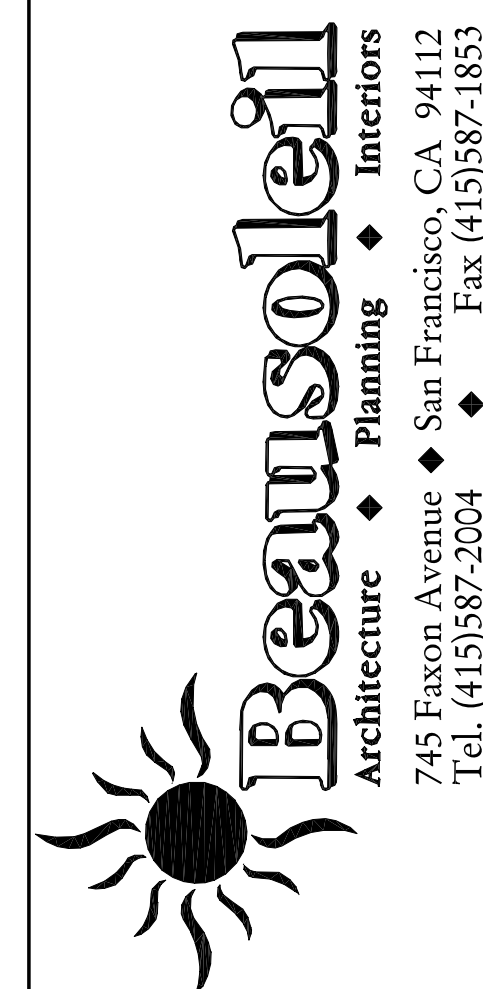
Sheet Title
 ELEVATIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	RB
Sheet No.	

A3.2

Submittal:	
CLIENT REVIEW	6.12.14
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1 Proposed West (Rear) Elevation
 1/4" = 1'-0"



2 Existing West (Rear) Elevation
 1/4" = 1'-0"

Sheet Title
 ELEVATIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	RB
Sheet No.	

A3.3



1 Proposed West (Left) Elevation

1/4" = 1'-0"



2 Existing West (Left) Elevation

1/4" = 1'-0"

Submittal:

CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14

Hitz Residence

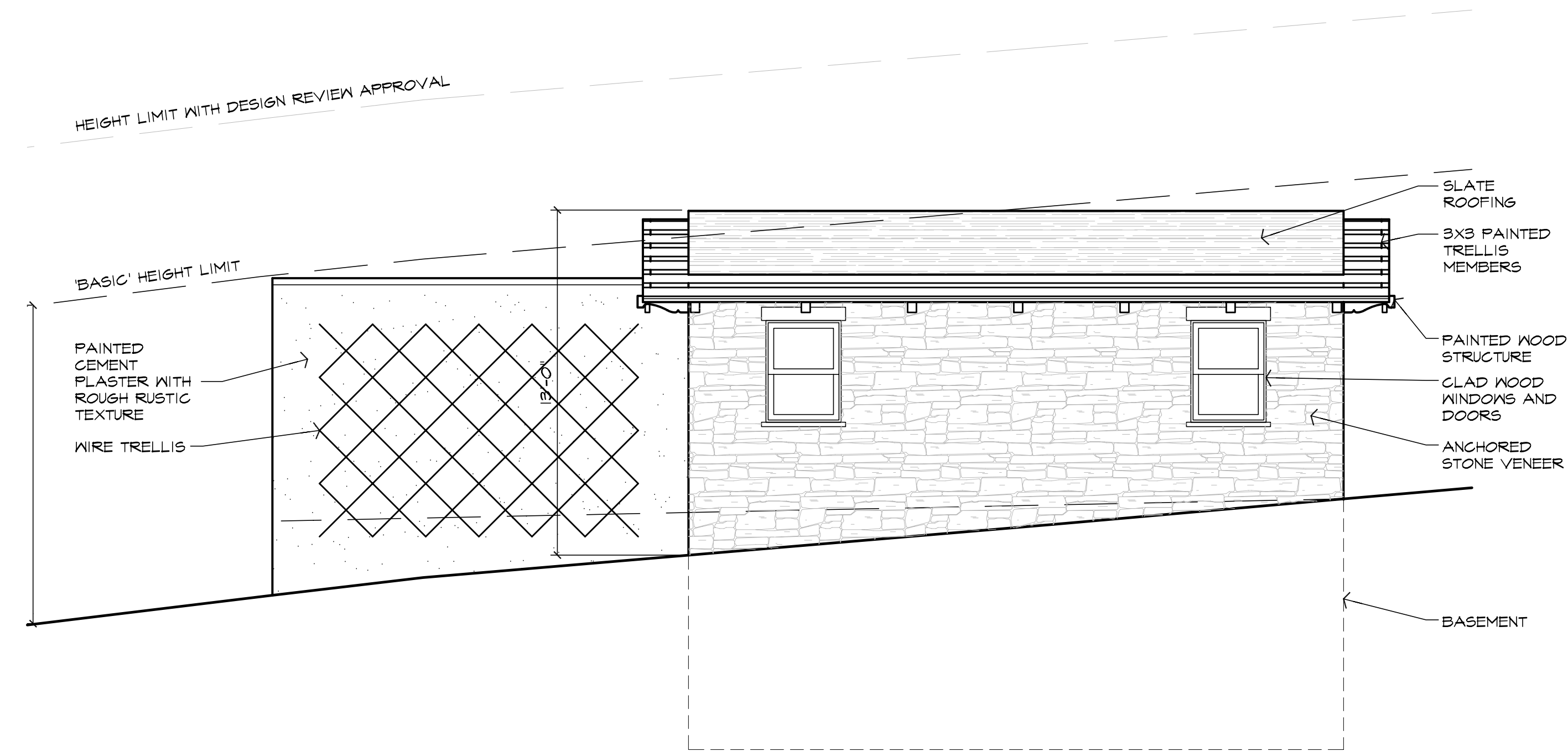
452 University Avenue
Los Altos, California



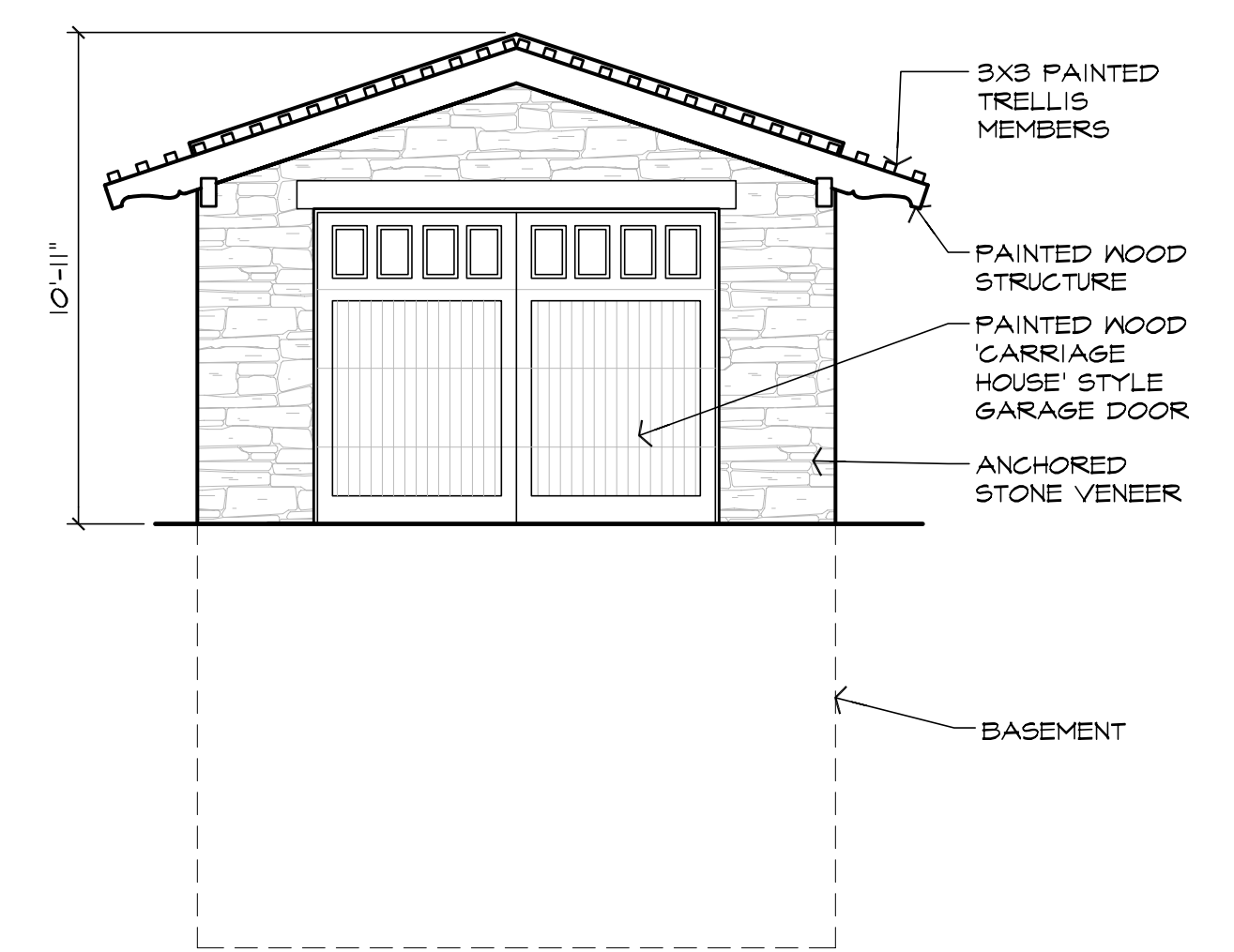
Sheet Title
ELEVATIONS

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	RB
Sheet No.	

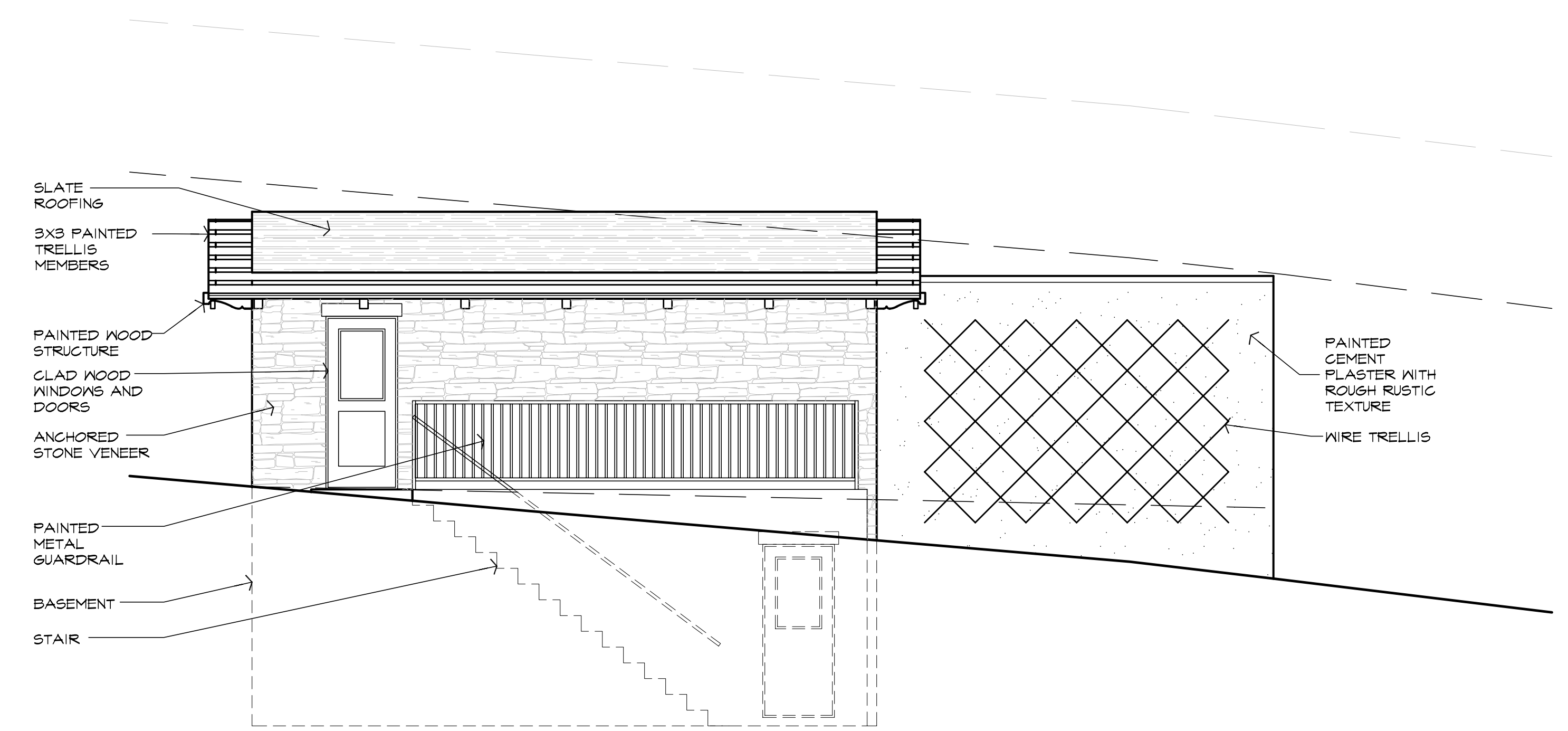
A3.4



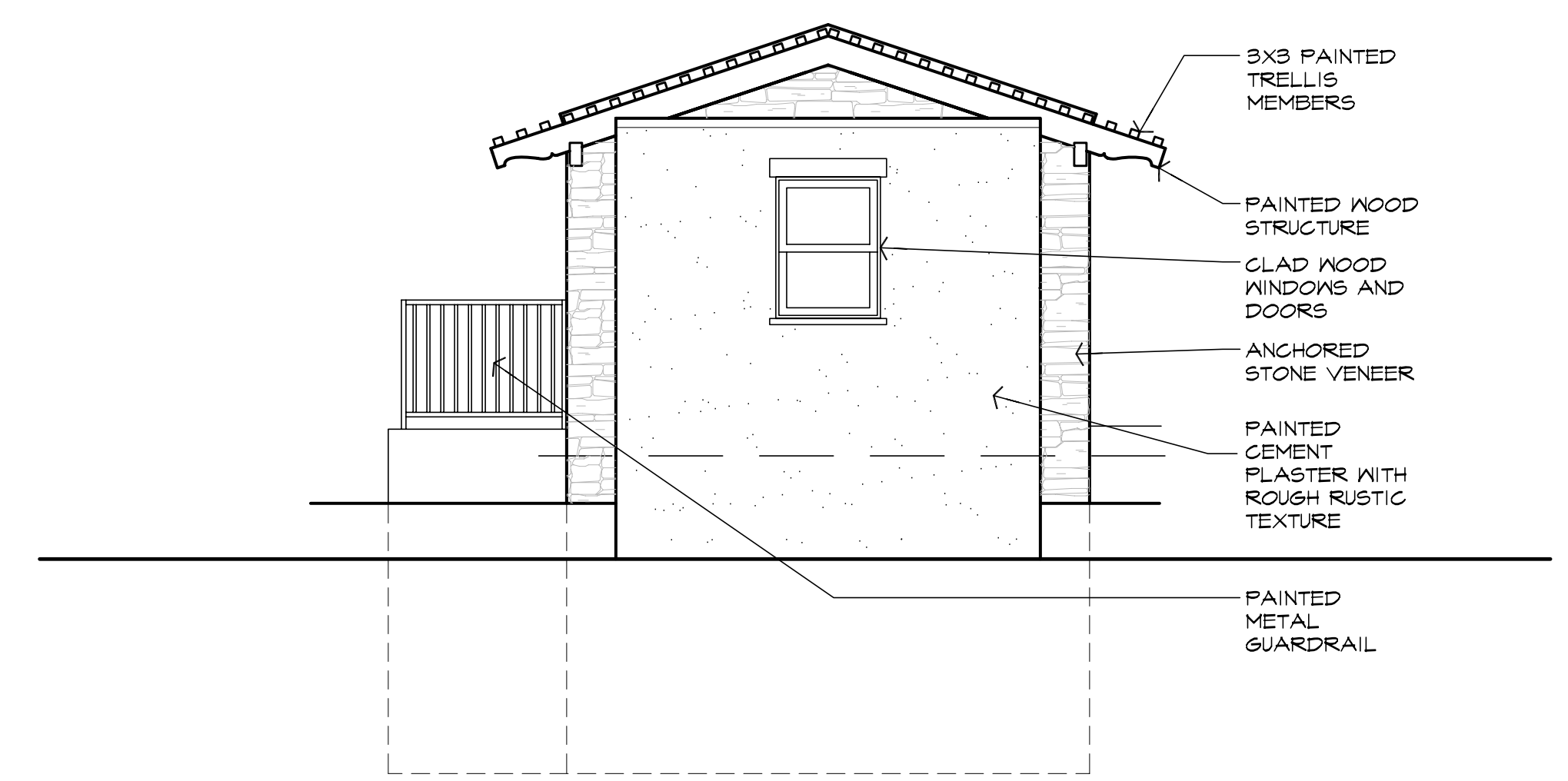
2 South (left side) Elevation



1 East (front) Elevation



4 North (right side) Elevation



3 West (rear) Elevation

Submittal:

CLIENT REVIEW	6.12.14
HISTORICAL REVIEW	7.1.14
PLANNING REVIEW	7.21.14

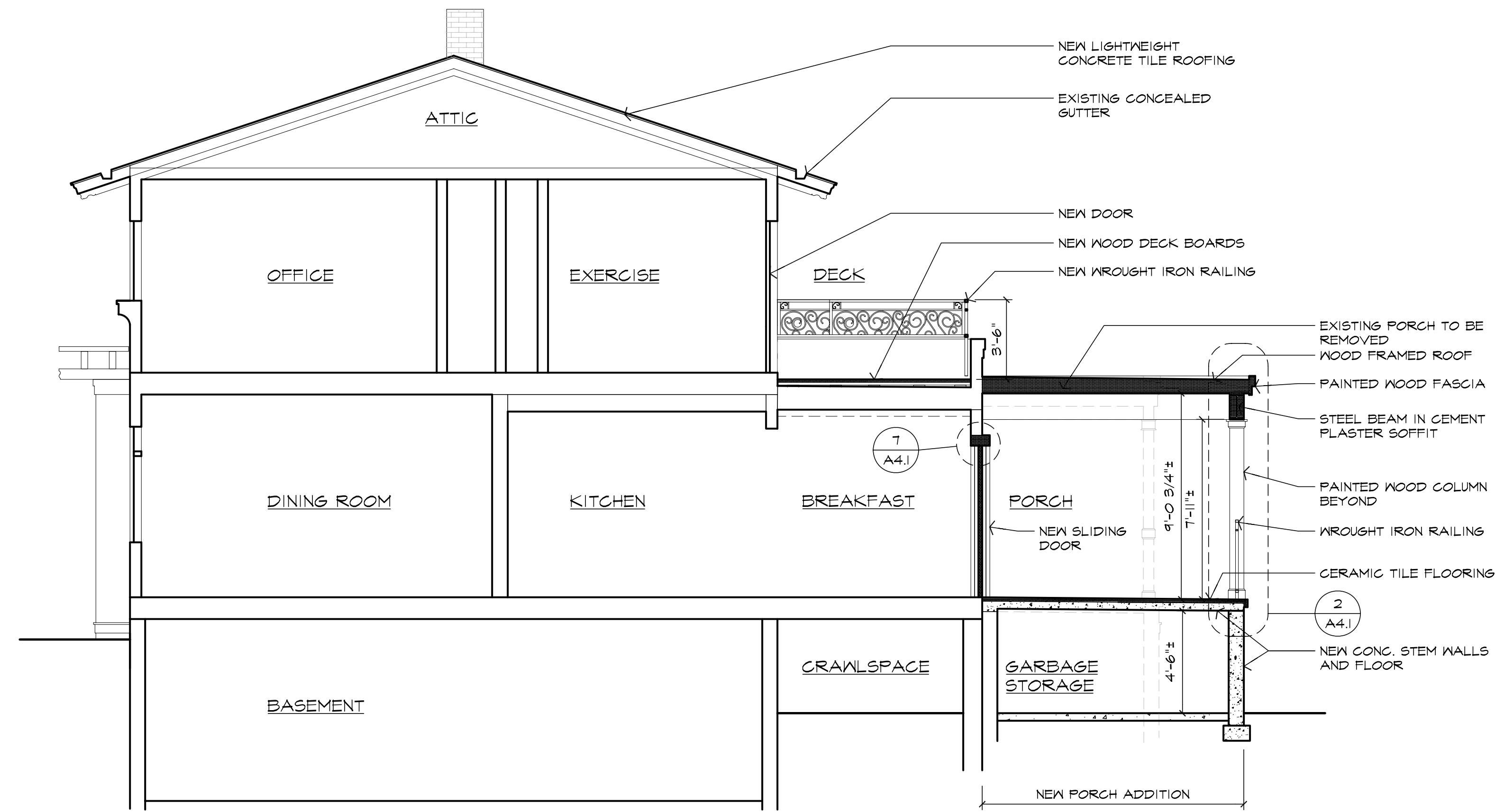
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 Los Altos, California



Sheet Title
 GARAGE ELEVATIONS AND SECTIONS

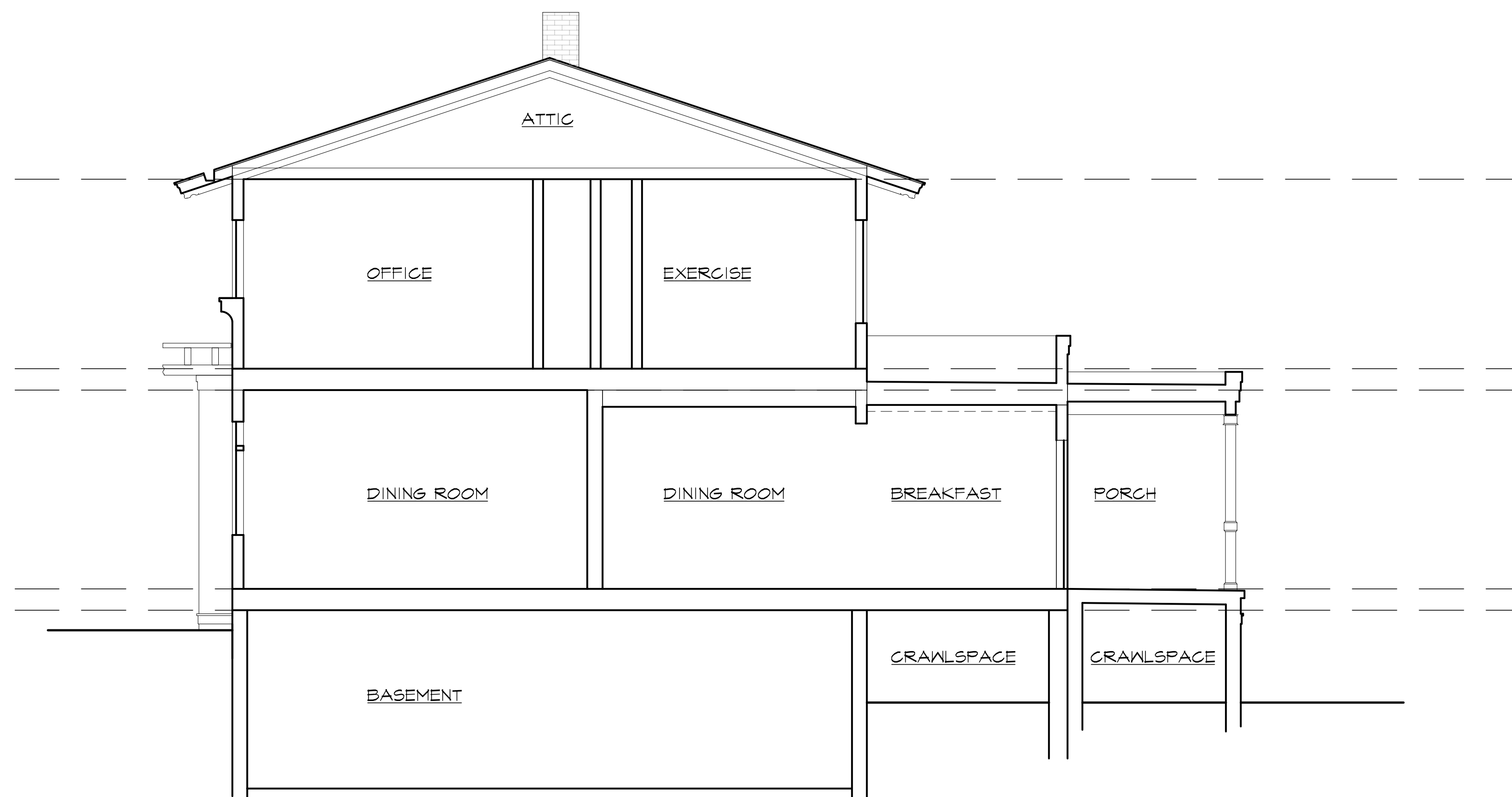
Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	CB/RB
Sheet No.	

A3.5



1 Proposed Section Through Kitchen

1/4" = 1'-0"



2 Existing Section Through Kitchen

1/4" = 1'-0"

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Hitz Residence

452 University Avenue
Los Altos, California

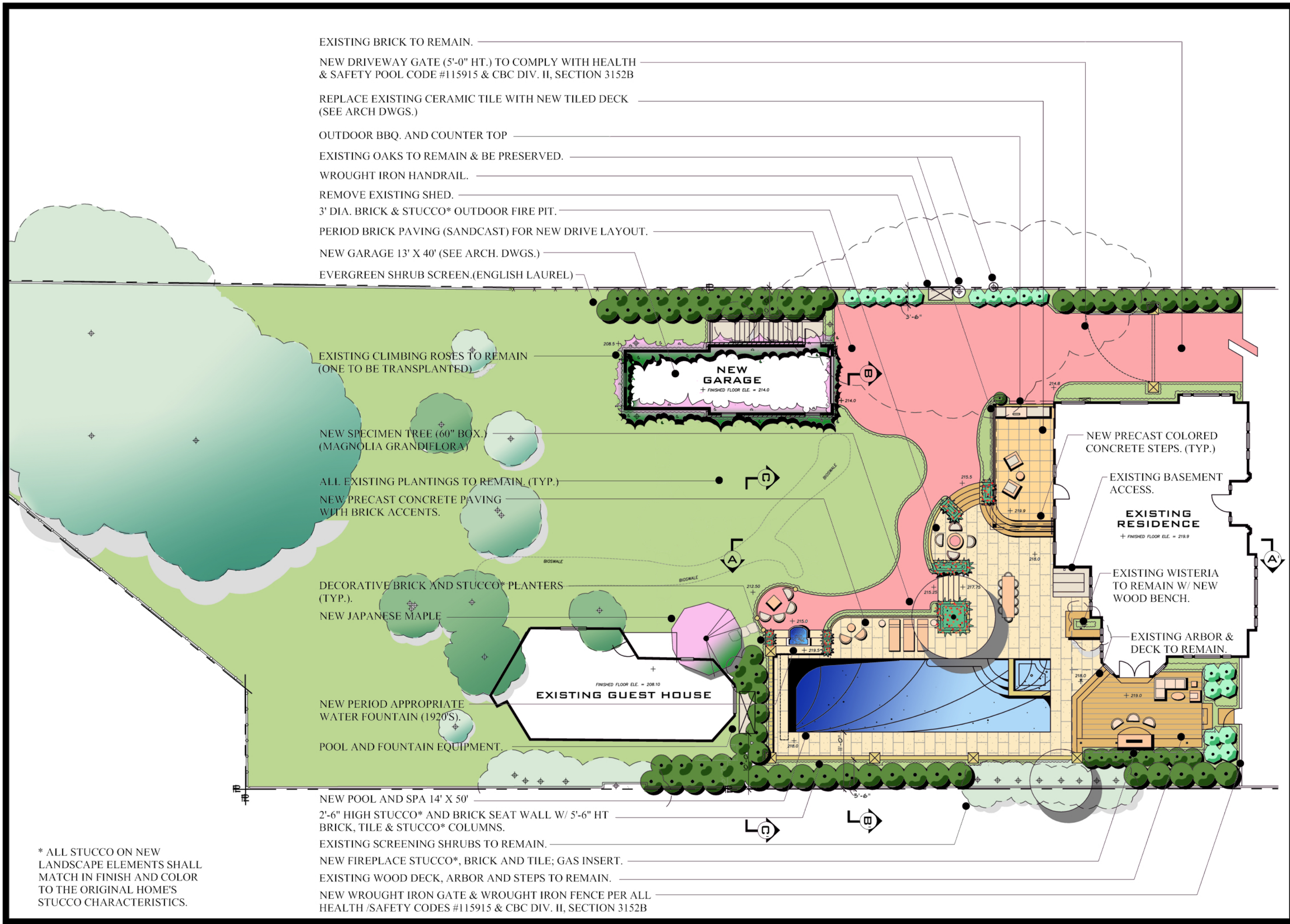


Sheet Title

BUILDING SECTION

Scale	1/4" = 1'-0"
Project No.	1407
Date	6.23.14
Drawn By	RB
Sheet No.	

A4



- EXISTING BRICK TO REMAIN.
- NEW DRIVEWAY GATE (5'-0" HT.) TO COMPLY WITH HEALTH & SAFETY POOL CODE #115915 & CBC DIV. II, SECTION 3152B
- REPLACE EXISTING CERAMIC TILE WITH NEW TILED DECK (SEE ARCH DWGS.)
- OUTDOOR BBQ. AND COUNTER TOP
- EXISTING OAKS TO REMAIN & BE PRESERVED.
- WROUGHT IRON HANDRAIL.
- REMOVE EXISTING SHED.
- 3' DIA. BRICK & STUCCO* OUTDOOR FIRE PIT.
- PERIOD BRICK PAVING (SANDCAST) FOR NEW DRIVE LAYOUT.
- NEW GARAGE 13' X 40' (SEE ARCH. DWGS.)
- EVERGREEN SHRUB SCREEN.(ENGLISH LAUREL)

- EXISTING CLIMBING ROSES TO REMAIN (ONE TO BE TRANSPLANTED)
- NEW SPECIMEN TREE (60" BOX.) (MAGNOLIA GRANDIFLORA)
- ALL EXISTING PLANTINGS TO REMAIN. (TYP.)
- NEW PRECAST CONCRETE PAVING WITH BRICK ACCENTS.

- DECORATIVE BRICK AND STUCCO* PLANTERS (TYP.)
- NEW JAPANESE MAPLE
- NEW PERIOD APPROPRIATE WATER FOUNTAIN (1920'S).
- POOL AND FOUNTAIN EQUIPMENT.

- NEW POOL AND SPA 14' X 50'
- 2'-6" HIGH STUCCO* AND BRICK SEAT WALL W/ 5'-6" HT BRICK, TILE & STUCCO* COLUMNS.
- EXISTING SCREENING SHRUBS TO REMAIN.
- NEW FIREPLACE STUCCO*, BRICK AND TILE; GAS INSERT.
- EXISTING WOOD DECK, ARBOR AND STEPS TO REMAIN.
- NEW WROUGHT IRON GATE & WROUGHT IRON FENCE PER ALL HEALTH /SAFETY CODES #115915 & CBC DIV. II, SECTION 3152B

* ALL STUCCO ON NEW LANDSCAPE ELEMENTS SHALL MATCH IN FINISH AND COLOR TO THE ORIGINAL HOME'S STUCCO CHARACTERISTICS.

ROBERT MOWAT ASSOCIATES
 LANDSCAPE ARCHITECTURE + LAND PLANNING
 2068 Third Street Suite 6 San Francisco, California 94107
 Phone 415.777.4656 Fax 415.777.0420
 www.rmatlandscape.com

HITZ RESIDENCE
 452 University Ave
 Los Altos, Ca 94022

PRELIMINARY
 LANDSCAPE
 PLAN

DATE 6-30-14
 REVISIONS

SCALE 1/8"=1'-0"
 NORTH

SHEET
LP-1
 OF 4

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LAYOUT LEGEND

- — — — — PROPERTY LINE
- — — — — INDICATES EXISTING LANDSCAPE
- — — — — INDICATES NEW LANDSCAPE
- X — X — X INDICATES EXISTING WIRE FENCE
- — — — — INDICATES EXISTING WOOD FENCE
- — — — — INDICATES EXISTING STEEL FENCE
- ⊕ EXISTING TREES OR SHRUBS
- — — — — EXISTING TREE CANOPY

IMPERVIOUS SURFACE CALCULATIONS

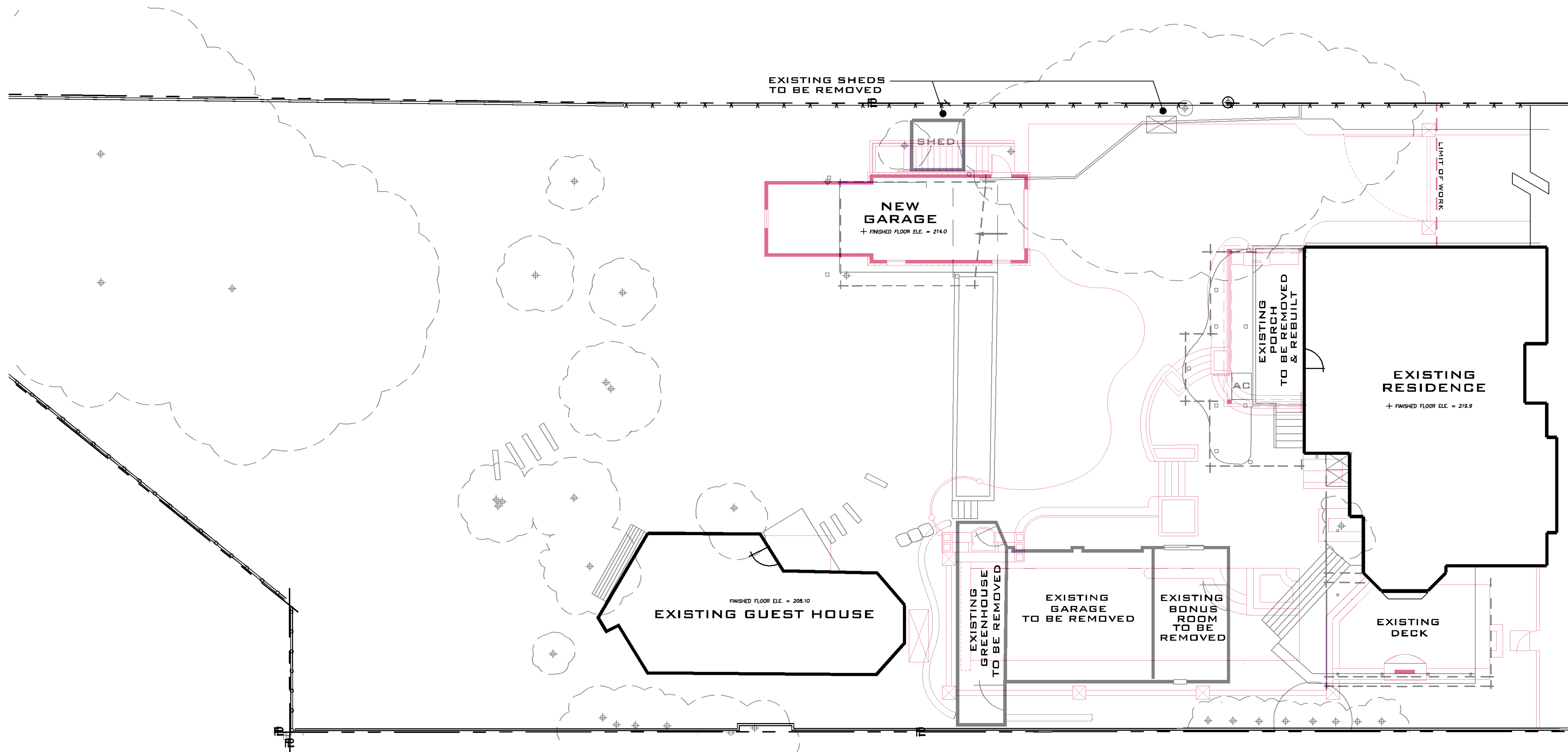
EXISTING

EXISTING GARAGE, GREENHOUSE, BONUS ROOM AND SHED TO BE REMOVED – 963 S.F.
 EXISTING PORCH TO BE REMODELED – 218 S.F.
 EXISTING DECK TO BE REMOVED – 182 S.F.
 EXISTING DRIVEWAY AND HARDSCAPE TO BE REMOVED – 3,561 S.F.
 TOTAL IMPERVIOUS SURFACE REMOVED – 4,924 S.F.

NEW

NEW GARAGE – 580 S.F.
 NEW PORCH – 278 S.F.
 NEW DECK – 31 S.F.
 NEW POOL AND SPA – 700 S.F.
 NEW DRIVEWAY AND HARDSCAPE – 3,039 S.F.
 TOTAL IMPERVIOUS SURFACE ADDED – 4,628 S.F.

NET IMPERVIOUS COVERAGE = (-296) S.F.



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HITZ RESIDENCE
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 Los Altos, Ca 94022

EXISTING AND NEW
 OVERLAY
 SITE PLAN

DATE: 6-30-14
 REVISIONS:

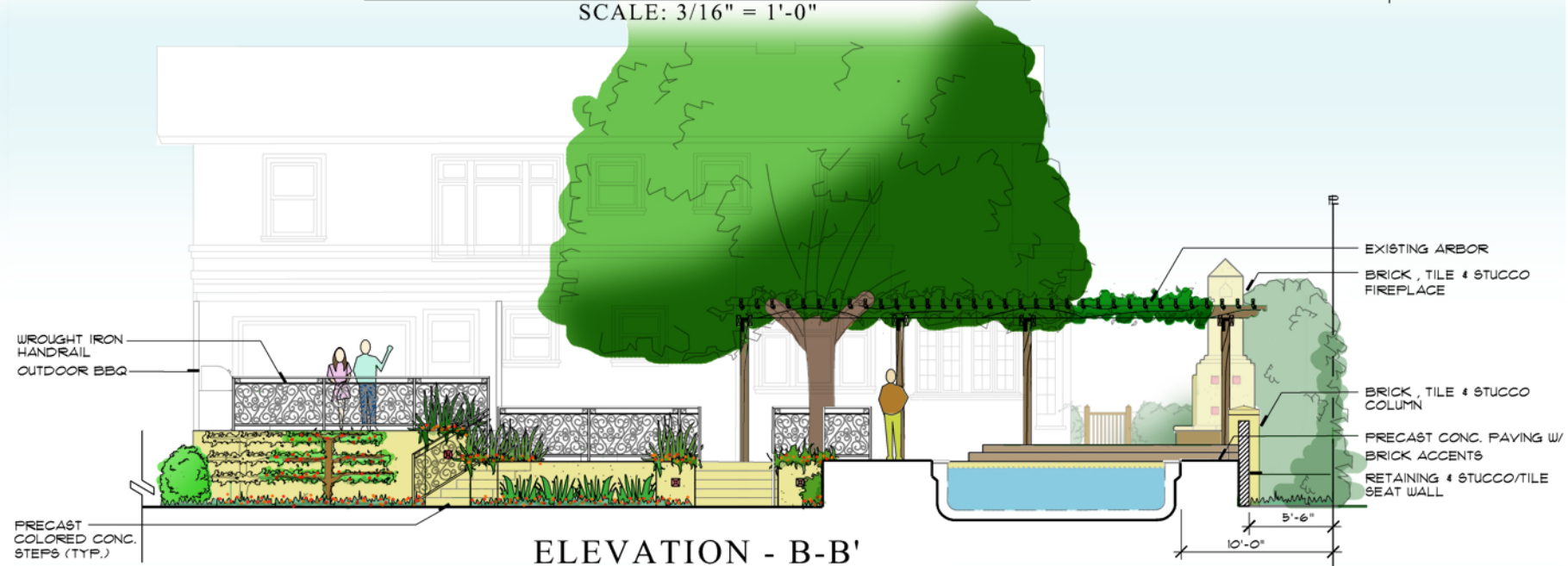
SCALE: 1/8"=1'-0"
 NORTH

SHEET
LP-2
 OF 4

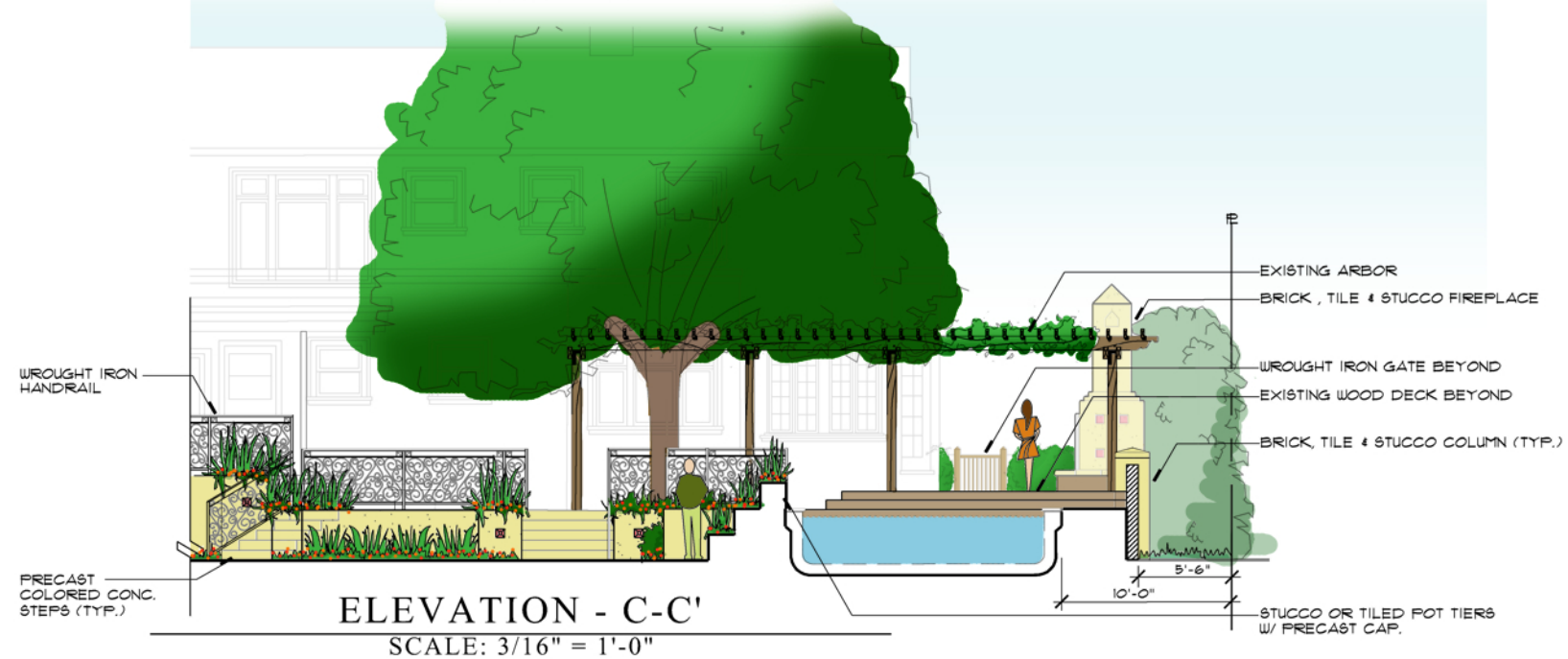
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ELEVATION - A-A'
SCALE: 3/16" = 1'-0"



ELEVATION - B-B'
SCALE: 3/16" = 1'-0"



ELEVATION - C-C'
SCALE: 3/16" = 1'-0"



PRECAST CONCRETE STEPS



PRECAST CONCRETE PAVING



RUSTIC CUT CARMEL VALLEY STONE
W/ BRICK ACCENTS.



TILE



WROUGHT IRON RAILING
(DESIGN TO BE DETERMINED)