



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

YAMAMURA-GREEN RESIDENCE

NEW SINGLE FAMILY RESIDENCE



959 ALTOS OAKS DRIVE, LOS ALTOS, CA 94024

YAMAMURA-GREEN RESIDENCE
NEW SINGLE FAMILY RESIDENCE

959 Altos Oaks Drive, Los Altos, CA 94024

Kayo Yamamura & Mark Green

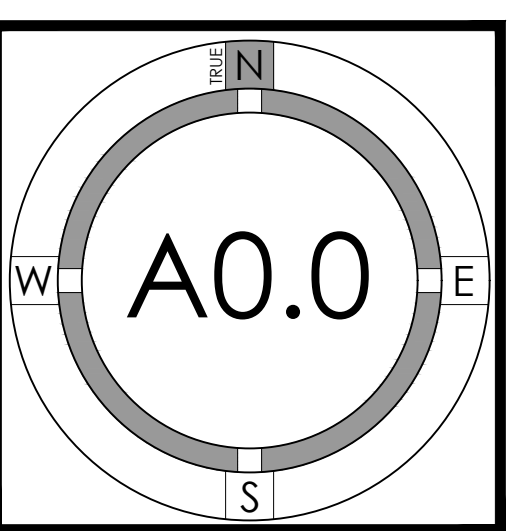
FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION

LOCATION MAP	SCOPE OF WORK	DEFERRED SUBMITTALS	SHEET INDEX	PROJECT TEAM																																																																																												
	<p>DEMO OF AN EXISTING HOUSE ON A 10,631 S.F. LOT. NEW CONSTRUCTION TO BE 2 STORY 3 BR AND 3.5 BA SINGLE FAMILY RESIDENCE WITH 3,238.0 LIVING S.F., 481.5 S.F. GARAGE, TOTALING 3,719.5 S.F.</p>	<ol style="list-style-type: none"> FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN" STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D 	<p>ARCHITECTURAL</p> <ul style="list-style-type: none"> A0.0 COVER SHEET A0.2 FLOOR AREA CALCULATIONS A0.3 STREETS CAPES A0.4 NEIGHBORHOOD CONTEXT A1.0a SITE PLAN A1.0b DEMOLITION SITE PLAN A2.0a 1ST FLOOR PLAN A2.0b 2ND FLOOR PLAN A2.2a LOWER ROOF PLAN A2.2b UPPER ROOF PLAN A3.0a EXTERIOR ELEVATIONS A3.0b EXTERIOR ELEVATIONS A3.0c EXTERIOR ELEVATIONS-DAYLIGHT PLANE A3.1 EXTERIOR PERSPECTIVES A3.2 EXTERIOR PERSPECTIVES A3.3 DAYLIGHT PLANE A5.0 SECTIONS 	<p>OWNER Kayo Yamamura & Mark Green 959 Altos Oaks Drive, Los Altos, CA 94024 email: kayo.yamamura@sbcglobal.net green.mark@sbcglobal.net</p>																																																																																												
	<h3>PROJECT SUMMARY</h3> <table border="1"> <tr> <td>Assessor's Parcel No.</td> <td>189-12-038</td> </tr> <tr> <td>Zoning</td> <td>R1-10 City of Los Altos</td> </tr> <tr> <td>Type of Construction</td> <td>TYPE V-B, SPRINKLERED (NFPA 13D)</td> </tr> <tr> <td>Building Occ. 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Groups	R-3/U (SINGLE FAMILY RESIDENTIAL)	NET LOT AREA:	10,631.0	FRONT YARD HARDSCAPE AREA:	476.00	TOTAL AREA AT FRONT YARD:	2,500.00	HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%:	27.04%	TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):	4,789	EXISTING SOFTSCAPE (UNDISTURBED) AREA:	0.0	NEW SOFTSCAPE AREA:	5,842	SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA	10,631.0 S.F.		EXISTING (±)	PROPOSED	ALLOWED/REQUIRED	LOT COVERAGE:	2,357.9	2,842.80	3,187.3	LAND AREA COVERED BY ALL STRUCTURES THAT ARE COVER 6 FEET IN HEIGHT	S.F.	S.F.	S.F.	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S.F.	<h3>REQ'D CONTRACTOR SUBMITTALS TO ARCHITECT</h3> <p>THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:</p> <ol style="list-style-type: none"> WINDOW/DOOR PACKAGE CABINET SHOP DRAWINGS AND FINISH SAMPLES MECHANICAL DUCTING PLAN STAIR AND RAIL SHOP DRAWINGS <p>NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.</p>	<p>CIVIL</p> <ul style="list-style-type: none"> C.0 TOPOGRAPHIC SURVEY C.1 GRADING & DRAINAGE PLAN C.2 EROSION CONTROL PLAN C.3 UTILITY COORDINATION PLAN C.4 DETAILS <p>LANDSCAPE</p> <ul style="list-style-type: none"> L.1 LANDSCAPE PLAN L.2 IRRIGATION PLAN <p>ARBORIST</p> <ul style="list-style-type: none"> ARI.0 ARBORIST REPORT 	<p>ARCHITECT/LANDSCAPE Studio S Squared Architecture, Inc. 1000 S Winchester Blvd San Jose, CA 95128 attn: Isabeau Guglielmo email: lsabeau@studios2arch.com</p> <p>STRUCTURAL ENGINEER BCA Structural Engineering attn: Geoff Clifford geoff@BCAeng.net</p> <p>GEOTECHNICAL ENGINEER Romig Engineers, Inc. attn: Lucas Ottoboni email: lucas@romigengineers.com</p> <p>CIVIL ENGINEER WEC & Associates attn: Ed Wu email: ed@weceng.com</p> <p>LANDSCAPE ARCHITECT Studio S Squared Architecture, Inc. 1000 S Winchester Blvd San Jose, CA 95128 attn: Greg Ing email: greg@studios2arch.com</p> <p>ARBORIST Kielty Certified Arborist attn: Kevin Kielty email: kkarbor0476@yahoo.com</p>
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		<h3>APPLICABLE CODES</h3> <p>APPLICABLE CODES (with City of Los Altos Amendments)</p> <ul style="list-style-type: none"> -2019 CALIFORNIA ADMINISTRATIVE CODE, CAC -2019 CALIFORNIA BUILDING CODE, CBC -2019 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC -2019 CALIFORNIA ELECTRICAL CODE, CEC -2019 CALIFORNIA MECHANICAL CODE, CMC -2019 CALIFORNIA PLUMBING CODE, CPC -2019 CALIFORNIA ENERGY CODE, CEnc -2019 CALIFORNIA HISTORICAL CODE, CHC -2019 CALIFORNIA FIRE CODE, CFC -2019 CALIFORNIA EXISTING BUILDING CODE -2019 CALIFORNIA GREEN BUILDING STANDARDS -2019 CALIFORNIA REFERENCED STANDARDS 																																																																																														



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY	DATE	DESCRIPTION
20-033	05.19.2021	DESIGN REVIEW	MKA	09.21.2021	DESIGN REVIEW RESUBMITTAL
				02.11.2022	DRC RESUBMITTAL

COVER SHEET



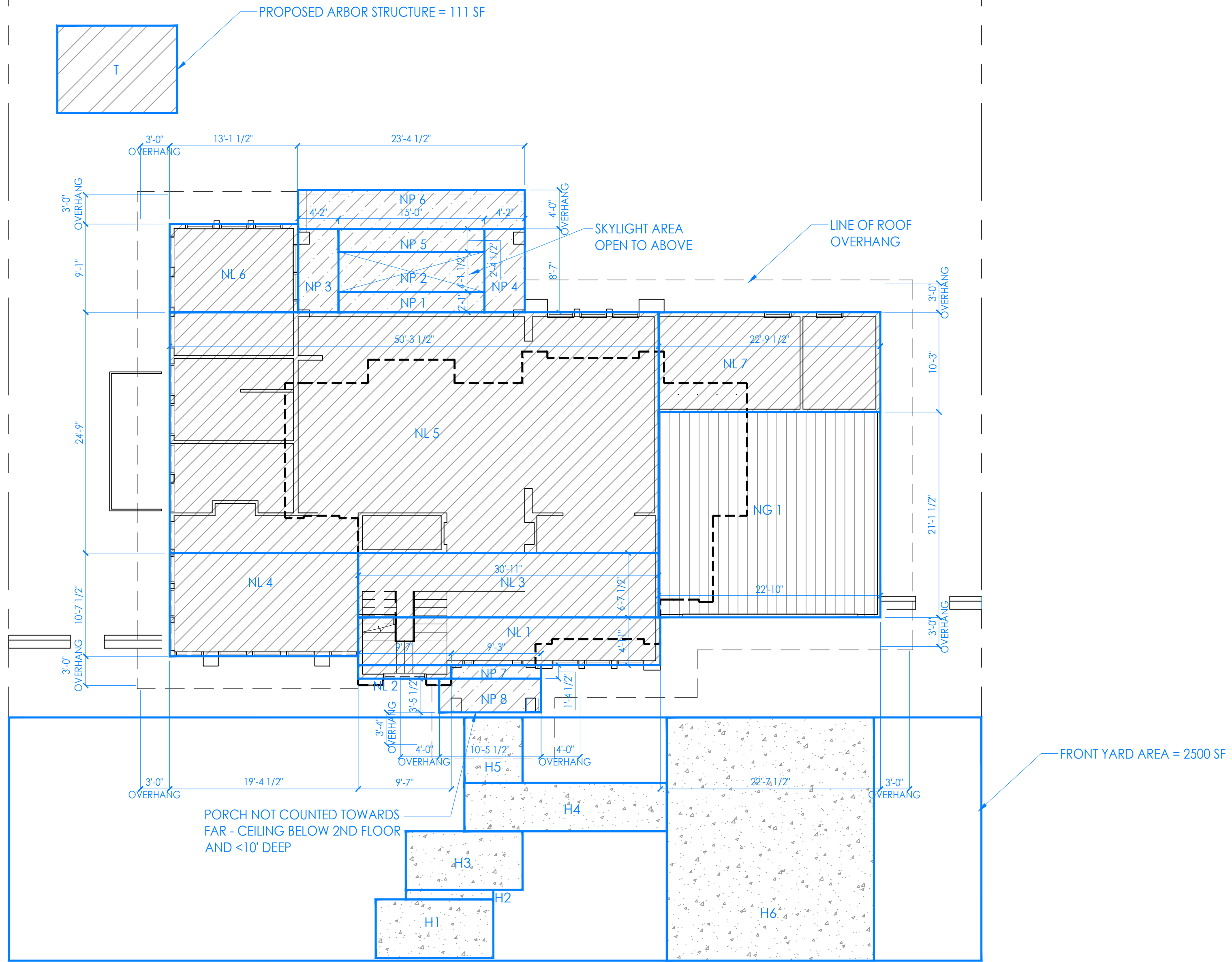


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New First Floor Living Area		
Section	Dimensions	Area (sf)
NL1	30'-1 1/2" X 4'-1 1/2"	132.7
NL2	9'-7" X 1'-4 1/2"	13.2
NL3	30'-1 1/2" X 6'-7 1/2"	204.7
NL4	19'-4 1/2" X 10'-7 1/2"	205.9
NL5	50'-3 1/2" X 24'-9"	1,244.2
NL6	13'-1 1/2" X 9'-1"	119.9
NL7	22'-9 1/2" X 10'-3"	233.6
NL Total		2,174.2

New Second Floor Living Area		
Section	Dimensions	Area (sf)
NL8	3'-11 1/2" X 3'-2"	12.5
NL9	17'-1 1/2" X 3'-10"	65.6
NL10	38'-5" X 13'-7"	523.2
NL11	14'-7" X 2'-7"	37.7
NL12	9'-1" X 13'-7 1/2"	123.8
NL13	5'-5" X 8'-7 1/2"	46.7
NL14	13'-11 1/2" X 12'-8 1/2"	177.1
NL Total		986.6

New Bay Window Area (Not Far)		
Section	Dimensions	Area (sf)
NB1	8'-0" X 2'-0"	16.0
NB Total		16.0

New Garage Area		
Section	Dimensions	Area (sf)
NG1	22'-10" X 22'-1 1/2"	481.5
NG Total		481.5

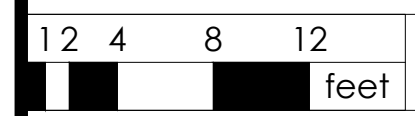
New Patio/Porch Area (Not counted towards FAR, counts toward Lot Coverage)		
Section	Dimensions	Area (sf)
NP1	15'-0" X 2'-1"	31.4
NP 2-SKYLIGHT	15'-0" X 4'-1 1/2"	61.9
NP 3	4'-2" X 8'-7"	35.6
NP 4	4'-2" X 8'-7"	35.6
NP 5	15'-0" X 2'-4 1/2"	35.5
NP 6	23'-4 1/2" X 4'-0"	93.2
NP 7	9'-3" X 14'-1 1/2"	132.7
NP 8	10'-5" X 3'-5 1/2"	36.3
NP Total		342.2

Stairway > 17' above first floor (Counted Towards FAR)		
Section	Dimensions	Area (sf)
ST1	9'-7" X 1'-4"	13.0
ST2	9'-1 1/2" X 2'-8"	24.0
ST3	3'-4" X 4'-1 1/2"	17.4
ST4	3'-11 1/2" X 5'-8 1/2"	22.8
ST Total		77.2

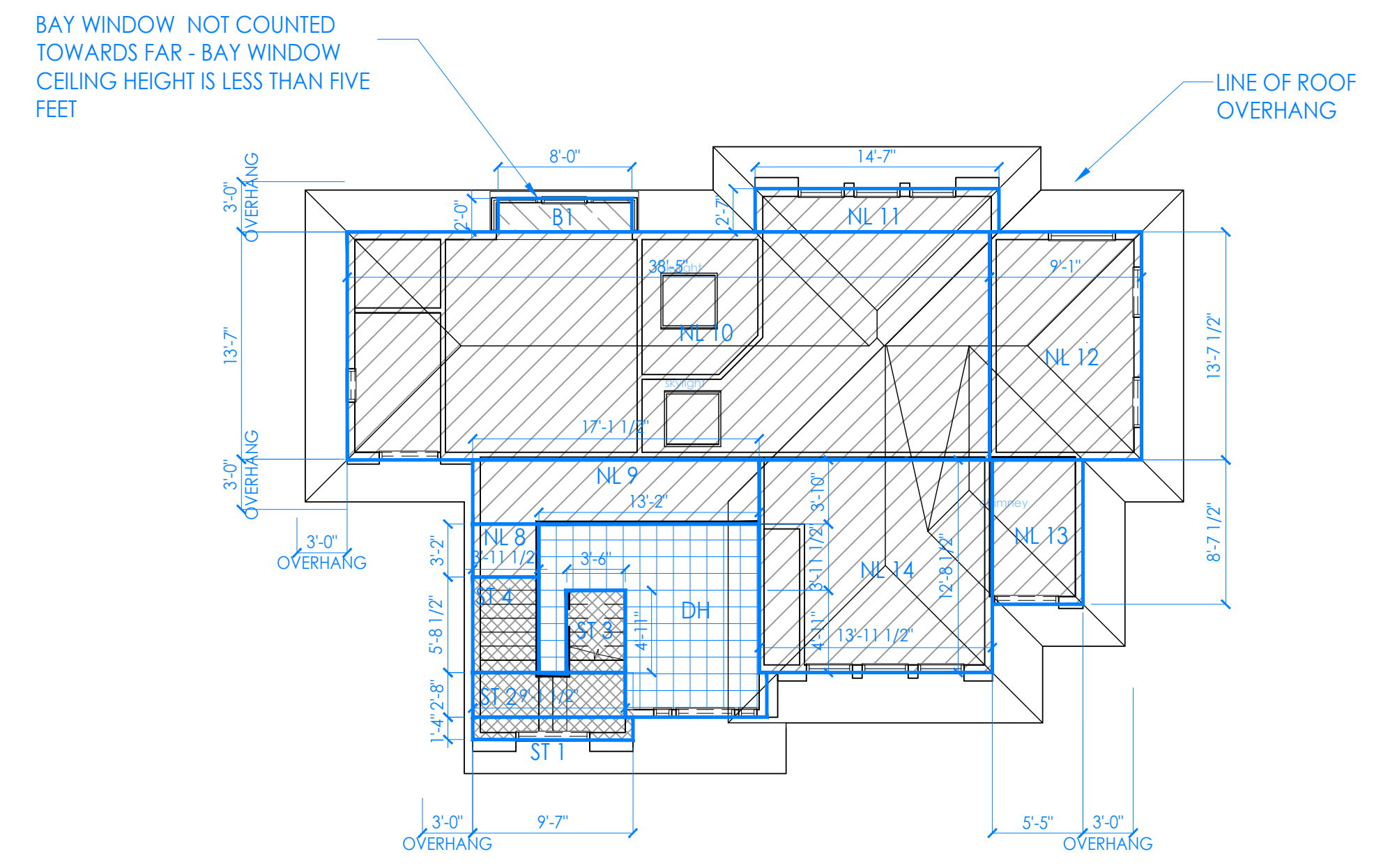
Hardscape-Front Yard 1st Floor		
Section	Dimensions	Area (sf)
H1		72.5
H2		9.0
H3		72.0
H4		104.0
H5		40.0
H6		532.0
H Total		676.0

Proposed Arbor Structure - Trellis - 5% lot coverage exemption		
Section	Dimensions	Area (sf)
T		111.0
T Total		111.0

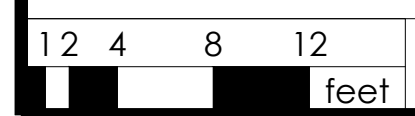
LA	Lot Area:	10,631.0	
NG	Total New Garage	481.5	
TNL=NFL+NSL+ST	Total New Living Area	3,238.0	
TNR=NL+NG	Total New Residence	3,719.5	<3720.9 (OK)
TNR/LA	FAR Percentage	35.0%	
0.35LA	FAR Max Allowed	3,720.9	
0.35LA	Max Coverage Allowed	3,720.9	
PLC=NFL+NG+NP+NP2+NP6	Proposed Lot Coverage Ratio	2,842.8	
	Proposed Arbor Structure -	111.0	<5% lot exemption
PLC/LA	Lot Coverage Percentage	26.7%	<35% +5% (OK)
H	Front Yard Hardscape Area	676.0	
FS	Front Yard Setback Area	2,500.0	
H/FS	Front Yard Hardscape Percent	27.0%	<50% (OK)



FIRST FLOOR AREA CALC 1/8" 1



	NL# = NEW LIVING AREA
	NG# = NEW GARAGE AREA
	NP# = NEW PATIO/PORCH AREA (NOT COUNTED TOWARDS FAR, COUNTS TOWARD LOT COVERAGE)
	B# = NEW BAY WINDOW
	DH# = DOUBLE HEIGHT SPACE NOT COUNTED AS FAR
	ST# = STAIRWAY >17' ABOVE FIRST FLOOR (COUNT AS FAR)
	H# = HARDSCAPE
	T# = OPEN ACCESSORY STRUCTURE (TRELLIS) UP TO 5% OF THE LOT AREA (NOT BEING COUNTED AS LOT COVERAGE)

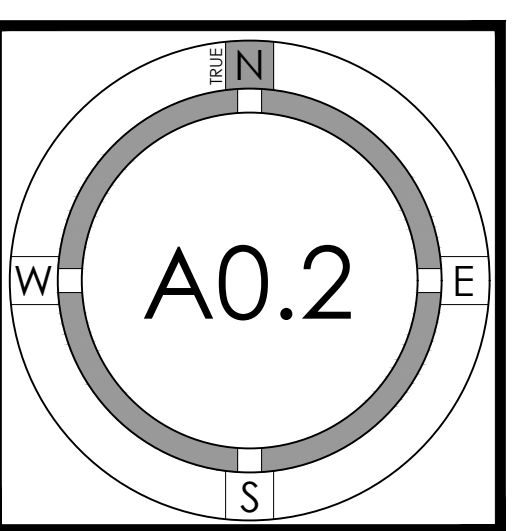


SECOND FLOOR AREA CALC 1/8" 2

FLOOR AREA LEGEND -

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20-033	05.19.2021	DESIGN REVIEW	MKA
	09.21.2021	DESIGN REVIEW RESUBMITTAL	MKA,IG
	02.11.2022	DRC RESUBMITTAL	MKA,IG

FLOOR AREA CALCULATION





929 ALTOS OAKS DRIVE



939 ALTOS OAKS DRIVE



949 ALTOS OAKS DRIVE



959 ALTOS OAKS DRIVE



969 ALTOS OAKS DRIVE



968 ALTOS OAKS DRIVE



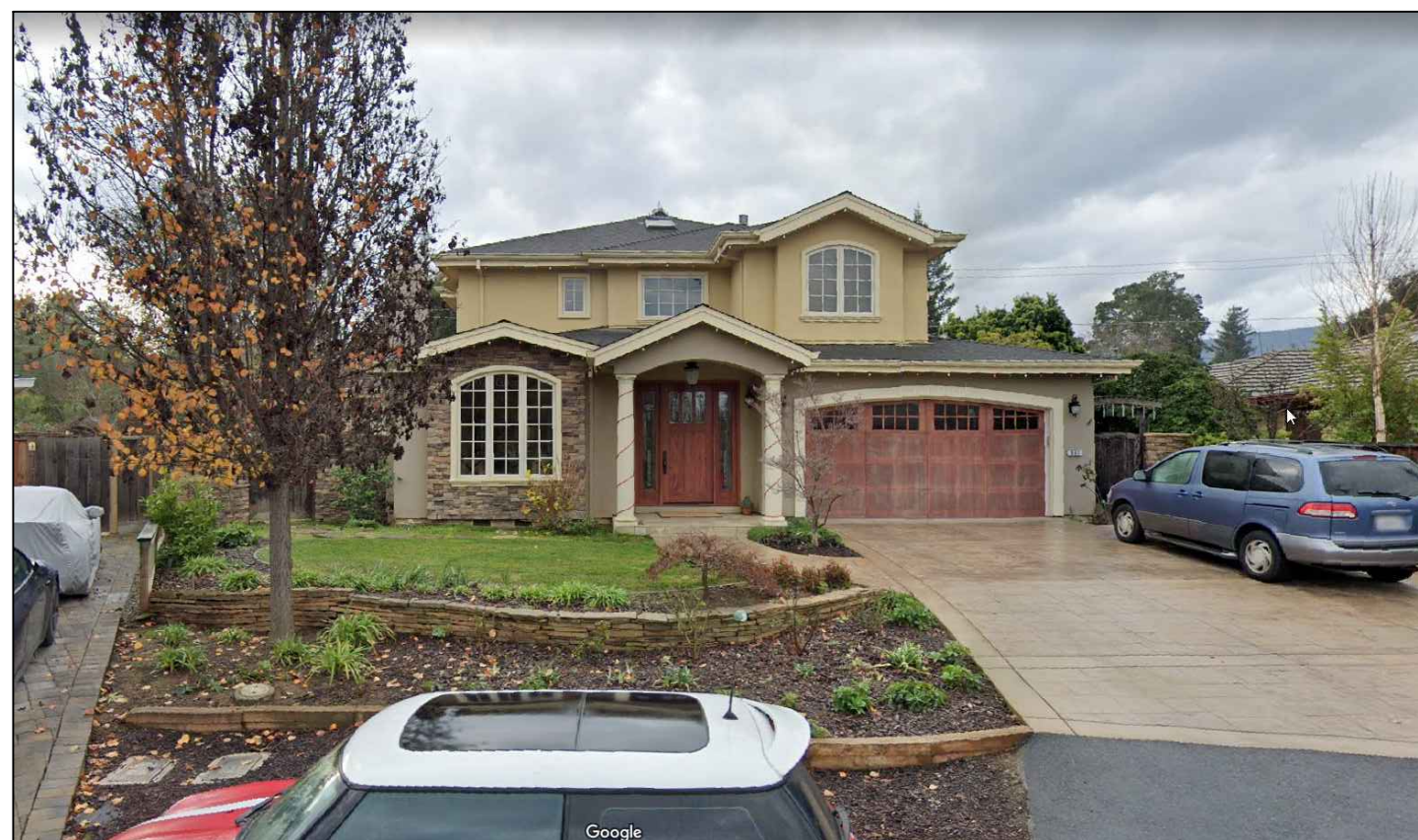
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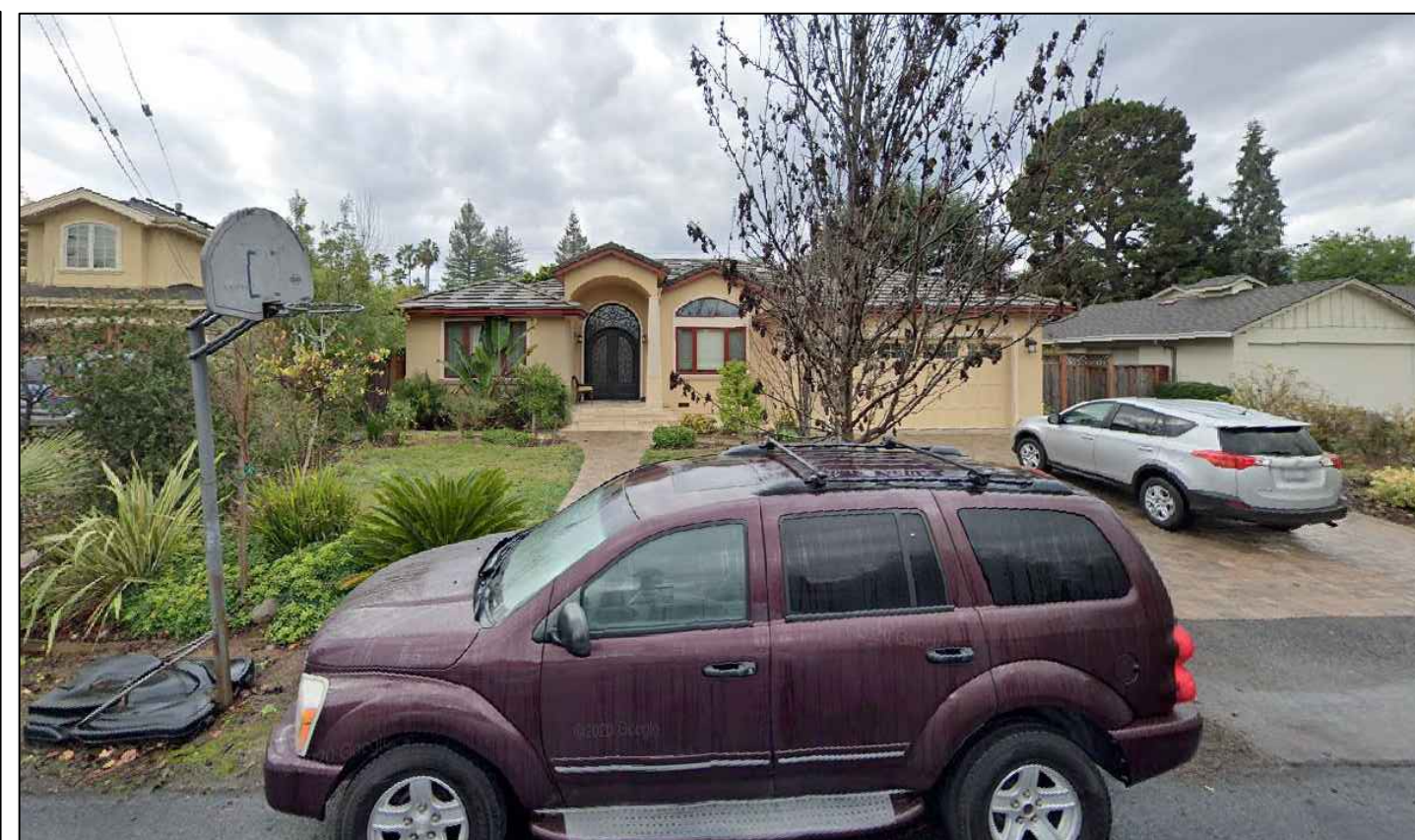
948 ALTOS OAKS DRIVE



938 ALTOS OAKS DRIVE



961 LINDA VISTA WAY



955 LINDA VISTA WAY



945 LINDA VISTA WAY



949 ALTOS OAKS DR

PROPOSED STREETScape ELAVATION 1



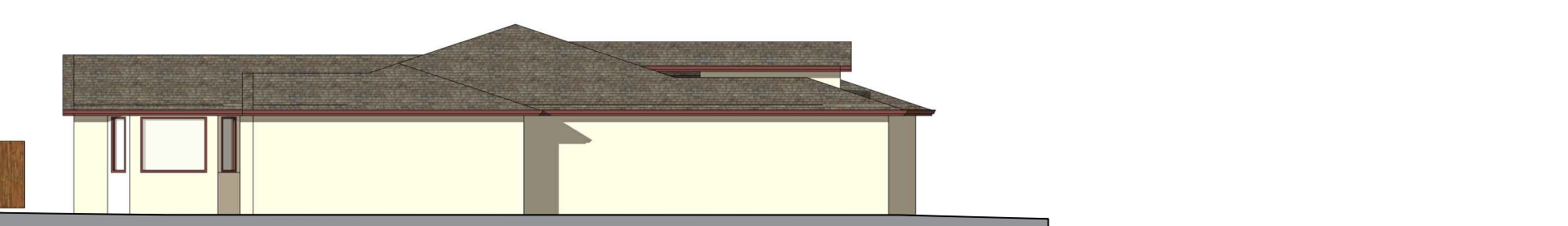
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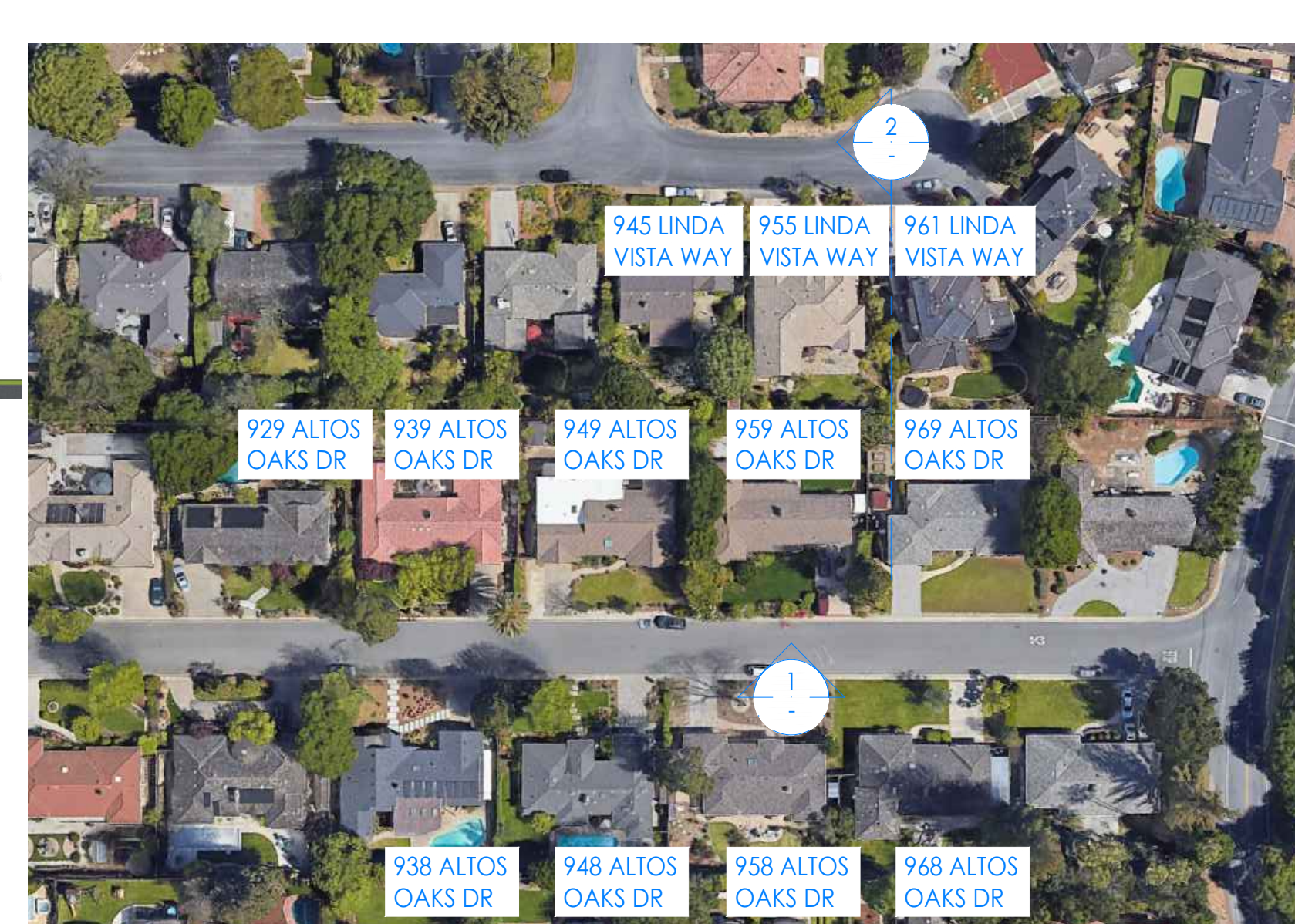


959 ALTOS OAKS DR

PROPOSED STREETScape ELAVATION 2



955 LINDA VISTA WAY



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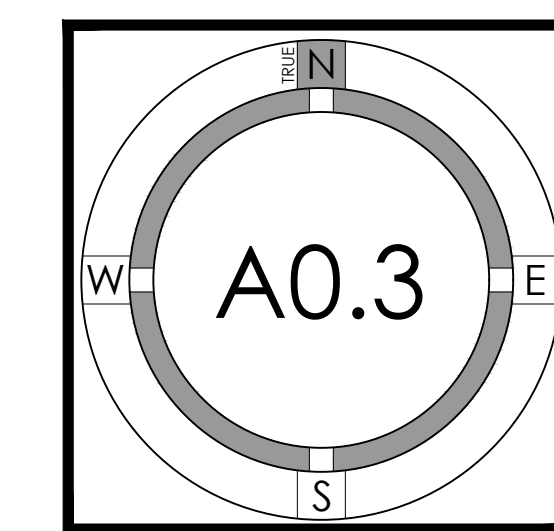


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STREETScape IMAGES

STREETScapeS





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YAMAMURA-GREEN RESIDENCE
NEW SINGLE FAMILY RESIDENCE

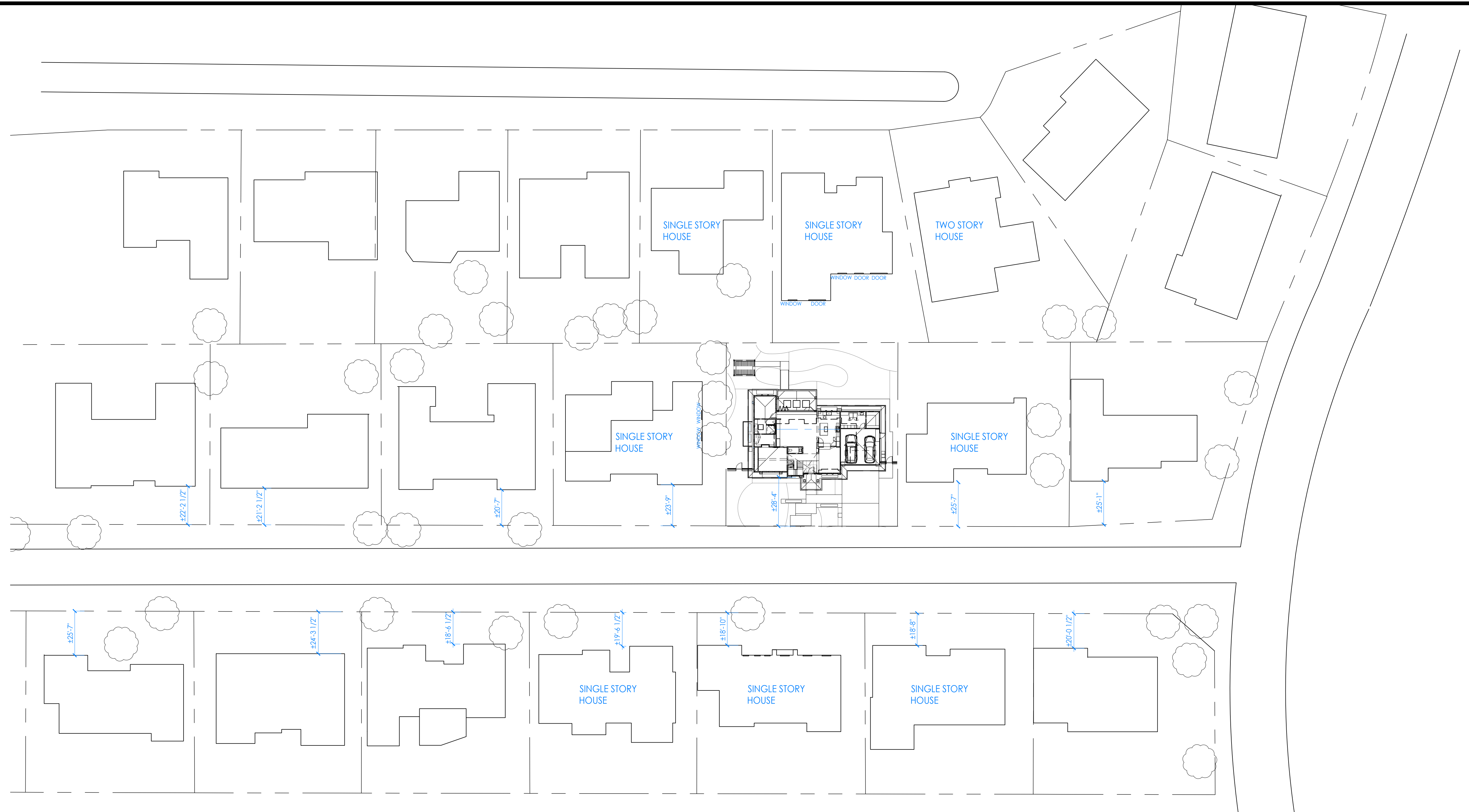
959 Altos Oaks Drive, Los Altos, CA 94024

Kayo Yamamura & Mark Green

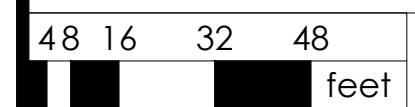


PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
20-033	05.19.2021	DESIGN REVIEW	MKA
	09.21.2021	DESIGN REVIEW RESUBMITTAL	MKA,IG
	02.11.2022	DRC RESUBMITTAL	MKA,IG

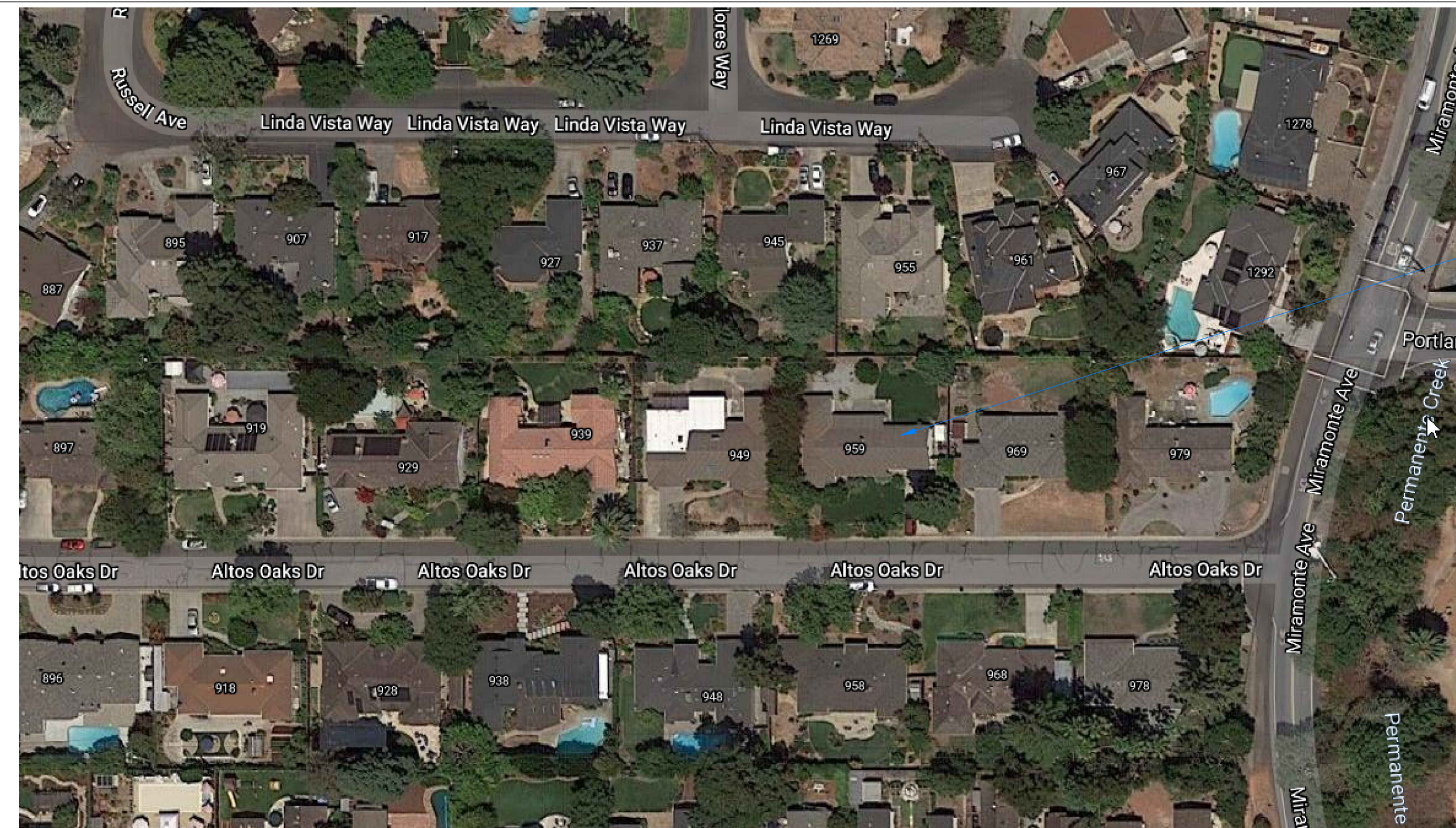
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NOTE : ALL FRONT SETBACK DIMENSIONS APPROXIMATED FROM GOOGLE EARTH



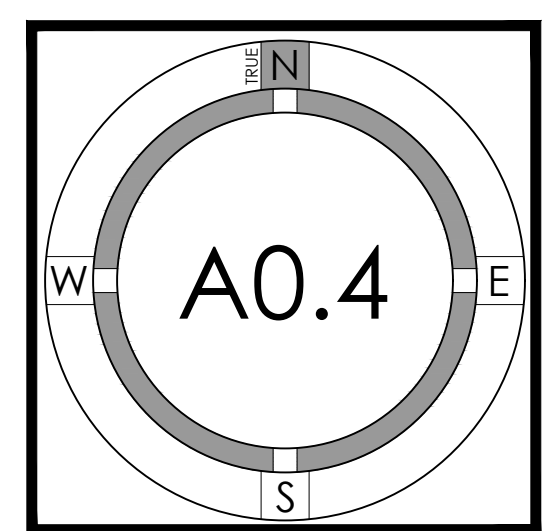
NEIGHBORHOOD PRIVACY DIAGRAM - 1ST FLOOR



--- PROPERTY LINE

LEGEND

NEIGHBORHOOD CONTEXT





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YAMAMURA-GREEN RESIDENCE
NEW SINGLE FAMILY RESIDENCE

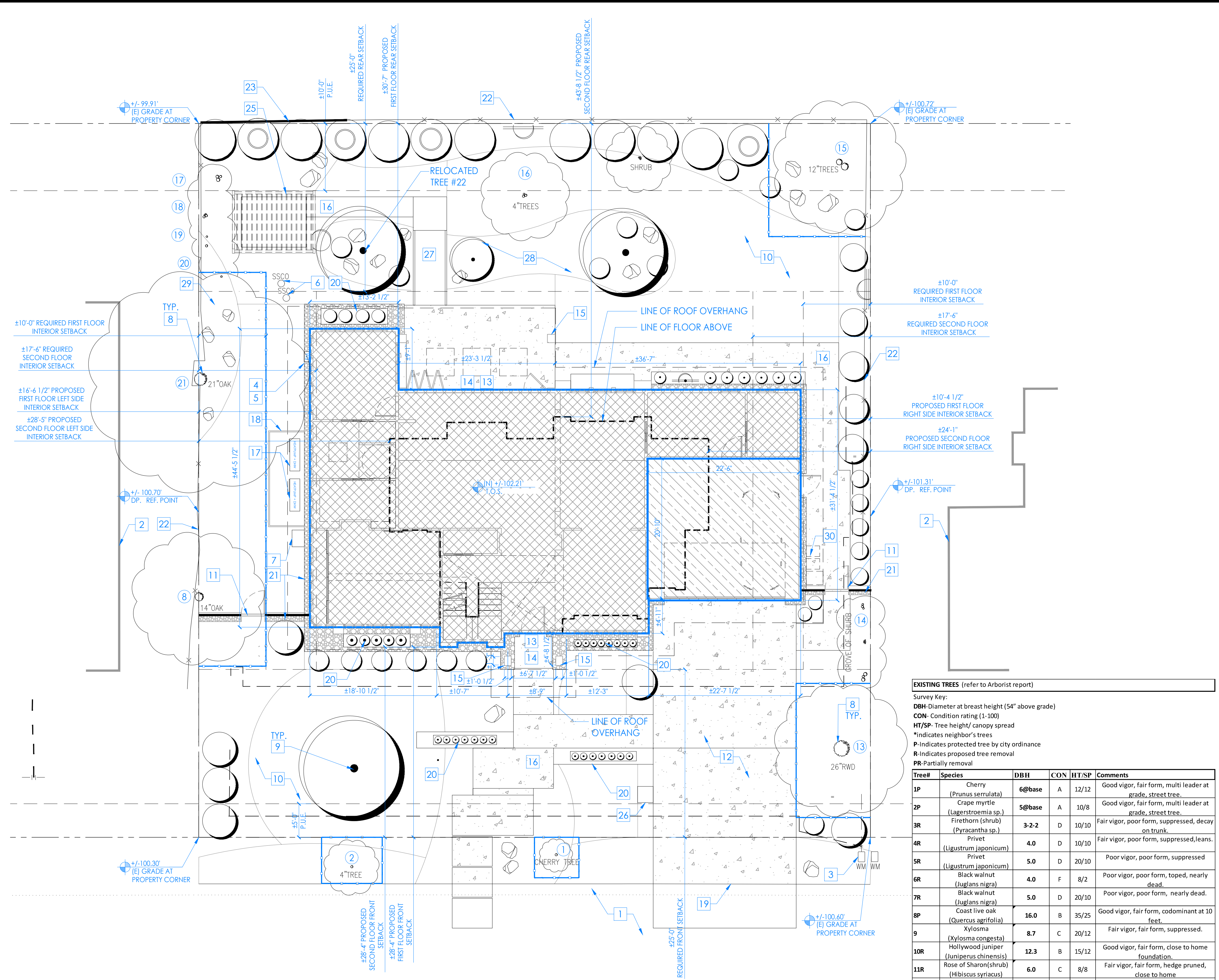
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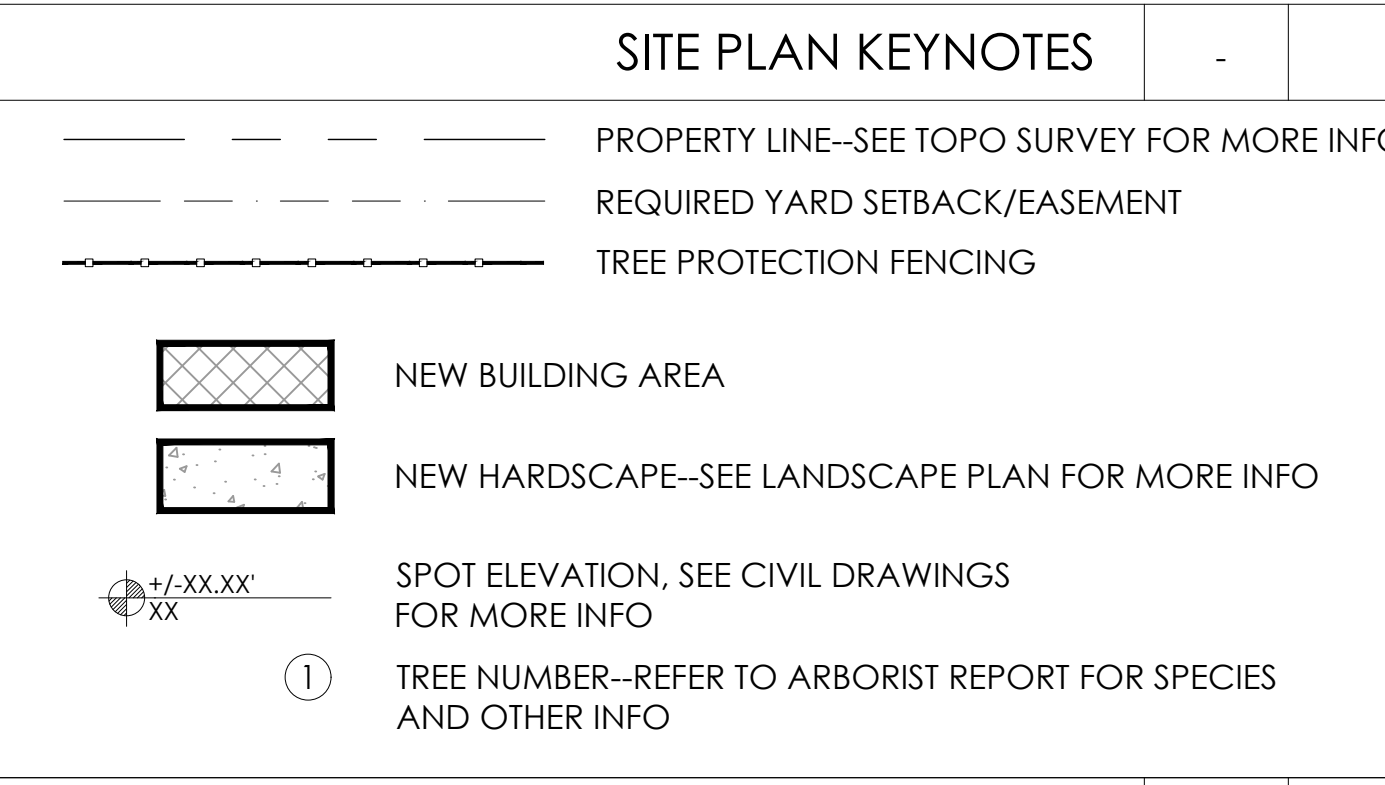
ALTOS OAKS DRIVE (50' R/W)

- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
 - APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
 - (E)WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
 - (N)ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH LOCAL ELECTRICAL COMPANY FOR UPGRADE (400 AMPS) TO (E) ELECTRICAL SERVICE--INSTALL UFER GROUND CONNECTION PER CEC 250-52
 - UFER GROUND CONNECTION PER CEC 250-52
 - (E) SEWER CLEANOUT --(N) 4" SEWER LATERAL--CONTRACTOR TO VERIFY LOCATION IN FIELD--PROVIDE CLEANOUT AT THE POINT OF CONNECTION BETWEEN THE BUILDING SEWER AND THE MUNICIPAL LATERAL. USE AN APPROVED FITTING TO BRING THE CLEANOUT RISER TO GRADE. WHERE SEWER CLEANOUTS ARE TO BE CONNECTED TO EXISTING MUNICIPAL LATERALS, SUCH CONNECTIONS SHALL BE ACCOMPLISHED BY USE OF AN APPROVED FITTING
 - (N) CRAWLSPACE ACCESS
 - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
 - (N) TREE(S)--SEE LANDSCAPE PLAN FOR MORE INFO.
 - (N) SOFTSCAPE--PROVIDE DRIP IRRIGATION
 - (N) FENCE AND GATE--VERIFY FINAL DESIGN AND FINISH WITH OWNER AND/OR LANDSCAPE ARCHITECT--NEW FENCES TO CONFORM TO JURISDICTION'S FENCE REGULATIONS
 - (N) DRIVEWAY, CONCRETE OVER 8" BASE ROCK PER GEOTECH REPORT--SEE LANDSCAPE AND CIVIL PLANS FOR ADDITIONAL INFO.
 - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
 - (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
 - (N) PORCH COLUMNS
 - (N) CONCRETE WALKWAY (INTEGRAL COLOR)
 - (N) HEATPUMP UNIT PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED. VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. HEATPUMP UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE--SEE HVAC PLANS
 - (N) HEATPUMPS ENCLOSURE
 - (N) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL--SEE CIVIL PLANS
 - (N) PLANTER
 - (N)LOW STONE WALL
 - (E) PERIMETER FENCE TO REMAIN
 - (N) PORTION OF PERIMETER FENCE
 - (N) ARBOR
 - (N) BUILD-IN POST BOX
 - (N) TIMBER BRIDGE
 - LIN CREEK PEBBLES OR APPROVED EQUAL WITH COMMERCIAL GRADE WEED CLOTH BENEATH. SEE LANDSCAPE PLANS.
 - CRUSHED GRAVEL TO BE OR APPROVED EQUAL WITH COMMERCIAL GRADE WEED CLOTH BENEATH.SEE LANDSCAPE PLANS.
 - TRASH BIN STORAGE

EXISTING TREES (refer to Arborist report)

Survey Key:
DBH- Diameter at breast height (54" above grade)
CON- Condition rating (1-100)
HT/SP- Tree height/ canopy spread
*Indicates neighbor's trees
P-Indicates protected tree by city ordinance
R-Indicates proposed tree removal
PR-Partially removal

Tree#	Species	DBH	CON	HT/SP	Comments
1P	Cherry (Prunus serrulata)	6@base	A	12/12	Good vigor, fair form, multi leader at grade, street tree.
2P	Crape myrtle (Lagerstroemia sp.)	5@base	A	10/8	Good vigor, fair form, multi leader at grade, street tree.
3R	Firethorn (shrub) (Pyracantha sp.)	3-2-2	D	10/10	Fair vigor, poor form, suppressed, decay on trunk.
4R	Privet (Ligustrum japonicum)	4.0	D	10/10	Fair vigor, poor form, suppressed, leans.
5R	Privet (Ligustrum japonicum)	5.0	D	20/10	Poor vigor, poor form, suppressed
6R	Black walnut (Juglans nigra)	4.0	F	8/2	Poor vigor, poor form, topped, nearly dead.
7R	Black walnut (Juglans nigra)	5.0	D	20/10	Poor vigor, poor form, nearly dead.
8P	Coast live oak (Quercus agrifolia)	16.0	B	35/25	Good vigor, fair form, codominant at 10 feet.
9	Xylosma (Xylosma congesta)	8.0	C	20/12	Fair vigor, fair form, suppressed.
10R	Hollywood juniper (Juniperus chinensis)	12.3	B	15/12	Good vigor, fair form, close to home foundation.
11R	Rose of Sharon (shrub) (Hibiscus syriacus)	6.0	C	8/8	Fair vigor, fair form, hedge pruned, close to home.
12R	Orange (Citrus sp.)	6@base	C	6/30	Fair vigor, fair form.
13P	Redwood (Sequoia sempervirens)	20.0	C	45/20	Good vigor, fair form, at driveway, topped in past.
14PR	Pittosporum (Pittosporum tobira)	6'x5	C	8/10	Fair vigor, fair form, suppressed, hedge prune.
15P	African fern pine (Afrocarpus falcatus)	15.2-10	B	25/20	Good vigor, fair form, topped for line clearance.
16	Privet (Ligustrum japonicum)	8@base	B	15/12	Good vigor, fair form, well maintained.
17	Accolade elm (Ulmus 'Morton accolade')	3'x4	D	15/8	Fair vigor, poor form, topped in past, multi leader at grade.
18	Accolade elm (Ulmus 'Morton accolade')	4-3-2-2	D	15/8	Fair vigor, poor form, topped in past, multi leader at grade.
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21P	Coast live oak (Quercus agrifolia)	25est	B	35/30	Good vigor, fair form, pruned away from structures in past, on property line.
22	Japanese maple (Acer palmatum)	4.0	B	6/5	Fair vigor, fair form. To be relocated.
23R	Japanese maple (Acer palmatum)	4.0	B	6/5	Fair vigor, fair form.

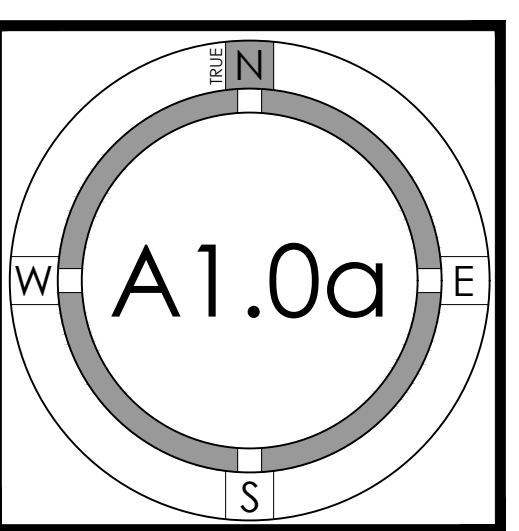


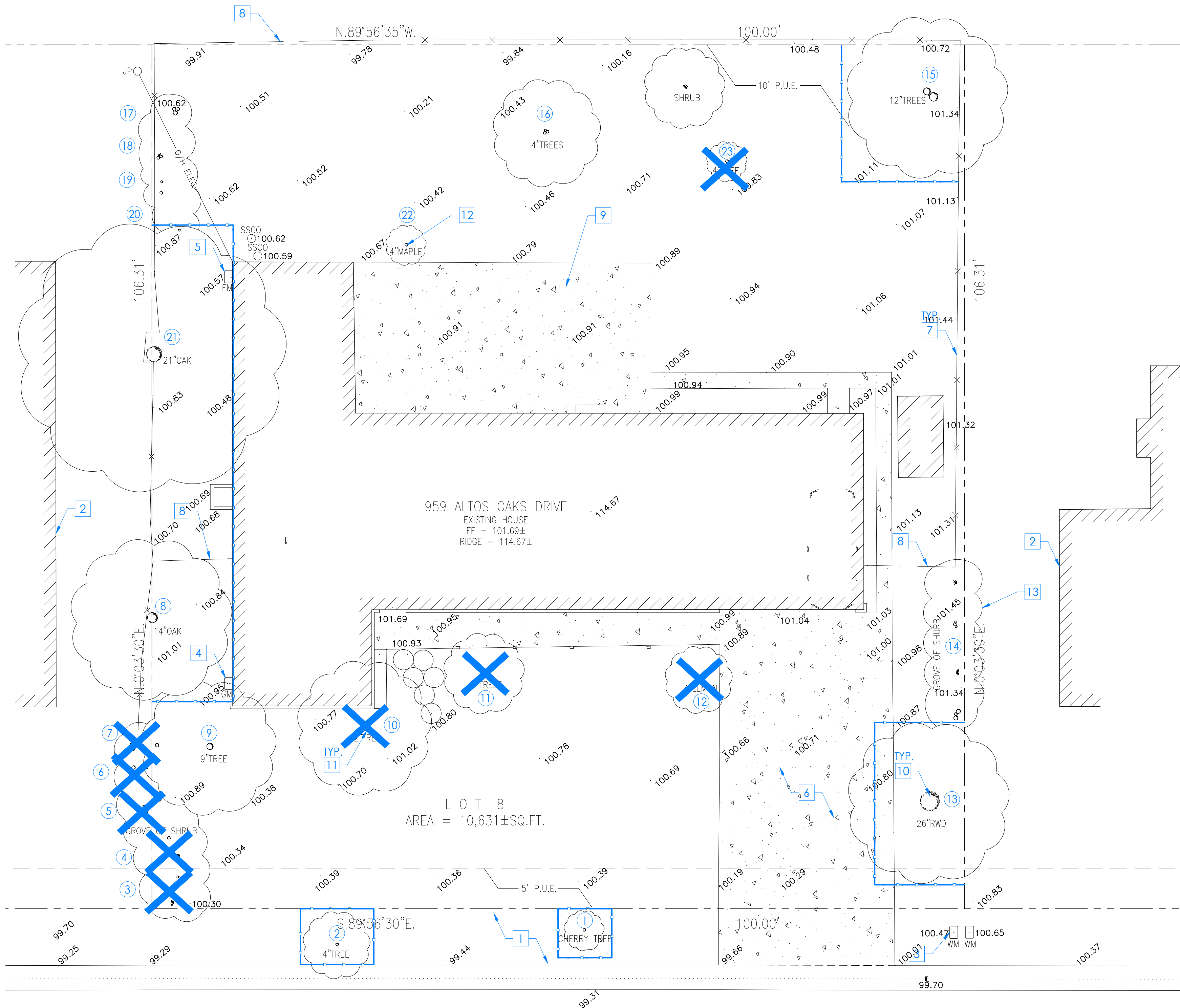
1 2 4 8 12 feet

SITE PLAN 1/8" 1

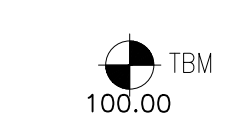
SITE PLAN LEGEND -

SITE PLAN





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 - (E) TREE(S) TO BE REMOVED
 - (E) TREE TO BE RELOCATED
 - (E) PITOSPORUM HEDGE TO BE PROTECTED AND PRESERVED IN FRONT OF GATE

EXISTING TREES (refer to Arborist report)

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DEMO SITE PLAN KEYNOTES

- PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
- REQUIRED YARD SETBACK/EASEMENT
- TREE PROTECTION FENCING
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO
- TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO



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YAMAMURA-GREEN RESIDENCE
 NEW SINGLE FAMILY RESIDENCE

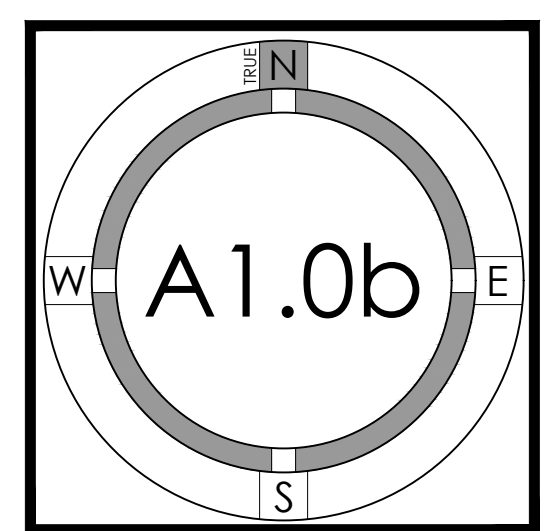
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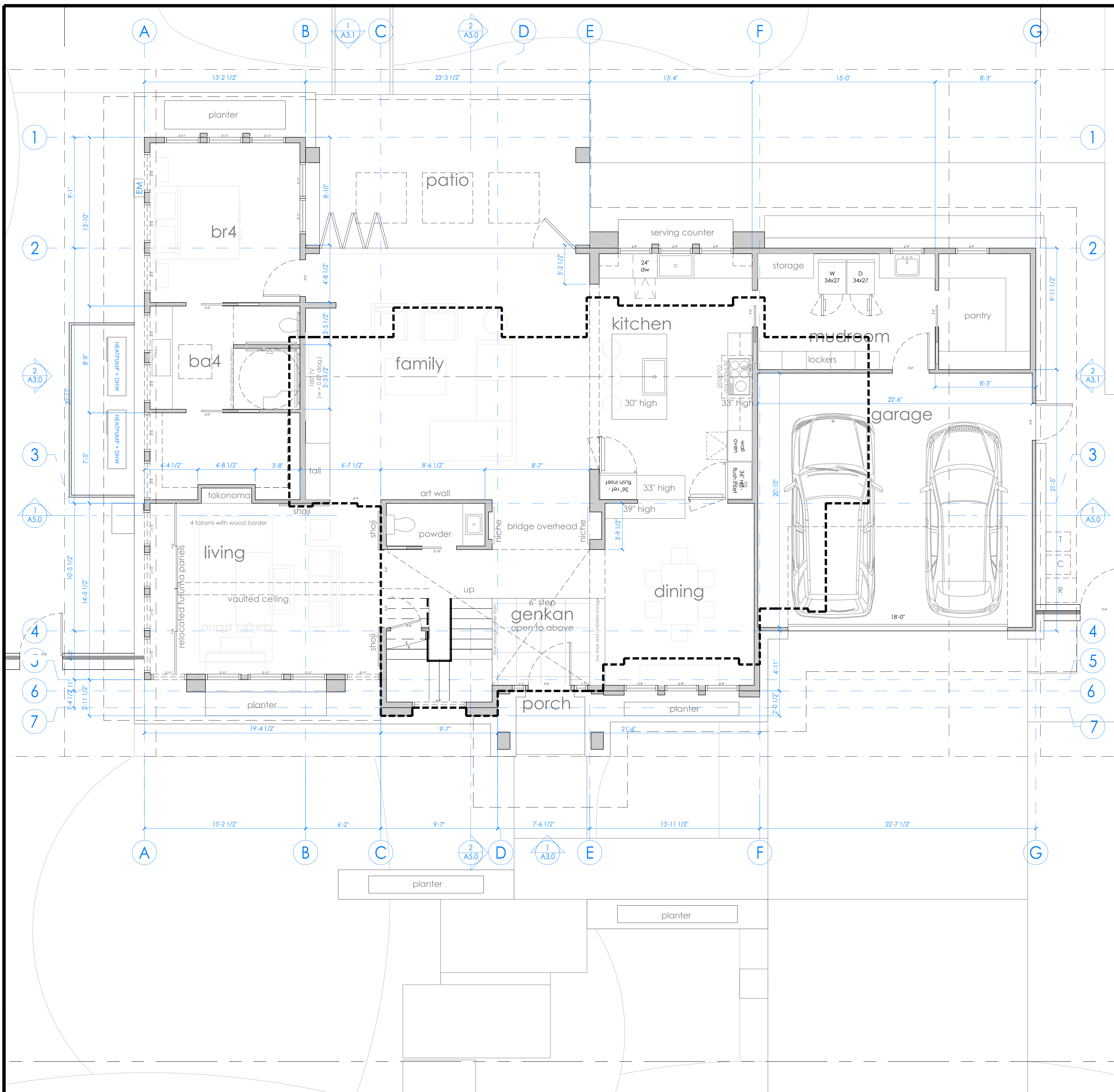
DEMO SITE PLAN



1 2 4 8 12 feet

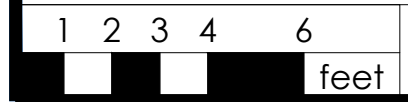
DEMO SITE PLAN 1/8" 1

DEMO SITE PLAN LEGEND



FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD



1ST FLOOR PLAN 1/4" 1

FLOOR PLAN LEGEND -



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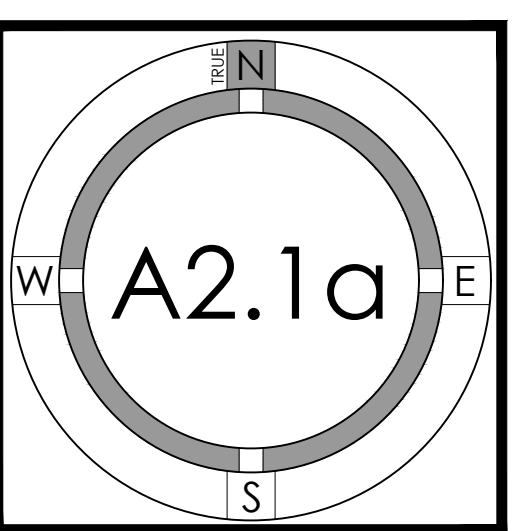


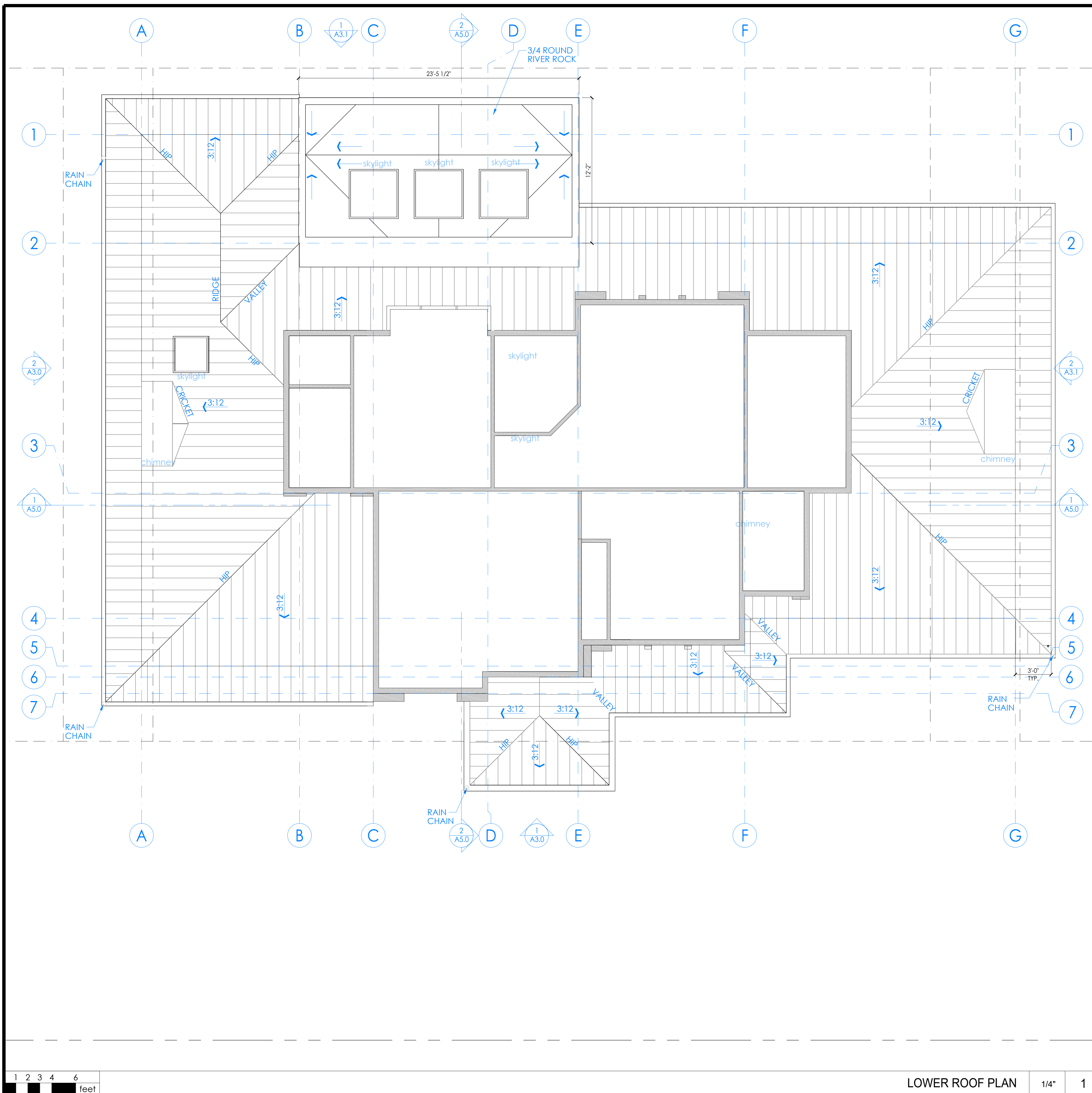
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1ST

FLOOR PLAN





1. INSTALL ALL NEW ROOFING MATERIALS--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
 2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
 3. [RUN PLUMBING/HVAC VENTS TO FALSE CHIMNEY PROVIDED. NO ROOF PENETRATIONS THROUGH ROOF THAT ARE VISIBLE FROM THE STREET WILL BE ACCEPTED.] PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2.
 4. ROUTE PLUMBING VENTS WITHIN ATTIC SPACE SO THAT ROOF PENETRATIONS ARE BEHIND MAIN ROOF RIDGE AND ARE NOT VISIBLE FROM THE STREET
 5. FUTURE SOLAR PANELS PER CEC 110.10 (MINIMUM 250 S.F. ON A SOUTH SIDE ORIENTATION). KEEP AREA CLEAR OF ROOFING EYEBROW, MECHANICAL AND PLUMBING VENTS.
 6. SEE ROOF PLAN FOR SLOPE.
 7. PROVIDE (N) GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
 8. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN--GUTTERS TO SLOPE 1:240 FRONT-TOBACK, BUT TO BE LEVEL SIDE TO SIDE
 9. INSTALL KICKOUT FLASHING PER 8/A8.0 WHEREVER GUTTERS TERMINATE AT A WALL
 10. ALL PLATE HEIGHTS PER SECTIONS AND RCP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 11. CONNECT ALL DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION SPECIFIED BY CIVIL PLANS
- NOTE:
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
 2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
 3. SEE 4/A0.1a FOR ELECTRICAL GENERAL NOTES
 4. SEE 5/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES

ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

- STANDING SEAM METAL ROOF, MIN CLASS A--MANUF: AEP SPAN; STYLE: DESIGN SPAN - DURA TECH ; COVERAGE: 16"; GAUGE: 22; COLOR: COOL ZINC MIDNIGHT BRONZE--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND [UES EVALUATION REPORT #0309]
- SINGLE PLY ROOFING, MIN CLASS "A"--MANUF: GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST O/ 6-OZ MIN. POLYMAT FILTER FABRIC O/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.
- DENOTES FLAT ROOF DRAIN CONNECTED TO HARDPIPED 2" RAIN WATER LEADER AND 2' ROOF OVERFLOW. OVERFLOW TO BE CONNECTED TO ESCUTCHEON--SEE DETAILS [XXX/XXX]--ENSURE ROOFING OVERLAPS ROOF DRAIN PER BOTH DRAIN AND ROOF MANUF. DIRECTIONS (avoid roof drainage in wall cavities where possible)
- DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
- LINE OF BLDG. BELOW



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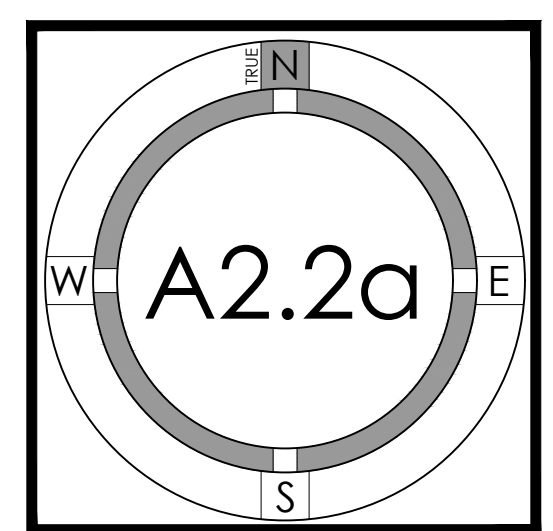


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LOWER

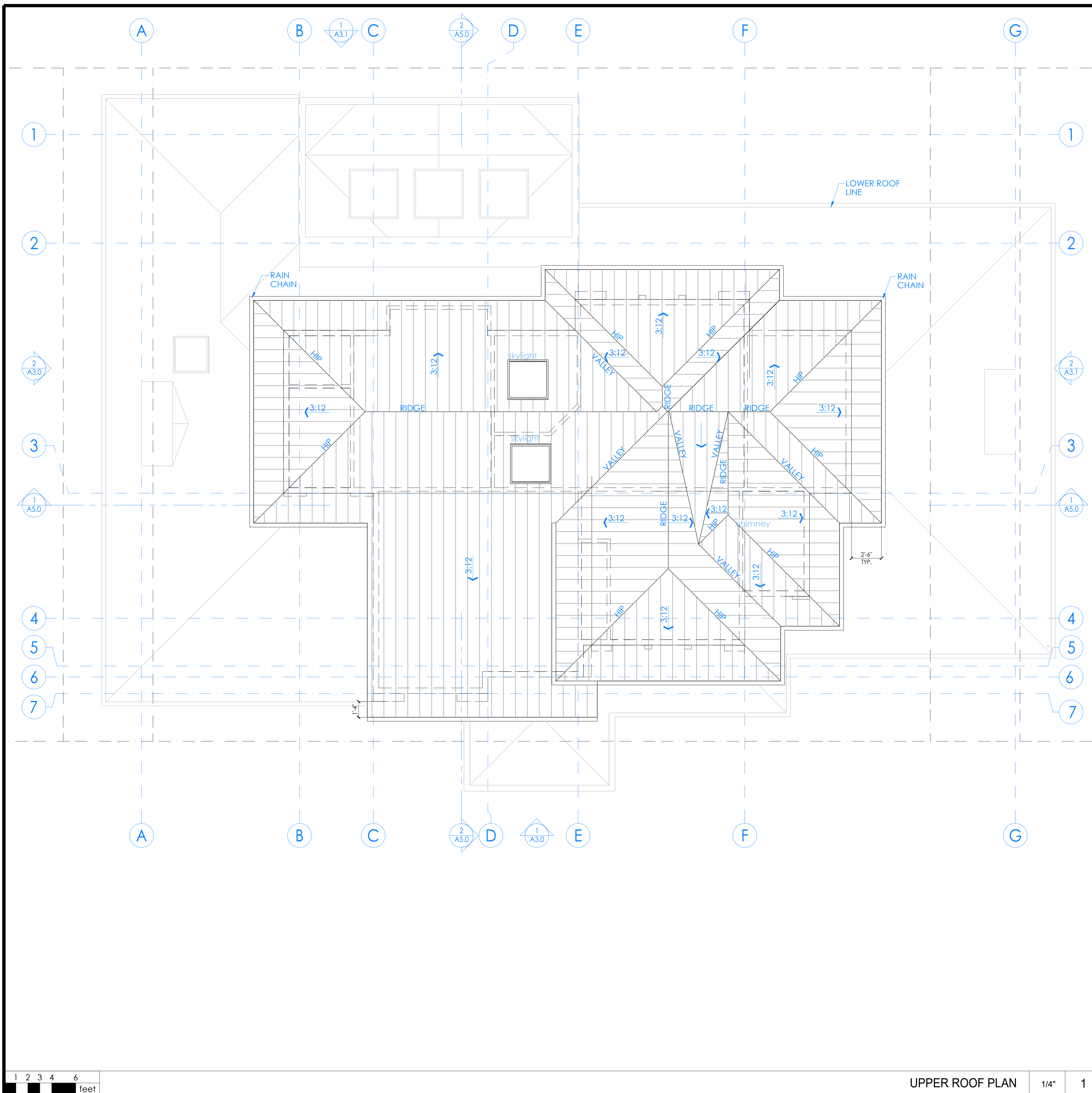
ROOF PLAN



1 2 3 4 6 feet

LOWER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



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 3. [RUN PLUMBING/HVAC VENTS TO FALSE CHIMNEY PROVIDED. NO ROOF PENETRATIONS THROUGH ROOF THAT ARE VISIBLE FROM THE STREET WILL BE ACCEPTED.] PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2.
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3	02.11.2022	DRC RESUBMITTAL

ATTIC VENTILATION CALCULATIONS AND NOTES

- STANDING SEAM METAL ROOF, MIN CLASS A--MANUF: AEP SPAN; STYLE: DESIGN SPAN - DURA TECH ; COVERAGE: 16'; GAUGE: 22; COLOR: COOL ZINC MIDNIGHT BRONZE--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND [UES EVALUATION REPORT #0309]
- SINGLE PLY ROOFING, MIN CLASS "A"--MANUF: GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST O/ 6-OZ MIN. POLYMAT FILTER FABRIC O/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.
- ☒ DENOTES FLAT ROOF DRAIN CONNECTED TO HARDPIPED 2" RAIN WATER LEADER AND 2' ROOF OVERFLOW. OVERFLOW TO BE CONNECTED TO ESCUTCHEON--SEE DETAILS [XXX/XXX]--ENSURE ROOFING OVERLAPS ROOF DRAIN PER BOTH DRAIN AND ROOF MANUF. DIRECTIONS (avoid roof drainage in wall cavities where possible)
- ← DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
- LINE OF BLDG. BELOW

1 2 3 4 6 feet

UPPER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

YAMAMURA-GREEN RESIDENCE
NEW SINGLE FAMILY RESIDENCE
959 Altos Oaks Drive, Los Altos, CA 94024
Kayo Yamamura & Mark Green

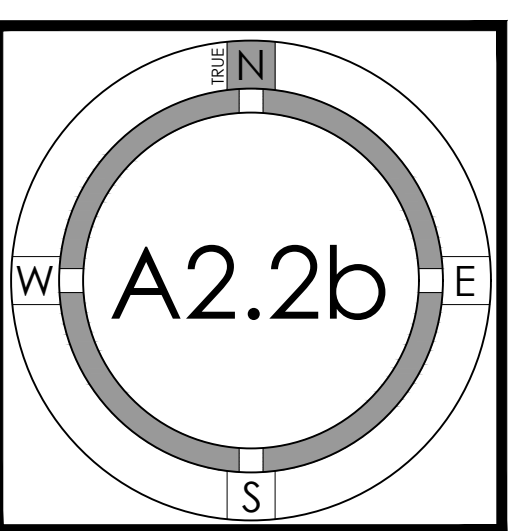


PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
20-033	05.19.2021	DESIGN REVIEW	MKA
	09.21.2021	DESIGN REVIEW RESUBMITTAL	MKA,IG
	02.11.2022	DRC RESUBMITTAL	MKA,IG

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UPPER

ROOF PLAN





1 2 3 4 6 feet

SOUTH ELEVATION (FRONT) 1/4" 1



1 2 3 4 6 feet

EAST ELEVATION (RIGHT) 1/4" 2

= NUMBER OF KEYNOTE BELOW

- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
- 2 STANDING SEAM METAL ROOFING--SEE ROOF PLAN FOR MORE INFO
- 3 PAINTED STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" PLASTER O/ METAL LATH O/ 2 LAYERS GRADE 'D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE--SEE DETAILS [XX/XX]--DO NOT USE "DOUBLE-ROLL" INSTALLATION FOR BUILDING PAPER
- 4 WOOD FRAMED "FALSE" CHIMNEY WITH 12" TALL METAL OPEN TOP SHROUD--STYLE: IMPERIAL; www.chimneyking.com--SEE ROOF PLAN FOR LOCATION--INTENT OF CHIMNEY IS TO SCREEN MULTIPLE PLUMBING/HVAC ROOF PENETRATIONS FROM VIEW
- 5 PAINTED REDWOOD TRIM
- 6 ADHERED LIGHTWEIGHT STONE VENEER (<15 LBS/SF)--MANUF.: REALSTONE SYSTEM; STYLE: SIERRA ACCENTSTONE PANEL WSP-SA3D; COLOR: CREAM & WARM TONES ; INSTALLATION STYLE: DRYSTACK; WAINSCOT SILL OVER STEEL "L" ANGLE; CHISELED EDGE EDGE; SILL COLOR: GRAY--www.realstonesystems.com--USE POLYMER-MODIFIED SETTING MORTAR AND GROUT, COLOR: LATICRETE GRAY--INSTALL PER MANUF. INSTRUCTIONS, ICC-ES EVALUATION REPORT ESR-1215, AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780.
- 7 VERISTONE WAINSCOT SILL OVER STEEL "L" ANGLE --SIZE: 8"; STYLE: VSM301; COLOR: LINEN MEDIUM--INSTALL PER MANUF. INSTRUCTIONS AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780
- 8 PAINTED REDWOOD TRIM--2x8 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
- 9 FACTORY-FINISHED ALUMINUM GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS--SEE DOOR SCHEDULE FOR MORE INFO
- 10 WINDOW/DOOR OPENING--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO HAVE 1.5" PAINT GRADE WOOD TRIM TYPICAL, U.N.O.
- 11 ALUMINUM BRAKE SHAPE--FINISH TO MATCH WINDOW FRAME--VERIFY SIZE IN FIELD
- 12 ONE PIECE STRAIGHT PAINTED REDWOOD, 1"-3" SQUARE, [10'-0 1/2"] OVERALL HEIGHT w/ 1'-6" X 3'-0" CAPITAL
- 13 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: HINKLEY LIGHTING; STYLE: ATLANTIS 1648Z-LED; COLOR: SATIN BLACK--www.hinkleylighting.com
- 14 PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET--HEIGHT: 8"; STYLE: LUXELLO LED, MODERN NEUTRA HOUSE NUMBERS LED BACKLIT; FINISH: ANODIZED--www.surrounding.com/products/luxello--PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
- 15 (N)FRONT DOOR, MODERN STEEL DOORS OR EQUAL
- 16 (N)FOLDING REAR DOORS -- SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO
- 17 REAR PATIO OVERHANG
- 18 PLANTER
- 19 HEATPUMP -- SEE SITE PLAN

ELEVATION GRID LINE KEY
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 E 2ND FLOOR CEILING HEIGHT, T.O. PLATE [U.N.O.] = +/- 121.46'
 F PROPOSED BUILDING HEIGHT = 23'-0" +/- 124.64'
 G MAX BUILDING HEIGHT ALLOWED = 27'-0" +/- 128.64'

ELEVATION GRID LINE KEY - -

KEYNOTES - -



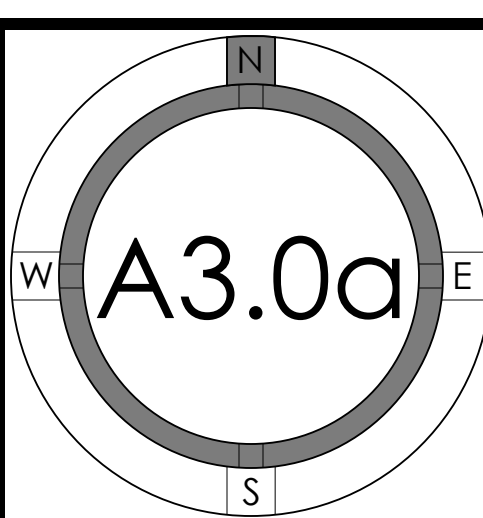
1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983

**YAMAMURA-GREEN
 RESIDENCE**
 NEW SINGLE FAMILY RESIDENCE
 959 Altos Oaks Drive, Los Altos, CA 94024
 Kaya Yamamura & Mark Green



REVISION	DATE	DESCRIPTION	DRAWN BY
	05.19.2021.	DESIGN REVIEW	MKA
	09.21.2021.	DESIGN REVIEW RESUBMITTAL	MKA
	02.11.2021.	DRC RESUBMITTAL	MKA

EXTERIOR
 ELEVATIONS



FOR PERMIT APPROVAL ONLY -- NOT FOR CONSTRUCTION



NORTH ELEVATION (REAR) 1/4" 1

1 2 3 4 6 feet



WEST ELEVATION (LEFT) 1/4" 2

1 2 3 4 6 feet

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 - 18 PLANTER
 - 19 HEATPUMP -- SEE SITE PLAN
 - 20 FIELD PAINTED STEEL COLUMN--S.S.D. FOR MORE INFO

KEYNOTES	-	-

ELEVATION GRID LINE KEY

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F	PROPOSED BUILDING HEIGHT = 23'-0" +/- 124.64'
G	MAX BUILDING HEIGHT ALLOWED = 27'-0" +/- 128.64'

ELEVATION GRID LINE KEY	-	-



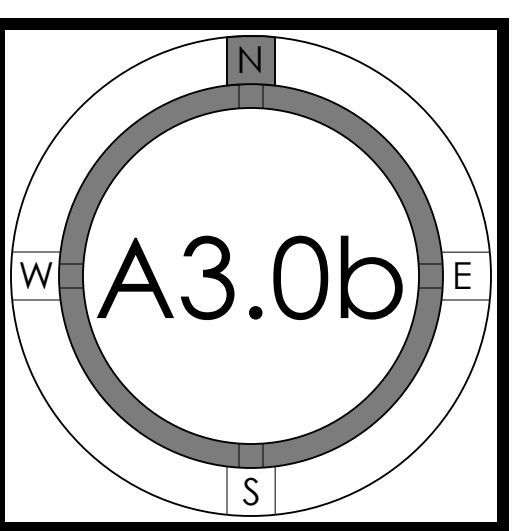
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San Jose, CA 95128
P : (408) 998 - 0983

**YAMAMURA-GREEN
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NEW SINGLE FAMILY RESIDENCE
959 Altos Oaks Drive, Los Altos, CA 94024
Kaya Yamamura & Mark Green



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	05.19.2021.	DESIGN REVIEW	MKA
	09.21.2021.	DESIGN REVIEW RESUBMITTAL	MKA
	02.11.2021.	DRC RESUBMITTAL	MKA

EXTERIOR
ELEVATIONS

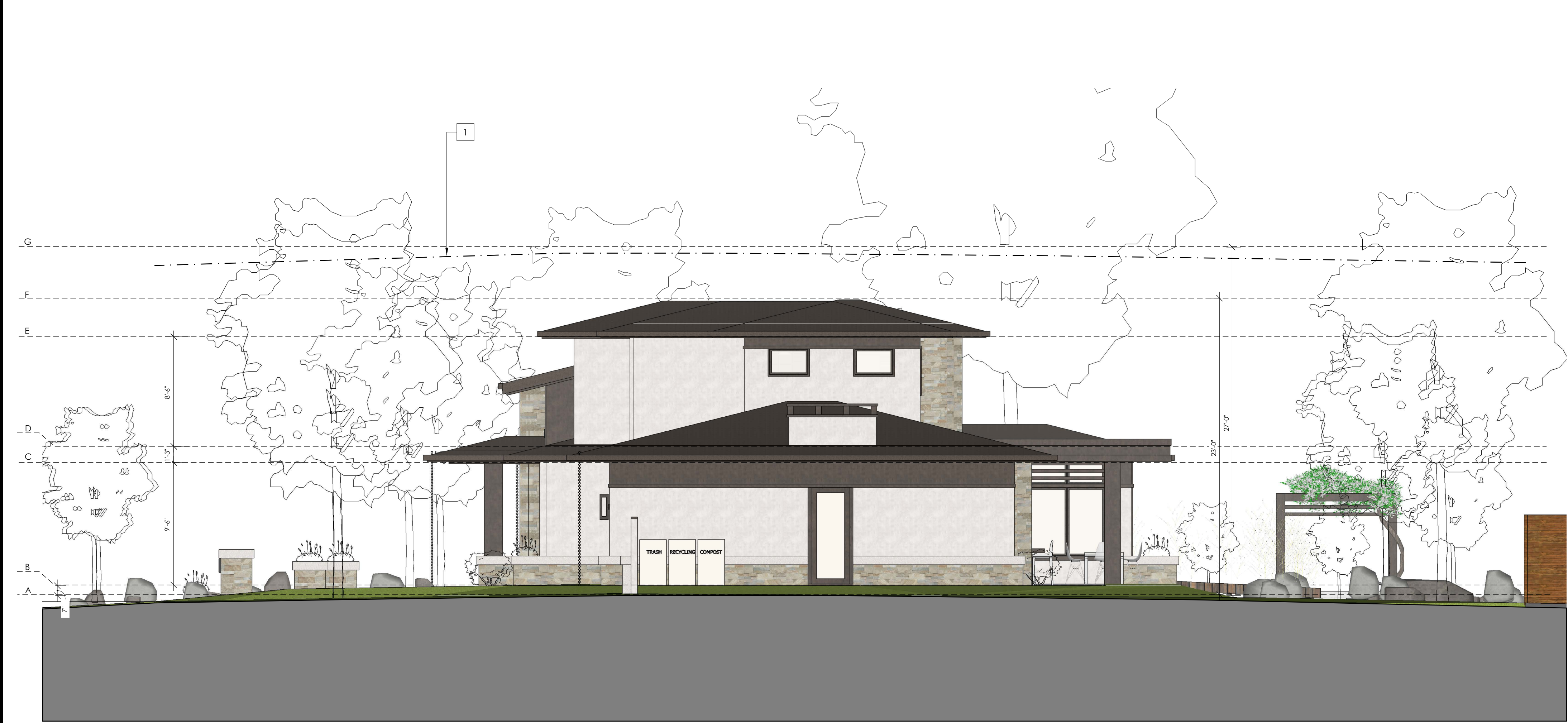


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1 2 3 4 6
feet

SOUTH ELEVATION (FRONT) 3/16" 1



1 2 3 4 6
feet

EAST ELEVATION (RIGHT) 3/16" 2

= NUMBER OF KEYNOTE BELOW
1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION

KEYNOTES	-	-

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ELEVATION GRID LINE KEY	-	-



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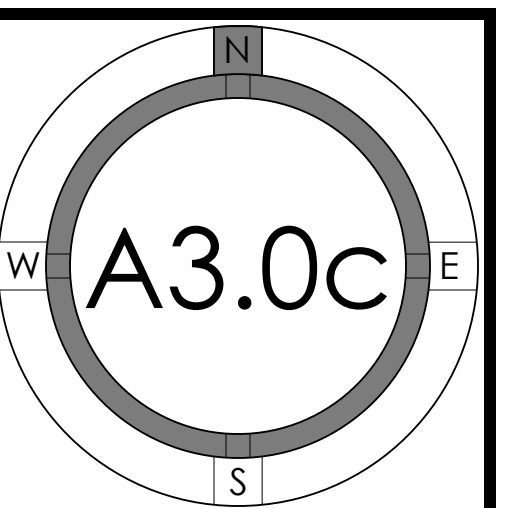
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EXTERIOR
 ELEVATIONS





PERSPECTIVE EXTERIOR REAR PATIO - 4



PERSPECTIVE EXTERIOR FRONT ENTRY - 1



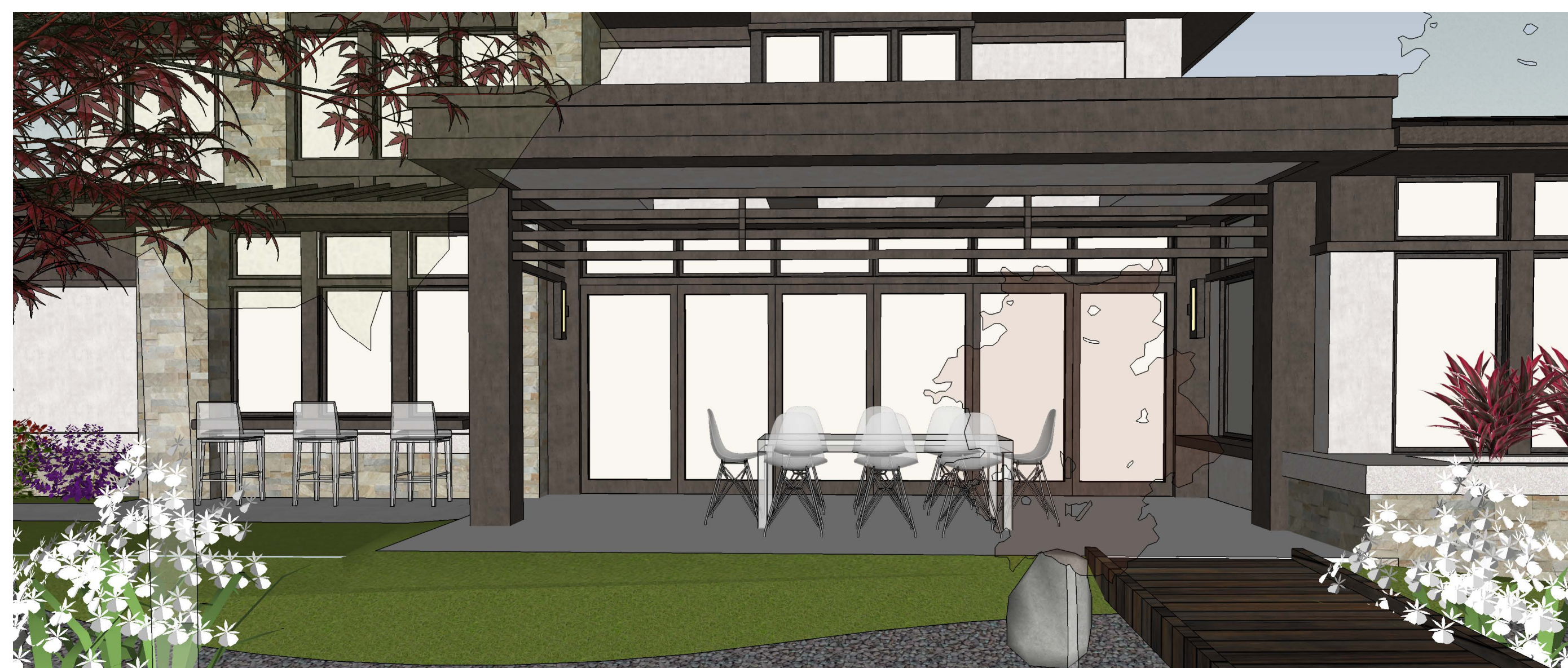
PERSPECTIVE EXTERIOR REAR - 5



PERSPECTIVE EXTERIOR REAR - 2



PERSPECTIVE EXTERIOR LEFT - 6



PERSPECTIVE EXTERIOR REAR PATIO - 3



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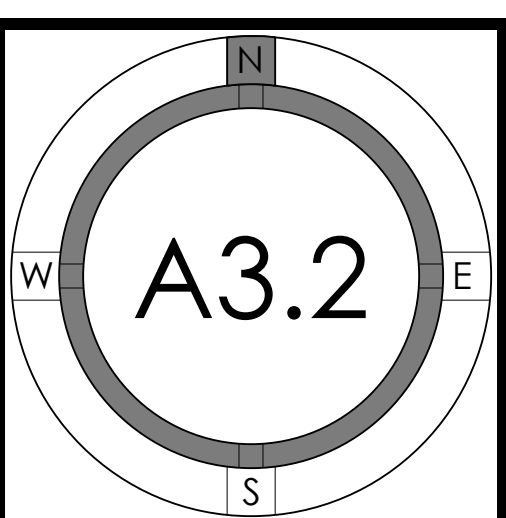
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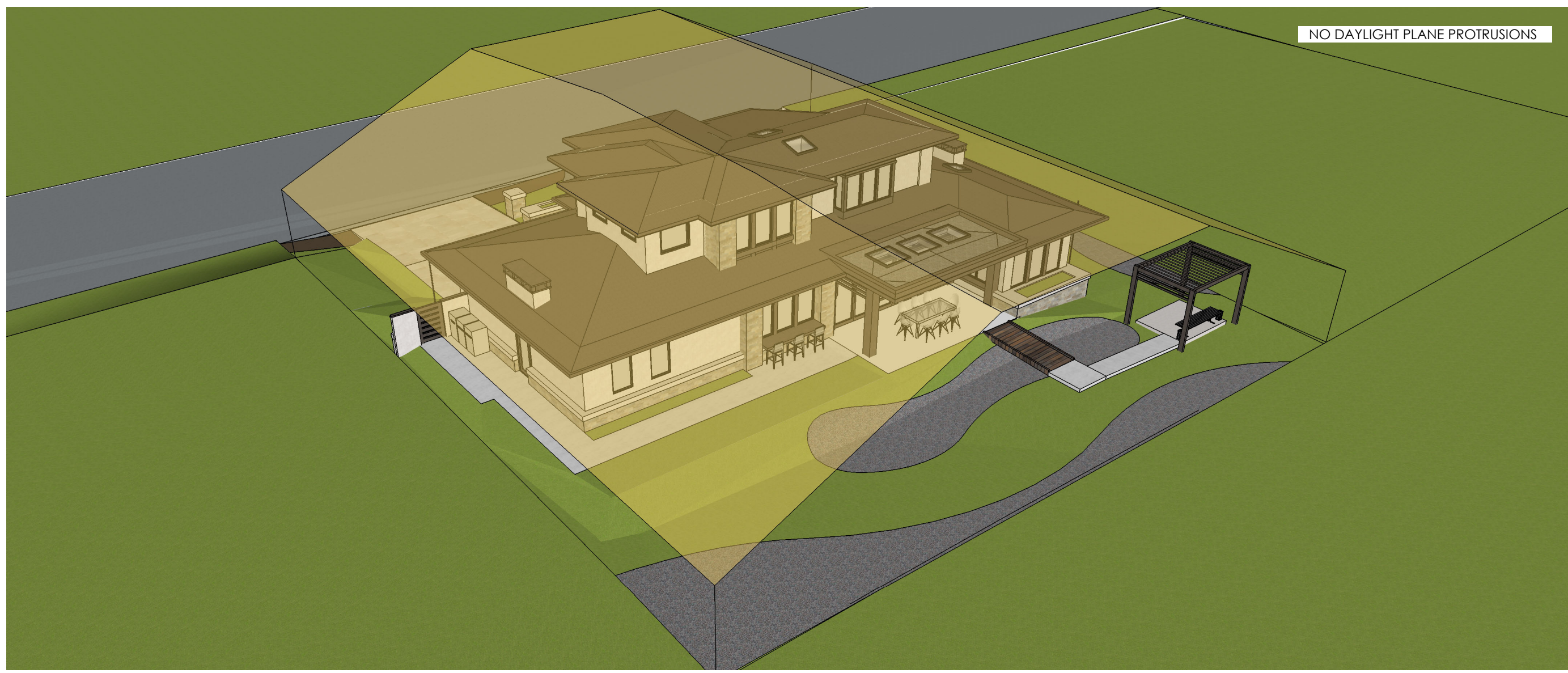


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	09.21.2021.	DESIGN REVIEW RESUBMITTAL	MKA
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EXTERIOR
PERSPECTIVES





DAYLIGHT PLANE - 4



DAYLIGHT PLANE - 1



DAYLIGHT PLANE - 5



DAYLIGHT PLANE - 2



DAYLIGHT PLANE - 6



DAYLIGHT PLANE - 3



STUDIO 5 SQUARED
ARCHITECTURE
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

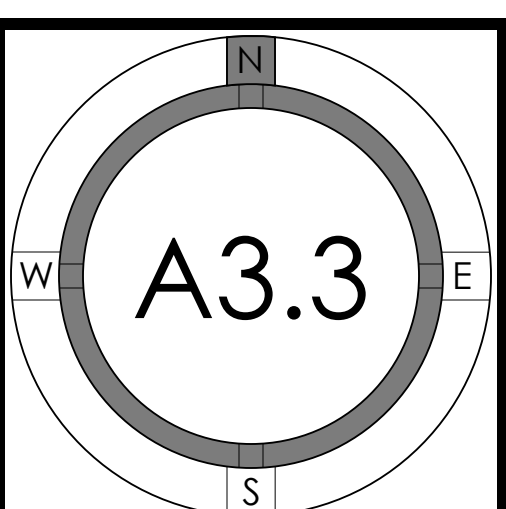
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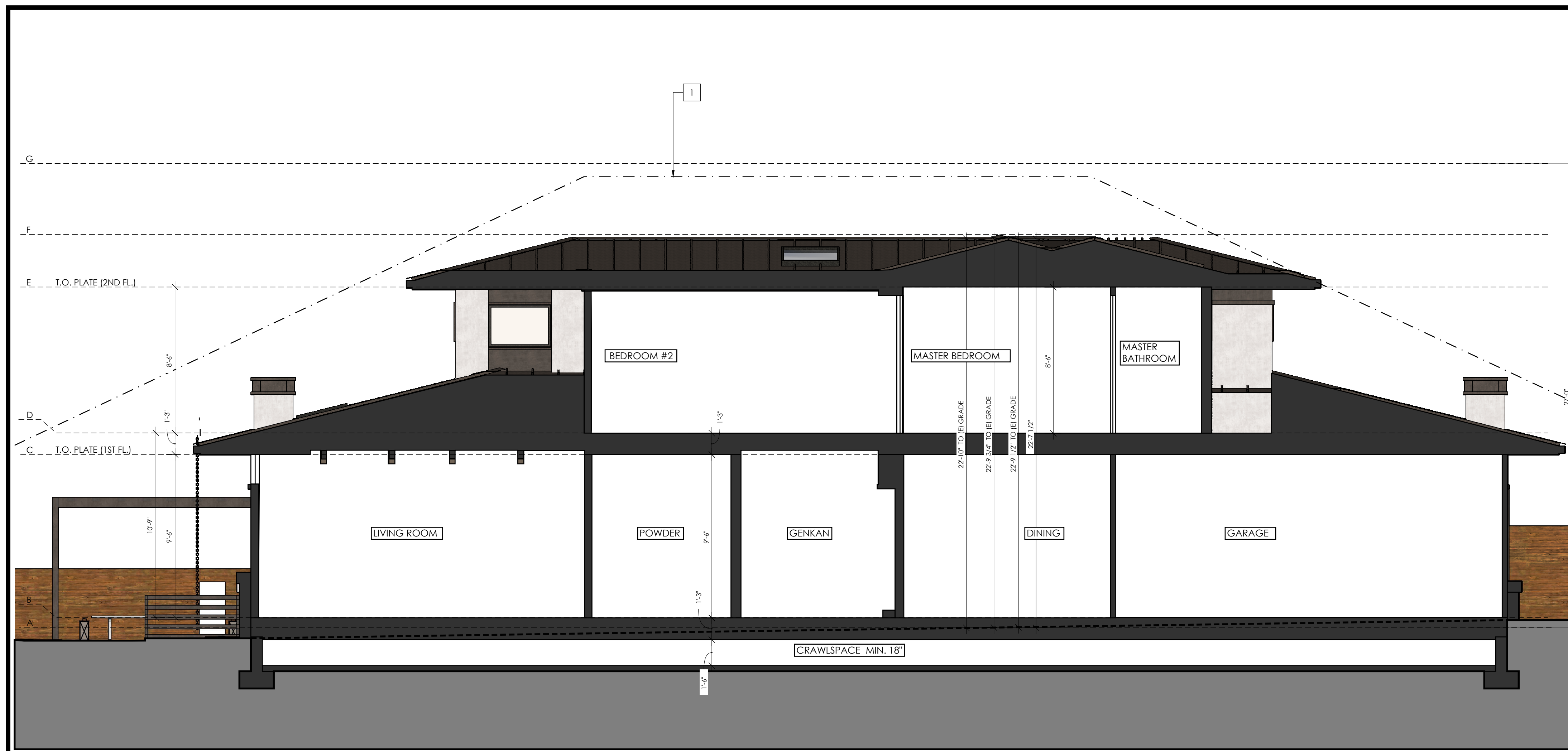


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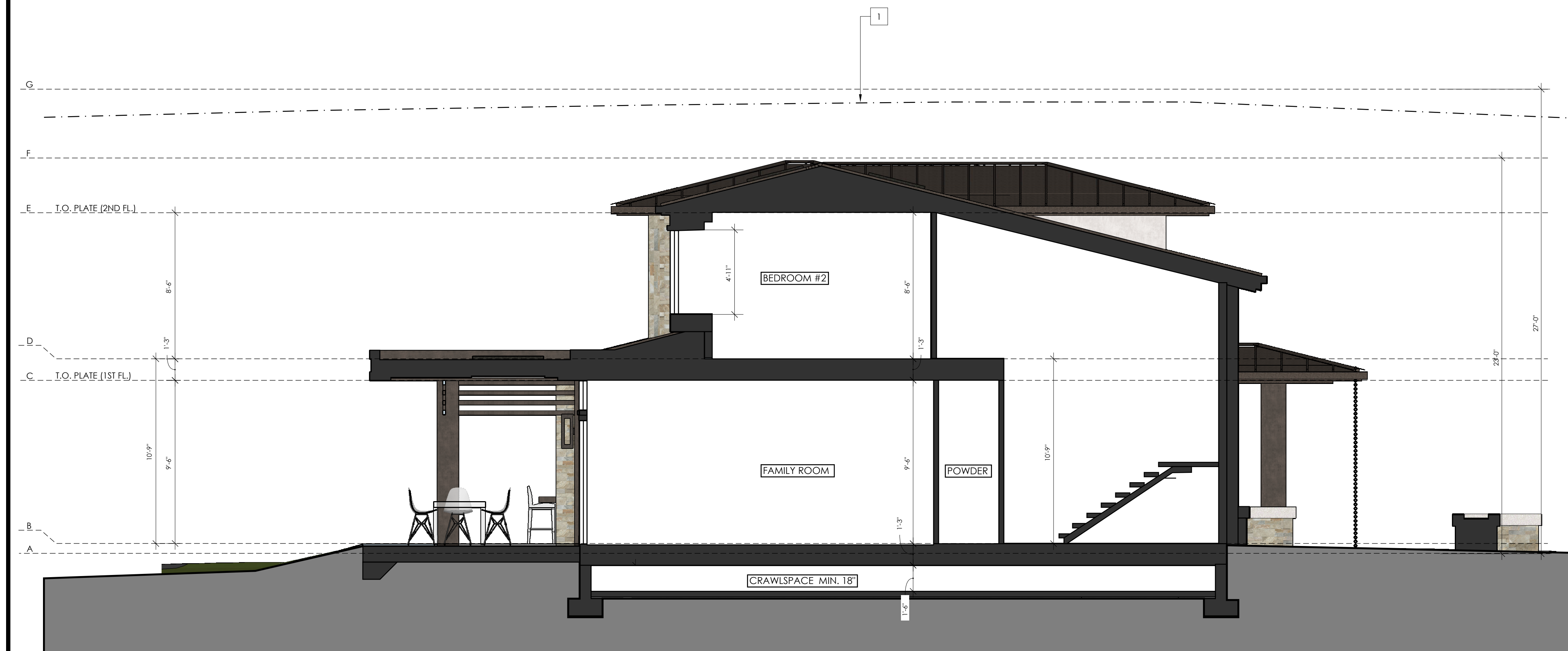
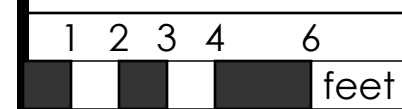
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DAYLIGHT
PLANE

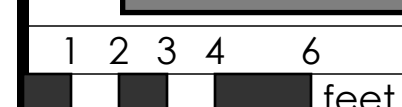




SECTION 1 1/4" 1



SECTION 2 1/4" 2



= NUMBER OF KEYNOTE BELOW
 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION

ELEVATION GRID LINE KEY
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KEYNOTES	-	-

ELEVATION GRID LINE KEY	-	-



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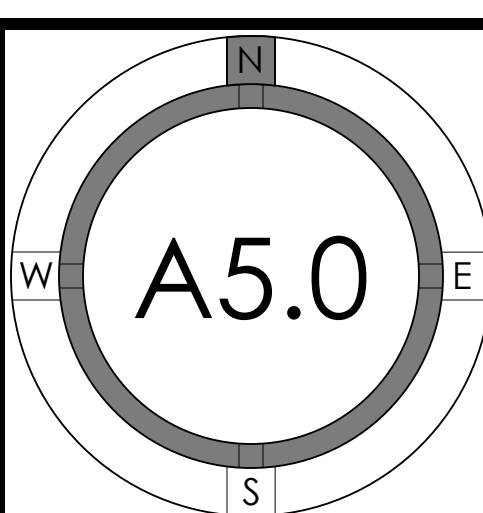
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SECTIONS



NEW RESIDENCE

959 ALTOS OAKS DRIVE
LOS ALTOS, CA
APN: 189-12-038

W E C
& ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: NOV 11, 2020
SCALE: 1/8"=1'-0"
DRAWN: BG
JOB: 10078

SHEET TITLE:

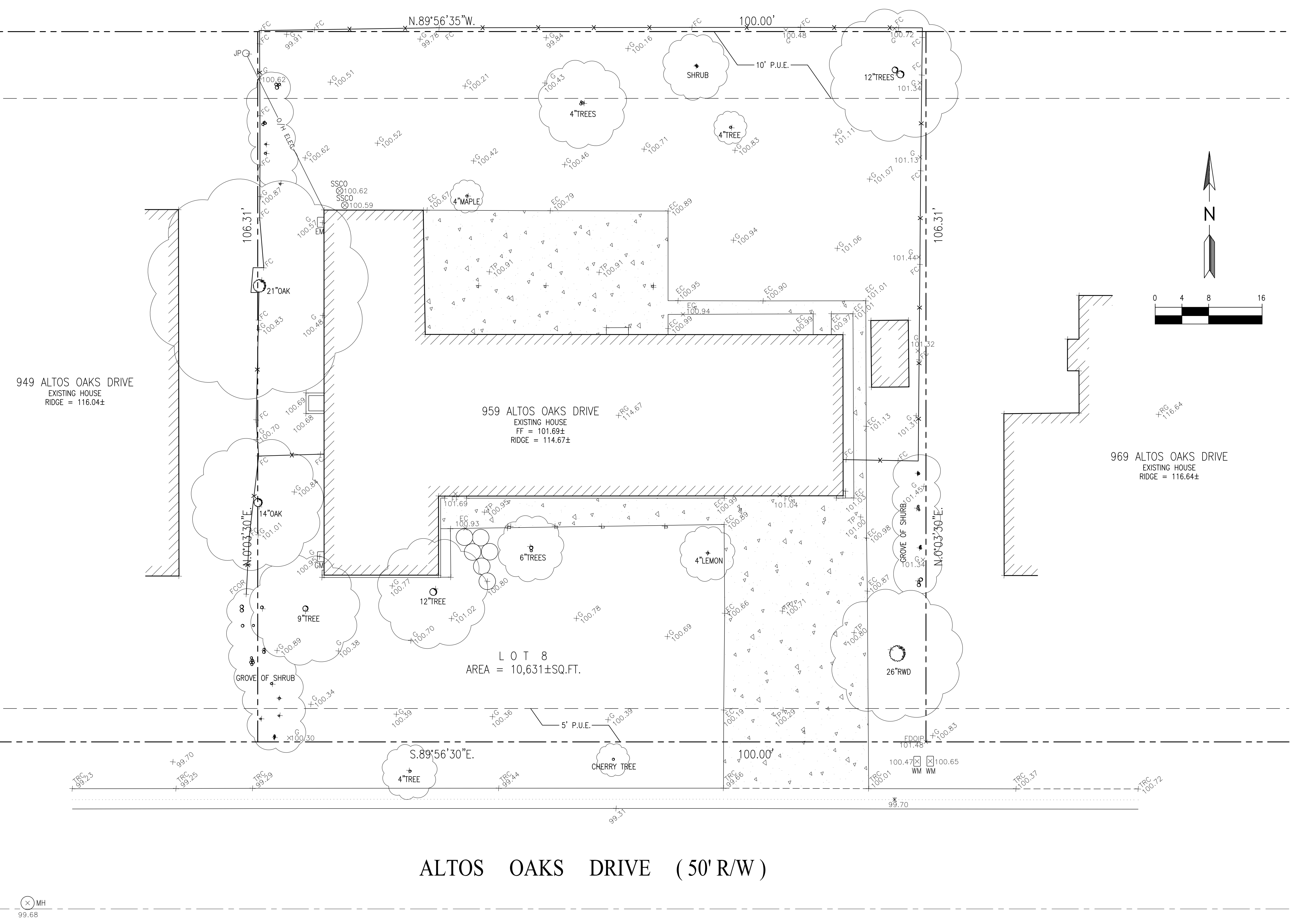
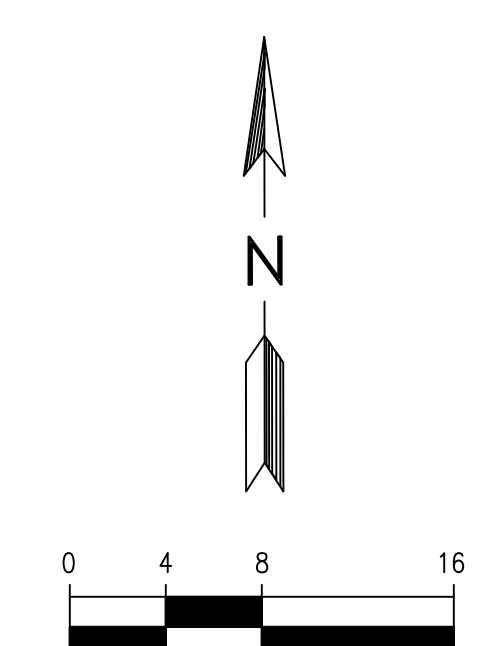
TOPOGRAPHIC SURVEY

SHEET NO.

C.0

LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PROPERTY CORNER
- RW RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOE OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE



BASIS OF BEARINGS:

THE BEARING, S89°56'30"E, OF THE CENTER LINE OF ALTOS OAKS DRIVE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 62 OF MAPS AT PAGE 14, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV=100.00 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES. SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

LEGAL DESCRIPTION:

LOT 8, TRACT NO.1486, MAP REF: BOOK 62 PAGE 14

NOTE:

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

ALTOS OAKS DRIVE (50' R/W)

MH
99.68

TBM
100.00

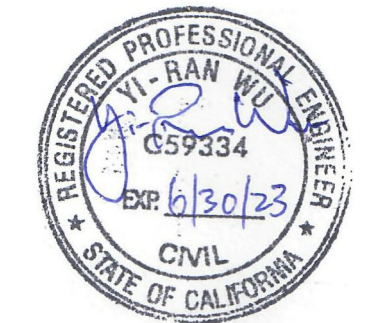
**NEW
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2625 MIDDLEFIELD RD #638
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: AUG 2, 2021
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

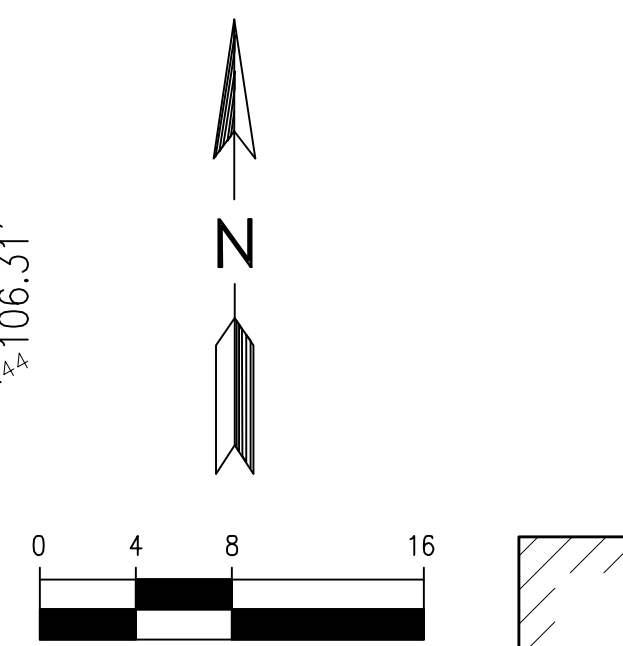
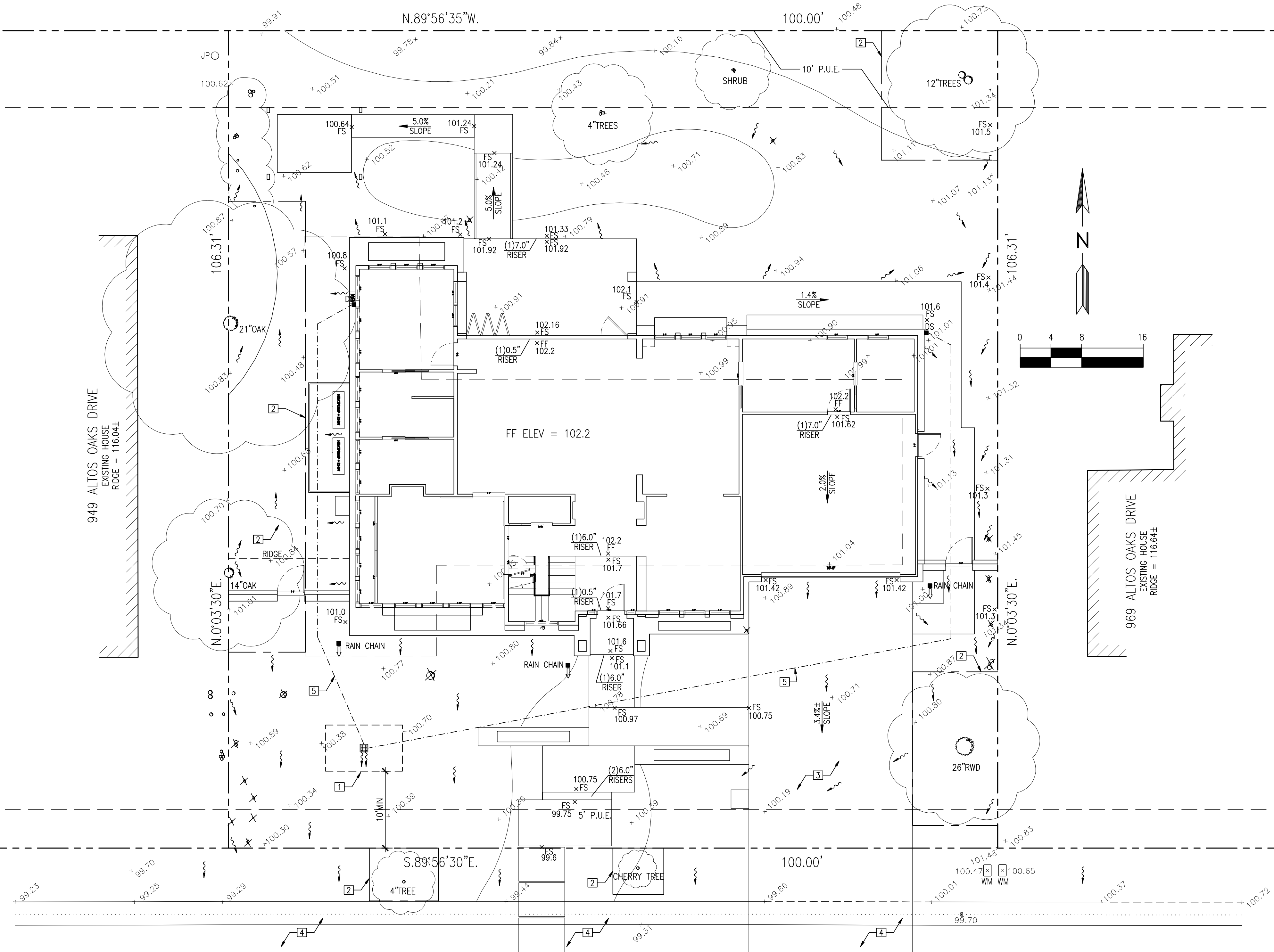
**GRADING &
DRAINAGE
PLAN**

SHEET NO.

C.1

- 1 INFILTRATION DEVICE, 6'X10', 3' DEEP, RIM = 100.5 SEE 6/C.4
- 2 SEE ARCHITECTURAL PLAN FOR TREE PROTECTION FENCE AND DETAILS
- 3 SLOPE DRIVEWAY TOWARDS THE LANDSCAPED AREA
- 4 ANY DAMAGED RIGHT OF WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GITER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT 650-947-2780
- 5 4" SOLID PVC STORM DRAIN LINE TO INFILTRATION DEVICE. MIN 0.5% SLOPE

PROPERTY LINE - - - - -
4" SOLID PVC SD LINE - - - - -
GRADE BREAK - - - - -



ALTOS OAKS DRIVE (50' R/W)

MH
99.68

**NEW
RESIDENCE**

959 ALTOS OAKS DRIVE
LOS ALTOS, CA
APN: 189-12-038

W E C
& ASSOCIATES

2625 MIDDLEFIELD RD #638
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: AUG 2, 2021
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

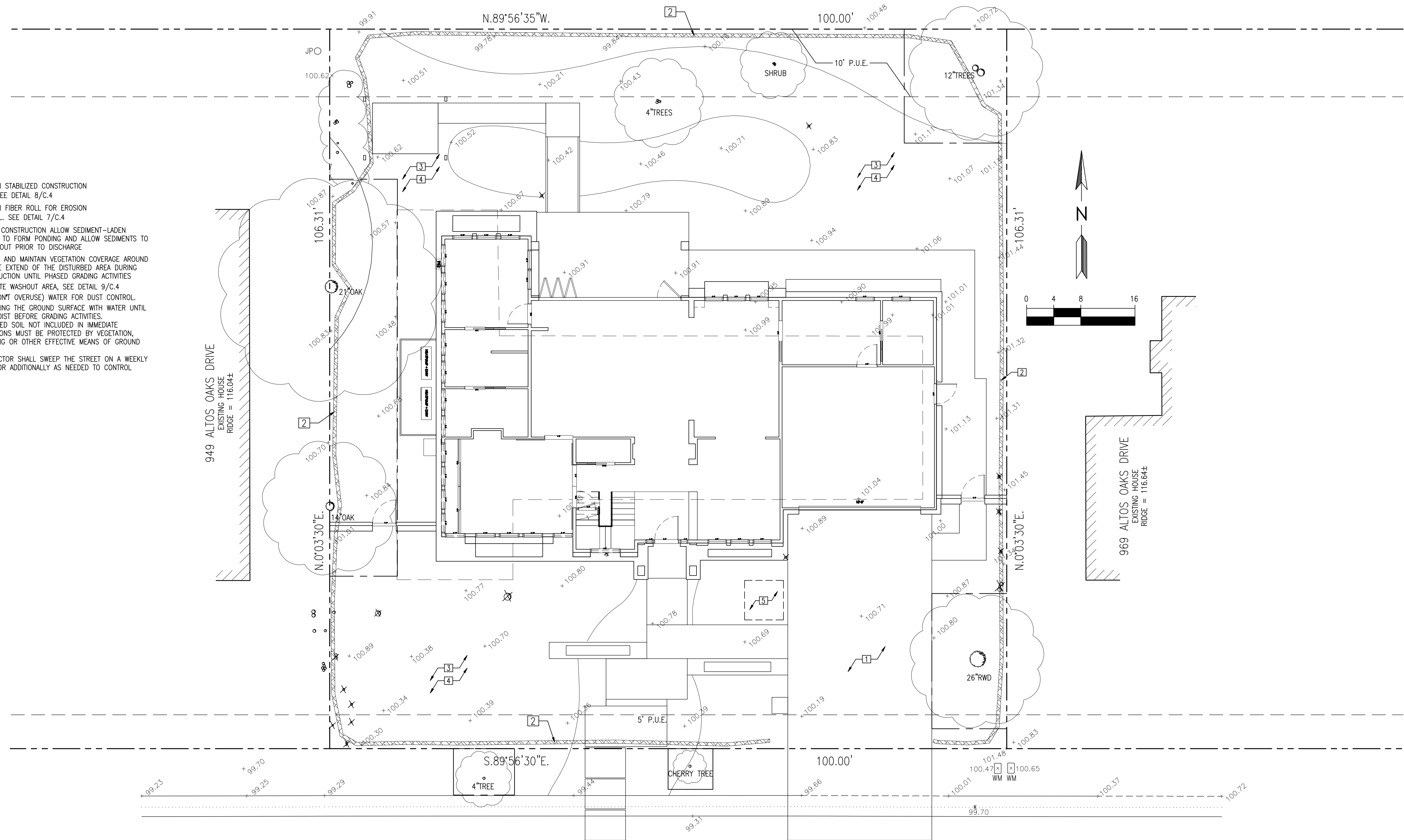
SHEET TITLE:

**EROSION
CONTROL
PLAN**

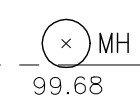
SHEET NO.

C.2

- 1 MAINTAIN STABILIZED CONSTRUCTION AREA. SEE DETAIL 8/C.4
- 2 MAINTAIN FIBER ROLL FOR EROSION CONTROL. SEE DETAIL 7/C.4
- 3 DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
- 4 PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
- 5 CONCRETE WASHOUT AREA, SEE DETAIL 9/C.4
- 6 USE (DON'T OVERUSE) WATER FOR DUST CONTROL.
- 7 SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOIST BEFORE GRADING ACTIVITIES.
- 8 DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER. CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.



ALTOS OAKS DRIVE (50' R/W)



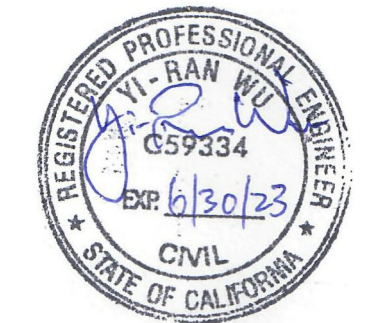
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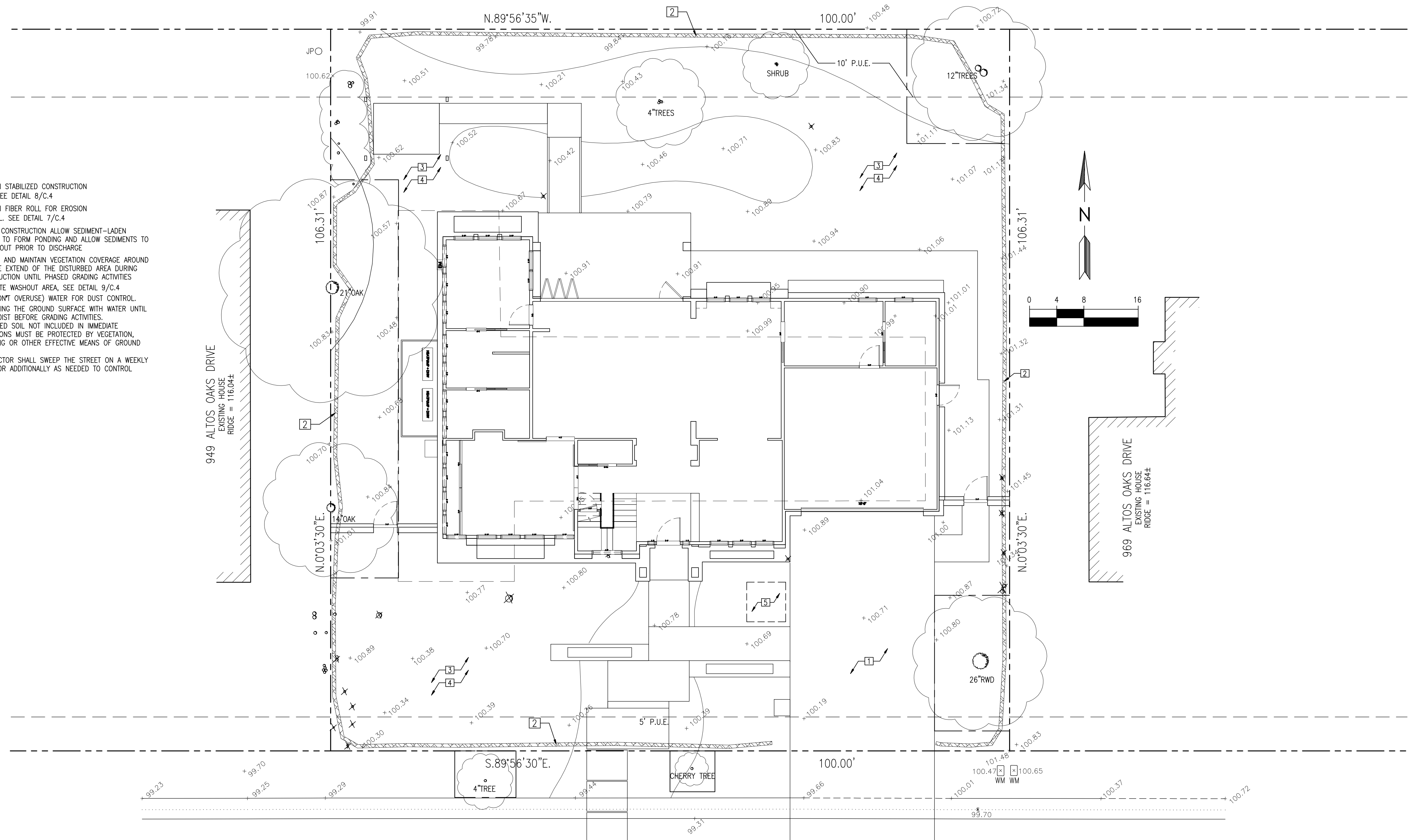
SHEET TITLE:

**UTILITY
COORDINATION
PLAN**

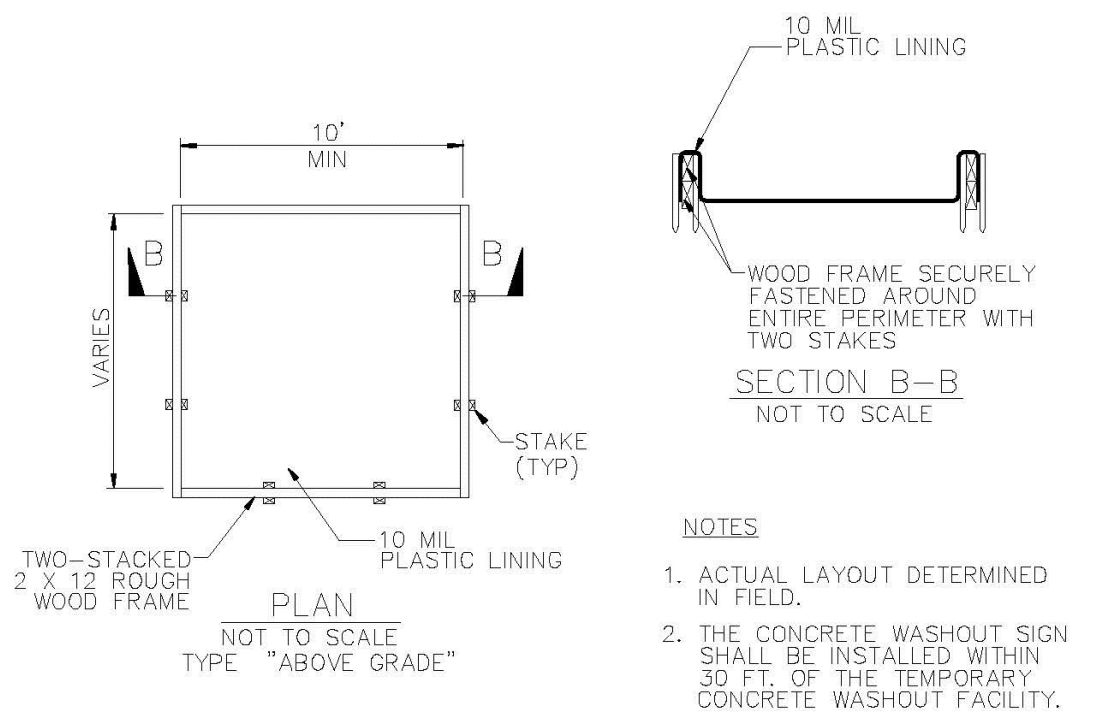
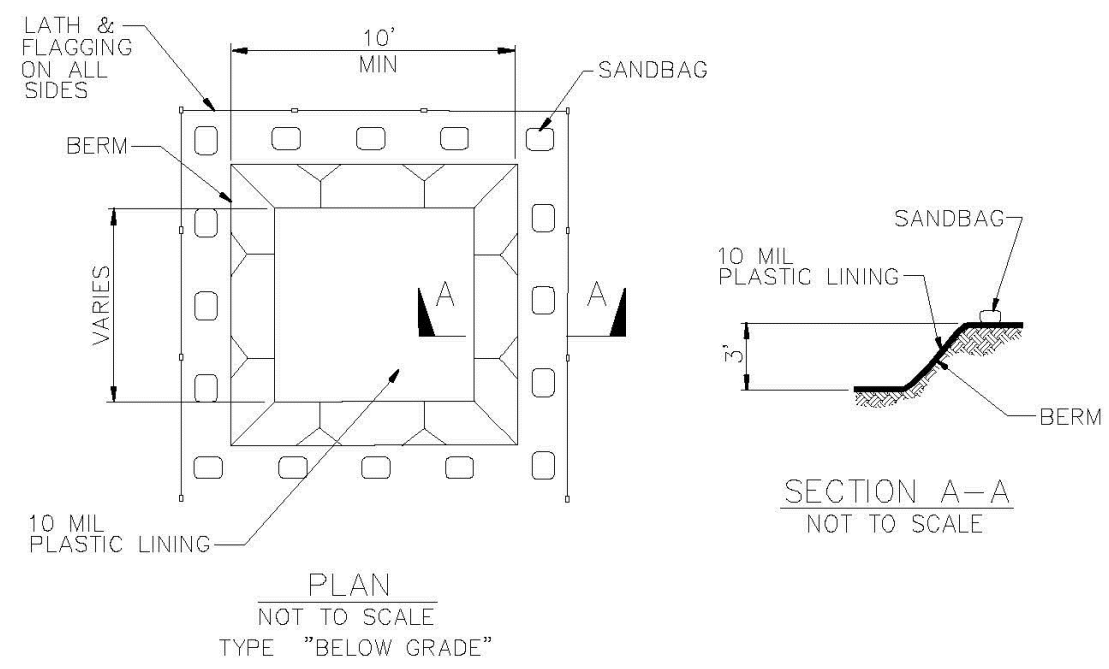
SHEET NO.

C.3

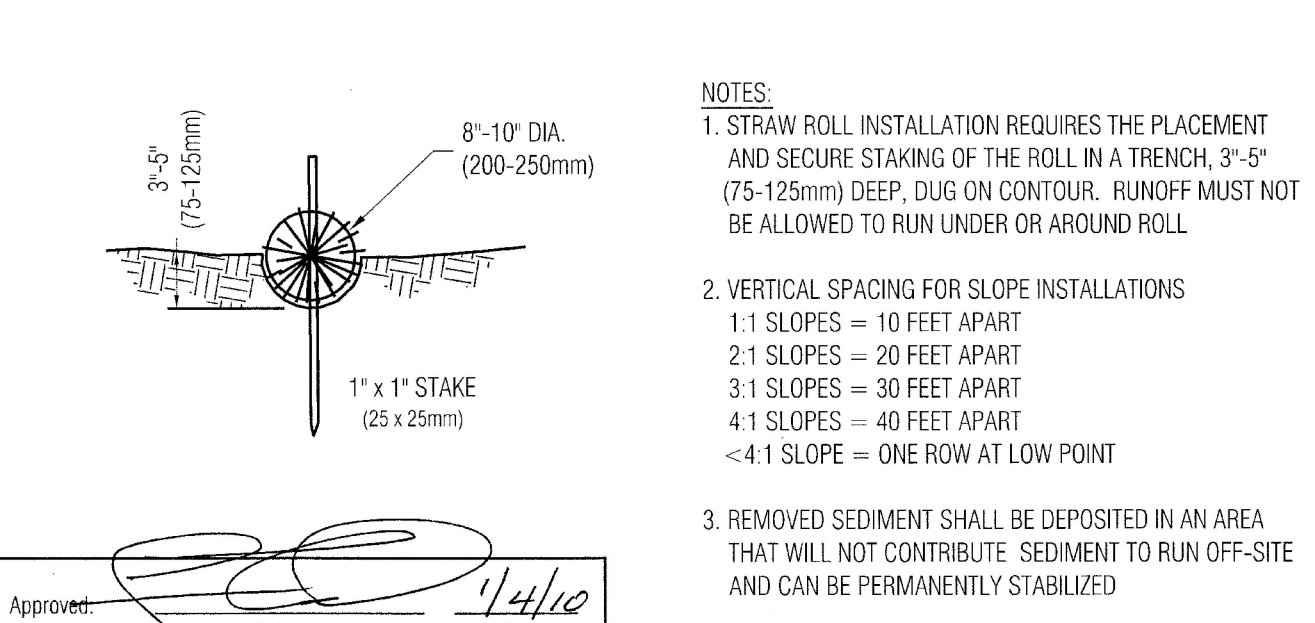
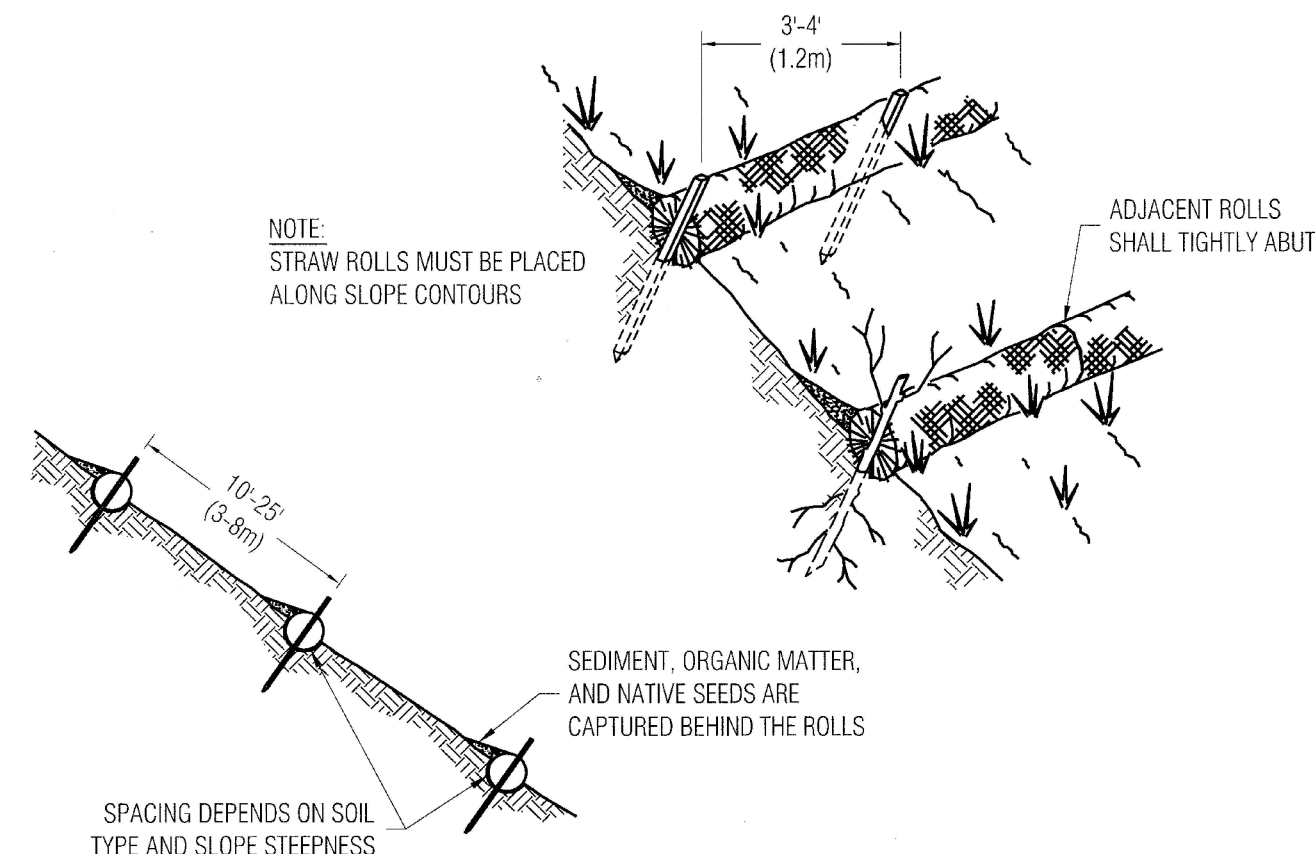
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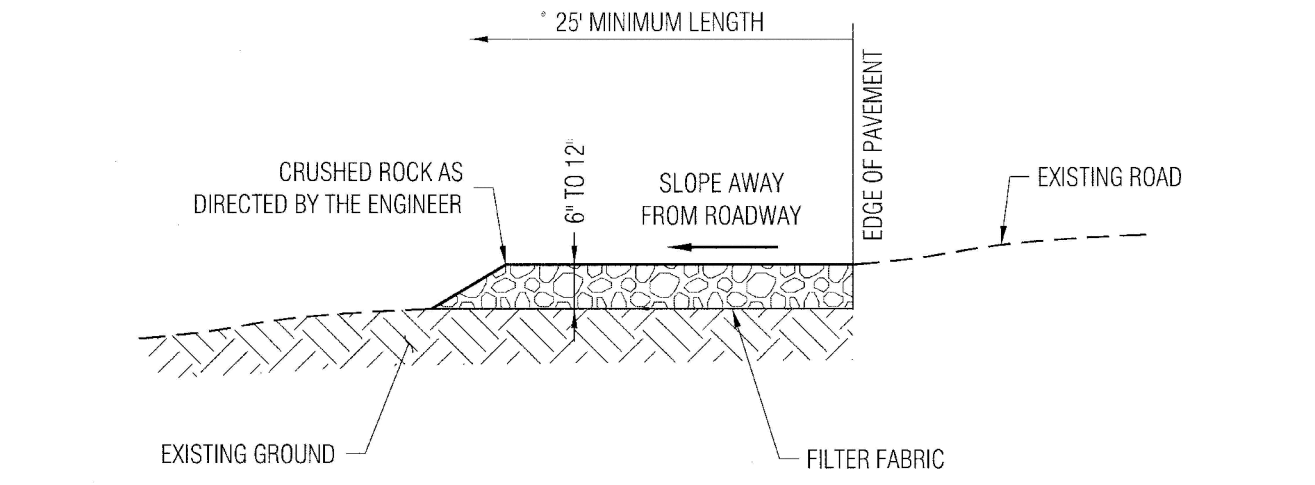
ALTOS OAKS DRIVE (50' R/W)



CONCRETE WASHOUT AREA 9



FIBER ROLL DETAIL 7



STABILIZED CONSTRUCTION ENTRANCE 8

EARTHWORK QUANTITIES:

CUT(OUTSIDE BLDG FOOTPRINT)	5 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	40 C.Y.
FILL	15 C.Y.
BALANCE	30 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL EST. 3

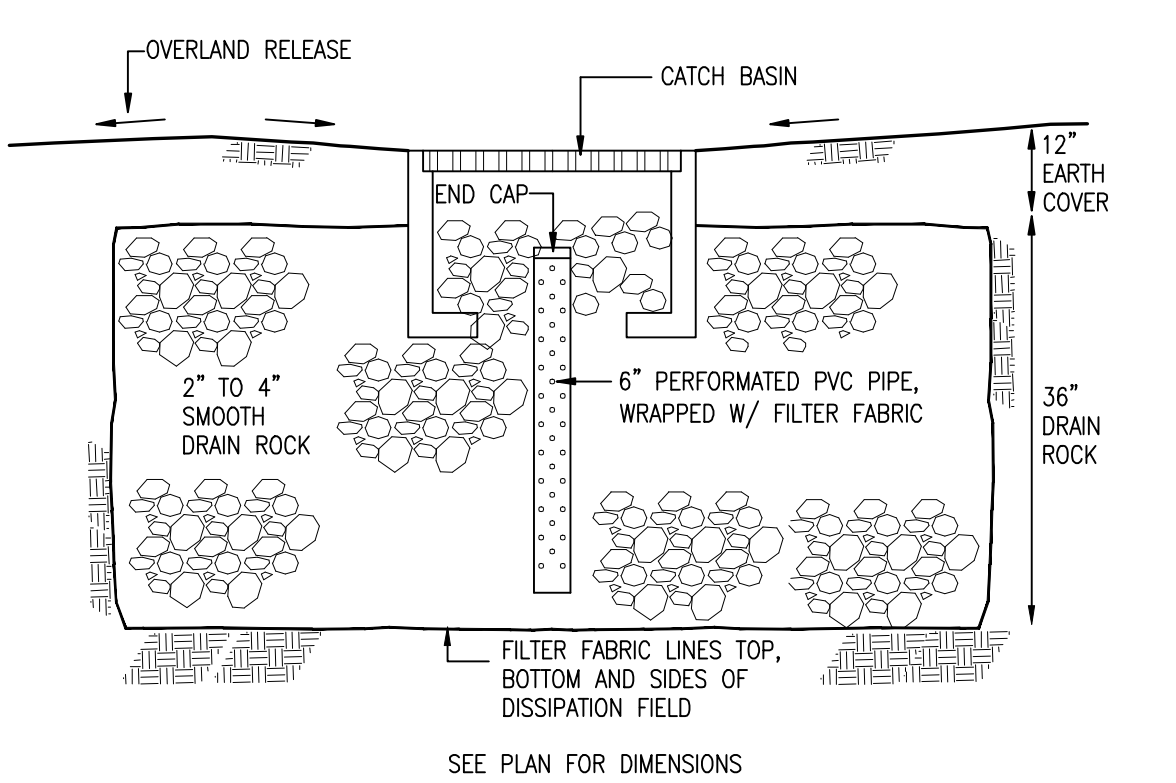
LEGEND 4

SS	SANITARY SEWER	SL	STREET LIGHT
E	ELECTRIC	IRR	IRRIGATION
TV	TV/CABLE TV	X	FENCE
FS	FIRE SERVICE	JT	JOINT TRENCH
W	DOMESTIC WATER SERVICE	O/H	OVERHEAD WIRES
T	TELEPHONE	16.07	(E) SPOT ELEVATION
G	NATURAL GAS	16.07	(N) SPOT ELEVATION
FM	FORCE MAIN		
DS	SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG.		
	DN		DOWNSPOUT

ABBREVIATION 5

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	PKG	PARKING
DS	DOWNSPOUT	POC	POINT OF CONNECTION
DWY	DRIVEWAY	RET	RETAINING WALL
(E)	EXISTING	RIM	RIM ELEVATION
EG	EXISTING GRADING	S	SLOPE
EM	ELECTRICAL METER	SD	STORM DRAIN LINE
EP	EDGE OF PAVEMENT	SDCO	STORM DRAIN CLEANOUT
FC	FACE OF CURB ELEV.	SDFM	STORM DRAIN FORCED MAIN
FD	FRENCH DRAIN	SS	SANITARY SEWER
FF	FINISH FLOOR ELEVATION	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GROUND ELEV.	TW	TOP OF WALL ELEVATION
FL	FLOW LINE ELEVATION	TYP	TYPICAL
FM	FORCE MAIN LINE	W	DOMESTIC WATER LINE
FP	FINISHED PAVEMENT	WM	WATER METER
FS	FINISH SURFACE ELEV		
FW	FIRE WATER LINE		

ABBREVIATION 5



INFILTRATION DEVICE N.T.S. 6

GRADING AND DRAINAGE NOTES:

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
- THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
- UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT REFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
- CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

UTILITY NOTES:

- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL GRAVITY SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION. ALL WORK FOR GRAVITY SYSTEMS SHALL BEGIN AT THE 1. DOWNSTREAM CONNECTION POINT. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION. ELBOWS AND TEE SHOULD BE AVOIDED.
- CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS.
- A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
- A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE (5) FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

GENERAL NOTES 1

EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
- STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPAULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
- PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

EROSION CONTROL NOTE 2

NEW RESIDENCE

959 ALTOS OAKS DRIVE
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APN: 189-12-038

W E C & ASSOCIATES

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ISSUED

No.	Description	Date

DATE: **AUG 2, 2021**
SCALE: **AS SHOWN**
DRAWN: **J**
JOB: **10078**

SHEET TITLE:

DETAILS

SHEET NO.

C.4



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

YAMAMURA-GREEN RESIDENCE
NEW SINGLE FAMILY RESIDENCE

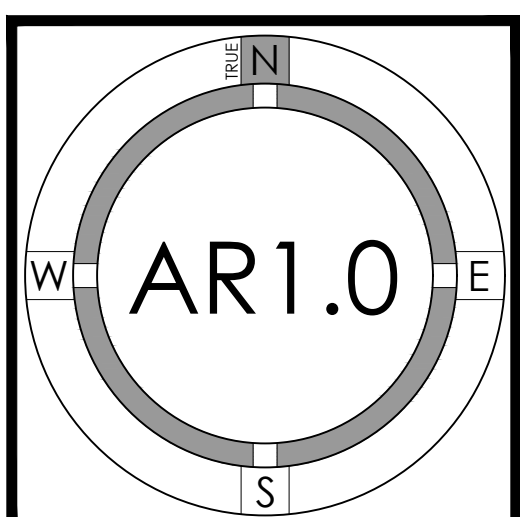
959 Altos Oaks Drive, Los Altos, CA 94024

Kayo Yamamura & Mark Green



PROJECT NO.	20-033		
REVISION	DATE	DESCRIPTION	DRAWN BY
	05.19.2021	DESIGN REVIEW	MKA
	09.21.2021	DESIGN REVIEW RESUBMITTAL	MKA,IG
	02.11.2022	DRC RESUBMITTAL	MKA,IG

ARBORIST REPORT



FOR PERMIT REVIEW ONLY -- NOT FOR CONSTRUCTION

Kiely Arborist Services LLC
Certified Arborist WE#0476A
P.O. Box 6187
San Mateo, CA 94403
650-515-9783

September 22nd, 2021
Kayo Yamamura & Mark Green
Kayo.yamamura@sbcglobal.net
Green.mark@sbcglobal.net
Site: 959 Altos Oaks Drive, Los Altos
Dear Kayo Yamamura & Mark Green,

As requested on Wednesday, November 4th, 2021, I visited the above site for the purpose of inspecting and commenting on the trees. A new home is proposed for this site, and as required by the City of Los Altos, a survey of the trees and a tree protection plan will be provided within this report. Site plan A1.0a dated 2/22/21 was reviewed for writing this report. All work within the dripline of a protected tree on site will need to be reviewed by the Project Arborist. This report will go over the existing health of the protected trees and will give recommendations for construction as needed followed by a tree protection plan.

Method:
The significant trees on this site were located on a map provided by you. Each tree was given an identification number. This number was inscribed on a metal foil tag and nailed to the trees at eye level. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). Each tree was put into a health class using the following rating system:

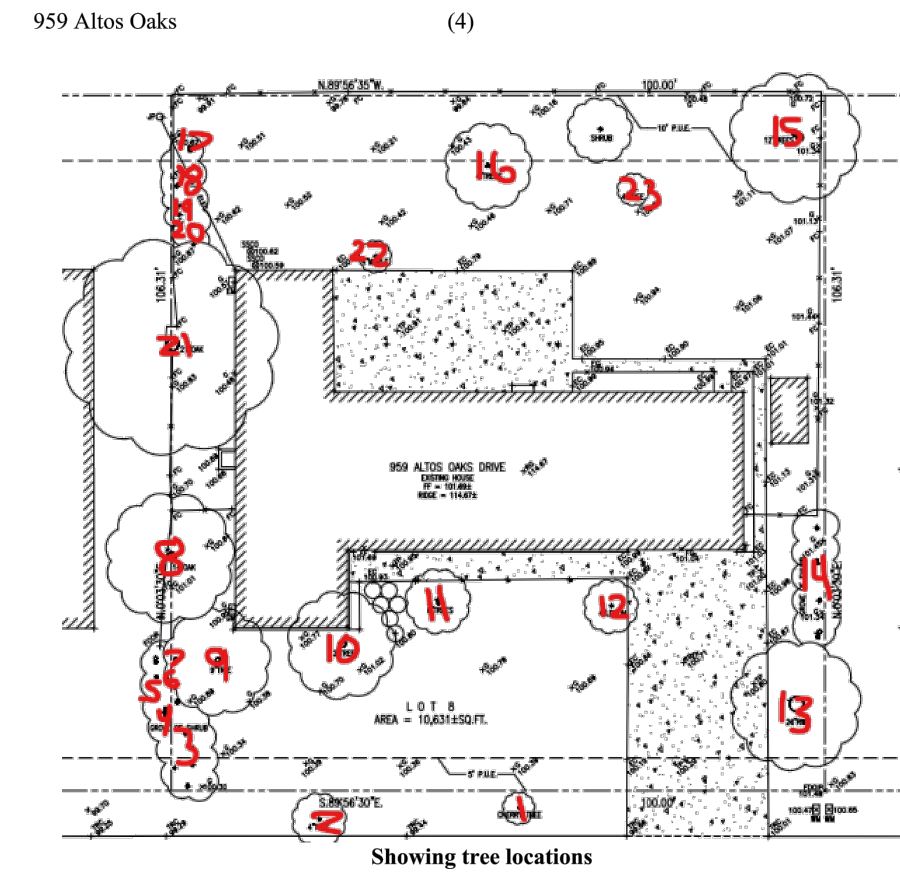
- F- Very Poor
- D- Poor
- C- Fair
- B- Good
- A- Excellent

The height of each tree was estimated and the spread was paced off. Lastly, a comments section is provided.

Survey Key:
DBH-Diameter at breast height (54" above grade)
CON-Condition rating (1-100)
HT/SP- Tree height/canopy spread
*indicates neighbor's trees
P-indicates protected tree by city ordinance
R-indicates proposed removal

Tree#	Species	DBH	CON	HT/SP	Comments
1P	Cherry (<i>Prunus serrulata</i>)	6@base	A	12/12	Good vigor, fair form, multi leader at grade, street tree.
2P	Crape myrtle (<i>Lagerstroemia sp.</i>)	5@base	A	10/8	Good vigor, fair form, multi leader at grade, street tree.
3R	Firethorn (shrub) (<i>Pyracantha sp.</i>)	3-2-2	D	10/10	Fair vigor, poor form, suppressed, decay on trunk.
4R	Privet (<i>Ligustrum japonicum</i>)	4.0	D	10/10	Fair to poor vigor, poor form, suppressed, leans.
5R	Privet (<i>Ligustrum japonicum</i>)	5.0	D	20/10	Poor vigor, fair form, suppressed.
6R	Black walnut (<i>Juglans nigra</i>)	4.0	F	8/2	Poor vigor, poor form, topped, nearly dead.
7R	Black walnut (<i>Juglans nigra</i>)	5.0	D	20/10	Poor vigor, poor form, nearly dead.
8P	Coast live oak (<i>Quercus agrifolia</i>)	16.0	B	35/25	Good vigor, fair form, codominant at 10 feet.
9	Xylocopa (<i>Xylocopa congesta</i>)	8.7	C	20/12	Fair vigor, fair form, suppressed.
10R	Hollywood juniper (<i>Juniperus chinensis</i>)	12.3	B	15/12	Good vigor, fair form, close to home foundation.
11R	Rose of Sharon (shrub) (<i>Hibiscus syriacus</i>)	6.0	C	8/8	Fair vigor, fair form, hedge pruned, close to home.
12R	Orange (<i>Citrus sp.</i>)	6@base	C	6/10	Fair vigor, fair form.
13P	Redwood (<i>Sequoia sempervirens</i>)	20.0	C	45/20	Good vigor, fair form, at driveway, topped in past.
14	Pittosporum (<i>Pittosporum tobira</i>)	6"x5	C	8/10	Fair vigor, fair form, suppressed, hedge pruned.

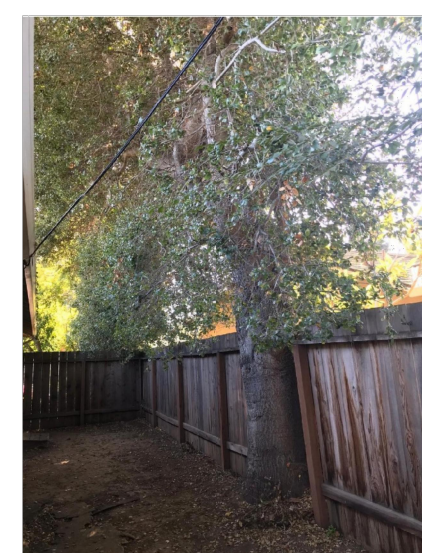
Tree#	Species	DBH	CON	HT/SP	Comments
15P	African fern pine (<i>Africanus falcatus</i>)	15.2-10	B	25/20	Good vigor, fair form, topped for line clearance.
16	Privet (<i>Ligustrum japonicum</i>)	8@base	B	15/12	Good vigor, fair form, well maintained.
17	Accolade elm (<i>Ulmus 'Morton accolade'</i>)	3"x4	D	15/8	Fair vigor, poor form, topped in past, multi leader at grade.
18	Accolade elm (<i>Ulmus 'Morton accolade'</i>)	4-3-2-2	D	15/8	Fair vigor, poor form, topped in past, multi leader at grade.
19	Accolade elm (<i>Ulmus 'Morton accolade'</i>)	4-3-1	D	15/8	Fair vigor, poor form, topped in past, multi leader at grade.
20	Accolade elm (<i>Ulmus 'Morton accolade'</i>)	3.0	D	15/8	Fair vigor, poor form, topped in past, multi leader at grade.
21P	Coast live oak (<i>Coast live oak</i>)	25est	B	35/30	Good vigor, fair form, pruned away from structures in past, on property line.
22	Japanese maple (<i>Acer palmatum</i>)	4.0	B	6/5	Fair vigor, fair form. To be relocated.
23R	Japanese maple (<i>Acer palmatum</i>)	4.0	B	6/5	Fair vigor, fair form.



Site observations:
The existing landscape is in fair condition. 23 trees were surveyed. Trees #1, 2, 8, 13, 15, and 21 are protected trees. Trees #1 and #2 are street trees located within the public right of way. The protected trees are all well located on the perimeter of the property making for an ideal construction site with appropriate tree protection measures. The majority of the trees are in fair condition. Trees with a D condition rating or lower are at the end of their lifespan within the landscape. Redwood tree #13 has been topped in the past. This will result in the growth of codominant leaders in the future. This tree will need maintenance in the next 5-10 years to establish a new central leader.

The oak trees on the western property line have been pruned back away from the roof in the past. This same type of pruning will be needed to be done every 5 years to maintain the size of the canopies. The trees on the property are recommended to be inspected every 3 years.

959 Altos Oaks (5)
Trees proposed for removal:
Trees #3-7, 9-12, 14, and 23 are proposed for removal to facilitate construction. These trees are not of a protected size in the city of Los Altos. Japanese maple tree #22 is to be relocated on site.



Impacts/recommendations:
The proposed home has been pushed further to the east when compared to the existing home near oak trees #8 and #21. This will result in a larger area for future growth and will benefit the trees. No impacts are expected due to the proposed home foundation.



A new driveway is proposed at the same location as the existing driveway near redwood tree #13. The driveway will be a concrete driveway over 8 inches of base rock. All demolition/excavation for the driveway will need to be done by hand when underneath the redwood tree's dripline. Roots within the base rock layer are recommended to be retained by packing base rock around roots. The redwood tree is recommended to be irrigated every 2 weeks during the dry season.

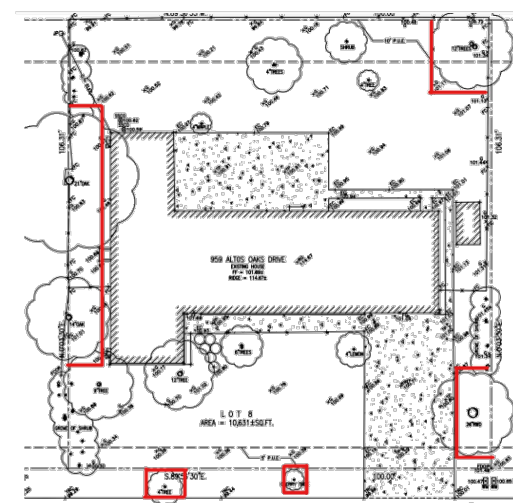
Showing redwood tree #13

959 Altos Oaks (6)

A new fence and dry stack stone wall is show a few feet from oak tree #8. The dry stack stone wall will have no impact on the tree as no excavation is required. The proposed fence post are recommended to be excavated by hand when underneath the dripline of the tree. Any roots encountered measuring 2" in diameter or larger are recommended to be shown to the Project Arborist. If needed the plan is recommended to maintain flexibility on fence post locations if large roots happen to be encountered. The Project Arborist is recommended to be on site to inspect the post hole excavation when underneath the dripline of the tree. Impacts are expected to be minor to nonexistent. Minor irrigation will need to be applied to the tree under the Project Arborist direction if roots are impacted. The following tree protection measures will protect the trees during the proposed construction.

Tree Protection Plan:
Tree Protection Zones
Tree protection zones should be installed and maintained throughout the entire length of the project. Prior to the commencement of any Development Project, a chain link fence shall be installed at the drip line (canopy spread) of any protected tree which will or will not be affected by the construction. Non-protected trees are recommended to also be protected in the same way. The drip line shall not be altered in any way so as to increase the encroachment of the construction. When work is to take place underneath a trees dripline, fencing must be placed as close as possible to the tree proposed work. If an area of access is needed underneath a trees canopy, the area shall be protected by a landscape barrier. Fencing for the protection zones should be 6-foot-tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Excavation, grading, soil deposits, drainage and leveling is prohibited within the tree protection zones without the project arborist consent. No wires, signs or ropes shall be attached to the protected trees on site. Utility services and irrigation lines shall all be placed outside of the tree protection zones when possible. When access is needed and tree protection fencing restricts access a landscape barrier shall be installed to protect the non-protected root zone.

959 Altos Oaks (7)



Showing the recommended tree protection fencing locations for the protected trees on site

Landscape Barrier zone
If for any reason a smaller tree protection zone is needed for access, a landscape barrier consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where tree protection fencing is required. The landscape barrier will help to reduce compaction to the unprotected root zone.

Inspections
The site arborist will need to verify that tree protection fencing has been installed before the start of construction. The site arborist must inspect the site anytime excavation work is to take place underneath a protected trees dripline. It is the contractor's responsibility to contact the site arborist if excavation work is to take place underneath the protected trees on site. Kiely Arborist Services can be reached at kkarbor0476@yahoo.com or by phone at (650) 515-9783 (Kevin), or (650) 532-4418 (David).

Root Cutting and Grading
If for any reason roots are to be cut, they shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The site arborist must first give consent if roots over 2 inches in diameter are to be cut.

959 Altos Oaks (8)

Trenching and Excavation
Trenching for foundation, irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible and if possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

Irrigation
Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April - November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation. Irrigation for the oak trees shall only be given in the months of May and September. During the dry season the root zones are recommended to be kept dry. The information included in this report is believed to be true and based on sound arboricultural principles and practices. Sincerely, Kevin R. Kiely, Certified Arborist WE#0476A

Kevin Kiely

959 Altos Oaks (9)
Kiely Arborist Services
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ARBORIST DISCLOSURE STATEMENT

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fall in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.

Arborist: *Kevin R. Kiely*
Kevin R. Kiely
Date: September 22nd, 2021