



DATE: March 16, 2022

AGENDA ITEM #4

TO: Design Review Commission
FROM: Nazaneen Healy, Associate Planner
SUBJECT: SC21-0039 – 217 Pasa Robles Ave

RECOMMENDATION:

Consider design review application SC21-0039 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for a new 3,356 square-foot two-story single-family residence. The project includes 1,959 square feet on the first story and 1,397 square feet on the second story. A 682 square-foot detached accessory dwelling unit (ADU) is also proposed but is not part of the design review application. This project is recommended to be considered categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act since it involves the construction of one single-family residence in an area zoned residential uses. The following table summarizes the project's technical details:

GENERAL PLAN DESIGNATION: Single-Family, Small Lot
ZONING: R1-10
PARCEL SIZE: 9,595 square feet
MATERIALS: Composition shingle and standing seam metal roof; stucco, shingle, and stone veneer exterior; stained wood entry and garage door; and wood clad windows

	Existing	Proposed	Allowed/Required
COVERAGE:	1,941 square feet	2,416 square feet	2,878 square feet
FLOOR AREA:	2,475 square feet	3,356 square feet	3,358 square feet
SETBACKS:			
Front	27 feet	25 feet	25 feet
Rear	46 feet	48.5 feet	25 feet
Right side(1 st /2 nd)	35 feet/35 feet	8 feet/18.2 feet	7.4 feet/14.9 feet
Left side (1 st /2 nd)	3 feet/3 feet	8.8 feet/17.8 feet	7.4 feet/14.9 feet
HEIGHT:	21 feet	26.9 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is an interior lot on Pasa Robles Avenue between Mercedes Avenue and Carmel Avenue. The surrounding neighborhood is considered a Diverse Character Neighborhood as defined in the City's Residential Design Guidelines with a variety of architectural styles and a mix of one and two-story homes.

The neighborhood generally consists of narrow lots, which are defined as interior and corner lots less than 80 and 90 feet wide respectively and are subject to reduced side setbacks pursuant to Los Altos Municipal Code (LAMC) Section 14.06.080(E). The subject property is a narrow lot at 74 feet wide, but notably wider than the surrounding properties averaging 50-55 feet wide.

The landscape along the street is varied with no street tree pattern although the subject property and adjacent property to the east are both lined with sycamore trees.

Zoning Compliance

The survey and assessor parcel map for the subject site shows the lot appears to consist of two parcels (49 feet wide by 129.96 feet deep and 25 feet wide by 129.96 feet deep). Prior to submittal of the building permit application, a certificate of compliance and/or lot line adjustment application shall be required to confirm or create a single 74-foot-wide lot as depicted on the site plan pursuant to Condition of Approval No. 9.

DISCUSSION

Design Review

According to the Design Guidelines, in Diverse Character Neighborhoods, good neighbor design has its own design integrity while incorporating some design elements and materials found in the neighborhood.

As depicted in the design plans (Attachment F), the applicant proposes to demolish the existing 2,475 square foot two-story residence and detached garage and replace it with a two-story residence with an attached garage (proposed front elevation to the right) and detached rear yard ADU. The proposed setbacks meet or exceed the required setbacks for a narrow lot in the R1-10 zoning district. Please refer to the table above for more specific setbacks proposed and as required pursuant to the R1-10 Zoning District Standards found in Los Altos Municipal Code (LAMC) Chapter 14.06.



The proposed residence incorporates elements of farmhouse and craftsman styles and utilizes traditional materials including stucco, shingle siding, stone veneer, and composition shingle roofing

with the exception of more modern metal roofing as an accent on the front facade. A materials board is provided as Attachment E.

The proposed design includes first floor plate heights of 9.6 feet and second floor plate heights of 7.3 feet which respects the scale of the surrounding homes. In addition, most of the second story is set back from the first story which helps minimize the appearance of bulk from the sides and rear. That said, the second-floor cantilever and steep roof pitch above the front entry emphasizes the home's height which is 26.9 where the maximum is 27 feet and contributes to the appearance of bulk at the front. Section 5.4 of the Design Guidelines discourages the use of tall two-story elements, steep/complex roof forms, and designs at the maximum building height. Therefore, the DRC may want to discuss whether reconfiguring the design and roof pitch above the front entry and/or lowering the overall building height would reduce the appearance of bulk and improve compatibility with the surrounding neighborhood.

In addition, while the proposed residence incorporates traditional roof forms found within the surrounding neighborhood, four different roof pitches and types are visible on the front façade, which creates a more complex roof form. The DRC may want to discuss whether the design can be found consistent with Section 5.1 of the Design Guidelines which discourages complex roof forms in new construction to improve compatibility with the older homes in the surrounding neighborhood.

Privacy

With regards to privacy, Section 5.3 of the Design Guidelines calls for careful design to prevent unreasonable privacy impacts on adjacent properties, in particular from second story sightlines. In response to initial staff comments, the applicant has located second story egress windows either facing the street or the rear yard over 56 feet from the property line, and raised the sill heights of the second story side-facing windows to 4.5 to 5 feet above the finished floor to minimize potential privacy impacts. In addition, as depicted on the landscape plans, evergreen screening plants are proposed along the rear and both side property lines to prevent direct views into the adjacent properties.

Site Improvements

The proposed drawings include two grading plans (Option A and B on Sheet C3A and C3B respectively). Option A proposes to raise the grade one foot along the rear of the property and in response to staff comments, Option B conforms to the existing grades along the property lines. Staff finds Option B to be consistent with the following required Design Review findings pursuant to LAMC Section 14.76.060 which speak to minimizing changes to the existing topography:

- B. The height, elevations and placement on the site of the proposed main or accessory structure or addition, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy, and will consider the topographic and geologic constraints imposed by particular building site conditions;
- C. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- F. The proposed structures have been designed to follow the natural contours of the site with minimal grading, minimal impervious cover and maximum erosion protection. A stepped foundation shall generally be required where the average slope beneath the proposed structure is ten (10) percent or greater.

With redevelopment of the site as proposed, there appears to be fewer constraints that would prevent optimizing the site drainage while working with the existing grading to minimize impacts to adjacent

properties. Therefore, staff recommends inclusion of Condition of Approval No. 2a requiring incorporation of grading plan Option B into the building permit plans.

Landscaping and Trees

As described in the arborist report (Attachment D) and depicted on the site plan, there are 18 existing trees on and along the subject property:

- Tree Nos. 2, 4, and 5 are recommended for removal by the arborist however due to their location within the public right-of-way, their removal cannot be approved through the Design Review application. A separate application shall be submitted to the Public Works Department for the removal of the trees.
- Tree Nos. 3 and 14 (20" oak tree and 36" redwood tree) are protected based on their size (over 48" in circumference/15" in diameter) and to be retained.
- Tree No. 16 (36" pine tree) is also protected but proposed for removal due to its poor structure and proximity to the redwood tree to be retained.
- The remaining trees are not protected based on their size and are proposed for removal generally due to their poor condition and/or location, except for three privets which are considered invasive.

The recommended conditions of approval pertaining to trees include one new large-canopy tree to replace the pine tree and implementation of the City standard tree protection measures during construction (Conditions of Approval No. 3, 4, 12, and 19).

The landscaping plan proposes new screening plants along the sides and rear of the property, in addition to shrubs, groundcover, and grasses throughout and a turf area in the rear yard. The new landscaping will need to satisfy the Water Efficient Landscape Ordinance requirements since it exceeds the 500 square-foot landscaping threshold for new residences (Conditions of Approval No. 6 and 11).

ENVIRONMENTAL REVIEW

This project should be considered categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of one single-family residence on an existing lot in an area zoned for residential uses.

PUBLIC NOTIFICATION AND CORRESPONDENCE

A public meeting notice was posted on the property and mailed to 13 property owners in the immediate vicinity (Attachment A). A summary of the applicant's outreach efforts to neighbors is provided in Attachment B. Also included in Attachment B is email communication with the property owner to the east regarding the proposed tree removals along the shared property line. The applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements, as shown in Attachment C.

Cc: Samuel Lee, Applicant and Property Owner

Attachments:

- A. Public Notification Map
- B. Applicant Outreach

Design Review Commission
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- C. Public Notice Poster
- D. Arborist Report
- E. Materials Board
- F. Design Plans

FINDINGS

SC21-0039 – 217 Pasa Robles Ave

With regard to the new two-story single-family residence, the Design Review Commission finds the following in accordance with Section 14.76.060 of the Municipal Code:

- a. The proposed residence complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the new residence, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed residence has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS OF APPROVAL

SC21-0039 – 217 Pasa Robles Ave

GENERAL

1. Expiration

The Design Review Approval will expire on March 16, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on February 8, 2022, except as may be modified by these conditions and as specified below:

- a. The plans shall be revised to reflect grading plan Option B and conform to the existing grades along the property lines.
- b. The building footprint in the civil and landscape plans shall be revised to reflect the architectural site plan and floor plan.

3. Protected Trees

- a. Tree Nos. 3 and 14, new screening trees, and new replacement trees shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.
- b. Tree Nos. 2, 4, and 5 are located within the public right-of-way cannot be removed without a tree removal permit from the Public Works Department.

4. Tree Removal Approved

- a. Tree No. 1, 6-13, and 15-18 are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Community Development Director upon submitting written justification.
- b. Tree No. 16 shall be replaced with (1) Category II tree: <https://www.losaltosca.gov/sites/default/files/fileattachments/Building%20and%20Planning/page/432/streettreelist.pdf>. The replacement tree shall be a minimum size of 15 gallons and the proposed location shall be indicated in the building permit plans.

5. Encroachment Permit

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

6. Landscaping

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.

7. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

8. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

PRIOR TO BUILDING PERMIT SUBMITTAL

9. Certificate of Compliance/Lot Line Adjustment

A certificate of compliance and/or lot line application shall be required to confirm or create a single 74-foot-wide lot as depicted on the site plan.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

10. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

11. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

12. Tree Protection Note

On the grading plan and the site plan, show all tree/landscape protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

13. Reach Codes

Building Permit Applications submitted on or after January 14, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

15. Air Conditioner Sound Rating

The plans shall show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. The Applicant shall provide the manufacturer’s specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City’s Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

16. Storm Water Management

The Plans shall show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

17. California Water Service Upgrades

The Applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

18. Underground Utility Location

The Plans shall show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

19. Tree Protection

Tree protection shall be installed around the driplines of the trees to remain as shown on the site plan approved with the building permit plans. Fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

20. School Fee Payment

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

21. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project’s landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

22. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

23. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

ATTACHMENT B

NEIGHBORHOOD OUTREACH NOTIFICATION LETTER

September 30, 2021

Dear Neighbors,

We are proposing to build a new 2 story home with a detached accessory dwelling unit at 217 Pasa Robles. The Los Altos Community Development Department has asked that we reach out and solicit input to help resolve any concerns with respect to the proposed home.

We ask that you please contact us via email or text to schedule a meeting in person or via zoom. We encourage you reach out to us in order to share your thoughts as we would like to get feedback in the next couple of weeks.

Please email: [REDACTED]

Or call/text: [REDACTED]

Plans, elevations, and rendering will be made available at the meeting.

Warmest regards,

Sam Lee

217 Pasa Robles- Neighborhood Outreach						
Address	Cert Mail Date	Knocked on Doors	Dropped off another note in mail box at house	Name(s)	Notes 1	Concerns, Comments
185 Pasa Robles	Yes - 10/2/21	Yes - 10/13/21	Yes - 10/13/21		No answer	
190 Pasa Robles	Yes - 10/2/21	Yes - 10/13/21	No	Angela		
199 Pasa Robles	Yes - 10/2/21	No - Not nec.	No	Sharon	Talked on 10/13 - discussed scheduling a zoom call within a week. Texted and they were going out of town	Schedule and noise for construction
204 Pasa Robles	Yes - 10/2/21	Yes - 10/13/21	No	Francie and Steve	Met in Person	No Concerns.
212 Pasa Robles	Yes - 10/2/21	Yes - 10/13/21	Yes - 10/13/21		No answer	
222 Pasa Robles	Yes - 10/2/21	Yes - 10/13/21	No	Ray and Laura	Met in Person - How tall will it be?	It's Beautiful
225 Pasa Robles	Yes - 10/2/21	Yes - 10/13/21	No	Kimberly	Met in Person, walked backyard and inside the house to look at views from within.	Discussed privacy and 4'-6" sill is ok. Don't put large overhanging plants that will go over the propertyline. Don't put trees adjacent to their ADU in the back
228 Pasa Robles	Yes - 10/2/21	Yes - 10/13/21	No	Jeanie and Tom	Spoke with Mark (The son). I asked him to please talk to the parents and contact me for any concerns and questions.	
233 Pas Robles	Yes - 10/2/21	Yes - 10/13/21	Yes - 10/13/21			
236 Pasa Robles	Yes - 10/2/21	Yes - 10/13/21	No	John and Careylee		Did not want us to remove any trees in the front but also worried about lack of street parking. Worried about Kimerberly's privacy, but ok with 4'-6" sill heght. Asked for signed to be moved forward and Sam moved the sign
914 Mercedes	Yes - 10/2/21	Yes - 10/13/21	Yes - 10/13/21	Xian	Met in person.	No Concerns. Said backyard is not connected.
926 Mercedes	Yes - 10/2/21	Yes - 10/13/21	No		Met David Bergman (agent selling house). David mentioned that the owner knew of the letter and I reminded him to let the owner know to contact me for any questions	

Fwd: Pasa Robles Neighbor

1 message

Sam Lee [REDACTED]

Fri, Jan 7, 2022 at 2:40 PM

To: Sam Lee [REDACTED]

From: **Sharon J. Hendricks** [REDACTED]

Date: Tue, Jan 4, 2022 at 11:14 AM

Subject: RE: Pasa Robles Neighbor

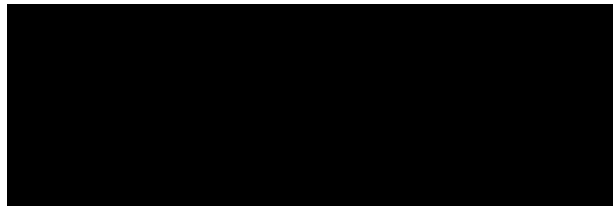
To: Sam Lee [REDACTED]

Sam – my apologies for the delay in my response. We have had a lot going on over the past few weeks.

I am ok with your removing the overhanging trees.

Best, Sharon

Sharon J. Hendricks



This email and any attachments may contain private, confidential and privileged material for the sole use of the intended recipient. If you are not the intended recipient, please immediately delete this email and any attachments.

From: Sam Lee <[REDACTED]>**Sent:** Tuesday, December 7, 2021 10:41 PM**To:** Sharon J. Hendricks [REDACTED]**Subject:** Pasa Robles Neighbor

Hi Sharon,

Thanks again for meeting with me on Sunday to review the proposed removal of trees that overhang onto your property. At your convenience, please acknowledge this email in order to summarize that there were no concerns regarding the removal of the overhanging trees. Although we did discuss the potential of leaving a portion of the Toyon next to the redwood, we also discussed that in the long term, the best aesthetic solution is to replant a more consistent tree pattern that over time will be more sustainable. Please let me know if this is not the case, or if I've misunderstood in any way.

Also, thank you for your compliments on the proposed house design and as always, please feel free to reach out if you have any questions or concerns.

thanks,

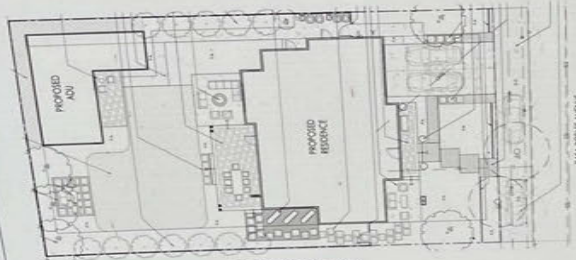
Sam

NOTICE OF DEVELOPMENT PROPOSAL

217 Pasa Robles



CONCEPTUAL RENDERING



PROPOSED SITE PLAN

Project Description:

Demolition of existing 2 story home. Construction new 2 story home with a 2 car attached garage and add a single story accessory dwelling unit at the rear.

Applicant and Property Owner:

Samuel Lee

Project Planner:

To submit comments or get additional information, please contact:

Sean Gallegos
650.947.2641
sgallegos@losaltosca.gov

Public Meeting Notice:

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PUBLIC MEETING NOTICE

Wednesday, March 16, 2022 at 7:00 pm
The Design Review Commission will hold a public meeting to consider the project at the above date and time with an opportunity for public comment.
Please Note: The California Department of Public Safety (DPS) has announced that it will be conducting a public meeting on the same date and time as the above meeting. The meeting will be held at the same location as the above meeting. The meeting will be held at the same location as the above meeting. The meeting will be held at the same location as the above meeting.
Project plans and information are available for review on the City's website at <https://www.losaltosca.gov/development/plans/docs.htm>, single family, residential and statistics. The agenda report will be available on the City's website the Thursday before the meeting at <https://www.losaltosca.gov/development/plans/docs.htm>. Written comments can be mailed to the City's Planning Department or emailed to the Project Planner. Verbal comments can also be made at the Public Meeting.

ATTACHMENT D ¹



Arborist Report

October 13, 2021 revised December 14, 2021

Prepared by

Certified Arborist: Robert Apolinar
#WE-8846A
P.O box 8552 San Jose, Ca 95155
(408) 422-1313
Email: robert@sanjosetreemaintenance.com
SanJoseTreeMaintenance.com

Prepared for

Sam Lee
217 Pasa Robles
Los altos Ca, 94022

Objective

The following Arborist report has been developed in order to provide an assessment of all trees on site. Construction is proposed to take place on site and we have been contracted to determine which trees should be removed and which should be preserved. The report will identify all trees on site and provide recommendations for each based on their health, structural integrity, and proximity to the proposed construction. All trees 4" in DBH or greater will be listed on the report.

Assessment

The site has not had any major landscape or construction improvements over the last 20 years. The majority of the trees and shrubs on site are between 30-70 years old. There are 18 trees on site that are or over 4" in DBH. The site is a flat lot.

Chart definitions:

Tree #: Tree number which identifies each tree.

Species: the specific species of each tree.

DBH: The diameter at breast height or 48 inches above grade. Diameter used is the average between the smallest diameter above the multi trunks and the largest below the multi trunks.

Health: The condition of the tree Categorized from best health to worst by the terms *Good, Fair, or Poor.*

Assessment: Observations of tree health, structure, or location. Reasons to remove or preserve.

Action: the specific action recommended to take whether it be to Preserve or remove each tree.

Tree chart:

Tree#	Species	DBH	Health	Assessment	Action
1	Orange	4"	Fair (Drought stress)	Fair <u>City criteria for removal i:</u> <i>The condition of the tree and its proximity to the existing oak.</i>	Remove
2	Sycamore (Platanus occidentalis)	16"	Fair	Tree has been topped and has decay in upper crown. Reaching end of lifespan. <u>City criteria for removal i and vi:</u> <i>Tree condition is in decline and has reached the end of its life.</i>	Remove
3	Live oak (Quercus agrifolia)	20"	Fair	Prune to balance.	Preserve
4	Sycamore (Platanus occidentalis)	20"	Fair	Tree has been topped and has decay in upper crown. Reaching end of lifespan. <u>City criteria for removal i and vi:</u> <i>Tree condition is in decline and has reached the end of its life.</i>	Remove
5	Sycamore (Platanus occidentalis)	14"	Fair	Tree has been topped and has decay in upper crown. Reaching end of lifespan. <u>City criteria for removal i and vi:</u> <i>Tree condition is in decline and has reached the end of its life.</i>	Remove
6	Privet (Ligustrum lucidum)	4" Multi	Good	Invasive species. <u>City criteria for removal i and ii:</u> <i>It will interfere with the driveway and it's an invasive species that would hurt the property value</i>	Remove
7	Live oak (Quercus agrifolia)	6"	Fair	Growing on property line and within fence. Poor location. <u>City criteria for removal i and ii:</u> <i>It will interfere with the overhead lines above that would hurt the property value</i>	Remove
8	Maple (Acer platanoides)	8"	Fair	Tree is leaning and developing a poor structure. <u>City criteria for removal i and ii:</u> <i>It will interfere with the proposed garage location and it would not allow for maximum benefit of the property.</i>	Remove
9	Privet (Ligustrum lucidum)	4" Multi	Fair	Poor structure and invasive species. <u>City criteria for removal i and ii:</u> <i>It will interfere with the proposed garage location and it would not allow for maximum benefit of the property.</i>	Remove
10	Fig (Ficus carica)	12"	Fair	Included bark in lower crown. Poor structure. <u>City criteria for removal i and iv:</u> <i>It doesn't provide a good screen tree to the neighbors and it would not allow for good sustainable privacy screening for future neighbors.</i>	Remove

11	Privet (Ligustrum lucidum)	6"	Good	Invasive species. Poor structure. <i>City criteria for removal i and iv: It doesn't provide a good screen tree to the neighbors and it would not allow for good sustainable privacy screening for future neighbors.</i>	Remove
12	Myrtle (Myrtus communis)	6" Multi	Good	Making way for new landscape <i>City criteria for removal i and iv: It doesn't provide a good screen tree to the neighbors and it would not allow for good sustainable privacy screening for future neighbors.</i>	Remove
13	Toyon	8" Multi	Fair	Tree reaching end of lifespan and has Fire blight. <i>City criteria for removal i and vi: Tree condition is in decline and has reached the end of its life.</i>	Remove
14	Sequoia sempervirens	36"	Good	Good condition.	Preserve
15	Oleander	4" Multi	Fair	Make room for new landscape. <i>City criteria for removal i and iv: Removal will benefit the redwood tree. This will allow better scenic beauty around the tree.</i>	Remove
16	Pinea	36"	Fair	Poor structure in upper crown. Competing branches for apical dominance. Overcrowding redwood. <i>City criteria for removal i and iv: Evidence of large branch failure is present due to lack of maintenance and overcrowding from the redwood.</i>	Remove
17	locust (Gledista triacanthus)	8"	Fair	Growing on property line. Poor structure. <i>City criteria for removal i and iv: Tree structure is not slightly for screen tree and removal would increase better use of the space.</i>	Remove
18	Privet (Ligustrum lucidum)	4" Multi	Good	Invasive species. <i>City criteria for removal i and iv: It doesn't provide a good screen tree to the neighbors and it would not allow for good sustainable privacy screening for future neighbors</i>	Remove

Tree preservation

All trees to be preserved will require preservation measures to be implemented prior to construction or demo begins. The following are guidelines which should be adhered to in order to preserve the trees:

- Install protective fencing at the drip lines of each tree to totally enclose the entire canopy. Use 6 ft chain link fencing installed on 8 ft galvanized posts. Fencing should completely enclose trees.
- Hold off chain link fence as close to dripline as possible or 3.5' from the face of any proposed building structure.

- Tree should be irrigated during the summer months to maintain vigor. Watering should be heavy but infrequent. 1-2 times per month within drip line.
- Mulch can be installed within protective fencing at a depth of 3-4 inches to help soil retain moisture.

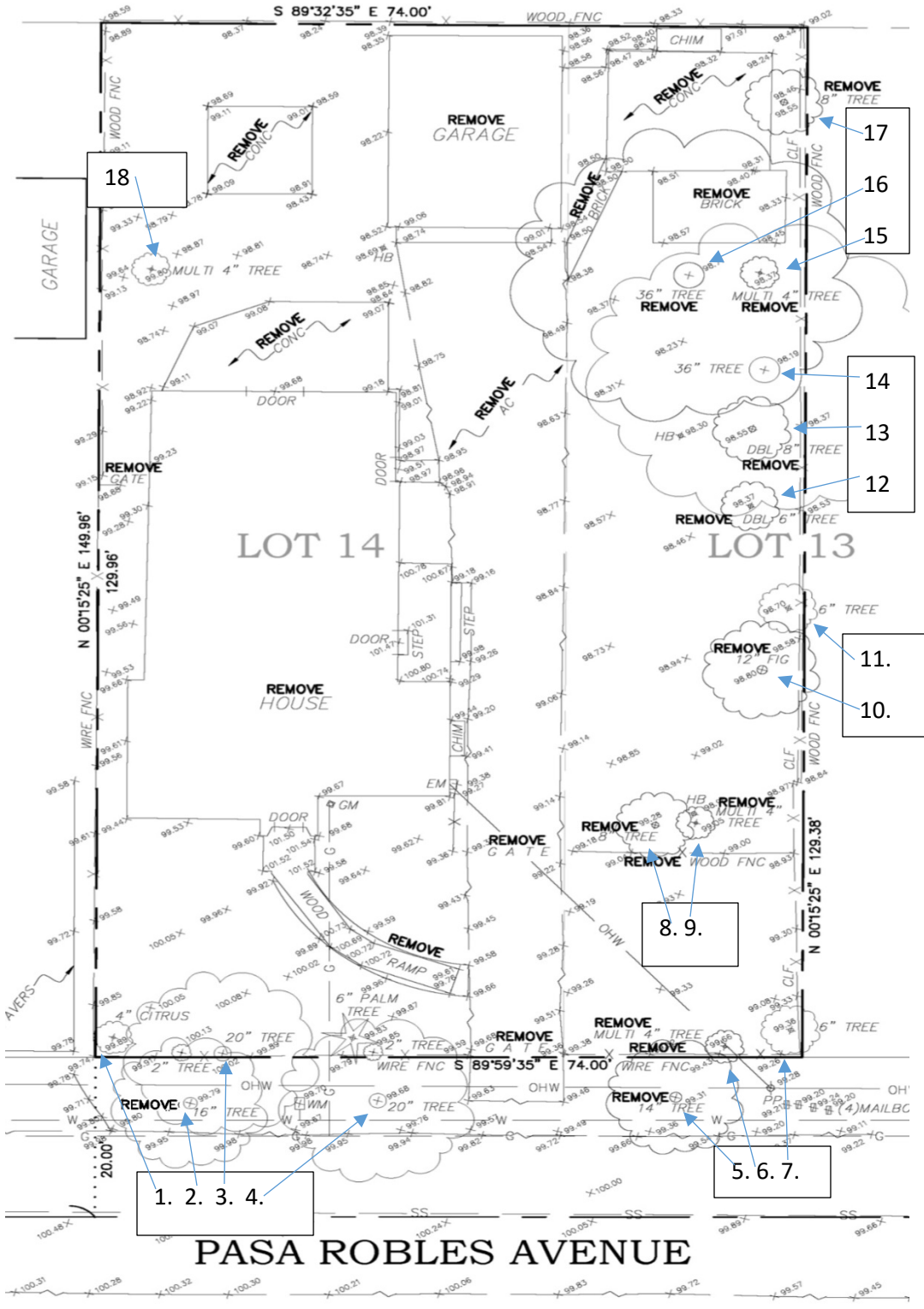
ISA Certified Arborist

ISA Tree Risk Assessment Qualified

#WE8846A

Robert Apolinar

Site Map:



Photos:



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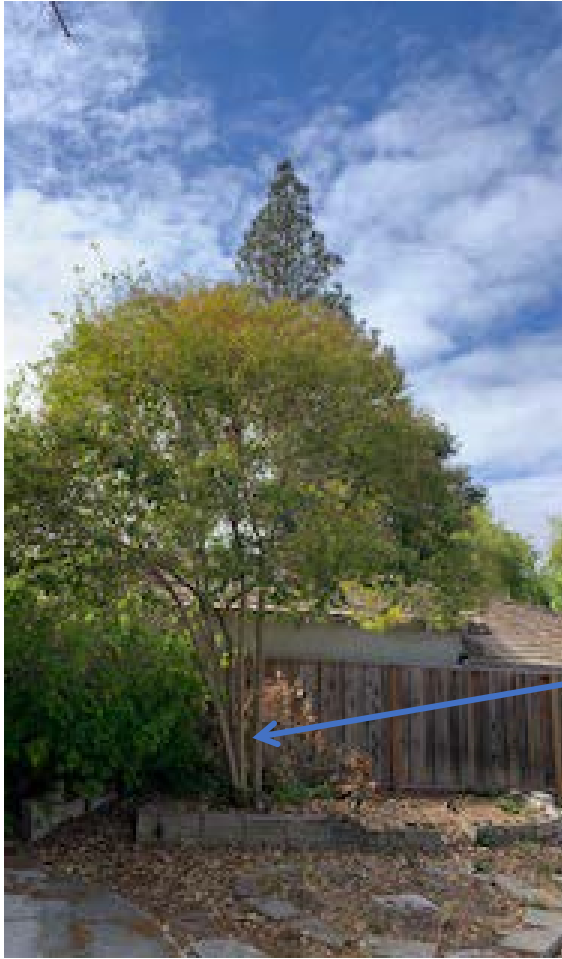


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ATTACHMENT E

Materials Board – 217 Pasa Robles



Roof Material #1– Composition Roof.
Color – Moire Black



Wall light #1
Barn Light – Barn
Light Electric



Wall light #2
Wedge Light –
Bega Lighting



Roof Material #2- Standing Seam Metal
– Vintage– Custom Built Metals



Composite straight edge shingle siding



Wood clad window – w/dark bronze
exterior



Integral Color Plaster



Stained garage and front door

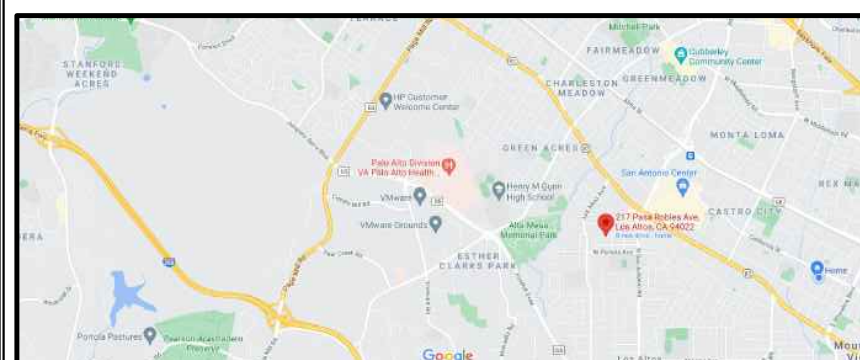


Stone base at facade

GENERAL NOTES

1. These drawings were prepared by SHL ARCHITECTURE. The Architect assumes no responsibility for unauthorized use of these drawings.
2. The work included under this contract consists of all labor, materials, transportation, tools, and equipment necessary for the construction of the project, leaving all work ready for use.
3. These drawings alone, represent the Construction Documents.
4. The plans indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All new work necessary to allow for a finished job in accordance with the intention of the drawings is included regardless of whether shown on the drawings or mentioned in the notes.
5. Any errors, omissions, or conflicts found in the various parts of the Construction Documents shall be brought to the attention of the Architect and the Owner immediately for clarification before proceeding with the work.
6. The General Contractor shall maintain a current and complete set of Construction Documents on the job site during all phases of construction for use by all trades, and shall provide all sub-contractors with current Construction Documents as required.
7. The General Contractor shall verify and assume responsibility for all dimensions and site conditions. The General Contractor shall inspect the existing premises and take note of existing conditions. No claim shall be allowed for difficulties encountered that could have reasonably been inferred from such examination.
8. Written dimensions take precedence. DO NOT SCALE FROM DRAWINGS.
9. All dimensions when shown in plan are to face of exterior wall stud, face of CMU, or face of interior stud, unless otherwise noted.
10. All dimensions are to top of subfloor in section or elevation, unless otherwise noted.
11. The General Contractor shall review all building dimensions for accuracy prior to laying out any buildings on site, and shall notify the Architect well in advance of any discrepancies or errors.
12. Details shown are typical. Similar details apply in similar conditions.
13. Verify all architectural details with the structural drawings before the ordering of, or installation of, any item of work.
14. Where locations of windows and doors are not dimensioned, they shall be centered in the wall or placed @ min. three stud widths from adjacent wall as indicated on the drawings.
15. All changes in floor materials occur at centerline of door or framed opening, unless otherwise indicated on the drawings.
16. Install all equipment and materials per manufacturer's recommendations.
17. Verify clearances before any construction, ordering of, or installation of any item of work.
18. Follow manufacturer's installation recommendations, standard industry, and building practices for installation of all sealant, caulking, flashing, etc.
19. The General Contractor shall remove all rubbish and waste materials on a regular basis of all sub-contractors and trades, and shall exercise strict control over job cleaning to prevent any dirt, debris, or dust from affecting, in any way, finished areas inside or outside the job site.
20. The General Contractor shall provide solid blocking as required for the installation of all equipment, casework, cabinets, wood trim, accessories, handrails, etc.
21. The General Contractor must adhere to CITY OF LOS ALTOS Construction and Builder Regulations.
22. Plumbing contractor shall provide an indirect connection to sewer system for all equipments which produce liquid waste.
23. All interior materials and equipment to be directed by Owner unless otherwise stated.
24. Equipment contractors shall provide Electrical and Plumbing data and exact rough in to electrical and plumbing contractor. electrical and Plumbing permit to be supplied by electrical and plumbing contractor.
25. Plumbing and Electrical contractor shall verify all utility location with all equipment and requirements and shall be responsible for their work. All of their works must comply with local codes and approved by area inspector.
26. Contractor shall adequately shore and support existing structure if found necessary during construction.
27. All new walls at property line shall be one hr. construction.
28. Contractor must conform to local codes and ordinances before construction or fabrication.

VICINITY MAP



PERMIT NOTES

1. FIRE SPRINKLER SYSTEM TO BE UNDER SEPARATE PERMIT (DEFERRED SUBMITTAL). - THE MAIN HOUSE WILL BE REQUIRED TO HAVE SPRINKLERS UNDER NFPA 13D.
2. THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE ADDRESS NEEDS TO BE MIN. 4" HIGH AND 1/2" THICK.

- ALL APPLICABLE CODES:**
- 2019 CALIFORNIA BUILDING CODE
 - 2019 CALIFORNIA RESIDENTIAL CODE
 - 2019 CALIFORNIA ENERGY CODE
 - 2019 CALIFORNIA GREEN CODE
 - 2019 CALIFORNIA FIRE CODE
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA PLUMBING CODE
 - 2019 CALIFORNIA ELECTRICAL CODE



CONCEPTUAL RENDERING



PROPOSED ELEVATION

MAIN HOUSE - ZONING COMPLIANCE (compared to existing house)

	Existing	Proposed	Allowed / Required
Lot Coverage: <i>Land area covered by all structures that are over 6 feet in height</i>	1941 square feet (20.2 %)	2416 square feet (25.2 %)	2,879 square feet (30 %)
Floor Area: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 1941 sq ft 2nd Flr: 534 sq ft Total: 2475 sq ft (25.8 %)	1st Flr: 1959 sq ft 2nd Flr: 1397 sq ft Total: 3356 sq ft (35 %)	3,359 square feet (35 %)
Setbacks:			
Front	27 feet	27 feet	25 feet
Rear	46 feet	56.4 feet	25 feet
Right side (1st/2nd)	35 feet / 35 feet	8.0 feet / 18.2 feet	7.4 feet / 14.9 feet
Left Side (1st/2nd)	3 feet / 3 feet	8.75 feet / 17.8 feet	7.4 feet / 14.9 feet
Height:	21 feet	26.75 feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
Habitable Living Area: <i>Includes habitable basement areas</i>	2039 square feet	-876 square feet	2915 square feet
Non-Habitable Area: <i>Does not include covered porches or open structures</i>	436 square feet	5 square feet	441 square feet

LOT CALCULATIONS

Net Lot Area:	9,596 square feet
Front Yard Hardscape Area: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	880 square feet (47.6 %)
Landscaping Breakdown:	Total hardscape area (existing and proposed): 4185 sq ft Existing softscape (undisturbed) area: 775 sq ft New softscape (new or replaced landscaping) area: 3290 sq ft Sum of all three should equal the site's net lot area

ADU - ZONING COMPLIANCE (compared to main house submittal)

	Existing	Proposed	Allowed / Required
Lot Coverage: <i>Land area covered by all structures that are over 6 feet in height</i>	2416 square feet (25.2 %)	2416 square feet (25.2 %) (ADU under 850 sf exempt)	2,879 square feet (30 %)
Floor Area: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 1959 sq ft 2nd Flr: 1397 sq ft Total: 3356 sq ft (35 %)	1st Flr: 682 sq ft 2nd Flr: 0 sq ft Total: 682 sq ft (35 %) (ADU under 850 sf exempt)	3,359 square feet (35 %)
Setbacks:			
Front	NA feet	NA feet	NA feet
Rear	NA feet	4.25 feet	4 feet
Right side (1st/2nd)	NA feet / NA feet	4.25 feet / 0 feet	4 feet / 0 feet
Left Side (1st/2nd)	NA feet / NA feet	46 feet / 0 feet	4 feet / 0 feet
Height:	0 feet	15.25 feet	16 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
Habitable Living Area: <i>Includes habitable basement areas</i>	2915 square feet	-682 square feet	3597 square feet
Non-Habitable Area: <i>Does not include covered porches or open structures</i>	441 square feet	0 square feet	441 square feet

LOT CALCULATIONS

Net Lot Area:	9,596 square feet
Front Yard Hardscape Area: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	880 square feet (47.6 %)
Landscaping Breakdown:	Total hardscape area (existing and proposed): 4185 sq ft Existing softscape (undisturbed) area: 775 sq ft New softscape (new or replaced landscaping) area: 3290 sq ft Sum of all three should equal the site's net lot area

SHEET INDEX

- A1.01 - COVER SHEET AND INFORMATION
- A1.02 - SITE PLAN, FAR, & MATERIALS BOARD
- A1.03 - NEIGHBORHOOD CONTEXT MAP
- A1.03A - NEIGHBORHOOD CONTEXT PHOTOS
- C-1 - CIVIL NOTES AND LEGEND
- C-2 - TOPOGRAPHIC AND DEMOLITION PLAN
- C-3A - GRADING AND DRAINAGE PLANS OPT A
- C-3B - GRADING AND DRAINAGE PLANS OPT B
- L-1 - LANDSCAPE PLAN
- L-2 - IRRIGATION PLAN
- L-3 - PLANTING PLAN
- A2.01 - PROPOSED FIRST FLOOR PLAN
- A2.02 - PROPOSED SECOND FLOOR PLAN
- A2.03 - PROPOSED ROOF PLAN
- A2.04 - ADU FLOOR AND ROOF PLAN
- A2.05 - SECOND FLOOR UTILITY PLAN
- A3.01 - EXTERIOR ELEVATIONS
- A3.02 - EXTERIOR ELEVATIONS
- A3.03 - SECTIONS
- A3.04 - ADU ELEVATIONS AND SECTIONS
- A8.01 - DETAILS

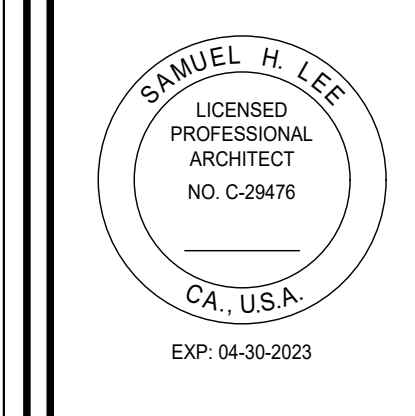
SCOPE OF WORK

1. DEMOLISH EXISTING 2 STORY HOME AND BUILD NEW 2 STORY STRUCTURE WITH AN ATTACHED 2 CAR GARAGE WITH A DETACHED ADU

PROJECT INFORMATION

APN: 167-015-022
 CONSTRUCTION TYPE: V-B (NON RATED)
 NO. OF BLDG STORY: 2
 COVERED PARKING SPACE: 2
 UNCOVERED PARKING SPACE: 2
 OCCUPANCY GROUP: R-3 & U
 SPRINKLER REQUIRED: YES
 ZONING : R1
 LOT SIZE: 9,596 sf
 FAR ALLOWED: 3,359 sf
 FAR PROPOSED: 3,356 sf (refer to FAR table)

SHL ARCHITECTURE
 ARCHITECTURE AND PLANNING
 PO BOX 669
 MOUNTAIN VIEW, CA 94042
 T: 415.235.2034
 EMAIL: samlearch@gmail.com



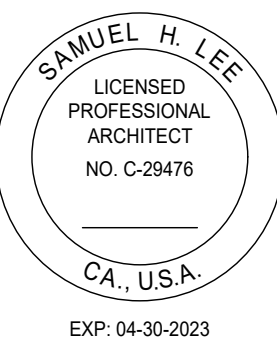
PRIVATE RESIDENCE
 217 PASA ROBLES,
 LOS ALTOS, CA. 94022

DATE	ISSUE
07/21/21	PLANNING DEPT. SUBMITTAL
11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

PROJECT #:	21-04
DRAWN BY:	LS
CHECKED BY:	LS

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
A1.01

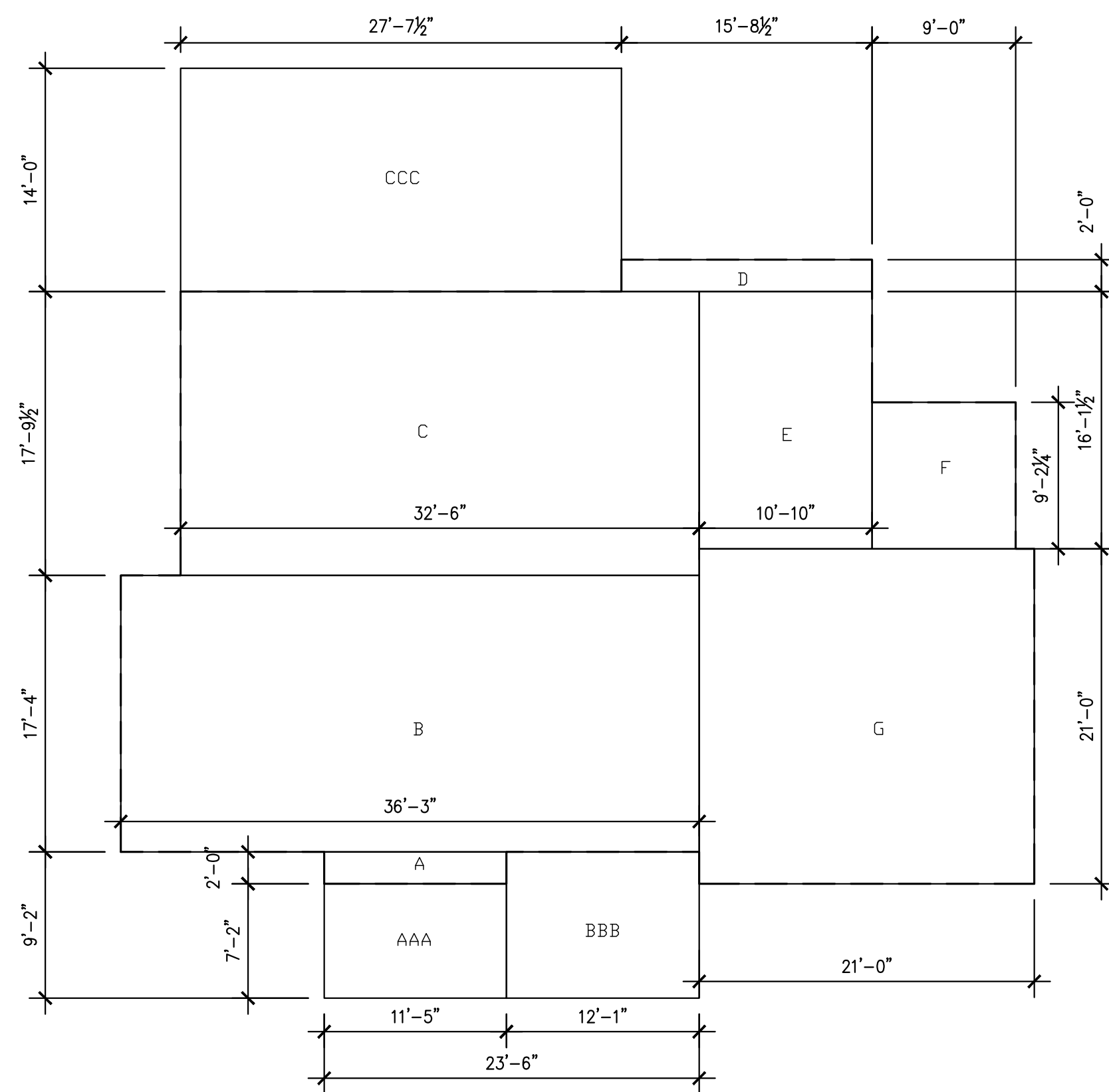
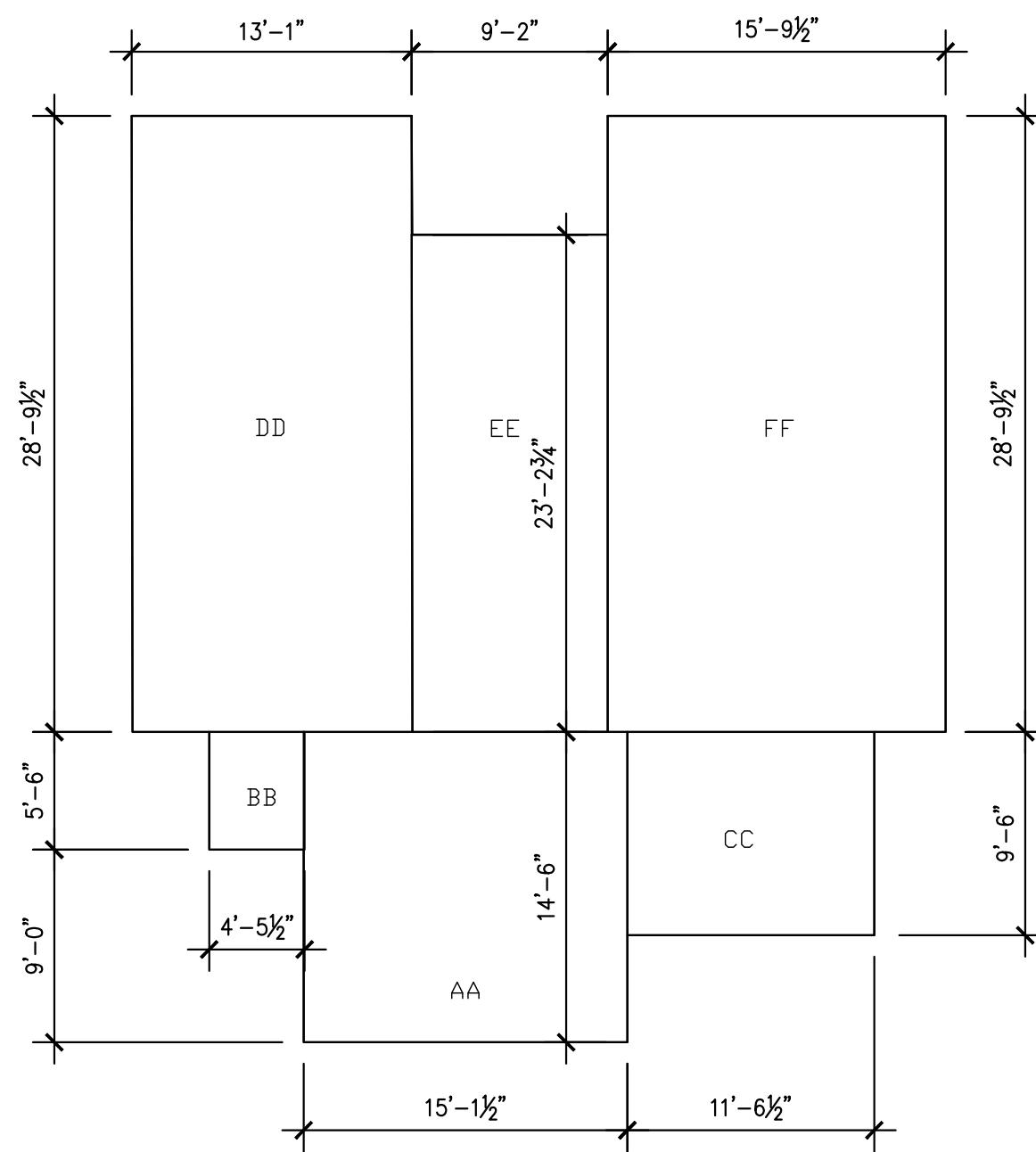
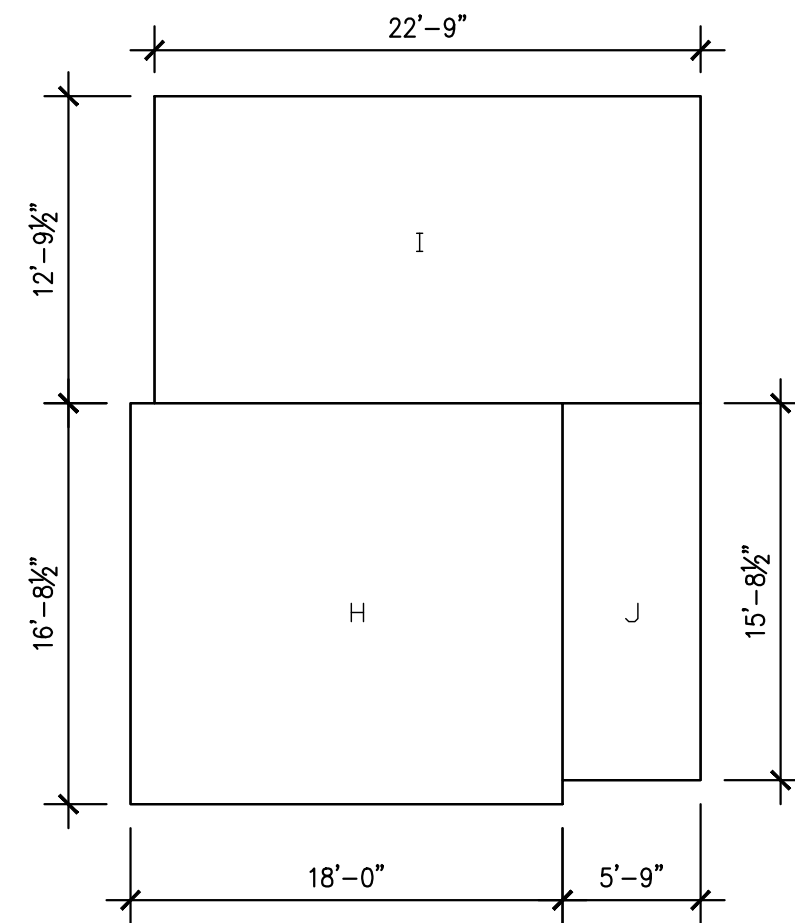


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01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

PROJECT #:	21-04
DRAWN BY:	LS
CHECKED BY:	LS

SHEET TITLE:
 SITE PLAN
 MATERIALS
 FAR EXHIBIT



SPECIFICATIONS: SVZ-KP36NA2 & SUZ-KA36NA2

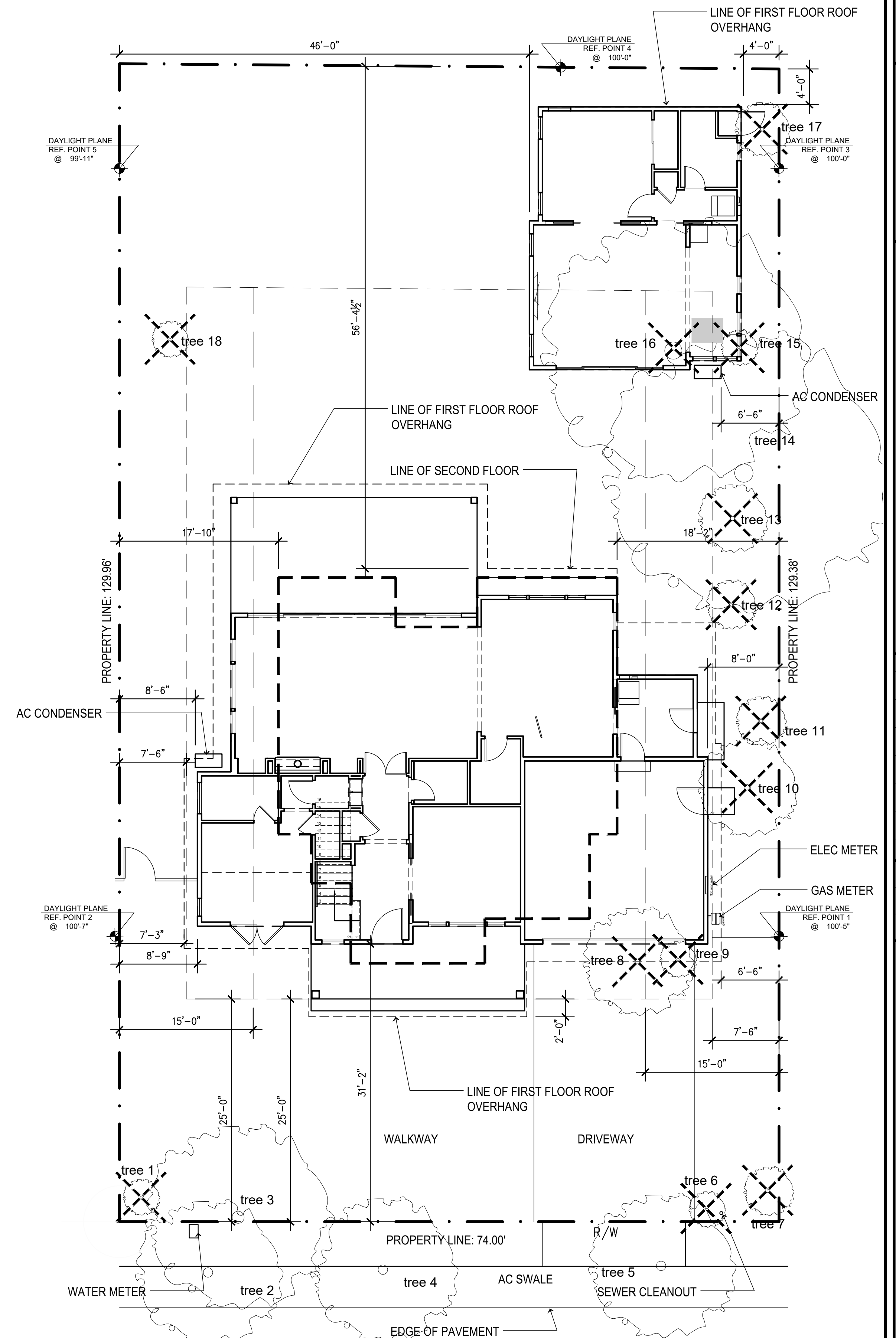
Item	Specification	Value
MICA	A	17.6
MOCP	A	31
Fan Motor Full Load Amperage	A	1
Fan Motor Output	W	60
Airflow Rate	CFM	2020/1930
Refrigerant Control		LEV
Defrost Method		Reverse Cycle
Coil/Condensate Drain		Blue Eco-Coating
Sound Pressure Level: Cooling*	dB(A)	55
Sound Pressure Level: Heating*	dB(A)	55
Outdoor Unit	Compressor Type	DC INVERTER - scroll type Rotary
	Compressor Model	SMZ22FQGM1T
	Compressor Rated Load Amps	A 13.0
	Compressor Locked Rotor Amps	A 16.0
	Compressor Oil Type if Change	oil
	External Finish Color	Ivory Shaded SV 7.8/1.1
	Base Pan Heater	Optional
	Unit Dimensions	W x D x H: in. (mm) 33-1/8 x 13 x 34-5/8 (840 x 330 x 880)
	Package Dimensions	W x D x H: in. (mm) 36-9/16 x 16-9/16 x 39 (989 x 420 x 990)
	Unit Weight	Lbs. (kg) 129 (59)
	Package Weight	Lbs. (kg) 145 (66)
Outdoor Unit Operating Temperature Range	Cooling Air Temp. (Maximum / Minimum)**	°F 115 DB / 14 DB
	Cooling Thermal Lock-out / Re-start Temperatures**	°F 1.5
	Heating Thermal Lock-out / Re-start Temperatures**	°F 10/14
	Type	R410A
Refrigerant	Charge	Lbs. (oz) 4.14 (0)
	Chargeless Piping Length	ft. (m) 25.0 (7.5)
	Additional Refrigerant Charge Per Additional Piping Length	oz./ft. (g/m) 0.53 (0.01)
Piping	Gas Pipe Size O.D. (Flared)	in. (mm) 3/8 (9.52)
	Liquid Pipe Size O.D. (Flared)	in. (mm) 3/8 (9.52)
	Maximum Piping Length	ft. (m) 100 (30)
	Maximum Height Difference	ft. (m) 100 (30)
	Maximum Number of Bends	10

NOTES:
 A/R/R Rated Conditions
 (Rated data is determined at a fixed compressor speed)
 Cooling (Indoor / Outdoor) °F 86 DB, 67 WB / 95 DB, 75 WB
 Heating at 37°F (Indoor / Outdoor) °F 76 DB, 66 WB / 47 DB, 43 WB
 Heating at 17°F (Indoor / Outdoor) °F 76 DB, 66 WB / 17 DB, 15 WB
 Conditions
 Heating at 57°F (Indoor / Outdoor) °F 76 DB, 66 WB / 5 DB, 4 WB
 Heating at 47°F (Indoor / Outdoor) °F 76 DB, 66 WB / 4 DB, 6 WB
 Heating at 37°F (Indoor / Outdoor) °F 76 DB, 66 WB / 3 DB, 6 WB
 Heating at 13°F (Indoor / Outdoor) °F 76 DB, 66 WB / 13 DB, 14 WB
 *Outdoor Unit Operating Temperature Range (Cooling Air Temp. (Maximum / Minimum)).
 **Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.
 ***Outdoor Unit Operating Temperature Range (Cooling Thermal Lock-out / Re-start Temperatures; Heating Thermal Lock-out / Re-start Temperatures).
 * System cuts out in heating mode to avoid thermostat error and automatically restarts at these temperatures.

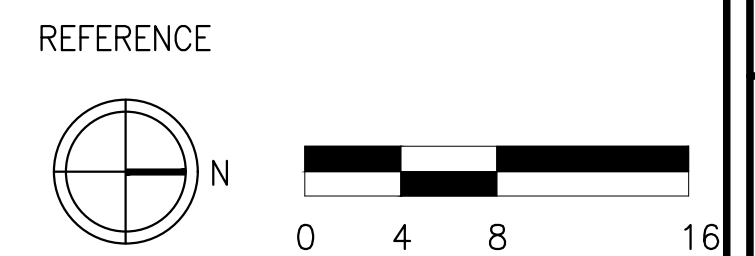
HEAT PUMP SOUND RATING

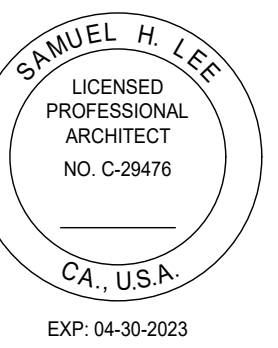
LABEL	DIMENSIONS	AREA
1ST FLR		
A	11'-5" X 2'-0"	23 sqft
B	32'-6" X 17'-9 1/2"	628 sqft
C	31'-4 1/2" X 18'-3 1/2"	578 sqft
D	15'-8 1/2" X 2'-0"	31 sqft
E	10'-10" X 16'-1 1/2"	175 sqft
F	9'-0" X 9'-2 1/4"	83 sqft
GARAGE		
G	20'-6 1/2" X 21'-0"	441 sqft
ADU		
H	18'-0" X 16'-8 1/2"	301 sqft
I	22'-9" X 12'-9 1/2"	291 sqft
J	5'-9" X 15'-8 1/2"	90 sqft
PORCHES		
AAA	11'-5" X 7'-2"	82 sqft
BBB	12'-1" X 8'-8"	105 sqft
CCC	26'-6" X 13'-0"	345 sqft
2ND FLR		
AA	15'-1 1/2" X 14'-6"	219 sqft
BB	4'-5 1/2" X 5'-6"	25 sqft
CC	11'-6 1/2" X 9'-6"	110 sqft
DD	13'-1" X 28'-9 1/2"	377 sqft
EE	9'-2" X 23'-2 3/4"	212 sqft
FF	15'-9 1/2" X 28'-9 1/2"	454 sqft
AREA TOTALS		
FIRST FLR		1518 sqft
GARAGE		441 sqft
SECOND FLR		1397 sqft
TOTAL		3356 sqft
PORCHES (NOT INCLUDED)		
ADU		682 sqft
FLOOR AREA RATIO		
LOT SIZE		9596 sqft
MAX FAR	35%	(3359 sqft)
PROPOSED FAR		(3356 sqft)
LOT COVERAGE		
MAX LOT COVERAGE	30%	(2879 sqft)
PROPOSED LOT COVERAGE		(2416 sqft)

2 FAR EXHIBIT
 SCALE: 1/8" = 1'-0"



1 PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"





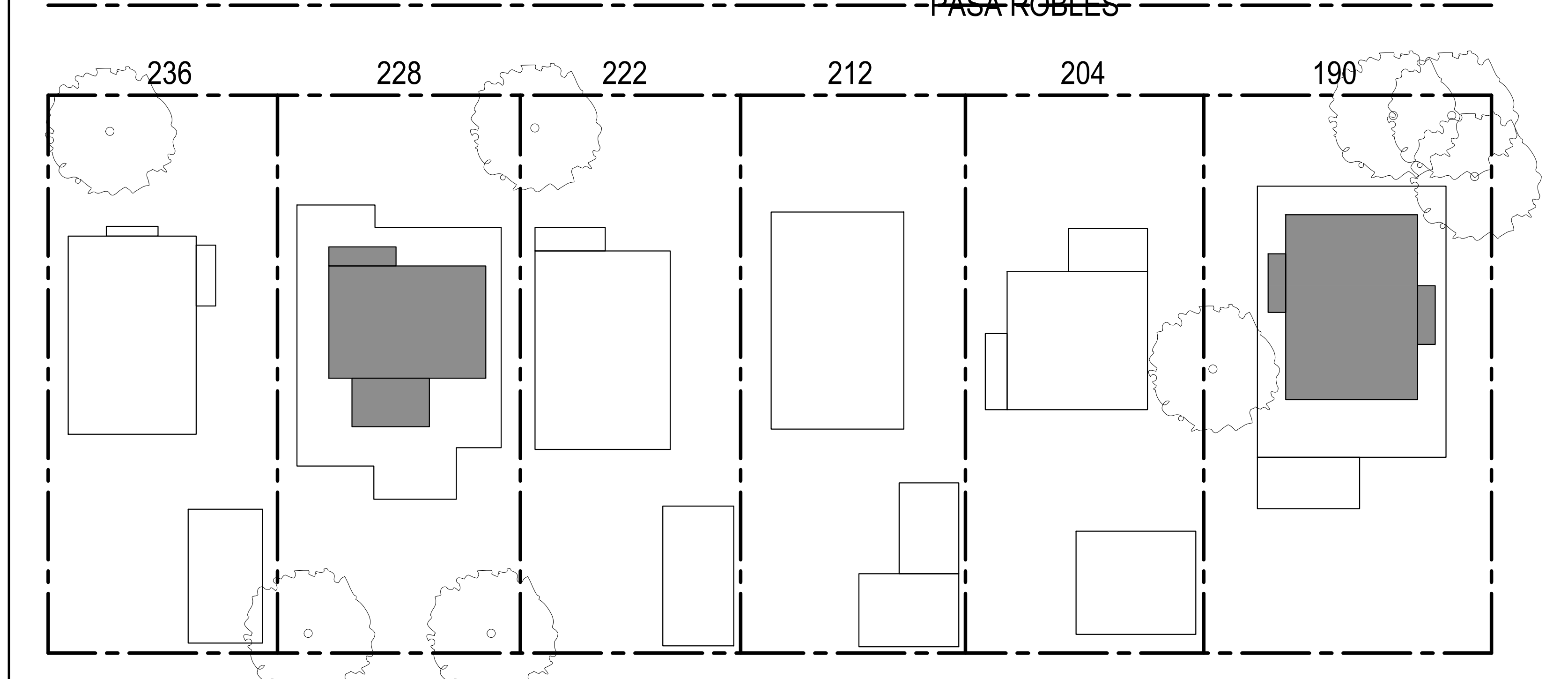
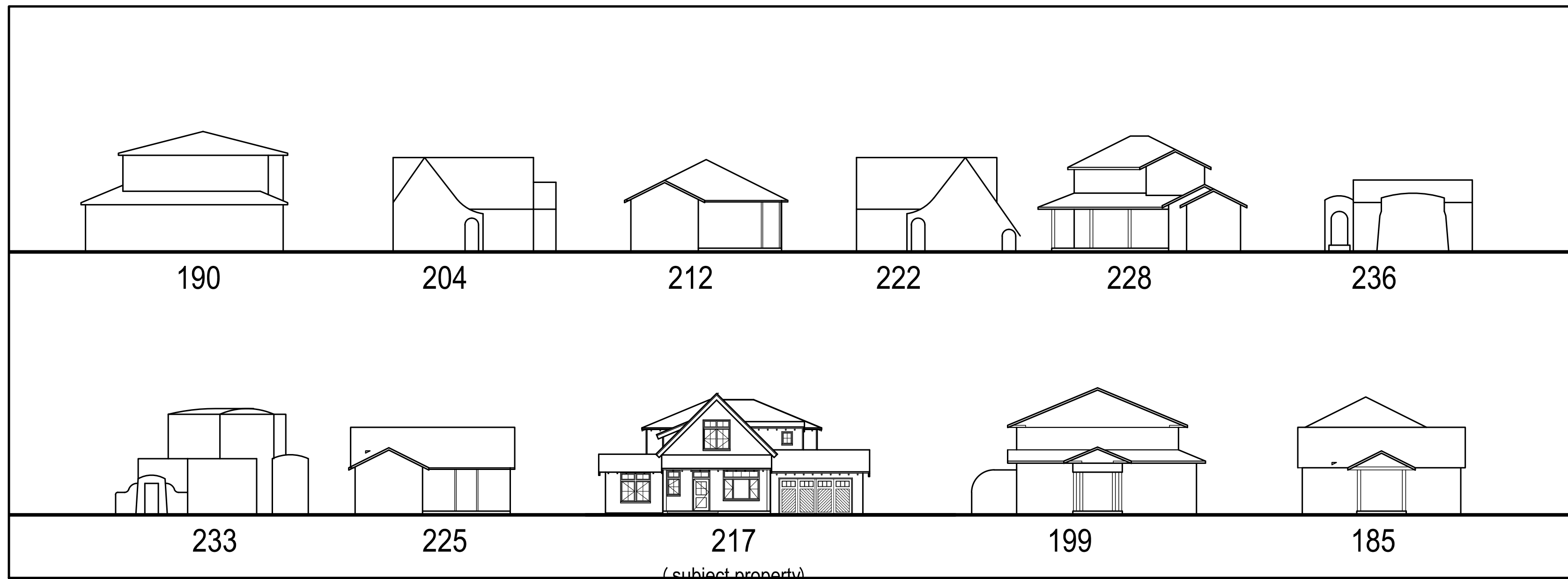
PRIVATE RESIDENCE
 217 PASA ROBLES,
 LOS ALTOS, CA. 94022

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11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2



PROJECT #:	21-04
DRAWN BY:	LS
CHECKED BY:	LS

SHEET TITLE:
 SITE CONTEXT

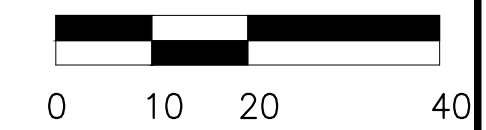
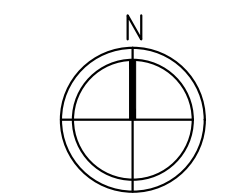
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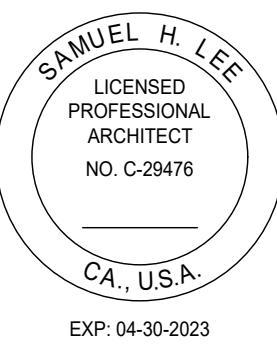
LEGEND

-  FIRST FLOOR OUTLINE
-  SECOND FLOOR OUTLINE

REFERENCE



1 NEIGHBORHOOD CONTEXT EXHIBIT
 SCALE: 1" = 20'



PRIVATE RESIDENCE
 217 PASA ROBLES,
 LOS ALTOS, CA. 94022

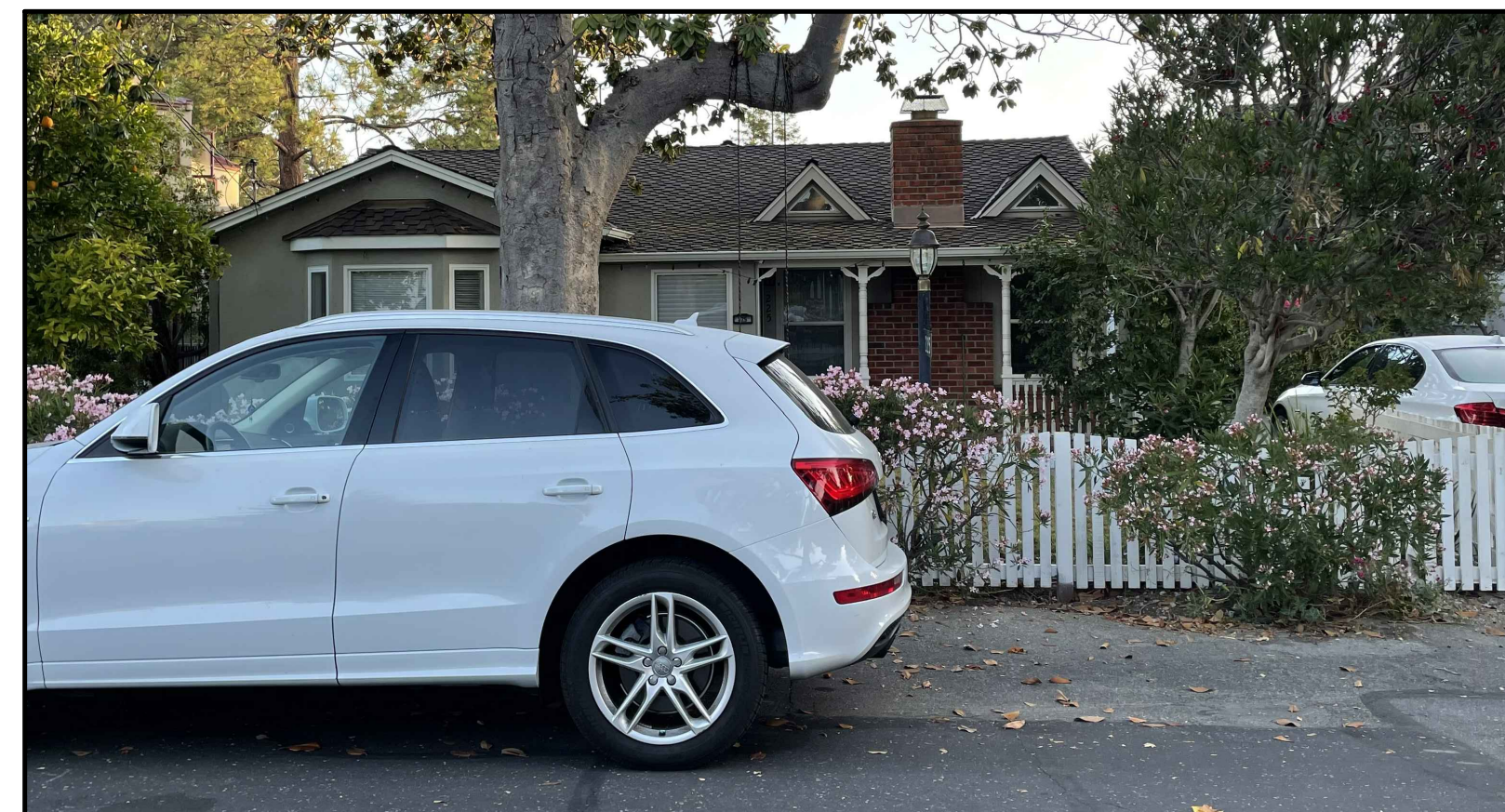
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11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

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DRAWN BY:	LS
CHECKED BY:	LS

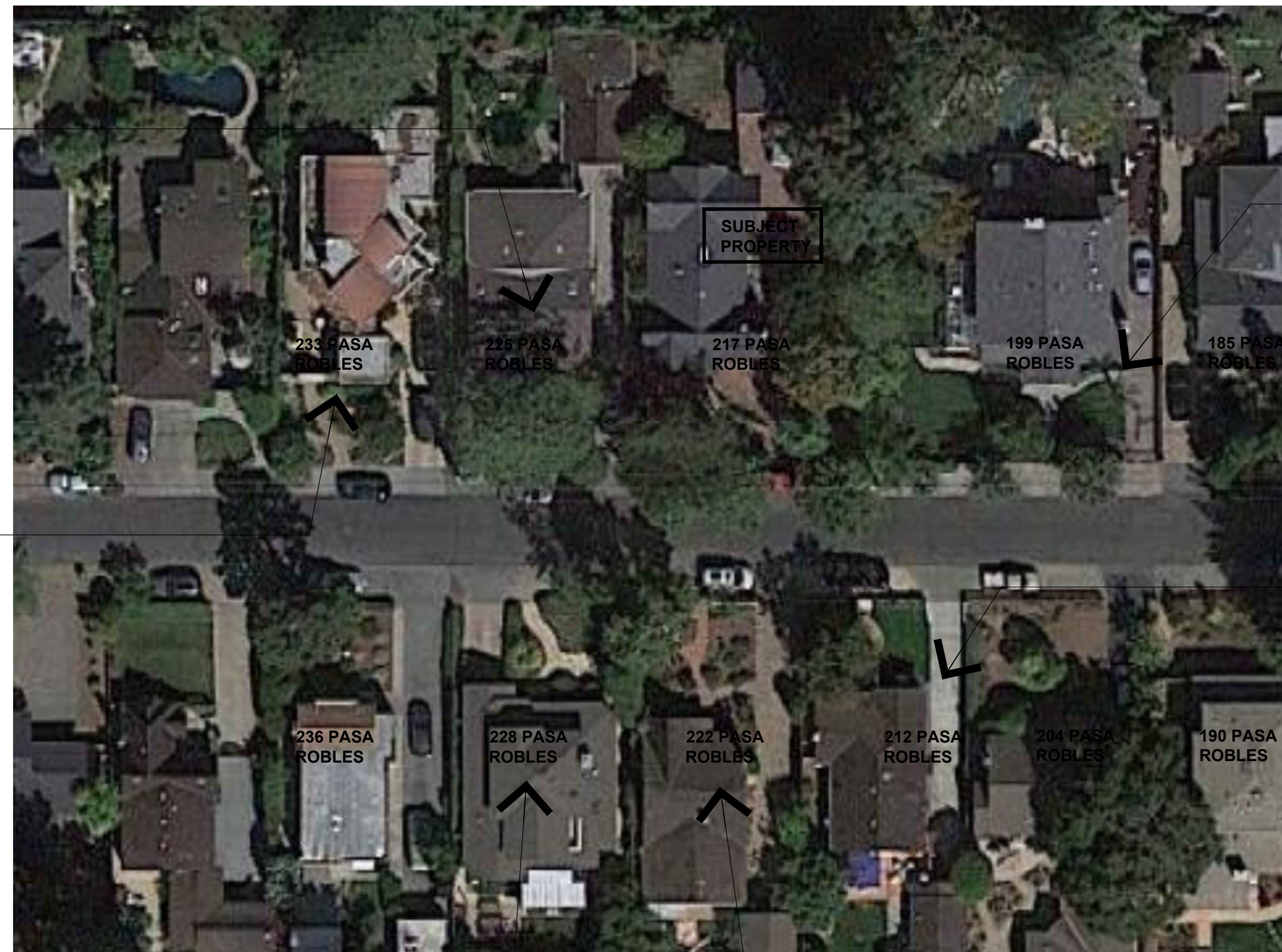
SHEET TITLE:
 SITE CONTEXT
 PHOTOS



SUBJECT PROPERTY - 217 PASA ROBLES



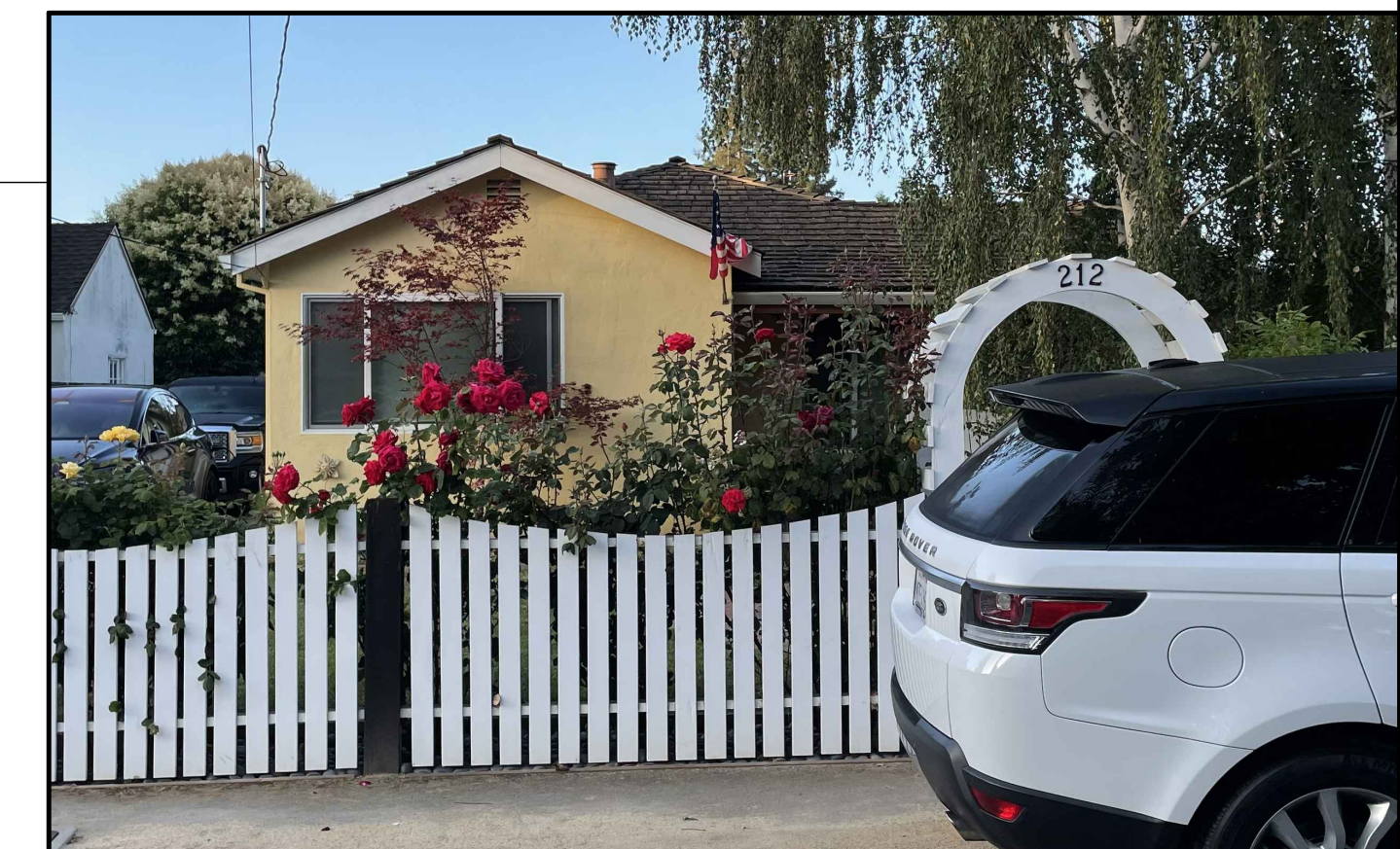
225 PASA ROBLES



199 PASA ROBLES



233 PASA ROBLES



212 PASA ROBLES



228 PASA ROBLES



222 PASA ROBLES

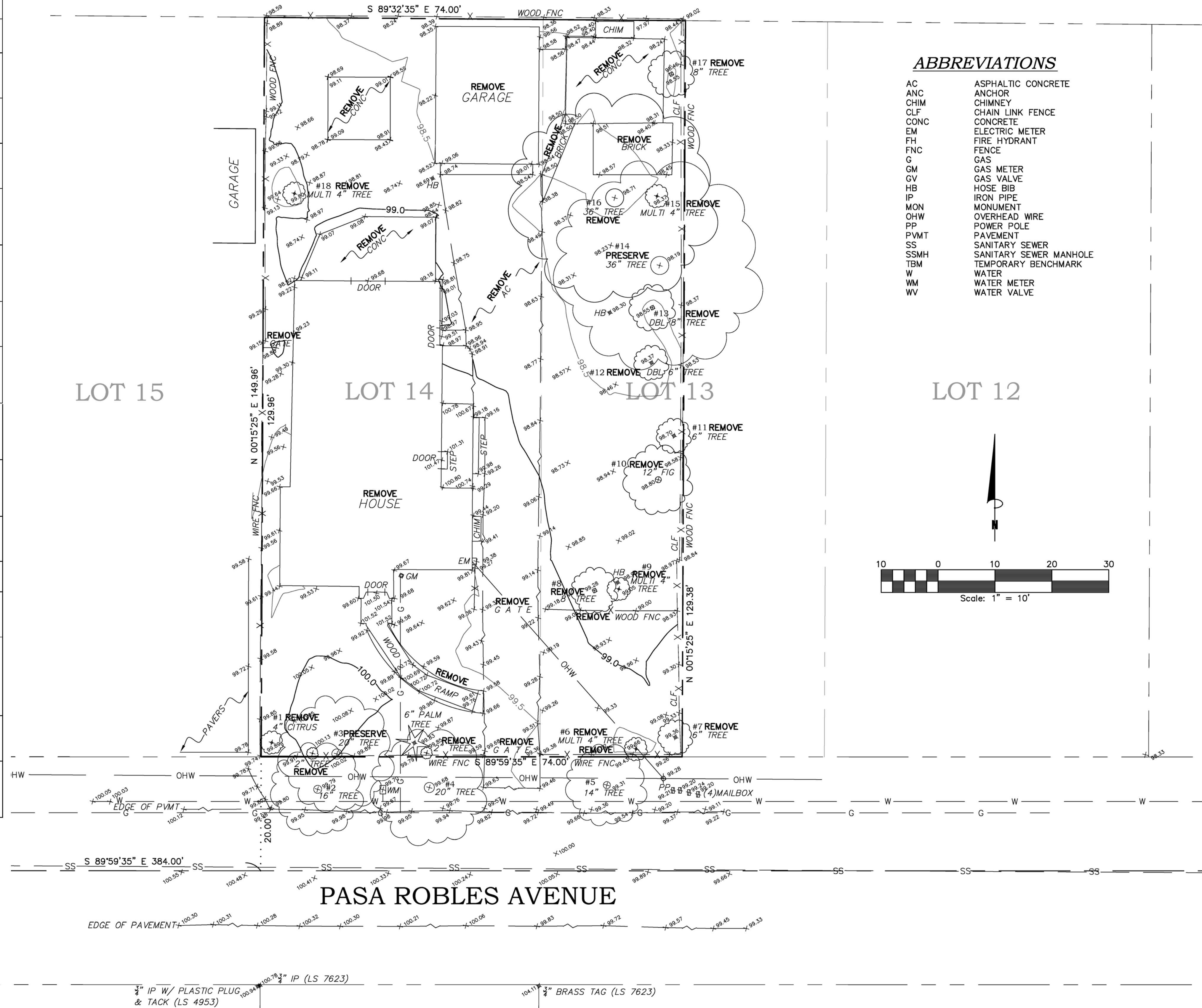


Tree#	Species	DBH	Health	Assessment	Action
1	Orange	4"	Fair (Drought stress)	Fair <i>City criteria for removal i:</i> The condition of the tree and its proximity to the existing oak.	Remove
2	Sycamore (Platanus occidentalis)	16"	Fair	Tree has been topped and has decay in upper crown. Reaching end of lifespan. <i>City criteria for removal i and vi:</i> Tree condition is in decline and has reached the end of its life.	Remove
3	Live oak (Quercus agrifolia)	20"	Fair	Prune to balance.	Preserve
4	Sycamore (Platanus occidentalis)	20"	Fair	Tree has been topped and has decay in upper crown. Reaching end of lifespan. <i>City criteria for removal i and vi:</i> Tree condition is in decline and has reached the end of its life.	Remove
5	Sycamore (Platanus occidentalis)	14"	Fair	Tree has been topped and has decay in upper crown. Reaching end of lifespan. <i>City criteria for removal i and vi:</i> Tree condition is in decline and has reached the end of its life.	Remove
6	Privet (Ligustrum lucidum)	4"	Good	Invasive species. <i>City criteria for removal i and ii:</i> It will interfere with the driveway and it's an invasive species that would hurt the property value	Remove
7	Live oak (Quercus agrifolia)	6"	Fair	Growing on property line and within fence. Poor location. <i>City criteria for removal i and ii:</i> It will interfere with the overhead lines above that would hurt the property value	Remove
8	Maple (Acer platanoides)	8"	Fair	Tree is leaning and developing a poor structure. <i>City criteria for removal i and ii:</i> It will interfere with the proposed garage location and it would not allow for maximum benefit of the property.	Remove
9	Privet (Ligustrum lucidum)	4"	Fair	Poor structure and invasive species. <i>City criteria for removal i and ii:</i> It will interfere with the proposed garage location and it would not allow for maximum benefit of the property.	Remove
10	Fig (Ficus carica)	12"	Fair	Included bark in lower crown. Poor structure. <i>City criteria for removal i and iv:</i> It doesn't provide a good screen tree to the neighbors and it would not allow for good sustainable privacy screening for future neighbors.	Remove
11	Privet (Ligustrum lucidum)	6"	Good	Invasive species. Poor structure. <i>City criteria for removal i and iv:</i> It doesn't provide a good screen tree to the neighbors and it would not allow for good sustainable privacy screening for future neighbors.	Remove
12	Myrtle (Myrtus communis)	6"	Good	Making way for new landscape. <i>City criteria for removal i and iv:</i> It doesn't provide a good screen tree to the neighbors and it would not allow for good sustainable privacy screening for future neighbors.	Remove
13	Toyon	8"	Fair	Tree reaching end of lifespan and has Fire blight. <i>City criteria for removal i and vi:</i> Tree condition is in decline and has reached the end of its life.	Remove
14	Sequoia sempervirens	36"	Good	Good condition.	Preserve
15	Oleander	4"	Fair	Make room for new landscape. <i>City criteria for removal i and iv:</i> Removal will benefit the redwood tree. This will allow better scenic beauty around the tree.	Remove
16	Pinea	36"	Fair	Poor structure in upper crown. Competing branches for apical dominance. Overcrowding redwood. <i>City criteria for removal i and iv:</i> Evidence of large branch failure is present due to lack of maintenance and overcrowding from the redwood.	Remove
17	Iocust (Gledista triacanthus)	8"	Fair	Growing on property line. Poor structure. <i>City criteria for removal i and iv:</i> Tree structure is not slightly for screen tree and removal would increase better use of the space.	Remove
18	Privet (Ligustrum lucidum)	4"	Good	Invasive species. <i>City criteria for removal i and iv:</i> It doesn't provide a good screen tree to the neighbors and it would not allow for good sustainable privacy screening for future neighbors	Remove

Tree preservation

All trees to be preserved will require preservation measures to be implemented prior to construction or demo begins. The following are guidelines which should be adhered to in order to preserve the trees:

- Install protective fencing at the drip lines of each tree to totally enclose the entire canopy. Use 6 ft chain link fencing installed on 8 ft galvanized posts. Fencing should completely enclose trees.
- Hold off chain link fence as close to dripline as possible or 3.5' from the face of any proposed building structure.



ABBREVIATIONS

- AC ASPHALTIC CONCRETE
- ANC ANCHOR
- CHIM CHIMNEY
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- EM ELECTRIC METER
- FH FIRE HYDRANT
- FNC FENCE
- G GAS
- GM GAS METER
- GV GAS VALVE
- HB HOSE BIB
- IP IRON PIPE
- MON MONUMENT
- OHW OVERHEAD WIRE
- PP POWER POLE
- PVMT PAVEMENT
- SS SANITARY SEWER
- SSMH SANITARY SEWER MANHOLE
- TBM TEMPORARY BENCHMARK
- W WATER
- WM WATER METER
- WV WATER VALVE

PRELIMINARY

TOPOGRAPHIC & DEMOLITION PLAN
 APN 167-15-022
 217 PASA ROBLES AVENUE
 IN THE CITY OF LOS ALTOS, CALIFORNIA

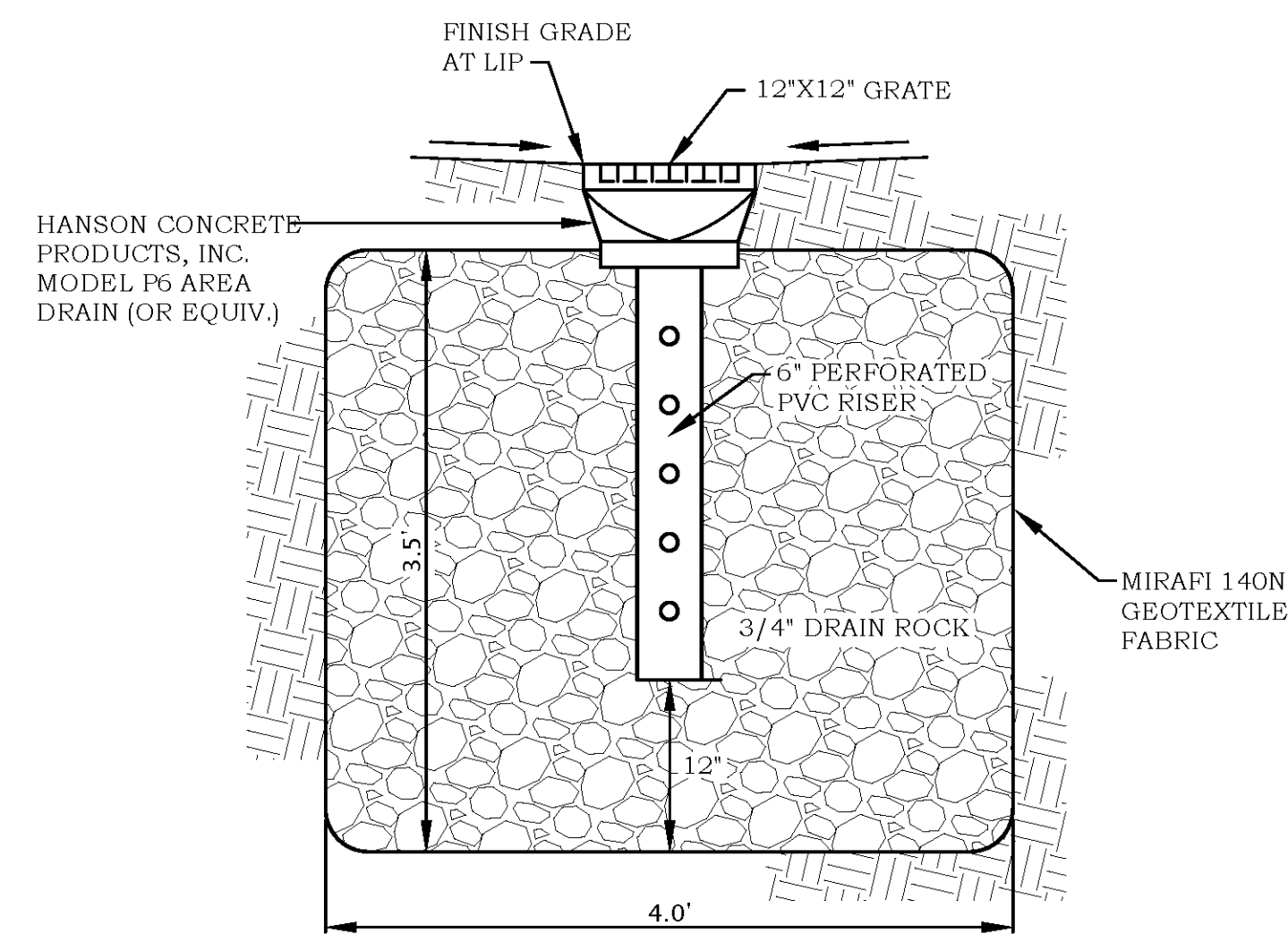
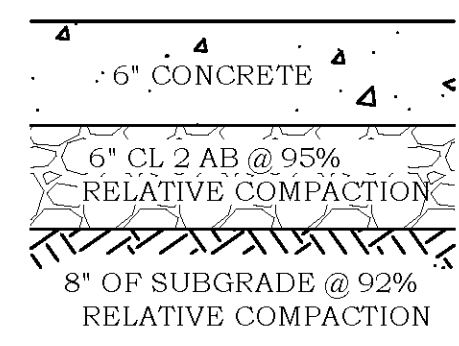
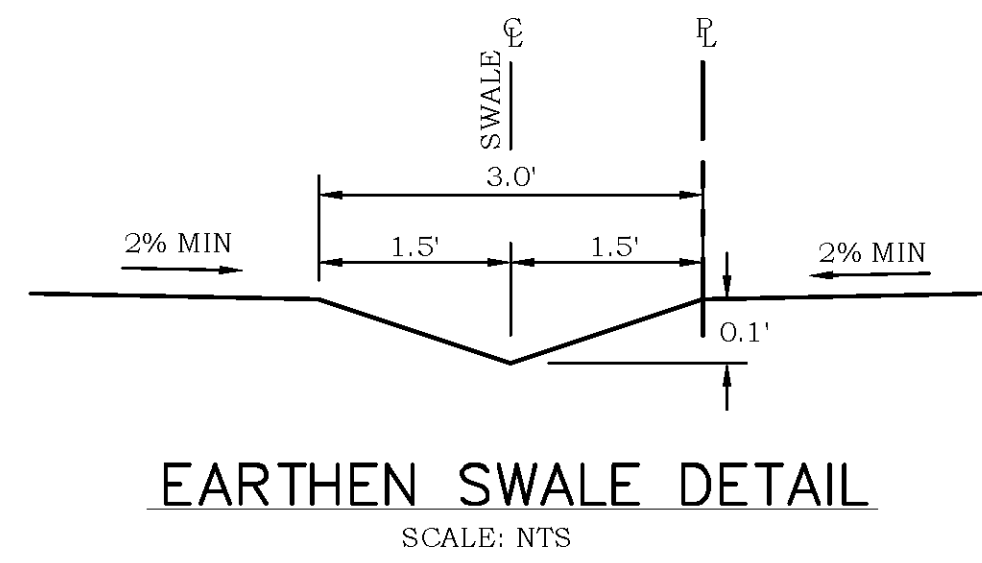
REVISIONS	
DATE	DESCRIPTION

SCALE	1" = 10'
DATE	1/6/2022
DWN	JS ME41
CHKD	
JOB NO.	21028
DWG. NO.	L15107

SHEET
C2
 OF 4 SHEETS

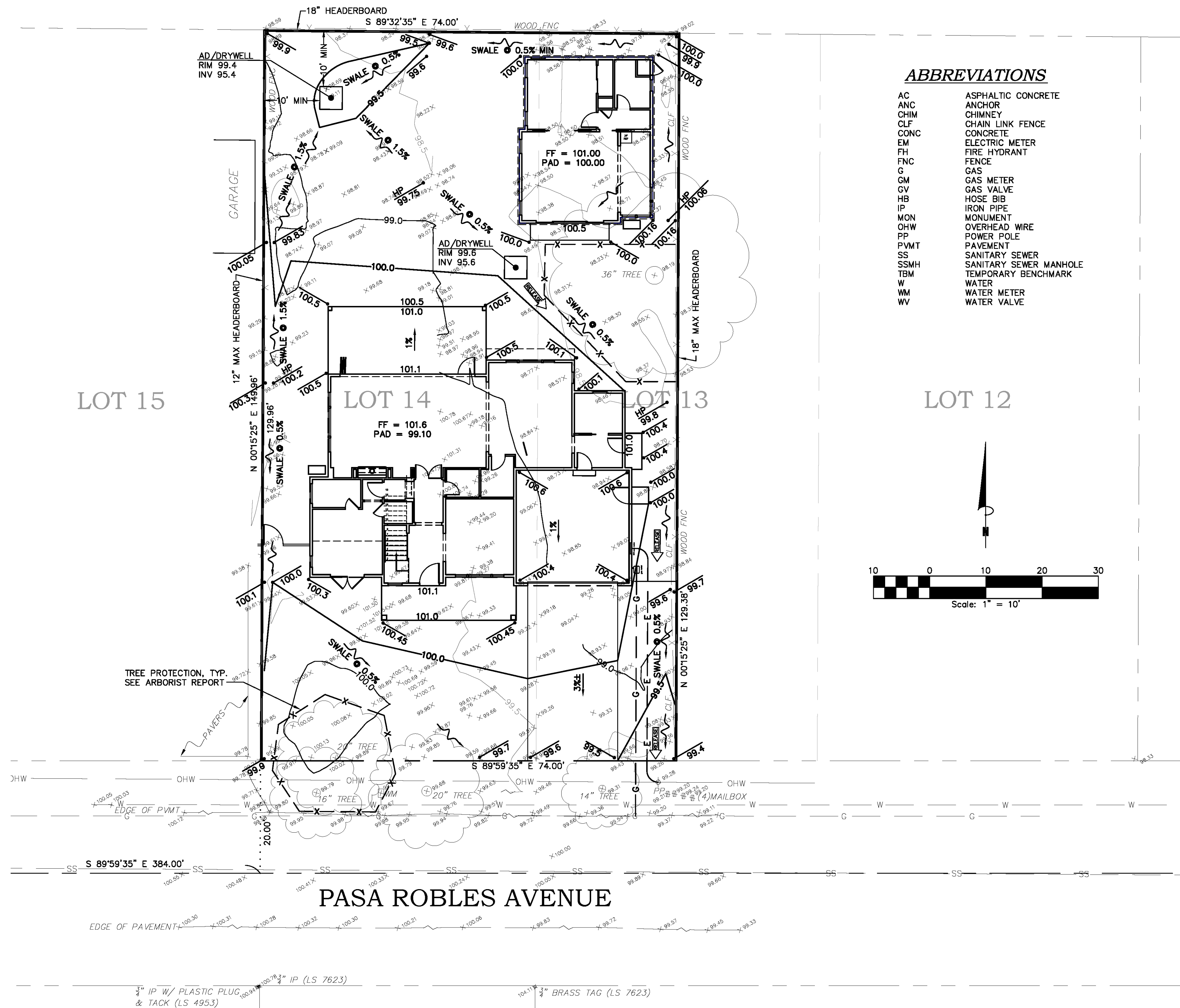
PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-23
 DANIEL NUNES, R.C.E. 70449-EXPIRES 12-31-22, L.S. 9212-EXPIRES 09-30-23

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
 RESPONSIVE. RELIABLE. RESULTS SINCE 1953
 2355 De La Cruz Blvd., Santa Clara, California 95050
 Ph: (408) 727-8262 FAX: (408) 727-8285 E-mail: mission@missionengineersinc.com



EARTH WORK QUANTITIES	
CUT:	20 C.Y.
FILL:	200 C.Y.
EXPORT:	0 C.Y.
IMPORT:	180 C.Y.

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.



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PRELIMINARY

GRADING & DRAINAGE PLAN – OPTION A
 APN 167-15-022
 217 PASA ROBLES AVENUE
 IN THE CITY OF LOS ALTOS, CALIFORNIA

REVISIONS	
DATE	DESCRIPTION

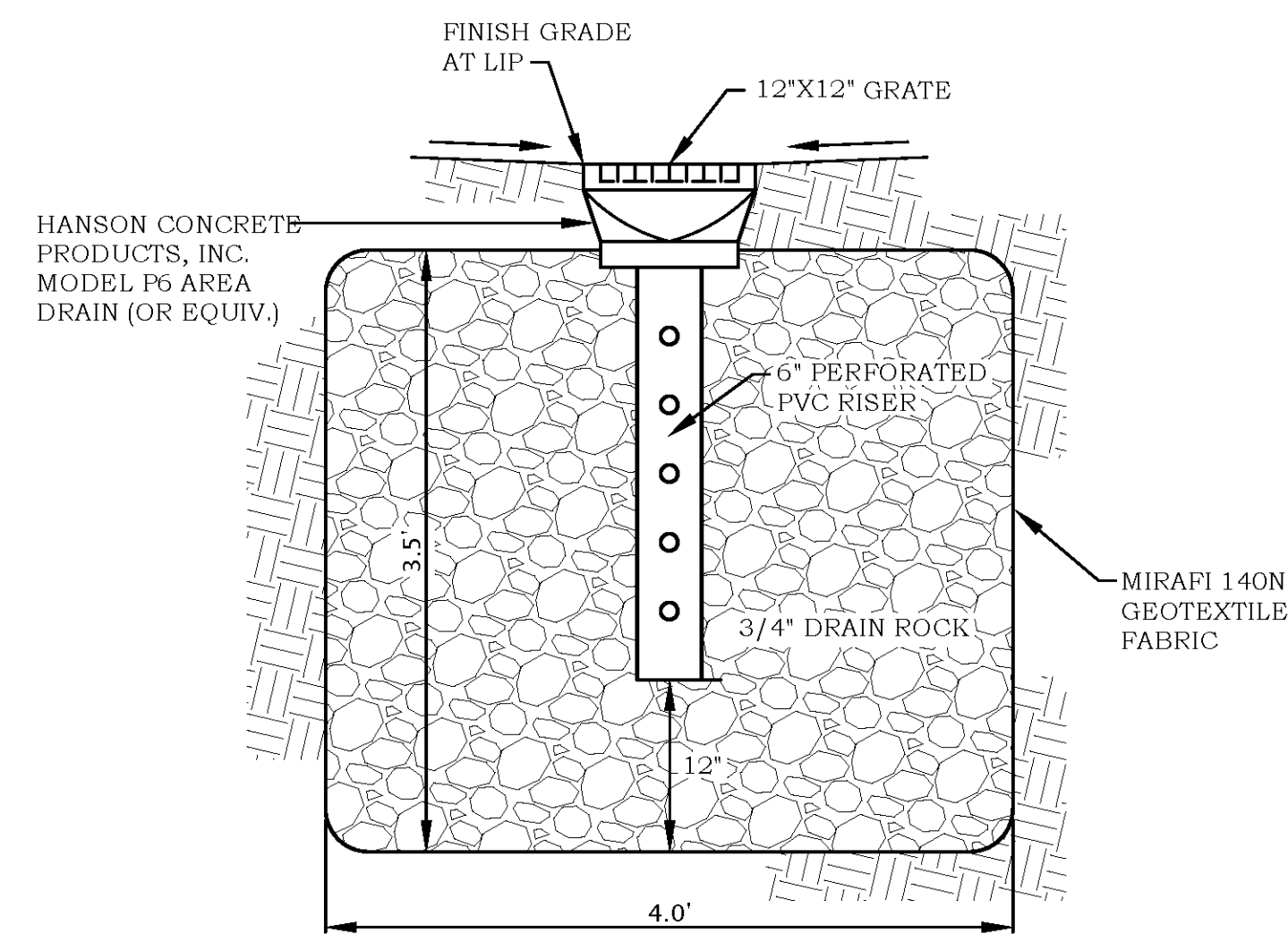
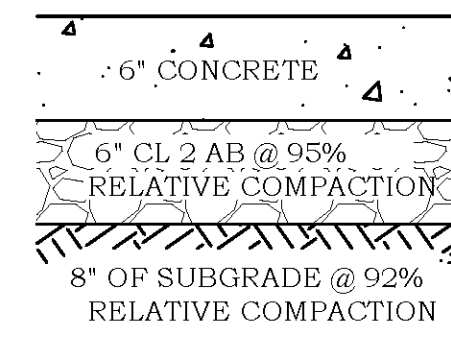
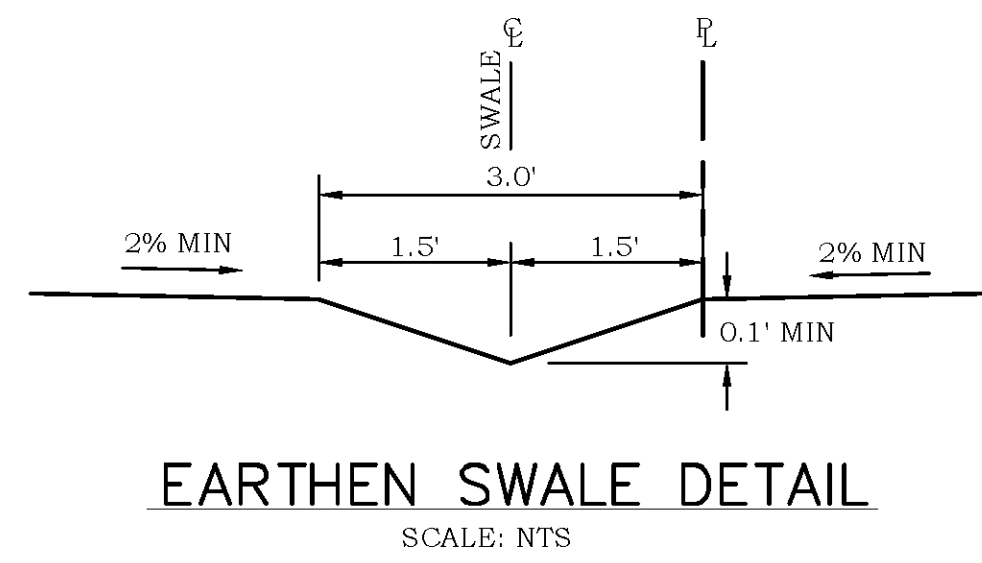
SCALE	1" = 10'
DATE	1/6/2022
DWN	JS ME41
CHKD	
JOB NO.	21028
DWG. No.	L15107

SHEET
C3A
 OF 4 SHEETS

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-23
 DANIEL NUNES, R.C.E. 78449-EXPIRES 12-31-22, L.S. 9212-EXPIRES 09-30-23

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

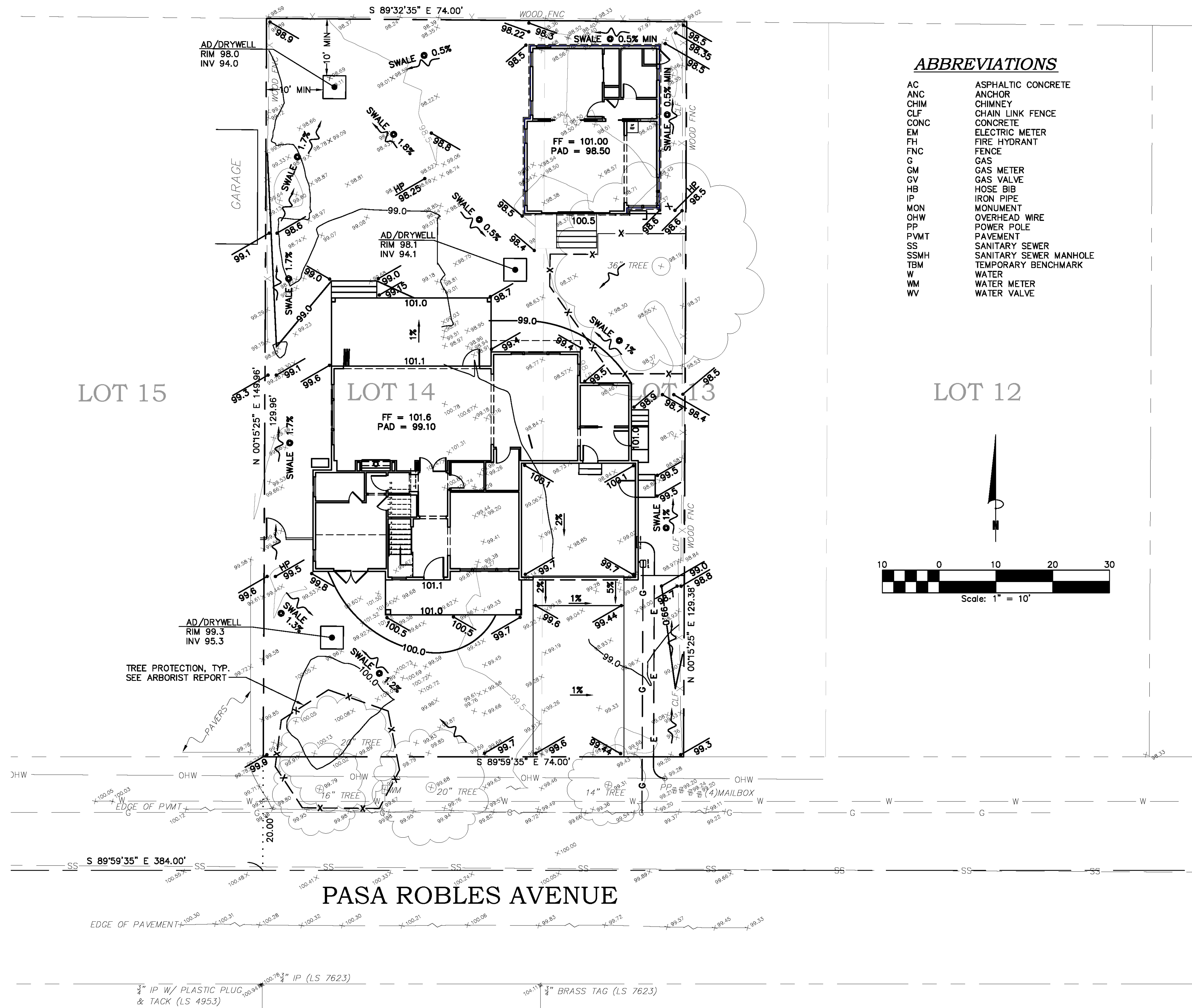
MISSION ENGINEERS, INC.
 RESPONSIVE. RELIABLE. RESULTS SINCE 1953
 2355 De La Cruz Blvd., Santa Clara, California 95050
 Ph: (408) 727-8262 Fax: (408) 727-8265 E-mail: missionengineersinc.com



EARTH WORK QUANTITIES

CUT: 80 C.Y.
 FILL: 80 C.Y.
 EXPORT: 0 C.Y.
 IMPORT: 0 C.Y.

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.



ABBREVIATIONS

AC	ASPHALTIC CONCRETE
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CLF	CHAIN LINK FENCE
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TBM	TEMPORARY BENCHMARK
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WM	WATER METER
WV	WATER VALVE

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-23
 DANIEL NUNES, R.C.E. 78449-EXPIRES 12-31-22, L.S. 9212-EXPIRES 09-30-23

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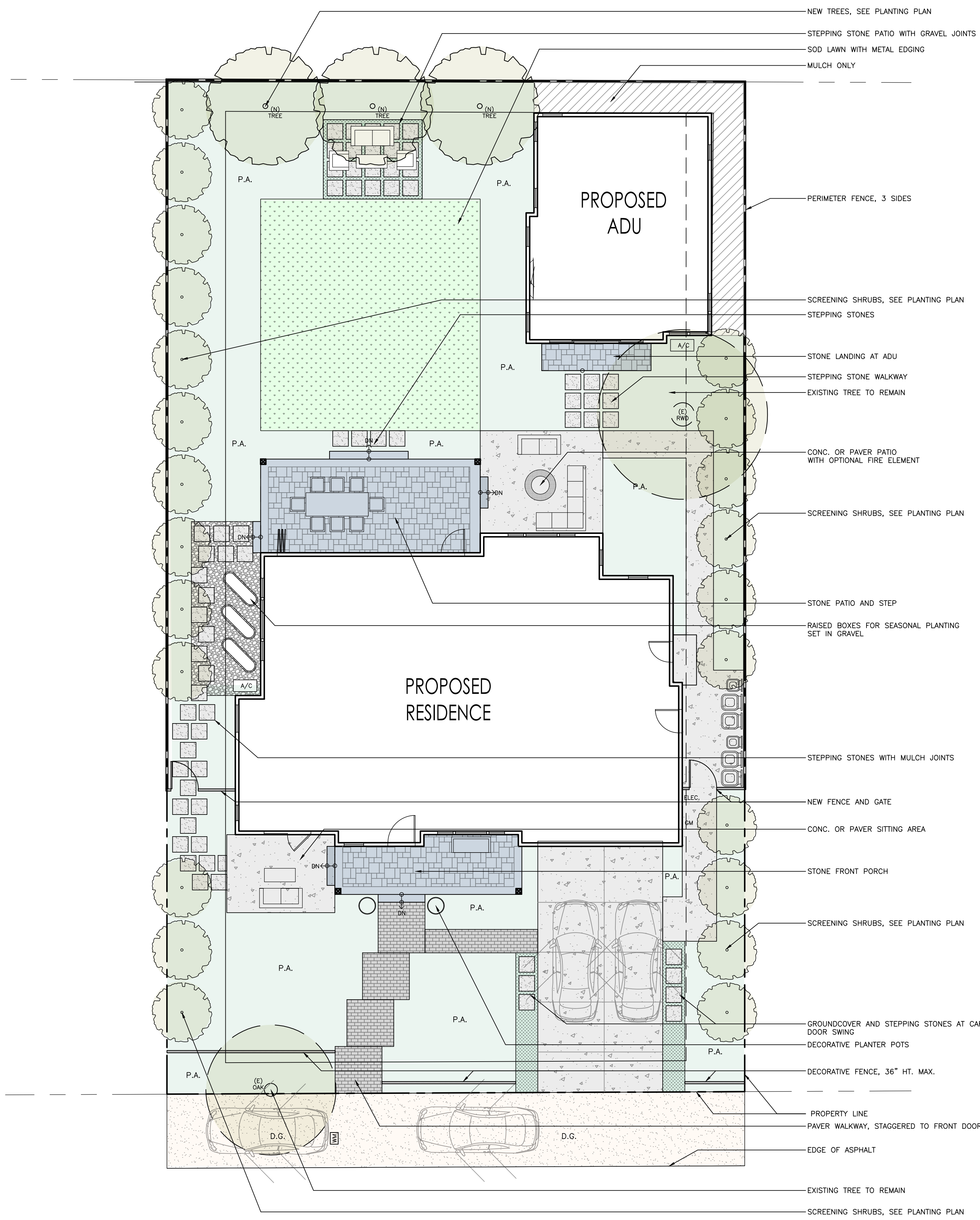
PRELIMINARY

GRADING & DRAINAGE PLAN – OPTION B
 APN 167-15-022
 217 PASA ROBLES AVENUE
 IN THE CITY OF LOS ALTOS, CALIFORNIA

REVISIONS		
DATE	BY	DESCRIPTION

SCALE 1" = 10'
 DATE 1/6/2022
 DWN JS ME41
 CHKD
 JOB NO. 21028
 DWG. NO. L15107

SHEET
C3B
 OF 4 SHEETS



MATERIALS LEGEND:

- INTEGRAL COLORED CONCRETE DRIVEWAYS AND LANDINGS
FINISH: LIGHT BROOM, COLOR: DAVIS "SILVERSMOKE"
- CONCRETE PAVERS
BELGARD: LAFFIT GRANA SLAB
COLOR: BELLA, PATTERN: TBD
- FRONT AND BACK PORCH
CT. BLUESTONE FULL RANGE, ASHLAR PATTERN
TREADS 1 1/2" THICK WITH EASED EDGE, 1" OVERHANG
- GRAVEL PAVING
COLOR: ANGULAR PEA GRAVEL, SIZE: 3/4"
PERMALOC STEEL EDGING, BLACK
- STEPPING STONES
24" SQUARE, BLUESTONE 1 1/2" THICK
- VEGETABLE BEDS
REDWOOD OR METAL HORSE TROUGHS
- 6" HT. REDWOOD PERIMETER FENCE
REDWOOD BOARD ON BOARD, PICTURE FRAME/GOOD NEIGHBOR, NO LATTICE
- 6" HT. REDWOOD FENCE AND GATES
CRAFTSMAN STYLE, VERTICAL SLAT OR PIANO KEY LATTICE
36" WIDE SINGLE SWING GATE
- DECOMPOSED GRANITE
3/4" MINUS GRAY DECOMPOSED GRANITE
- PLANTING AREA
LOW WATER USE PLANTS, QTY TBD
- SOD LAWN
BOLERO PLUS BY DELTA BLUEGRASS
PERMALOC STEEL EDGING, BLACK
- GROUND COVER
LOW WATER USE PLANTS, QTY TBD

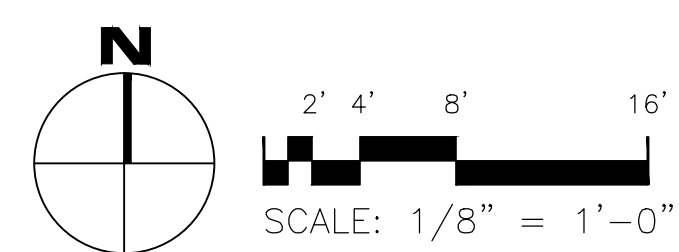
LAYOUT LEGEND:

- CONC. CONCRETE
- (E) OR EXIST. EXISTING
- EJ EXPANSION JOINT:
1) SHOWN PER PLAN
- P.A. PLANTING AREA
- CL CENTER LINE
- D.G. DECOMPOSED GRANITE
- MA MATCH/ALIGN/FLUSH
- SR STAIR RISER
1) +/- 6"
2) SEE DETAIL
- T.P. TOP OF PAVING
- T.W. TOP OF WALL

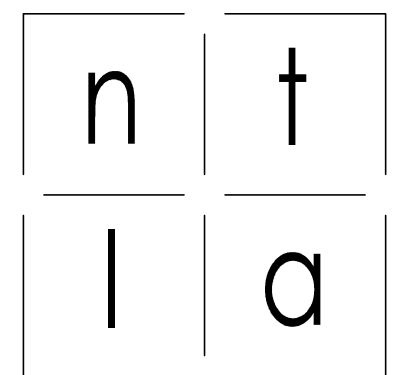
AREA CALCULATIONS:

FRONT YARD HARDSCAPE AND PORCH (IMPERVIOUS): 1,160 Sq. Ft.
 BACK YARD HARDSCAPE AND COVERED PATIO (IMPERVIOUS): 1,200 Sq. Ft.

PASA ROBLES AVENUE



REFER TO L2 FOR PLANTING PLAN
 REFER TO L3 FOR HYDROZONE PLAN AND WATER BUDGET



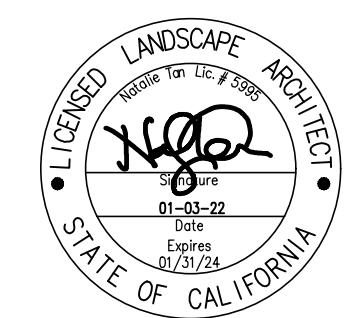
NATALIE TAN
 LANDSCAPE ARCHITECTURE
 P.O. BOX 972
 Ben Lomond, CA 95005
 www.NTLADESIGN.com

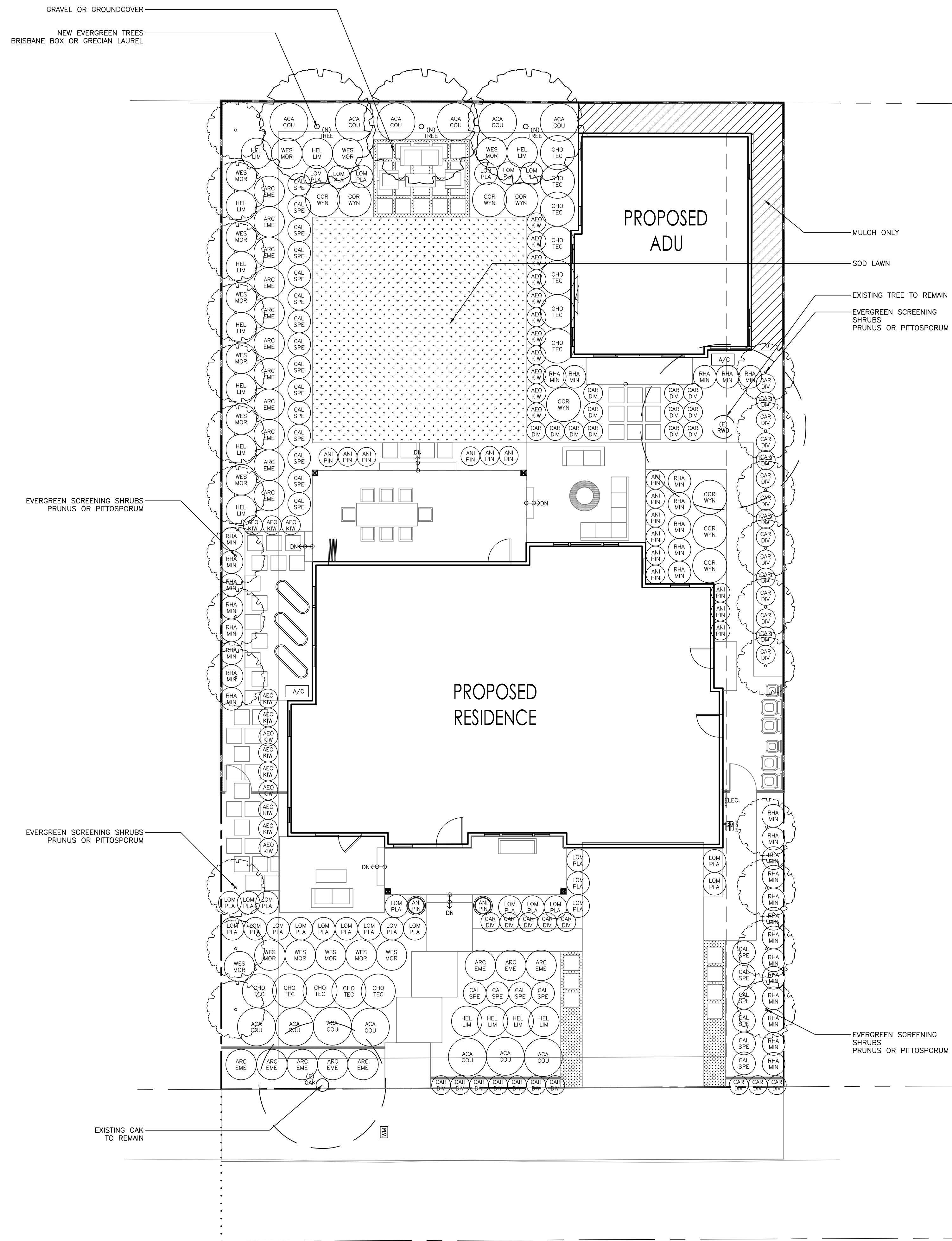
PRIVATE RESIDENCE
 217 PASA ROBLES AVENUE
 LOS ALTOS, CA 94022

LANDSCAPE SITE PLAN

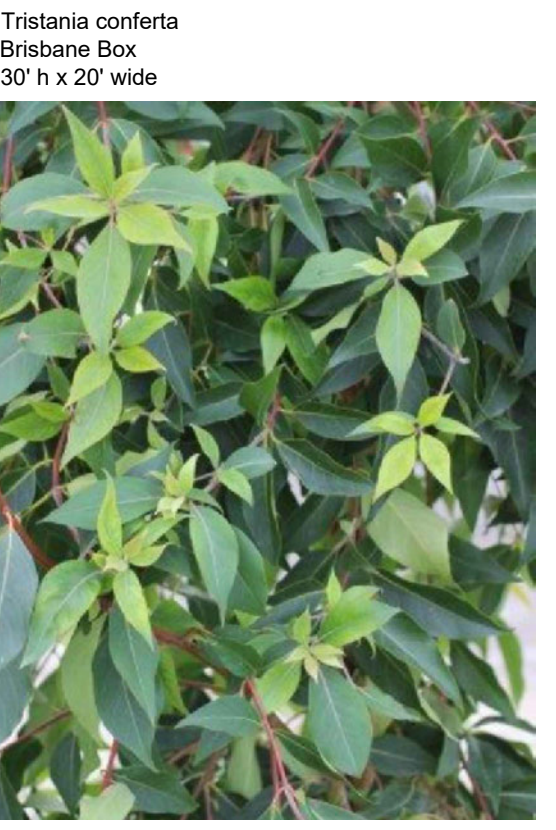
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01	11/03/2021	PLANNING COMMENTS
02	01/03/2022	REVISIONS
03	01/05/2022	REVISIONS

drawn by: NT
 reviewed by: SL
 approved by:
 project number:





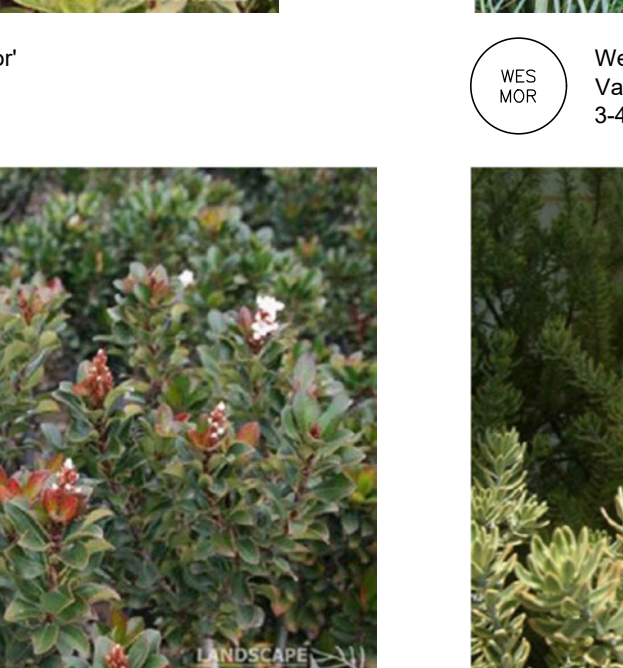
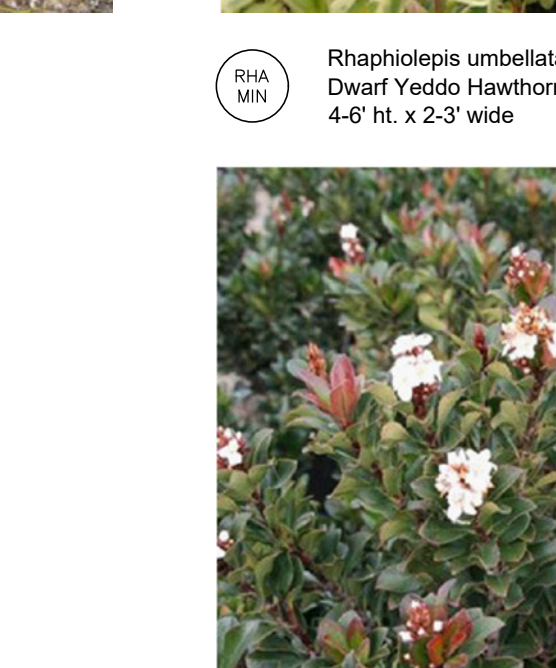
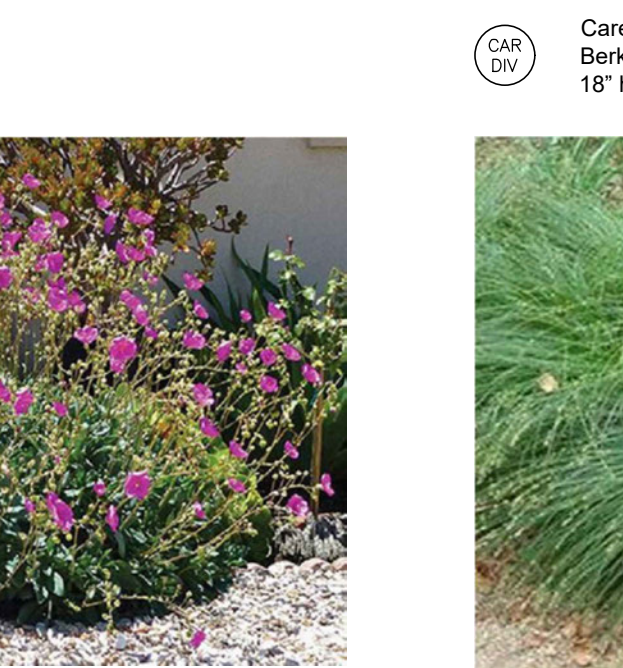
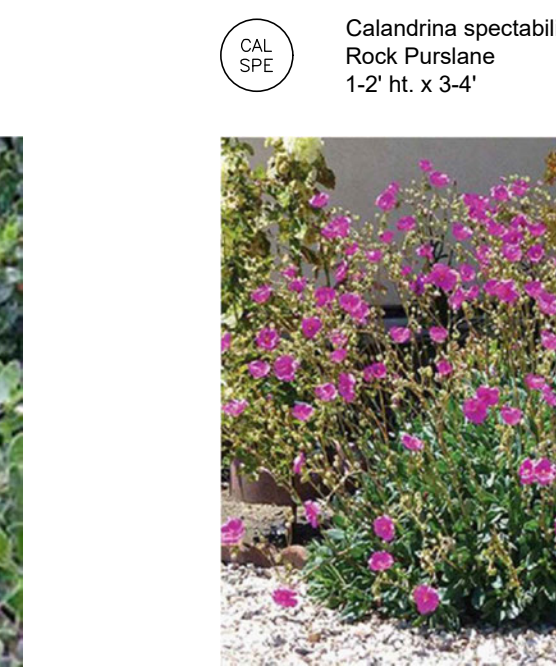
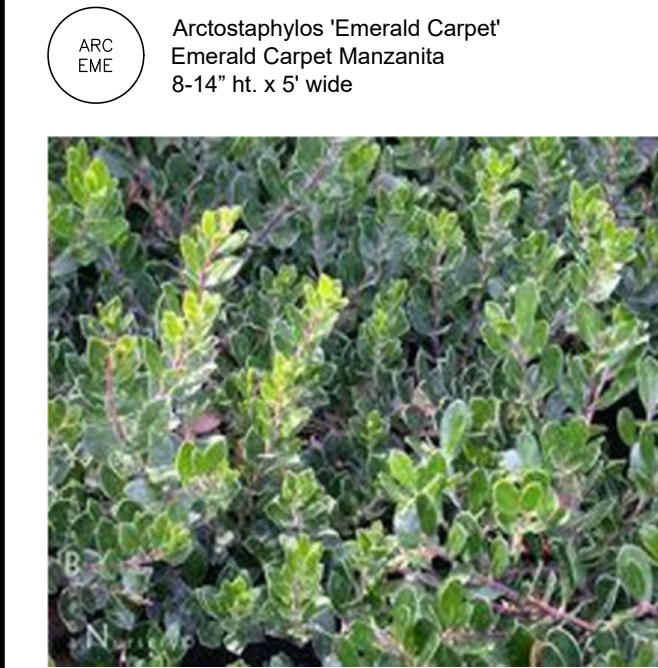
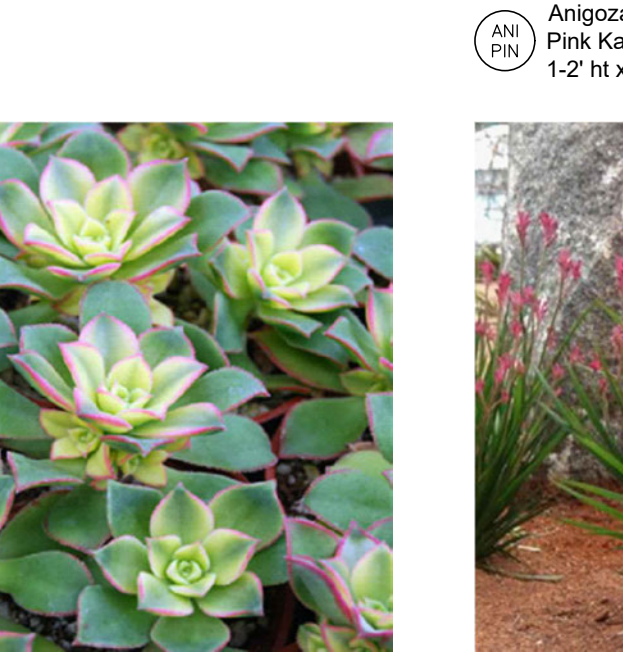
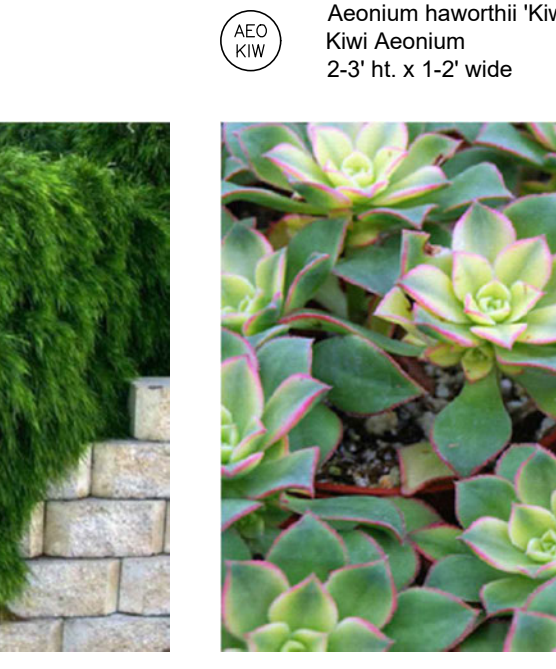
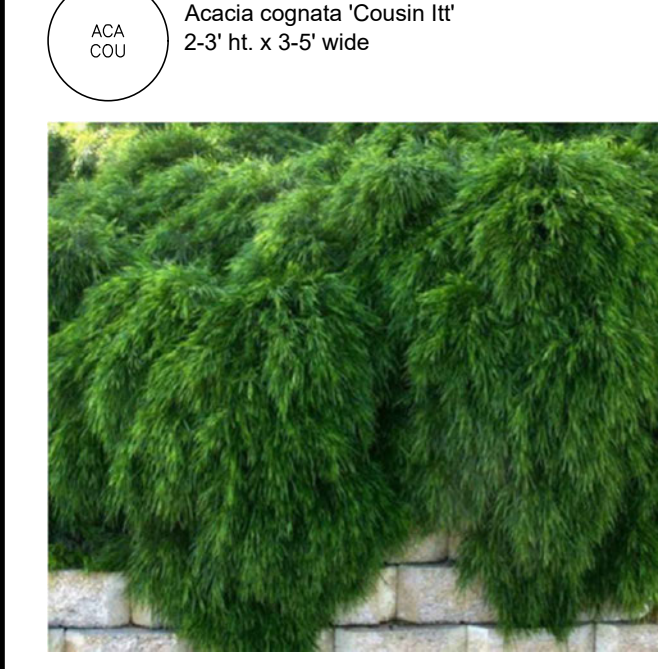
PROPOSED TREE IMAGES:



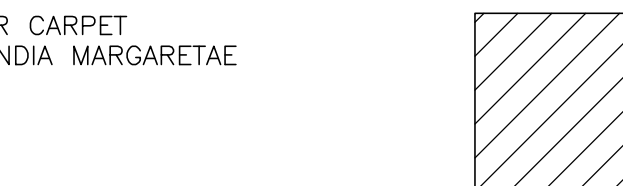
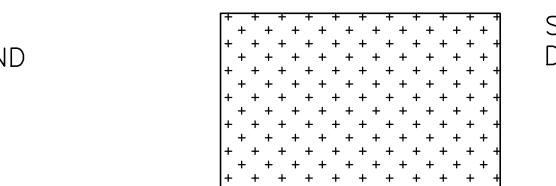
SCREENING SHRUBS:



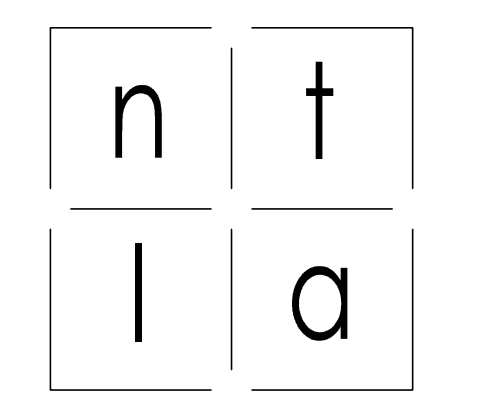
SHRUBS AND PERENNIALS:



GROUNDCOVERS



REFER TO L1 FOR LANDSCAPE PLAN
REFER TO L3 FOR HYDROZONE PLAN AND WATER BUDGET



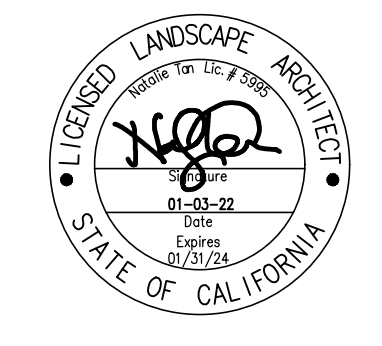
NATALIE TAN
LANDSCAPE ARCHITECTURE
P.O. BOX 972
Ben Lomond, CA 95005
www.NTLADESIGN.com

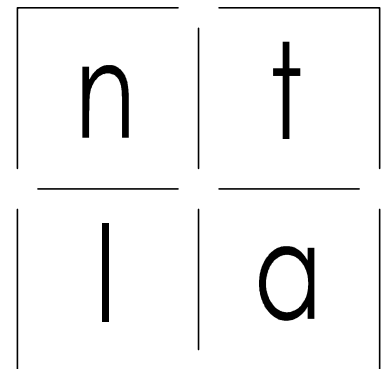
PRIVATE RESIDENCE
217 PASA ROBLES AVENUE
LOS ALTOS, CA 94022

PLANTING SCHEMATIC

issue	date	description
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01	11/03/2021	PLANNING COMMENTS
02	01/03/2022	REVISIONS
03	01/05/2022	REVISIONS

drawn by: NT
reviewed by: SL
approved by:
project number:





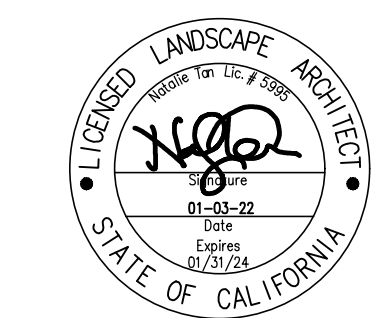
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 www.NTLADESIGN.com

PRIVATE RESIDENCE
 217 PASA ROBLES AVENUE
 LOS ALTOS, CA 94022

HYDROZONE PLAN AND
 WATER BUDGET

issue	date	description
00	07/27/2021	PLANNING REVIEW
01	11/03/2021	PLANNING COMMENTS
02	01/03/2022	REVISIONS
03	01/05/2022	REVISIONS

drawn by: NT
 reviewed by: SL
 approved by:
 project number:



L3

sheet number

HYDROZONE TABLE:

HYDROZONE OUTLINE HYDROZONE NUMBER (#)

HYDROZONE	SYMBOL	SQ.FT.	WATER NEEDS	DESCRIPTION	EXPOSURE	METHOD	APP RATE
01		45	LOW	FRONT TREES AND POTS	SUN	DRIPLINE 18" O.C.	.43
02		230	LOW	FRONT GROUNDCOVER	SUN	DRIPLINE 18" O.C.	.43
03		440	LOW	FRONT PLANTS & SHRUBS	SUN	DRIPLINE 18" O.C.	.43
04		515	LOW	FRONT PLANTS & SHRUBS	PARTIAL SUN	DRIPLINE 18" O.C.	.43
05		445	LOW	SIDE & BACK SHRUBS & TREES	PARTIAL SUN	DRIPLINE 18" O.C.	.43
06		55	MOD	SIDE VEGETABLE BEDS	SUN	DRIPLINE 18" O.C.	.43
07		615	LOW	BACK SHRUBS & GC	SUN	DRIPLINE 18" O.C.	.43
08		780	LOW	BACK SHRUBS & GC	PARTIAL SUN	DRIPLINE 18" O.C.	.43
09		405	HIGH	BACK SOD LAWN	SUN	MPR SPRAY	.43
10		405	HIGH	BACK SOD LAWN	SUN	MPR SPRAY	.43

Title 23, Appendix B

WATER EFFICIENT LANDSCAPE WORKSHEET

Reference Evapotranspiration (Eto): 43.0 Los Altos

Hydrozone #/Planting Description (a)	Plant Factor (PF)	Irrigation Method (b)	Irrigation Efficiency (IE) (c)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Areas							
1. Front Trees & Pots (Low)	0.20	Drip	0.81	0.25	45	25	296
2. Front Groundcover (Low)	0.20	Drip	0.81	0.25	230	127	1,514
3. Front shrubs (Low)	0.20	Drip	0.81	0.25	440	242	2,896
4. Front Plants (Low)	0.20	Drip	0.81	0.25	515	283	3,390
5. Side & Back Plants (Low)	0.20	Drip	0.81	0.25	445	245	2,929
7. Side Plants (Low)	0.20	Drip	0.81	0.25	615	338	4,048
8. Back Plants (Low)	0.20	Drip	0.81	0.25	780	429	5,135
9. Back Lawn (High)	0.80	Drip	0.75	1.07	405	223	11,517
10. Back Lawn (High)	0.80	Spray	0.75	1.07	405	223	11,517
Totals					3880	2134	43,243
					(A)	(B)	
Special Landscape Areas							
6. Vegetable Boxes (Mod)				1	55	30	1,466
Totals					55	30	1,466
					(C)	(D)	
						ETWU Total	44,709
						Maximum Allowed Water Allowance (MAWA)	56,917

- (a) Hydrozone #/Planting Description
- (b) Irrigation Method
- (c) Irrigation Efficiency (0.75 for spray, 0.81 for drip)
- (d) ETWU (annual Gallons Required) = ETo x 0.62 x ETAF x Area
- (e) MAWA (Annual Gallons Allowed) = ETo x 0.62 + (ETAF x LA) + ((1-ETAF) x SLA)

ETAF Calculations

Regular Landscape Areas	(B)	2,134
Total ETAF x Area	(B)	2,134
Total Area	(A)	3,880
Average ETAF	B/A	0.55

All Landscape Areas

Total ETAF x Area	(B+D)	2,164
Total ETAF x Area	(B+D)	2,164
Total Area	(A+C)	3,935
Average ETAF	(B+D)/(A+C)	0.55

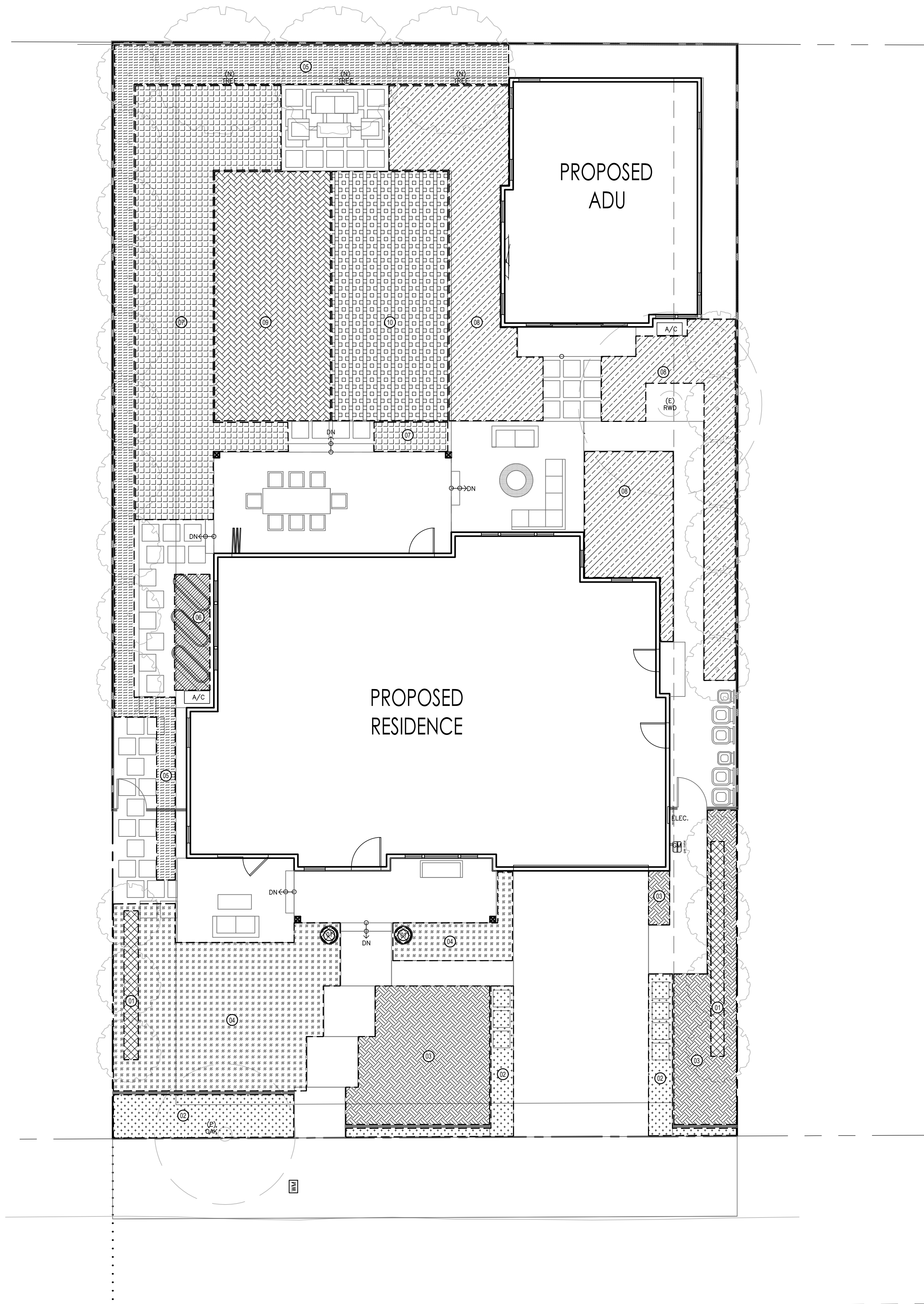
IRRIGATION NOTES:

- LANDSCAPE CONTRACTOR TO FIELD VERIFY EXISTING IRRIGATION SYSTEM PRIOR TO CONSTRUCTION.
- ALL EQUIPMENT REQUIRED BUT NOT SPECIFIED ON PLANS SHALL BE PROVIDED TO INSURE A COMPLETE AND FUNCTIONAL SYSTEM. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS.
- ALL VALVES FOR PLANTING AREAS OUTSIDE OF SCOPE OF WORK TO REMAIN.
- EXISTING IRRIGATION SYSTEM TO REMAIN OPERABLE DURING CONSTRUCTION.
- CONNECT EXISTING CONTROLLER STATION WIRES, TO NEW VALVE LOCATIONS.
- ALL DAMAGES OUTSIDE OF SCOPE OF WORK AREA TO BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR TO PROVIDE AS-BUILT DRAWING AT END OF CONSTRUCTION.
- INSTALL THRUST BLOCKS AT 45 DEGREE AND 90 DEGREE TURNS OF IRRIGATION SUPPLY LINE.

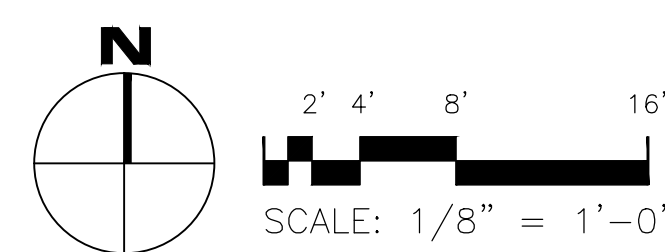
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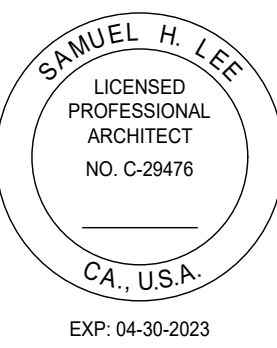
G.P.M.	SIZE
0-10	3/4"
11-15	1"
16-25	1 1/4"
26-35	1 1/2"
36-50	2"
51-70	2 1/2"

REFER TO L1 FOR LANDSCAPE PLAN
 REFER TO L2 FOR PLANTING PLAN



PASA ROBLES AVENUE





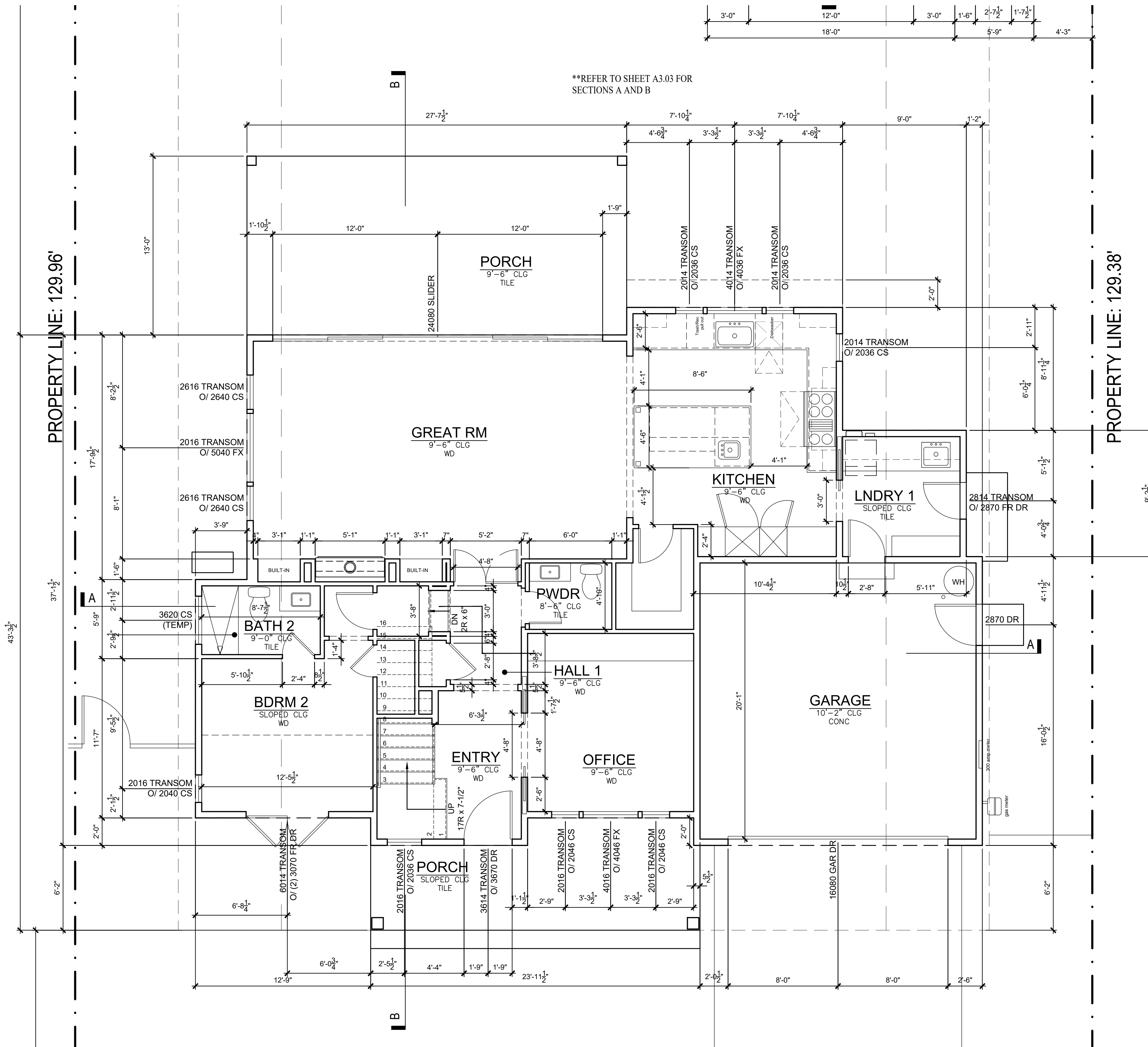
PRIVATE RESIDENCE
 217 PASA ROBLES,
 LOS ALTOS, CA. 94022

DATE	ISSUE
07/21/21	PLANNING DEPT. SUBMITTAL
11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

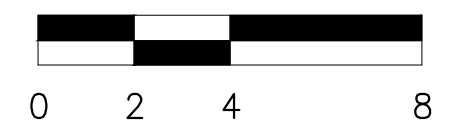
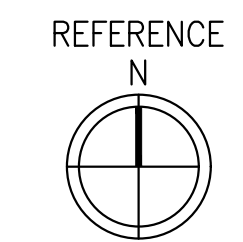
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DRAWN BY:	LS
CHECKED BY:	LS

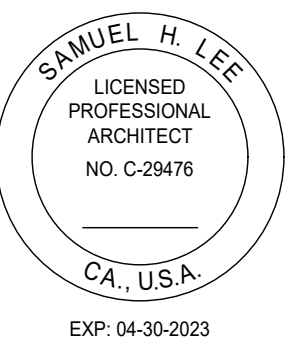
FIRST FLOOR PLAN

SHEET NUMBER:
A2.01



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"





PRIVATE RESIDENCE
 217 PASA ROBLES,
 LOS ALTOS, CA. 94022

DATE	ISSUE
07/21/21	PLANNING DEPT. SUBMITTAL
11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

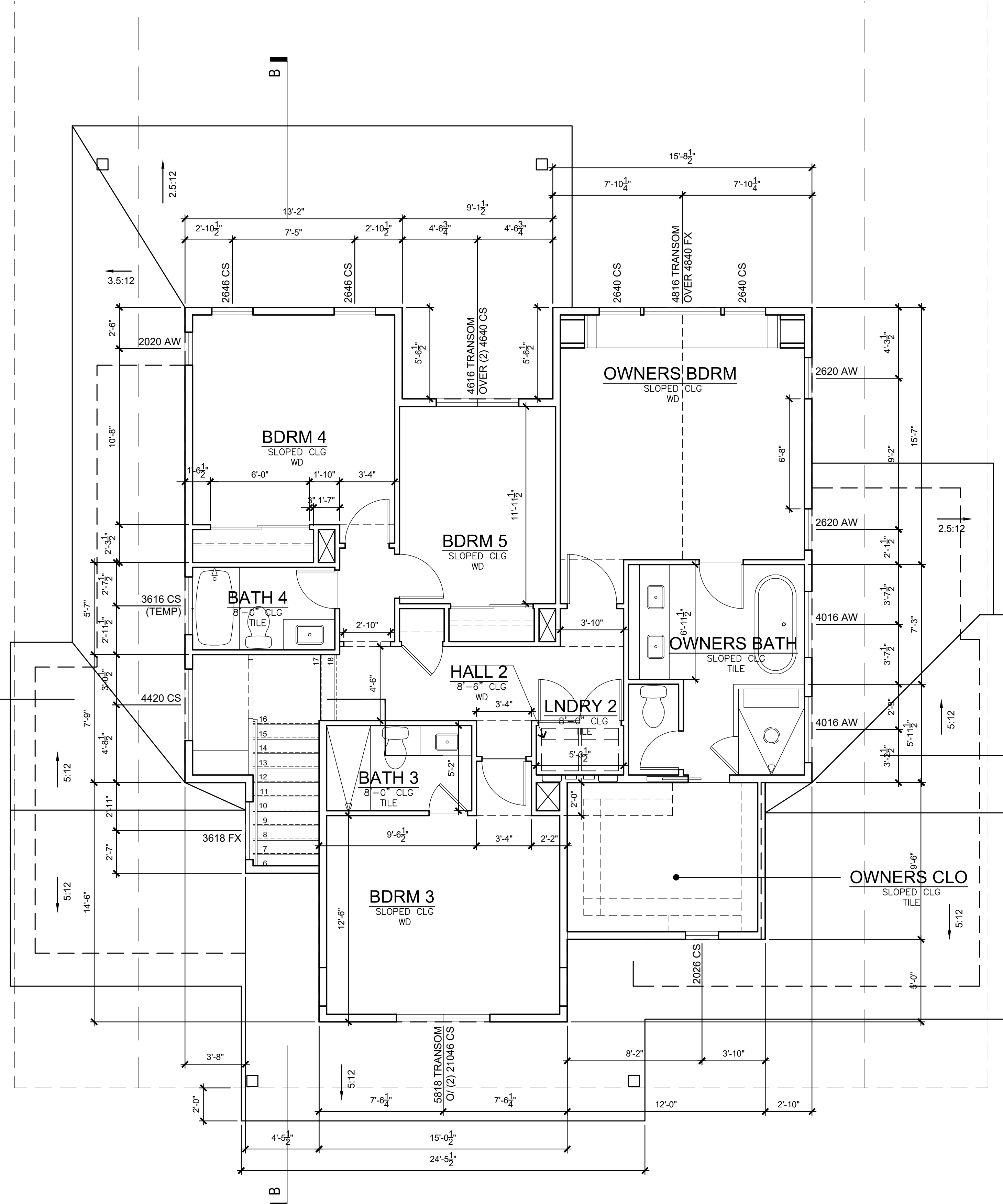
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CHECKED BY:	LS

SECOND FLOOR PLAN

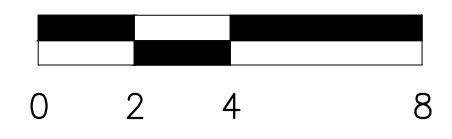
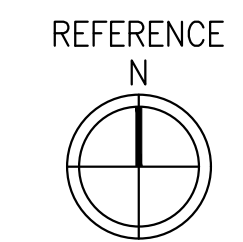
SHEET NUMBER:
A2.02

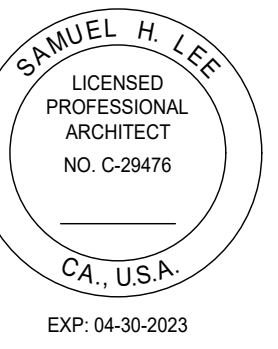
PROPERTY LINE: 129.96'

PROPERTY LINE: 129.38'



1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"





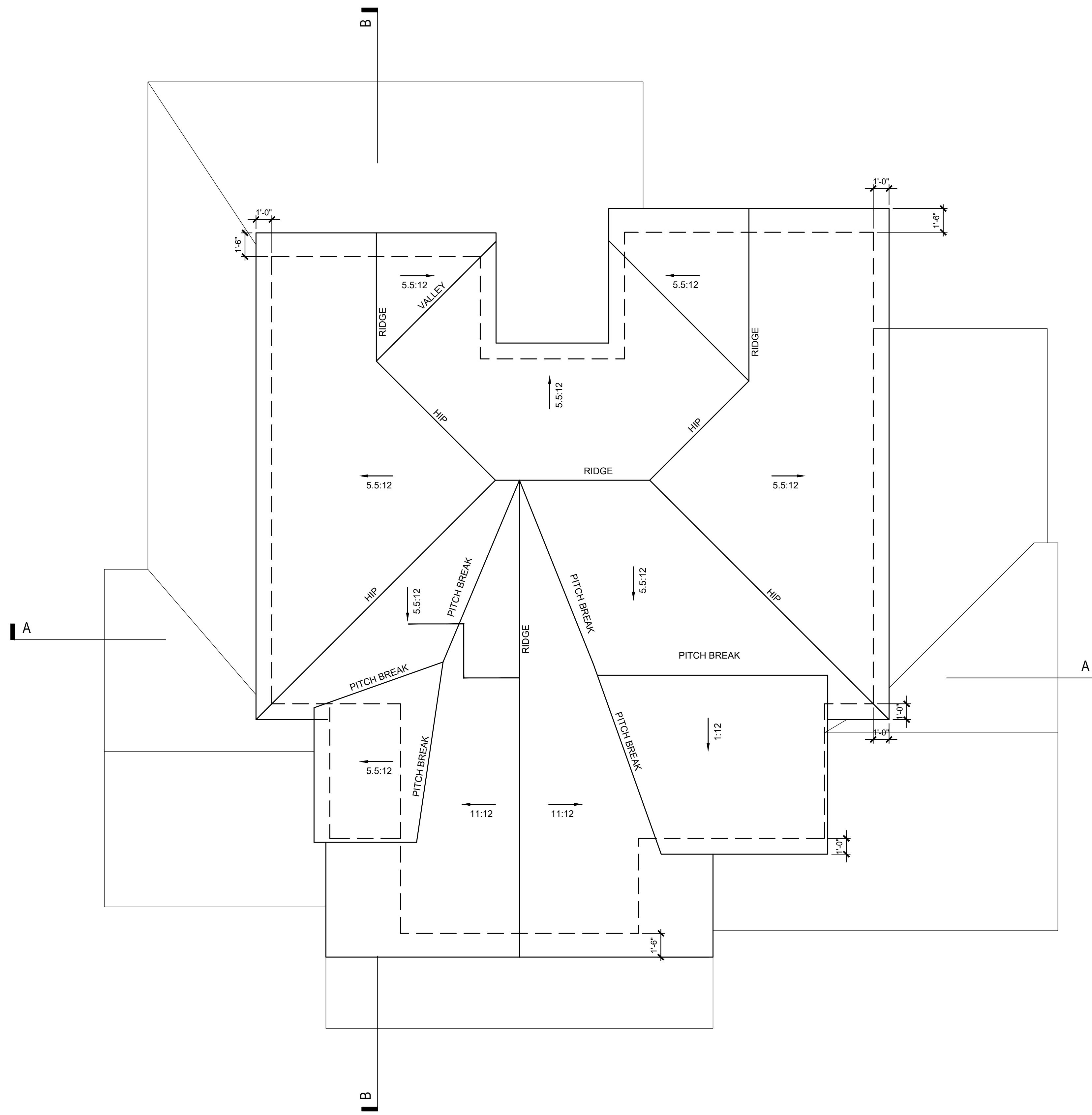
PRIVATE RESIDENCE
 217 PASA ROBLES,
 LOS ALTOS, CA. 94022

DATE	ISSUE
07/21/21	PLANNING DEPT. SUBMITTAL
11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

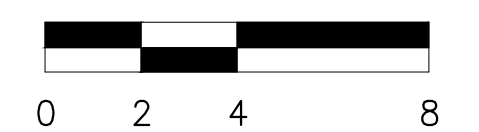
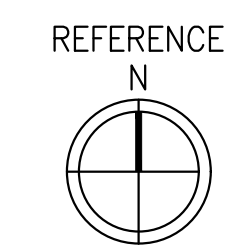
PROJECT #:	21-04
DRAWN BY:	LS
CHECKED BY:	LS

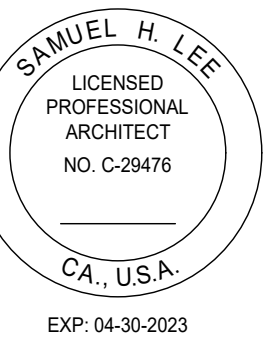
SHEET TITLE:
**ROOF PLAN
 PLAN**

SHEET NUMBER:
A2.03



1 ROOF PLAN
 SCALE: 1/4" = 1'-0"





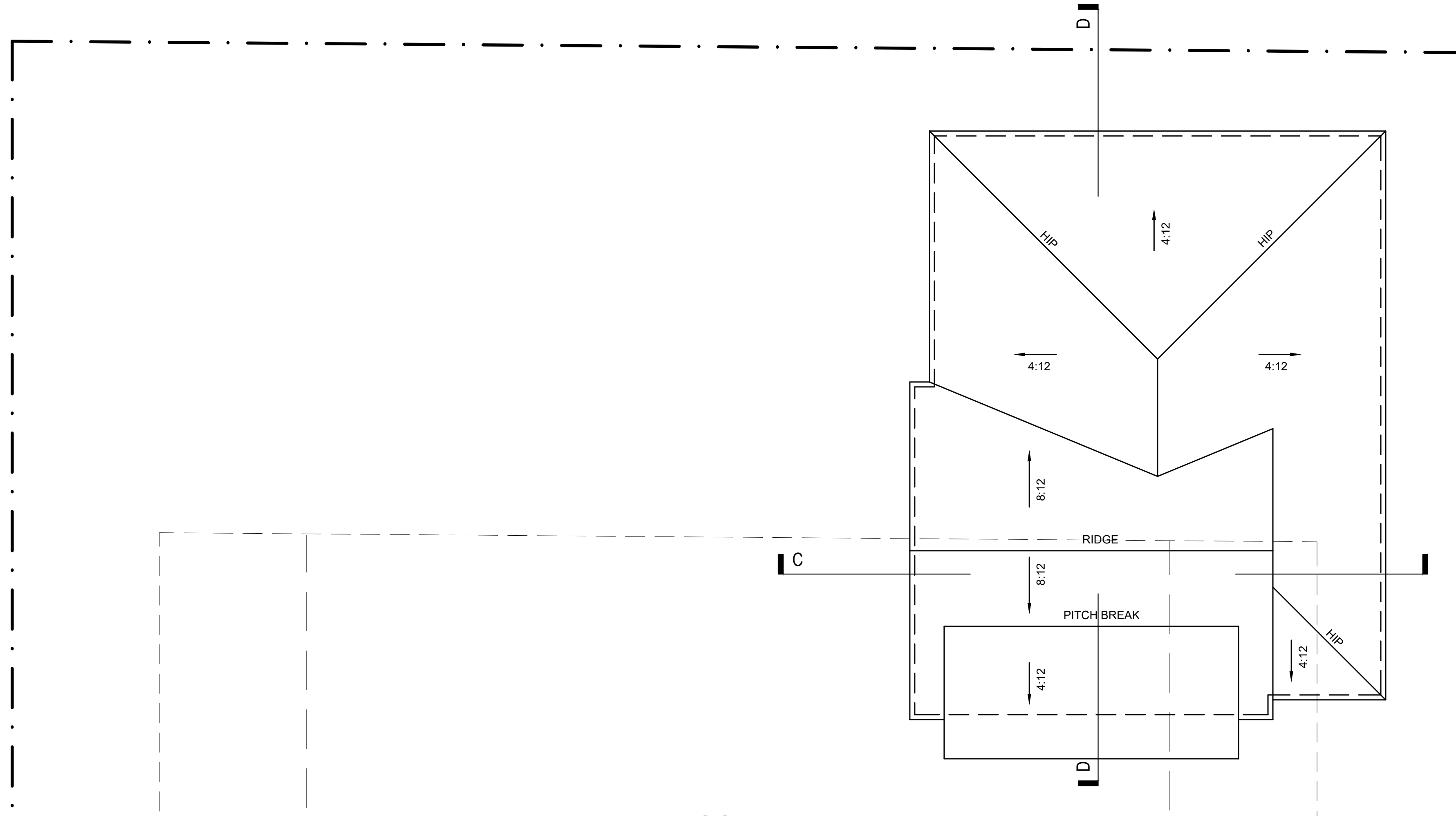
PRIVATE RESIDENCE
 217 PASA ROBLES,
 LOS ALTOS, CA. 94022

DATE	ISSUE
07/21/21	PLANNING DEPT. SUBMITTAL
11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

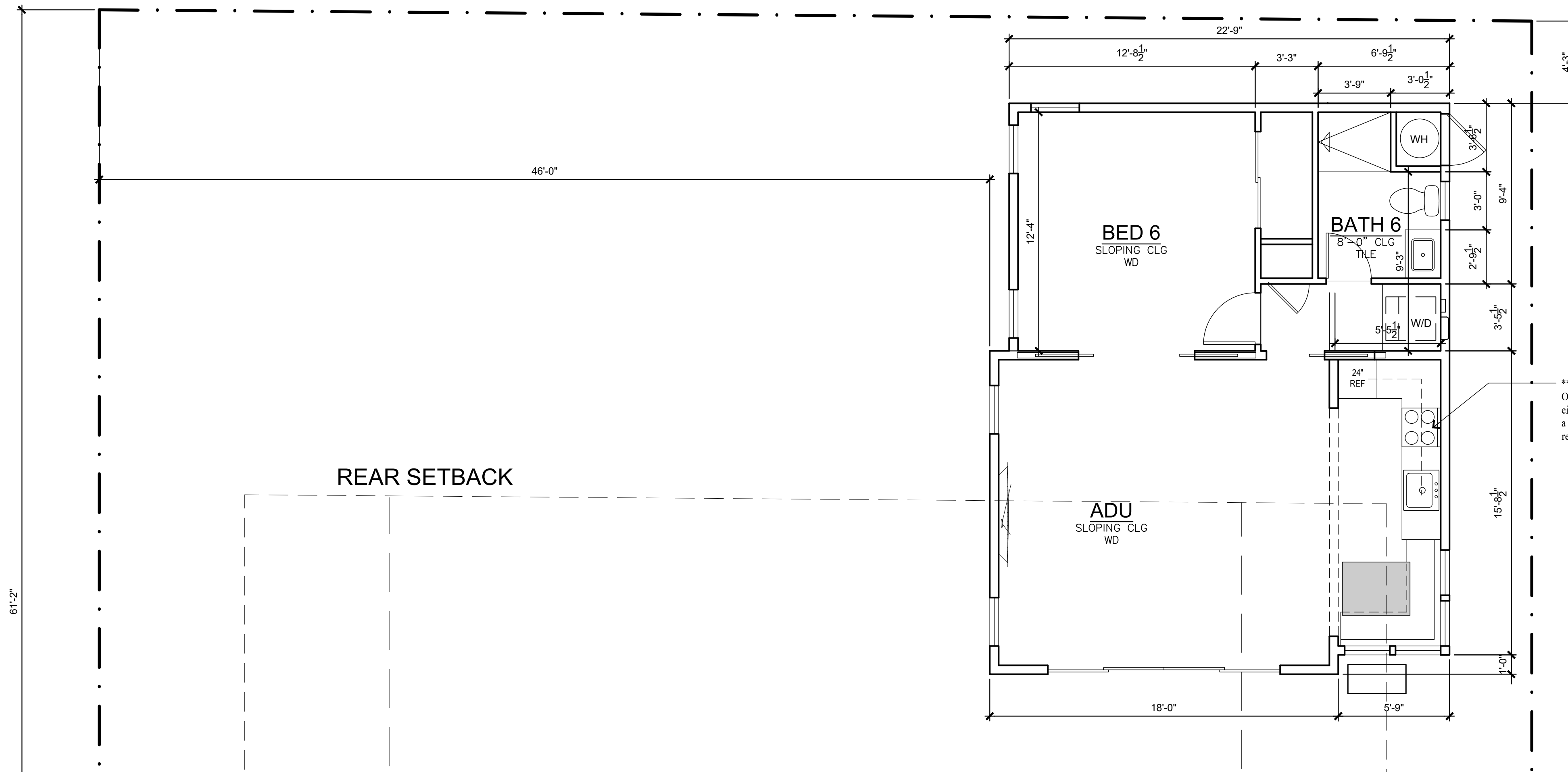
PROJECT #:	21-04
DRAWN BY:	LS
CHECKED BY:	LS

SHEET TITLE:
**ADU FLOOR
 AND ROOF PLAN**

SHEET NUMBER:
A2.04

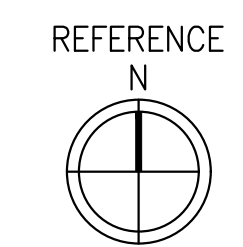


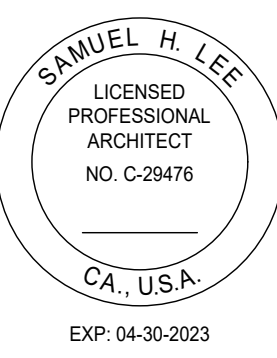
2 ROOF PLAN
 SCALE: 1/4" = 1'-0"



** Per LAMC Sec. 14.14.949(n) -
 One sink, refrigerator min. 10 cubic ft,
 either cooktop and an over, or a range, with
 a food prep counter, storage cabinets in
 relation to the size of the ADU

1 ADU PLAN
 SCALE: 1/4" = 1'-0"





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 LOS ALTOS, CA. 94022

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01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

PROJECT #:	21-04
DRAWN BY:	LS
CHECKED BY:	LS

SHEET TITLE:
SOUTH AND EAST ELEVATIONS
 SHEET NUMBER:
A3.01

Materials Board – 217 Pasa Robles



Roof Material – Composition Roof.
Color – Moire Black



Wood clad window – w/dark bronze exterior



Stained garage and front door



Wall light #1
Barn Light – Barn Light Electric



Wall light #2
Wedge Light – Bega Lighting



Composite straight edge shingle siding

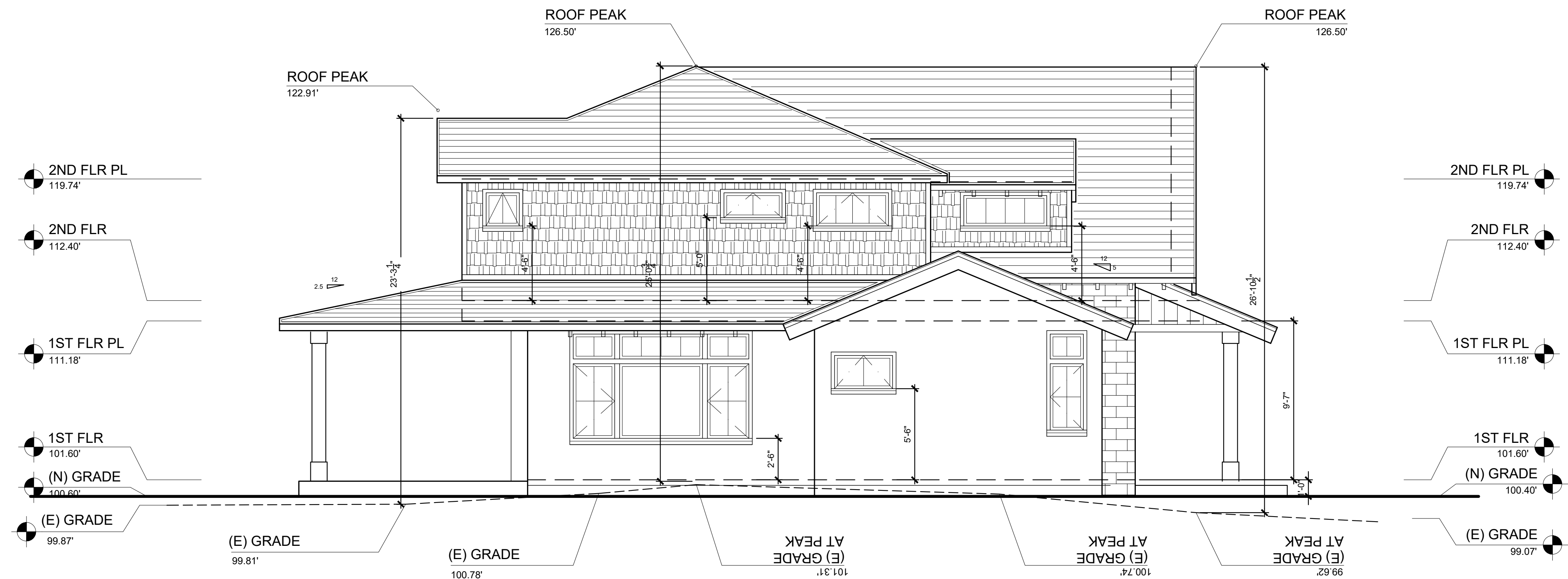


Integral Color Plaster

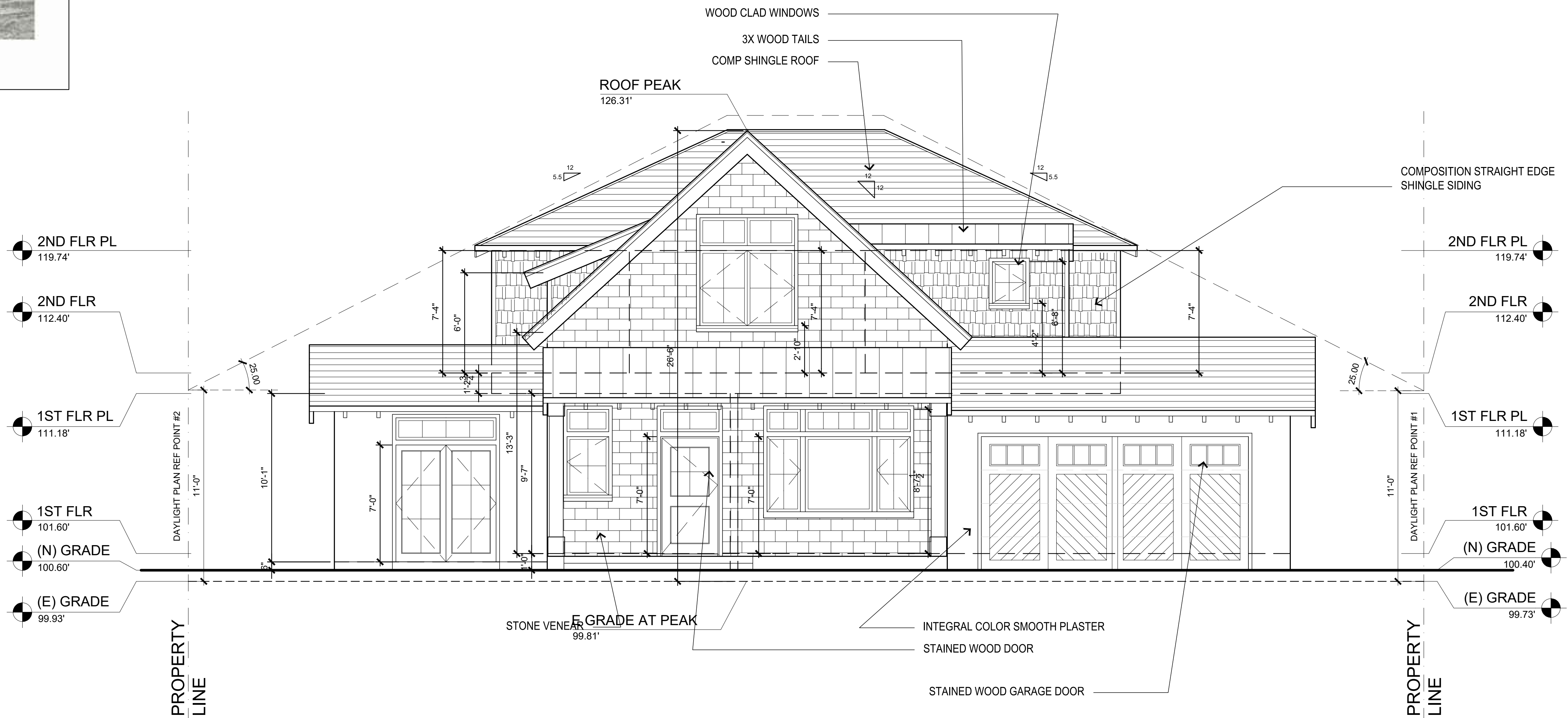


Stone base at facade

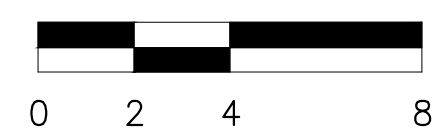
MATERIALS BOARD



2 WEST (LEFT) ELEVATION
 SCALE: 1/4" = 1'-0"

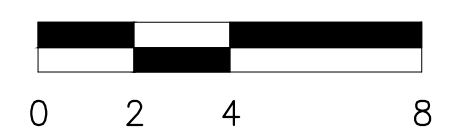
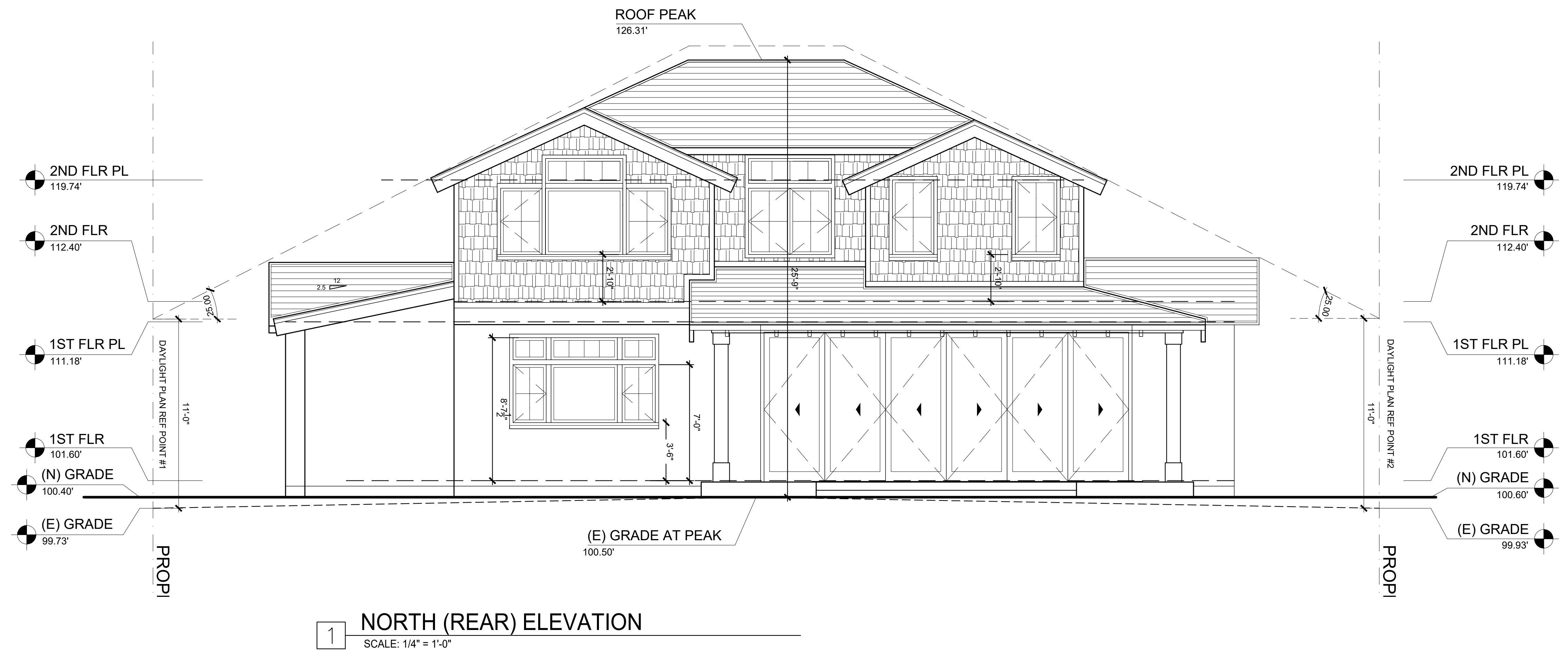
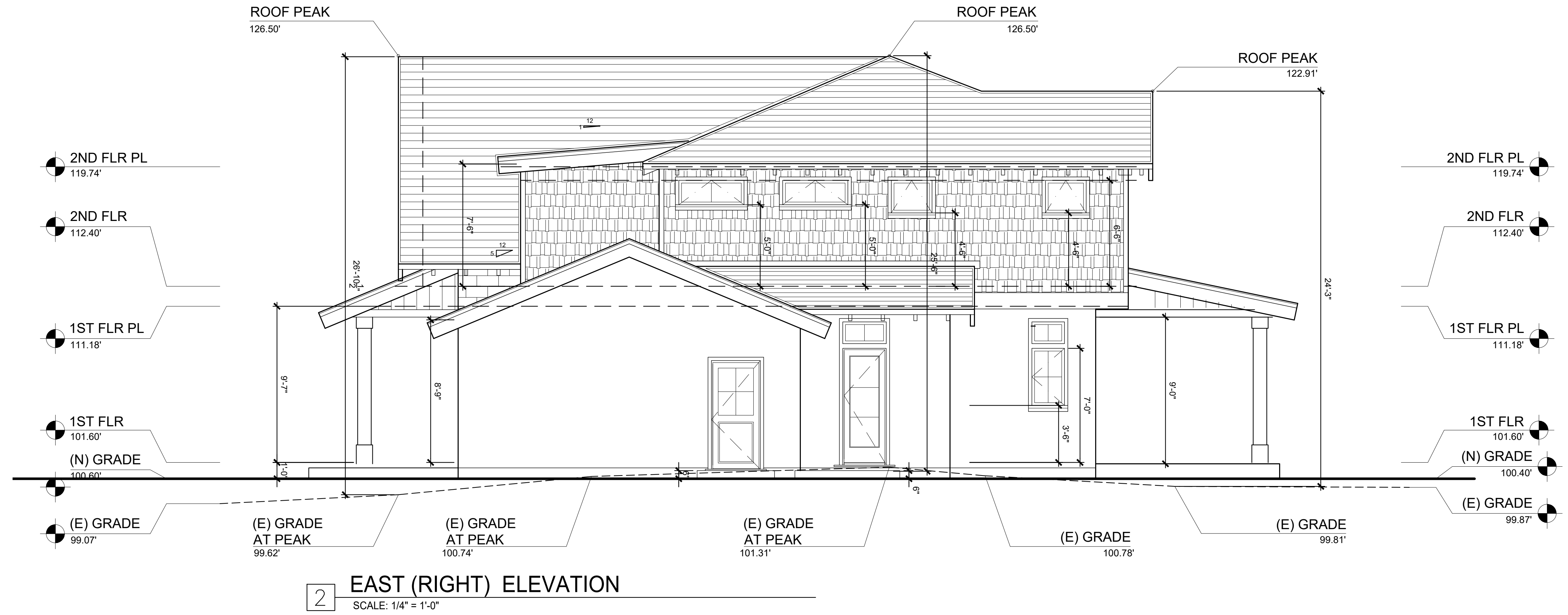


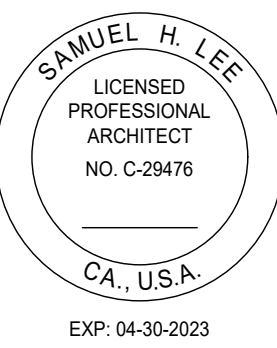
1 SOUTH (FRONT) ELEVATION
 SCALE: 1/4" = 1'-0"



DATE	ISSUE
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11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

PROJECT #:	21-04
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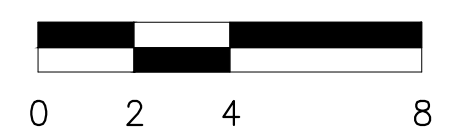
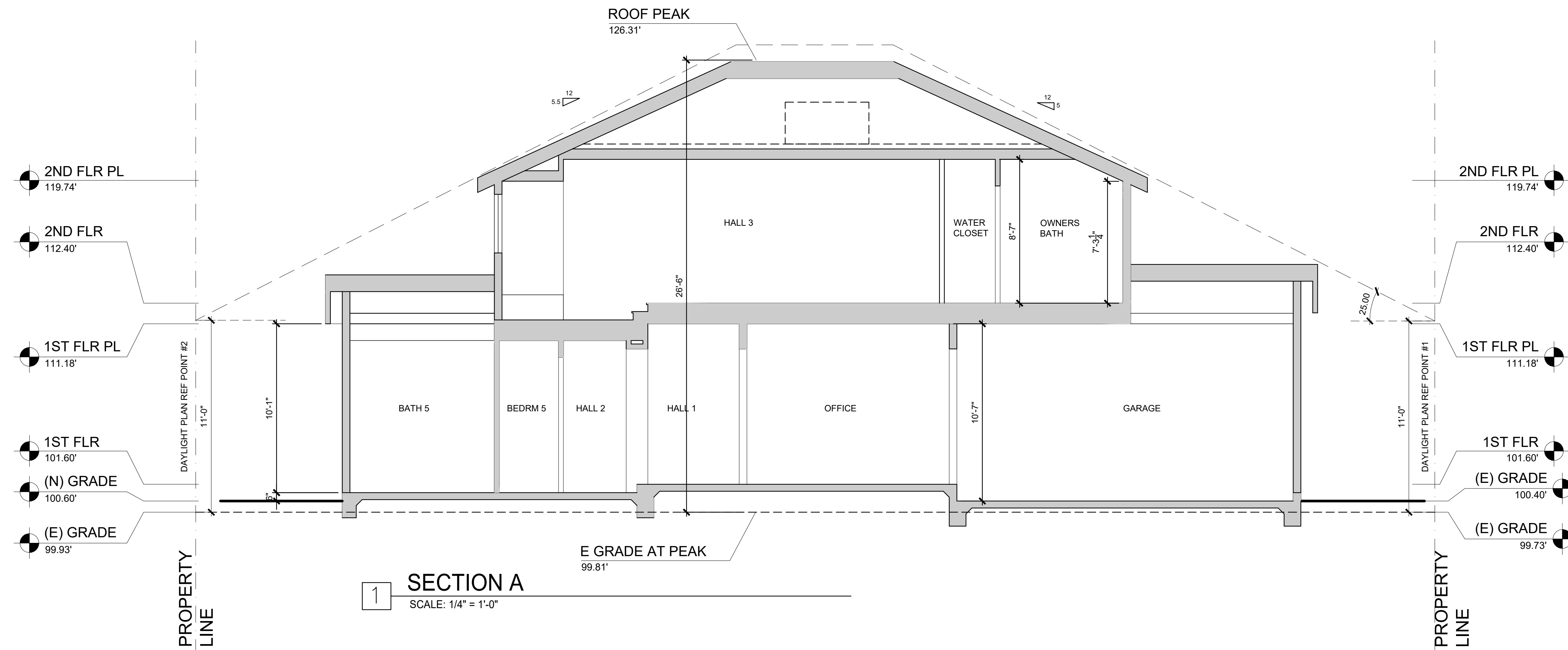
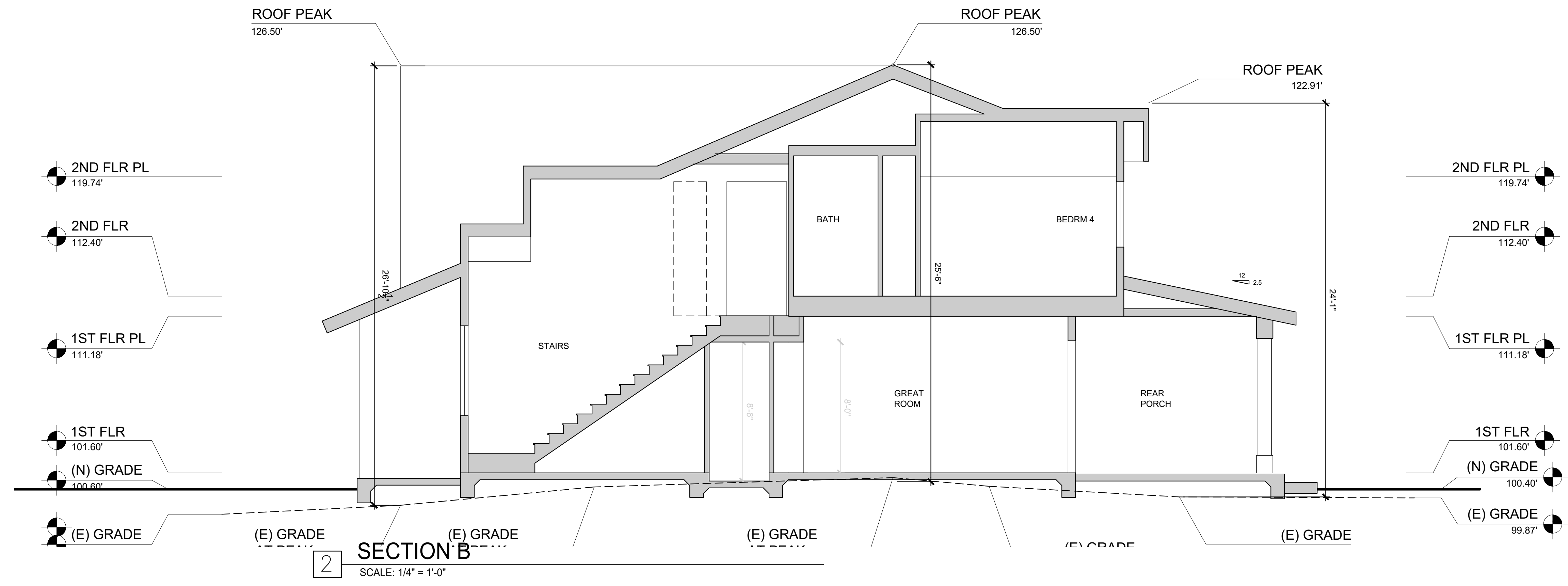
DATE	ISSUE
07/21/21	PLANNING DEPT. SUBMITTAL
11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

PROJECT #:	21-04
DRAWN BY:	LS
CHECKED BY:	LS

SHEET TITLE:
SECTIONS

SHEET NUMBER:

A3.03



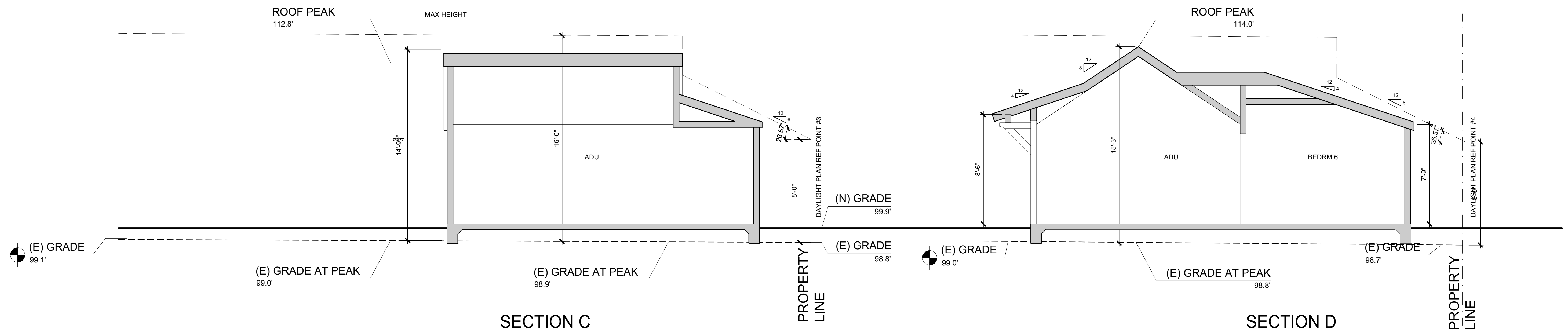
DATE	ISSUE
07/21/21	PLANNING DEPT. SUBMITTAL
11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

PROJECT #:	21-04
DRAWN BY:	LS
CHECKED BY:	LS

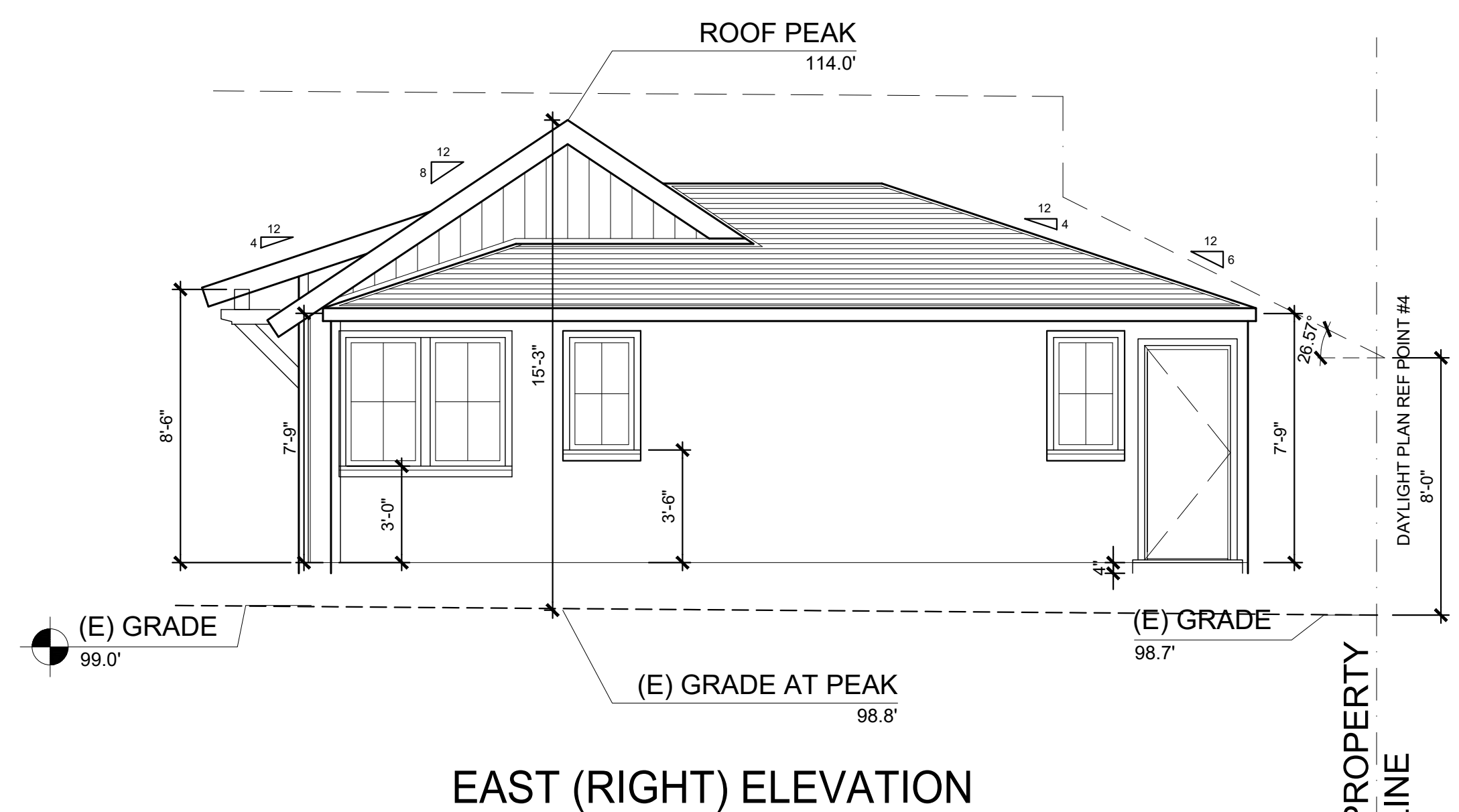
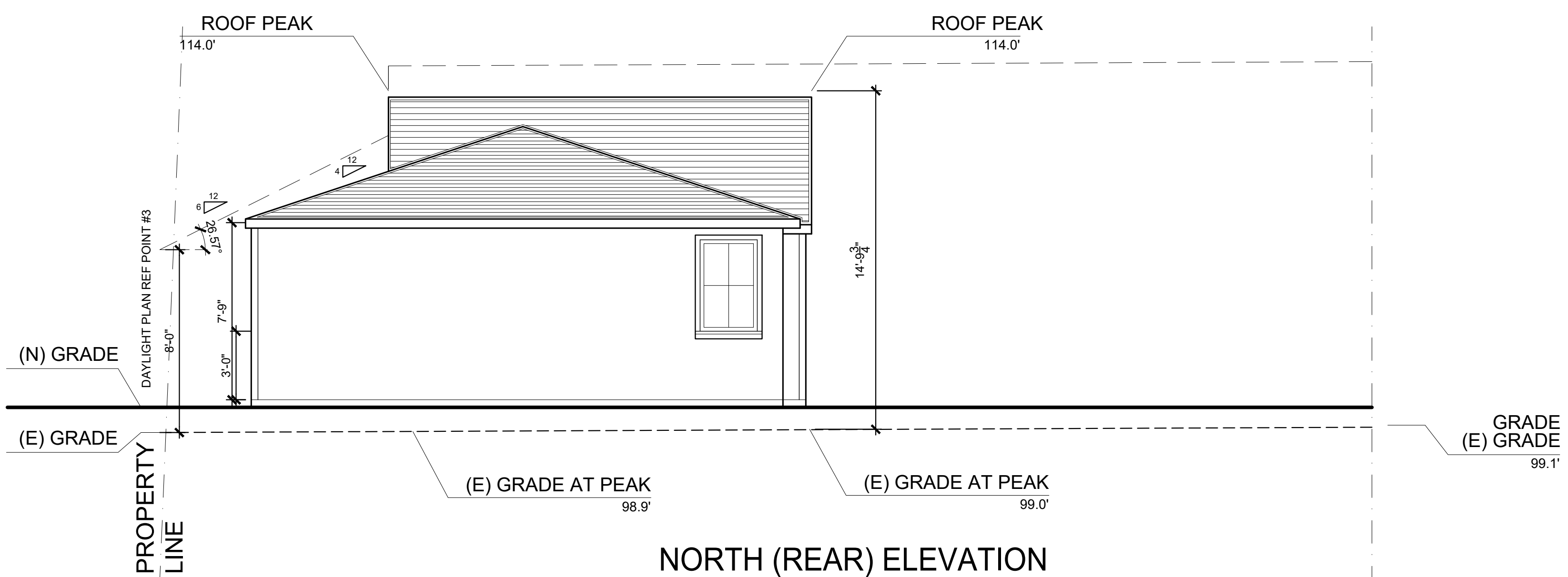
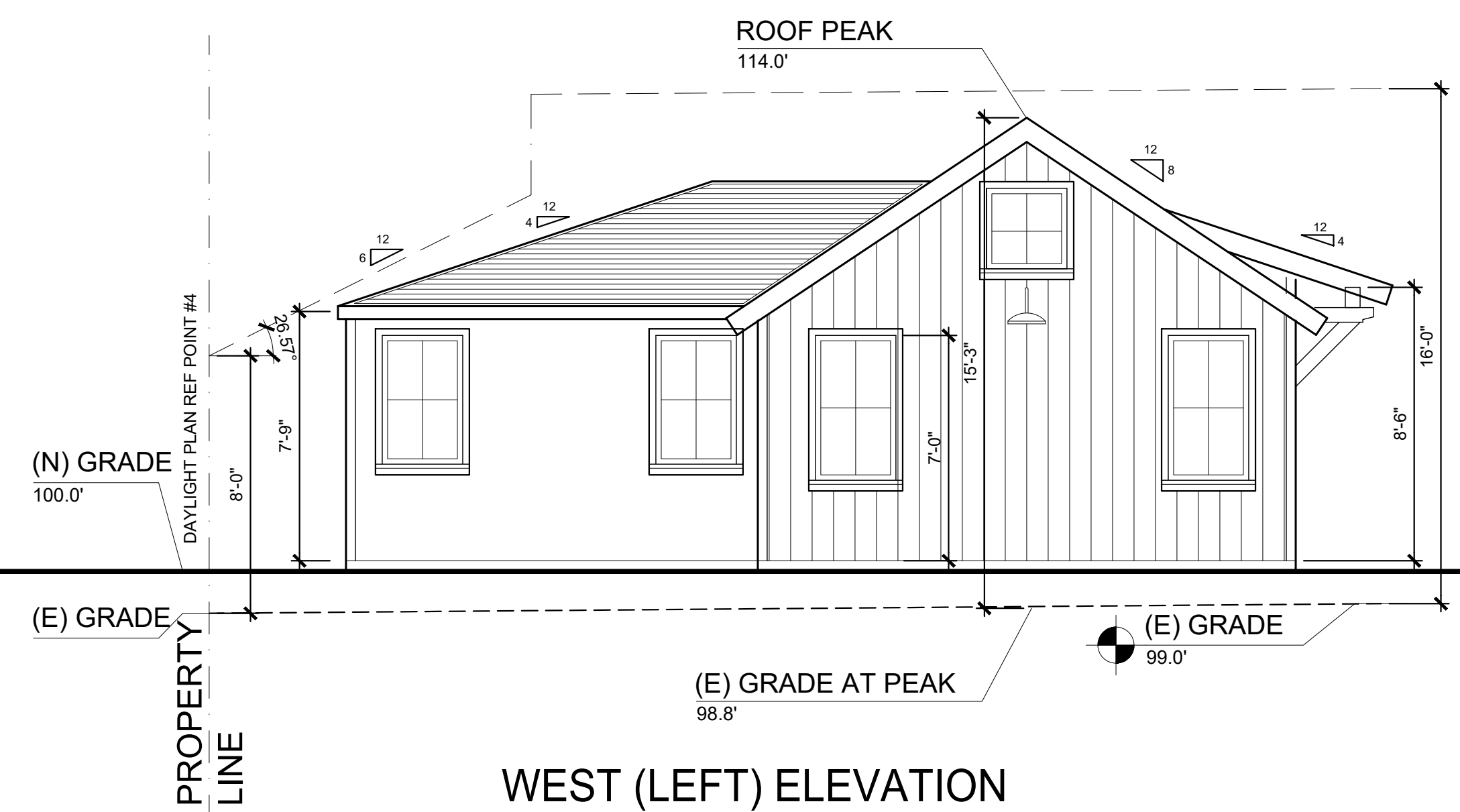
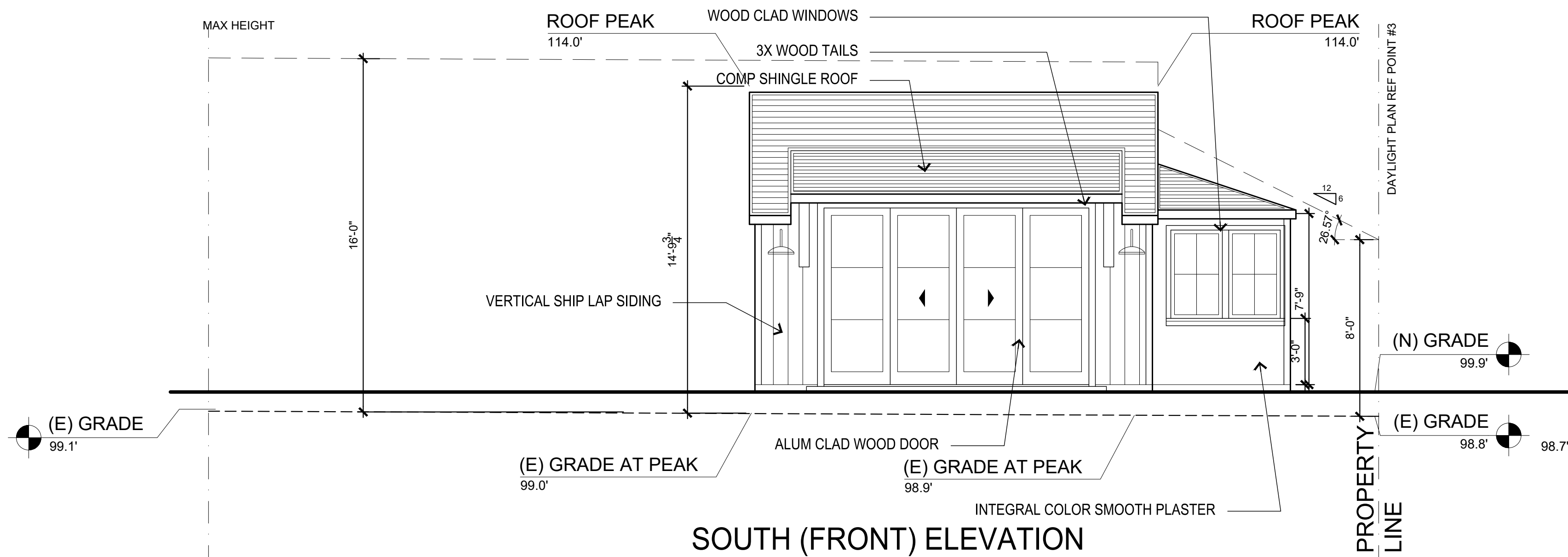
SHEET TITLE:
 ADU ELEVATIONS
 AND HOUSE SECTION

SHEET NUMBER:

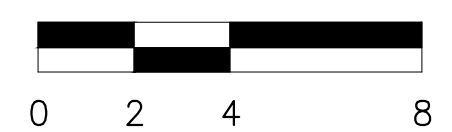
A3.04



2 ADU SECTIONS
 SCALE: 1/4" = 1'-0"



1 ADU ELEVATIONS
 SCALE: 1/4" = 1'-0"



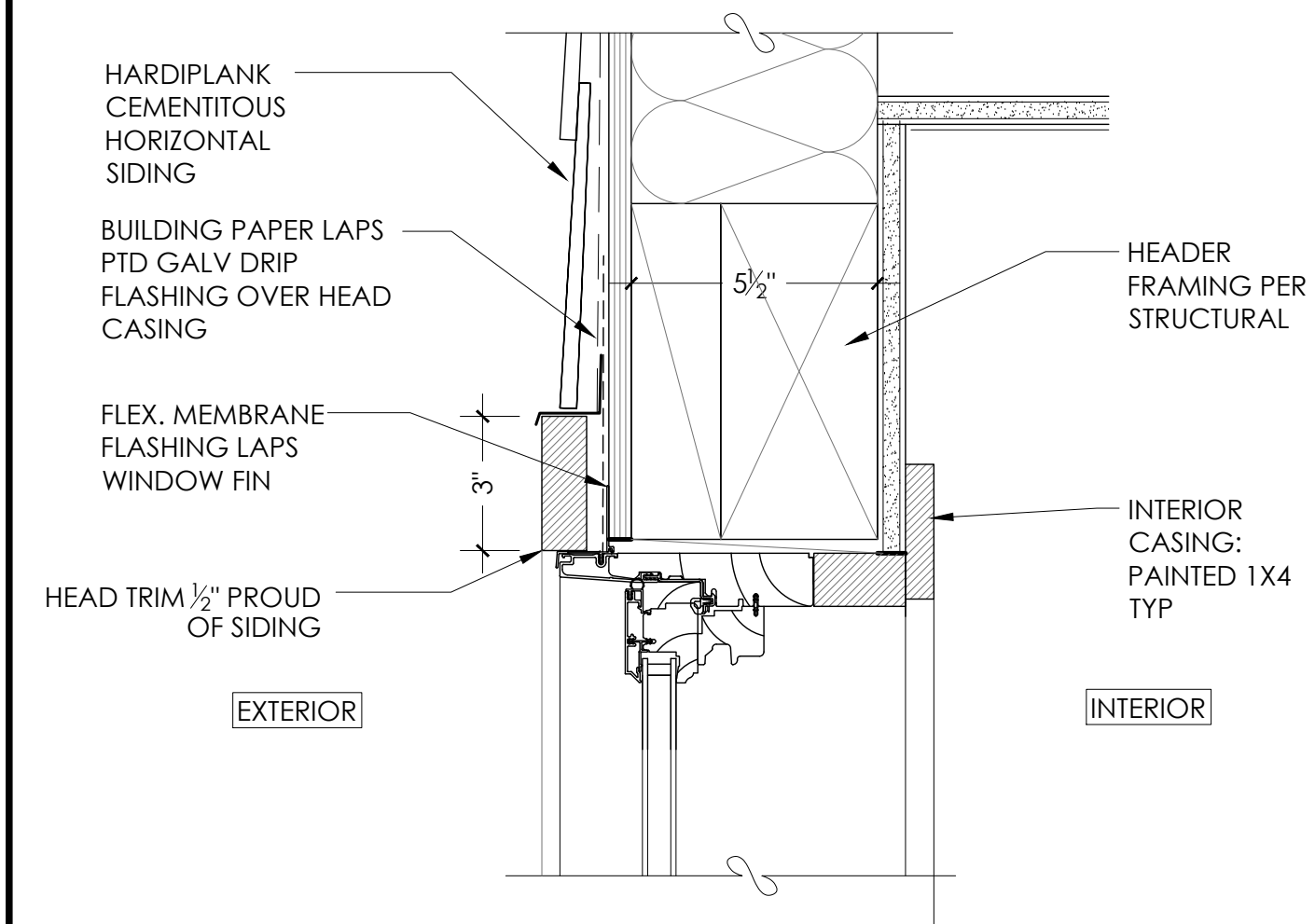
DATE	ISSUE
07/21/21	PLANNING DEPT. SUBMITTAL
11/02/21	PLANNING DEPT. RE-SUBMITTAL
01/06/22	PLANNING DEPT. RE-SUBMITTAL 2

PROJECT #:	21-04
DRAWN BY:	LS
CHECKED BY:	LS

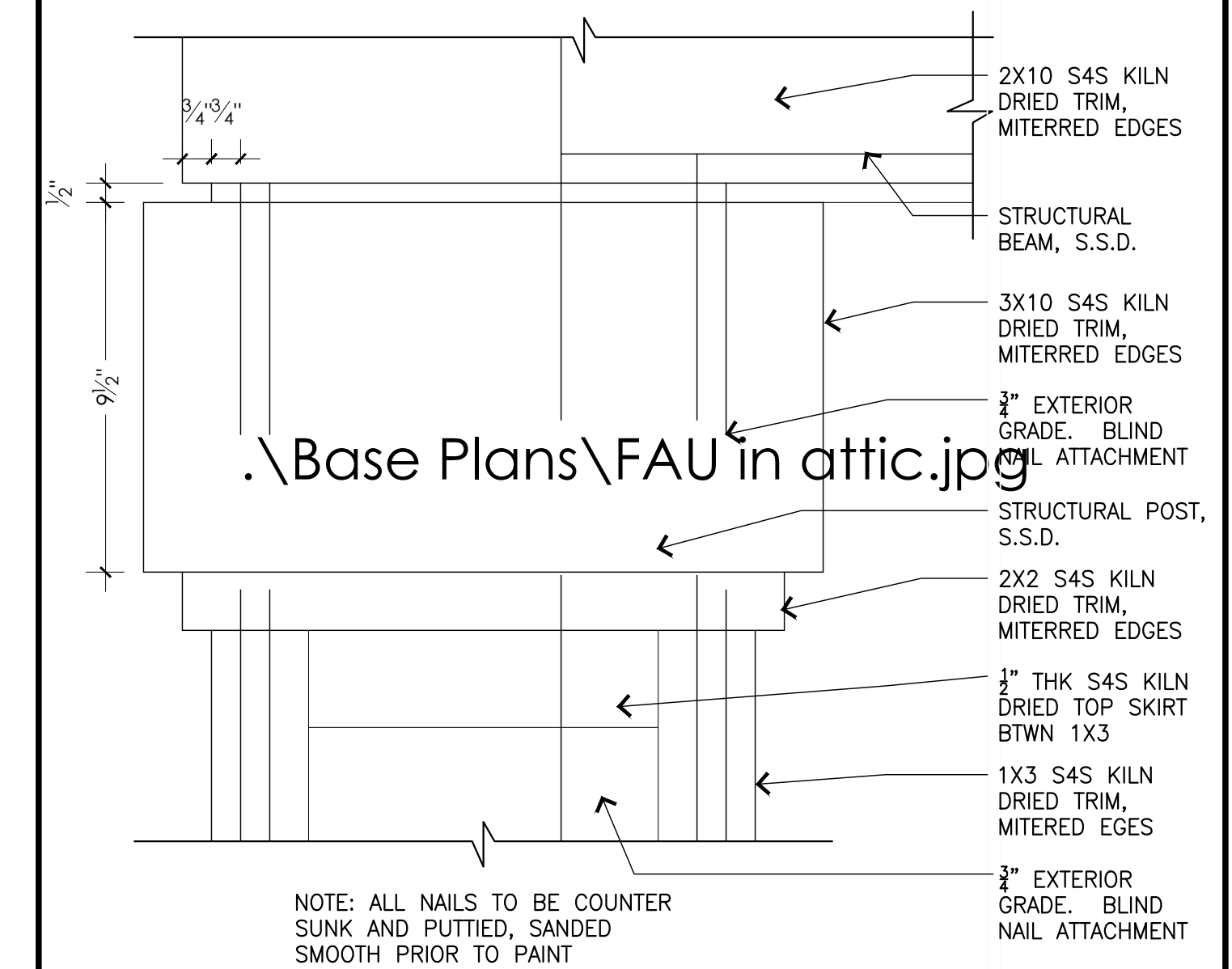
SHEET TITLE:
DETAILS

SHEET NUMBER:

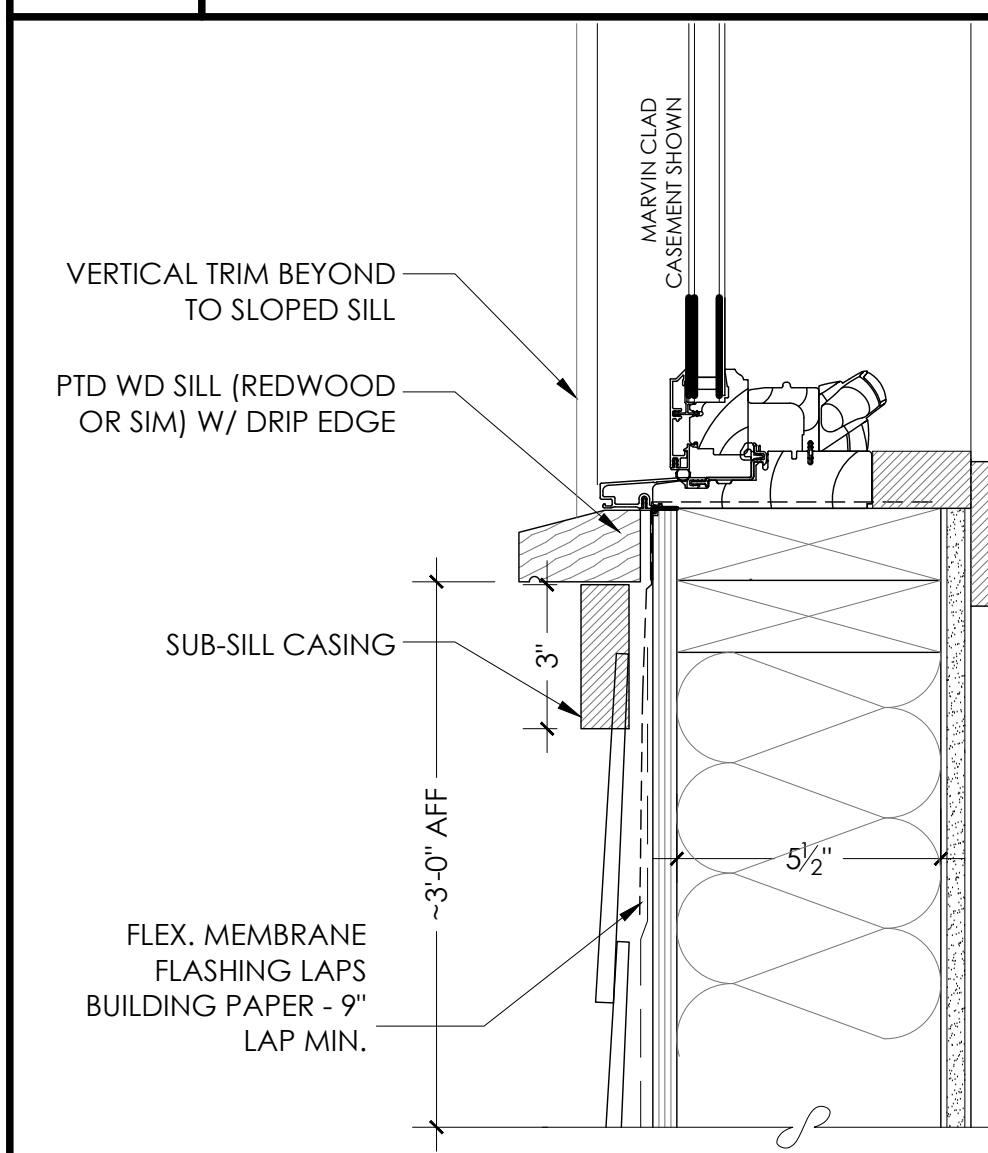
A8.01



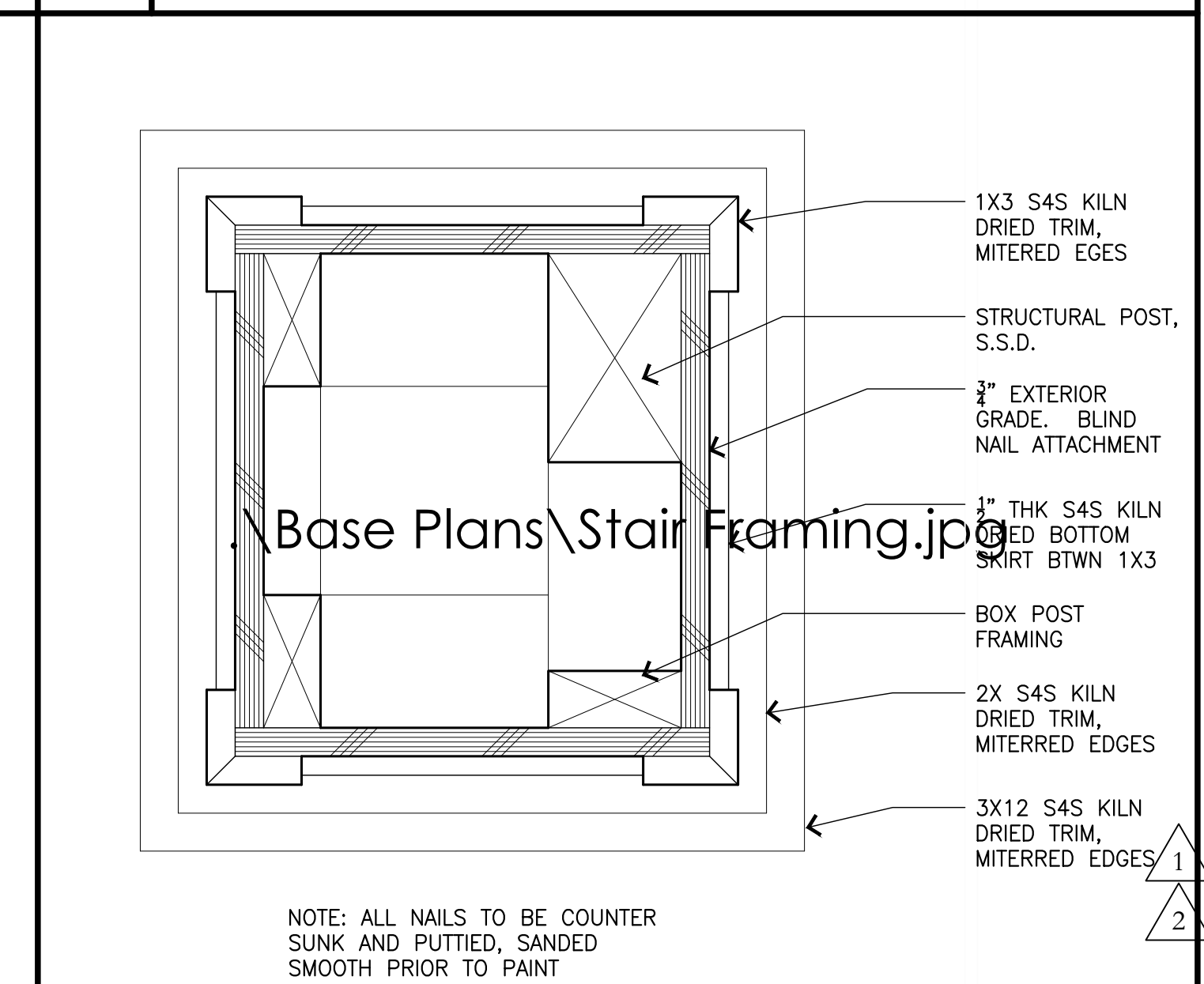
4 TYPICAL WINDOW HEAD - 3"=1'-0"



1 POST CAP ELEVATION.

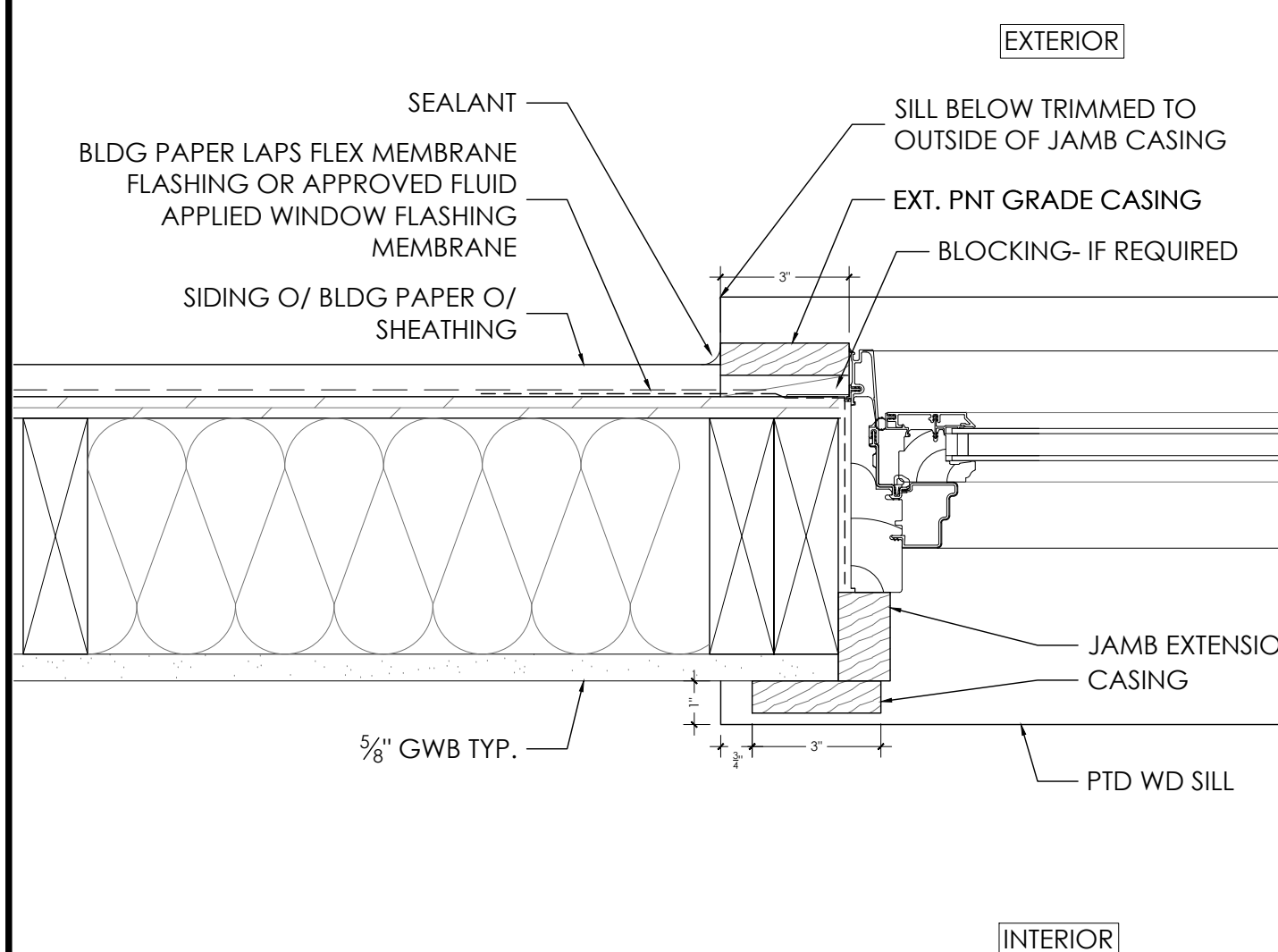


5 TYPICAL WINDOW SILL - 3"=1'-0"

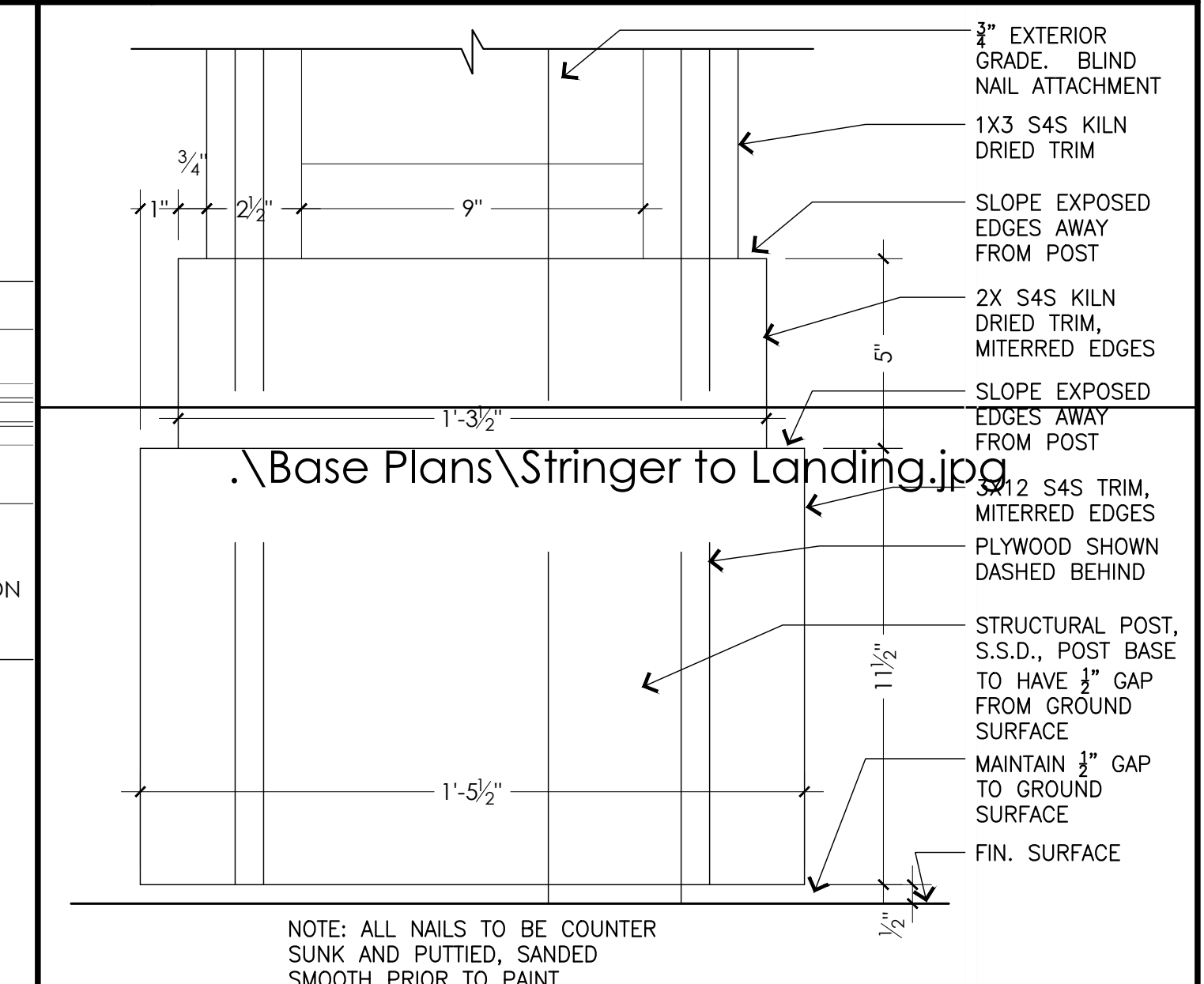


2 POST PLAN VIEW

SCALE: 3" = 1'-0"



6 TYPICAL WINDOW JAMB - 3"=1'-0"



3 POST BASE ELEVATION.

SCALE: 3" = 1'-0"