



DATE: February 16, 2022

AGENDA ITEM #2

**TO:** Design Review Commission  
**FROM:** Nazaneen Healy, Associate Planner  
**SUBJECT:** SC21-0055 – 875 Highlands Circle

**RECOMMENDATION:**

Consider design review application SC21-0055 subject to the listed findings and conditions.

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**PROJECT DESCRIPTION**

This is a design review for a one-story 308 square foot addition, second story window changes, and exterior improvements to an existing two-story house. The following table summarizes the project's technical details:

**GENERAL PLAN DESIGNATION:** Single-Family, Small Lot (4du/net acre)  
**ZONING:** R1-10  
**PARCEL SIZE:** 10,011 square feet  
**MATERIALS:** Composition shingle roofing, cement plaster siding, and fiberglass windows

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>COVERAGE:</b>	2,257 square feet	2,750 square feet	3,003 square feet
<b>FLOOR AREA:</b>			
First floor/lower level	749 square feet	749 square feet	
Second floor/upper level	2,162 square feet	2,470 square feet	
Total	2,911 square feet	3,219 square feet	3,503 square feet
<b>SETBACKS:</b>			
Front	25 feet	25 feet	25 feet
Rear	33 feet	26 feet	25 feet
Right Side	13 feet	10 feet/No Change	10 feet/17.5 feet
Left side (1 <sup>st</sup> /2 <sup>nd</sup> )	13.5 feet/13.5 feet	13.5 feet/13.5 feet	10 feet/17.5 feet
<b>HEIGHT:</b>	23.5 feet	23.5 feet	27 feet

## BACKGROUND

### Neighborhood Context

The subject property is located on an interior lot on Highlands Circle between Andover Way and Lockhaven Drive. This portion of Highlands Circle primarily consists of Ranch style houses that are similar in size, footprint, and building scale, some of which have undergone updates to materials and design characteristics over the years. The surrounding neighborhood is considered a Consistent Character Neighborhood as defined in the City's Residential Design Guidelines. The materials commonly seen include stucco, wood siding, brick or stone veneer accents, and wood shake or composition shingle roofs. Like the subject home, many of the surrounding homes consist of two levels built into the sloped street.



### Zoning Compliance

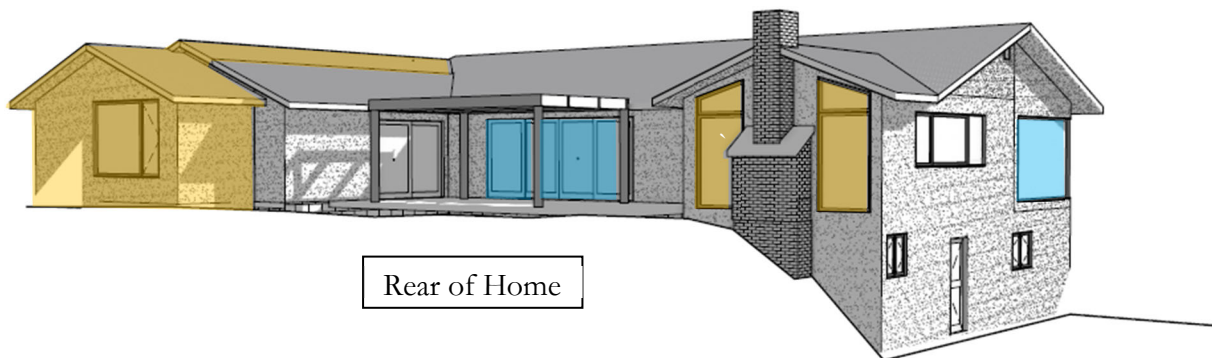
As depicted on the site plan (Sheet A1.1) a public utility easement (PUE) and wire clearance easement (WCE) are located along the east side and rear property lines. The Tract Map prohibits any structures except fences and utility company structures within the PUE and limits the height of structures within the WCE to 15 feet. Therefore Condition of Approval No. 6 requires removal of the existing side yard shed or relocation in compliance with the Tract Map and Chapter 14.15 – Accessory Structures in R Districts of the Zoning Code.

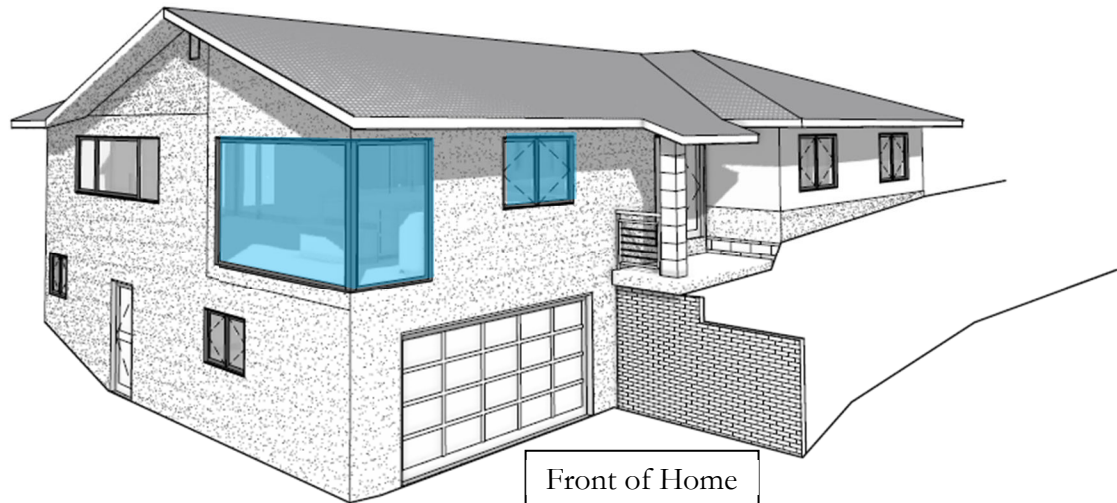
## DISCUSSION

### Design Review

According to the Design Guidelines, in Consistent Character Neighborhoods, good neighbor design has design elements, materials, and scale found within the neighborhood and the emphasis should be on designs that fit-in and lessen abrupt changes.

The project consists of a 308 square-foot first-story addition with second-story window changes and exterior improvements. In the images below, the new addition and windows are highlighted in orange and the expanded or relocated windows and doors are highlighted in blue.





### **First-Story Addition and Exterior Modifications**

The property slopes from one side to the other and the addition would expand the existing one-story portion of the home on the uphill (west) side towards the rear and side of the property. The new addition incorporates plate heights at 8'-0 to 9'-3" above the finished floor height, maintains the existing roof type and pitch, and incorporates materials to consistent with the existing home for an integrated design compatible with the surrounding neighborhood. Other proposed exterior changes include:

- Removal of the front window trim and shutters;
- Replacement of the existing front windows to match the new window style;
- Replacement of the front façade brick veneer with stucco;
- New front entry column, guard rail, and entry door with side lite; and
- New garage door.

Pursuant to Section 14.76.030 of the Zoning Code, the first story addition and exterior modifications would normally be reviewed and approved administratively by the Community Development Director or their designee. Staff finds the proposed first-story addition and exterior modifications to be in compliance with the R1-10 zoning district development standards, the Single-Family Residential Design Guidelines, and the design review findings pursuant to Section 14.76.060 of the Zoning Code and therefore recommends design review approval of the first-story addition and exterior modifications. A materials board is provided as Attachment E.

### **Second-Story Modifications**

The project adds new windows to the rear façade, shift one second-story window on the front façade slightly inward, and replace the existing northeast front and side second-story windows with new floor to ceiling windows at the corner. Consistent with past determinations and pursuant to Section 14.76.040 of the Zoning Code, new or modified second story windows that increase the glazing area or may create potential privacy impacts have been referred to the Design Review Commission for review and approval.

Currently, the existing front façade windows are similar in size and placement and the proposed changes would incorporate a different window style/size with a degree of asymmetry. Staff has

concerns with the proposal's consistency with Section 5.9 of the Residential Design Guidelines which speaks to locating windows where they visually relate to one another as part of a larger design composition, particularly as viewed from the street. Staff requests DRC direction on whether raising the sill heights and/or shifting the new corner windows inward would create a more composed front façade consistent with the Residential Design Guidelines. The proposed new rear windows are angled and parallel to the gable roof, which would also introduce a new window type but with minimal impact to the overall home.

### **Privacy**

Given the topography of the subject site and surrounding properties, the proposed new windows have the most potential for privacy impacts on the neighboring lot to the east, located downslope and adjacent to the two-story portion of the subject home. In addition, the existing left interior side setback of the second floor is nonconforming at 13.5 feet where 17.5 is currently required. Therefore, staff has included Condition of Approval No. 3 requiring evergreen screen plantings along the east side property line to obscure views from the second floor windows and minimize potential privacy impacts. Along the rear and west side of the property, the grade slopes upward several feet which will prevent privacy impacts from the new rear windows and one-story addition.

### **Trees and Landscaping**

As indicated on the site plan (Sheet A1.1) there are eight existing trees on the subject site (Tree Nos. 2 through 9), all of which are indicated to be preserved. Tree No. 1 is also protected but is located on the neighboring property to the west with branches that overhang into the subject site. Staff recommends tree protection conditions (Nos. 4, 12, and 17) to protect Tree Nos. 1 through 9.

The plans indicate the existing landscaping is to remain, therefore staff has included the standard condition of approval that requires the applicant to maintain or provide new landscaping as needed, which will be inspected before final inspection. New or rebuilt landscaping would need to satisfy the Water Efficient Landscape Ordinance requirements should it exceed the 2,500 square-foot landscaping threshold for residential additions (Condition of Approval No. 5 and 18).

### **Environmental Review**

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of an addition to an existing single-family house.

### **Public Notification**

A public meeting notice was posted on the property and mailed to 12 property owners in the immediate vicinity (Attachment A). A document from the applicant regarding outreach is included in Attachment B. The applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements, as shown in Attachment C.

Cc: Bahi Oreizy, Applicant and Architect  
Shalini Dawani & Naresh Gopalani, Property Owners

Attachments:

- A. Public Notification Map
- B. Applicant Outreach
- C. Public Notice Poster
- D. Design Plans
- E. Materials Board

## FINDINGS

SC21-0055 – 875 Highlands Circle

With regard to the addition to the existing two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed addition complies with all provision of this chapter;
- b. The height, elevations, and placement on the site of the proposed addition, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed addition in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed addition has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

## CONDITIONS

SC21-0055 – 875 Highlands Circle

### **GENERAL**

**1. Expiration**

The Design Review Approval will expire on February 16, 2024, unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

**2. Approved Plans**

The approval is based on the plans and materials received on January 13, 2022, except as modified by these conditions. The scope of work is limited to that shown on the plans and may not exceed rebuilding 50 percent of the existing floor area of the structure.

**3. Evergreen Screening**

Evergreen privacy screening, minimum 15-gallon size of a species with a mature height of minimum 15 feet, shall be planted and irrigated along the east side property line to obscure views from the new/relocated second floor windows to the satisfaction of the Community Development Director.

**4. Protected Trees**

Tree Nos. 2 through 9 and the privacy screening required herein shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director. Tree No. 1 is also protected and cannot be removed without a tree removal permit but is located on the adjacent property and requires the property owner's authorization to remove.

**5. Landscaping**

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if 2,500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed. Any project with an aggregate landscape area of 2,500 square feet or less may conform to the prescriptive measures contained in Appendix D of the City's Model Water Efficient Landscape Ordinance.

**6. Existing Shed**

The existing shed located in the east side yard within a public utility easement shall be removed or relocated in compliance with Tract Map No. 2787 and Chapter 14.15 - Accessory Structures in R Districts of the Zoning Code.

**7. Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

**8. New Fireplaces**

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

**9. Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

## **INCLUDED WITH THE BUILDING PERMIT SUBMITTAL**

### **10. Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans.

### **11. Applicant Acknowledgement of Conditions of Approval**

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

### **12. Tree Protection Note**

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

### **13. Green Building Standards**

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

### **14. Underground Utility Location**

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

### **15. Air Conditioner Sound Rating**

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

### **16. Storm Water Management**

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

## **PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT**

### **17. Tree Protection**

Tree protection fencing shall be installed around the natural driplines, or as required by the project arborist, of Tree Nos. 1 through 9 as indicated on the site plan. Tree protection fencing shall be



chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning.

#### **PRIOR TO FINAL INSPECTION**

##### **18. Landscaping Installation**

19. All trees, front yard landscaping, and privacy screening shall be maintained and/or installed as shown on the approved plans or as required by the Planning Division. **Landscape Privacy Screening**

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

##### **20. Green Building Verification**

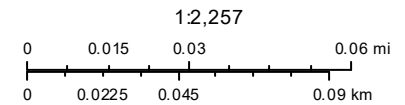
Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).








# ATTACHMENT A

## Notification Map



Print Date: February 2, 2022



-  Schools
-  Park and Recreation Areas
-  City Limit
-  Road Names
-  Waterways
-  Situs Label
-  TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.


Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community


# ATTACHMENT B


We have met with the Naresh and Shalini to review the changes they plan to make to the second story windows at their house on 875 Highlands Circle.

We have reviewed the set of drawings submitted to the city and are supportive of this project and have no objections.

Name: Joy Desai  
Address: 870 Highlands Circle  
Los Altos  
Signature: Joy Desai

Name: Brian Treco  
Address: 876 HIGHLANDS CIRCLE  
LOS ALTOS, CA 94024  
Signature: 

Name: Fum Abu Nofal  
Address: 866 Highlands Cir  
Los Altos, CA 94024  
Signature: 

Name: EUGENE M. YOUNG  
Address: 872 HIGHLANDS CIRCLE  
Los Altos, CA 94024  
Signature: 

Name: FARZAD GHAFARI  
Address: 877 Highlands Cir  
Los Altos CA 94024  
Signature: Farzad Ghafari (650) 468-7410

Name: EUGENE A. BUCARI  
Address: 880 HIGHLANDS CIRCLE  
LOS ALTOS, CA CA 94024  
Signature: Eugene A. Bucari

Name: Manish Maheshwari  
Address: 878 Lockhaven Ct  
Los Altos CA 94024.  
Signature: manish

Name: Patricia Foerster  
Address: 874 Lockhaven Dr  
Los Altos  
Signature: Pat D

Name: Zhi Ping Li  
Address: 873 Highlands Circle  
Los Altos, CA 94024  
Signature: ~~[Signature]~~ (Authorized by Zhi Ping Li)  
Lina Zhou

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

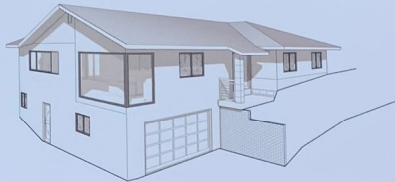


## NOTICE OF DEVELOPMENT PROPOSAL

GOPALANI RESIDENCE 875 HIGHLAND CIRCLE

### Project Description:

INTERIOR REMODEL AND GROUND FLOOR ADDITION + CHANGES TO WINDOWS ON SECOND FLOOR



**ARCHITECT/APPLICANT:**  
360 DESIGN STUDIO  
BAH CRUIZ  
4411 BURN RICE DRIVE  
LOS ANGELES, CA 90024  
info@360designstudio.net  
650-360-2905 office

**OWNERS:**  
SHALINI DAWANI &  
NARESH GOPALANI  
875 HIGHLANDS CIRCLE  
LOS ANGELES, CA 90024  
shahini.dawani@yahoo.com  
nareshgopalan@yahoo.com

**PROJECT PLANNER:**  
TO SUBMIT COMMENTS OR GET ADDITIONAL INFORMATION CONTACT:  
NAJANESH HEALY  
650-947-2750  
nhealy@lscalfca.gov

**PUBLIC MEETING DATES (AS SCHEDULED):**

### PUBLIC MEETING NOTICE

Wednesday, February 16, 2022 at 7:00 pm

The Design Review Commission will hold a public meeting to consider the project at the above date and time with an opportunity for public comment.

**When:** The Design Review Commission, 700 N. G Street, Los Angeles, CA 90012. The Commission will meet in accordance with the agenda for the meeting. **Where:** The meeting will be held at the Design Review Commission, 700 N. G Street, Los Angeles, CA 90012. **What:** The Design Review Commission will consider the project at the above date and time with an opportunity for public comment.

Project plans and information are available for review on the City's website: <https://www.lscalfca.gov/communitydevelopment/>. The agenda report will be available on the City's website the Thursday before the meeting. **How:** Written comments can be mailed or delivered in person to the Community Development Department or emailed to the Design Review Commission. **When:** Written comments can be mailed or delivered at the Public Meeting.

02/09/22

# TWO STORY DESIGN REVIEW PACKAGE FOR GOPALANI RESIDENCE

## 875 HIGHLANDS CIRCLE LOS ALTOS, CA 94024

**360design studio**  
ARCHITECTURE

1491 BEN ROE DRIVE  
LOS ALTOS, CA 94024  
phone 650.360.2905

info@360designstudio.net

Project consists of:  
INTERIOR REMODEL AND GROUND FLOOR ADDITION

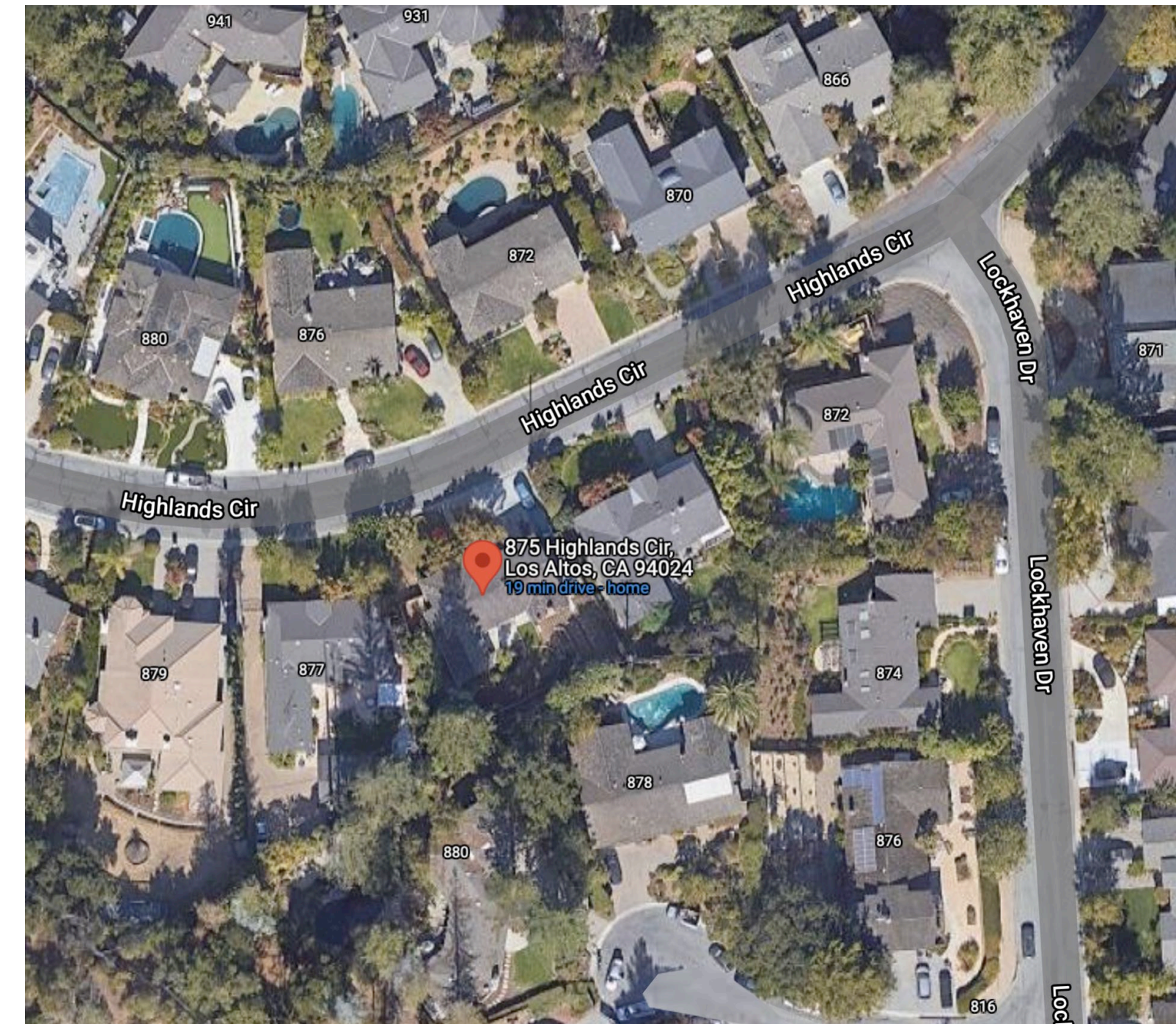
<b>ARCHITECTURALS:</b>	PROJECT DESCRIPTION	1
A0 COVER SHEET		
EC1 EXISTING FLOOR PLAN		
EC2 EXISTING ELEVATIONS		
EC3 EXISTING ELEVATIONS		
A1.1 PROPOSED SITE PLAN		
A1.2 FLOOR AREA CALCULATIONS & 3D VIEWS		
A2.1 PROPOSED GROUND FLOOR PLAN		
A2.2 PROPOSED ROOF PLAN		
A3.1 PROPOSED ELEVATIONS		
A3.2 PROPOSED ELEVATIONS		
A4 BUILDING SECTIONS		
C1 CIVIL SURVEY	SHEET INDEX	2

<b>OWNERS:</b> SHALINI DAWANI & NARESH GOPALANI 875 HIGHLANDS CIRCLE LOS ALTOS, CA 94024 shalinidawani@yahoo.com nareshgopalani@yahoo.com	<b>ARCHITECT / APPLICANT:</b> 360 DESIGN STUDIO BAHI OREZY 1491 BEN ROE DRIVE LOS ALTOS, CA 94024 bahi@360designstudio.net 650-360-2905 office	<b>CIVIL SURVEYOR:</b> COPPENS LAND SURVEYING 1479 MALLARD WAY, SUNNYVALE, CA 94087 518-227-0097
	PROJECT DIRECTORY	3

<b>875 HIGHLANDS CIRCLE, LOS ALTOS, CA 94024</b>	(E) HOUSE: 2,259 SF	
<b>ZONE:</b> R1	(E) GARAGE: 567 SF	
<b>APN:</b> 342-11-203	(E) COVERED PORCH: 40 SF	
<b>LOT SIZE:</b> 10,011 SF	(E) SHED: 45 SF	
<b>TYPE OF CONSTRUCTION:</b> VB		
<b>OCCUPANCY:</b> GROUP R DIVISION 3		
	ZONING INFORMATION	4



875 Highlands Circle - EXISTING ELEVATION FROM STREET



NEIGHBORHOOD AERIAL VIEW 7



873 Highlands Circle



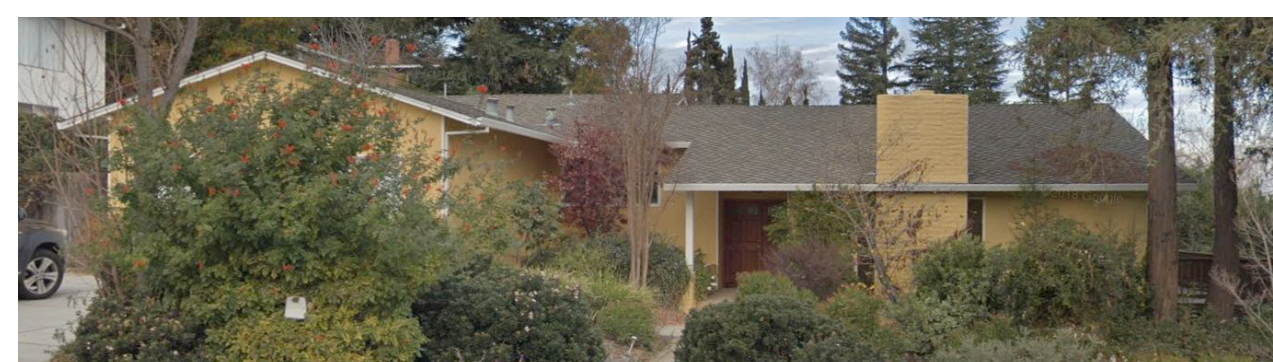
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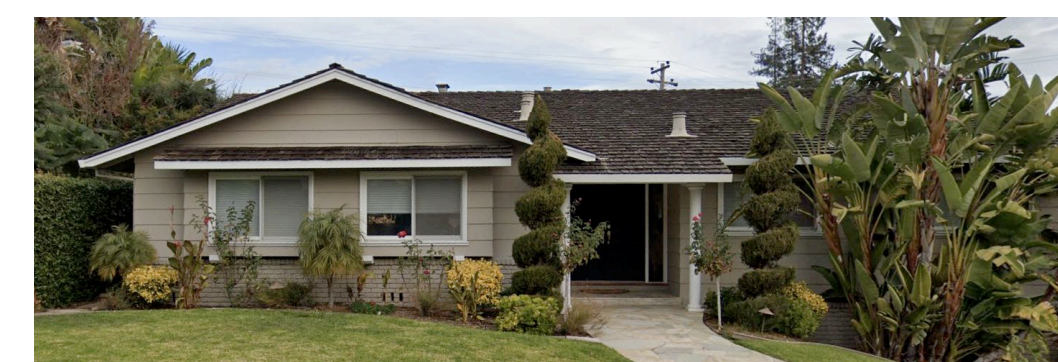
872 Highlands Circle



870 Highlands Circle



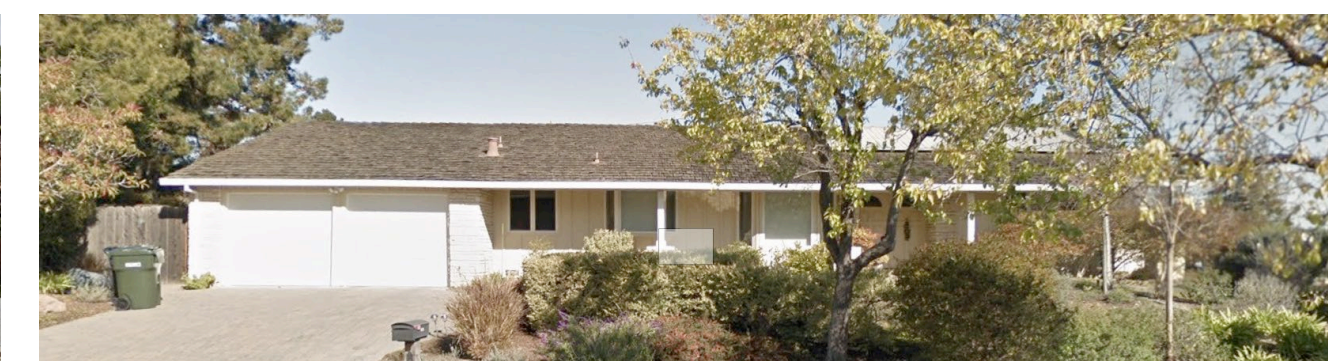
866 Highlands Circle



876 Highlands Circle



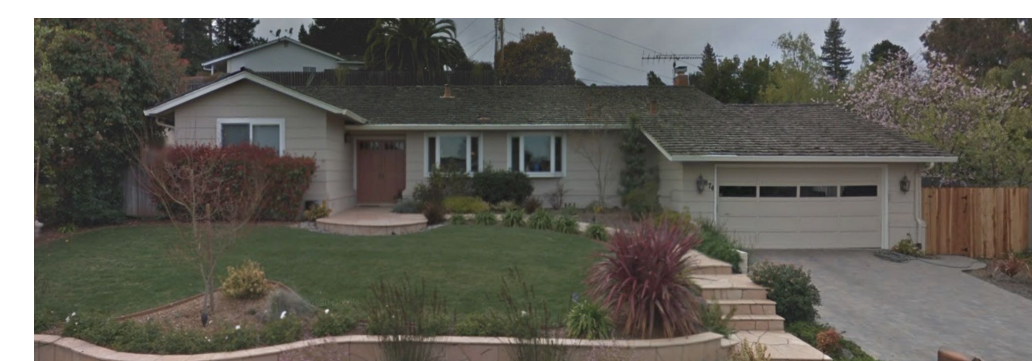
880 Highlands Circle



878 Lockhaven Ct



880 LOCKHAVEN CT.



874 LOCKHAVEN DR



876 Lockhaven Dr.

NEIGHBORHOOD STREETSCAPE 8



NEIGHBORHOOD CONTEXT MAP 7

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
<b>Lot Coverage:</b>	2,207 (22%)	2,750 (27%)	3,003 (30%)
<b>Floor Area:</b>	2,871 (28%)	3,174 (32%)	3,504 (35%)
<b>Setbacks:</b>			
<b>Front</b>	25'-2"	NO CHANGE	25'-0"
<b>Rear</b>	33'-2"	26'-4"	25'-0"
<b>Right</b>	13'-1"	10'-2"	10'-0"
<b>Left</b>	13'-11"	NO CHANGE	10'-0"
<b>Two Story - Left</b>	13'-11"	NO CHANGE	17'-6"
<b>Height:</b>	23'-5"	NO CHANGE	27 FT

SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
<b>Habitable Living Area</b>	2,162	+ 308	2,470
<b>Non-Habitable Floor area</b>	709	NO CHANGE	709

LOT CALCULATIONS			
<b>Net Lot Area:</b>	10,011 SF		
<b>(E) Front Yard Hardscape Area</b>	904 SF	NO CHANGE PROPOSED	
<b>Front Yard Area</b>	2,054 SF		
	904 / 2,054 SF = 44 % < 50 %		
<b>Landscaping breakdown</b>	Total Hardscape area (E) & (N):		4,389 SF
	Existing Softscape (undisturbed) area:		5,470 SF
	New Softscape area:		152 SF
	Sum of all three equals the sites net lot area: 10,011 SF		

	PROJECT SUMMARY TABLE	5
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VICINITY MAP 6

**Gopalani Residence**

875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



2 STORY DESIGN REVIEW SUBMITTAL - REV 2

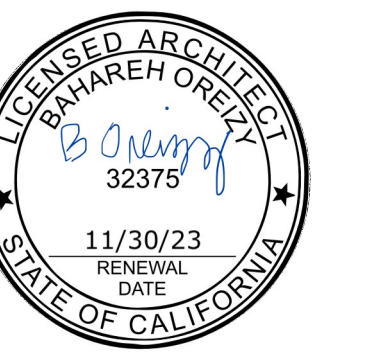
Date	
Rev	PLAN CHECK REV. 12/16/2021
	PLAN CHECK REV. 01/11/2022

Sheet Title  
**COVER SHEET**

Sheet No.  
**A0**

# Gopalani Residence

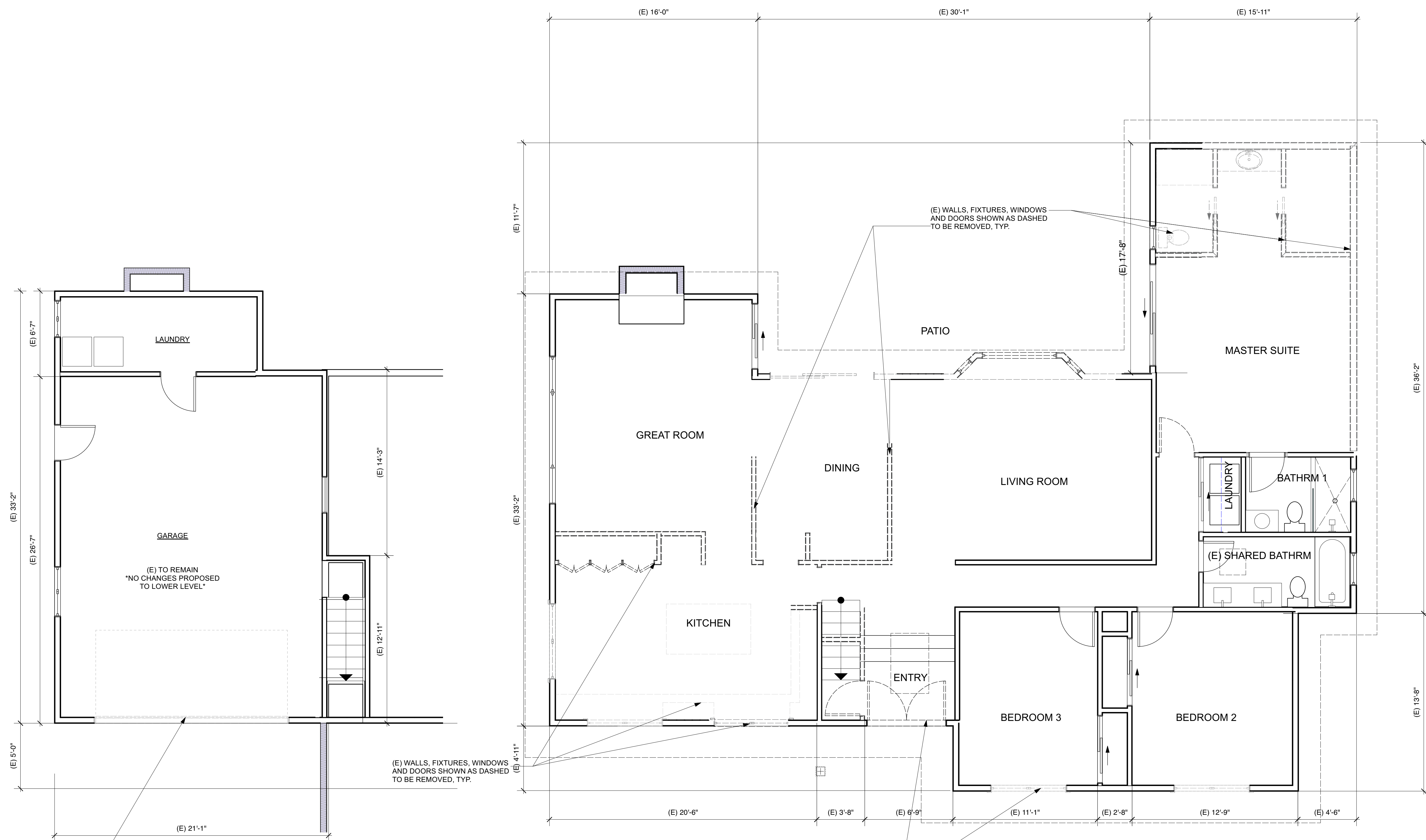
875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



2 STORY DESIGN REVIEW SUBMITTAL - REV 2

Date	Rev	PLAN CHECK REV	DATE
	1	12/16/2021	
	2	01/11/2022	

Sheet Title	EXISTING GROUND FLOOR PLAN
Sheet No.	EC1



F.O.S.	FACE OF STUD
F.O.F.	FACE OF FINISH
(E)	EXISTING TO REMAIN
(N)	NEW
(R)	REMODELED
T.B.D.	TO BE DETERMINED
V.I.F.	VERIFY IN FIELD
TYP.	TYPICAL
	EXISTING EXTERIOR WALL
	EXISTING WALL TO BE REMOVED

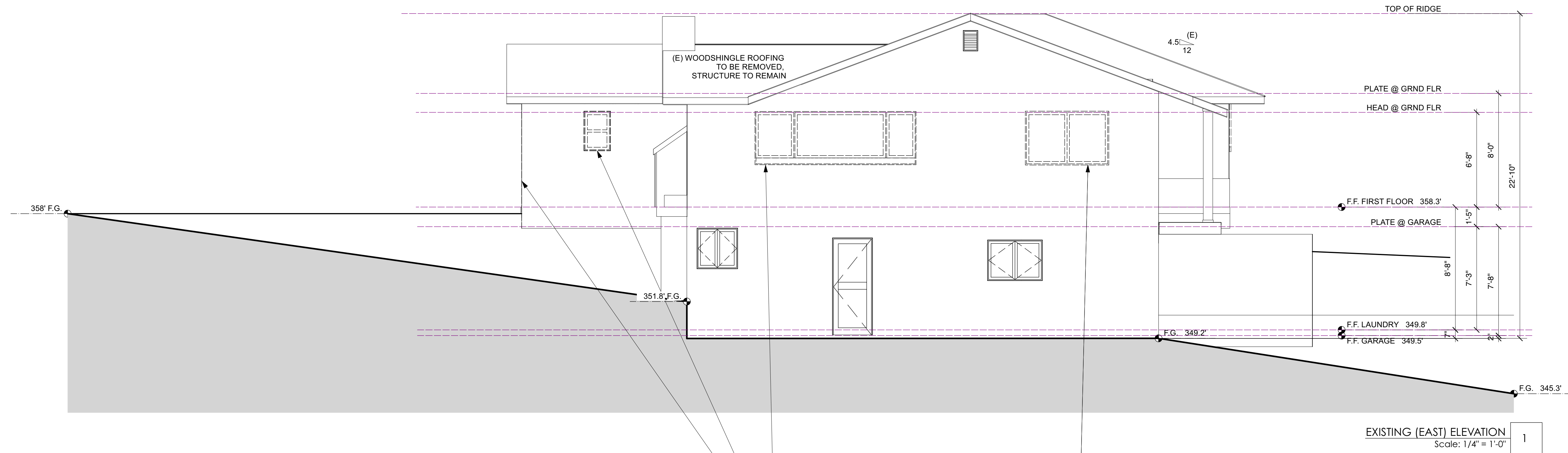
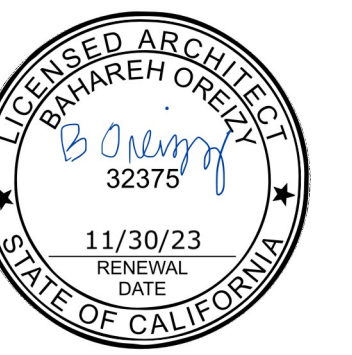
GARAGE FLOOR PLAN  
Scale: 1/4" = 1'-0" 2

GROUND FLOOR PLAN  
Scale: 1/4" = 1'-0" 1



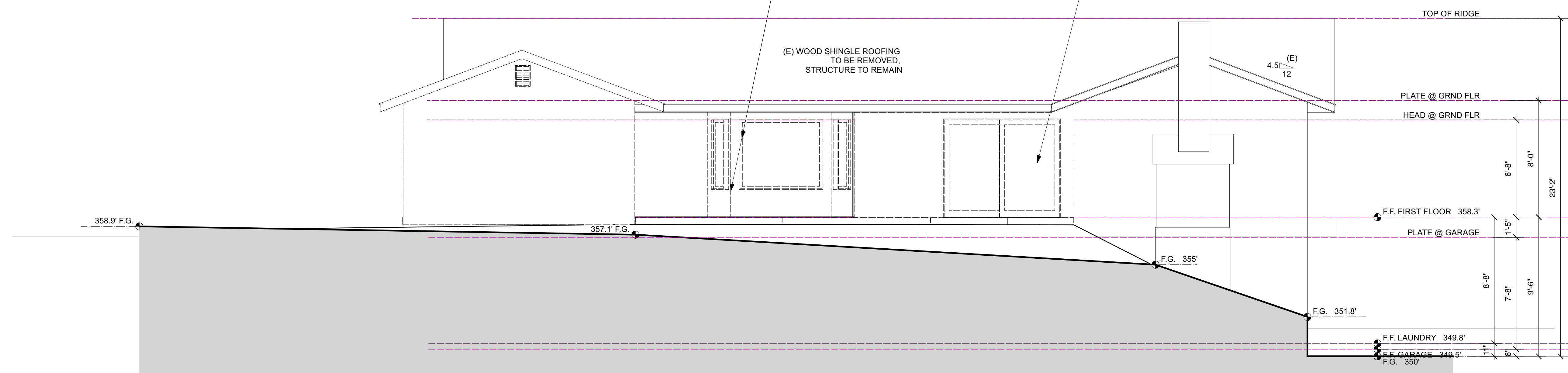
# Gopalani Residence

875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



EXISTING (EAST) ELEVATION  
Scale: 1/4" = 1'-0" 1

(E) WINDOWS, DOORS AND WALLS SHOWN AS DASHED TO BE REMOVED, TYP.



EXISTING (SOUTH) ELEVATION  
Scale: 1/4" = 1'-0" 2

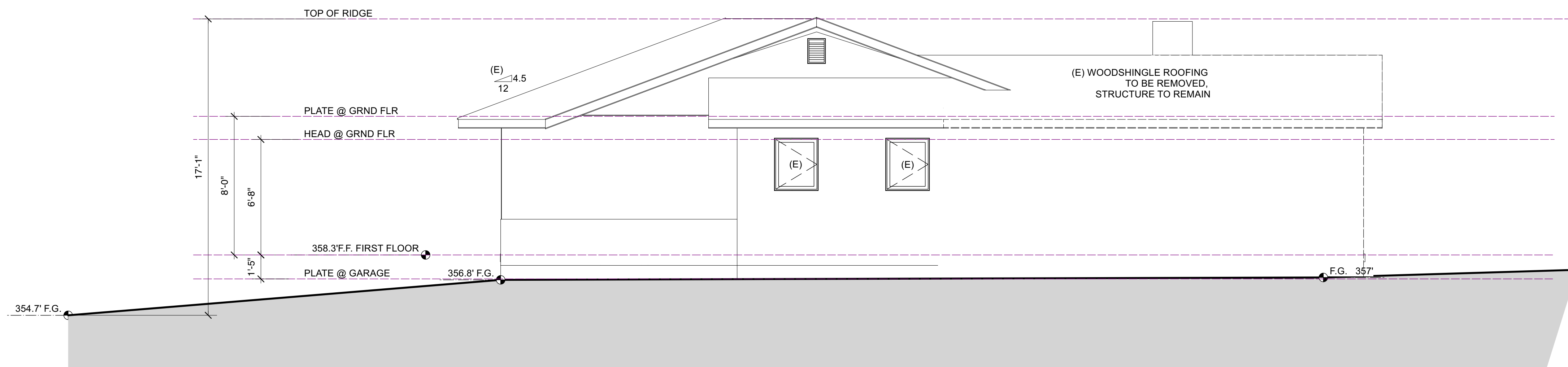
2 STORY DESIGN REVIEW SUBMITTAL - REV 2

Date	
Rev	
PLAN CHECK REV 1	12/16/ 2021
PLAN CHECK REV 2	01/11/ 2022

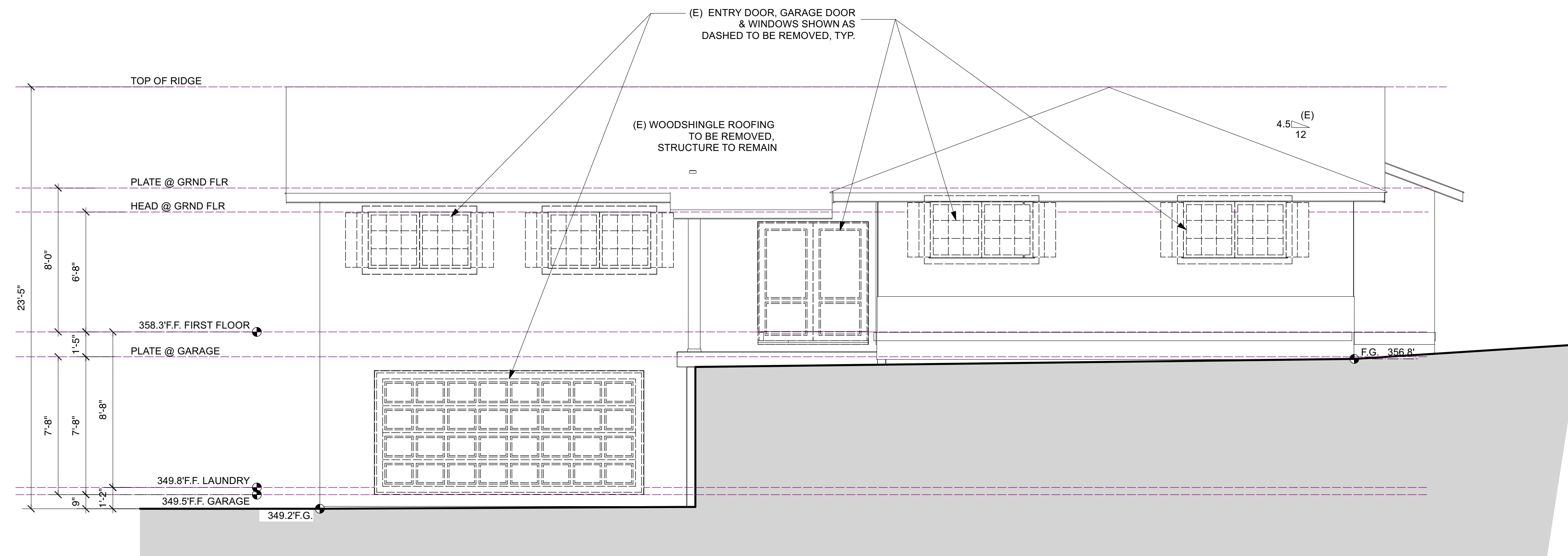
Sheet Title	EXISTING EXTERIOR ELEVATIONS
Sheet No.	EC2

# Gopalani Residence

875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



EXISTING (WEST) ELEVATION  
Scale: 1/4" = 1'-0" 1



EXISTING (NORTH) ELEVATION  
Scale: 1/4" = 1'-0" 2



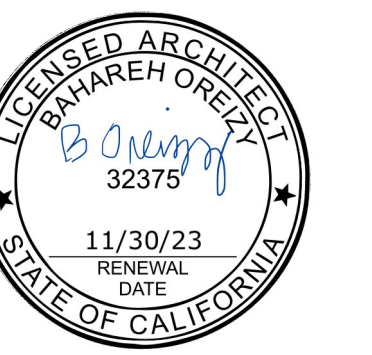
2 STORY DESIGN REVIEW SUBMITTAL - REV 2

Date
12/16/2021
01/11/2022

Sheet Title	EXISTING EXTERIOR ELEVATIONS
Sheet No.	EC3

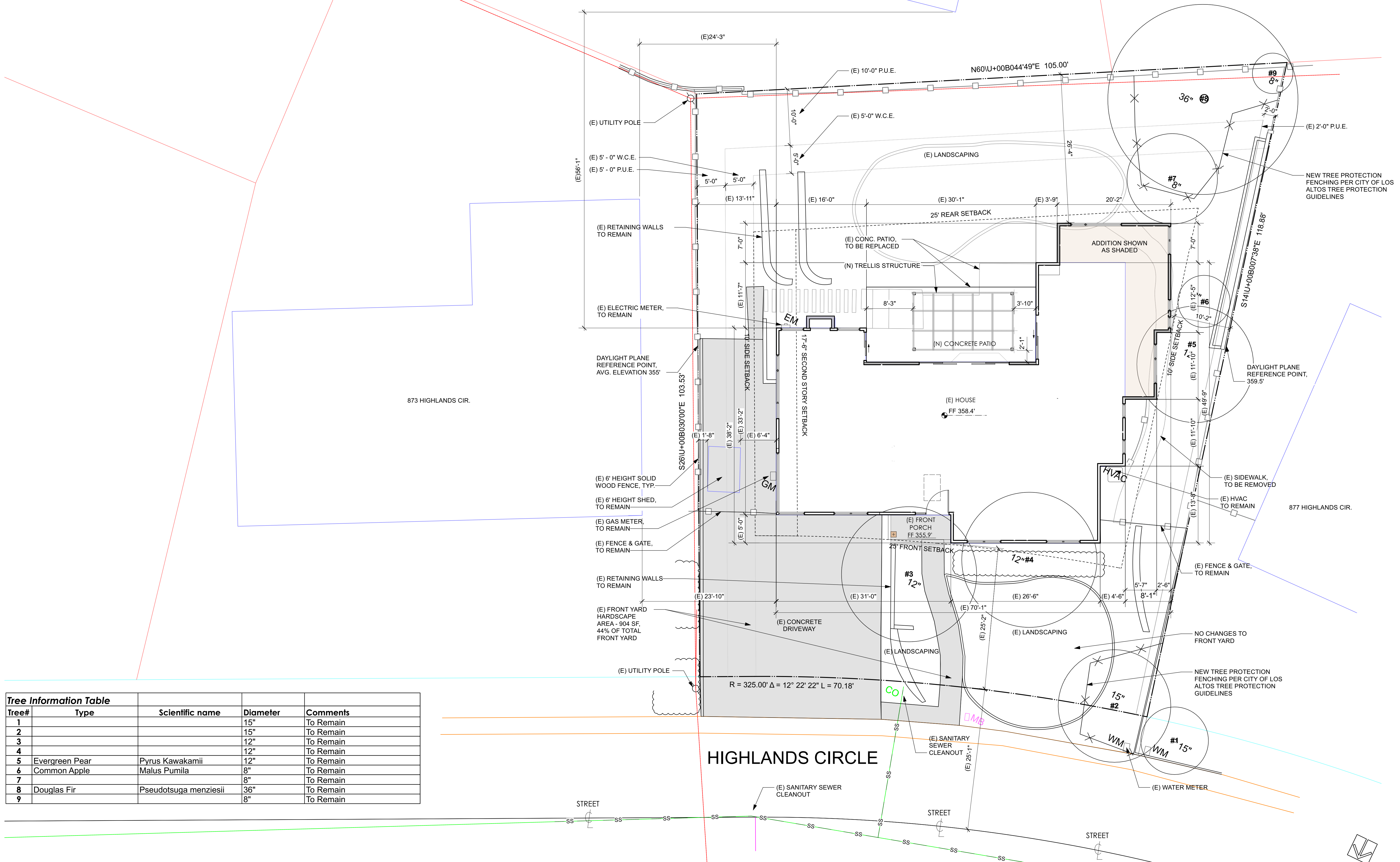
# Gopalani Residence

875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



2 STORY DESIGN REVIEW SUBMITTAL - REV 2

Tree#	Type	Scientific name	Diameter	Comments
1			15"	To Remain
2			15"	To Remain
3			12"	To Remain
4			12"	To Remain
5	Evergreen Pear	Pyrus Kawakamii	12"	To Remain
6	Common Apple	Malus Pumila	8"	To Remain
7			8"	To Remain
8	Douglas Fir	Pseudotsuga menziesii	36"	To Remain
9			8"	To Remain



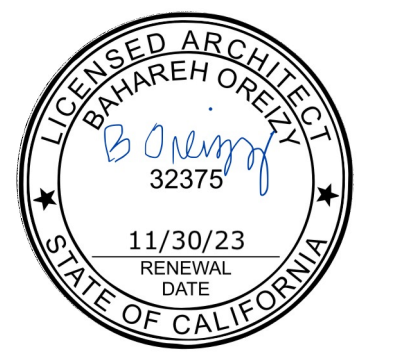
SITE PLAN  
Scale: 1/8" = 1'-0"

Date	
Rev	
PLAN CHECK REV	12/16/ 2021
PLAN CHECK REV	01/11/ 2022

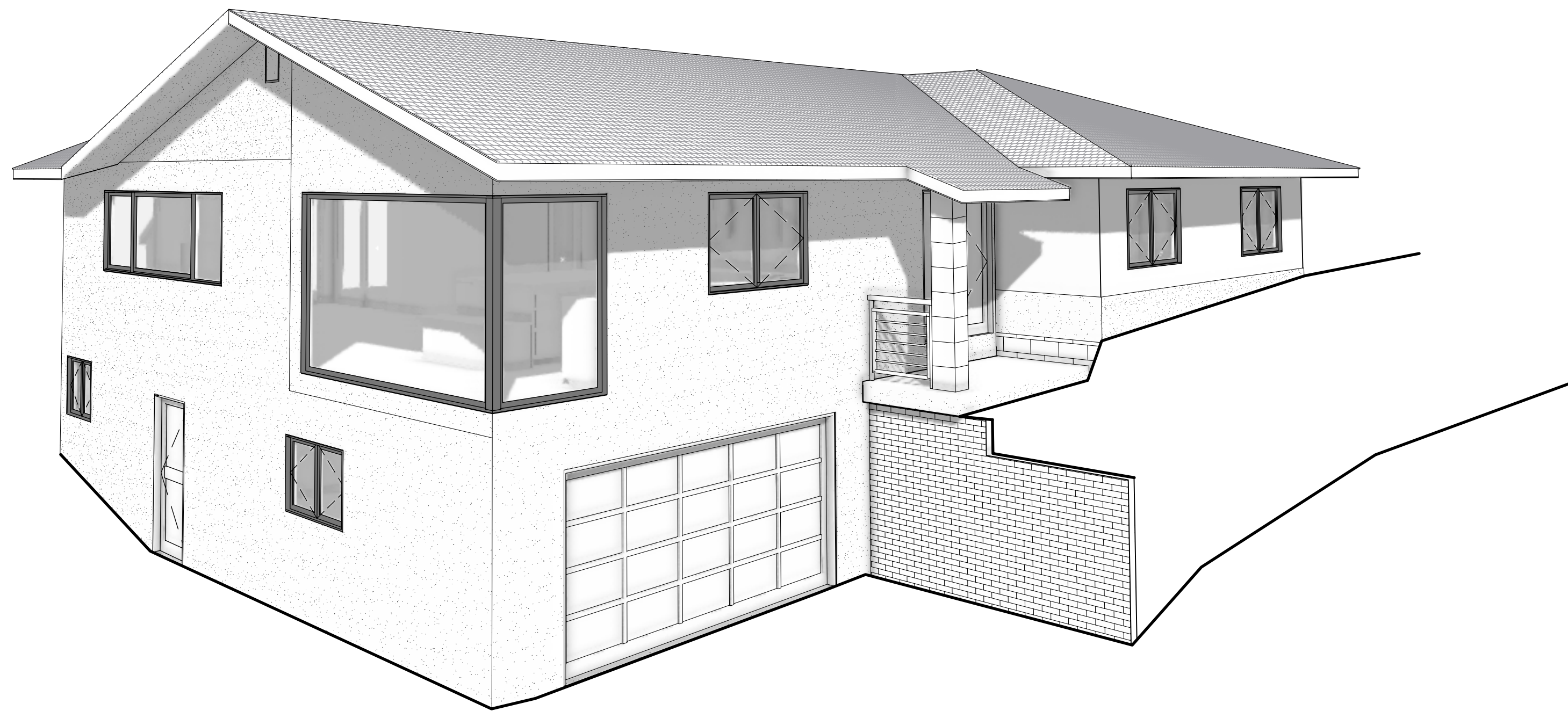
Sheet Title	PROPOSED SITE PLAN
Sheet No.	A1.1

# Gopalani Residence

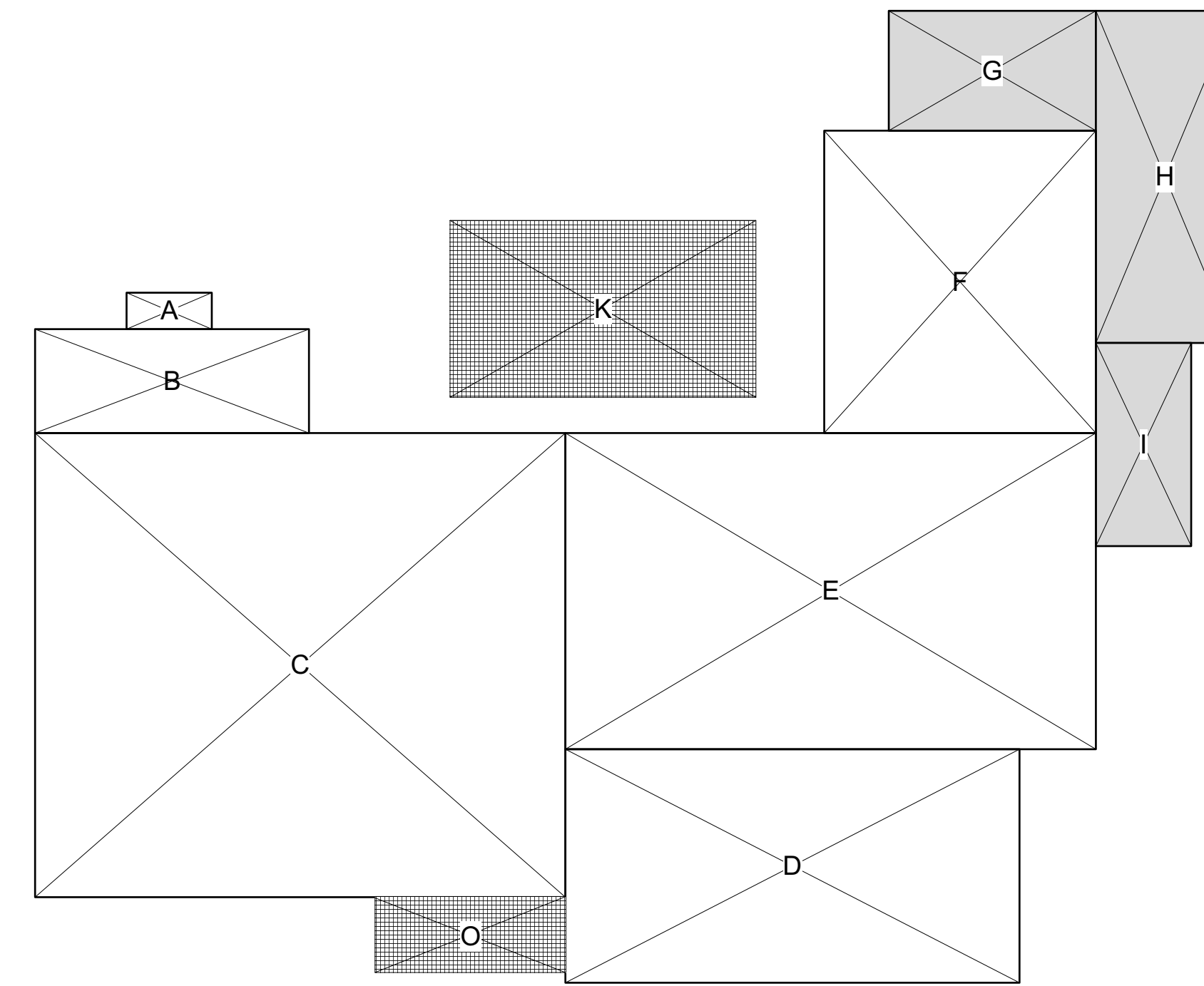
875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



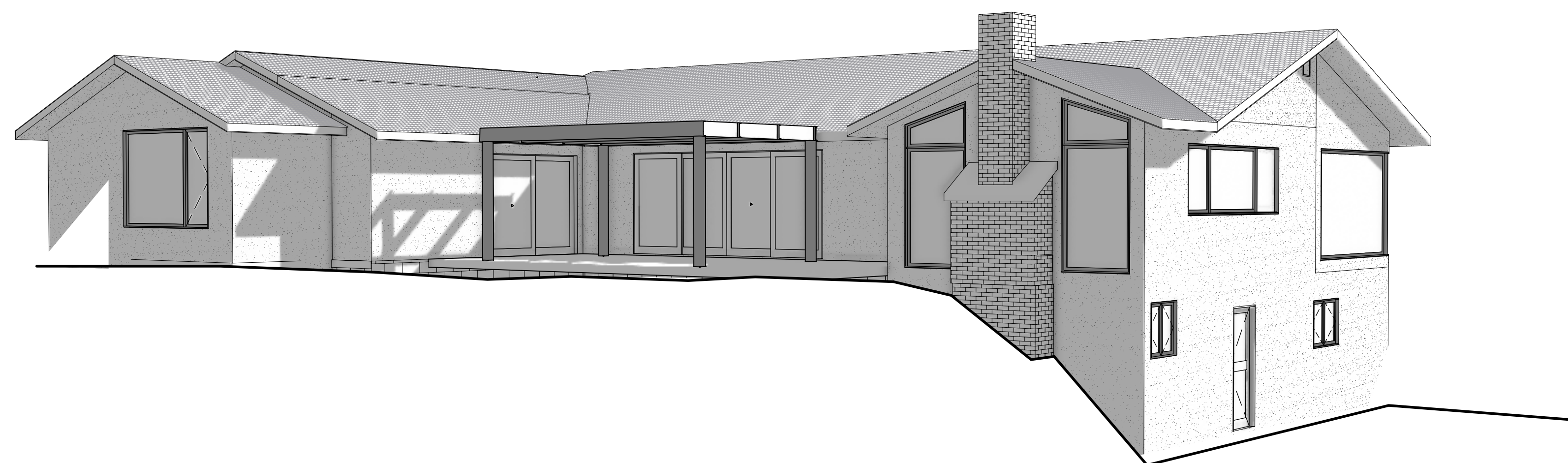
2 STORY DESIGN REVIEW SUBMITTAL - REV 2



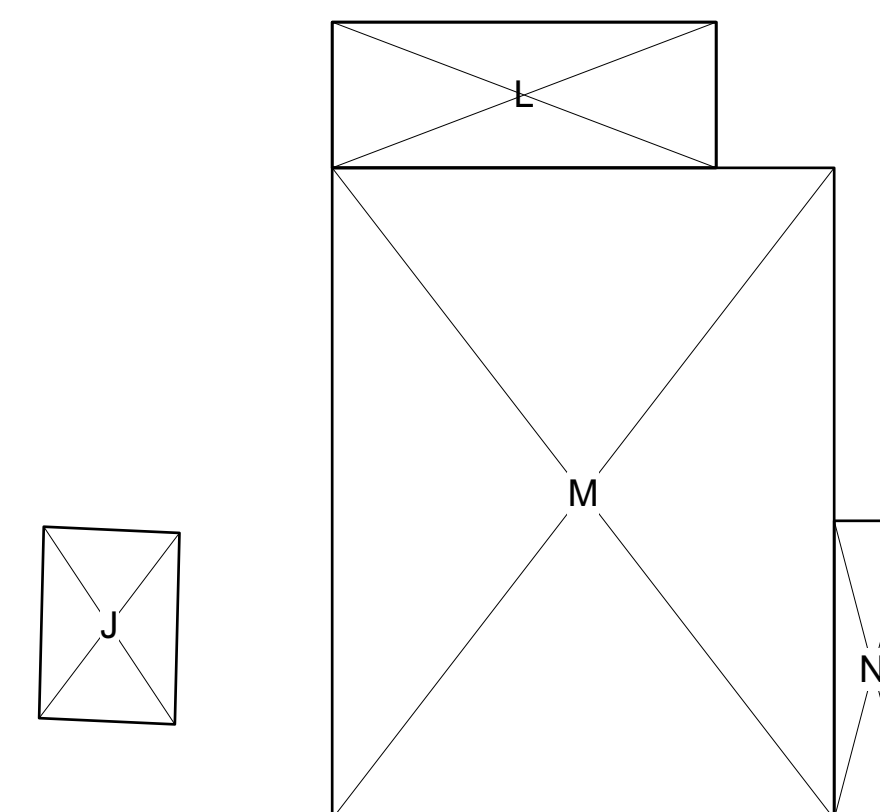
3D VIEW - FRONT 3



FLOOR AREA CALCULATION DIAGRAM 1



3D VIEW - REAR 4



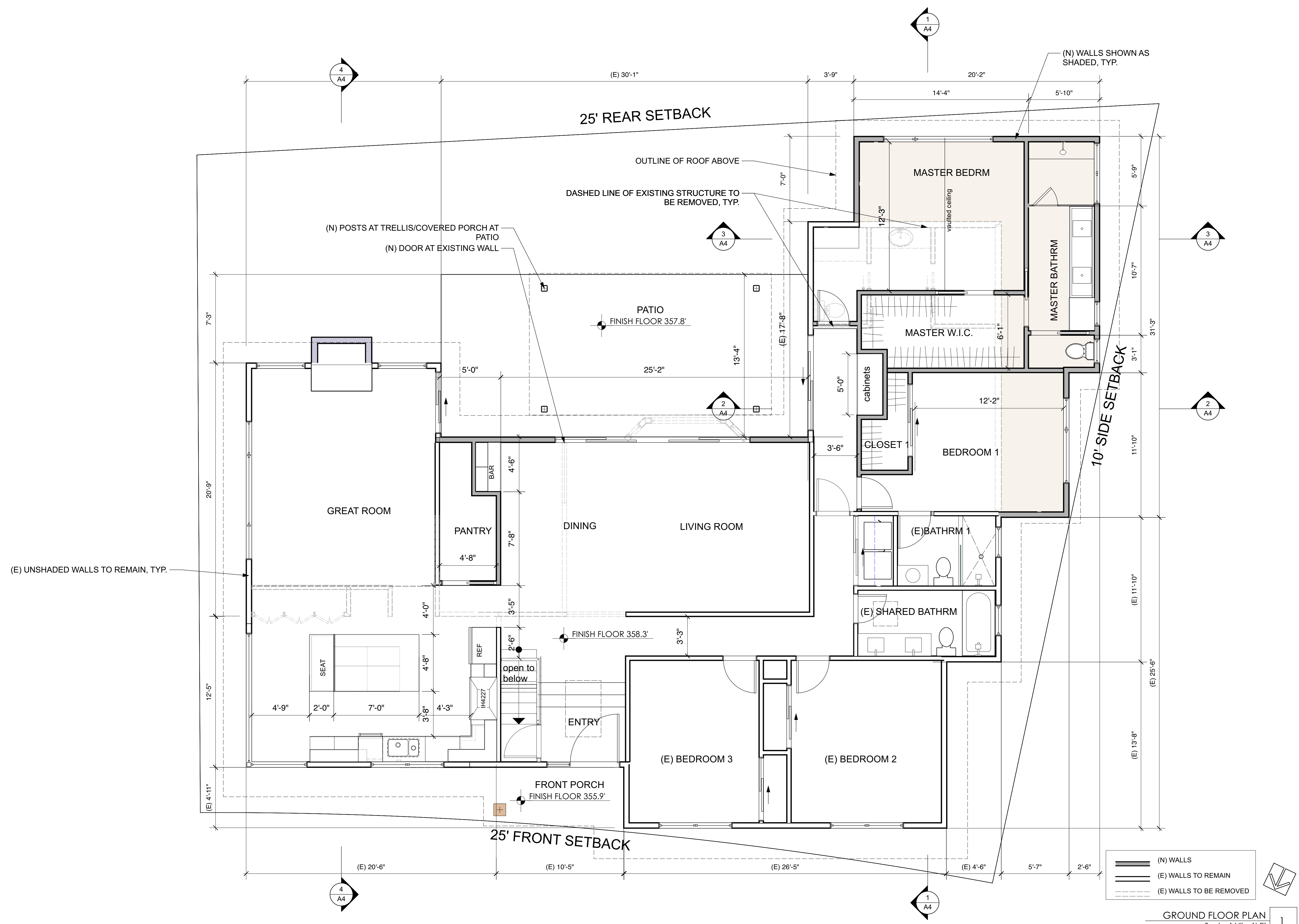
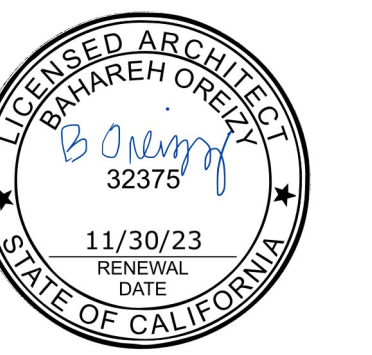
SUMMARY TABLE		
Section	Dimensions	Area
<b>Ground Floor</b>		
A	5'-0" x 2'-1"	11 SF
B	16'-0" x 7'-0"	97 SF
C	31'-0" x 27'-1"	840 SF
D	26'-6" x 13'-7"	362 SF
E	31'-0" x 18'-6"	572 SF
F	15'-10" x 17'-8"	280 SF
G - Addition	12'-1" x 7'-0"	85 SF
H - Addition	8'-0" x 19'-5"	157 SF
I - Addition	5'-7" x 11'-10"	66 SF
<b>Ground Floor Area</b>		<b>2,470 SF</b>
<b>Lower Level</b>		
L	16'-0" x 6'-0"	97 SF
M - Garage	20'-11" x 27'-1"	567 SF
N	3'-3" x 12'-5"	40 SF
<b>Lower Level Area</b>		<b>704 SF</b>
<b>TOTAL FLOOR AREA</b>		<b>3,174 SF</b>
J - Shed	5'-8" x 8'-0"	45 SF
O - Covered Porch	11'-2" x 4'-5"	50 SF
K - Trellis	17'-10" x 10'-4"	185 SF
<b>TOTAL LOT COVERAGE</b>		<b>2,750 SF</b>

FLOOR AREA CALCULATION TABLE 2

Date	Rev	Rev	Date
	PLAN CHECK REV		12/16/ 2021
	PLAN CHECK REV		01/11/ 2022

# Gopalani Residence

875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



(N) WALLS  
 (E) WALLS TO REMAIN  
 (E) WALLS TO BE REMOVED

GROUND FLOOR PLAN  
Scale: 1/4" = 1'-0" 1

2 STORY DESIGN REVIEW SUBMITTAL - REV 2

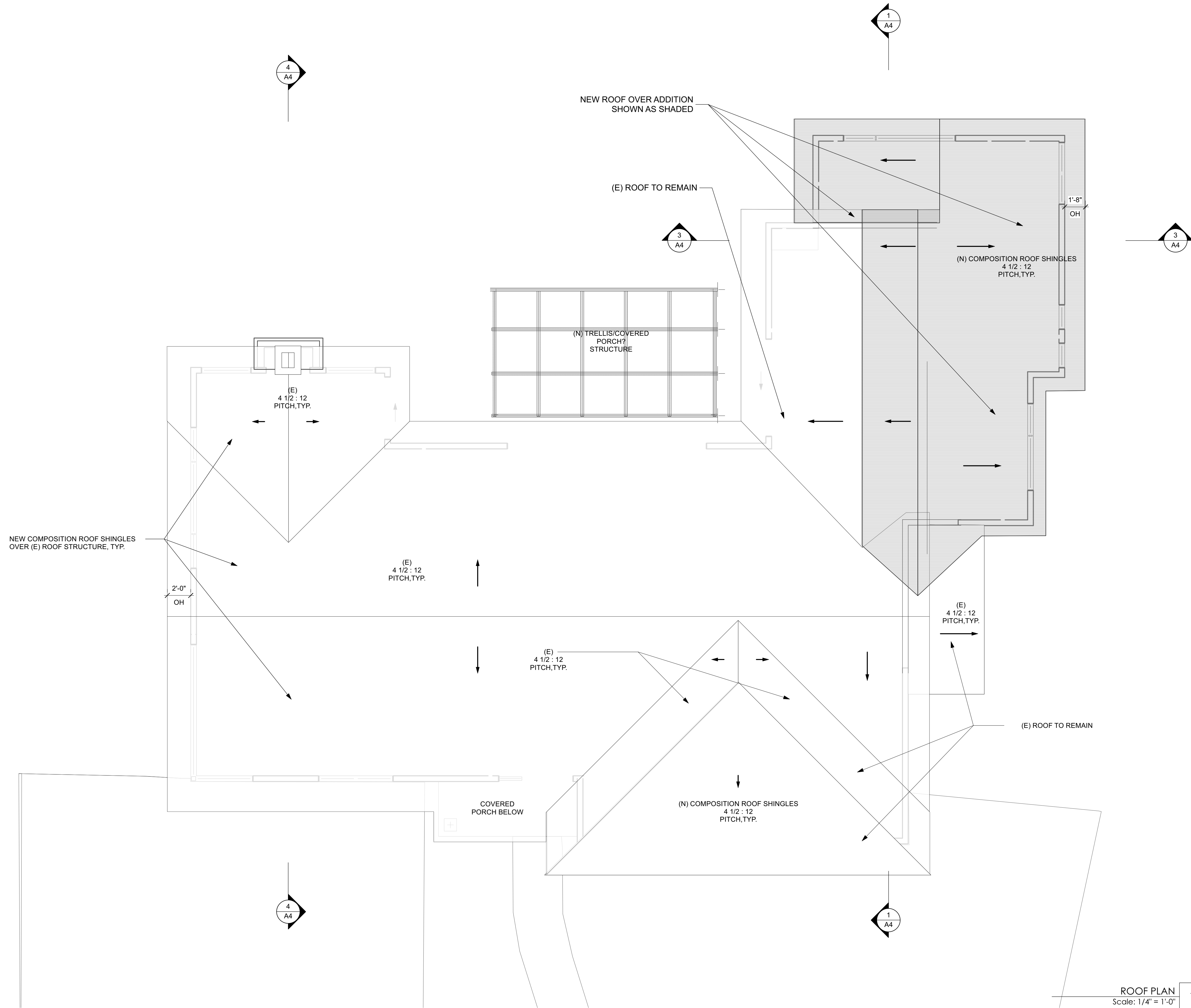
Date	
Rev	
PLAN CHECK REV	12/16/2021
PLAN CHECK REV	01/11/2022

Sheet Title  
**PROPOSED  
GROUND  
FLOOR PLAN**

Sheet No.  
**A2.1**

# Gopalani Residence

875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



2 STORY DESIGN REVIEW SUBMITTAL - REV 2

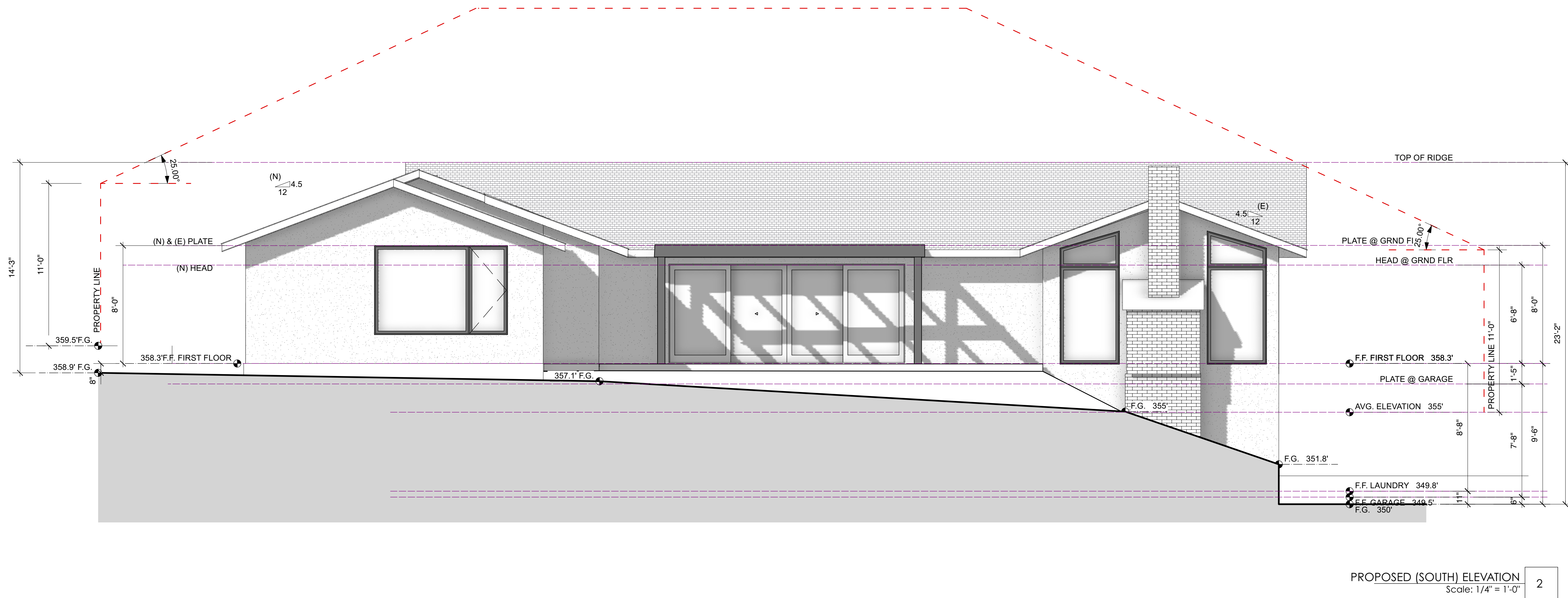
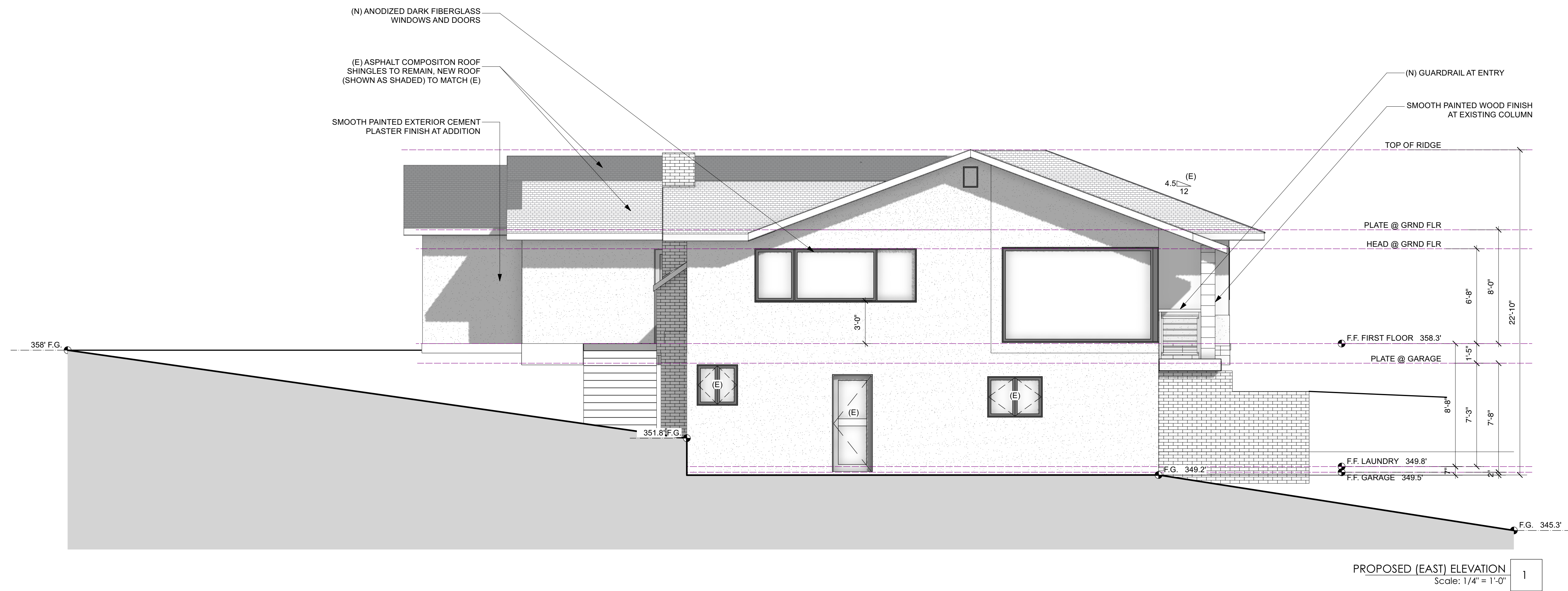
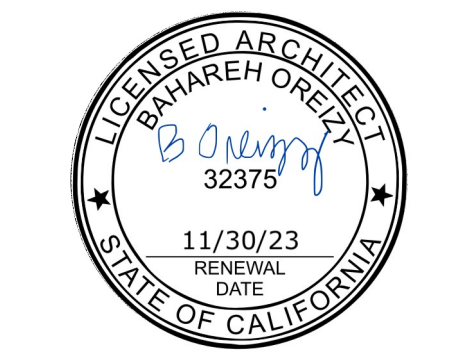
Date	Rev
12/16/2021	PLAN CHECK REV
01/11/2022	PLAN CHECK REV

Sheet Title	PROPOSED ROOF PLAN
Sheet No.	A2.2

ROOF PLAN  
Scale: 1/4" = 1'-0" 1

# Gopalani Residence

875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



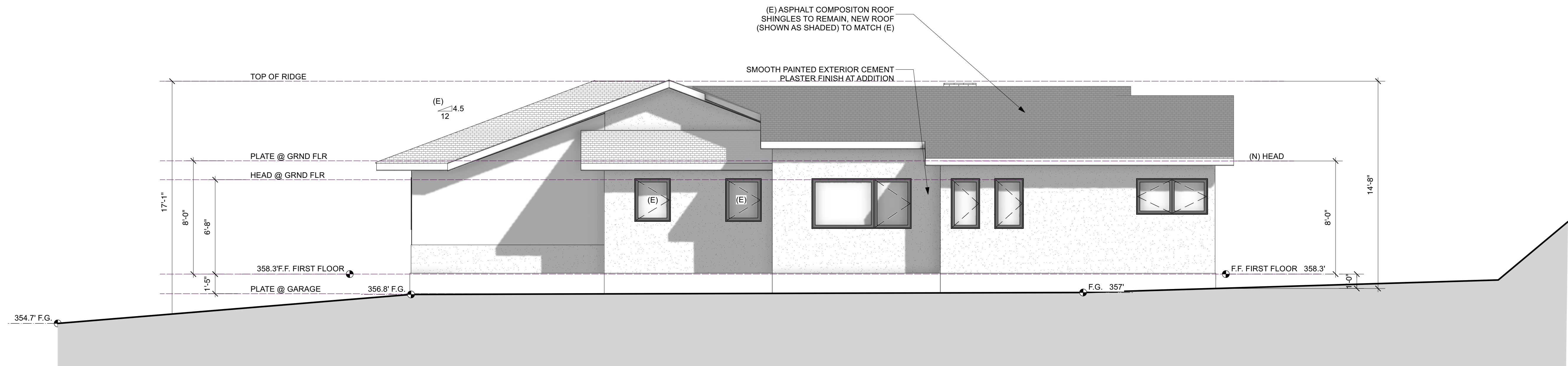
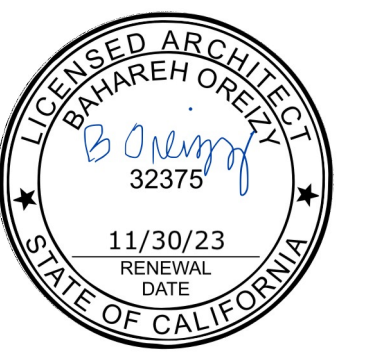
2 STORY DESIGN REVIEW SUBMITTAL - REV 2

Date	
Rev	
PLAN CHECK REV	12/16/ 2021
PLAN CHECK REV	01/11/ 2022

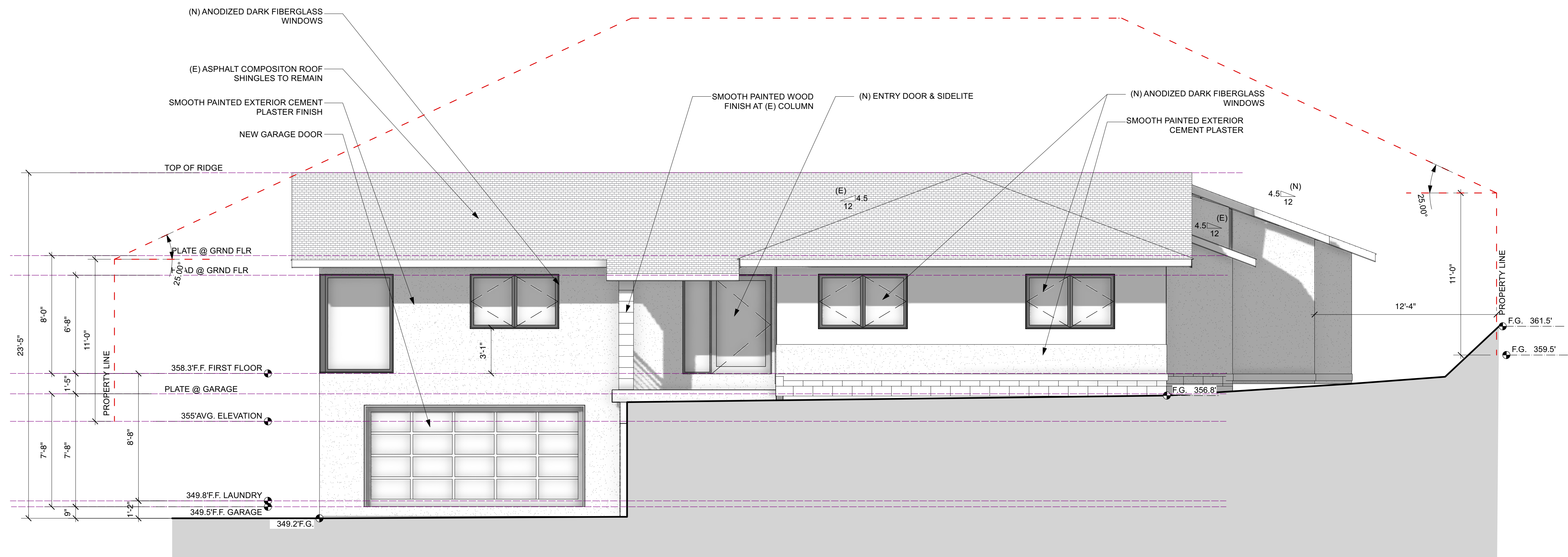
Sheet Title	PROPOSED EXTERIOR ELEVATIONS
Sheet No.	A3.1

# Gopalani Residence

875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



PROPOSED (WEST) ELEVATION  
Scale: 1/4" = 1'-0" 1



PROPOSED (NORTH) ELEVATION  
Scale: 1/4" = 1'-0" 2

2 STORY DESIGN REVIEW SUBMITTAL - REV 2

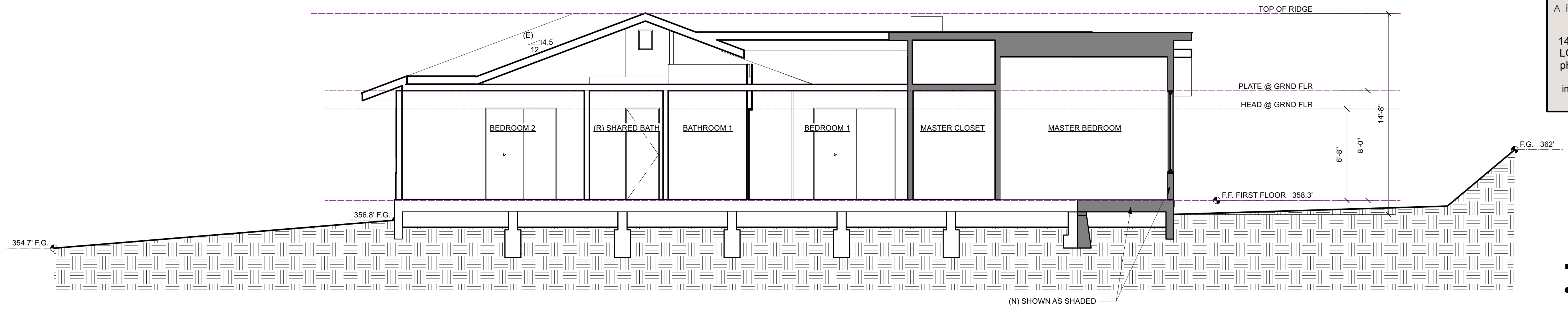
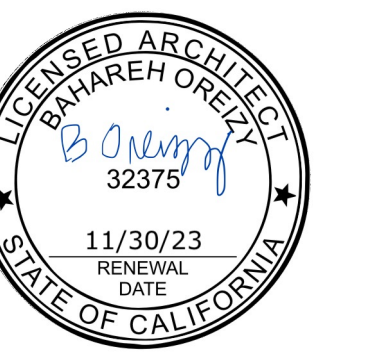
Date	
Rev	
PLAN CHECK REV	12/16/ 2021
PLAN CHECK REV	01/11/ 2022

Sheet Title	PROPOSED EXTERIOR ELEVATIONS
Sheet No.	A3.2

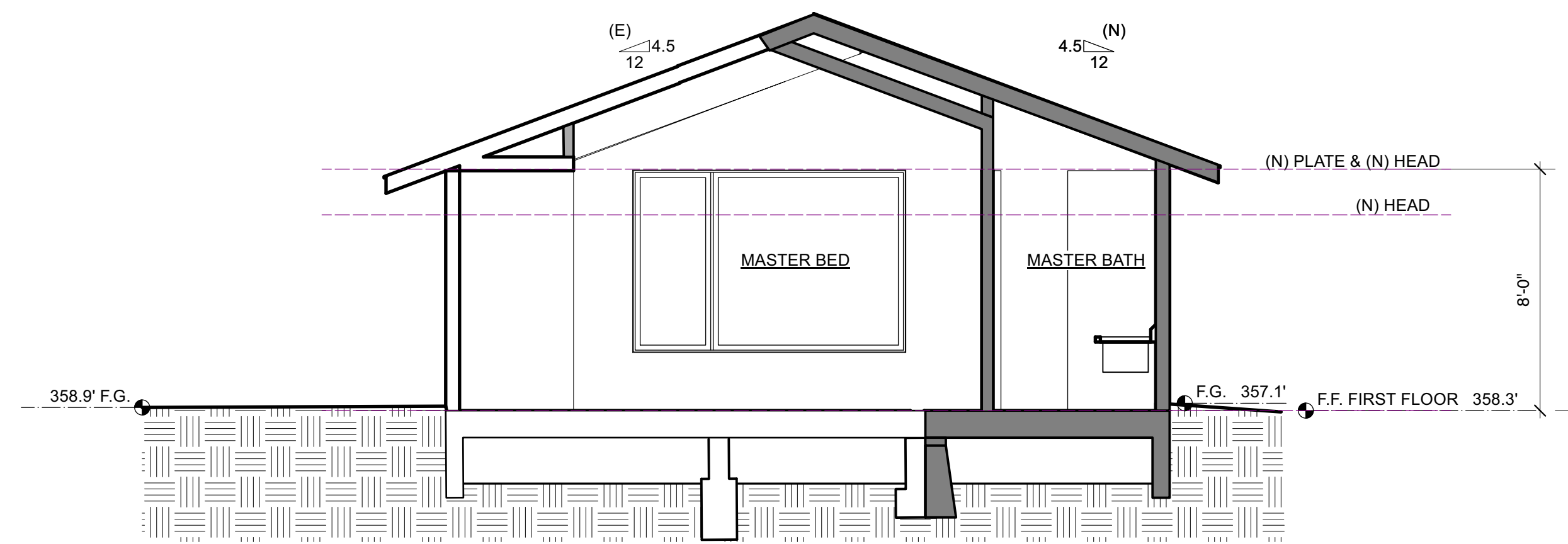


# Gopalani Residence

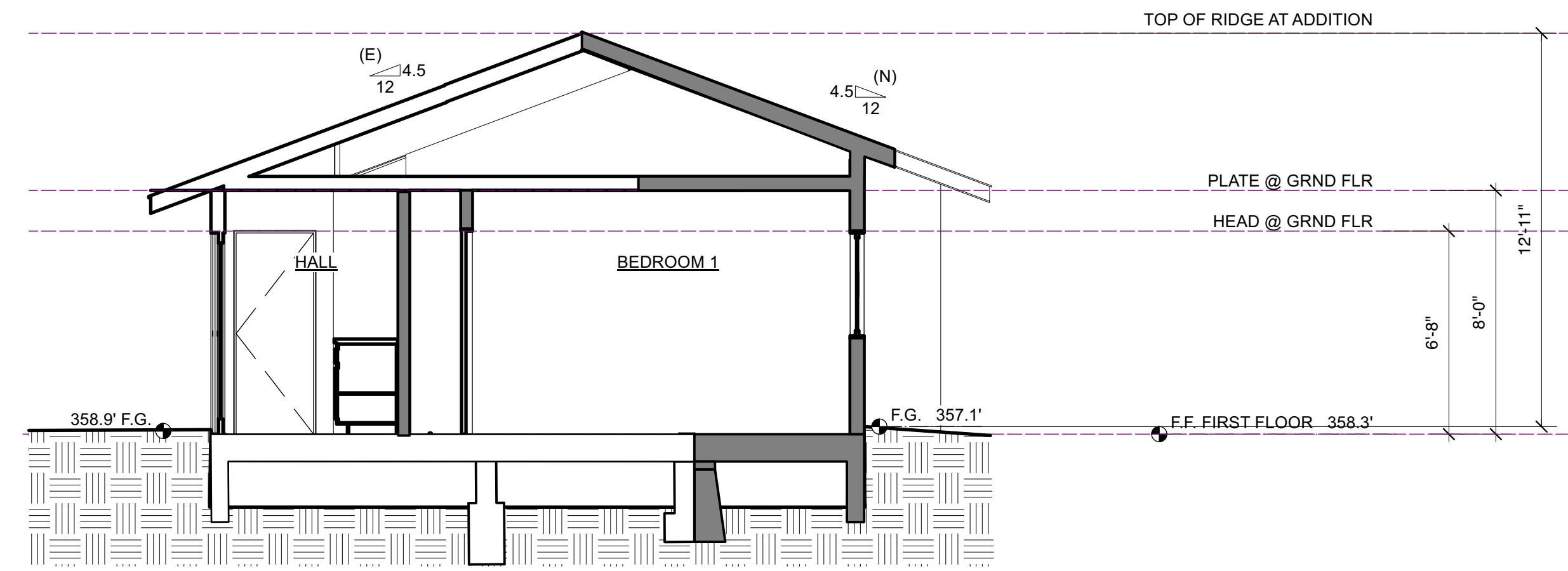
875 HIGHLANDS CIRCLE  
LOS ALTOS CA 94024



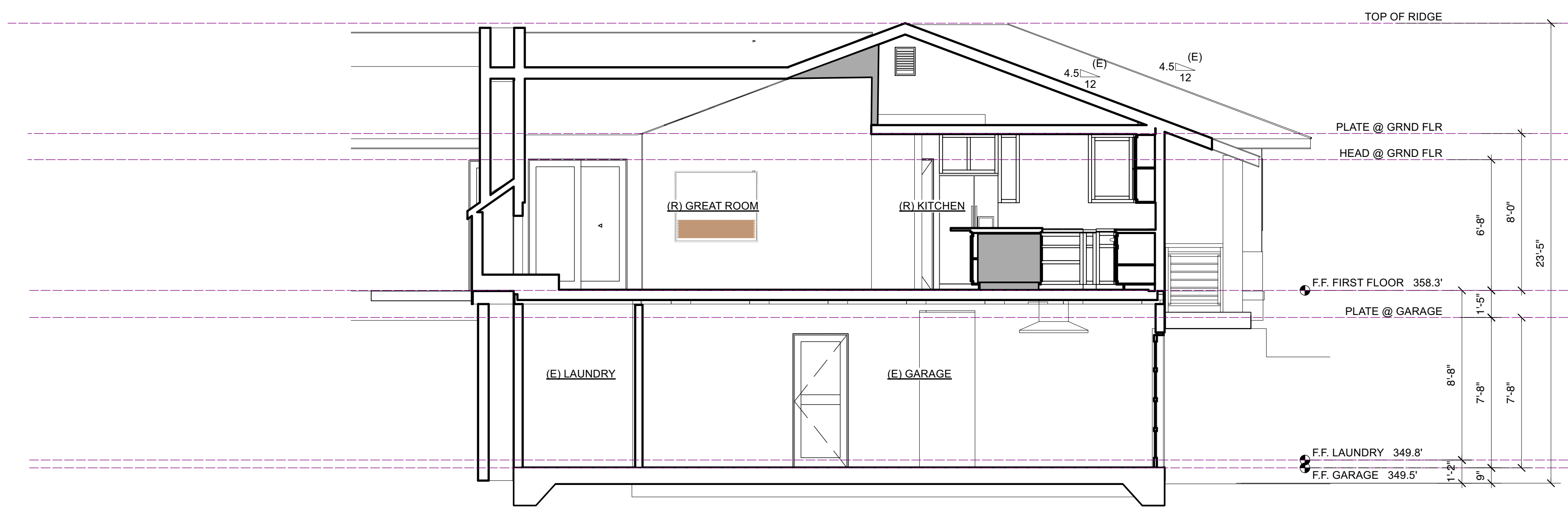
SECTION THRU BEDROOMS 1  
Scale: 1/4" = 1'-0" 1



SECTION THRU MASTER 3  
Scale: 1/4" = 1'-0"



SECTION THRU BEDROOM 1 2  
Scale: 1/4" = 1'-0"



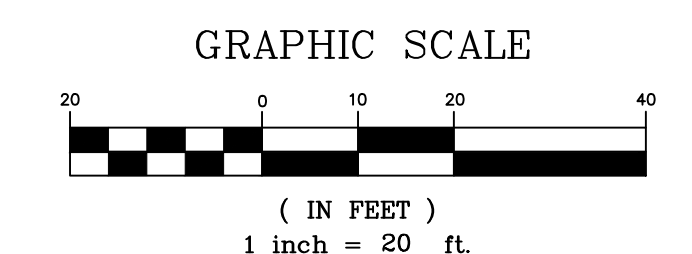
SECTION THRU GARAGE 4  
Scale: 1/4" = 1'-0"

2 STORY DESIGN REVIEW SUBMITTAL - REV 2

Date	
Rev	
PLAN CHECK REV	12/16/2021
PLAN CHECK REV	01/11/2022

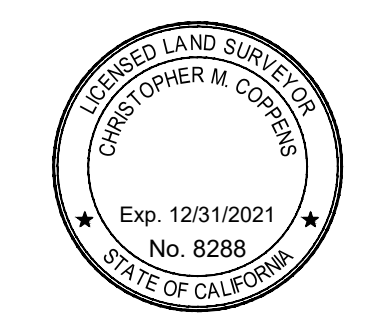
Sheet Title  
**PROPOSED  
BUILDING  
SECTIONS**

Sheet No.  
**A4**



**Surveyor's Statement**  
 This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Professional Land Surveyors' Act at the request of Shalini Dawani and Naresh Gopalani in July, 2021.

*Christopher M. Coppens*  
 Christopher M. Coppens  
 LS No. 8288  
 July 30, 2021



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 1479 Mallard Way, Sunnyvale, CA 94087 - (518) 227-0097  
 www.surv-a.com  
 This map was prepared as an instrument of service for the preparation of plans and specifications for proposed construction. The information shown hereon shall not be used in whole or in part for any other project without the consent of Coppens Land Surveying. Any plan using the information shown hereon shall contain the statement: "Survey performed by Coppens Land Surveying"

SUBMITTALS		
0	07/29/2021	Preliminary for Review
1	07/30/2021	Final Survey Issued

SITE

**875 Highland Cir  
 Los Altos, CA 94024**

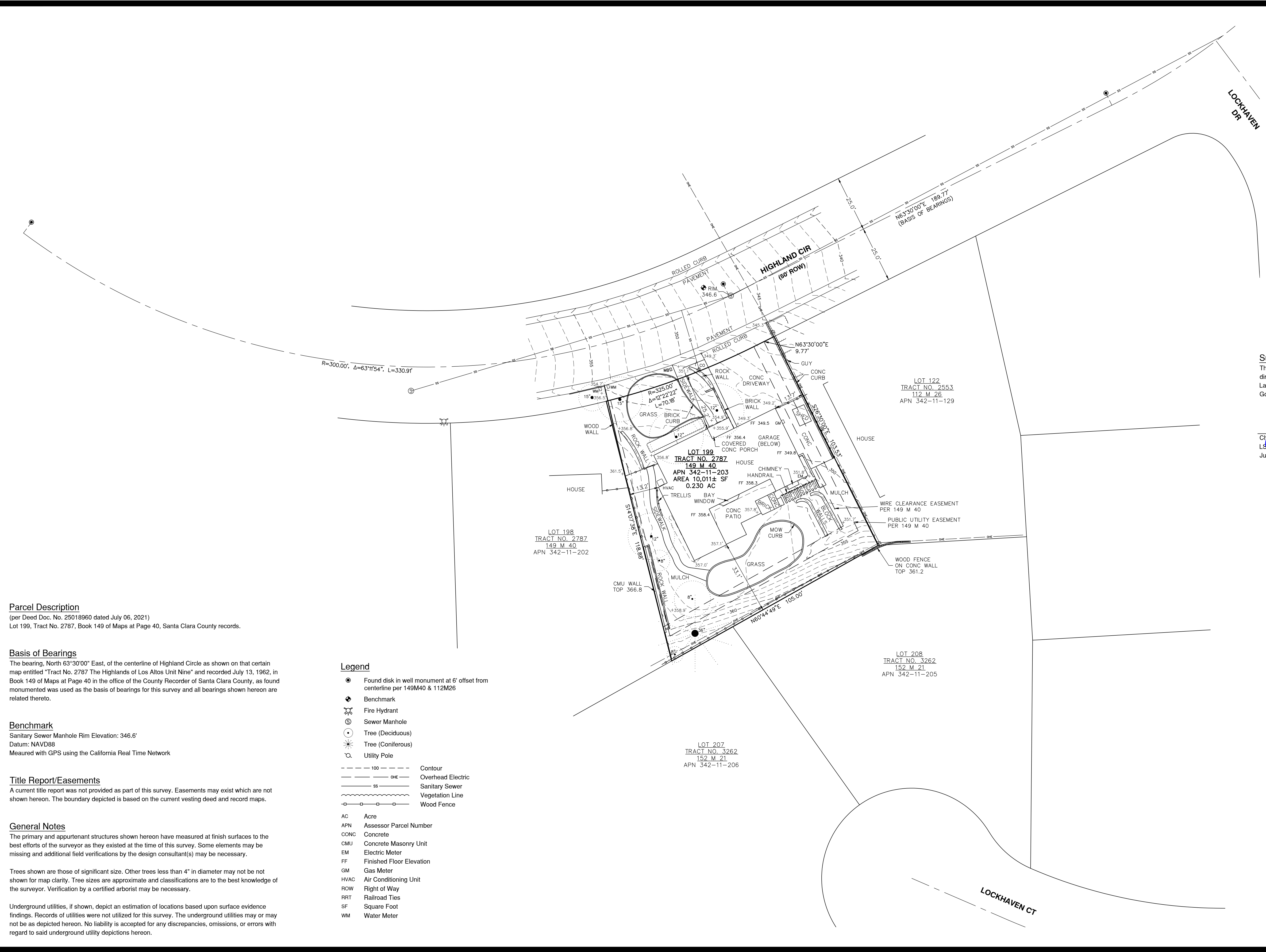
**City of Los Altos  
 Santa Clara County**

**APN: 342-11-203**

TITLE

**Topographic  
 Survey**

CLS Project # 21008



**Parcel Description**  
 (per Deed Doc. No. 25018960 dated July 06, 2021)  
 Lot 199, Tract No. 2787, Book 149 of Maps at Page 40, Santa Clara County records.

**Basis of Bearings**  
 The bearing, North 63°30'00" East, of the centerline of Highland Circle as shown on that certain map entitled "Tract No. 2787 The Highlands of Los Altos Unit Nine" and recorded July 13, 1962, in Book 149 of Maps at Page 40 in the office of the County Recorder of Santa Clara County, as found monumented was used as the basis of bearings for this survey and all bearings shown hereon are related thereto.

**Benchmark**  
 Sanitary Sewer Manhole Rim Elevation: 346.6'  
 Datum: NAVD88  
 Measured with GPS using the California Real Time Network

**Title Report/Easements**  
 A current title report was not provided as part of this survey. Easements may exist which are not shown hereon. The boundary depicted is based on the current vesting deed and record maps.

**General Notes**  
 The primary and appurtenant structures shown hereon have measured at finish surfaces to the best efforts of the surveyor as they existed at the time of this survey. Some elements may be missing and additional field verifications by the design consultant(s) may be necessary.

Trees shown are those of significant size. Other trees less than 4" in diameter may not be not shown for map clarity. Tree sizes are approximate and classifications are to the best knowledge of the surveyor. Verification by a certified arborist may be necessary.

Underground utilities, if shown, depict an estimation of locations based upon surface evidence findings. Records of utilities were not utilized for this survey. The underground utilities may or may not be as depicted hereon. No liability is accepted for any discrepancies, omissions, or errors with regard to said underground utility depictions hereon.

- Legend**
- Found disk in well monument at 6" offset from centerline per 149M40 & 112M26
  - ◆ Benchmark
  - ⊕ Fire Hydrant
  - ⊙ Sewer Manhole
  - Tree (Deciduous)
  - ⊙ Tree (Coniferous)
  - ⊙ Utility Pole
  - 100 --- Contour
  - OHE --- Overhead Electric
  - SS --- Sanitary Sewer
  - Vegetation Line
  - Wood Fence
  - AC Acre
  - APN Assessor Parcel Number
  - CONC Concrete
  - CMU Concrete Masonry Unit
  - EM Electric Meter
  - FF Finished Floor Elevation
  - GM Gas Meter
  - HVAC Air Conditioning Unit
  - ROW Right of Way
  - RRT Railroad Ties
  - SF Square Foot
  - WM Water Meter

# ATTACHMENT E

**360** design studio

ARCHITECTURE

1491 Ben Roe Drive, Los Altos, CA 94024  
650-360-2905 || info@360designstudio.net

## GOPALANI RESIDENCE

### MATERIAL PALETTE

875 Highlands Circle  
Los Altos, CA 94024

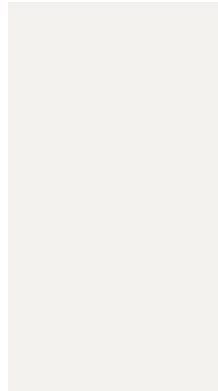
#### ROOF

Composition Roof Shingles to match (E)



#### EXTERIOR FINISH

A. Beige Cement Plaster  
Exterior Wall System  
Extra Smooth finish



#### PATIO

Slate Tiles



#### WINDOWS

Fiberglass  
by Milgard



#### GARAGE

Glass & Metal

