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RESIDENCE REMODEL

1260 PAYNE DRIVE, LOS ALTOS
NATARAJAN & THYAGARAJAN
RESIDENCE

No.	Date	Revision
1	08-03-21	PLAN CHECK COMMENTS
2	01-14-22	PLAN CHECK COMMENTS-2
3	02-02-22	OWNER REV.

DESIGN MANAGER:

Shweta Singh

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Title

COVER SHEET

Date
02.02.22

Scale
AS SHOWN

Drawing No.

A1.0

GENERAL CONDITIONS/NOTES

- All material stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.
- All construction and materials shall be as specified and/or as required by the adopted edition of the California Building Code and all local and national codes and authorities which are applicable.
- All products, materials and finishes to be installed per manufacturers specifications - no exceptions.
- All required Exit doors shall be operable from the inside without the use of a key or special knowledge or effort.
- The General Contractor shall verify all dimensions and site conditions prior to commencing any work. The General Contractor shall notify the Owner of any discrepancy of these plans and specifications.
- The General Contractor shall maintain the job site in a clean, orderly condition free of debris and litter. Each subcontractor immediately upon completion of each phase of his work shall remove all trash and debris as a result of his operation. The job site shall be left clean and swept each day by the end of work that day.
- No portion of the work requiring a shop drawing or sample submission shall be commenced until the submission has been reviewed and acted upon by the Owner.
- All such portions of work shall be in accordance with the reviewed shop drawings and samples.
- The contractor shall confine operations at the site to areas permitted by law, ordinances, permits and the contract documents, and shall not unreasonably encumber the site with any material or equipment.
- Should an error appear in specifications or drawings, or in work done by others, affecting this work, notify the designer at once for instructions as to procedure. If contractor proceeds with work affected without instructions from the designer, the contractor shall make good any resulting damage or defect.
- Should conflict occur in or between drawings and specifications or where detail references on contract drawings have been omitted, contractor is deemed to have estimated the most expensive materials and construction involved unless he shall have asked for and obtained written decision from designer as to which method or materials will be required.
- All patching, repairing and replacing of materials and surfaces cut or damaged in execution of work shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces See documents prepared by the Civil Engineering, if applicable, for all finish grades, drainage and site details. Review all site utility documents, landscape and irrigation documents prior or commencement of any under grounding or trenching. Notify the designer immediately of any discrepancies of the contract documents.
- Construction contractor and his subcontractors agree that in accordance with generally accepted construction practices, construction contractor and his subcontractors will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall be made to apply continuously and not limited to normal working hours, and construction contractor and his subcontractors further agree to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, except liability arising from the sole negligence of design professional as identified in item # 14 of these general conditions.
- General Contractors, Sub-contractors, Builders, and Owner are to check all drawings for errors and omissions prior to commencement of construction. Any errors and/or omissions must be reported immediately to the designer in writing prior to commencement of construction. The designer will not take liability for any errors and/or omissions not reported immediately in writing prior to commencement of construction. The designer's liability for the total project shall not exceed one thousand dollars.
- All screws/nails in finish woodwork to be countersunk and filled smooth with putty to match finish.
- If the manufacturer's specifications and applicable codes are not consistent with each other, notify the designer immediately prior to commencement of any work and await direction or contractor accepts full responsibility of work
- All gypsum board to be a minimum of 5/8" TYPE "X" sheetrock, smooth finish or as otherwise indicated on drawings. Install as needed to meet applicable codes. Use radiused corners.
- Electrical, Mechanical, Plumbing, Fire Extinguishing System and Fire Alarm System to be Design/Build.
- A delta ("A") symbol located at the top right hand corner of any drawing indicates that drawing has been significantly revised and should be treated as an entirely new drawing.
- Contractor to protect all interior spaces (as required) from any weather, theft, or vandalism.
- All walls floors and ceilings are to be finished to match existing adjacent surfaces. All new finishes and fixtures are to be approved by owner or designer, prior to installation.
- Relocate or install new plumbing, gas, and electrical lines (as required) for the new construction.
- Contractor to dispose of all debris at an approved dump site per all Town, County, State and Federal regulations.
- Contractor to notify owner and designer if he suspects that any asbestos is on site and stop work immediately until authorities have proved the work to be safe.
- Smoke detectors shall be installed in all bedrooms and halls.
- All roof flashings to be primed and painted with rust proof paint.

Please bid for max. of 10 colors in a bid, not exceeding 4 colors in any given room at a time.

- All wood coming in contact with concrete must be pressure treated, typical.
- Contractor & sub-contractor's responsibility to make sure that all materials installation & craftsmanship for this project meets all applicable codes.
- Incorporate best management practice (cbmp's) into construction plans & incorporate post construction water run-off measures into project plans in accordance with the city's urban run-off pollution prevention program.
- All exterior plaster finish shall be 7/8" smooth cement plaster finish unless otherwise noted.
- Plaster expansion joints should meet the following criteria or as shown on the drawings.
 - no length should be greater than 18 ft. in either direction.
 - no panel should exceed 144 sq. ft. for vertical applications
 - no panel should exceed 100 sq. ft. for horizontal, curved, or angular sections
 - no Length-to-width ratio should exceed 2 1/2 to 1 in any given panel.
- Flashing provider to prime and paint with rust proof paint all flashings.
- Emergency escape and rescue openings shall open directly into a public way; or to a yard or court that opens to a public way. Minimum opening is 24 inches in height and 20 inches in width with a minimum net clear opening of not less than 5.7 square feet. The net clear opening dimension shall be the result of normal operation of the opening.

PROJECT INFO:

Assessors Parcel No.: 19339028
Zoning: R1-10
Occupancy Group: (Residential 3-Single Family Small Lot)
Name of Owner: Bhargav Natarajan & Lakshmi Thyagarajan
Email id: bhargavnat@gmail.com
reachlakshmit@gmail.com

Project Address: 1260 Payne Dr, Los Altos, CA 94024
Net Sqft of Lot: 8690 Sq.ft.
Existing House First Floor Area: 1322 Sq.ft.
Existing Garage Area: 491 Sq.ft. (Demolished)
Existing Deck Area:(Rear) 519 Sq.ft (Demolished)
Existing Covered Porch Area(Front): 20 Sq.ft. (Demolished)
Existing Shed-1(Rear): 26 Sq.ft. (Demolished)
Existing Shed-2 (Rear): 26 Sq.ft. (Demolished)
Existing Fireplace-1 10 Sq.ft. (Demolished)
Existing Fireplace-2 32 Sq.ft. (No change)

Existing House Height: 14'-5.5"
(N)Addition First Floor Area: 701 SQ.FT. (Part Garage + Part House)
(N)Addition Second Floor Area: 1015 SQ.FT. (House)
Proposed House First Floor 1570 SQ. FT.
Proposed House Second Floor 1015 SQ. FT.
Total Proposed House Area 2585 SQ.FT.
Proposed Garage Area 454 SQ. FT.
Proposed Encl. Porch: 32 SQ. FT.
Proposed Rear Deck: 365 SQ.FT.
Proposed House Height: 23'-1"
(E)No of Floors: 1
(P)No of Floors: 2
(E)Bed/Bath: 3Bed/2Bath
(P)Bed/Bath: 5Bed/3.5Bath

Existing Lot Coverage: $\frac{1322+491+10+20+26+26+32}{8690} = 0.22$ (22%)

Proposed Lot Coverage: $\frac{1570+454+32+32}{8690} = 0.24$ (24.02%)

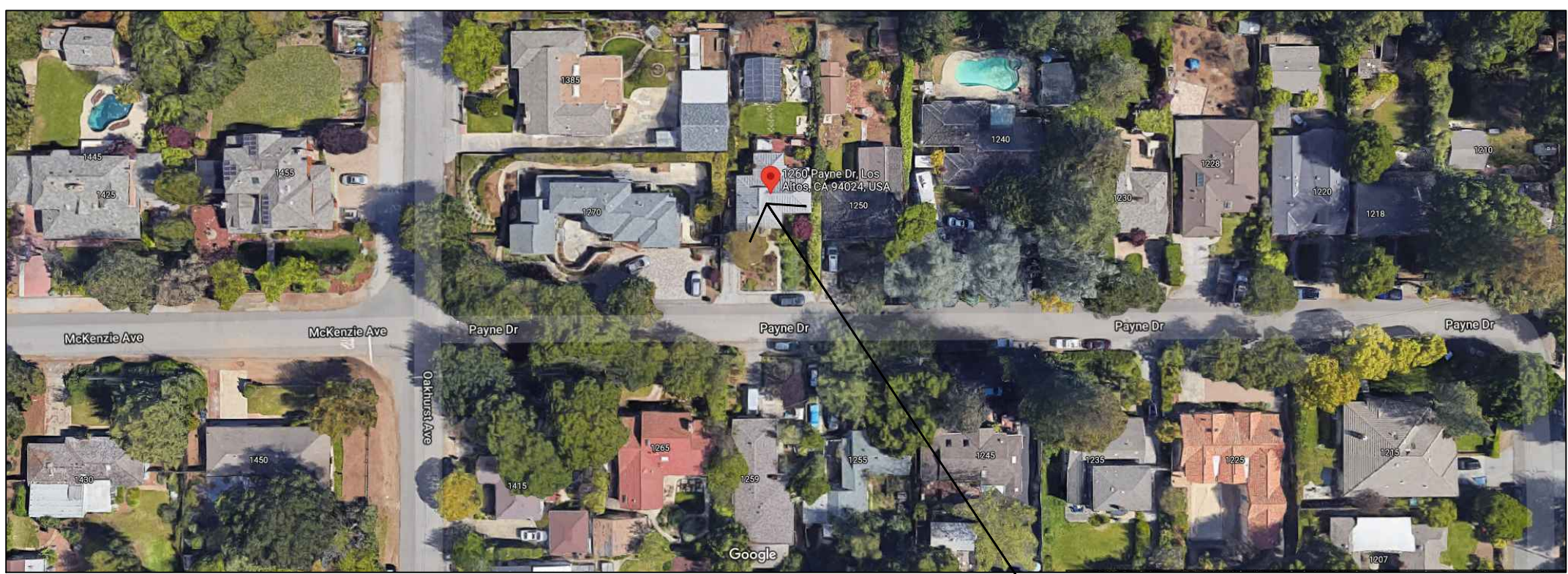
Existing FAR: $\frac{1322+491+ 26 + 26}{8690} = 0.21$ (21.46%)

Proposed FAR: $\frac{1570+1015+454}{8690} = 0.34$ (34.97%)

Type of construction: V-B
House is Fire Sprinklered: NO
Flood Zone: X
Seismic Hazard: -

SCOPE OF WORK:

- Remodel of Existing First Floor House
- New Addition of Second Floor
- Demolishing Existing Garage & Existing 2 Sheds
- Shifting Existing Solar Panels above Garage to roof of Remodeled Main House.
- (N) Landscaping for Front Yard.
- New Driveway & curb cutout
- Relocation of EV-C to Garage
- Addition of Half Bath on First Floor and 2 new Sola Tubes



LOCATION MAP

Site

SHEET INDEX:

- A1.0 COVER SHEET
- 1 EXISTING SITE SURVEY
- A1.1 EXISTING & PROPOSED SITE PLAN
- A1.2 NEIGHBORHOOD COMPATIBILITY SHEET
- A1.3 PROPOSED STREETScape ELEVATION & PHOTOGRAPHS
- A1.4 SITE PLAN DETAILS
- A1.5 EXISTING & DEMOLITION HOUSE FLOOR PLAN
- A1.6 PROPOSED HOUSE FIRST & SECOND FLOOR PLAN
- A1.7 PROPOSED FLOOR AREA DIAGRAM
- A1.8 EXISTING & PROPOSED HOUSE ROOF PLAN
- A1.9 EXISTING HOUSE ELEVATIONS
- A1.10 PROPOSED HOUSE ELEVATIONS
- A1.11 PROPOSED HOUSE ELEVATIONS
- A1.12 PROPOSED HOUSE SECTIONS
- A1.13 EXISTING GARAGE DRAWINGS
- A1.14 PROPOSED HOUSE 3D VIEWS
- A1.15 PROPOSED MEP FIRST FLOOR PLAN
- A1.16 PROPOSED MEP SECOND FLOOR PLAN
- L0 LANDSCAPE COVER SHEET
- L1 LANDSCAPE FRONT PLANTING PLAN
- L2 LANDSCAPE BACK & SIDEYARD PLANTING PLAN
- L3 LANDSCAPE HYDROZONES PLANTING PLAN
- L4 LANDSCAPE PLANTING PLAN

APPLICABLE CODES:

- 2019 California Building Code (Volume 1)
- 2019 California Building Code (Volume 2)
- 2019 California Residential Code
- 2019 California Green Building Standards Code
- 2019 California Electrical Code
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Fire Code
- 2019 California Building Energy Efficiency Standards Code
- The Applicable Codes Are as Amended by the State of California and the City of Los Altos

CONTACT

SHWETA SINGH
OPEN REMODEL
19400 STEVENS CREEK BLVD., CUPERTINO, CA 95014
PHONE: 408.368.2105
EMAIL: SHWETA@OPENREMODEL.COM

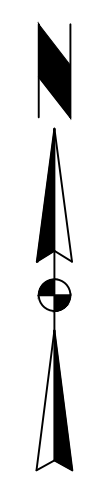
STRUCTURAL ENGINEERING:

TITLE 24:

ZONING COMPLIANCE						
	EXISTING		PROPOSED		ALLOWED/REQUIRED	
	VALUE	UNIT	VALUE	UNIT	VALUE	UNIT
LOT COVERAGE (Land area covered by all structures that are over 6 feet in height.)	1927	SF	2088	SF	2607	SF
	22	%	24.02%	%	30	%
FLOOR AREA: (Measured to the outside surfaces of exterior walls)	1865	SF	3039	SF	3042	SF
	20.80%	%	34.97%	%	35	%
FRONT SETBACK	30'-4"	FT	26'-8 1/2"/35'-4"	FT	25	FT
REAR SETBACK	24'-3 1/2"	FT	72'-0 1/2"/79'-1"	FT	25	FT
RIGHT SIDE (1ST/2ND)	5'-5"	FT	5'-5"/12'-6"	FT	5'-3" / 10'-3"	FT
LEFT SIDE (1ST/2ND)	9'-11"	FT	9'-11"/12'-6"	FT	5'-3" / 10'-3"	FT

SQUARE FOOTAGE BREAKDOWN						
	EXISTING		CHANGE IN		TOTAL PROPOSED	
	VALUE	UNIT	VALUE	UNIT	VALUE	UNIT
HABITABLE LIVING AREA (Includes Habitable Basement areas)	1322	SF	1322	SF	2578	SF
NON-HABITABLE AREA: (Does not include covered porches or open structures)	491	SF	-	SF	454	SF

LOT CALCULATIONS						
NET LOT AREA	EXISTING		PROPOSED		ALLOWED/PERMITTED	
	VALUE	UNIT	VALUE	UNIT	VALUE	UNIT
	8690	SF				
FRONT YARD HARDSCAPE AREA: (Hardscape area in the front yard setback shall not exceed 50%)	650	SF	696	SF	718.75	SF
	37.24	%	45.34	%	50	%
LANDSCAPING BREAKDOWN	VALUE				UNIT	
TOTAL HARDSCAPE AREA	3696				SF	
EXISTING SOFTSCAPE (UNDISTURBED) AREA	2969				SF	
NEW SOFTSCAPE (NEW OR REPLACED LANDSCAPING) AREA:	2025				SF	
SUM OF ALL THREE SHOULD BE EQUAL TO SITE'S NET LOT AREA	8690				SF	



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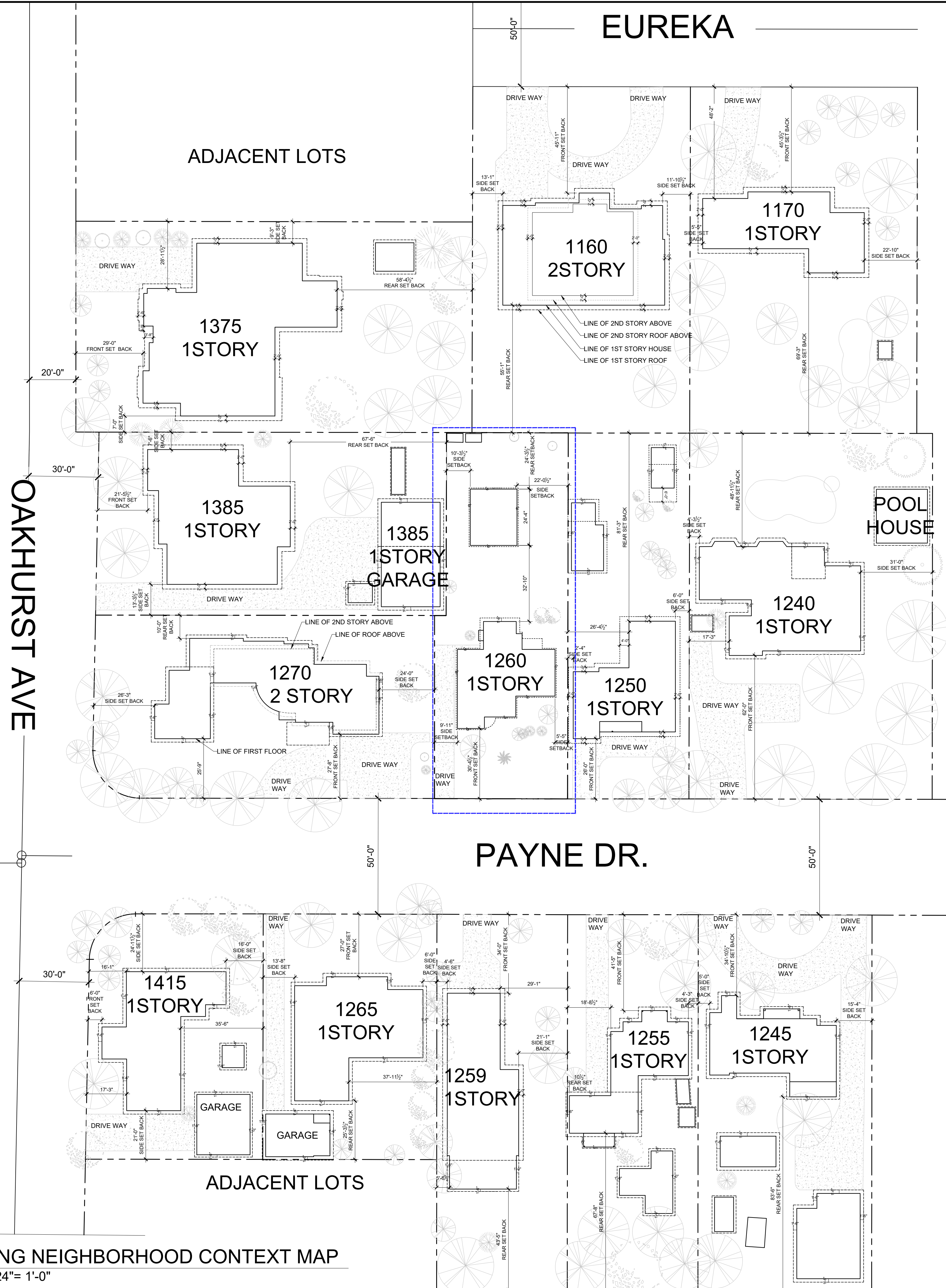
Title
**NEIGHBORHOOD
 COMPATIBILITY SHEET**

Date
 02.02.22

Scale
 AS SHOWN

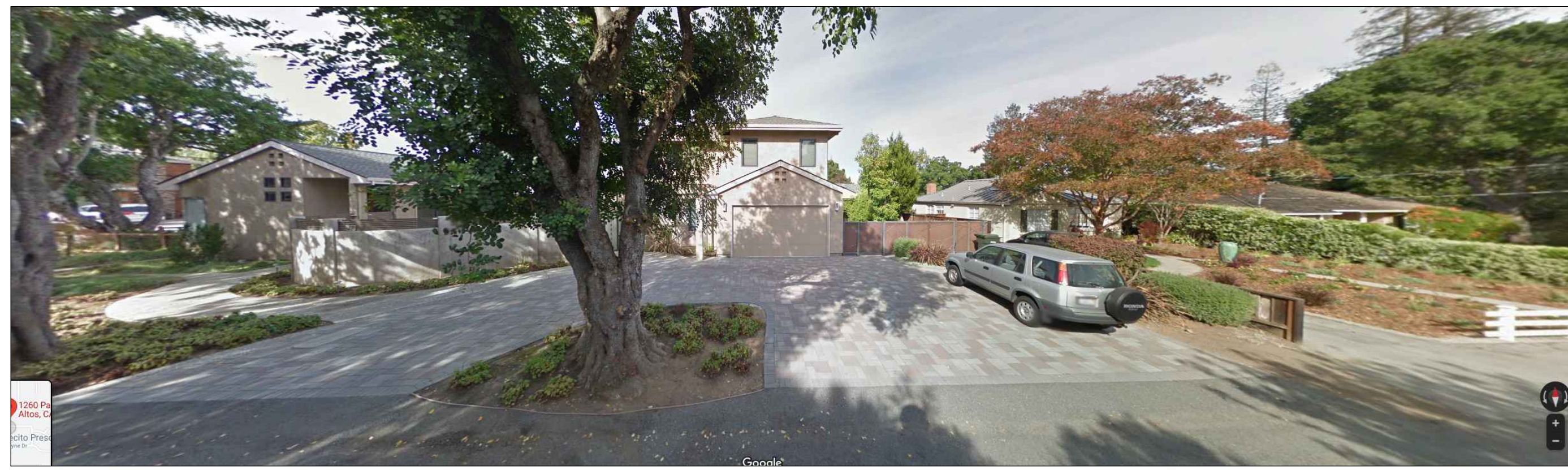
Drawing No.

A1.2



EXISTING NEIGHBORHOOD CONTEXT MAP
 SCALE: 1/24"= 1'-0"

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1270 PAYNE DRIVE



1270 PAYNE DRIVE

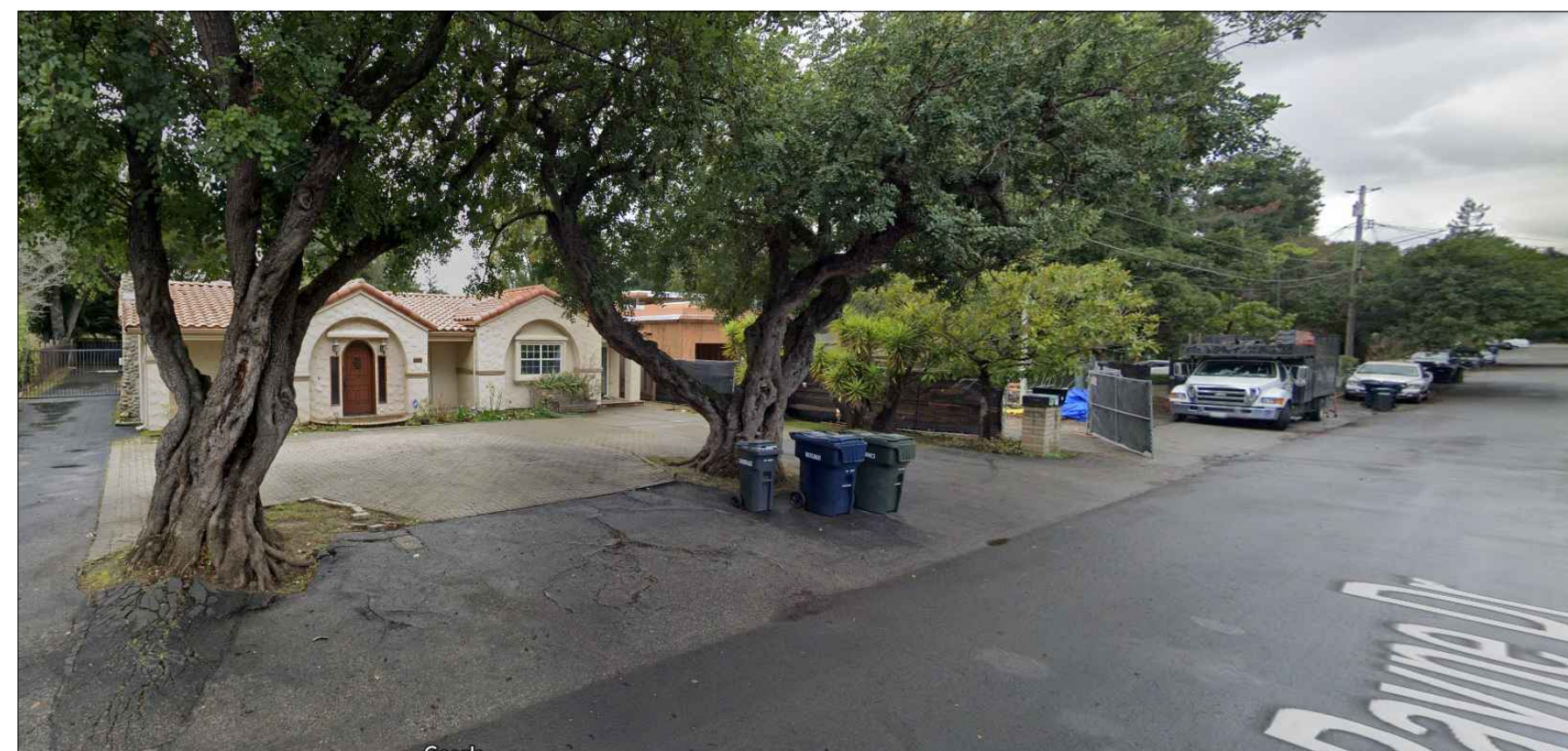


1385 OAKHURST AVE & 1270 PAYNE DRIVE



PROPOSED STREETSCAPE ELEVATION

SCALE: 1/4" = 1'-0"



1225 PAYNE DRIVE



1230 & 1228 PAYNE DRIVE



1245 PAYNE DRIVE

Firm Name and Contact :



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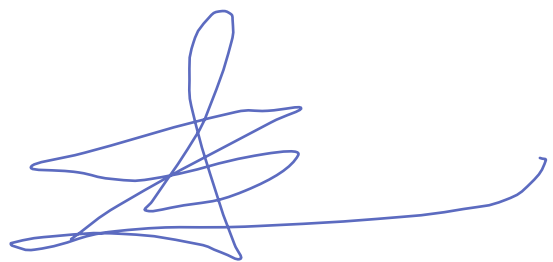
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**Title
 PROPOSED STREETSCAPE
 ELEVATION &
 PHOTOGRAPHS**

Date
 02.02.22

Scale
 AS SHOWN

Drawing No.

A1.3

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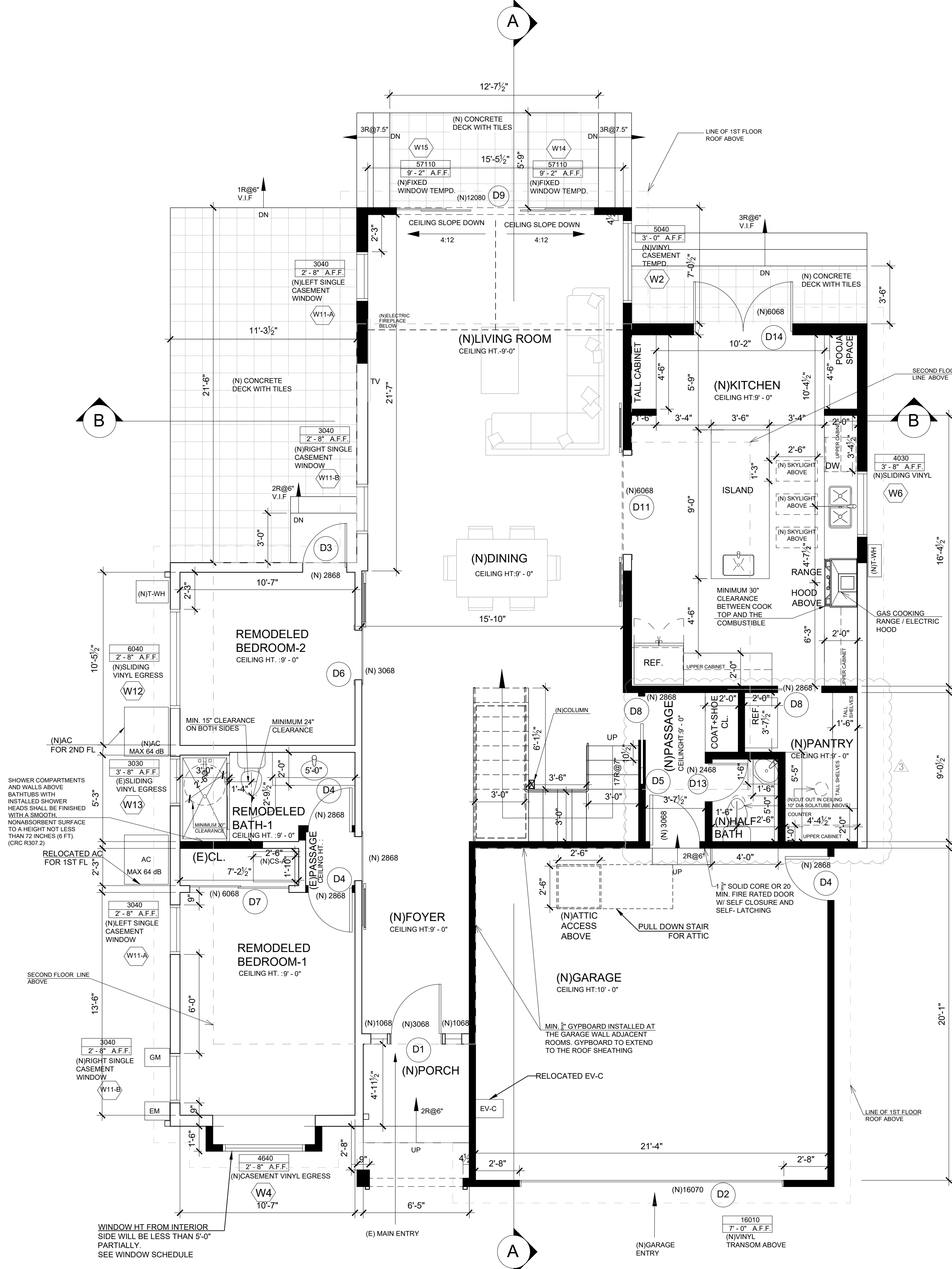
**Title
 PROPOSED HOUSE
 FIRST & SECOND FLOOR
 PLAN**

Date
 02.02.22

Scale
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Drawing No.

A1.6



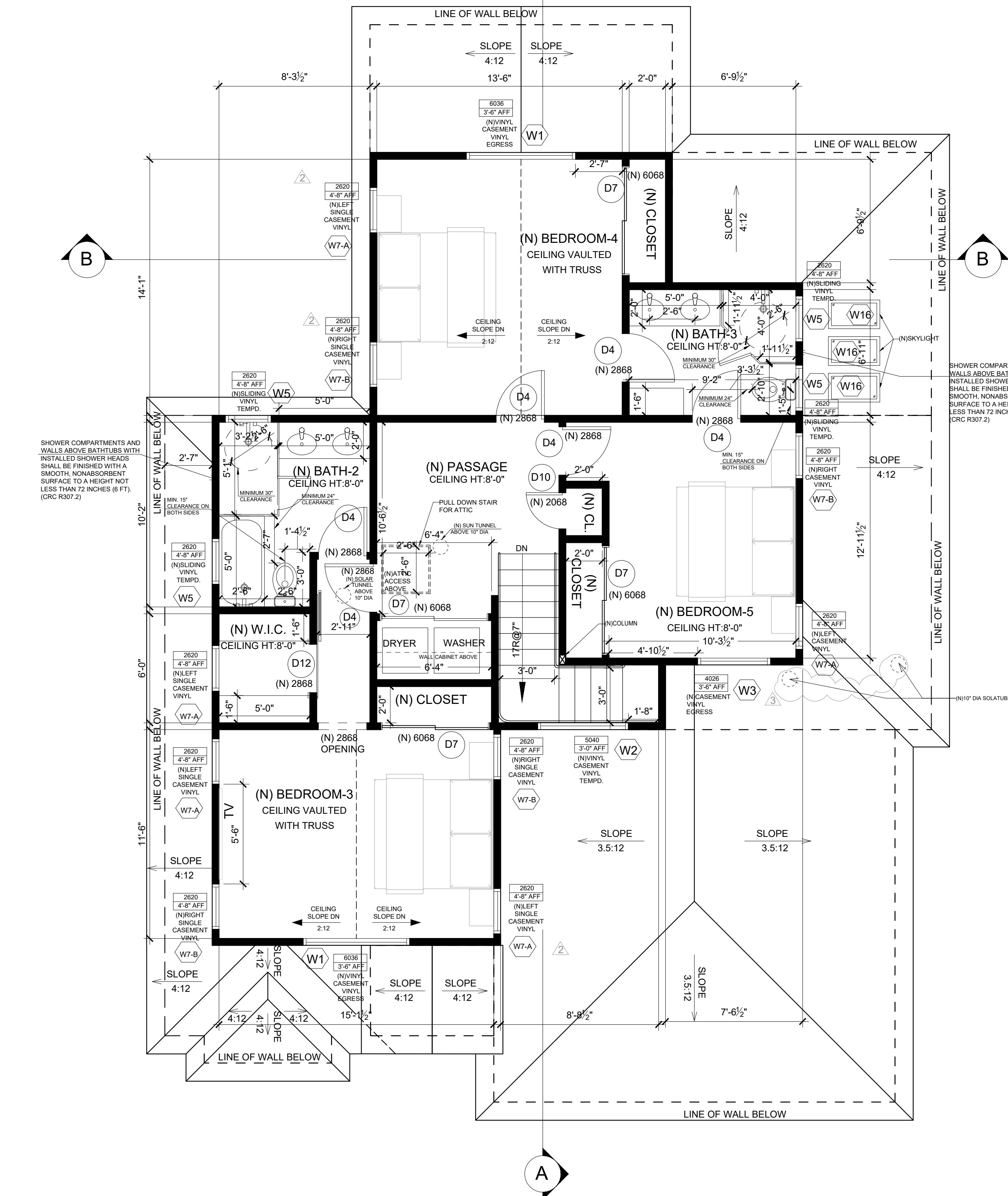
PROPOSED HOUSE FIRST FLOOR PLAN
 SCALE: 1/4"= 1'-0"

PROPOSED FIRST FLOOR HOUSE AREA : 1570 SQ. FT.
 (N)GARAGE: 454 SQ. FT.
 (N)ENCL.PORCH: 32 SQ. FT.
 (N)CONCRETE DECK: 365 SQ.FT.

- FT FAUCET
- AC A/C EXTERNAL UNIT
- WM WATER METER
- SW-C SEWER CLEANOUT
- GM GAS METER
- EM ELECTRIC METER
- CS-A CRAWL SPACE ACCESS
- WH WATER HEATER
- EXISTING WALLS
- NEW WALLS
- DEMOLISHING WALLS

PROPOSED HOUSE SECOND FLOOR PLAN
 SCALE: 1/4"= 1'-0"

(N)HOUSE SECOND FLOOR: 1015 SQ. FT.



- FT FAUCET
- AC A/C EXTERNAL UNIT
- WM WATER METER
- SW-C SEWER CLEANOUT
- GM GAS METER
- EM ELECTRIC METER
- CS-A CRAWL SPACE ACCESS
- WH WATER HEATER
- EXISTING WALLS
- NEW WALLS
- DEMOLISHING WALLS

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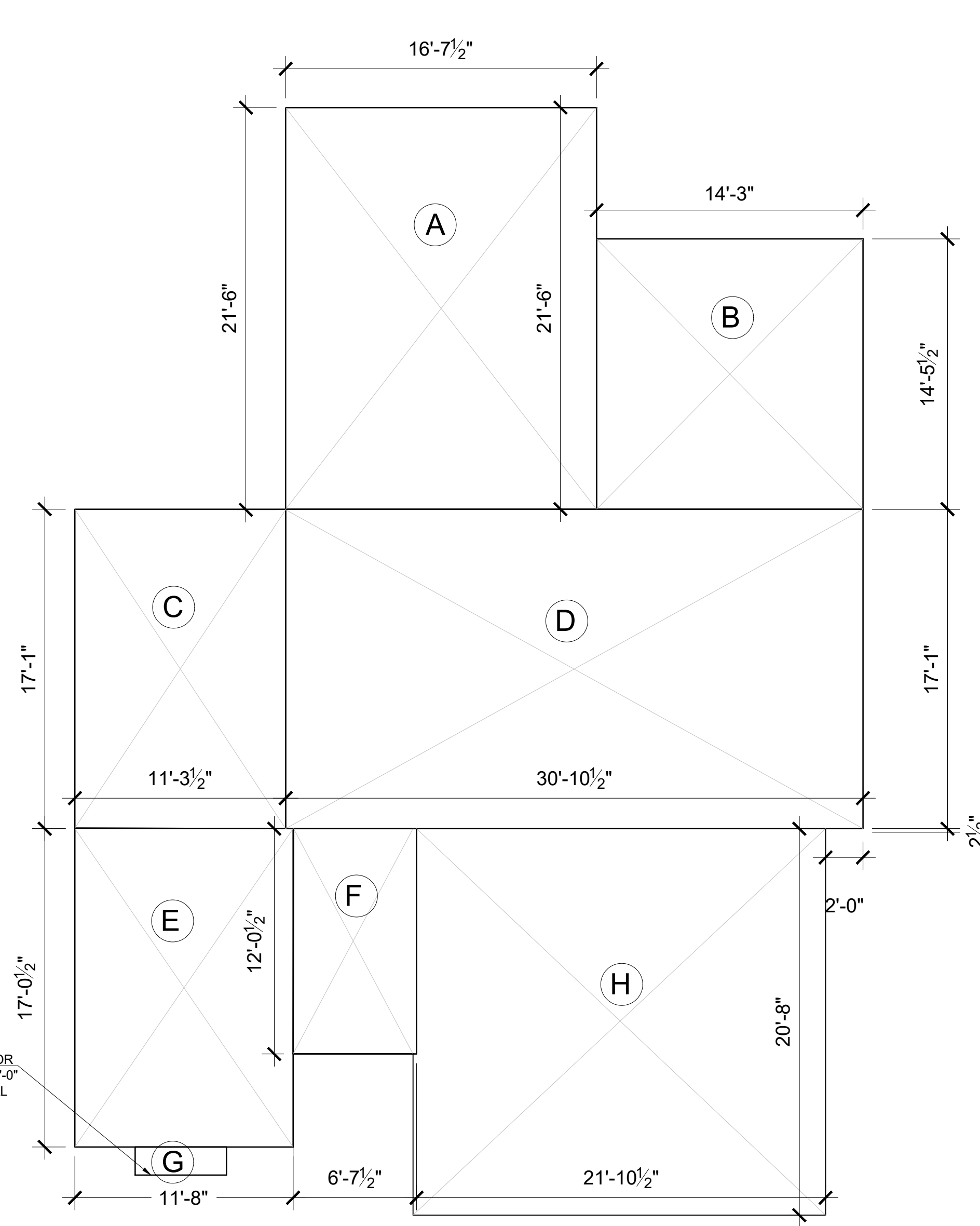
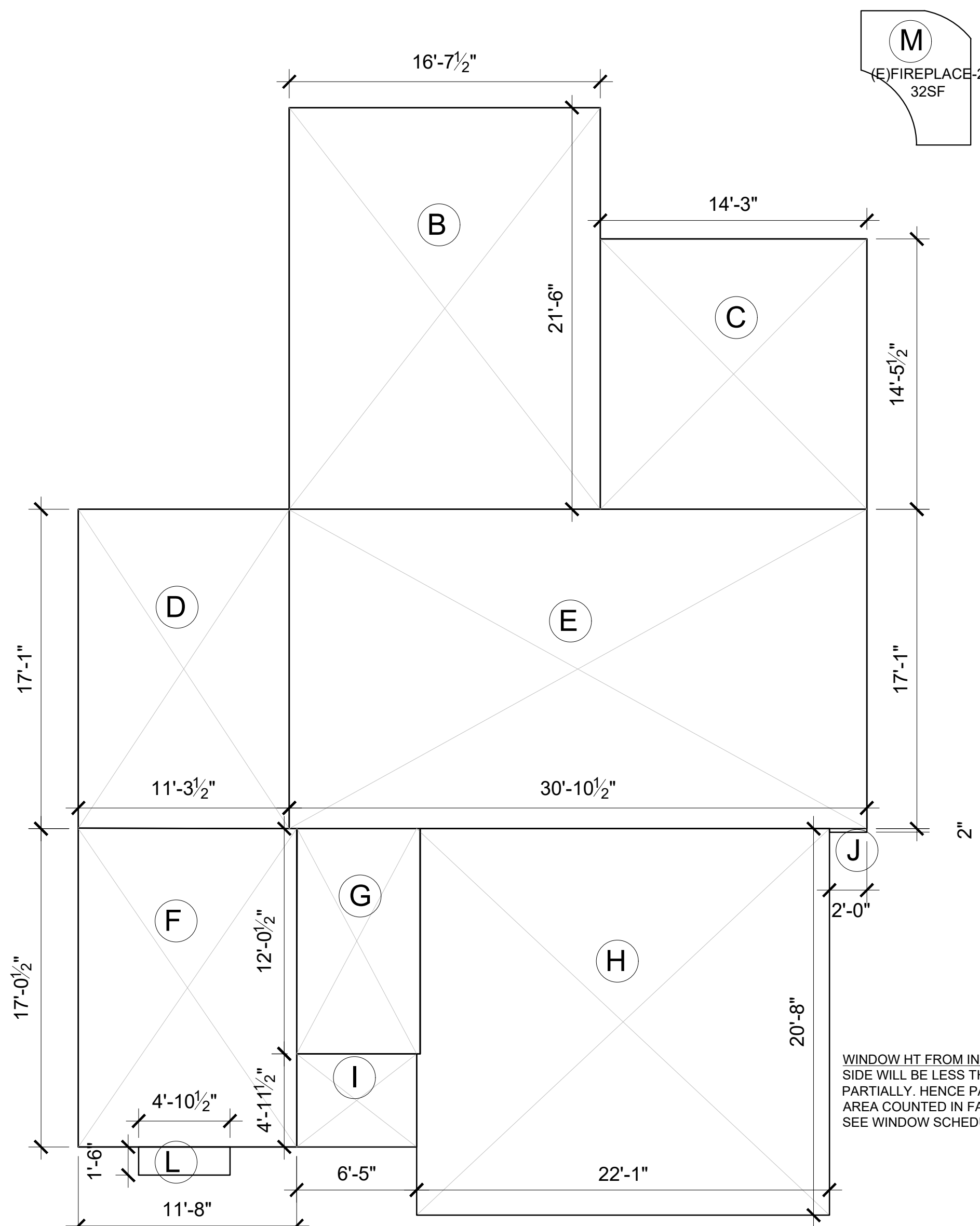
**PROPOSED FLOOR
 AREA DIAGRAM**

Date
 02.02.22

Scale
 AS SHOWN

Drawing No.

A1.7



LOT COVERAGE

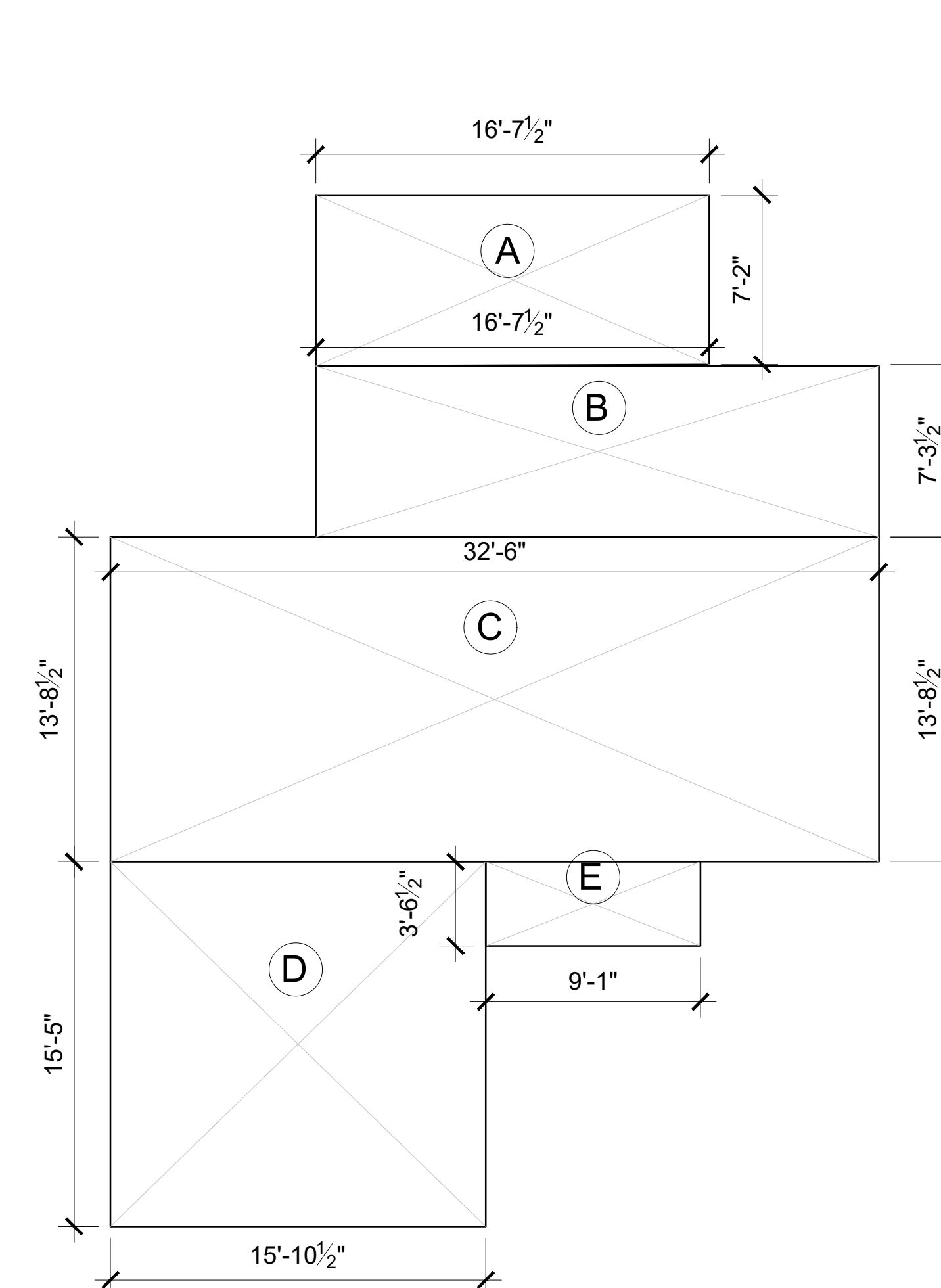
SCALE: 1/4"= 1'-0"

BUILDING COVERAGE CALCULATION		
AREA	DIMENSIONS	FF (Sqft)
B	16'-8" X 21'-6"	357
C	14'-3" X 14'-5"	207
D	11'-3" X 17'-0"	193
E	30'-10" X 17'-0"	528
F	11'-8" X 17'-0"	199
G	6'-4" X 12'-0"	78
H	20'-8" X 22'-0"	454 (N)GARAGE
I	6'-5" X 4'-11"	32 (N)PORCH
J	3'-10" X 0'-3"	1
K	(E)FIREPLACE-2	32
L	4-10.5" X 1'-6"	7
TOTAL LOT COVERAGE		2088
TOTAL LOT COVERAGE % =		2088 / 8690 = 24.02%

FAR FIRST FLOOR

SCALE: 1/4"= 1'-0"

BUILDING FLOOR AREA CALCULATION		
AREA	DIMENSIONS	FF (Sqft)
A	16'-8" X 21'-6"	358
B	14'-3" X 14'-5"	207
C	11'-3" X 17'-0"	193
D	30'-10" X 17'-0"	528
E	11'-8" X 17'-0"	199
F	6'-4" X 12'-0"	78
G	4-10.5" X 1'-6"	7
FIRST FLOOR HOUSE FAR -		1570
H	21'-10.5" X 20'-8"	454
TOTAL FAR FIRST FLOOR -		2024 SF



FAR-2ND FLOOR

SCALE: 1/4"= 1'-0"

BUILDING FLOOR AREA CALCULATION -2ND FLOOR		
AREA	DIMENSIONS	FF (Sqft)
A	7'-2" X 16'-8"	120
B	23'-10" X 7'-3"	172
C	13'-8" X 32'-5"	446
D	15'-10" X 15'-5"	245
E	9'-0" X 3'-6"	32
TOTAL FAR -2ND FLOOR		1015 SF

TOTAL FAR % - 2024+1015=3039/8690=34.97%

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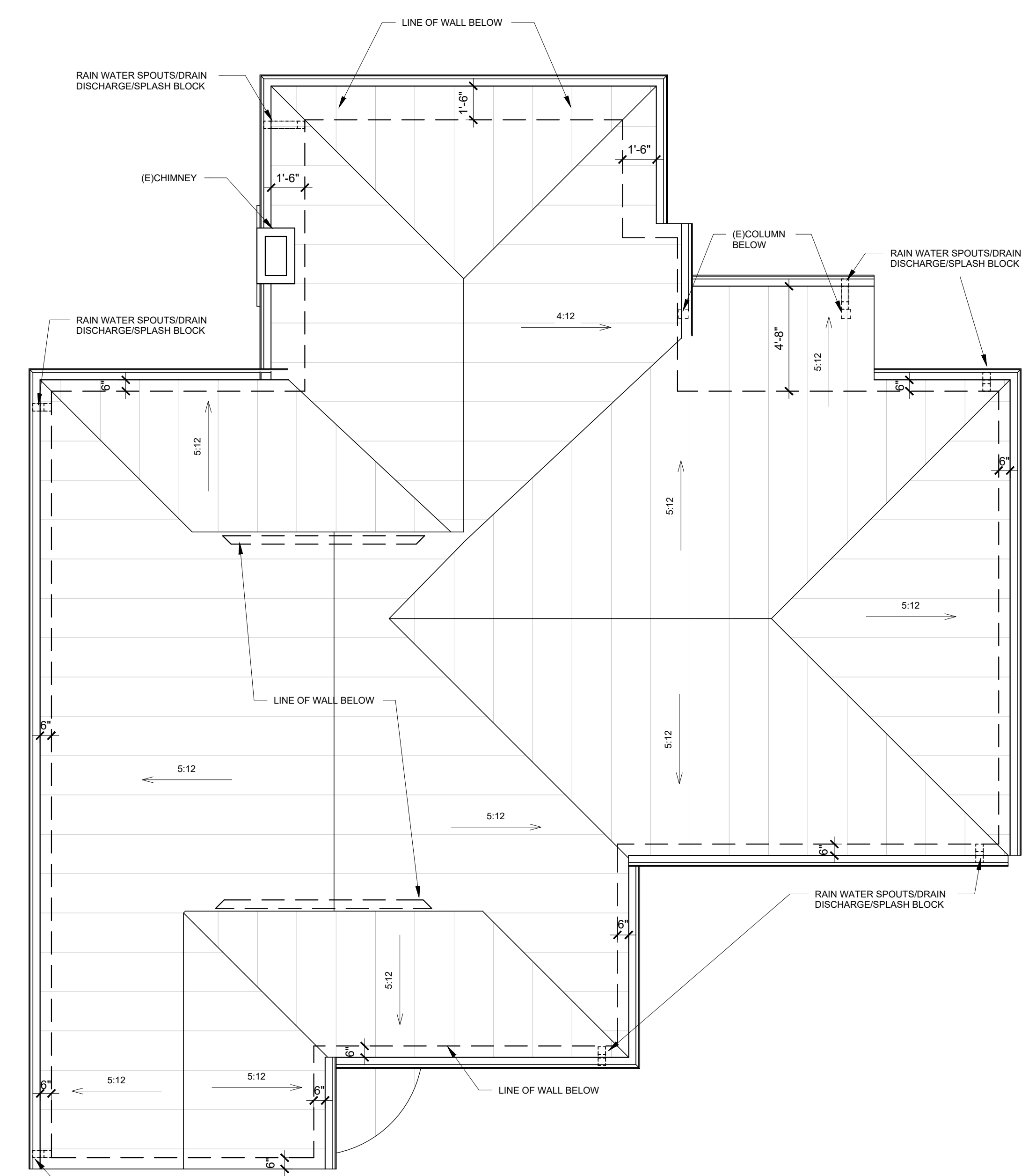
Title
**EXISTING & PROPOSED
 ROOF PLAN**

Date
 02.02.22

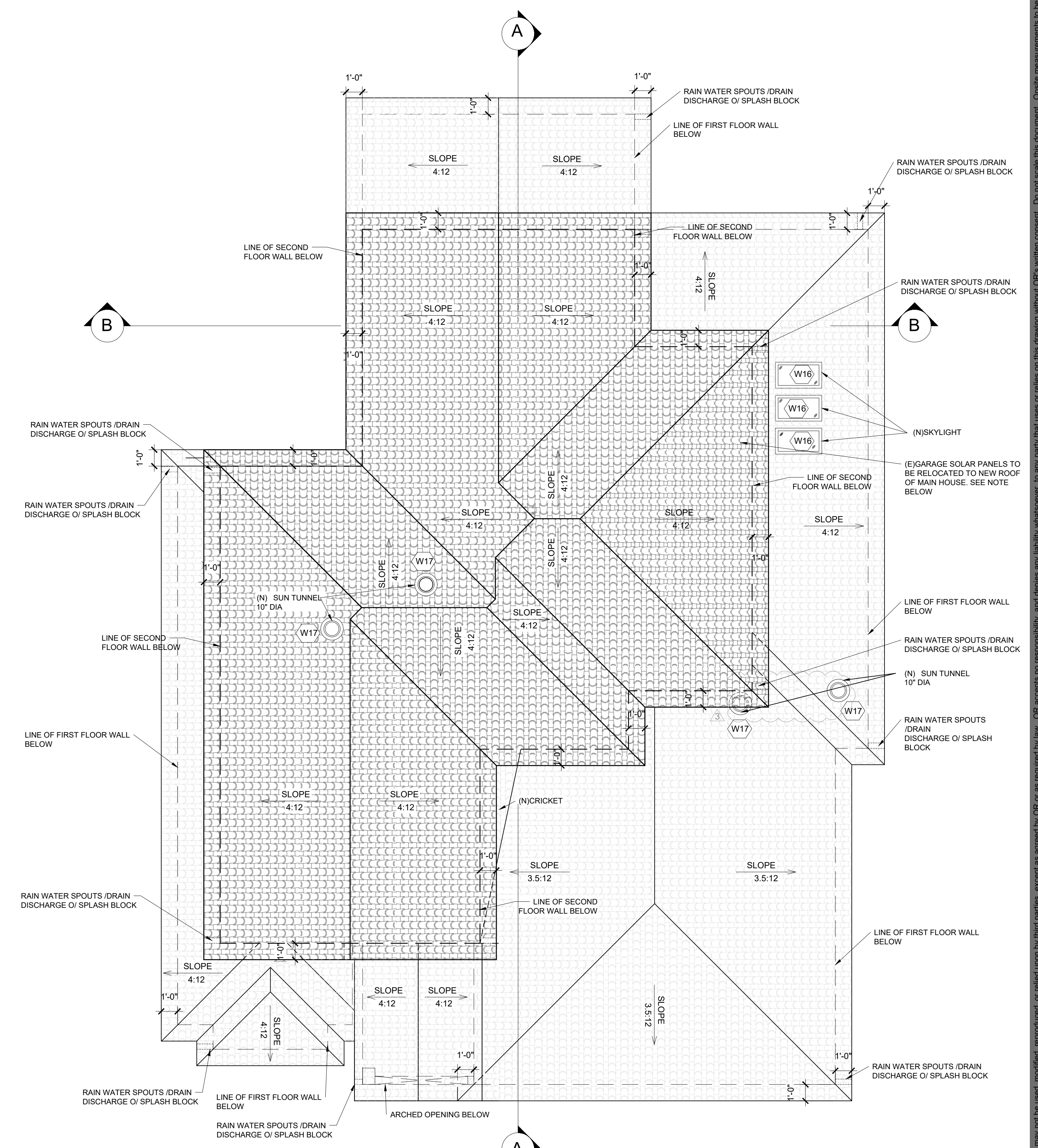
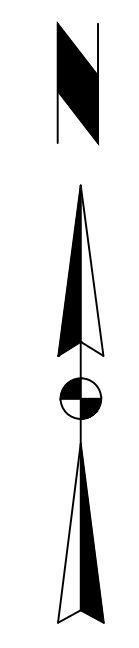
Scale
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A1.8



EXISTING ROOF PLAN
 SCALE: 1/4" = 1'-0"



PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"



NOTE: FOR SOLAR PANEL RELOCATION:
 HOME OWNER TO WORK WITH SOLAR
 COMPANY TO RELOCATE PANELS

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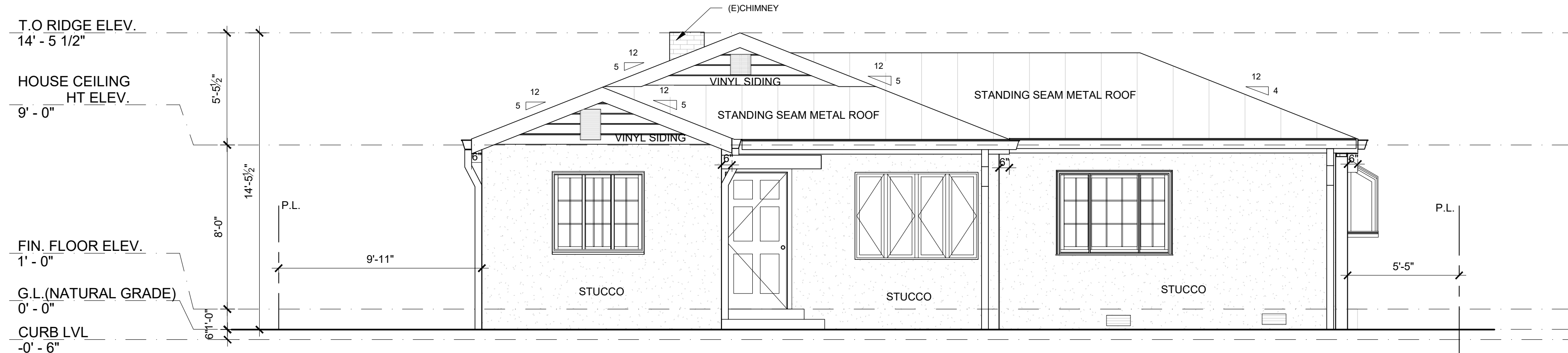


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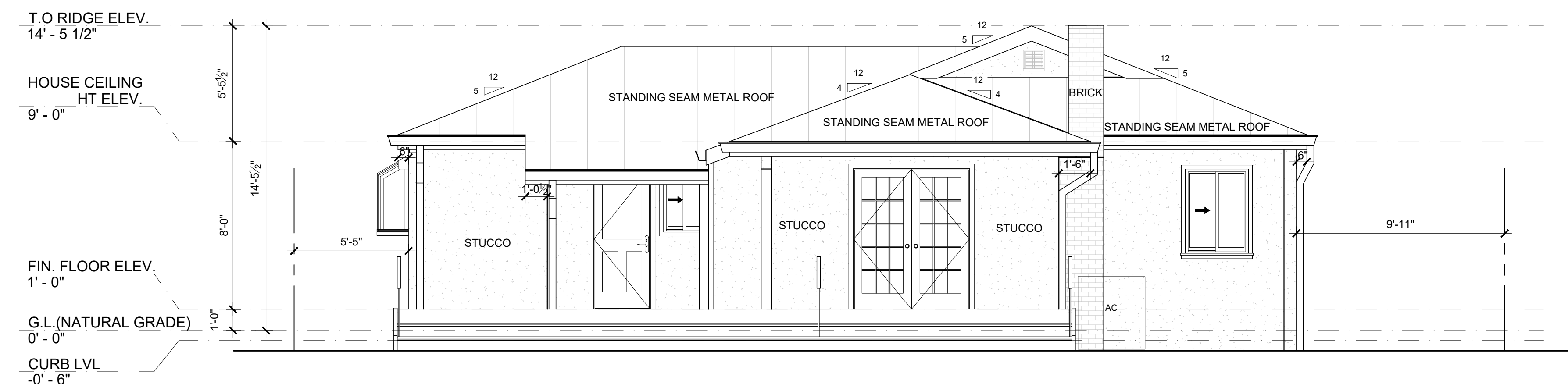
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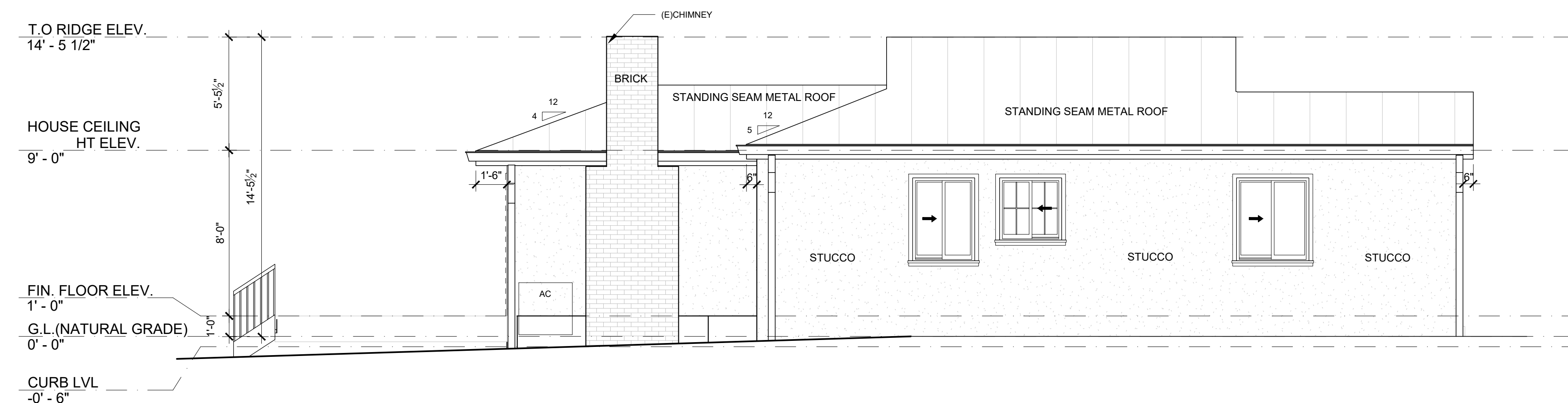
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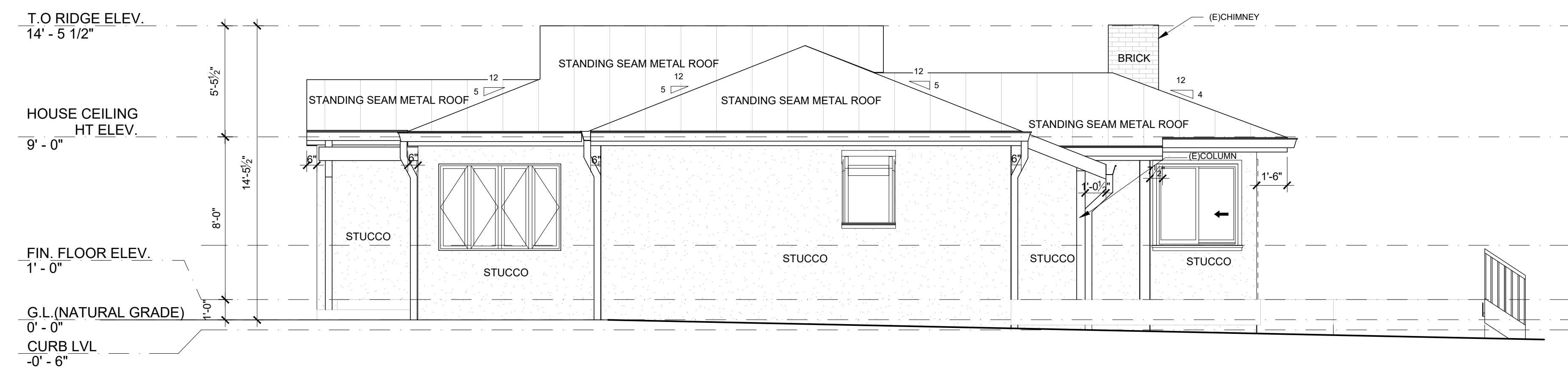
EXISTING SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION
 SCALE: 1/4" = 1'-0"

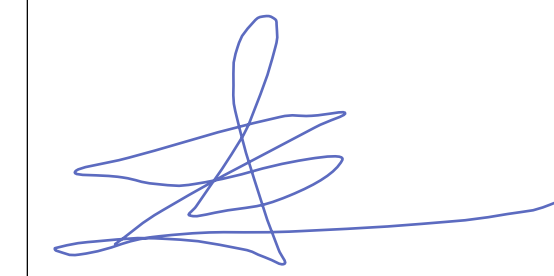


EXISTING EAST ELEVATION
 SCALE: 1/4" = 1'-0"

No.	Date	Revision
1	08-03-21	PLAN CHECK COMMENTS
2	01-14-22	PLAN CHECK COMMENTS-2
3	02-02-22	OWNER REV.

DESIGN MANAGER:

Shweta Singh



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Title

EXISTING ELEVATIONS

Date

02.02.22

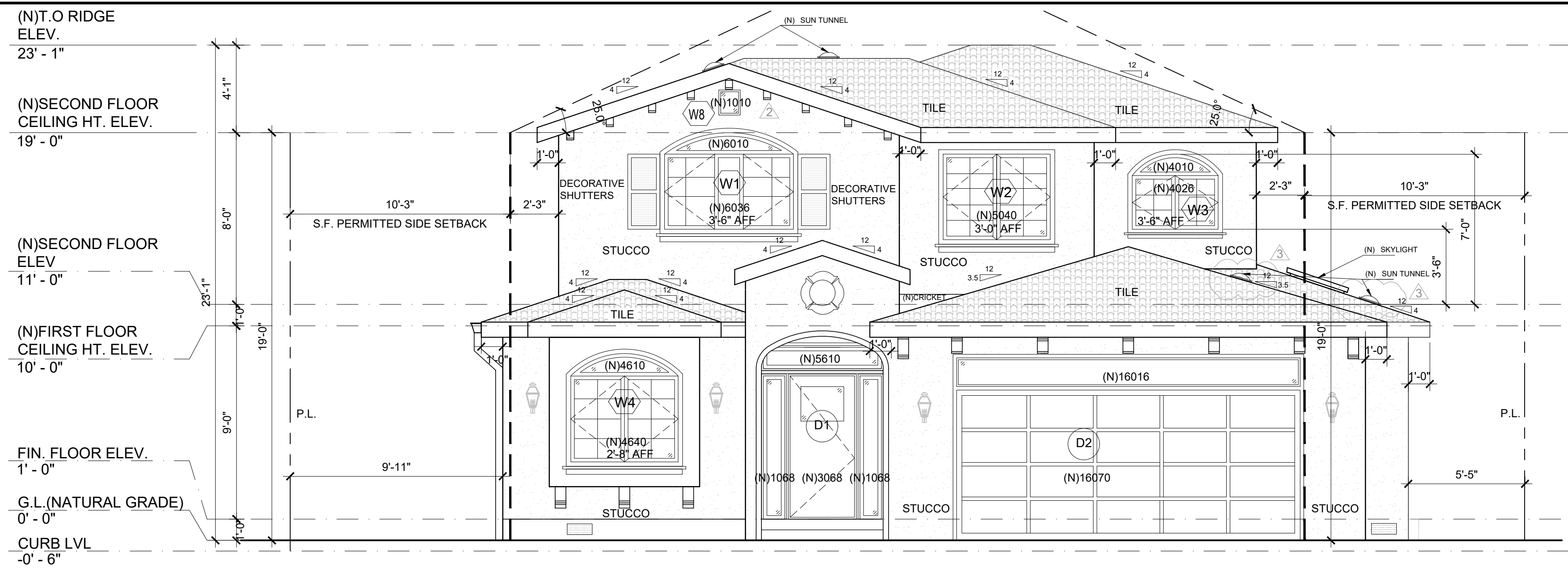
Scale

AS SHOWN

Drawing No.

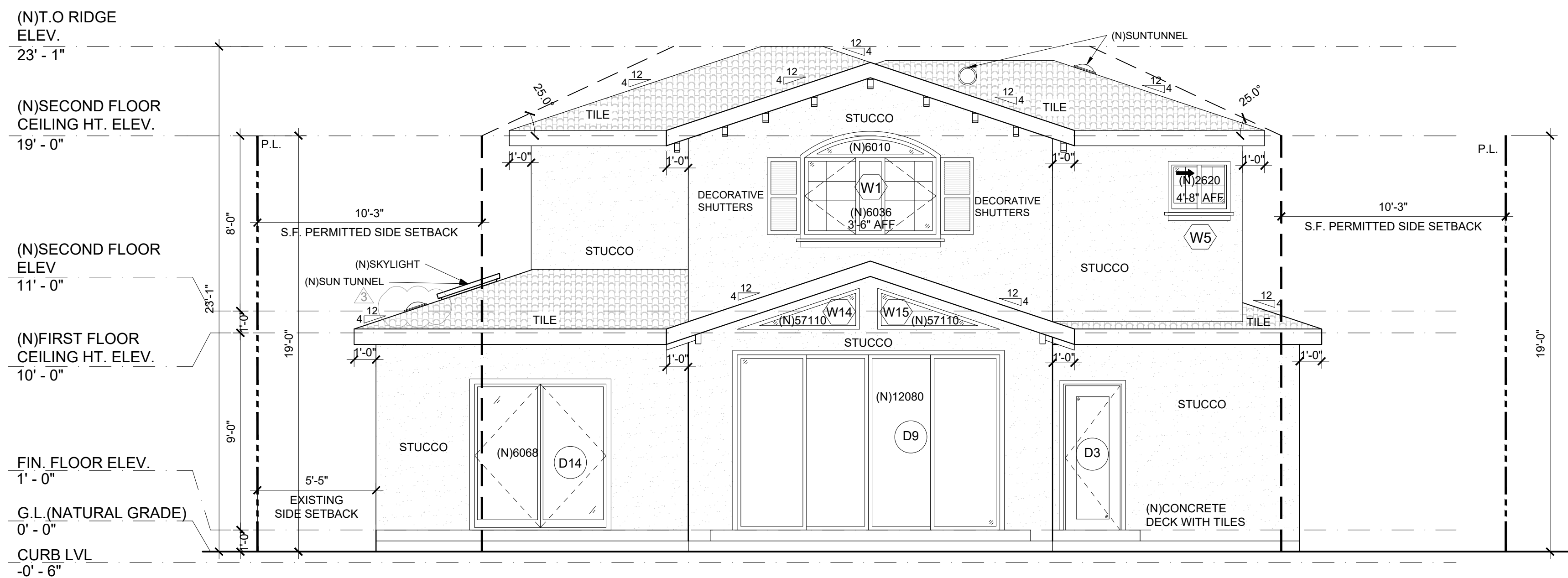
A1.9

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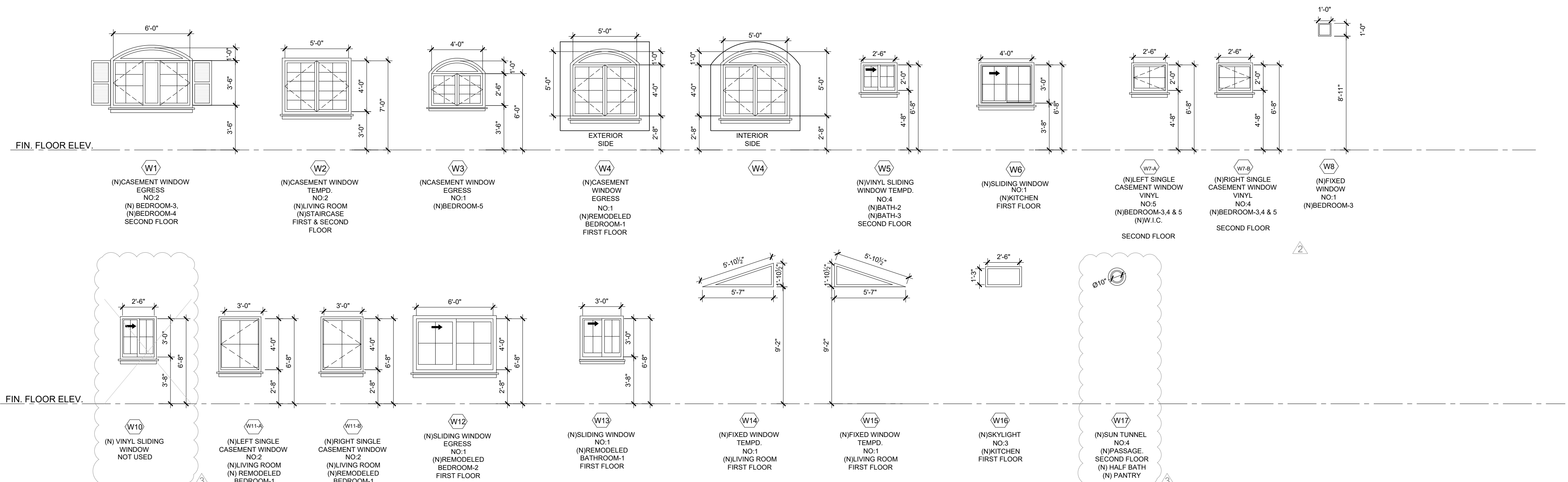
PROPOSED SOUTH ELEVATION (FRONT)

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION (REAR)

SCALE: 1/4" = 1'-0"



WINDOW SCHEDULE

SCALE: 3/16" = 1'-0"

MATERIAL BOARD



BRAVA COMPOSITE BARREL ROOF TILE

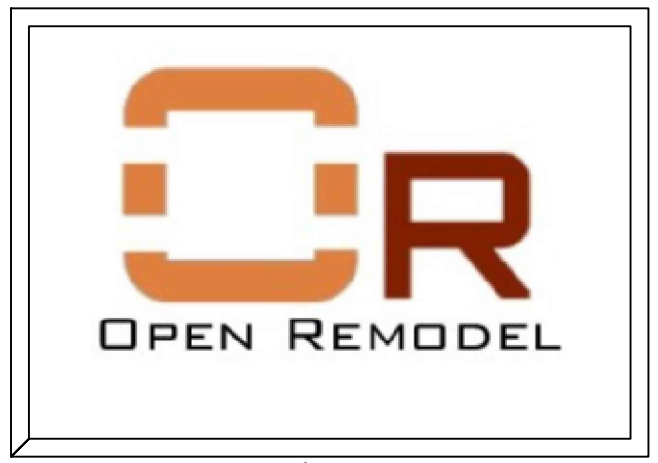


STUCCO WALL FINISH



VANTAGE 2 PACK BLACK LOUVERED VINYL EXTERIOR DECORATIVE SHUTTERS

Firm Name and Contact :

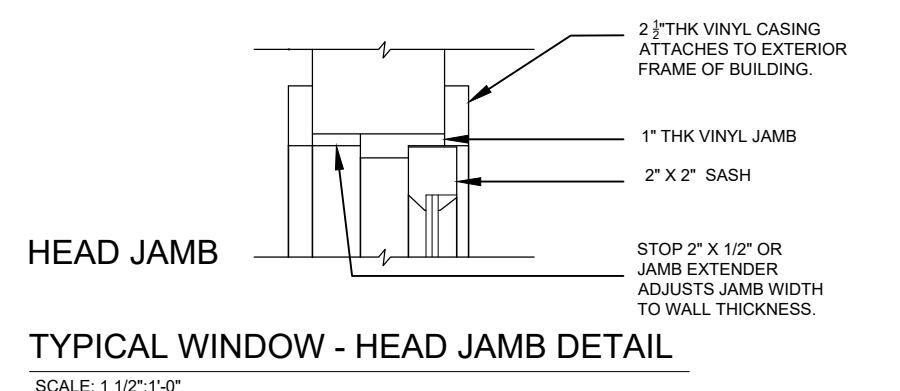


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RESIDENCE REMODEL

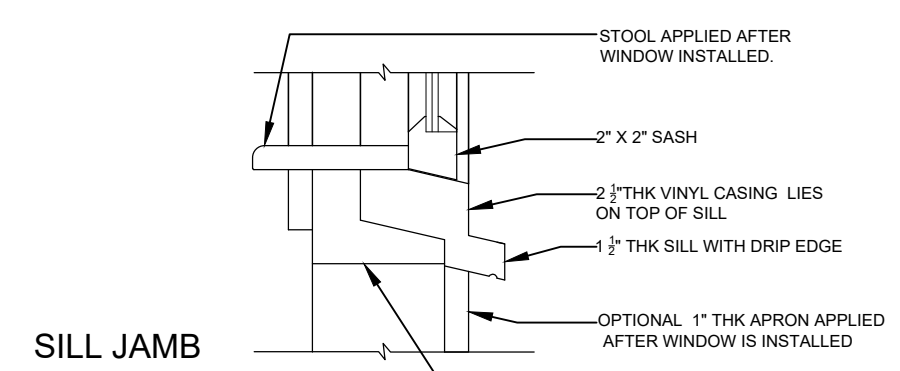
1260 PAYNE DRIVE, LOS ALTOS
NATARAJAN & THYAGARAJAN
RESIDENCE



HEAD JAMB

TYPICAL WINDOW - HEAD JAMB DETAIL

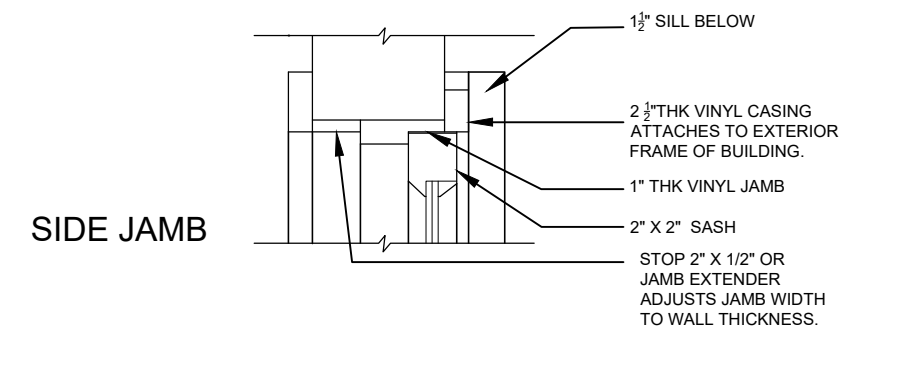
SCALE: 1 1/2" = 1'-0"



SILL JAMB

TYPICAL WINDOW - SILL JAMB DETAIL

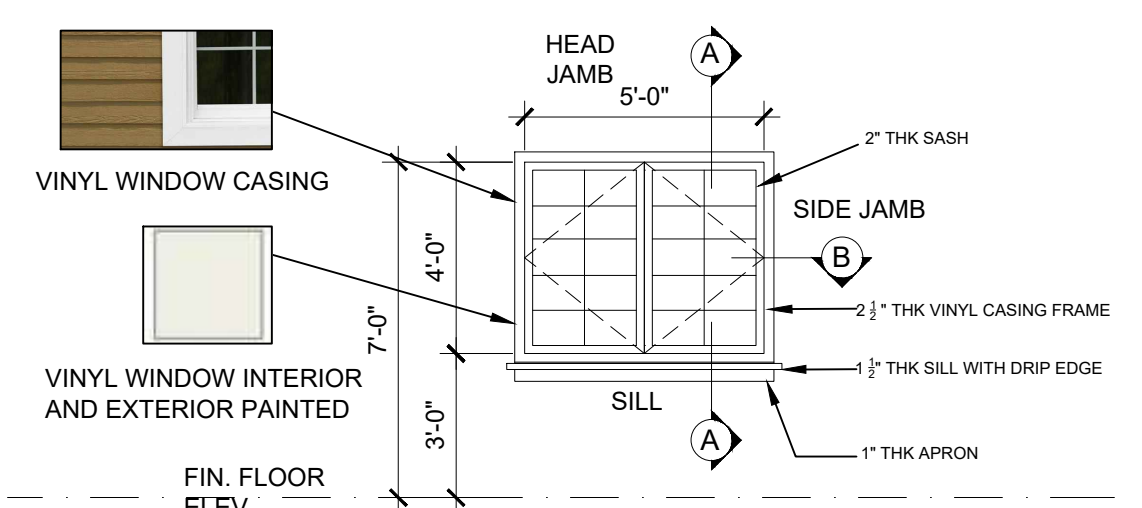
SCALE: 1 1/2" = 1'-0"



SIDE JAMB

TYPICAL WINDOW - SIDE JAMB DETAIL

SCALE: 1 1/2" = 1'-0"

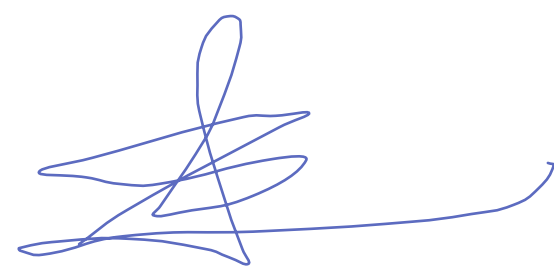


TYPICAL WINDOW DETAILS

SCALE: 7/8" = 1'-0"

No.	Date	Revision
1	08-03-21	PLAN CHECK COMMENTS
2	01-14-22	PLAN CHECK COMMENTS-2
3	02-02-22	OWNER REV.

DESIGN MANAGER:
Shweta Singh



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Title
PROPOSED ELEVATIONS

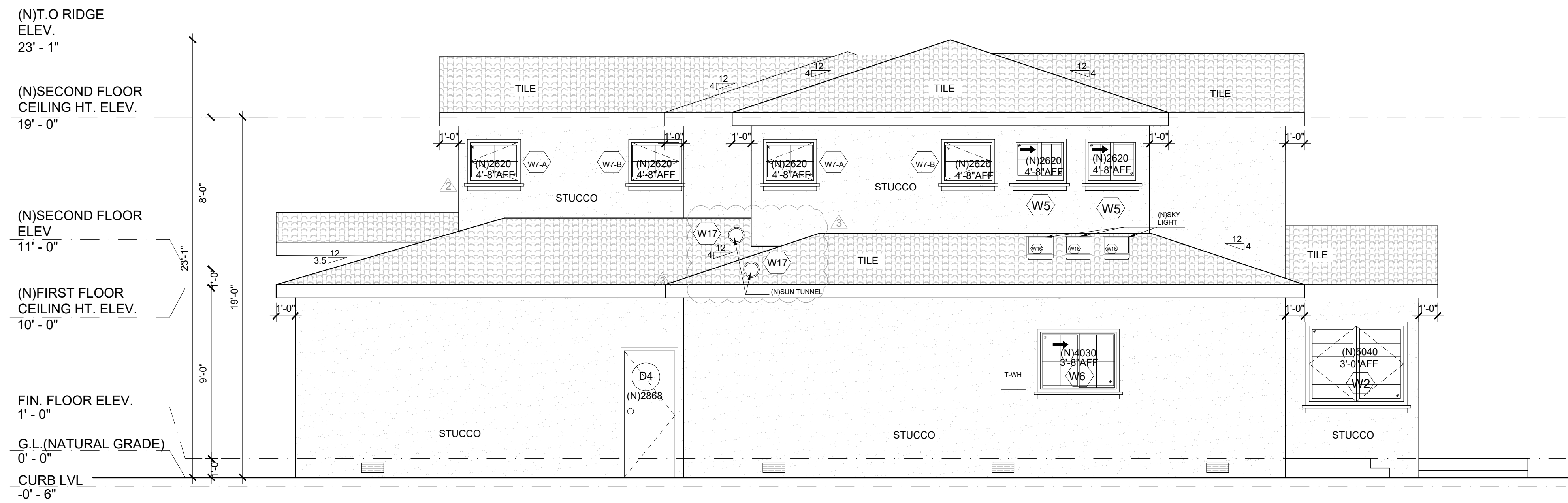
Date
02.02.22

Scale
AS SHOWN

Drawing No.

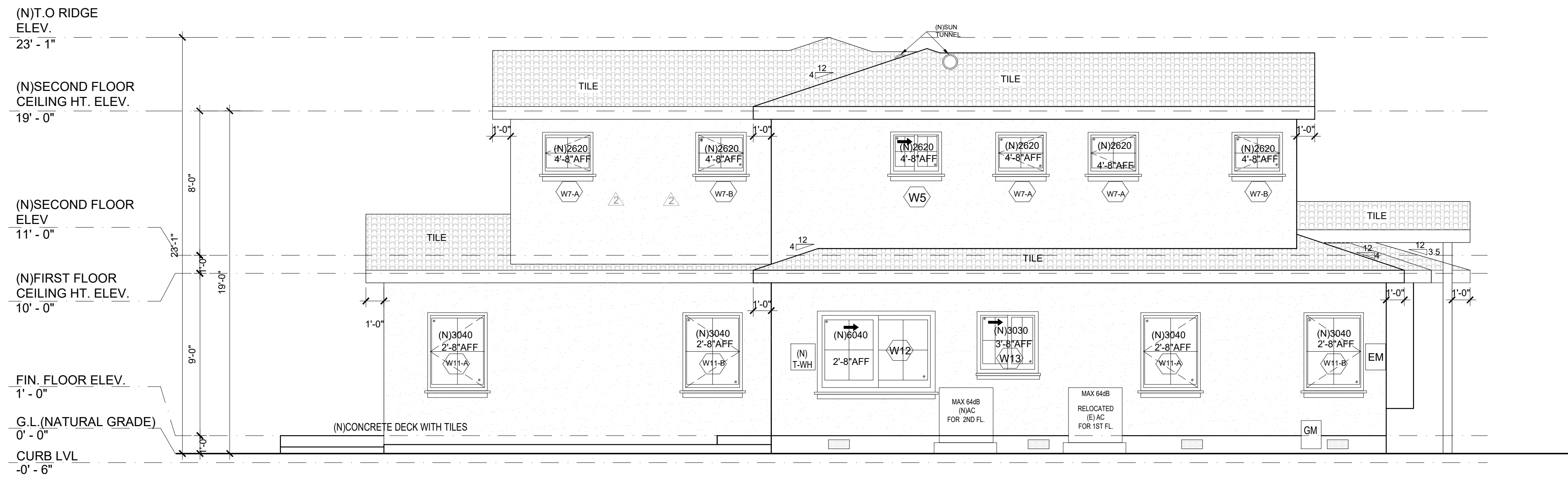
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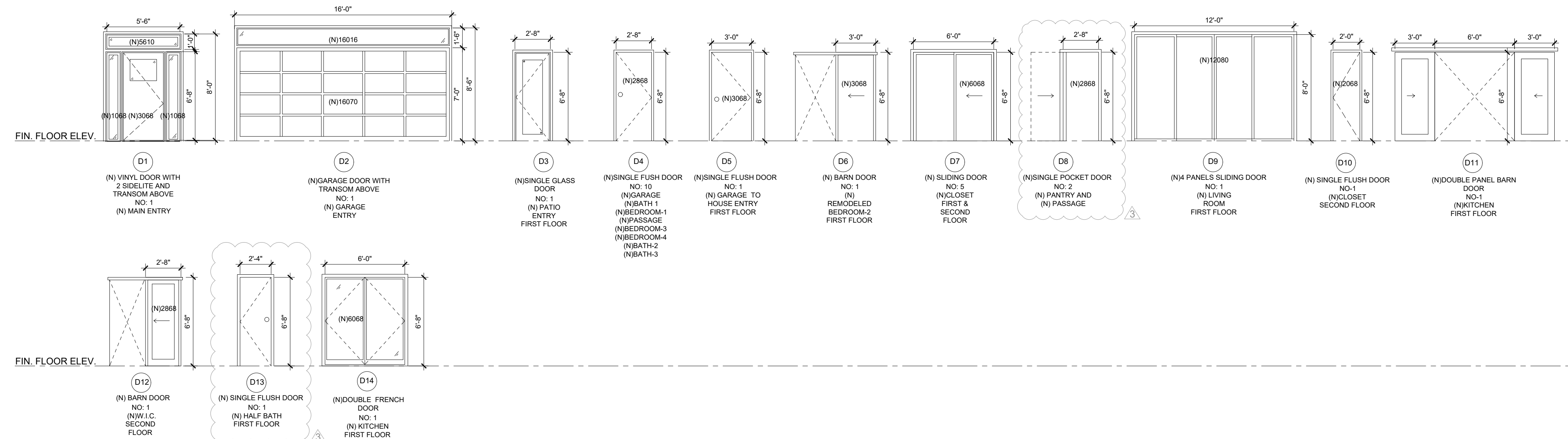
PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



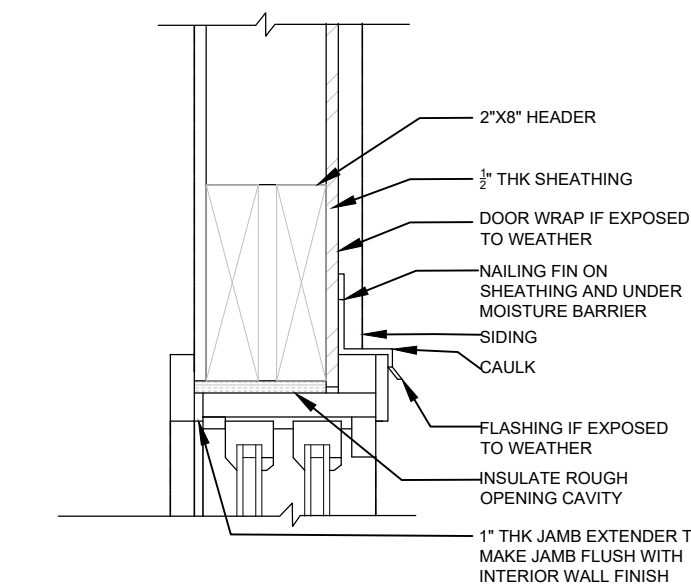
PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



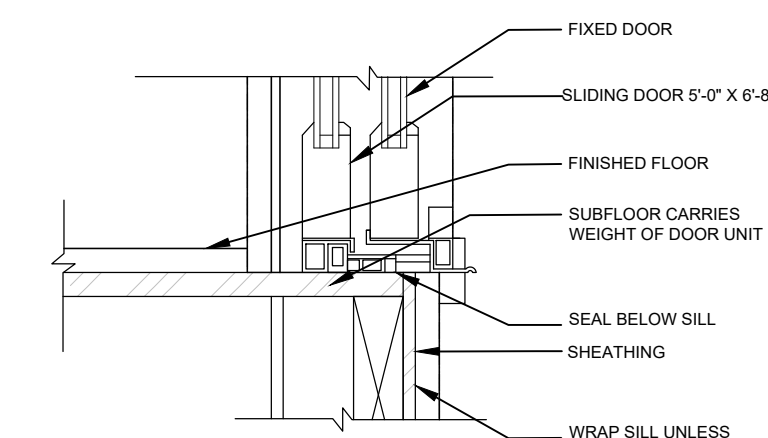
DOOR SCHEDULE

SCALE: 3/16" = 1'-0"



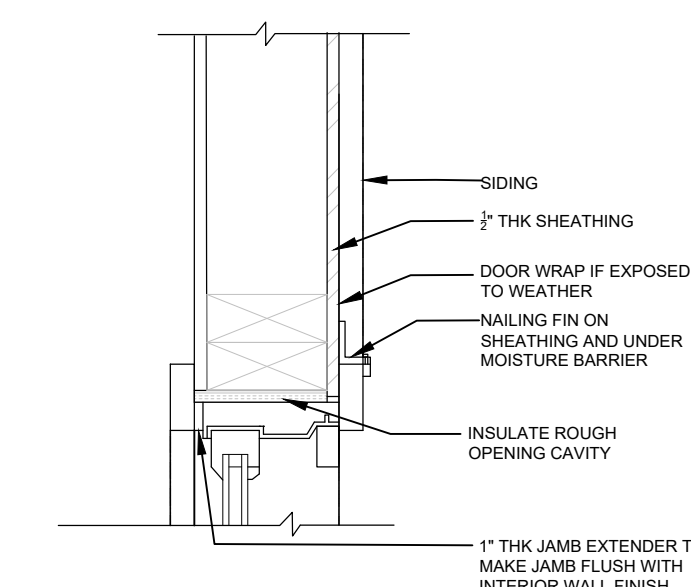
TYPICAL SLIDING DOOR - HEAD JAMB DETAIL

SCALE: 1 1/2" = 1'-0"



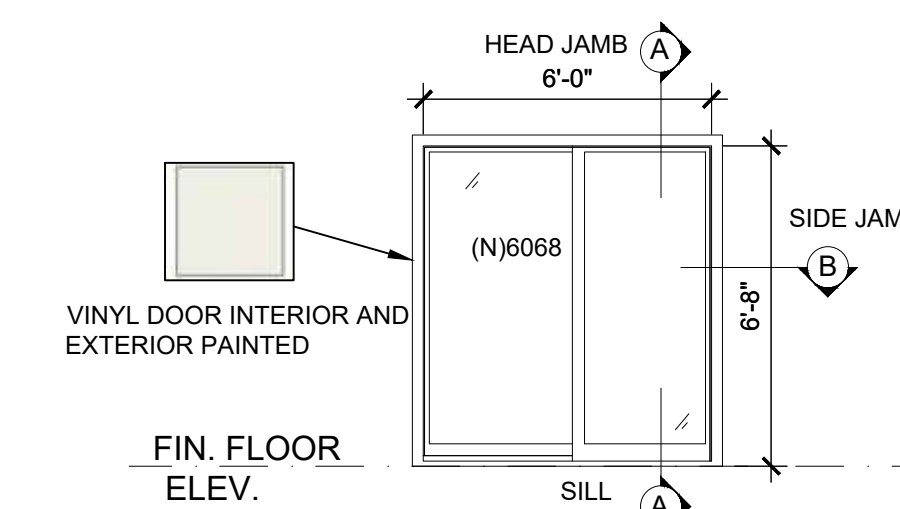
TYPICAL SLIDING DOOR - SILL JAMB DETAIL

SCALE: 1 1/2" = 1'-0"



TYPICAL SLIDING DOOR - SIDE JAMB DETAIL

SCALE: 1 1/2" = 1'-0"



TYPICAL DOOR DETAILS

SCALE: 1/4" = 1'-0"

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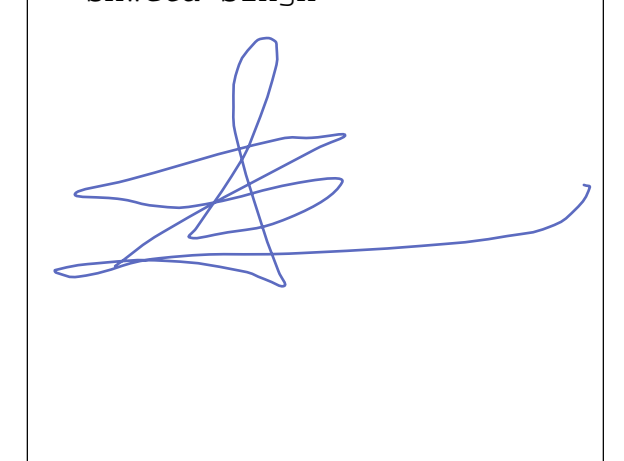
**RESIDENCE
REMODEL**

1260 PAYNE DRIVE, LOS ALTOS
NATARAJAN & THYAGARAJAN
RESIDENCE

No.	Date	Revision
1	08-03-21	PLAN CHECK COMMENTS
2	01-14-22	PLAN CHECK COMMENTS-2
3	02-02-22	OWNER REV.

DESIGN MANAGER:

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Title

**PROPOSED
ELEVATIONS**

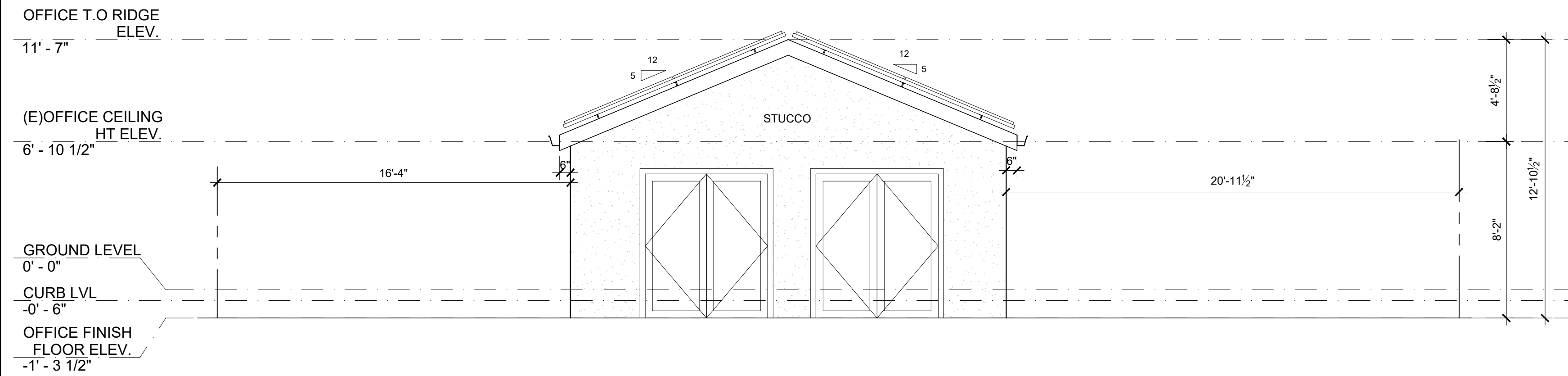
Date
02.02.22

Scale
AS SHOWN

Drawing No.

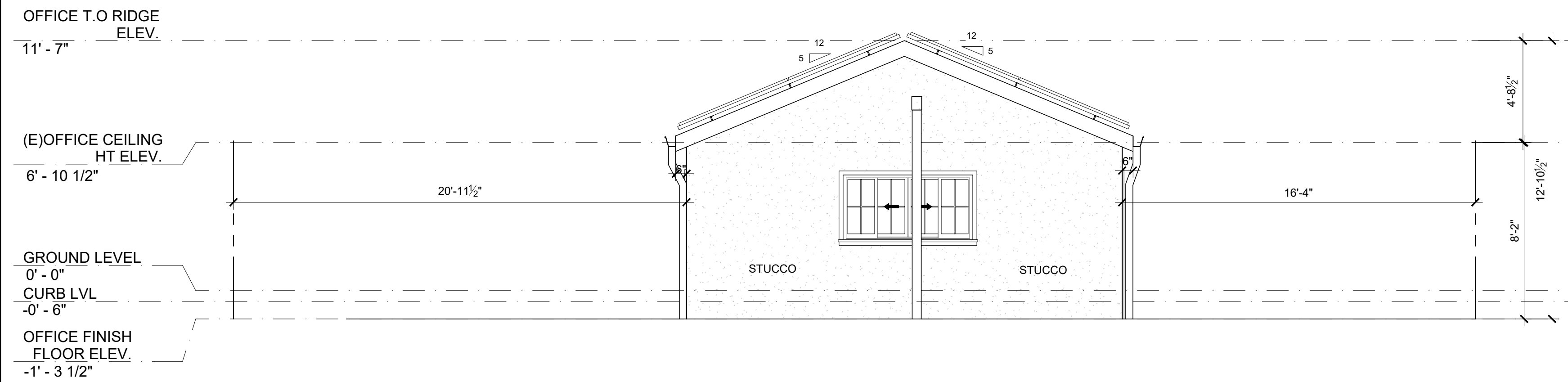
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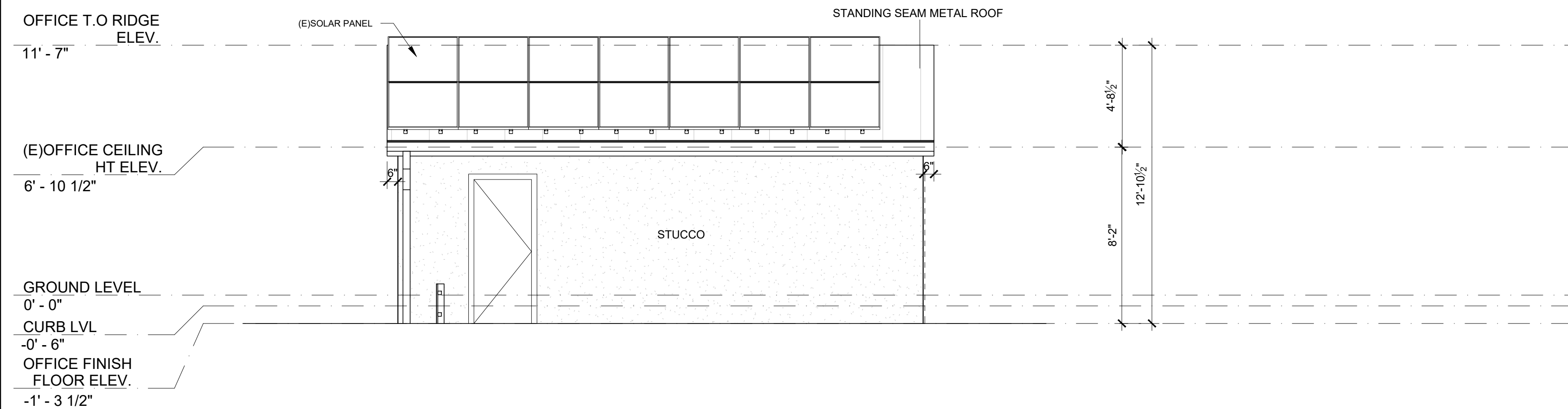
EXISTING SOUTH ELEVATION

SCALE: 1/4"= 1'-0"



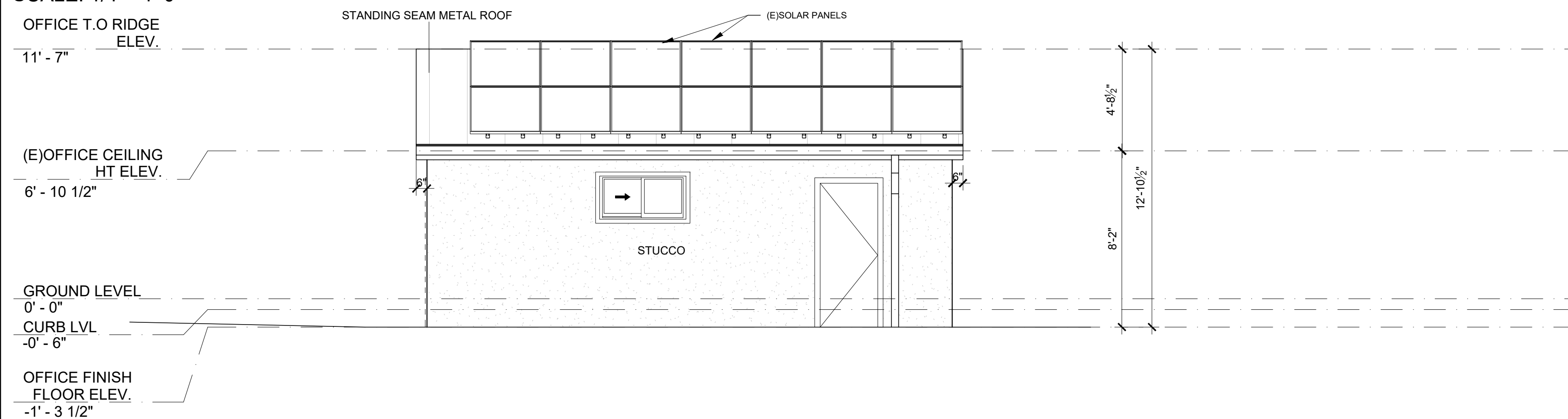
EXISTING NORTH ELEVATION

SCALE: 1/4"= 1'-0"



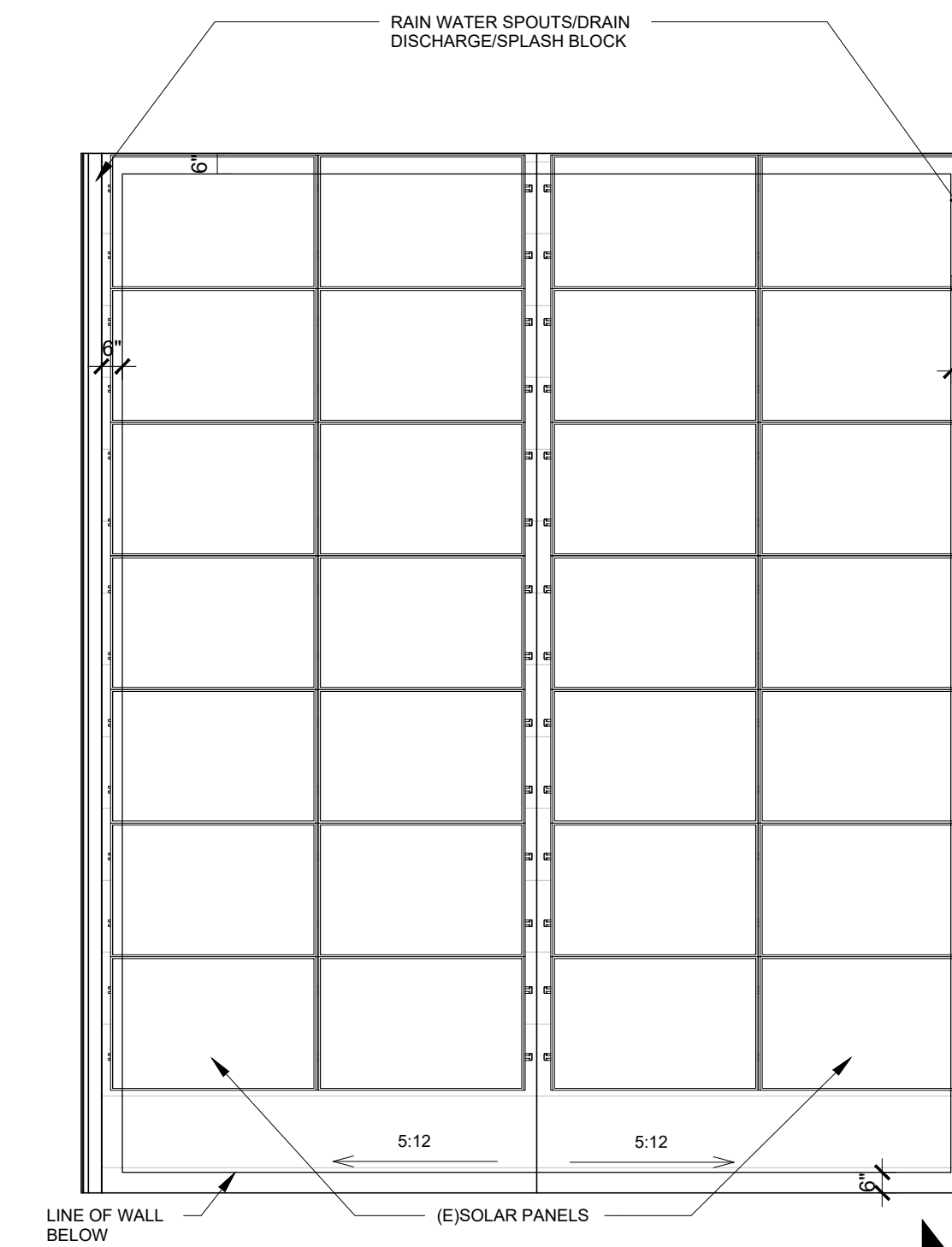
EXISTING WEST ELEVATION

SCALE: 1/4"= 1'-0"



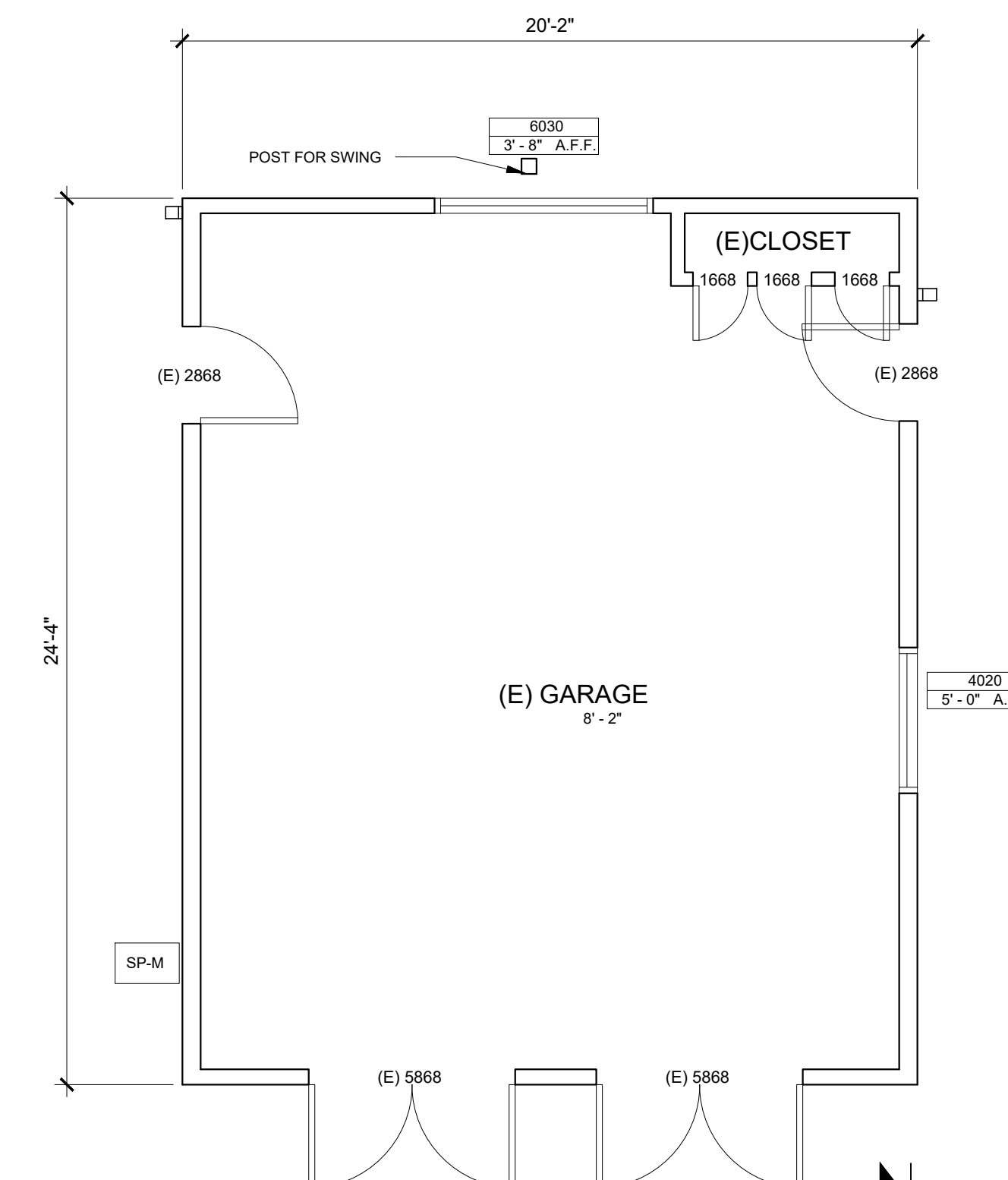
EXISTING EAST ELEVATION

SCALE: 1/4"= 1'-0"



EXISTING GARAGE ROOF PLAN

SCALE: 1/4"= 1'-0"



EXISTING GARAGE FLOOR PLAN

SCALE: 1/4"= 1'-0"

(E)GARAGE: 491 SQ. FT.

(COMPLETE DEMO)

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REMODEL**

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RESIDENCE**

No.	Date	Revision
1	08-03-21	PLAN CHECK COMMENTS
2	01-14-22	PLAN CHECK COMMENTS-2
3	02-02-22	OWNER REV.

DESIGN MANAGER:
Shweta Singh



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Title
**EXISTING GARAGE
DRAWINGS**

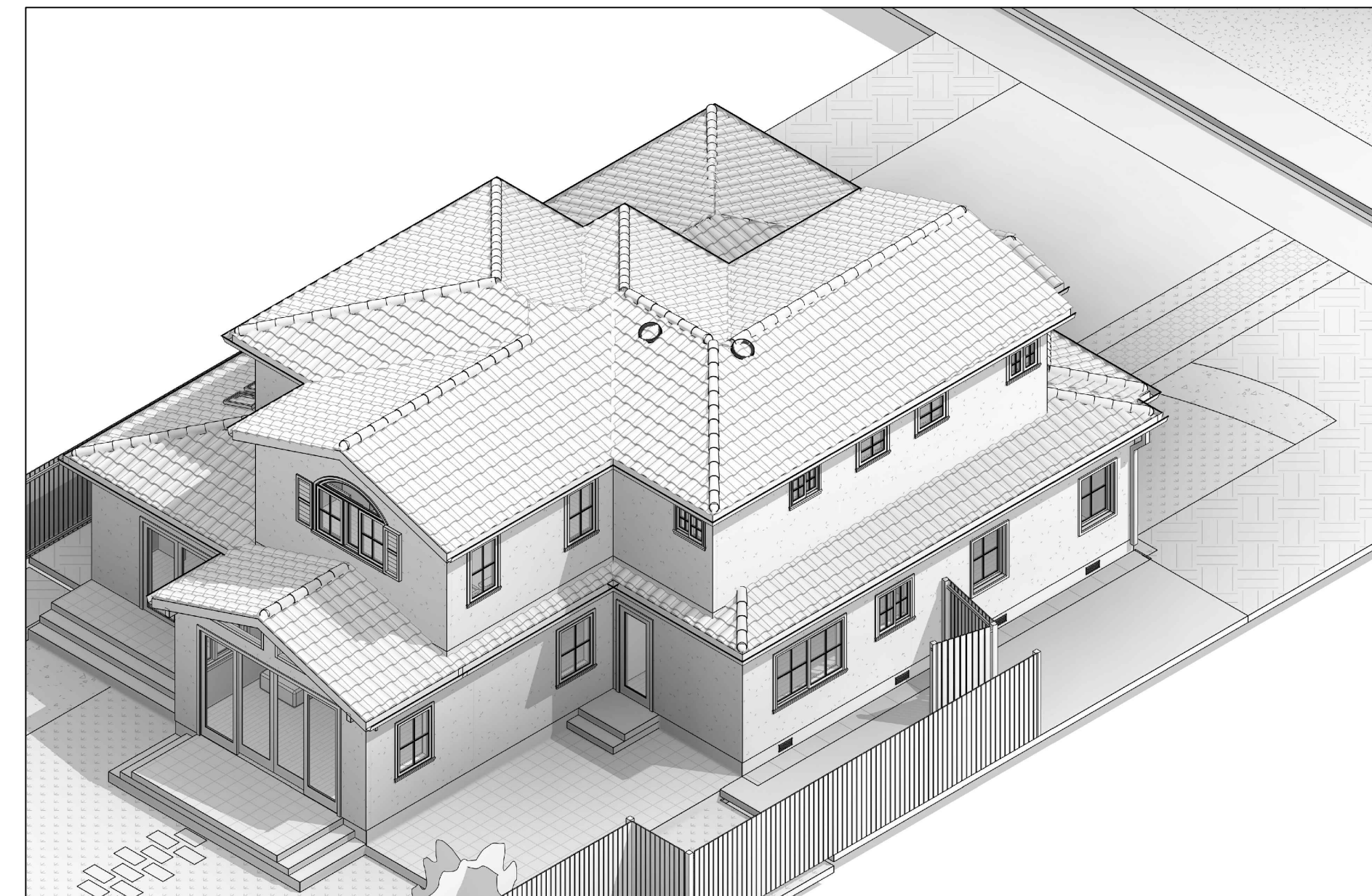
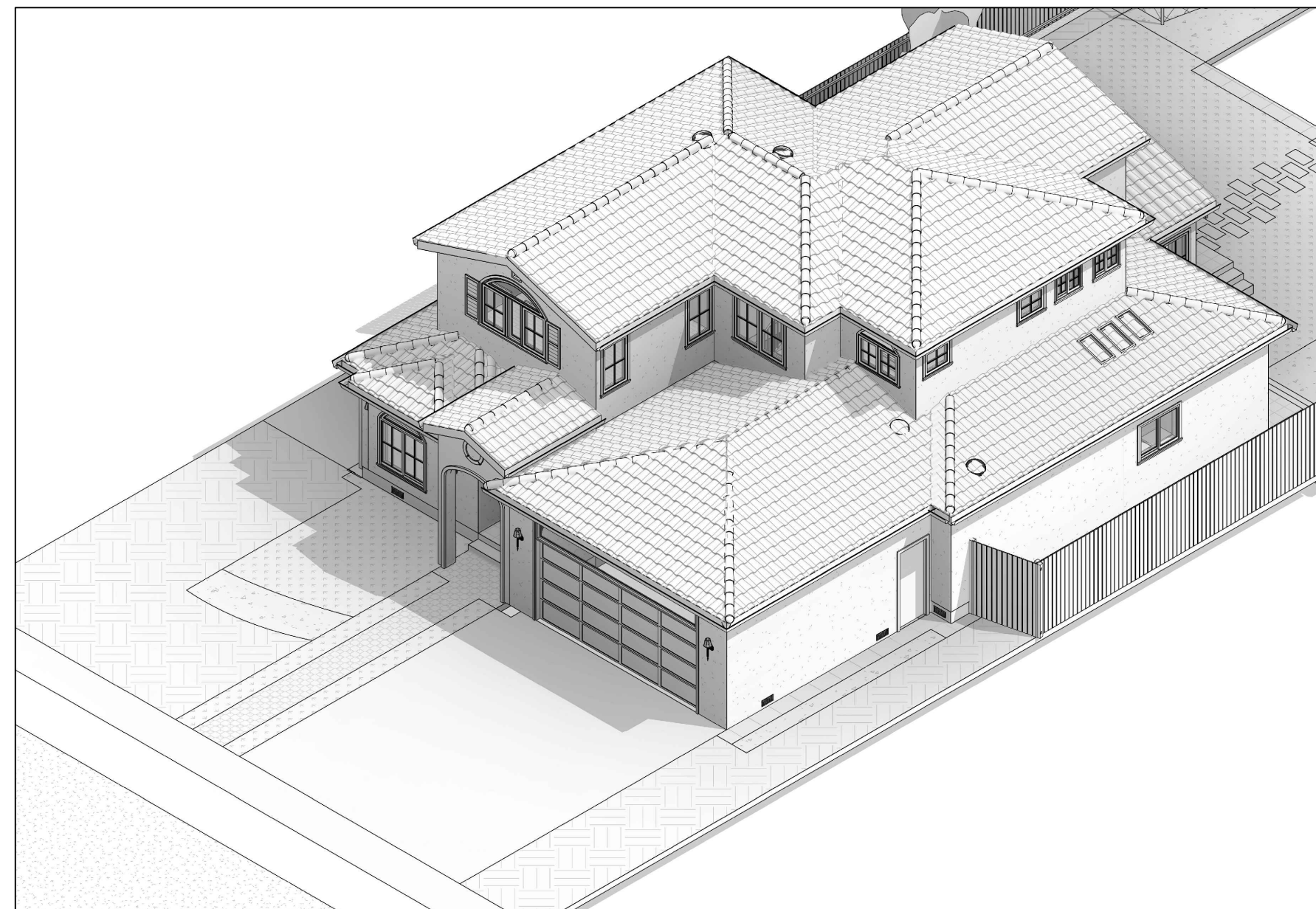
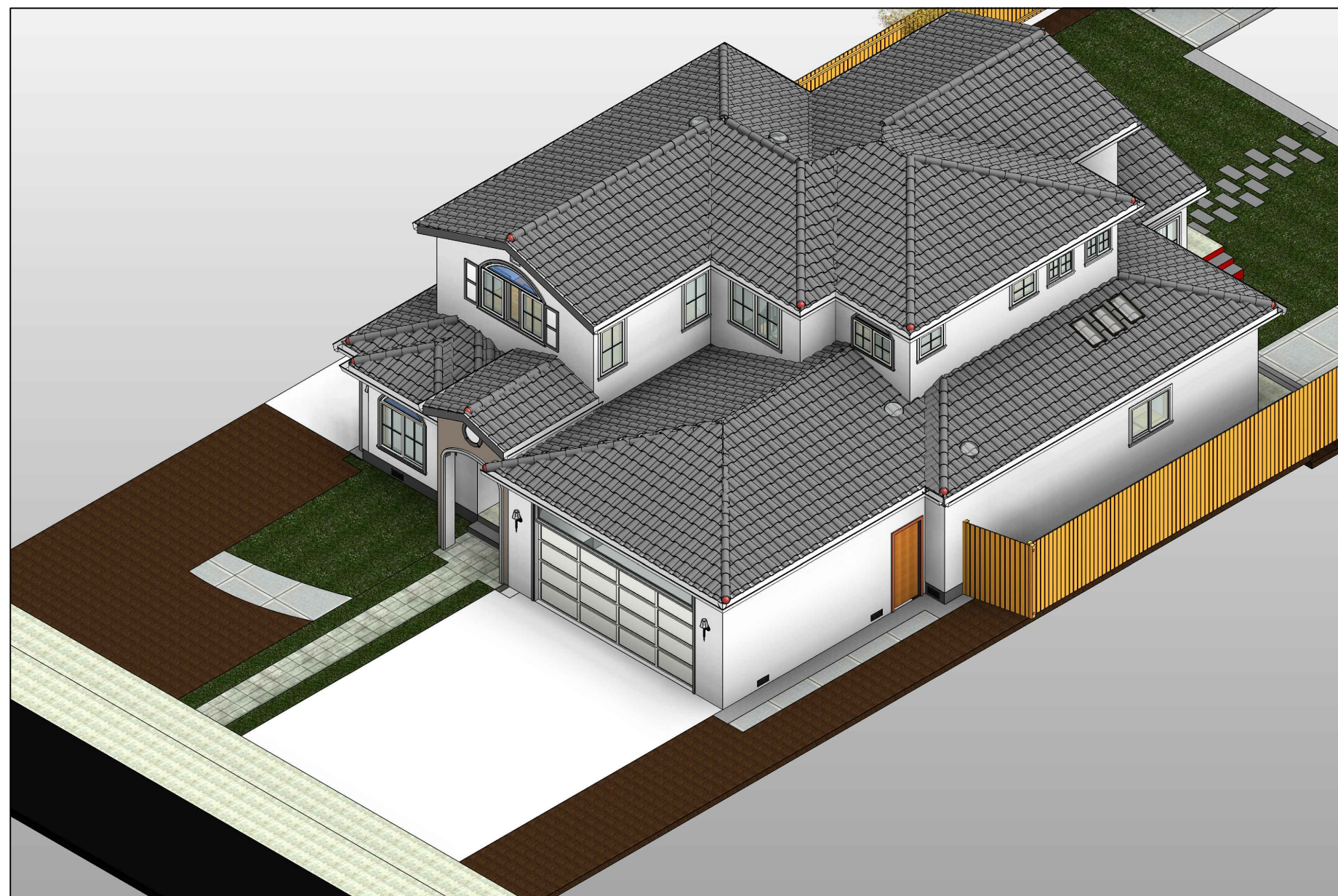
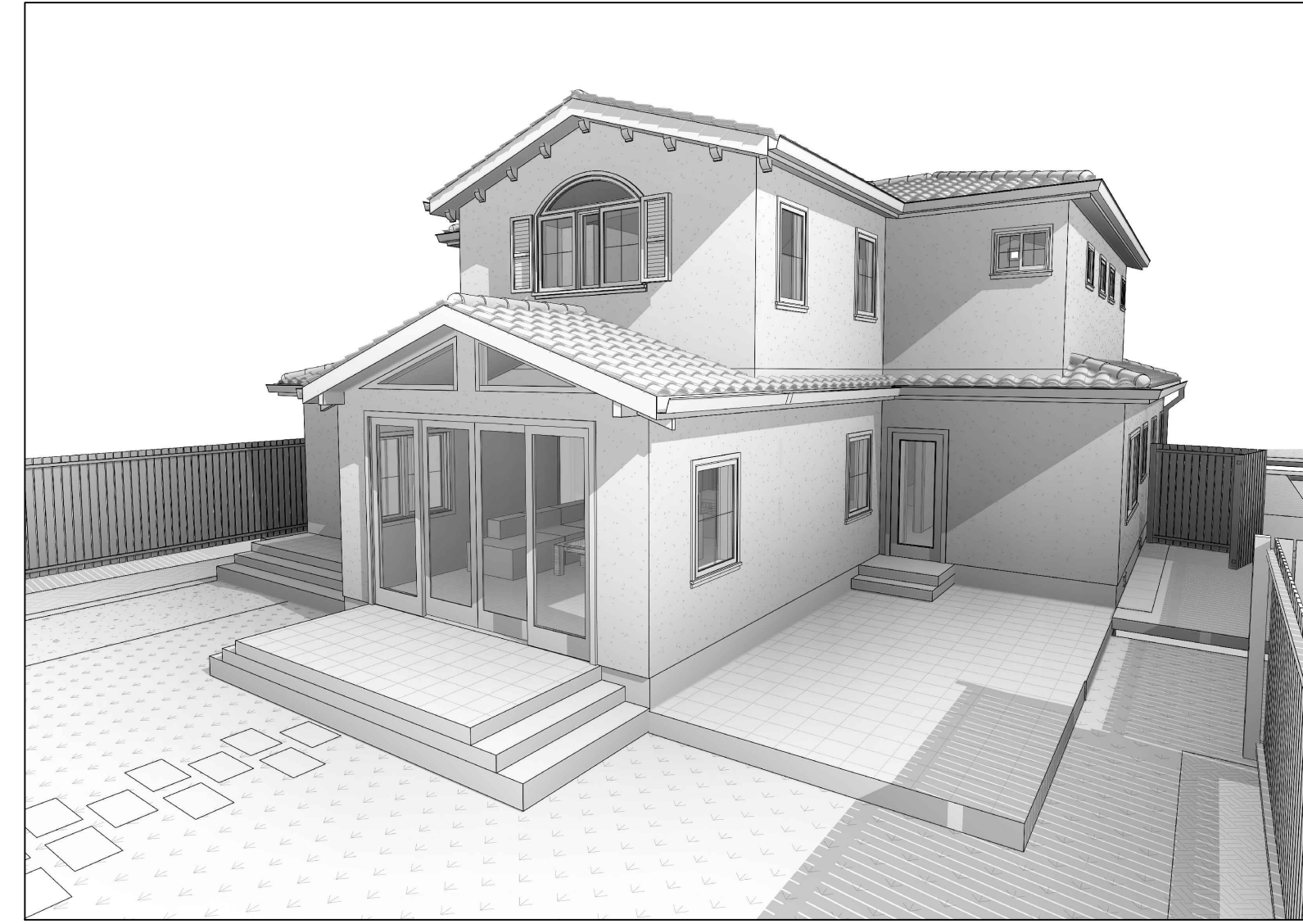
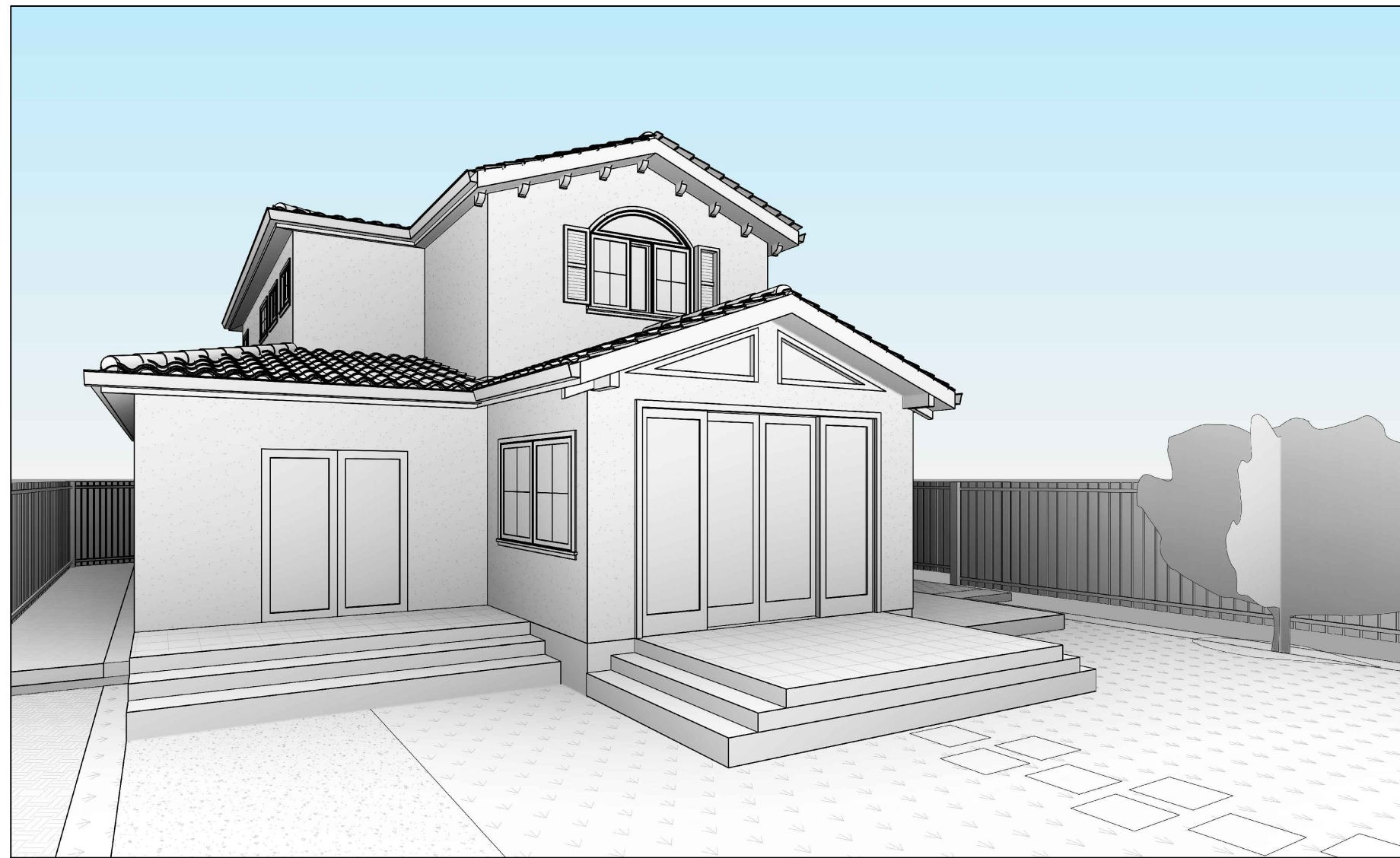
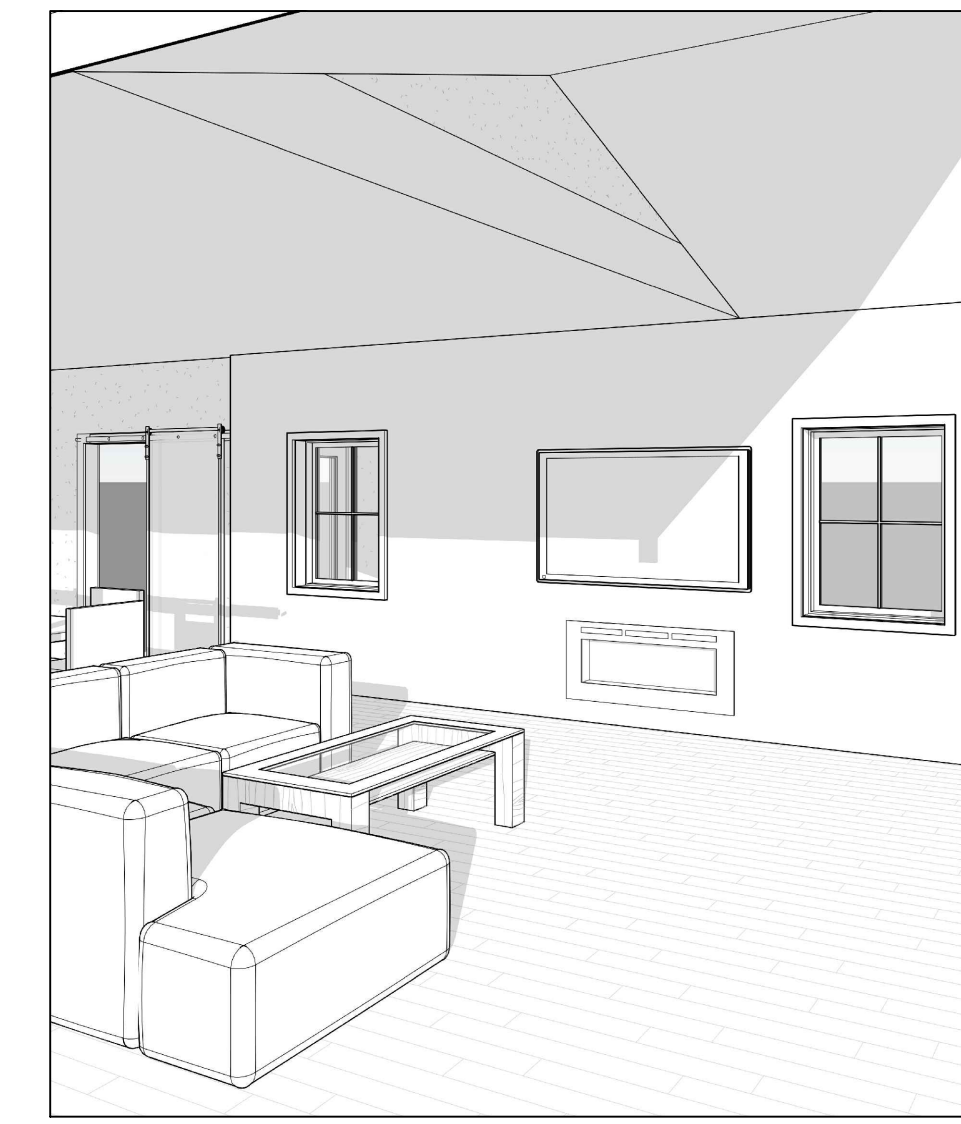
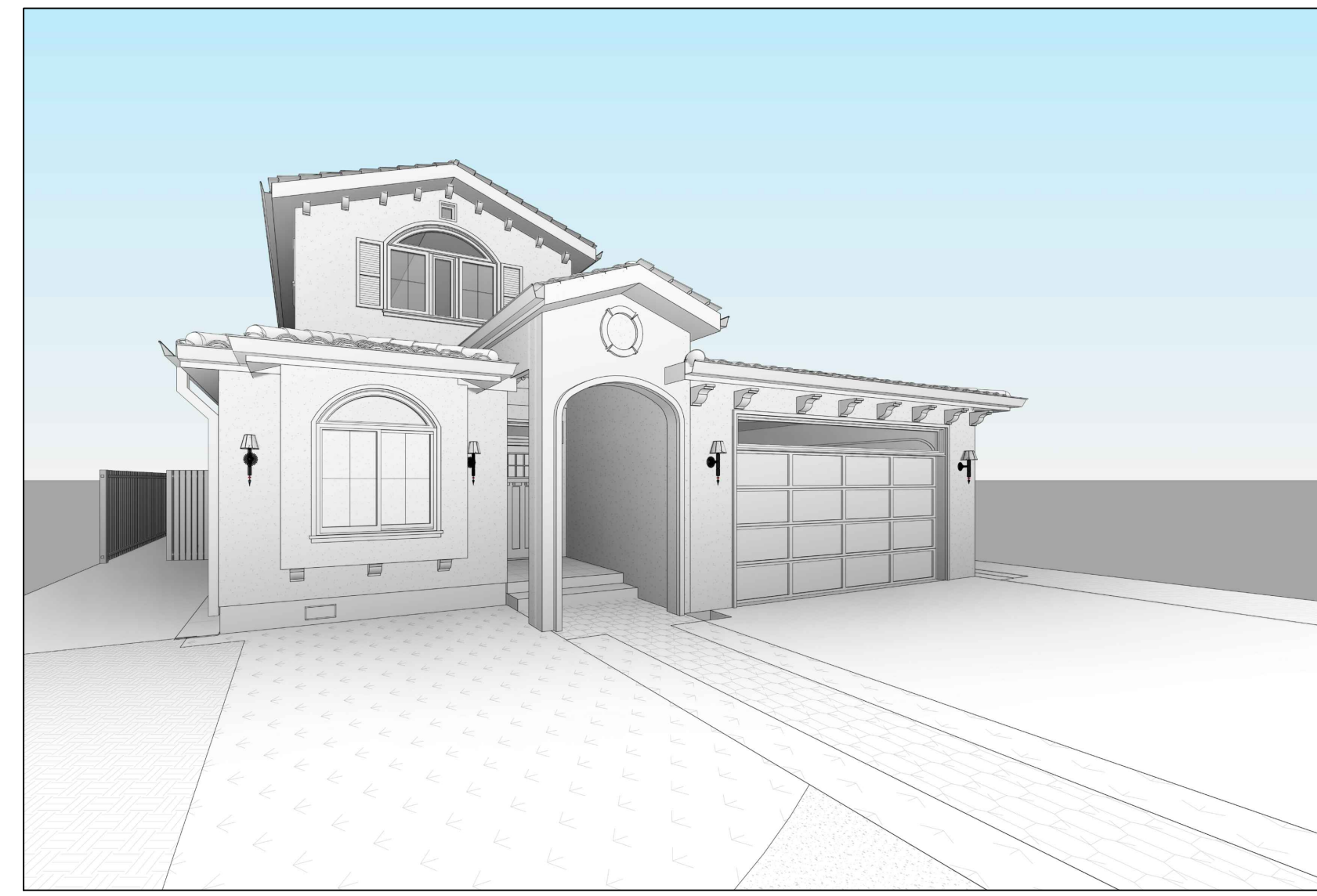
Date
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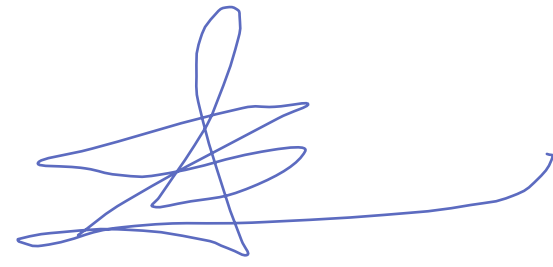
**RESIDENCE
 REMODEL**

**1260 PAYNE DRIVE, LOS ALTOS
 NATARAJAN & THYAGARAJAN
 RESIDENCE**

No.	Date	Revision
1	08-03-21	PLAN CHECK COMMENTS
2	01-14-22	PLAN CHECK COMMENTS-2
3	02-02-22	OWNER REV.

DESIGN MANAGER:

Shweta Singh



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Title
**PROPOSED HOUSE
 EXTERIOR AND
 INTERIOR 3D VIEWS**

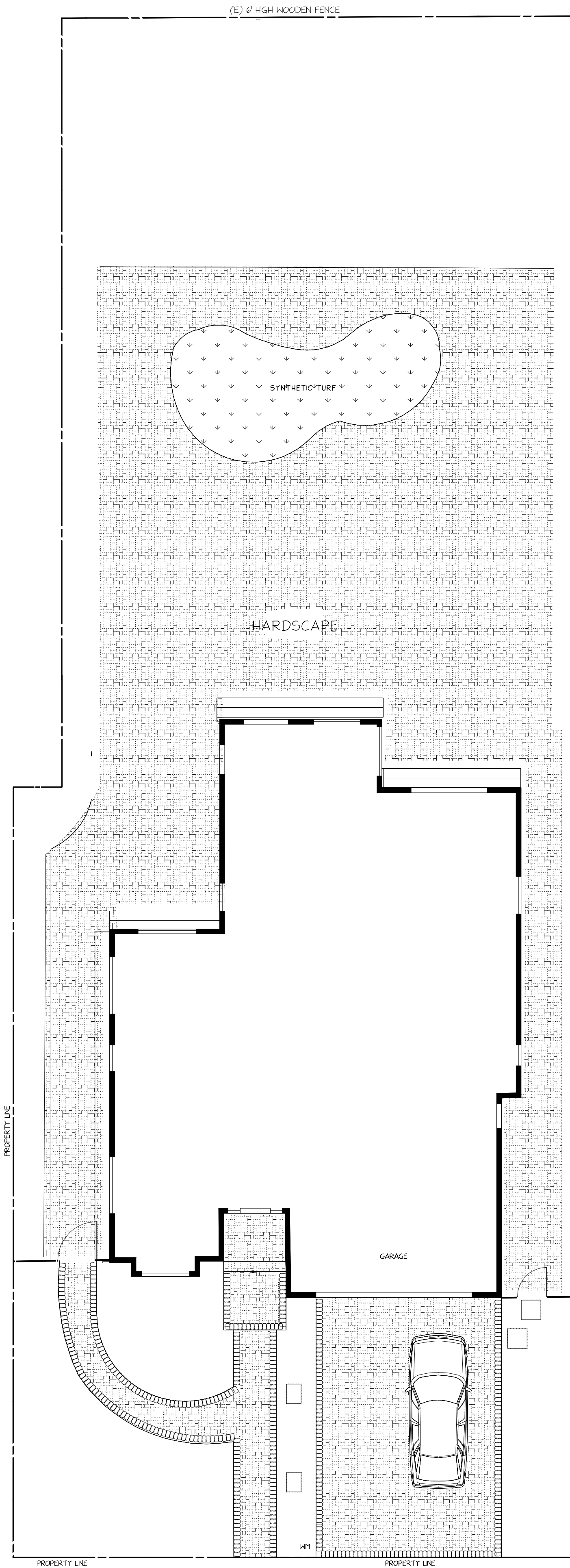
Date
 02.02.22

Scale
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Drawing No.

A1.14

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PROJECT CONTACT INFORMATION:

PROPERTY OWNER:
BHARGAV NATARJAN ASHISI (650) 318-8367

LANDSCAPE DESIGNER:
NOP PANTCHPAKDI (669) 205-2643

TOTAL LOT SIZE

TOTAL 8,690 SF

TOTAL FRONT, BACK & SIDE YARD AREAS

TOTAL FRONT 1,620 SF
TOTAL BACK & SIDES 4,912 SF

TOTAL HARDSCAPE AREAS (IMPERVIOUS SURFACES)

FRONT YARD 752 SF
BACK & SIDE YARDS 2,650 SF

TOTAL PERMEABLE HARDSCAPE AREAS (BACKYARD)

SYNTHETIC TURF 284 SF
GRAVEL AREA 51 SF

TOTAL IRRIGATED LANDSCAPE AREAS

FRONT YARD 868 SF
BACK & SIDE YARDS 864 SF

TOTAL NON IRRIGATED AREA (BACKYARD)

BACKYARD 1,058 SF

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"

SIGNATURE :
Nop Pantchpakdi
LANDSCAPE DESIGNER

LANDSCAPE DOCUMENT CHECK LIST

DATE	5/5/2021
PROJECT APPLICANT	BHARGAV NATARJAN ASHISI
TOTAL IRRIGATED LANDSCAPE AREA	1,737 SF
PROJECT TYPE	RESIDENTIAL REHABILITATED LANDSCAPE
WATER SUPPLY TYPE	LOS ALTOS CITY WATER
CHECKLIST	L-0
PROJECT CONTACTS	L-0
LANDSCAPE DESIGN CONCEPT	L-0
TREE PROTECTION NOTES	L-0
APPLICANT SIGNATURE	L-0
FRONT PLANTING PLAN	L-1
BACK & SIDE PLANTING PLAN	L-2
SOIL MANAGEMENT REPORT	L-1
GRADING NOTES	L-1
IRRIGATION DESIGN PLAN	L-3
WATER EFFICIENT LANDSCAPE WORKSHEET	L-4
HYDROZONE INFORMATION TABLE	L-4

NOTES

TREE PROTECTION

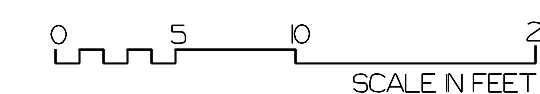
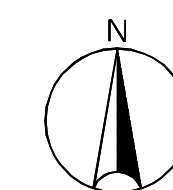
1. PRIOR TO BEGINNING CONSTRUCTION ON SITE CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
2. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS FUEL, OIL, GASOLINE AND OTHER CHEMICALLY INJURIOUS MATERIALS, AS WELL AS FROM FLOODING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT TOWN'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIALS AS WELL AS MATERIAL CLEANUP.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES. STOCK PILED DURING CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.
4. ALL TREE PROTECTION FENCING SHALL ENCOMPASS DRILLPIE OF EXISTING TREES AND SHALL BE CHAIN LINK AND MINIMUM OF FIVE (5) FEET IN HEIGHT WITH POSTS DRIVEN INTO GROUND.

	REVISED	9/2/2021
No.	Date	Description
REVISED		

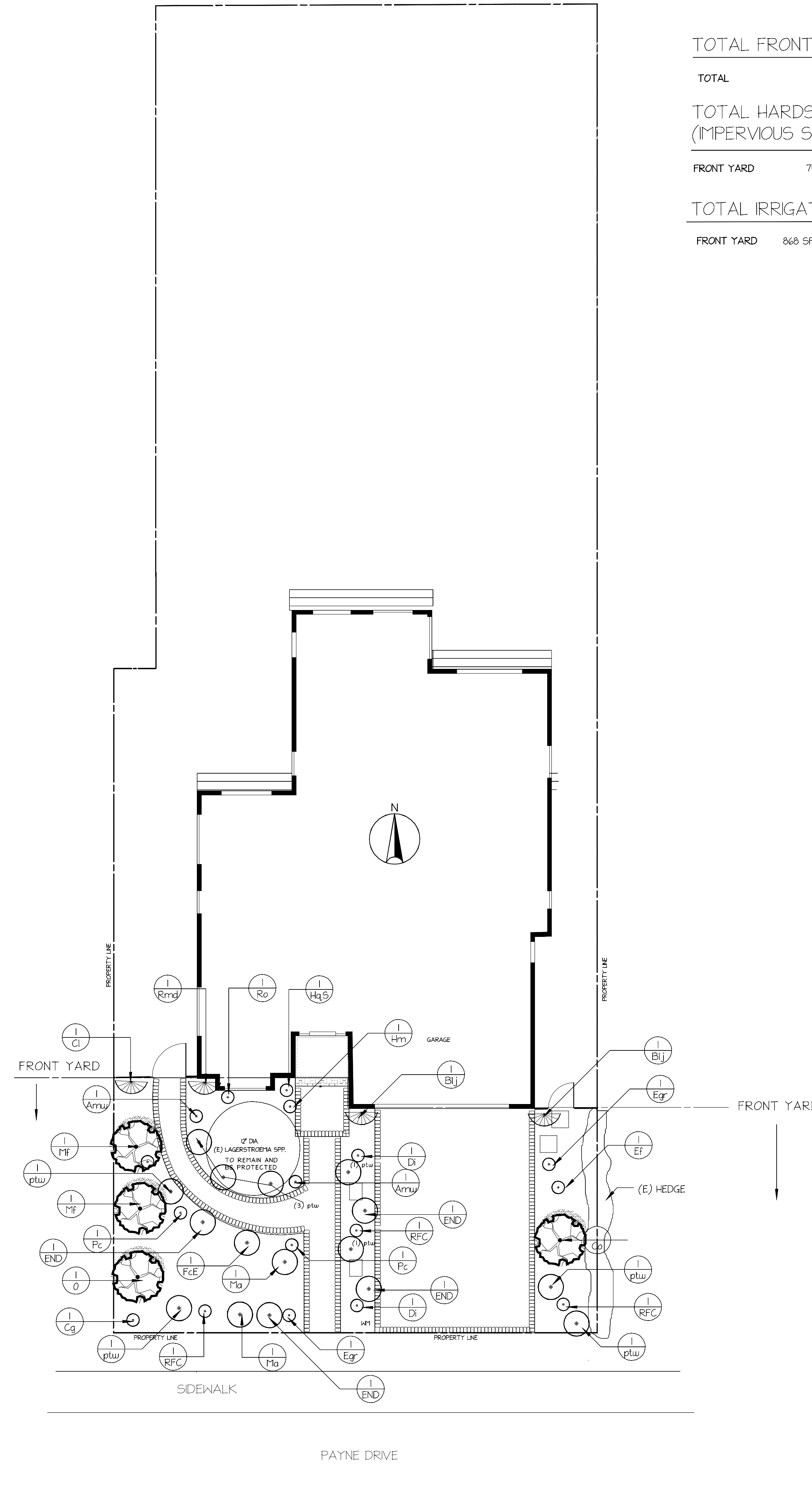
NOP PANTCHPAKDI
LIC. # 449130
www.aptoslandscapedesign.com
(669) 205-2643

COVER SHEET

BHARGAV NATARJAN ASHISI
1260 PAYNE DRIVE
LOS ALTOS, CA 94024



SCALE	1/8"=1'-0"	PROJECT NO.	
DRAWN BY		SHEET NO.	L-0
CHECKED BY		DATE	5/5/2021
DATE	5/5/2021	DATE OF PRINT	



TOTAL FRONT YARD AREA

TOTAL 1,620 SF

TOTAL HARDSCAPE AREAS (IMPERVIOUS SURFACES)

FRONT YARD 752 SF (46%)

TOTAL IRRIGATED LANDSCAPE AREAS

FRONT YARD 868 SF

GRADING & DRAINAGE NOTES:

1. ALL GRADING SHALL CONFORM WITH THE NATURAL SLOPE OF THE SITE
2. ALL GRADING TO ALLOW MAXIMUM WATER ABSORPTION INTO LANDSCAPE AREAS AND MINIMIZE WATER RUNOFF.
3. ALL HARDSCAPE SHALL MAINTAIN A MIN. 1% CROSS SLOPE AWAY FROM ALL STRUCTURES.
4. ALL PLANTING AREAS NEXT TO BUILDINGS ARE TO BE GRADED AWAY, MIN. 2% SLOPE.
5. ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT IMPERVIOUS SURFACES OR SPLASH BLOCKS

SOIL MANAGEMENT

IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO OBTAIN A SOILS FERTILITY REPORT AND AMEND ACCORDINGLY.
 ORGANIC COMPOST MUST BE INCORPORATED AT A MINIMUM RATE OF 4 CUBIC YARDS PER 1,000. SF. TO A DEPTH OF 6 INCHES.
 A MINIMUM 3 INCH LAYER OF MULCH MUST BE APPLIED ON ALL EXPOSED SOIL.

NOTES

PLANTING NOTES

1. FINE GRADING, HEADERS, AND IRRIGATION COVERAGE SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING OPERATIONS.
2. PLANT LOCATIONS ARE DIAGRAMMATIC AND MAY BE ADJUSTED IN THE FIELD AT THE OWNER'S REPRESENTATIVE REQUEST PRIOR TO INSTALLATION.

PLANT LEGEND

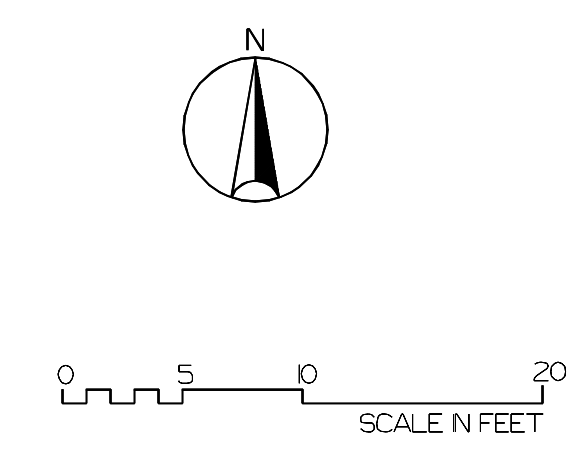
Key	Qty	Botanical Name	Size/Condition	Remarks	WUCOLS
Trees					
O	1	Prunus x yedoensis 'Akebono	15g		MEDIUM
Co	1	Cercis occidentalis	15 gallon	NATIVE	LOW
Mf	2	Malus floribunda	15 gal		MEDIUM
Shrubs					
END	4	Escallonia 'Newport Dwarf'	1g		MEDIUM
FcE	1	Frangula californica 'Eve Case'	1g	NATIVE	LOW
HqS	1	Hydrangea quercifolia 'Snowflake'	5g		MEDIUM
Ma	2	Myrsine africana	1g		LOW
RFC	3	Rosa 'Flower Carpet Pink'	5g		MEDIUM
Rmd	1	Ribes malvaceum 'dancing tassels'	5g	NATIVE	LOW
Ro	1	Rhododendron occidentale	5 gal	NATIVE	LOW
ptw	9	pittosporum tobira wheeler's dwarf	1g		LOW
Perennials and Annuals					
Amw	2	Achillea millefolium (white)	1g	NATIVE	LOW
Di	2	Dietes iridioides	1 Gal		LOW
Ef	1	Eriogonum fasciculatum	1g	NATIVE	LOW
Hm	1	Heuchera maxima	1g	NATIVE	LOW
Pc	2	Penstemon clevelandii	1g	NATIVE	MEDIUM
Succulents					
Cg	1	Calandrinia grandiflora	1g		LOW
Vines					
Blj	2	Bougainvillea la jolla red	5g		LOW
Cl	1	Clematis lasiantha	5g	NATIVE	LOW
Other Plants					
Egr	2	Eriogonum grande rubescens	1 Gal	NATIVE	LOW

		REVISED 5/18/2021
No.	Date	Description
REVISIONS		

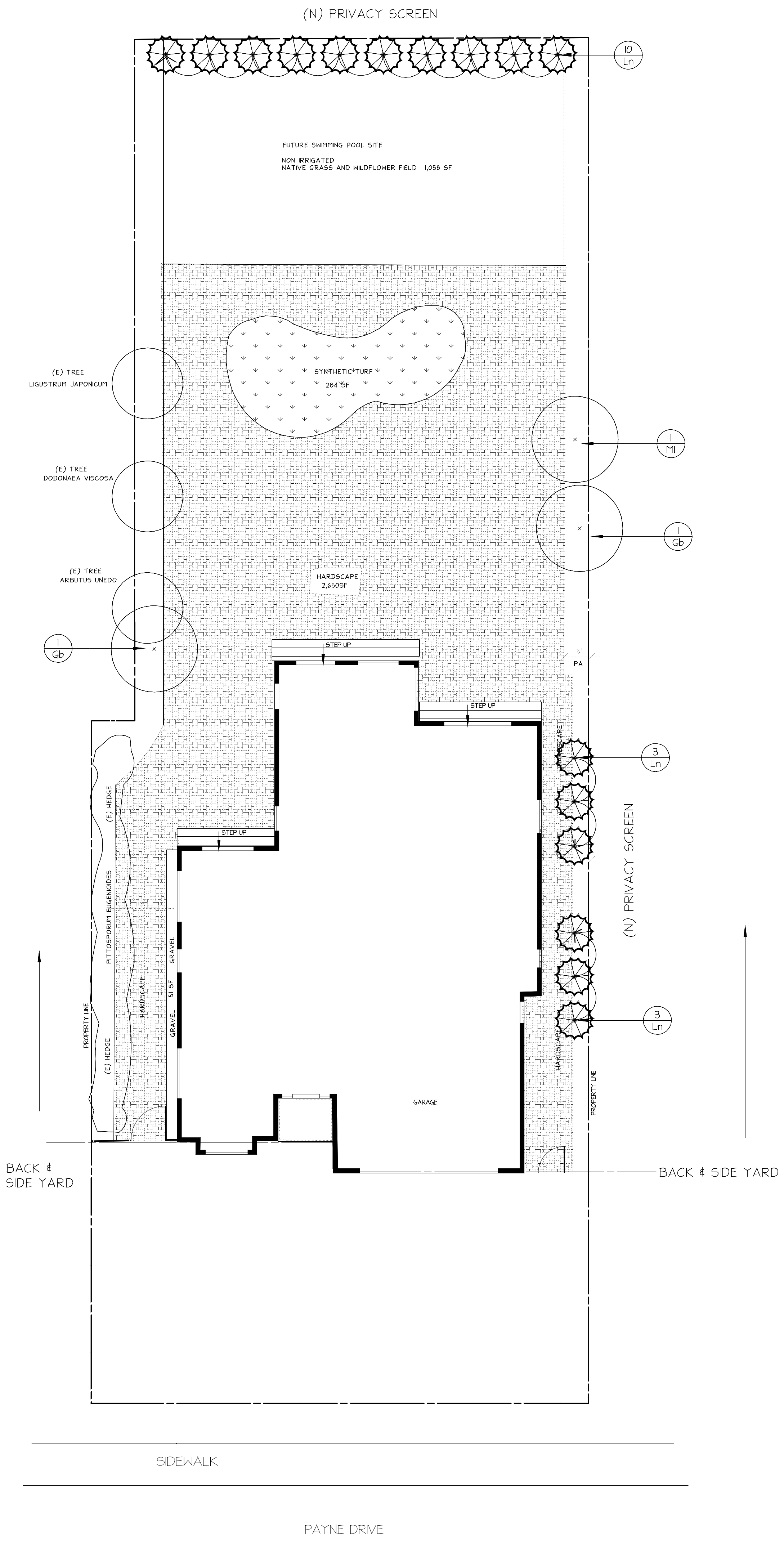
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FRONT PLANTING PLAN

BHARGAV NATARJAN ASHISI
 1260 PAYNE DRIVE
 LOS ALTOS, CA 94024



SCALE	1/8"=1'-0"	PROJECT NO.
DRAWN BY		SHEET NO.
CHECKED BY		L-1
DATE	5/5/2021	
DATE OF PRINT		



PLANT LEGEND

Key	Qty	Botanical Name	Size/Condition	Remarks	WUCOLS
Trees					
Gb	2	Ginkgo biloba	15g		MEDIUM
Ln	16	Laurus nobilis	15g	>6 TALL	LOW
Ml	1	Melaceuca linarifolia	15g		LOW

BACKYARD PLANTING PLAN HAS BEEN REVISED 12/12/2021.

SOIL MANAGEMENT

IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO OBTAIN A SOILS FERTILITY REPORT AND AMEND ACCORDINGLY.
 ORGANIC COMPOST MUST BE INCORPORATED AT A MINIMUM RATE OF 4 CUBIC YARDS PER 1,000. SF. TO A DEPTH OF 6 INCHES.
 A MINIMUM 3 INCH LAYER OF MULCH MUST BE APPLIED ON ALL EXPOSED SOIL.

GRADING & DRAINAGE NOTES:

1. ALL GRADING SHALL CONFORM WITH THE NATURAL SLOPE OF THE SITE
2. ALL GRADING TO ALLOW MAXIMUM WATER ABSORPTION INTO LANDSCAPE AREAS AND MINIMIZE WATER RUNOFF.
3. ALL HARDSCAPE SHALL MAINTAIN A MIN. 1% CROSS SLOPE AWAY FROM ALL STRUCTURES.
4. ALL PLANTING AREAS NEXT TO BUILDINGS ARE TO BE GRADED AWAY, MIN. 2% SLOPE.
5. ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT IMPERVIOUS SURFACES OR SPLASH BLOCKS

NOTES

PLANTING NOTES

1. FINE GRADING, HEADERS, AND IRRIGATION COVERAGE SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING OPERATIONS.
2. PLANT LOCATIONS ARE DIAGRAMMATIC AND MAY BE ADJUSTED IN THE FIELD AT THE OWNER'S REPRESENTATIVE REQUEST PRIOR TO INSTALLATION.

	REVISED 5/18/2021
	REVISED 8/17/2021
	REVISED 8/23/2021
	REVISED 9/2/2021
	REVISED 12/12/2021

No.	Date	Description
REVISED		

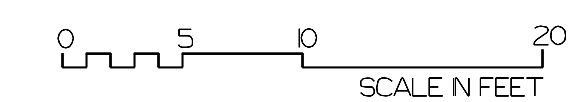
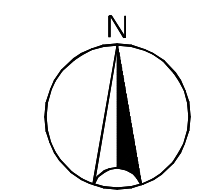
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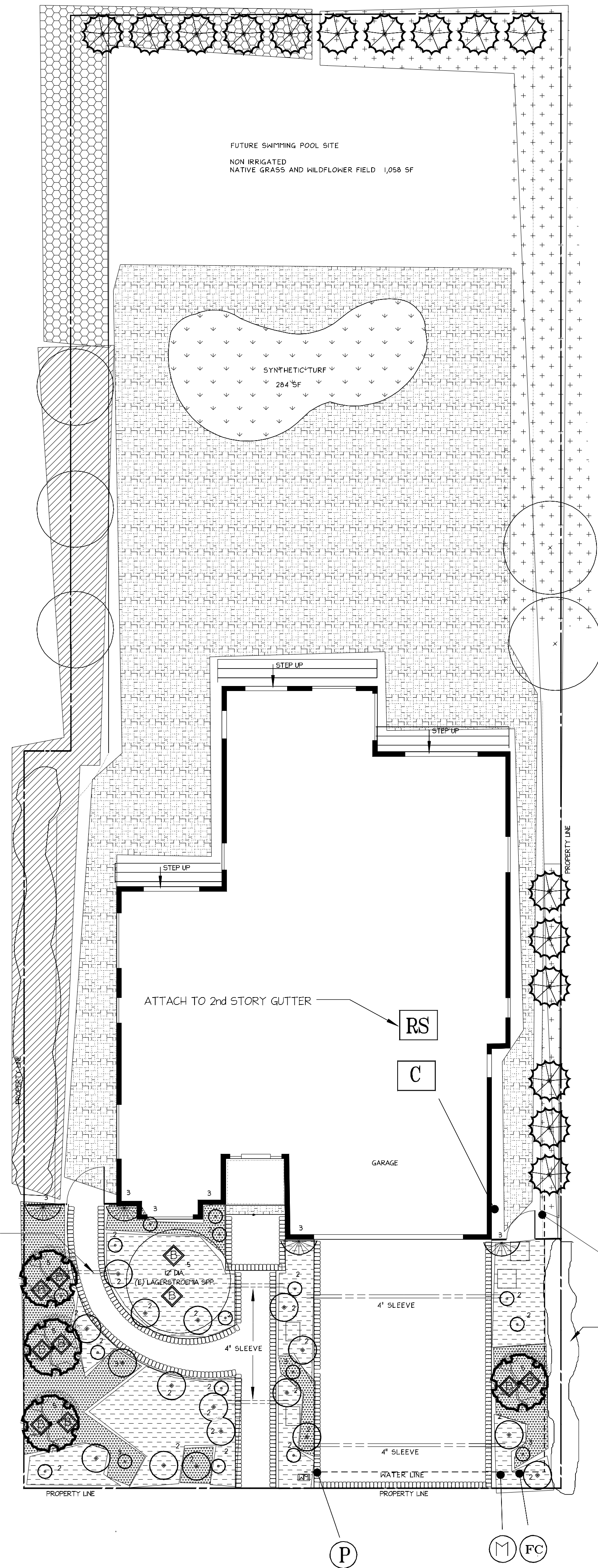
BACK & SIDE YARD
 PLANTING PLAN

BHARGAV NATARJAN ASHISI
 1260 PAYNE DRIVE
 LOS ALTOS, CA 94024

SCALE	1/8"=1'-0"
DRAWN BY	
CHECKED BY	
DATE	5/5/2021
DATE OF PRINT	

PROJECT NO.	
SHEET NO.	L-2





TOTAL IRRIGATED FRONT YARD AREA

TOTAL 868 SF

TOTAL IRRIGATED BACKYARD AREA

TOTAL 869 SF

TOTAL IRRIGATED LANDSCAPE AREAS

FRONT & BACK YARDS 1,072 SF

FUTURE SWIMMING POOL SITE
NON IRRIGATED
NATIVE GRASS AND WILDFLOWER FIELD 1,058 SF

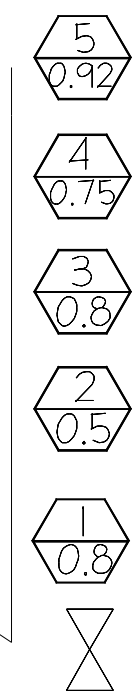
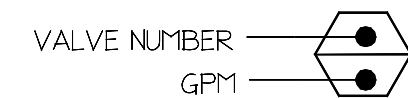
SYNTHETIC TURF
284 SF

VALVE LEGEND

VALVE	ZONE DESCRIPTION	AREA	GPM
1	TREE & SHRUBS	290 SF	0.83
2	SHRUBS & PLANTS	578 SF	0.50
3	(E) SHRUBS WESTSIDE	223 SF	0.80
4	TREES BACK NW SIDE	228 SF	0.75
5	TREES BACK NE SIDE	418 SF	0.92
TOTAL		1,737 SF	

VALVE #1		MEDIUM
VALVE #2		LOW
VALVE #3		LOW
VALVE #4		LOW
VALVE #5		LOW

VALVE IDENTIFICATION



IRRIGATION LEGEND

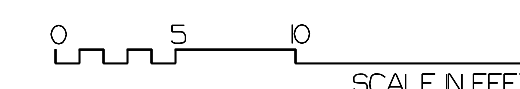
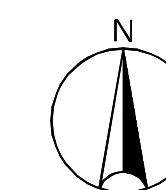
SYMBOL	MANUFACTURER	MODEL SPECIFICATIONS
(P)	POINT OF CONNECTION	
	FEBCO	1" MODEL No. 825Y
	DESCRIPTION:	BACKFLOW
(M)	HUNTER	1" ICV-101G
	DESCRIPTION:	1" MASTER VALVE IN YARD BOX
(FC)	HUNTER	FLOW CLIK
	DESCRIPTION:	FLOW CLIK FLOW SENSOR IN YARD BOX
	RAIN BIRD	100DV-1 IN.
	DESCRIPTION:	1" RESIDENTIAL IRRIG. VALVE
	NIBCO / EQUAL	
	DESCRIPTION:	LINE SIZE BALL VALVE IN YARD BOX
(C)	HUNTER	OUTDOOR PRO-HC
	DESCRIPTION:	IRRIGATION CONTROLLER, 6 STATION
(RS)	HUNTER	SOLAR SYNC
	DESCRIPTION:	SOLAR SYNC RAIN SENSOR
	RAIN BIRD EQ.	CPZ075PRFA
	DESCRIPTION:	3/4" ANTI-SIPHON VALVE LOW FLOW CONTROL ZONE KIT
	ANY	SCHEDULE 40 PLASTIC PIPE
	SIZES:	3/4" - 1" LATERAL LINES
	ANY	PVC SCHEDULE 40 PLASTIC PIPE
	SIZES:	1" - 2" MAIN LINE 18" COVER
	RAIN BIRD / EQUAL	UXB360SPYK-XERI-BUBBLER
	DESCRIPTION:	TREE BUBLER (0 TO 35 GPH)
	RAIN BIRD / EQUAL	A50788 1 GPH
	DESCRIPTION:	DRIP SPOT EMITTER
	HUNTER	RPG ROTOR (ADJUSTABLE)
	DESCRIPTION:	4" ADJUSTABLE ROTOR LAWN SPRINKLER

DRIP EMITTER SCHEDULE

PLANT SIZE	EMITTER NO.
1 GALLON	2 -1 GPH
5 GALLON	3 -1 GPH
15 GALLON	5 -1 GPH
24" BOX	6 -2 GPH

IRRIGATION NOTES

1. ALL IRRIGATION COMPONENTS TO BE INSTALLED ACCORDING TO MANUFACTURE SPECIFICATIONS AND IN COMPLIANCE TO LOCAL CODES AND ORDINANCES.
2. MANUAL SHUT OFF VALVE LOCATED IN CARSON BOX TO BE INSTALLED BEFORE ALL AUTOMATIC IRRIGATION VALVES
3. CONTRACTOR TO LOCATE VALVES IN EASY ACCESS LOW VISIBLE LOCATIONS



NOTES

IRRIGATION SCHEDULING

CONTRACTOR SHALL ADJUST THE IRRIGATION SCHEDULE FOR THE ESTABLISHMENT PERIODS AS FOLLOWS:

1. RUN ALL STATIONS TO KEEP SOIL OPTIMALLY MOIST AT ALL TIMES DURING THE FIRST 90 DAYS OF ESTABLISHMENT.
2. ADJUST EACH STATION AS NECESSARY FOR ACTUAL SITE CONDITIONS.
3. AT NO TIME SHALL RUNOFF BE PERMITTED. ADJUST START TIMES TO ACCOMMODATE LOCAL SOIL PROFILES.

SMART CONTROLLER

DO NOT OVERRIDE SMART CONTROLLER FUNCTIONS. CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INPUT OF ALL IRRIGATION SYSTEM REQUIREMENTS FOR SCHEDULING, INCLUDING PRECIPITATION RATES, PLANT TYPES, SOIL PROFILES, ETC.

No.	Date	Description
	REVISED 9/2/2021	

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IRRIGATION PLAN

BHARGAV NATARJAN ASHISI
1260 PAYNE DRIVE
LOS ALTOS, CA 94024

SCALE	1/8"=1'-0"	PROJECT NO.	
DRAWN BY		SHEET NO.	L-3
CHECKED BY		DATE	5/22/2021
DATE OF PRINT			

ZONE CALLOUTS

ZONE	VALVE SIZE	TYPE	AREA	PSI	GPM	RATE	TIME
1	3/4"	TREES	290 SF	30	0.83	0.64	30 MIN
2	3/4"	SHRUB	578 SF	30	0.50	0.64	23 MIN
3	3/4"	TREES	223 SF	30	0.80	0.64	23 MIN
4	3/4"	TREES	228 SF	30	0.75	0.64	23 MIN
5	3/4"	TREES	418 SF	30	0.92	0.64	23 MIN

WATER EFFICIENT LANDSCAPE WORKSHEET

HYDROZONES	WATER USE	PF	METHOD	IE	ETAF (PF/IE)	HA	ETAF * HA	ETWU
1. SHRUBS AND PLANTS	MOD	0.5	DRIP	0.81	.62	290 SF	179	4,772
2. SHRUBS AND PLANTS	LOW	0.2	DRIP	0.81	.24	578 SF	143	3,812
3. SHRUBS AND TREES	LOW	0.2	DRIP	0.81	.24	223 SF	55	1,466
4. TREES	LOW	0.2	DRIP	0.81	.24	228 SF	56	1,493
5. TREES	LOW	0.2	DRIP	0.81	.24	418 SF	103	2,746
TOTAL						1,737 SF	536	14,298

WELO RESIDENTIAL WATER BUDGET

ET_o 43

TOTAL IRRIGATED AREA 1,737 SF

$$MAWA = (ET_o) \times (0.62) \times [(0.55 \times LA) + (1.0 - 0.55) \times SLA]$$

MAWA = 25,469.63 GALLONS

$$ETWU = \frac{(ET_o)(0.62)(PF \times LA)}{IE} + SLA$$

ETWU = 14,289 GALLONS

STATEMENT OF COMPLIANCE

I HAVE COMPLIED WITH THE CALIFORNIA CODE OF REGULATIONS TITLE 23, MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN.

Nop Panitchpakdi

NOP PANITCHPAKDI, LANDSCAPE DESIGNER

NOTES

IRRIGATION SCHEDULING

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- ADJUST EACH STATION AS NECESSARY FOR ACTUAL SITE CONDITIONS.
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No.	Date	Description
	9/2/2021	REVISED

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HYDROZONES

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SCALE	PROJECT NO.
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CHECKED BY	
DATE 5/2/2021	SHEET NO.
DATE OF PRINT	L-4