



DATE: February 2, 2021

AGENDA ITEM # 3

**TO:** Design Review Commission  
**FROM:** Sean K. Gallegos, Senior Planner  
**SUBJECT:** SC21-0009 – 166 Lyell Street

**RECOMMENDATION:**

Consider design review application SC21-0009 per the listed findings

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**PROJECT DESCRIPTION**

This is a design review application for a new two-story house. The project includes 1,879 square feet on the first story and 1,306 square feet on the second story. The following table summarizes the project's technical details:

**GENERAL PLAN DESIGNATION:** Single-Family, Residential  
**ZONING:** R1-10  
**PARCEL SIZE:** 9,600 square feet  
**MATERIALS:** Flat membrane roof, stucco and horizontal wood siding, aluminum windows, and wood details

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>COVERAGE:</b>	2,419 square feet	3,021 square feet	2,880 square feet
<b>FLOOR AREA:</b>			
First Floor	2,419 square feet	1,879 square feet	
Second Floor	N/A	1,306 square feet	
Total	2,419 square feet	3,185 square feet	3,360 square feet
<b>SETBACKS:</b>			
Front	24.8 feet	25 feet	25 feet
Rear	24.25 feet	80 feet	25 feet
Exterior Side	5.8 feet	6.5 feet/ 17.5 feet	6.3 feet/13.8 feet
Interior Side (1 <sup>st</sup> /2 <sup>nd</sup> )	10 feet	13 feet/13 feet	6.3 feet/13.75 feet
<b>HEIGHT:</b>	12 feet	23.5 feet	27 feet

## **BACKGROUND**

### **Design Review Commission Action**

At their meeting on December 15, 2021, the Design Review Commission considered the proposed project. Following input from the applicant and public comments, the Commission discussed the proposed project and voted unanimously (4-0), with Commissioner Blockhus absent, to continue the project with the following direction:

1. Reduce the first story plate height to nine feet and eight feet, six inches at the second story;
2. Update the floor plan and site plan to show how the light well reconfiguration will affect the project;
3. Study the side and corner side to give some articulation to the two-story wall;
4. Wants to know of any impacts on neighboring trees due to the depth of the basement; and
5. Wants to see a shoring plan due to distance of the basement setback.

The December 15, 2021 Design Review Commission agenda report and meeting minutes are attached for reference (Attachments A and B).

## **DISCUSSION**

### **Design Review**

In response to the Commission's direction, the applicant revised the project design as follows.

1. The elevations (Sheet A-3.001 and A-3.002) shows the applicant did not modify the first-floor plate height of ten feet.
2. The elevations (Sheet A-3.001 and A-3.002) shows a reduction to the second story plate height to nine feet along the front elevation, partially along the right-side elevation, and partially along the rear elevation to a nine-foot plate. The second story plate height of nine feet, six-inches is retained along a 17-foot segment along the right elevation and a 17.5-foot segment of the rear elevation for the master bedroom.
3. The project plans show an updated site plan (Sheet A-1.004), tree protection plan (Sheet A-1.008), floor plans (Sheet A-2.001 to A-2.003), elevations (Sheet A-3.001 and A-3.002), sections (Sheet A-4.001), area calculations sheet (Sheet A-6.001), grading and drainage plan (Sheet C-1), Landscape Plans (Sheet L1 to L4), colored landscape plan (Sheet LC1), and the utility plan (Sheet U-1) that show how the light well reconfiguration with a light well along the front elevation to the right of the entry door, and a patio well located along the rear elevation.
4. The floor plans (Sheet A-2.001 and A-2.002) and the exterior (west) elevation (Sheet A-3.001) shows the wall face for the stair well recessed one-foot along the first and second story to break-up the extent of the wall planes and to provide more articulation along the exterior side elevation.
5. The exterior (west) elevation (Sheet A-3.001) shows the addition of IPE siding along the second story of the stairwell and the introduction of a dark grey color beneath the second story windows and along the face of the balcony.
6. The front (north) elevation (Sheet A-3.002) shows the introduction of a dark grey color along the walls for the guest bedroom No. 2 and guest bedroom No. 3.
7. The interior (west) elevation (Sheet A-3.001) shows the introduction of a dark grey color

- beneath the second story windows and along the face of the balcony.
8. The depth of the basement was reduced from 11.5-foot depth to a 10-foot depth.
  9. No additional information was provided regarding potential impacts on neighboring trees due to the depth of the basement. As shown on the tree protection plan, there are no potential trees on neighboring properties that will be impacted by the foundation. The applicant has provided a shoring plan that shows excavation will be limited to on-site. An updated tree status report is provided as Attachment D.
  10. A shoring plan is provided on Sheet S-001.

## **ENVIRONMENTAL REVIEW**

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

## **PUBLIC CONTACT**

A public meeting notice was posted on the property and mailed to 15 nearby property owners on Lyell Street and Gabilan Street. The twelve neighbors are along in the immediate neighborhood context along View Street and Mt. Hamilton Avenue. A notification map is provided as attachment E.

The applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements, as shown in Attachment F.

Cc: Aron Naveet, Property Owner  
Burhan Baba, Applicant/Architect

### Attachments:

- A. Design Review Commission Minutes, December 15, 2021
- B. Design Review Commission Agenda Report, December 15, 2021
- C. Design Review Commission Project Plans, December 15, 2021
- D. Tree Status Report
- E. Notification Maps
- F. Public Notice Poster
- G. Design Review Commission Project Plans, February 2, 2022

## FINDINGS

SC21-0009 – 166 Lyell Street

With regard to the new two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed new house complies with all provision of this chapter;
- b. The height, elevations, and placement on the site of the new house, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and does consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed new house in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

## CONDITIONS

SC21-0009 – 166 Lyell Street

### **GENERAL**

**1. Expiration**

The Design Review Approval will expire on February 22, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

**2. Approved Plans**

The approval is based on the plans and materials received on January 27, 2022, except as may be modified by these conditions.

**3. Protected Trees**

Trees Nos. TR-10, TR-11 and 23 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director. Trees No(s) TR-3 to TR-9 shall be removed as part of this design review permit application.

**4. Tree Removal Approved**

TR-3 to TR-9 shown to be removed on plan Sheet A-1.008 of the approved set of plans are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Community Development Director upon submitting written justification.

**5. Replacement Trees**

Due to the removal of Tree Nos. TR-3 to TR-9, the landscape plan shall be revised to add one new 24-inch box or 36-inch box Category I or II and one new Category III tree from the City of the Los Altos Street Tree Planting List. The landscape plan shall show two Category I or II trees in the front yard, one Category I or II tree anywhere on the site, and one Category III tree anywhere on the site.

**6. Landscape Plan Update**

Tree Permit No. 20-002 previously permitted the removal of tree Nos. TR-1 and TR-2, but it required the replacement of the trees with one 15-gallon Class I or II street tree from the City's Street tree list. The landscape plan shall show a Category I or II trees in the left side yard as required under the Tree Removal Permit.

**7. Arborist Report**

The arborist report shall be incorporated into the plans.

**8. Pre-Construction Meeting with Arborist**

The project arborist shall conduct a pre-construction meeting prior to any on-site construction activities, including, but not limited to excavation, site modification or construction to review the tree protection recommendations and plans outlined in the arborist report by Kiely Arborist Services dated May 17, 2021, with any construction personnel who may work at the site.

**9. Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City’s Shoulder Paving Policy.

**10. Landscaping**

The project shall be subject to the City’s Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.

**11. Underground Utility and Fire Sprinkler Requirements**

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

**12. Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney’s fees, incurred by the City or held to be the liability of the City in connection with the City’s defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City’s action with respect to the applicant’s project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney’s fees, incurred by the City in connection with the City’s defense of its actions.

**INCLUDED WITH THE BUILDING PERMIT SUBMITTAL**

**13. Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans.

**14. Applicant Acknowledgement of Conditions of Approval**

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

**15. Tree Protection Note**

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: “All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.”

**16. Water Efficient Landscape Plan**

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City’s Water Efficient Landscape Regulations and include signed statements from the project’s landscape professional and property owner.

**17. Reach Codes**

Building Permit Applications submitted on or after January 26, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26

California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

**18. California Water Service Upgrades**

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

**19. Green Building Standards**

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

**20. Underground Utility Location**

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

**21. Air Conditioner Sound Rating**

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

**22. Off-haul Excavated Soil**

The grading plan shall show specific grading cut and/or fill quantities. Cross section details showing the existing and proposed grading through at least two perpendicular portions of the site or more shall be provided to fully characterize the site. A note on the grading plans should state that all excess dirt shall be off-hauled from the site and shall not be used as fill material unless approved by the Building and Planning Divisions.

**23. Storm Water Management**

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

**PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT**

**24. Tree Protection**

Tree protection fencing shall be installed around the driplines, or as required by the project arborist, of trees Nos. TR-10, TR-11 and TR-23 as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

**25. Tree Protection**

A letter shall be provided from an arborist confirming the arborist will be present to witness the basement excavation to preserve the health of Tree Nos. TR-9, TR-10, and TR-11.

**26. School Fee Payment**

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

**PRIOR TO FINAL INSPECTION**

**27. Landscaping Installation and Verification**

Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package. *(Note: only include if project exceeds the 500/2,500 sq ft threshold.)*

**28. Landscape Privacy Screening**

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

**29. Green Building Verification**

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

**30. Arborist Letter**

A letter shall be provided from an arborist confirming their witnessing of the basement excavation to preserve the health of Tree Nos. TR-10 and TR11 and confirming the tree protection recommendations and plans were adhered to during excavation. The letter shall confirm a pre-construction meeting occurred with the project arborist.



## MINUTES OF THE REGULAR MEETING OF THE DESIGN REVIEW COMMISSION OF THE CITY OF LOS ALTOS, HELD ON WEDNESDAY, DECEMBER 15, 2021, BEGINNING AT 7:00 P.M. HELD VIA VIDEO/TELECONFERENCE PER EXECUTIVE ORDER N-29-20

Please Note: Per California Executive Order N-29-20, the Commissions will meet via teleconference only. Members of the Public may call (650) 242-4929 to participate in the conference call (Meeting ID: 148 202 6495 or via the web at <https://tinyurl.com/479f6fct>). Members of the Public may only comment during times allotted for public comments. Public testimony will be taken at the direction of the Commission Chair and members of the public may only comment during times allotted for public comments. Members of the public are also encouraged to submit written testimony prior to the meeting at [DesignReviewCommission@losaltosca.gov](mailto:DesignReviewCommission@losaltosca.gov) or [Planning@losaltosca.gov](mailto:Planning@losaltosca.gov). Emails received prior to the meeting will be included in the public record.

### ESTABLISH QUORUM

PRESENT: Chair Bishop, and Commissioners Harding, Kirik and Ma  
ABSENT: Vice-Chair Blockhus  
STAFF: Senior Planner Gallegos and Associate Planner Liu

### PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

### ITEMS FOR CONSIDERATION/ACTION

### CONSENT CALENDAR

#### 1. Design Review Commission Minutes

Approve minutes of the regular meeting of November 17, 2021.

Action: Upon a motion by Commissioner Harding, seconded by Commissioner Kirik, the Commission approved the minutes of the regular meeting of November 17, 2021 as written.

The motion was approved (4-0) by the following vote:

AYES: Bishop, Harding, Kirik and Ma

NOES: None

ABSENT: Blockhus

### DISCUSSION

#### 2. SC21-0009 – Burhan Baba – 166 Lyell Street

Design Review for a new two-story house with a basement. The project includes a 1,847 square-foot at the first story and 1,313 square feet at the second story with a 1,424 square-foot basement. An 880 square-foot detached accessory dwelling unit was approved under a previous accessory dwelling unit permit in 2020, and it is not part of the design review application. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Gallegos* **THIS ITEM WAS CONTINUED FROM THE OCTOBER 20, 2021 DRC MEETING.**

No ex parte communications reported.

Senior Planner Gallegos presented the staff report recommending approval of design review application

SC21-0009 subject to the listed findings and conditions and advised the Commission that the lightwell is located in the exterior side yard setback.

Senior Planner Gallegos answered questions from Commissioners Kirik, Harding, and Ma.

The property owners Manju and Navneet Aron provided a presentation and project background.

Project architect Rob Dowling with LIVIO gave a presentation of the project and provided details.

The property owners and project architect answered questions from Commissioner Kirik, Harding, Ma, and Chair Bishop.

#### Public Comment

Resident Guarav Jain of 516 Panchita Way gave his support for the project design and environmental sustainability.

Resident Brendan Sheperd of 445 Gabilan Street gave her support for the project and additional privacy screening.

Resident Jui Maru gave her support for the project and design.

Chair Bishop closed the public comment period for Commissioner discussion.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, the Commission continued design review application SC21-0009 subject to the following direction:

- Reduce the first story plate height to nine feet and eight feet, six inches at the second story;
- Update the floor plan and site plan to show how the light well reconfiguration will affect the project;
- Study the side and corner side to give some articulation to the two-story wall;
- Wants to know of any impacts on neighboring trees due to the depth of the basement; and
- Wants to see a shoring plan due to distance of the basement setback.

The motion was approved (4-0) by the following vote:

AYES: Bishop, Harding, Kirik and Ma

NOES: None

ABSENT: Blockhus

### **3. SC21-0015 – Allen Nikitin Architect Inc. – 1438 Fremont Avenue**

Design review for a second story addition to an existing two-story house. The project includes a 713 square-foot addition at the first story and an 348 square-foot addition at the second story. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Gallegos*

No ex parte communication reported.

Senior Planner Gallegos presented the staff report recommending approval of design review application SC21-0015 subject to the listed findings and conditions and answered a question from Commissioners Harding regarding responsibility for the public right of way.

The project applicant and architect Allen Nikitin provided a project presentation and answered a question from Commissioner Ma regarding the flat roof and height.

#### Public Comment

None.

Chair Bishop closed the public comment period for Commissioner discussion.

Action: Upon a motion by Commissioner Harding, seconded by Commissioner Ma, the Commission approved design review application SC21-0015 subject to the staff report findings and conditions.

The motion was approved (4-0) by the following vote:

AYES: Bishop, Harding, Kirik and Ma

NOES: None

ABSENT: Blockhus

**4. SC21-0030 – Franci Kun – 1730 Holt Avenue**

Design review for a new two-story residence. The project includes 2,391.14 square feet at the first story and 1,198.87 square feet at the second story. The project includes an 842.57 square-foot detached accessory dwelling unit, which is not part of the design review application. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Liu*

No ex parte communication reported except Commissioner Ma asking the owner to go into the back yard.

Associate Planner Liu presented the staff report recommending approval of design review application SC21-0030 subject to the listed findings and conditions.

The Commissioners had no questions for staff.

The project applicant/designer Francis Kun provided a project presentation.

The Commissioners had no questions for the applicant/designer

Public Comment

None.

Chair Bishop closed the public comment period for Commissioner discussion.

Action: Upon a motion by Commissioner Ma, seconded by Commissioner Harding, the Commission approved design review application SC21-0030 subject to the staff report findings and conditions and the following additional condition:

- Lower the second story plate height to eight feet, six inches.

The motion was approved (4-0) by the following vote:

AYES: Bishop, Harding, Kirik and Ma

NOES: None

ABSENT: Blockhus

**COMMISSIONERS' REPORTS AND COMMENTS**

Commissioner Kirik asked staff to include the conflict-of-interest section in all reports.

Commissioner Harding reported concern about ADU service connections and SB 9 constraints.

Chair Bishop said they would like to see the handout on SB 9 that was approved by City Council.

Associate Planner Liu said the SB 9 handout approved by City Council is waiting for signature and posting by the City Clerk.

Councilmember Enander thanked the DRC subcommittee members and staff for the work on the SB 9 objective standards, provided a status and summary of some of the SB 9 objective standard regulations adopted by City Council, stated that the new liaison will be Vice-Mayor, Sally Meadows and thanked the commissioners for their contributions to design in the City.

### **POTENTIAL FUTURE AGENDA ITEMS**

Senior Planner Gallegos asked the Commissioners whether we would have a quorum for the next meeting on January 5, 2022 DRC meeting. The DRC members confirmed they were available.

### **ADJOURNMENT**

Chair Bishop adjourned the meeting at 9:01 PM.

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Sean Gallegos  
Senior Planner

# ATTACHMENT B



DATE: December 15, 2021

AGENDA ITEM # 2

**TO:** Design Review Commission  
**FROM:** Sean K. Gallegos, Associate Planner  
**SUBJECT:** SC21-0009 – 166 Lyell Street

## RECOMMENDATION:

Consider design review application SC21-0009 per the listed findings

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## PROJECT DESCRIPTION

This is a design review application for a new two-story house. The project includes 1,847 square feet on the first story and 1,313 square feet on the second story. The following table summarizes the project's technical details:

<b>GENERAL PLAN DESIGNATION:</b>	Single-Family, Residential
<b>ZONING:</b>	R1-10
<b>PARCEL SIZE:</b>	9,600 square feet
<b>MATERIALS:</b>	Flat membrane roof, stucco and horizontal wood siding, aluminum windows, and wood details

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>COVERAGE:</b>	2,419 square feet	3,021 square feet	2,880 square feet
<b>FLOOR AREA:</b>			
First Floor	2,419 square feet	1,847 square feet	
Second Floor	N/A	1,313 square feet	
Total	2,419 square feet	3,160 square feet	3,360 square feet
<b>SETBACKS:</b>			
Front	24.8 feet	25 feet	25 feet
Rear	24.25 feet	80 feet	25 feet
Exterior Side	5.8 feet	13 feet	12.66 feet
Interior Side (1 <sup>st</sup> /2 <sup>nd</sup> )	10 feet	13 feet/13 feet	6.3 feet/13.75 feet
<b>HEIGHT:</b>	12 feet	23.6 feet	27 feet

## **BACKGROUND**

### **Neighborhood Context**

The subject property is located in a Diverse Character Neighborhood, as defined in the City's Residential Design Guidelines. The immediate neighborhood context is comprised of eight single-family houses and three properties with multiple-family structures. Seven of the eight single-family houses in the immediate neighborhood context tend to be primarily one-story Ranch style houses that are similar in size, footprint, design characteristics, lower building scale, and rustic materials. A one-story single-family house at 181 Lyell Street, along the north side of View Street is a greater size and scale with nine to ten-foot plate heights, but the design minimizes the perception of scale with a simple gable and hipped roof form, horizontal eave lines and rustic exterior materials (wood siding). The three properties at 128-134 Lyell Street, 140 Lyell Street and 445 Gabilan Street are multiple-family zoned properties with multiple-family structures. The multiple family structure at 128-134 Lyell Street and 445 Gabilan Street are two-story low-scale ranch style structures with eight- to nine-foot tall plate heights, simple roof forms, horizontal eave lines and rustic materials. The multiple-family structure at 140 Lyell Street, along the west side of the Gabilan Street is a greater size and scale with nine to ten-foot plate heights, but the design minimizes the perception of bulk due to the eave lines along the first story, and the second story being recessed within the first-floor roof line. The landscaping is varied with no distinct street tree pattern.

### **Zoning Compliance**

The property is 64 feet in width and is considered a narrow lot, as defined by Section 14.06.080 of the Zoning Ordinance because it has a width of less than 80 feet. For narrow lots in the R1-10 District, the required interior side yard setbacks for the first story are reduced from ten feet to ten percent of the average lot width or 6.4 feet. The second story side setback is reduced from 17.5 feet to the first story setback plus 7.5 feet or 13.9 feet. The required exterior side yard setback is reduced from 20 feet to 20 percent of the average lot width or 12.8 feet. There is also an alternative daylight plane requirement for narrow lots as provided in Section 14.06.100.B. of the Zoning Ordinance. On a lot, which is less seventy (70) feet in width for its entire length, the plane starts at a height of nineteen (19) feet at each second story setback line and proceeds inward at an angle of twenty-five (25) degrees.

## **DISCUSSION**

### **Design Review**

According to the Design Guidelines, in Diverse Character Neighborhoods, good neighbor design has its own design integrity while incorporating some design elements and materials found in the neighborhood. The focus should be on designs that "fit in" and lessen abrupt changes. The Commission's approval of an inconsistent design would require mitigating design measures to lessen the neighborhood impact.

The property is a prominent corner lot, and the placement of the proposed house is consistent with the location of the existing house. The new residence has a more contemporary inspired architectural design with flat roof elements and simple modern forms. The house is consistent with the identifying

features of a modern style including flat roofs, large aluminum frame windows (floor to ceiling) set flush with the outer wall, smooth wall surfaces, and unornamented wall surfaces with no decorative detailing at the doors or windows. Consistent with design style, there is a cantilevered projection of second story along the front elevation that juts dramatically over the wall below. Simple landscaping design and integration into the landscape are also elements of this design style.

The project is designed eclectically in a way to be compatible with the area, with such elements as a horizontally oriented first and second story to mimic the massing of the immediate neighborhood context of lower scale houses. The design incorporates cedar wood siding, which is considered a rustic material, to help minimize the bulk of the more contemporary design. The exterior materials, which include a flat membrane roof, stucco and horizontal wood siding, aluminum windows, and wood details are integral to the design. A materials board is provided on Sheet A-7.001.

The Residential Design Guidelines recommends single-family houses should be designed to keep second floor exterior wall heights as low as possible, and it should minimize the perception of bulk. Along the front (north) elevation, the basic massing of the structure is a stacked first with the second story asymmetrically over the first story with a single-story garage element on the left side of the house. The ten-foot tall first-story and nine-foot, six-inch tall second-story plate heights do not relate well to the predominant eight- to nine-foot plate heights of single-family structures within the neighborhood, which are predominant in the neighborhood context.

The Residential Design Guidelines recommend a home be designed to fit the surroundings by providing variation in large expanse of wall planes and minimizing the use of tall or two-story high design feature. The exterior side elevation results in prominent two-story tall wall elements along the side elevation. The house design exposes the full wall height of the first and second story wall of the exterior elevation without breaking up the two-story massing inconsistent with the Residential Design Guidelines.

Staff worked with the applicant to reduce the plate height and soften the two-story height walls that were initially proposed, but the applicant did not reduce plate heights to mitigate the bulk of the structure, because the basic form of the house remains unchanged. Staff requests the Commission's direction whether the two-story house results in an integrated design concept and relates to the adjacent houses within the neighborhood context.

The Residential Design Guidelines include mitigation measures that can help reduce the perception of bulk, which includes changing the size of the house, reducing second story plate heights, avoiding designing from the inside-out, eliminating two-story tall walls, increasing setbacks, and providing large trees or other landscape materials for screening. The goal is to soften the differences between the new construction and the existing houses in the neighborhood structurally, with landscaping used as secondary mitigation to soften bulk and mass. However, for this project, it appears that additional redesign of the proposed house is necessary to comply with the design review guidelines and the design review findings.

## Privacy

On the left (east) side of the second story, there are six windows with 4.5-foot sill heights. As designed, the windowsill heights and the potential views are obscured by proposed evergreen screening shrubs, and the windows do not create unreasonable privacy impacts.

Along the rear (west) second story elevation, there is one large two-panel window in the master bathroom with a three-foot sill height and one two panel sliding door exiting from the master bedroom onto a balcony. The balcony is eight feet wide, and 18.10 feet deep, primarily faces the rear yard, but has minor exposure to the left side property lines. The balcony size exceeds the four-foot maximum balcony depth recommended in the Residential Design Guidelines; therefore, it may be considered more active in nature due to its depth. A sight line study (Sheet A-7.003) shows the existing roof forms rear property line provides screening to obscure sight lines and maintain a reasonable degree of privacy. Due to the balcony having a second story setback of 30.75 feet to the left side property line, 75.2 feet from the rear property line and the sight lines being obscured by proposed landscape screening and the new accessory dwelling unit, the potential privacy impacts are reduced for adjacent properties. Furthermore, the proposed evergreen screening along the left property line will further contribute to a reasonable degree of privacy for adjacent properties.

## Landscaping

There are 19 trees on the property, and the project proposes to retain three trees. A landscape inventory table of the plants to retained and removed are provide on the site plan on Sheet A-1.008. An arborist report provides an inventory of the 20 trees on the property (Attachment C). Due to the applicant proposing the removal of four protected trees (Nos TR-1, TR-2, TR-3, and TR-9), staff recommends Condition No. 5 that requires the landscape plan be revised to add three additional 24-inch box or 36-inch box Category I or II and one additional Category III tree from the City of the Los Altos Street Tree Planting List. The applicant shall plant two Category I or II trees in the front yard, one Category I or II tree anywhere on the site, and one Category III tree anywhere on the site.

The proposed landscaping screening plants along the left side property line, right side property line and rear property line is outlined in Table 1 below.

**Table 1: Screening Plant List**

Location	Common Name	Size	Description
Left Side Property Line	Lemonwood	15-gallon	15' to 40' tall x 6' to 15 wide

The landscape plan also includes a variety of other shrubs and groundcover type plants throughout the site, and it includes additional existing and new trees along the side and rear property lines to improve privacy protection. In addition to preserving many of the existing trees on the site, the project will be installing new landscaping and hardscape in the front yard. Since the project includes a new house and new landscaping area that exceeds 500 square feet, it is subject to the City's Water Efficient Landscape regulations. Overall, the existing and proposed landscaping meets the intent of the City's landscape regulations and street tree guidelines.



## **Development and Design Standards for Accessory Dwelling Units**

An accessory dwelling unit permit application was previously administratively approved by the Community Development Director for a new 880 square-foot detached ADU, which is not part of the design review application. For informational purposes, staff has provided the following information related to the accessory dwelling unit.

Section 14.14.021 of the Municipal Code outlines the standards for second living units. These standards include meeting all current development regulations of the single-family residential accessory dwelling units (ADU). An ADU separate entrance may be provided from the unit to the exterior of the residence, and an interior connection is permitted to the main living area. The second unit is required to provide one uncovered parking space in addition to the parking spaces required for the main house, unless exempt under Section 14.14.050(i)1-6).

The unit complies with the maximum floor area permitted for an ADU, it is below the maximum permitted 16-foot height, complies with the four-foot setback standard, no portion of the detached ADU extends above the accessory dwelling unit daylight plane standard, and the project complies with ADU parking requirements by providing one uncovered on-site parking spaces. The accessory dwelling unit's architectural features, window styles, roof slopes, exterior materials, colors, appearance, and design is compatible with the proposed two-story single-family dwelling.

Prior to the issuance of the building permit for the ADU, Section 14.14.040 of the Zoning Code requires the owner must record a deed restriction stating that the ADU may not be rented for periods less than thirty (30) days, and that it may not be transferred or sold separate from the primary dwelling.

## **ENVIRONMENTAL REVIEW**

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

## **PUBLIC CONTACT**

A public meeting notice was posted on the property and mailed to 15 nearby property owners on Lyell Street and Gabilan Street. Based on neighborhood outreach efforts, the applicants have provided documentation showing outreach to the neighbors in the immediate neighborhood context. The twelve neighbors are along in the immediate neighborhood context along View Street and Mt. Hamilton Avenue. A document from the applicant regarding outreach is included in Attachment D. The applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements, as shown in Attachment E.

Cc: Aron Naveet, Property Owner  
Burhan Baba, Applicant/Architect

Attachments:

A. Vicinity and Public Notification Maps

- B. Arborist Report
- C. Applicant Community Outreach letter with attachment
- D. Public Notice Poster

## FINDINGS

SC21-0009 – 166 Lyell Street

With regard to the new two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed new house complies with all provision of this chapter;
- b. The height, elevations, and placement on the site of the new house, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and DOES NOT consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed new house in relation to the immediate neighborhood will NOT minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have NOT been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

## CONDITIONS

SC21-0015 – 1438 Fremont Avenue

### **GENERAL**

**1. Expiration**

The Design Review Approval will expire on December 15, 2023 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

**2. Approved Plans**

The approval is based on the plans and materials received on November 23, 2021, except as may be modified by these conditions.

**3. Protected Trees**

Trees Nos. TR-9, TR-10, and TR-11 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director. Trees No(s) TR-1 to TR-9, TR-12 to TR-16, and TR-19 to TR-21 shall be removed as part of this design review permit application.

**4. Tree Removal Approved**

TR-1 to TR-9, TR-12 to TR-16, and TR-19 to TR-21 shown to be removed on plan Sheet \_ of the approved set of plans are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Community Development Director upon submitting written justification.

**5. Replacement Trees**

Due to the removal of Tree Nos. TR-1, TR-2, TR-3, and TR-9, the landscape plan shall be revised to add three new 24-inch box or 36-inch box Category I or II and one new Category III tree from the City of the Los Altos Street Tree Planting List. The landscape plan shall show two Category I or II trees in the front yard, one Category I or II tree anywhere on the site, and one Category III tree anywhere on the site.

**6. Arborist Report**

The arborist report shall be incorporated into the plans.

**7. Pre-Construction Meeting with Arborist**

The project arborist shall conduct a pre-construction meeting prior to any on-site construction activities, including, but not limited to excavation, site modification or construction to review the tree protection recommendations and plans outlined in the arborist report by Kielty Arborist Services dated May 17, 2021, with any construction personnel who may work at the site.

**8. Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

**9. Landscaping**

The project shall be subject to the City’s Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.

**10. Underground Utility and Fire Sprinkler Requirements**

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

**11. Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney’s fees, incurred by the City or held to be the liability of the City in connection with the City’s defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City’s action with respect to the applicant’s project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

**INCLUDED WITH THE BUILDING PERMIT SUBMITTAL**

**12. Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans.

**13. Applicant Acknowledgement of Conditions of Approval**

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

**14. Tree Protection Note**

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: “All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.”

**15. Water Efficient Landscape Plan**

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City’s Water Efficient Landscape Regulations and include signed statements from the project’s landscape professional and property owner.

**16. Reach Codes**

Building Permit Applications submitted on or after January 26, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

**17. California Water Service Upgrades**

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

**18. Green Building Standards**

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

**19. Underground Utility Location**

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

**20. Air Conditioner Sound Rating**

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

**21. Off-haul Excavated Soil**

The grading plan shall show specific grading cut and/or fill quantities. Cross section details showing the existing and proposed grading through at least two perpendicular portions of the site or more shall be provided to fully characterize the site. A note on the grading plans should state that all excess dirt shall be off-hauled from the site and shall not be used as fill material unless approved by the Building and Planning Divisions.

**22. Storm Water Management**

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

**PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT**

**23. Tree Protection**

Tree protection fencing shall be installed around the driplines, or as required by the project arborist, of trees Nos. TR-9, TR-10, and TR-11 as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

**24. Tree Protection**

A letter shall be provided from an arborist confirming the arborist will be present to witness the basement excavation to preserve the health of Tree Nos. TR-9, TR-10, and TR-11.

**25. School Fee Payment**

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

**PRIOR TO FINAL INSPECTION**

**26. Landscaping Installation and Verification**

Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package. *(Note: only include if project exceeds the 500/2,500 sq ft threshold.)*

**27. Landscape Privacy Screening**

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

**28. Green Building Verification**

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

**29. Arborist Letter**

A letter shall be provided from an arborist confirming their witnessing of the basement excavation to preserve the health of Tree Nos. TR-9, TR-10, and TR-11 and confirming the tree protection recommendations and plans were adhered to during excavation. The letter shall confirm a pre-construction meeting occurred with the project arborist.

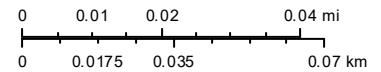
# ATTACHMENT A





## Notification Map



Print Date: April 11, 2021

1:1,750



-  Schools
-  Park and Recreation Areas
-  City Limit
- Road Names
- Situs Label
-  TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.





# ATTACHMENT B

City of Los Altos

Planning Division

(650) 947-2750

[Planning@losaltosca.gov](mailto:Planning@losaltosca.gov)

## NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1<sup>st</sup> application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

**Project Address** 166 Lyell St., Los Altos, CA 94022

**Scope of Project: Addition or Remodel** \_\_\_\_\_ **or New Home** Yes

**Age of existing home if this project is to be an addition or remodel?** NO

**Is the existing house listed on the City's Historic Resources Inventory?** No

Address: \_\_\_\_\_

Date: \_\_\_\_\_

## What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

### Streetscape

#### 1. Typical neighborhood lot size\*:

Lot area: 9000 square feet  
Lot dimensions: Length 150 feet  
Width 60 feet

If your lot is significantly different than those in your neighborhood, then note its: area \_\_\_\_\_, length \_\_\_\_\_, and width \_\_\_\_\_.

#### 2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? Yes  
What % of the front facing walls of the neighborhood homes are at the front setback 80 %  
Existing front setback for house on left 25 ft./on right 25 ft.  
Do the front setbacks of adjacent houses line up? Yes

#### 3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood\* only on your street (count for each type)  
Garage facing front projecting from front of house face 7  
Garage facing front recessed from front of house face 0  
Garage in back yard 0  
Garage facing the side 1  
Number of 1-car garages 3; 2-car garages 5; 3-car garages 0

Address: \_\_\_\_\_

Date: \_\_\_\_\_

**4. Single or Two-Story Homes:**

What % of the homes in your neighborhood\* are:

One-story 60%

Two-story 40%

**5. Roof heights and shapes:**

Is the overall height of house ridgelines generally the same in your neighborhood\*? NO

Are there mostly hip , gable style \_\_\_\_\_, or other style \_\_\_\_\_ roofs\*?

Do the roof forms appear simple \_\_\_\_\_ or complex ?

Do the houses share generally the same eave height Yes?

**6. Exterior Materials:** (Pg. 22 Design Guidelines)

What siding materials are frequently used in your neighborhood\*?

\_\_\_ wood shingle \_\_\_ stucco \_\_\_ board & batten \_\_\_ clapboard  
\_\_\_ tile \_\_\_ stone \_\_\_ brick  combination of one or more materials  
(if so, describe) Stucco and Clapboard

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?

Asphalt shingle

If no consistency then explain: \_\_\_\_\_

**7. Architectural Style:** (Appendix C, Design Guidelines)

Does your neighborhood\* have a consistent identifiable architectural style?

YES  NO

Type? \_\_\_ Ranch \_\_\_ Shingle \_\_\_ Tudor \_\_\_ Mediterranean/Spanish  
\_\_\_ Contemporary \_\_\_ Colonial \_\_\_ Bungalow \_\_\_ Other

Address: \_\_\_\_\_

Date: \_\_\_\_\_

**8. Lot Slope:** *(Pg. 25 Design Guidelines)*

Does your property have a noticeable slope? NO

What is the direction of your slope? (relative to the street)

\_\_\_\_\_

Is your slope higher \_\_\_\_\_ lower \_\_\_\_\_ same  in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

**9. Landscaping:**

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

Front lawns

\_\_\_\_\_

How visible are your house and other houses from the street or back neighbor's property?

Fairly Visible

\_\_\_\_\_

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

gravel and dirt

\_\_\_\_\_

**10. Width of Street:**

What is the width of the roadway paving on your street in feet? 24

Is there a parking area on the street or in the shoulder area? Yes

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? unpaved

\_\_\_\_\_

Address: \_\_\_\_\_

Date: \_\_\_\_\_

### 11. What characteristics make this neighborhood\* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

---

It is a diverse neighborhood however we

---

can find in common front lawns, stucco

---

siding and deep front set backs

---

#### General Study

- A. Have major visible streetscape changes occurred in your neighborhood?  
 YES  NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?  
 YES  NO
- C. Do the lots in your neighborhood appear to be the same size?  
 YES  NO
- D. Do the lot widths appear to be consistent in the neighborhood?  
 YES  NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?  
 YES  NO
- F. Do you have active CCR's in your neighborhood? (*p.36 Building Guide*)  
 YES  NO
- G. Do the houses appear to be of similar size as viewed from the street?  
 YES  NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?  
 YES  NO

Address: \_\_\_\_\_

Date: \_\_\_\_\_

## Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
181 Lyell St.	25	25	Front	One Storey	16	Vertical Sidings	Simple
182 Lyell St.	25	25	Side	Two Stories	27	Stone/Tiles	Simple
465 Gabilan St.	25	25	NA	Two Stories	27	Board and batten, and Stone	Simple
126-134 Lyell St.	25	25	NA	Two Stories	26	Wide vertical sidings and Stucco	Simple
140 Lyell St.	25	25	Front and Side	Two Stories	27	Wide vertical sidings and Stucco	Simple
174 Lyell St.	25	25	Front	One Storey	16	Stucco and stone	Simple
151 Lyell St.	25	25	Front	One Storey	16	Board and batten	Simple
155 Lyell St.	25	25	Front	One Storey	16	Wide vertical sidings and Stucco	Simple
165 Lyell St.	25	25	Front	One Storey	16	Stucco	Simple
175 Lyell St.	25	25	Front	One Storey	16	Wooden batten, and Stone	Simple

# ATTACHMENT C

## Kielty Arborist Services

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

Revised May 17<sup>th</sup>, 2021

Navneet Aron

Site: 166 Lyell Street, Los Altos CA

Dear Mr. Aron,

As requested on Thursday, September 10<sup>th</sup>, 2020, I visited the above site for the purpose of inspecting and commenting on the trees. A new home and ADU are proposed on site, and your concern as to the future health and safety of the existing trees has prompted this visit. A tree protection plan will be found within this report to protect the trees from construction. Site plan A-1.003 dated 3/25/21, landscape plan L1 dated 3/11/21, grading and drainage plan C-1 dated 3/6/21, and erosion control plan C-2 dated 3/6/21 were reviewed for writing this report. Distances to be maintained from trees pruning instructions, and protective tree protection fencing will be discussed within this letter.

### **Method:**

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on an existing topography map and will be provided in this report. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. Each tree was put into a health class using the following rating system:

- F-** Very Poor
- D-** Poor
- C-** Fair
- B-** Good
- A-** Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

### **Survey Key:**

**P-** *Indicates protected tree (15 inches in diameter or larger)*

**DBH-** *Diameter at breast height (48 inches above grade)*

**CON-** *Condition rating*

**HT/SP-** *Tree height and canopy spread*

**R-** *Indicates proposed tree removal*

166 Lyell

(2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1P	Incense cedar ( <i>Calocedrus decurrens</i> ) <b>APPROVED FOR REMOVAL</b>	40.0	D	70/30	Poor vigor, poor form, codominant at 5 feet with included bark, covered by ivy, cabled in past, abundance of dead wood and dieback, leans away from #2, canker disease, in decline, over neighbor's structure, topped in past, <b>hazardous, recommended for removal.</b>
2P	Incense cedar ( <i>Calocedrus decurrens</i> ) <b>APPROVED FOR REMOVAL</b>	45.0	D	60/25	Poor vigor, poor form, in decline, covered by ivy, heavy lean towards home, 15 feet from building, codominant with #1, canker disease caused die back, topped in past, <b>hazardous, recommended for removal.</b>
3P/R	London plane ( <i>Platanus x hispanica</i> )	22.9	D	30/30	Good vigor, poor form, topped/pollarded in past, 5 feet from foundation, needs ongoing maintenance due to topping cuts made, <b>recommended for removal.</b>
4R	Birch ( <i>Betula pendula</i> )	7.0	C	15/12	Fair vigor, poor form, suppressed, leans, drought stressed.
5R	Birch ( <i>Betula pendula</i> )	7.2-7.0	C	35/15	Fair vigor, poor form, codominant at 1 foot, leader topped in past, drought stressed.
6R	Birch ( <i>Betula pendula</i> )	6.0	C	25/12	Fair vigor, fair form, suppressed, drought stressed.
7R	Birch ( <i>Betula pendula</i> )	3.5-5.5	F	15/12	Poor vigor, poor form, nearly dead, codominant at grade, decay at grade.
8R	Birch ( <i>Betula pendula</i> )	6.8	D	20/12	Poor vigor, poor form, irregular bend in trunk, abundance of dead wood.
9R	Japanese maple ( <i>Acer palmatum</i> )	14.2	B	20/20	Good vigor, good form, aesthetically pleasing, close to existing foundation.
10P	Birch ( <i>Betula pendula</i> )	18.0	D	25/25	Poor vigor, poor form, topped for line clearance in decline.
11P	Jeffrey pine ( <i>Pinus jeffreyi</i> )	18.6	D	25/25	Fair to poor vigor, poor form, topped for line clearance.

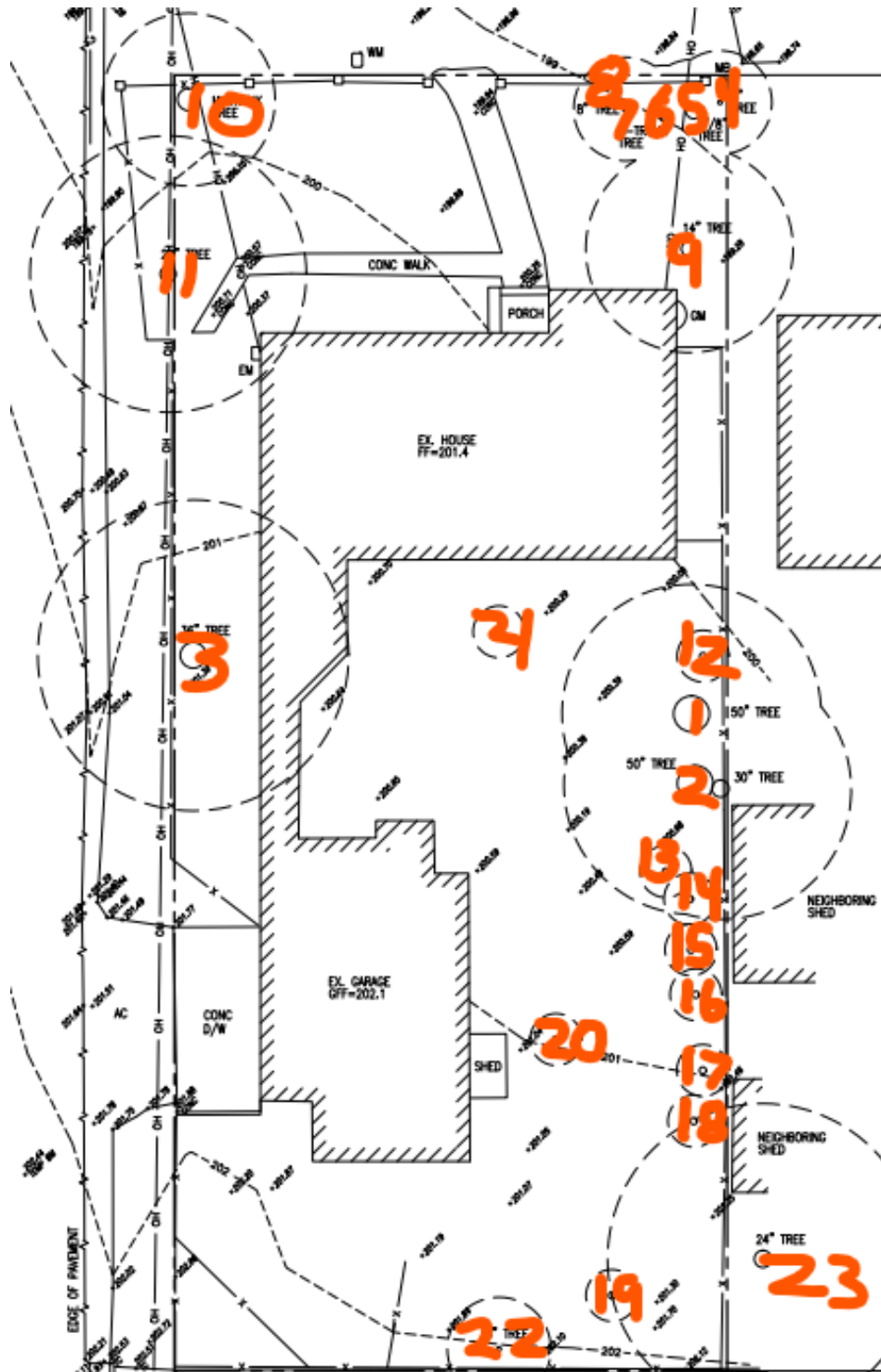


166 Lyell

(3)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
12R	Giant bird of paradise ( <i>Strelitzia nicolai</i> )	1"x8	D	10/8	Fair to poor vigor, fair form, <b>large shrub</b>
13R	Giant bird of paradise ( <i>Strelitzia nicolai</i> )	1"x8	D	10/8	Fair to poor vigor, fair form, <b>large shrub</b>
14R	Giant bird of paradise ( <i>Strelitzia nicolai</i> )	1"x8	D	10/8	Fair to poor vigor, fair form, <b>large shrub</b>
15R	Giant bird of paradise ( <i>Strelitzia nicolai</i> )	1"x8	D	10/8	Fair to poor vigor, fair form, <b>large shrub</b>
16R	Giant bird of paradise ( <i>Strelitzia nicolai</i> )	1"x8	D	10/8	Fair to poor vigor, fair form, <b>large shrub</b>
17R	Angels trumpet ( <i>Brugmansia sp.</i> )	2"x 12	D	10/8	Poor vigor, poor form, in decline, <b>large shrub</b>
18R	Giant bird of paradise ( <i>Strelitzia nicolai</i> )	1"x8	D	10/8	Fair to poor vigor, fair form, <b>large shrub</b>
19R	Giant bird of paradise ( <i>Strelitzia nicolai</i> )	1"x8	D	10/8	Fair to poor vigor, fair form, <b>large shrub</b>
20R	Giant bird of paradise ( <i>Strelitzia nicolai</i> )	1"x8	D	10/8	Fair to poor vigor, fair form, <b>large shrub</b>
21R	Giant bird of paradise ( <i>Strelitzia nicolai</i> )	1"x8	D	10/8	Fair to poor vigor, fair form, <b>large shrub</b>
22R	Yew pine ( <i>Podocarpus macrophyllus</i> )	6.0	F	12/10	Poor vigor, fair form, in decline.
23*P	Coast live oak ( <i>Quercus agrifolia</i> )	24.0	B	35/30	Good vigor, good form, 3 feet from property line.



Showing tree locations

**Site observations:**

The landscape at 166 Lyell street is under drought stress. All of the grass is dead and is a sign that no irrigation has been provided for the trees. Many birch trees were observed on the lot. Birch trees require significant dry season irrigation to maintain a healthy canopy. The birch trees are drought stressed and in decline. Many giant birds of paradise shrubs were observed on site. These should be considered a large shrub, not a tree. London plane tree #3, birch tree #10, and Jeffrey pine #11 are located underneath high voltage utility lines and have been topped in the past for clearance. Topping trees creates poor structure, weakens roots, and can make for a tree with a higher risk of limb failure.



**Showing topped London plane tree #3**



**Showing trees #10 and #11 under utilities**

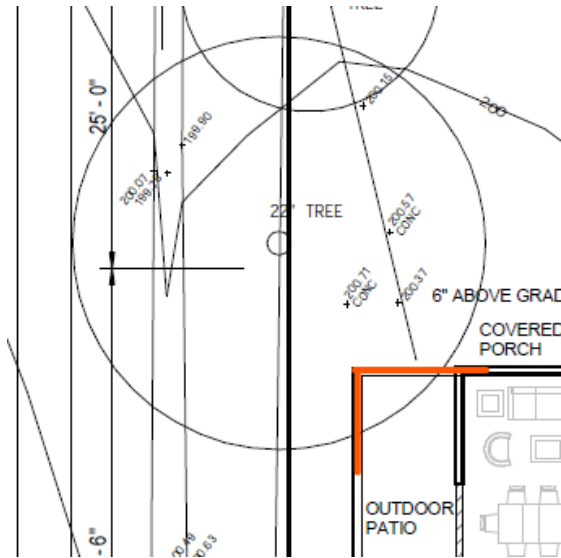
**Trees proposed for removal:**

London plane sycamore tree #3 is proposed for removal. The tree is in poor condition as it has been topped in the past. Topping trees creates risk of future limb failure and is not an approved pruning practice by ANSI Standards or Best Management Practices. Growth following a topping cut consist of many small shoot arising from the topping cut. These new shoots are a trees defense mechanism to stay alive in such an event where a limb would fail. The new shoots develop into limbs and do not form proper branch to trunk unions and will therefore increase risk of failure. Topping trees leads to decay at the point of origin leading to an increase of risk of limb failure, can weaken a tree to a point of death, can cause sunscald, makes trees unsightly, and is expensive due to frequently reoccurring corrective pruning needed throughout the remainder of the tree's lifespan. If the tree were to be retained, the basement cut would need to maintain a distance equal to the existing home on the site from the tree or 5 feet. If the plan were redesigned the tree would still be too close to the existing/proposed home and future damages would be likely due to root pressure on the foundation/basement wall. Removing and replacing the tree further away from the foundation will eliminate future risk of damages and will eliminate the future risk of limb failure due to the topping cuts made in the past. A new tree can be easily planted slightly further away from the proposed home and properly maintained so that there is little to no risk of limb failure or foundation damage. This tree meets the following criteria to support tree removal: (1) The condition of the tree with respect to disease, imminent **danger of falling, proximity to existing or proposed structures** and interference with utility services. (2) **The necessity to remove the tree for economic or other enjoyment of the property.** The alternative would be to redesign the home to the existing home set back from the tree. This is not reasonable for a tree in poor condition that has been topped.

**Non-protected tree removals:**

Birch trees #4-8 and Japanese maple tree #9 are proposed for removal to facilitate the construction of a new driveway and garage. A driveway is needed for the main home as the site's existing driveway will be used for the proposed ADU. The driveway would have to be in this location as having the driveway closer to the intersection of the cross street could be dangerous for the owner when entering and exiting the home. These trees are not of a protected size. Impacts would be high for the trees at the edge of the driveway and garage and would likely decline because of the construction. Removal and replacement are a better option.

Trees #12-22 are proposed for removal. These consist of Giant Bird of Paradise shrubs, an angel's trumpet, and a yew pine tree. These trees are not protected trees in the city of Los Altos and are all in poor condition. The site would benefit from the removal of these trees and the plantings shown in the landscape plan.



**Red line indicating area where vertical shoring is needed.**

#### **Proposed work/Recommendations:**

The proposed basement cut near Jeffrey pine tree #11 is recommended to be vertically shored to reduce impacts to the tree. Shoring at the corner of the basement will reduce impacts to a minor level. Tree protection fencing is recommended to be placed at 3 feet from the basement cut and out to 15 feet from the tree where possible. A series of soaker hoses are recommended to be installed within the tree protection fencing and be turned on every other week until the top foot of soil is saturated as a mitigation measure for the minor impacts. The Project Arborist is recommended to be called out to the site to witness the basement excavation near the tree.

An area drain is shown in the front of the home. The area drain is recommended to maintain a minimal distance of 15 feet from the pine tree #11. At this distance, no impacts would be expected.

An ADU is proposed on the south side of the lot. The location of the ADU is far from any protected tree on the lot and no impacts are expected. The neighbor's oak tree #23 is only a few feet from the property line fence. This tree is recommended to be protected by tree protection fencing placed off of the property line fence to a distance of 3 feet from the proposed ADU foundation. This will protect the neighbor's oak tree root zone from compaction. No impacts to the oak tree are expected if tree protection fencing is installed and maintained.

#### **Tree Protection Plan:**

##### *Tree Protection Zones*

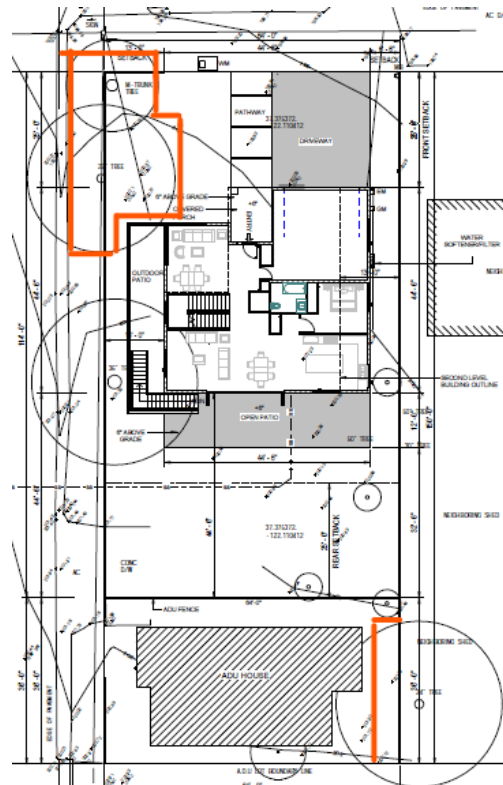
Tree protection zones should be installed and maintained throughout the entire length of the project. Prior to the commencement of any Development Project, a chain link fence shall be installed at the drip line (canopy spread) of any protected tree which will or will not be affected by the construction. The drip line shall not be altered in any way so as to increase the encroachment of the construction. When work is to take place underneath a tree's dripline, fencing must be placed as close as possible to the tree proposed work. If an area of access is needed underneath a trees canopy, the area shall be protected by a landscape barrier. equipment should be stored or cleaned inside the tree protection zones. Excavation, grading, soil deposits, drainage and leveling is prohibited within the tree protection zones without the project arborist consent. No wires, signs or ropes shall be attached to the protected trees on site. Utility services and irrigation lines shall all be place outside of the tree protection zones when possible. When access is needed, and tree protection fencing restricts access a landscape barrier shall be installed to protect the non-protected root zone.

### Tree protection fencing distances

Tree protection fencing for the neighbor's oak tree #23 should be 6-foot-tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The fencing must extend off of the property line fence out to a distance of 3 feet from the proposed ADU or 15 feet from the tree whichever is further from the tree.

Birch tree #10 will need to have tree protection fencing located 13 feet from the tree where possible.

Pine tree #11 will need to have tree protection fencing located at 3 feet from the proposed basement cut, and out to 15 feet from the tree wherever else possible. Below is a diagram showing the recommended placement of the tree protection fencing.



**Showing the recommended tree protection fencing locations**

### *Landscape Barrier zone*

If for any reason a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where tree protection fencing is required. The landscape buffer will help to reduce compaction to the unprotected root zone.

*Inspections*

The site arborist will need to verify that tree protection fencing has been installed before the start of construction. The site arborist must inspect the site anytime excavation work is to take place underneath a protected trees dripline. It is the contractor's responsibility to contact the site arborist if excavation work is to take place underneath the protected trees on site. Kielty Arborist Services can be reached at kkarbor0476@yahoo.com or by phone at (650) 515-9783 (Kevin), or (650) 532-4418 (David).

*Root Cutting and Grading*

If for any reason roots are to be cut, they shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The site arborist must first give consent if roots over 2 inches in diameter are to be cut. Roots may or may not need to be saved within foundation material.

*Trenching and Excavation*

Trenching for foundation, irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible and if possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

*Pruning*

At this time no pruning is proposed on site. If at any time pruning is needed, it shall be done by a Certified Arborist and shall follow all pruning guidelines as seen in ANSI A300 pruning standards.

*Irrigation*

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation. Native oak trees shall not be irrigated unless directed by the project arborist.

166 Lyell

(10)

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty  
Certified Arborist WE#0476A



Kielty Arborist Services  
P.O. Box 6187  
San Mateo, CA 94403  
650-515-9783

### **ARBORIST DISCLOSURE STATEMENT**

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

*Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.*

Arborist: Kevin R. Kielty  
Kevin R. Kielty

Date: May 17<sup>th</sup>, 2021



# ATTACHMENT D



**Date:** Aug 18, 2021

To  
Sean Gallegos  
Associate Planner,  
City of Los Altos, CA.

**Subject:** Response to **SC21-0009** comment letter dated August 10, 2021  
Hi Sean,

This letter is in response to the above mentioned letter for the new two-story house 166 Lyell Street comment #3-Community Outreach “*Staff requires a letter outlining and discussing the outcome of the public outreach, and any correspondence with neighbors confirming your outreach with neighbors.*”

We had sent out an invitation letter to all our neighbors via. Certified USPS mails soliciting presence for a virtual online neighborhood meeting on Tuesday, May 18th, 2021 from 12:30 PM to 01:00 PM. We also held community engagement meet at our property on Friday May 14th & 21st between 5.30pm to 6.30pm where I met many neighbors who explicitly expressed their support for the project & the responses are summarised below:

Neighbors	Response
126 Lyell Street	No Concerns
128 Lyell Street	No Concerns
130 Lyell Street	No Concerns
132 Lyell Street	No Concerns
151 Lyell Street	Response received over mail - No Concerns
155 Lyell Street	No Concerns
165 Lyell Street	No Concerns
175 Lyell Street	No Concerns
185 Lyell Street	No Concerns
134 Lyell Street	No Concerns
174 Lyell Street	No Concerns
182 Lyell Street	No Concerns
438 Gabilan Street	No Concerns
445 Gabilan Street	No Concerns
456 Gabilan Street	No Concerns
465 Gabilan Street	No Concerns

The correspondence receipts / emails are enclosed with this letter for your reference.



Sincerely,

*Navneet Aron*

**Navneet Aron**

Owner- 166 Lyell St.

Principal- LIVIO Building Systems Inc.

**Enclosed:**

1. Mail from Neighbor
2. USPS Receipts (16 Nos.)



Burhan Baba <burhan@golivio.com>

---

## Fwd: Welcome to Lyell Street

1 message

---

**Navneet Aron** <navneet@golivio.com>

Mon, Aug 16, 2021 at 9:40 PM

To: Sean Gallegos <sgallegos@losaltosca.gov>, Subhendu Datta <subhendu@golivio.com>, Burhan Baba <burhan@golivio.com>, Lyell <lyell@golivio.com>

Hi Sean,  
Here's one of the emails I received in response to the public outreach we did.  
-Navneet

----- Forwarded message -----

From: **Bob Jones** <porsche.bob@sbcglobal.net>

Date: Mon, May 24, 2021 at 2:49 PM

Subject: Welcome to Lyell Street

To: navneet@golivio.com <navneet@golivio.com>

May 24, 2021

Greetings Navneet,

We received your invitation in the mail recently but, sadly, we could not attend on that last date. Welcome to our dear old neighborhood. We have happily lived here since 1974 and have loved it. If there is ever anything you need let us know and maybe we can help you. I have a garage full of tools, including an air-compressor, so if any of your children, or you, need a bicycle, beach ball, or car tires pumped up, just drive into our driveway (left side) and I will take care of you.

Kind regards,

Bob Jones (retired engineer),  
Peggy Jones (retired teacher)  
Pet dog Zoey, (still very active)

151 Lyell Street (White motorhome in front)  
Home phone: (650) 941-8621  
Bob's cell phone: (650) 888-4275  
Peggy's cell phone: (650) 714-0585  
Email address: [porsche.bob@sbcglobal.net](mailto:porsche.bob@sbcglobal.net)

329 S San Antonio Road #8,  
Los Altos, CA 94022-1386

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**9207 1969 0071 2616 5250 2050 09**

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Respected Neighbour  
City  
Los Altos  
128 Lyell St  
Los Altos, CA 94022-4044

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PREPARED**

**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
Hope you are safe & doing well.

I am the owner residing at 166 Lyell St. property, seeking your support for my proposed new two-storey house which is undergoing the Planning approvals. I am writing to understand and address any concerns / feedback you have regarding the project and can reach out to us over call / text on 650-380-0644 or write to me at [navneet@golivio.com](mailto:navneet@golivio.com) by Tuesday, May 18th, 2021. Also, feel free to visit my house for a glass of wine on Friday, May 14th & 21st between 5:30-6:30pm (I have got both of my jabs) and it shall be a great reason to meet each other!

We are also inviting you to an online neighborhood meeting on Tuesday, May 18th, 2021 from 12:30 PM to 01:00 PM [Joining Link (Google Meet): <https://meet.google.com/tuh-wscr-phf> Or dial: (US) +1 530-435-5098 PIN: 193 639 794#] to address any concerns and feedback on proposed plans for the site (Scan QR Code given below to view the plans), gather community input on the proposed development and answer your questions.

Sincerely,

  
Navneet Aron



CC:

- 126 Lyell Street
- 128 Lyell Street
- 130 Lyell Street
- 132 Lyell Street
- 151 Lyell Street
- 155 Lyell Street
- 165 Lyell Street
- 175 Lyell Street
- 185 Lyell Street
- 134 Lyell Street
- 174 Lyell Street
- 182 Lyell Street
- 438 Gabilan Street
- 445 Gabilan Street
- 456 Gabilan Street
- 465 Gabilan Street

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Respected Neighbour  
City  
Los Altos  
151 Lyell St  
Los Altos, CA 94022-4045

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PROOF**

**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
Hope you are safe & doing well.

I am the owner residing at 166 Lyell St. property, seeking your support for my proposed new two-storey house which is undergoing the Planning approvals. I am writing to understand and address any concerns / feedback you have regarding the project and can reach out to us over call / text on 650-380-0644 or write to me at [navneet@golivio.com](mailto:navneet@golivio.com) by Tuesday, May 18th, 2021. Also, feel free to visit my house for a glass of wine on Friday, May 14th & 21st between 5:30-6:30pm (I have got both of my jabs) and it shall be a great reason to meet each other!

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Sincerely,

*Navneet Aron*

Navneet Aron



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Respected Neighbour  
City  
Los Altos  
175 Lyell St  
Los Altos, CA 94022-4045

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PREPARED**



**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
Hope you are safe & doing well.

I am the owner residing at 166 Lyell St. property, seeking your support for my proposed new two-storey house which is undergoing the Planning approvals. I am writing to understand and address any concerns / feedback you have regarding the project and can reach out to us over call / text on 650-380-0644 or write to me at [navneet@golivio.com](mailto:navneet@golivio.com) by Tuesday, May 18th, 2021. Also, feel free to visit my house for a glass of wine on Friday, May 14th & 21st between 5:30-6:30pm (I have got both of my jabs) and it shall be a great reason to meet each other!

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Sincerely,

  
Navneet Aron



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Respected Neighbour  
City  
Los Altos  
174 Lyell St  
Los Altos, CA 94022-4068

**SIGNATURE REQUIRED PER DMM 3.1.1**

PREPARED

**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
Hope you are safe & doing well.

I am the owner residing at 166 Lyell St. property, seeking your support for my proposed new two-storey house which is undergoing the Planning approvals. I am writing to understand and address any concerns / feedback you have regarding the project and can reach out to us over call / text on 650-380-0644 or write to me at [navneet@golivio.com](mailto:navneet@golivio.com) by Tuesday, May 18th, 2021. Also, feel free to visit my house for a glass of wine on Friday, May 14th & 21st between 5:30-6:30pm (I have got both of my jabs) and it shall be a great reason to meet each other!

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Respected Neighbour  
City  
Los Altos  
445 Gabilan St  
Los Altos, CA 94022-4063

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PROOF**

**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
Hope you are safe & doing well.

I am the owner residing at 166 Lyell St. property, seeking your support for my proposed new two-storey house which is undergoing the Planning approvals. I am writing to understand and address any concerns / feedback you have regarding the project and can reach out to us over call / text on 650-380-0644 or write to me at [navneet@golivio.com](mailto:navneet@golivio.com) by Tuesday, May 18th, 2021. Also, feel free to visit my house for a glass of wine on Friday, May 14th & 21st between 5:30-6:30pm (I have got both of my jabs) and it shall be a great reason to meet each other!

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Sincerely,

*Navneet Aron*

Navneet Aron



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Los Altos, CA 94022-1386

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Respected Neighbour  
City  
Los Altos  
126 Lyell St  
Los Altos, CA 94022-4044

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PREPARED**

**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
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Navneet Aron



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Los Altos, CA 94022-1386

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**9207 1969 0071 2616 5250 2050 09**

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Respected Neighbour  
City  
Los Altos  
132 Lyell St  
Los Altos, CA 94022-4044

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PREPARED**



**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
Hope you are safe & doing well.

I am the owner residing at 166 Lyell St. property, seeking your support for my proposed new two-storey house which is undergoing the Planning approvals. I am writing to understand and address any concerns / feedback you have regarding the project and can reach out to us over call / text on 650-380-0644 or write to me at [navneet@golivio.com](mailto:navneet@golivio.com) by Tuesday, May 18th, 2021. Also, feel free to visit my house for a glass of wine on Friday, May 14th & 21st between 5:30-6:30pm (I have got both of my jabs) and it shall be a great reason to meet each other!

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Sincerely,

  
Navneet Aron



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- 445 Gabilan Street
- 456 Gabilan Street
- 465 Gabilan Street

329 S San Antonio Road #8,  
Los Altos, CA 94022-1386

PRESORTED  
FIRST-CLASS MAIL  
POSTAGE AND FEES PAID  
C2M LLC  
22202

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**USPS CERTIFIED MAIL™**



**9207 1969 0071 2616 5250 2050 09**

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Respected Neighbour  
City  
Los Altos  
165 Lyell St  
Los Altos, CA 94022-4045

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PREPARED**

**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
Hope you are safe & doing well.

I am the owner residing at 166 Lyell St. property, seeking your support for my proposed new two-storey house which is undergoing the Planning approvals. I am writing to understand and address any concerns / feedback you have regarding the project and can reach out to us over call / text on 650-380-0644 or write to me at [navneet@golivio.com](mailto:navneet@golivio.com) by Tuesday, May 18th, 2021. Also, feel free to visit my house for a glass of wine on Friday, May 14th & 21st between 5:30-6:30pm (I have got both of my jabs) and it shall be a great reason to meet each other!

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Los Altos, CA 94022-1386

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C2M LLC  
22202

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**USPS CERTIFIED MAIL™**



**9207 1969 0071 2616 5250 2050 09**

---

Respected Neighbour  
City  
Los Altos  
134 Lyell St  
Los Altos, CA 94022-4044

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PROOF**

**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
Hope you are safe & doing well.

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Sincerely,

*Navneet Aron*

Navneet Aron



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Los Altos, CA 94022-1386

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**9207 1969 0071 2616 5250 2050 09**

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Respected Neighbour  
City  
Los Altos  
438 Gabilan St  
Los Altos, CA 94022-4051

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PROOF**

**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
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I am the owner residing at 166 Lyell St. property, seeking your support for my proposed new two-storey house which is undergoing the Planning approvals. I am writing to understand and address any concerns / feedback you have regarding the project and can reach out to us over call / text on 650-380-0644 or write to me at [navneet@golivio.com](mailto:navneet@golivio.com) by Tuesday, May 18th, 2021. Also, feel free to visit my house for a glass of wine on Friday, May 14th & 21st between 5:30-6:30pm (I have got both of my jabs) and it shall be a great reason to meet each other!

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*Navneet Aron*  
Navneet Aron



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329 S San Antonio Road #8,  
Los Altos, CA 94022-1386

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22202

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**USPS CERTIFIED MAIL™**



**9207 1969 0071 2616 5250 2050 09**

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Respected Neighbour  
City  
Los Altos  
465 Gabilan St  
Los Altos, CA 94022-4069

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PREPARED**



**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
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Los Altos, CA 94022-1386

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**USPS CERTIFIED MAIL™**



**9207 1969 0071 2616 5250 2050 09**

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Respected Neighbour  
City  
Los Altos  
130 Lyell St  
Los Altos, CA 94022-4044

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PREPARED**

**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

Dear Neighbor,  
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329 S San Antonio Road #8,  
Los Altos, CA 94022-1386

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**9207 1969 0071 2616 5250 2050 09**

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Respected Neighbour  
City  
Los Altos  
155 Lyell St  
Los Altos, CA 94022-4045

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PREPARED**

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**USPS CERTIFIED MAIL™**



**9207 1969 0071 2616 5250 2050 09**

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Respected Neighbour  
City  
Los Altos  
185 Lyell St  
Los Altos, CA 94022

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PREPARED**

**Date:** May 12th, 2021

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329 S San Antonio Road #8,  
Los Altos, CA 94022-1386

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22202

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**USPS CERTIFIED MAIL™**



**9207 1969 0071 2616 5250 2050 09**

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Respected Neighbour  
City  
Los Altos  
182 Lyell St  
Los Altos, CA 94022-4068

**SIGNATURE REQUIRED PER DMM 3.1.1**

**PREPARED**



**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

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**9207 1969 0071 2616 5250 2050 09**

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Respected Neighbour  
City  
Los Altos  
456 Gabilan St  
Los Altos, CA 94022-4003

**SIGNATURE REQUIRED PER DMM 3.1.1**

PREPARED

**Date:** May 12th, 2021

**Subject:** Planning Approval of Single Family Residential Unit at 166 Lyell Street, Los Altos, CA (#SC21-0009)

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# NOTICE OF DEVELOPMENT PROPOSAL

DESIGN REVIEW FOR A NEW TWO-STORY HOUSE, 166 LYELL STREET, LOS ALTOS

### PROJECT DESCRIPTION:

A NEW 3,183 SQUARE-FOOT TWO-STORY HOUSE WITH A BASEMENT



**APPLICANT:**  
BUREN BABA  
(831) 463-8125  
bbaba@livi.com

**PROPERTY OWNER:**  
ARON NAVSHEET  
(831) 280-0644  
aronsheet@livi.com

**PROJECT PLANNER:**  
SEAN CALLEGOS  
(831) 947-2041  
scallegos@losaltosca.gov

### PUBLIC MEETING DATE

### PUBLIC MEETING NOTICE

Wednesday, December 15, 2021 at 7:00 pm

The Design Review Committee will hold a public meeting to consider the project in the attached site and site plan on Wednesday, December 15, 2021 at 7:00 pm.

For more information on the project or to request a public comment card, please contact the Project Planner at (831) 947-2041 or scallegos@losaltosca.gov.

Project plans and information are available for review on the City of Los Altos website at <https://www.losaltosca.gov/development>. The project number for residents on the 166 Lyell Street is 166-166-166-166. The meeting fee is \$100.00. Public comments can be made at the City of Los Altos Community Development Department or at the Project Planner. Public comments can also be made at the Public Meeting.

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

## NEW SINGLE FAMILY HOUSE

LOT-6, 166 LYELL STREET,  
LOS ALTOS, CA



## NEW SINGLE FAMILY HOUSE

### REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	22-MAY-2021	PRAKASH

### NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES.
- DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
- ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/ WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS- UNLESS OTHERWISE MENTIONED.
- IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION.
- THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION.
- LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE THE SMALLER SCALE DRAWINGS AND DETAILS.
- THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE (FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.)

### SHEET CONTENT:

## TITLE SHEET

### SHEET INDEX

DRG NUMBER	DRAWING NAME	DATE
A-1.001	TITLE SHEET	09-JUL-2021
A-1.002	SITE NEIGHBOURHOOD	09-JUL-2021
A-1.003	NEIGHBOURHOOD CONTEXT	09-JUL-2021
A-1.004	SITE LAYOUT	09-JUL-2021
A-1.005	SITE LAYOUT PART - 1	09-JUL-2021
A-1.006	SITE LAYOUT PART -2	09-JUL-2021
A-1.007	SITE DEMOLITION LAYOUT	09-JUL-2021
A-1.008	TREE PROTECTION PLAN	09-JUL-2021
A-2.001	BASEMENT LEVEL PLAN	09-JUL-2021
A-2.002	FIRST LEVEL PLAN	09-JUL-2021
A-2.003	SECOND LEVEL PLAN	09-JUL-2021
A-2.004	ROOF LEVEL PLAN	09-JUL-2021
A-3.001	WEST AND EAST SIDE ELEVATION	07-JUL-2021
A-3.002	SOUTH AND NORTH SIDE ELEVATION	09-JUL-2021
A-4.001	SECTION A-A & B-B	09-JUL-2021
A-5.001	DOOR & WINDOW SCHEDULE	09-JUL-2021
A-6.001	AREA CALCULATION	09-JUL-2021
A-7.001	MATERIAL BOARD	09-JUL-2021
A-7.002	RENDER VIEWS	09-JUL-2021
A-7.003	SITE SECTIONS	09-JUL-2021
C-1	GRADING AND DRAINAGE PLAN	09-JUL-2021
C-2	DETAILS	09-JUL-2021
C-3	EROSION CONTROL PLAN	09-JUL-2021
C-4	STANDARD DETAILS	09-JUL-2021
L-0	LANDSCAPE DOCUMENTATION	09-JUL-2021
L-1	LANDSCAPE SITE / PLANTING PLAN	09-JUL-2021
L-2	HYDROZONE PLAN	09-JUL-2021
L-3	LANDSCAPE SCREENING PLAN	09-JUL-2021
L-4	IRRIGATION PLAN	09-JUL-2021
L-5	LANDSCAPE DETAILS	09-JUL-2021
L-6	LANDSCAPE SPECIFICATIONS	09-JUL-2021
LC-1	COLORED LANDSCAPE SITE / PLANTING PLAN	09-JUL-2021
SU-1	TOPOGRAPHIC MAP	09-JUL-2021
U-1	UTILITY PLAN	09-JUL-2021

### ZONING COMPLIANCE

THE PROJECT SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

CITY OF LOS ALTOS ORDINANCE APN : 170-37-006

TYPE OF CONSTRUCTION : VB. CRC SECTION 1.1.3.1 ZONE: R1-10

LOT AREA: 9600 SF HISTORICAL: NO

NEW STRUCTURE NEW TWO STOREY ALLOWABLE FLOOR AREA 4160 Sq.ft. MAX

TOTAL FLOOR AREA MAIN HOUSE LIVING AREA 3160 SF

TOTAL COUNTABLE AREA 3160 SF

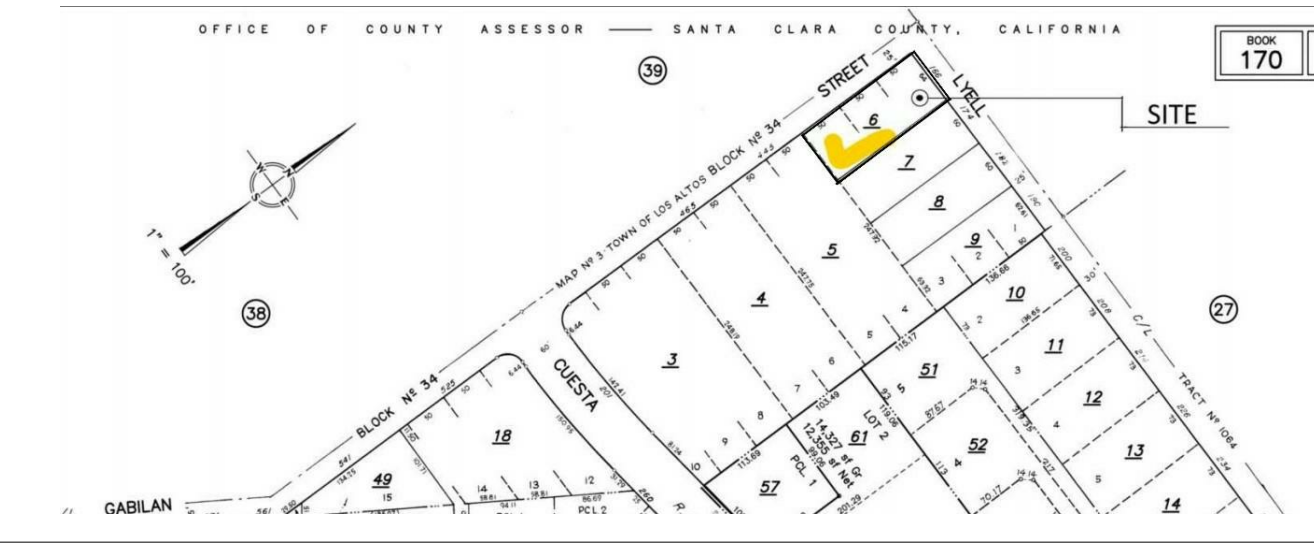
### ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
<b>LOT COVERAGE</b> <small>LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 8FT IN HEIGHT</small>	2051 SF (21%)	2,902 (1847+175+880) SF (30%) <small>FIRST LEVEL=1847 Sq ft. SECOND=175 Sq ft. ADU=880 Sq ft.</small>	3,730 SF (39%)
<b>FLOOR AREA</b> <small>MEASURED TO THE OUTSIDE SURFACE OF EXTERIOR WALLS</small>	2051 SF (21%)	3,160 SF (32.94%)	3,360 SF (35%)
	999 SF ADU	880 SF Demolish 119 sq ft of existing ADU	850 SF ADU
<b>TOTAL</b>	<b>3050 SF</b>	<b>4040 SF</b>	<b>4,210 SF</b>
<b>SETBACKS (MAIN HOUSE)</b>			
FRONT	24' 8" feet	25' 0" feet	25' feet
REAR	24' 3" feet	80' 0" feet	25' feet
RIGHT SIDE (1st/2nd)	5' 8" feet	6' 6" feet/ 17' 6" feet	6' 4" feet/ 13' 10" feet
LEFT SIDE (1st/2nd)	10' 0" feet	13' 0" feet/ 13' 0" feet	12' 5" feet/ 12' 5" feet
<b>HEIGHT</b>	12 feet	23'-7" feet	27 feet

### SCOPE OF WORK

DEMOLITION OF 2170 SF OF EXISTING RESIDENCE + ADU STRUCTURE, NEW CONSTRUCTION OF 3,160 SF SINGLE FAMILY RESIDENCE OVER LOT 9,600 SF

### VICINITY MAP



### SQUARE FOOTAGE BREAKDOWN

	Existing	Change In	Total Proposed
<b>HABITABLE LIVING AREA</b> <small>INCLUDES HABITABLE BASEMENT AREAS</small>	3,198 Square feet <small>EXISTING=2,199 Sq ft. ADU=999 Sq ft.</small>	4,139 Square feet <small>FIRST LEVEL=1,402 Sq ft. SECOND LEVEL= 1,313 Sq ft. BASEMENT=1,424 Sq ft.</small>	5,138 Square feet
<b>NON-HABITABLE AREA</b> <small>DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES</small>	220 Square feet	445 Square feet	445 Square feet

### LOT CALCULATIONS

<b>NET LOT AREA</b>	9600 Square feet
<b>FRONT YARD HARDSCAPING AREA :</b> <small>HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%</small>	701 SF (44%)
<b>LANDSCAPE BREAKDOWN :</b>	
TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):	4700 Sq. ft.
EXISTING SOFTSCAPE (UNDISTURBED):	0 Sq. ft.
NEW SOFTSCAPE (NEW OR REPLACED LANDSCAPING) AREA:	4900 Sq. ft.
SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA	9600 Sq. ft. (Net Lot Area)

### DEFERRED SUBMITTALS

- FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS. NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN

### CONTACT INFO

OWNER : NAVNEET ARON 650-380-0644

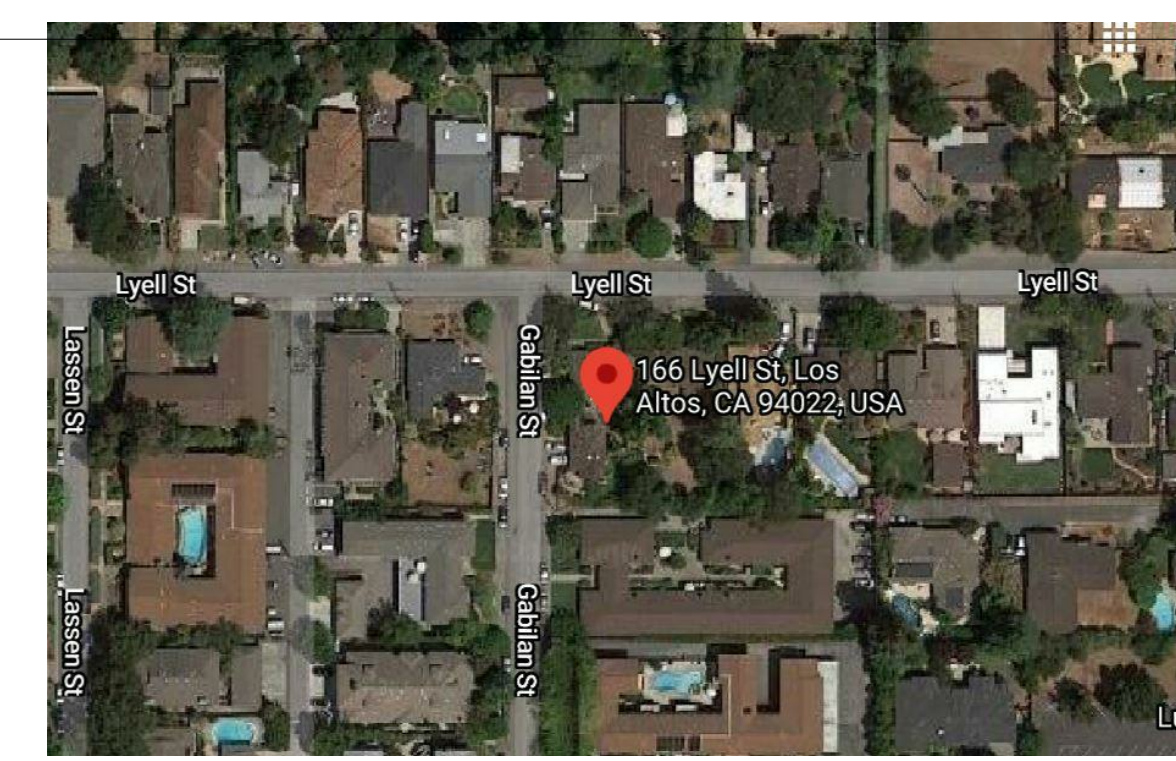
ARCHITECT: LIVIO BUILDING SYSTEMS

CIVIL ENGINEER /LAND SURVEYOR: RW ENGINEERING 408-262-1899

LANDSCAPE ARCHITECT: GREGORY LEWIS 831-399-0960

### GENERAL NOTES

- HERS VERIFICATION REQUIRED FOR THE HVAC COOLING, HVAC DISTRIBUTION SYSTEM FAN SYSTEMS, AND IAQ (INDOOR AIR QUALITY). PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.
- AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBSC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.
- ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR.
- PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT.
- PRIOR TO OCCUPANCY OF THE BUILDING, PROVIDE A LETTER FROM THE CERTIFIED GREENPOINT RATER THAT VERIFIES COMPLIANCE WITH THE CHECKLIST AND THE MINIMUM REQUIRED POINTS WERE ACHIEVED.
- PROPERTY LINE SURVEY WILL BE COMPLETED BY LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION
- BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION
- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION



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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-1.001

### TITLE SHEET

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

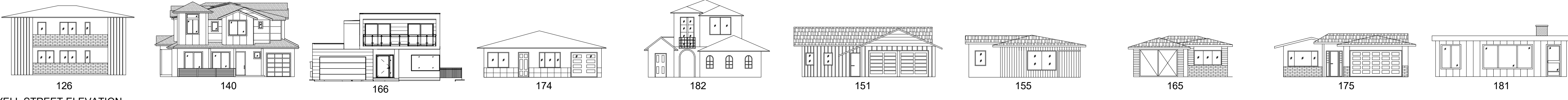
CHECKED BY: SUBHENDU

PROJECT NO: -

SCALE: 1/4" = 1'-0"

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022  
CONTACT : 650-209-6500  
EMAIL : team@golivio.com

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



LYELL STREET ELEVATION



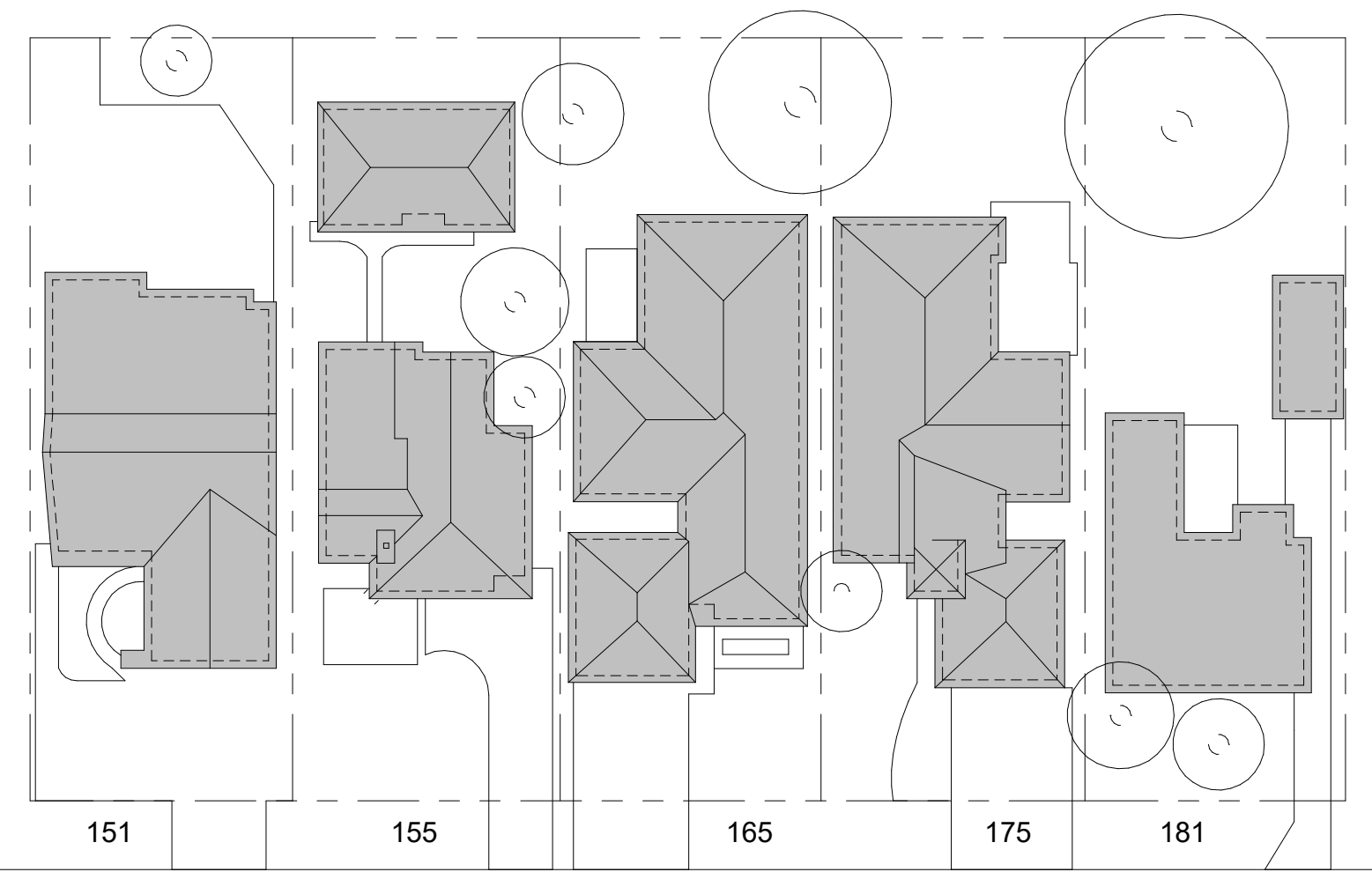
GABALIAN STREET ELEVATION



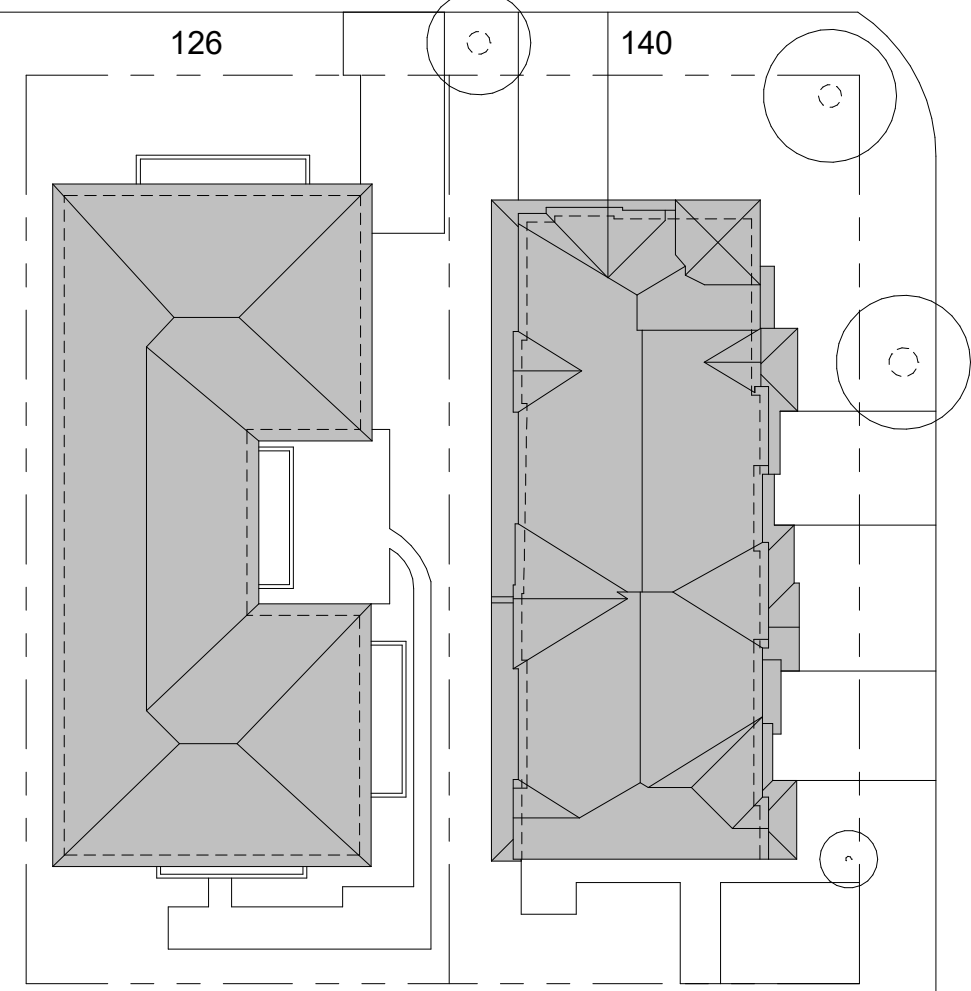
VIEW LOOKING OF 166 LYELL STEET EXISTING HOUSE



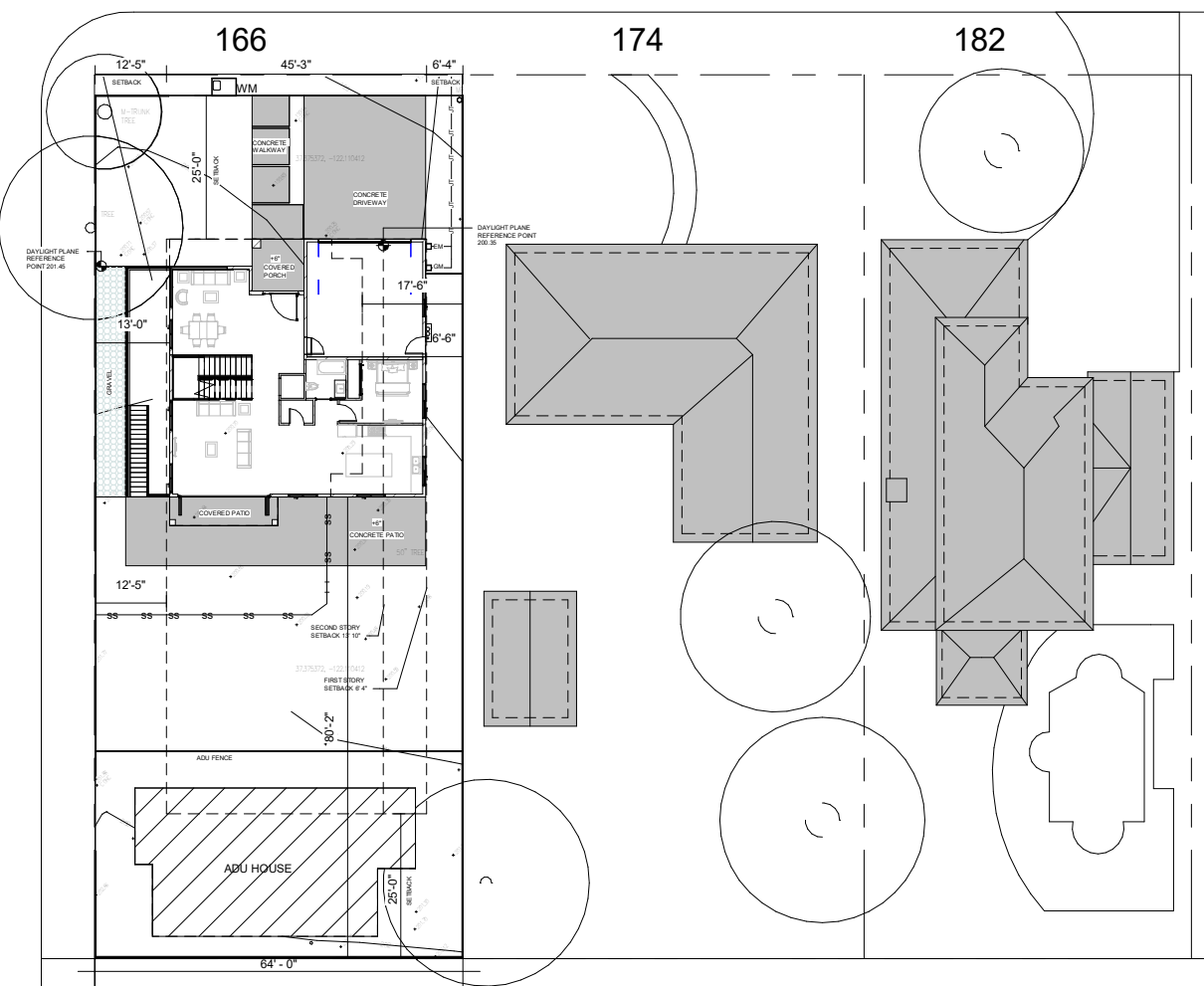
VIEW LOOKING OF 166 GABILAN STEET EXISTING HOUSE



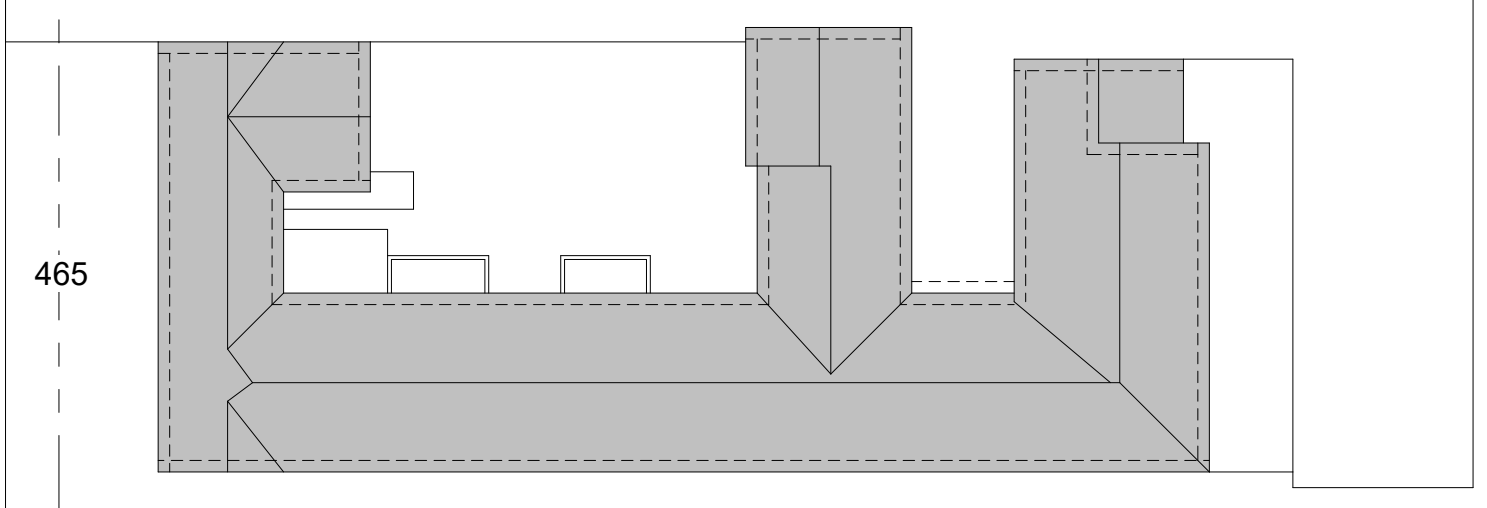
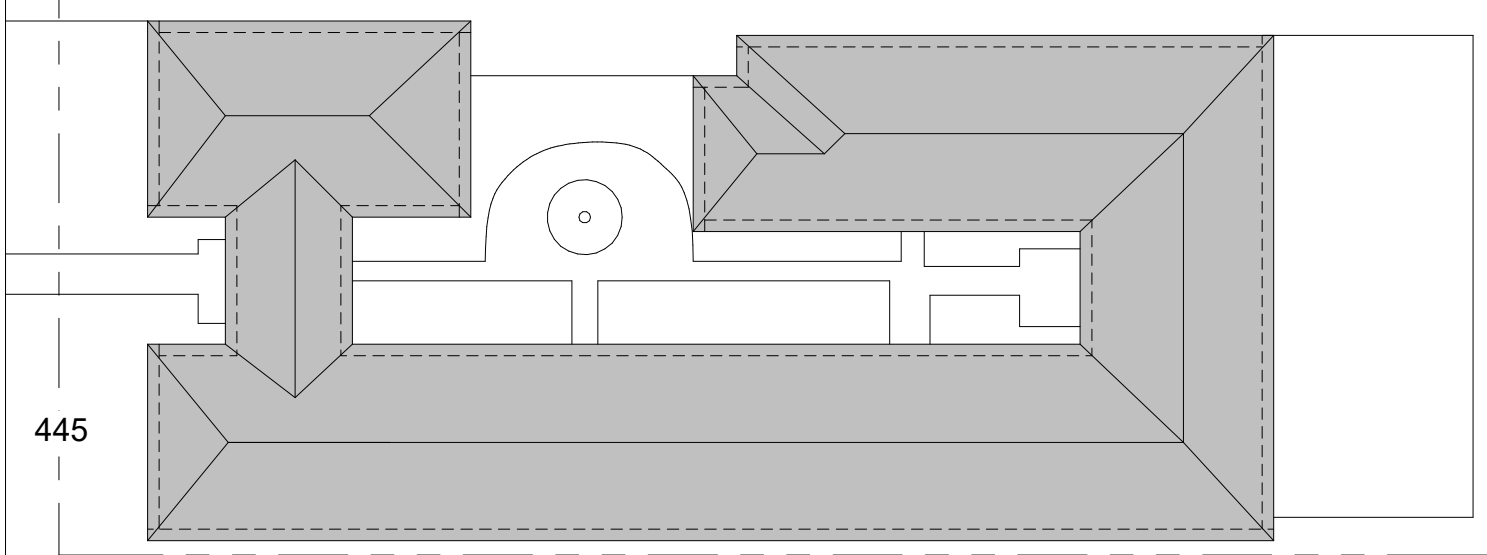
LYELL ST



GABILAN ST



GABILAN ST



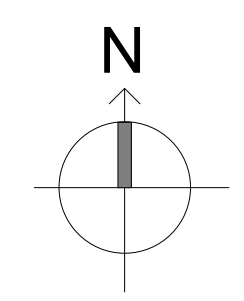
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES.
- DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
- ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/ WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS- UNLESS OTHERWISE MENTIONED.
- IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION.
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-1.002

SITE NEIGHBOURHOOD

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

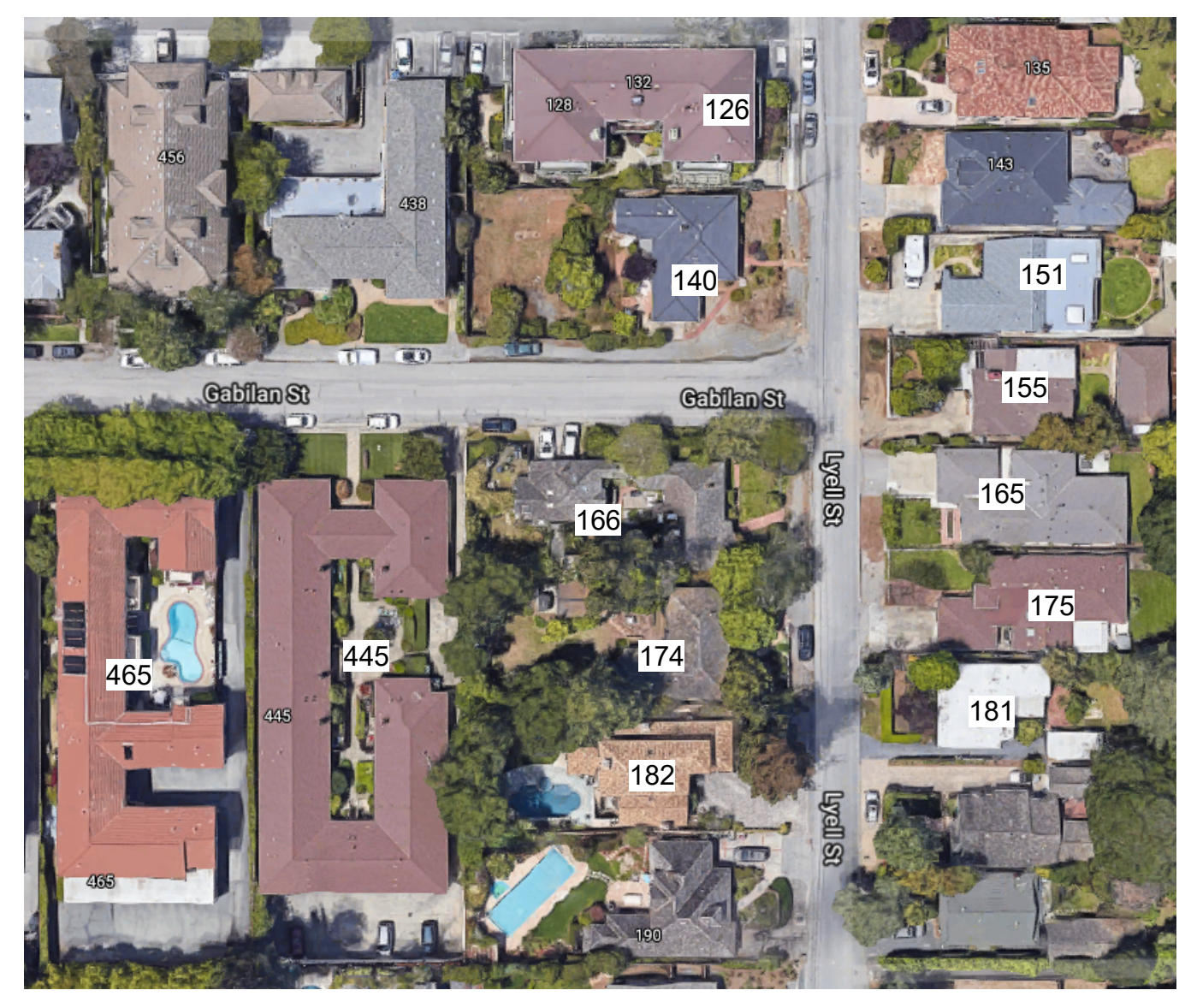
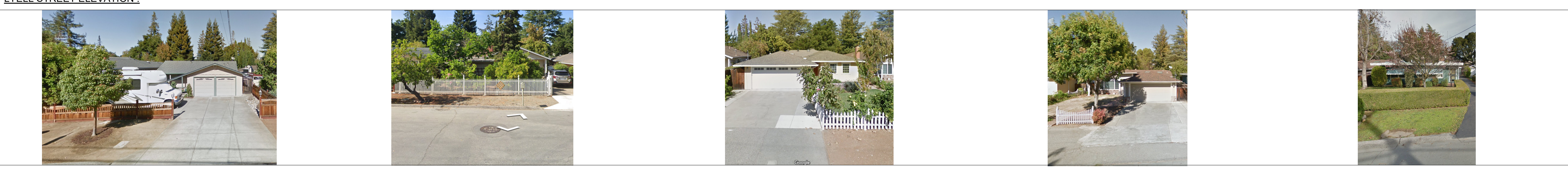
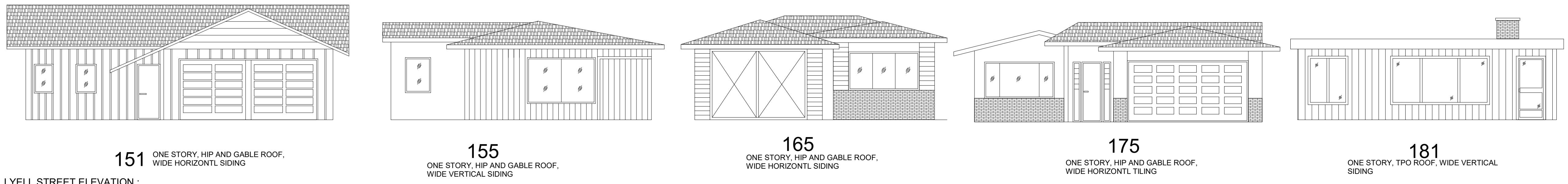
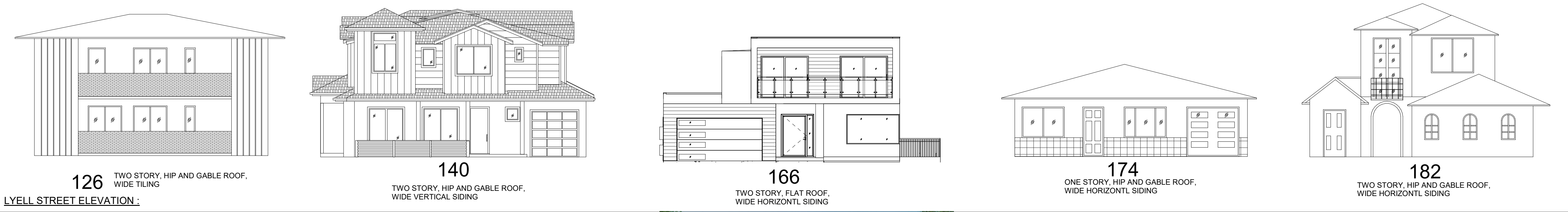
CHECKED BY: SUBHENDU

PROJECT NO: -

SCALE: As indicated

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022  
 CONTACT : 650-209-6500  
 EMAIL : team@golivio.com

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



CONTEXT MAP

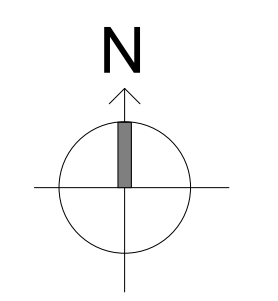
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

NOTES:

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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

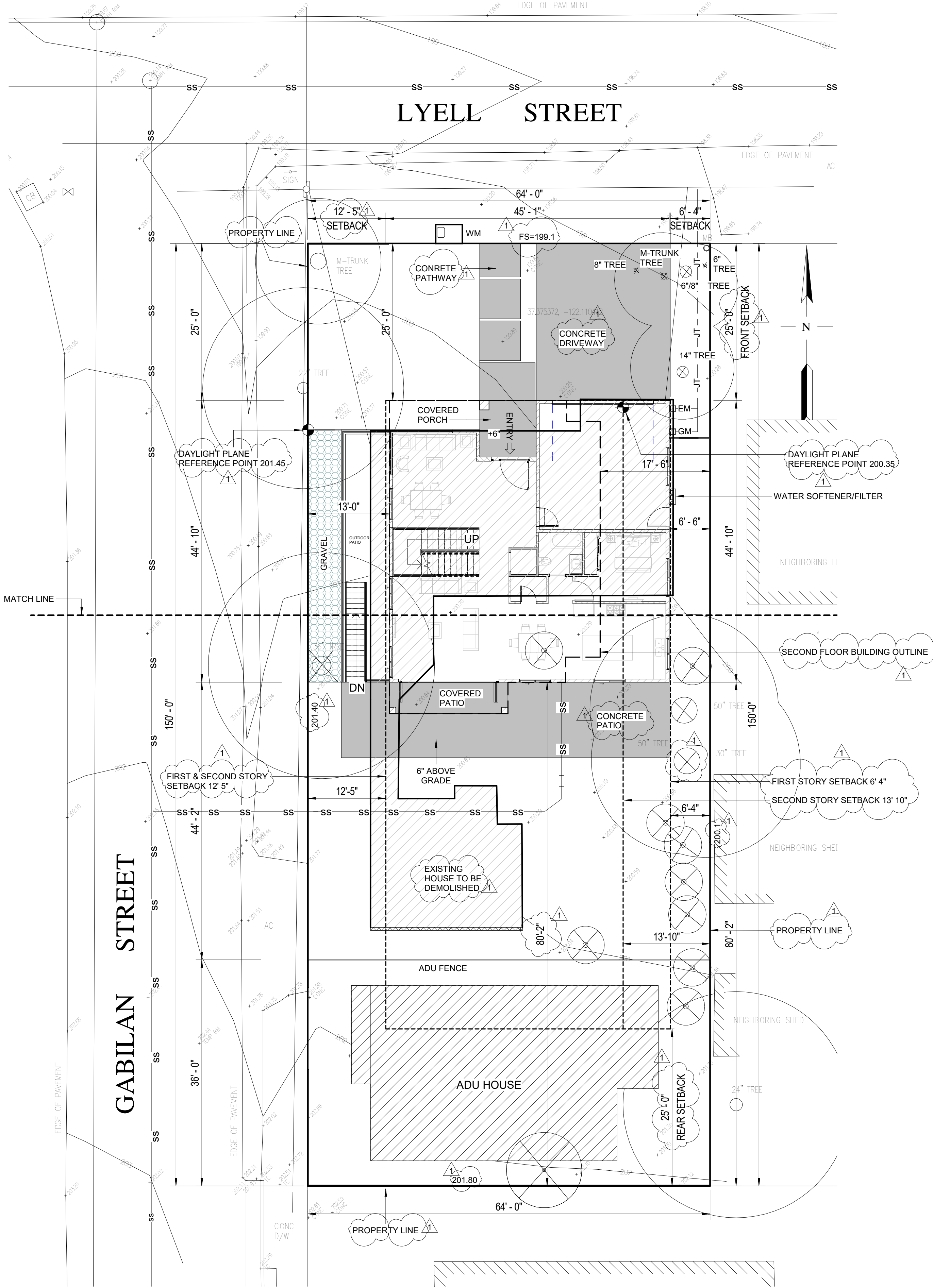
DRG NO: A-1.003

NEIGHBOURHOOD CONTEXT

DATE:	09-JULY-2021
DRAWN BY:	PRAKASH
CHECKED BY:	SUBHENDU
PROJECT NO.:	-
SCALE:	As indicated
ADDRESS:	329 S San Antonio Road #8, Los Altos, CA 94022
CONTACT:	650-209-6500
EMAIL:	team@golivio.com



# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



1 SITE LAYOUT  
1" = 10'-0"

**NOTES:**

**SITE BENCHMARK**

SET NAIL  
ELEVATION = 202.44 NAVD 1988

**BASIS OF BEARINGS**

THE BEARING EAST OF THE CENTRELINE OF LYELL STREET AS SHOWN ON MAP NO. 3 THE TOWN OF LOS ALTOS. FILED FOR RECORD IN BOOK M OF MAPS AT PAGE 1, SANTA CLARA COUNTY RECORDS.

**REFERENCES**

R1 MAP NO. 3 TH TOWN OF LOS ALTOS (M MAPS 1)

**SITE DATA:**

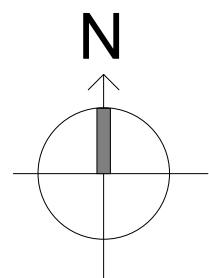
166 LYELL STREET  
LOS ALTOS, CA  
APN: 170-37-006  
AREA= 9,600 S.F. +/-

**REVISIONS :**

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

**NOTES:**

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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-1.004

**SITE LAYOUT**

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

PROJECT NO: -

SCALE: As indicated

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022

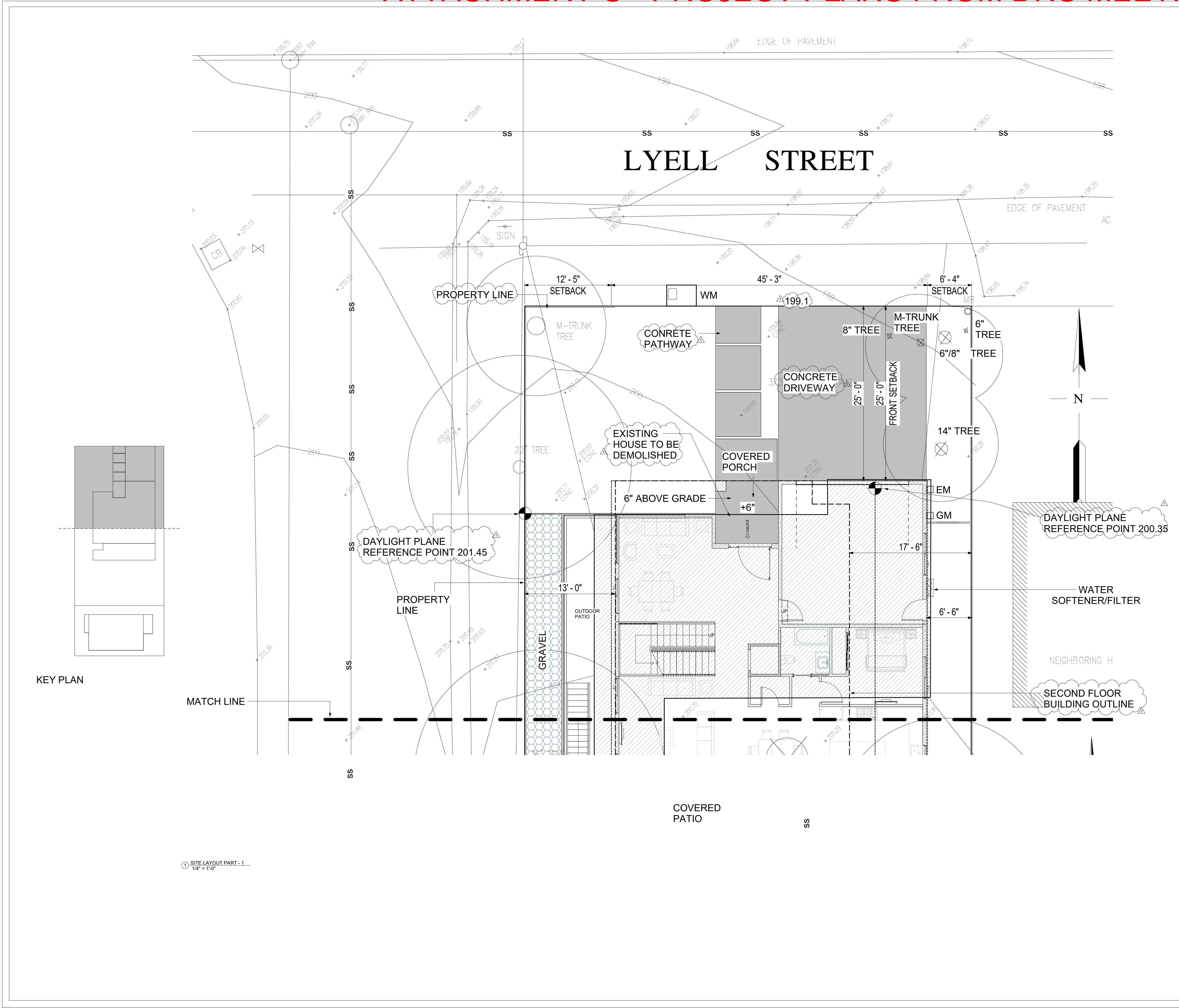
CONTACT : 650-209-6500

EMAIL : team@golivio.com





# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



**NOTES:**

**SITE BENCHMARK**  
 SET NAIL  
 ELEVATION = 202.44 NAVD 1988

**BASIS OF BEARINGS**  
 THE BEARING EAST OF THE CENTRELINE OF LYELL STREET AS SHOWN ON MAP NO. 3 THE TOWN OF LOS ALTOS, FILED FOR RECORD IN BOOK M OF MAPS AT PAGE 1, SANTA CLARA COUNTY RECORDS.

**REFERENCES**  
 R1 MAP NO. 3 TH TOWN OF LOS ALTOS (M MAPS 1)

**SITE DATA:**  
 166 LYELL STREET  
 LOS ALTOS, CA  
 APN: 170-37-006  
 AREA= 9,600 S.F. +/-

REV	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	22 MAY 2021	PRAKASH

**NOTES:**

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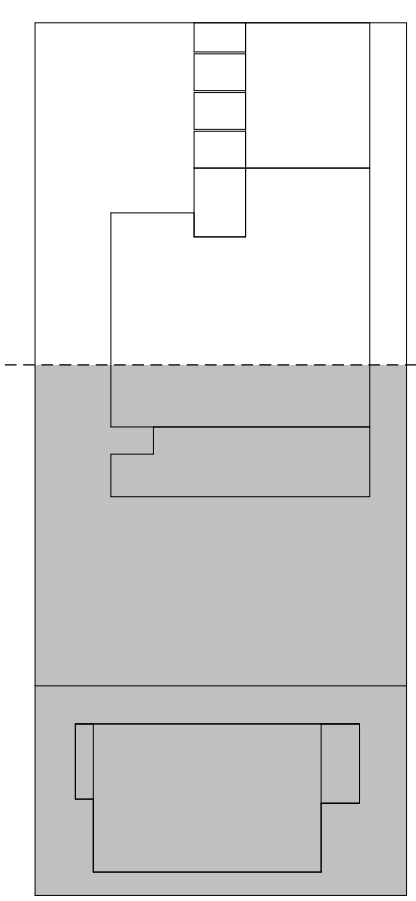
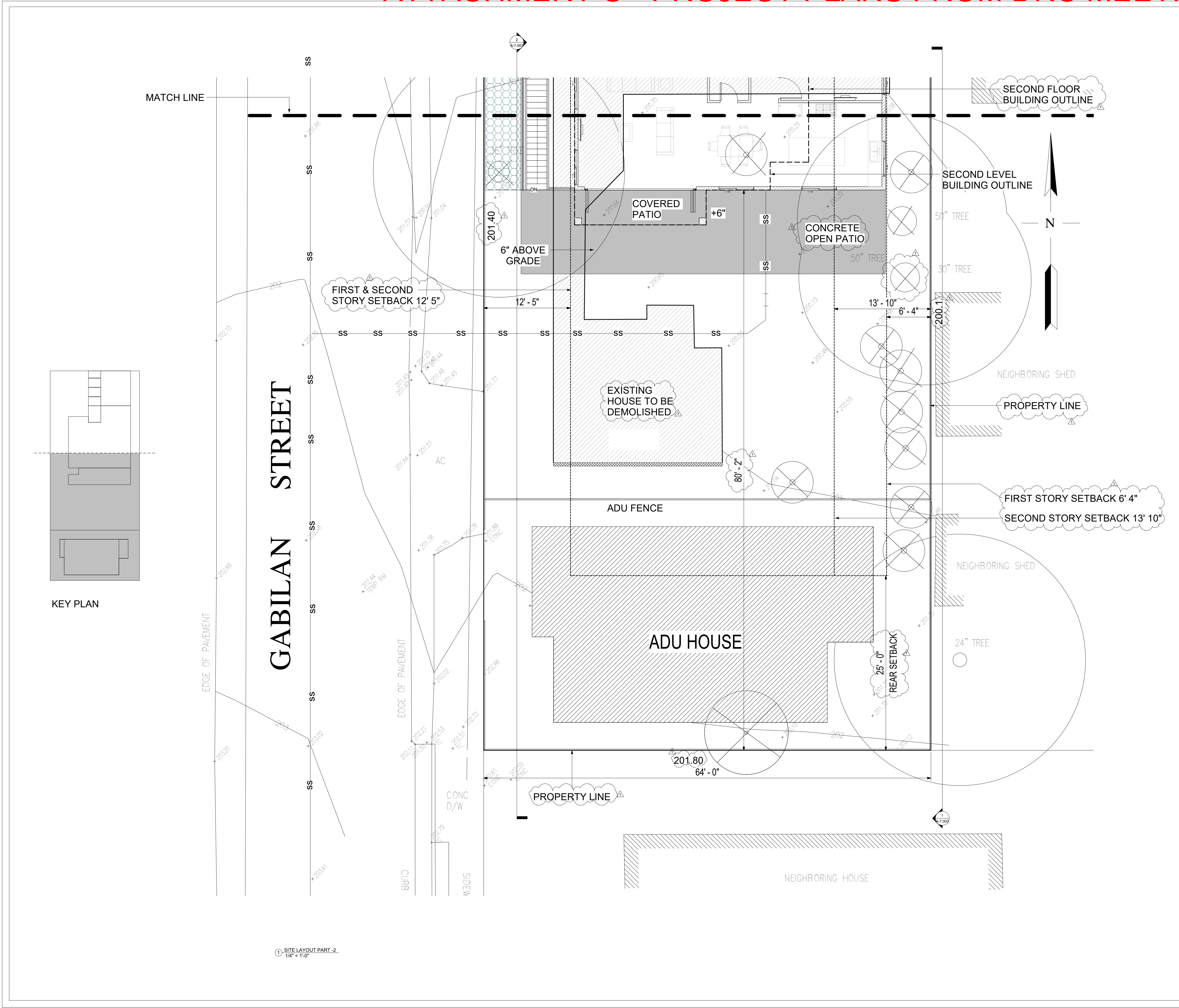
PROJECT : 166, LYELL STREET, LOS ALTOS, CA  
 DRG NO: A-1.005  
 SITE LAYOUT PART - 1

DATE: 09-JULY-2021  
 DRAWN BY: PRAKASH  
 CHECKED BY: SUBHENDU

PROJECT NO.: ADDRESS: 329 S San Antonio Road #8, Los Altos, CA 94022  
 CONTACT: 650-259-6900  
 SCALE: As Indicated EMAIL: [www@livio.com](mailto:www@livio.com)

**LIVIO**

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



KEY PLAN

① SITE LAYOUT PART - 2  
1/4" = 1'-0"

NOTES:

**SITE BENCHMARK**  
SET NAIL  
ELEVATION = 202.44 NAVD 1988

**BASIS OF BEARINGS**  
THE BEARING EAST OF THE CENTRELINE OF LYELL STREET AS SHOWN ON MAP NO. 3 THE TOWN OF LOS ALTOS, FILED FOR RECORD IN BOOK M OF MAPS AT PAGE 1, SANTA CLARA COUNTY RECORDS.

**REFERENCES**  
R1 MAP NO. 3 TH TOWN OF LOS ALTOS (M MAPS 1)

**SITE DATA:**  
166 LYELL STREET  
LOS ALTOS, CA  
APN: 170-37-006  
AREA= 9,600 S.F. +/-

REV	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	22 MAY 2021	PRAKASH

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PROJECT : 166, LYELL STREET, LOS ALTOS, CA  
DRG NO: A-1.006  
SITE LAYOUT PART - 2  
DATE: 09-JULY-2021  
DRAWN BY: PRAKASH  
CHECKED BY: SUBHENDU

**LIVIO**

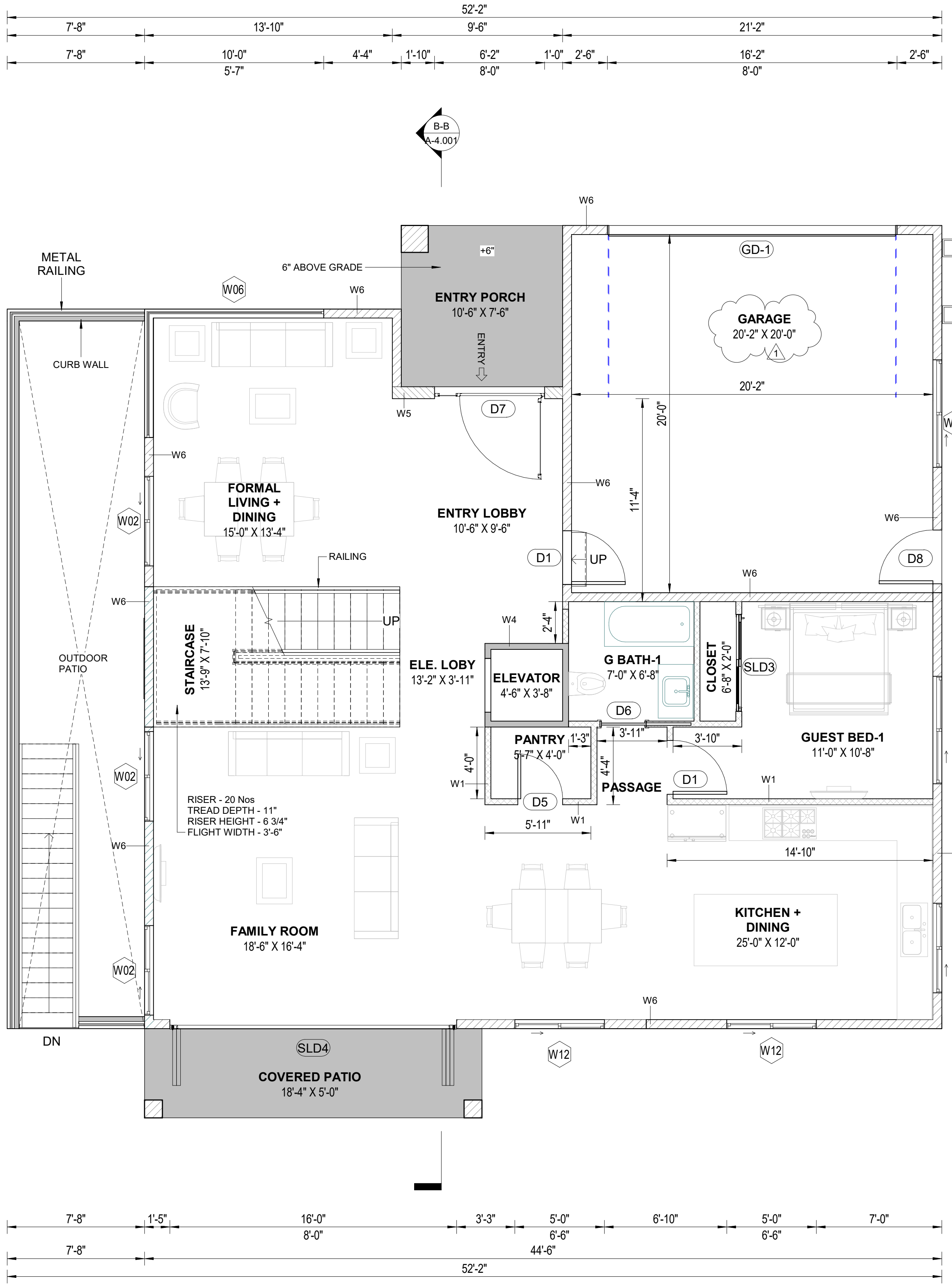
PROJECT NO.: ADDRESS: 329 S San Antonio Road #8, Los Altos, CA 94022  
SCALE: As Indicated CONTACT: 650-259-6900  
EMAIL: www@livio.com







# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



### GENERAL NOTES

- A. ALL PLANS TO BE CONSTRUCTED TO ALL APPLICABLE BUILDING CODES, INCLUDING THE 2019 CBC AND THE CRC.
- B. THE BUILDING ADDRESS SHALL COMPLY WITH SECTION R319 CRC.
- C. ALL WALLS IN SHOWER AREAS WILL BE PROTECTED UP TO 72" A.F.F. PER SECTION R307 CRC.
- D. WALL FRAMING SHALL BE 2x6 AT 16" O.C. WITH 1/2" EXTERIOR SHEATHING AT EXTERIOR WALLS AND 2x4 AT 16" O.C. WITH 5/8" GYP. BOARD AT INTERIOR WALLS. SHEAR WALL PANELS AND SPECIAL FRAMING CONDITIONS WILL BE NOTED IN THE STRUCTURAL DRAWINGS.
- E. INTERIOR STAIR CONSTRUCTION - VERIFY VERTICAL DISTANCE IN FIELD. MAXIMUM RISE SHALL NOT EXCEED 7.75" AND MINIMUM TREAD SHALL NOT BE LESS THAN 10". HANDRAILS AS REQUIRED. CLEAR VERTICAL HEAD HEIGHT SHALL BE 6'-8" MINIMUM.
- F. PROVIDE 1/2" GYP. BOARD AT WALLS AND CEILING UNDER STAIR USABLE ENCLOSED SPACES.
- G. THE MINIMUM HEIGHT OF ALL GUARDRAILS SHALL BE 42". SPACING OF PICKETS IS TO BE LESS THAN 4" O.C. THE SPACE BELOW THE BOTTOM RAIL OF THE GUARD SHALL NOT EXCEED 4". CRC SECTION R312.1.3
- H. STANDARD DOOR FRAMING SHALL OCCUR 4" FROM RETURN WALL UNLESS OTHERWISE NOTED. HARDWARE PER OWNER.
- I. ALL EXTERIOR DOORS SHALL HAVE A LANDING WITH A MAXIMUM 7.75" STEP.
- J. ALL BEDROOMS SHALL HAVE A WINDOW THAT MEETS EGRESS REQUIREMENTS. THIS WINDOW SHALL BE DESIGNATE BY AN (E) AFTER THE WINDOW SIZE AND STYLE. EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 INCHES. GRADE FLOOR AND BELOW GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5 SQ FT. EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. WINDOWS BELOW GRADE SHALL BE PROVIDED WITH A WINDOW WELL. CRC R310.2
- P. ALL OTHER WINDOWS SHALL BE OPERABLE UNLESS OTHERWISE SPECIFIED.
- Q. ALL GLAZING IN SLIDING GLASS DOORS, SHOWER ENCLOSURES, AND OTHER REQUIRED SAFETY LOCATIONS SHALL HAVE SAFETY TEMPERED GLASS. CRC R308.4
- R. BALCONY FLOOR SHALL BE 2" BELOW FINISH FLOOR AND SLOPED 1/4" PER FOOT AWAY FROM DOORS. DOOR OPENINGS SHALL BE PROPERLY FLASHED. DRAINAGE PIPE WILL GO THROUGH FASCIA TO GUTTER OVER GARAGE DOOR.
- S. EXTERIOR A/C UNITS ARE ANCHORED TO 3" CONCRETE SLABS SHOWN ON PLANS.
- T. 4" DRYER VENT REQUIRED TO EXTERIOR WALL WITH NO LESS THAN 36" TO CLOSEST OPENING PER SECTION 504 CMC.
- U. PROVIDE SMOOTH DUCTING FOR DRYERS AND COOK HOODS.
- V. ALL EXHAUST DUCTS SHALL HAVE BACKDRAFT DAMPERS.
- W. ALL FANS TO BE ENERGY STAR COMPLIANT WITH HUMIDITY CONTROLS ADJUSTING FROM 50% - 80% X. VERIFY ALL REQUIRED CLEARANCES FOR ELECTRICAL AND MECHANICAL EQUIPMENT.
- Y. COMBUSTION AIR VENTS/DUCTS WILL BE PROVIDED FOR ALL UTILITY ROOMS. VERIFY TOTAL BTU LOADS OF EQUIPMENT IN EACH ROOM TO SIZE VENTS
- Z. FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION, PER LOS ALTOS MUNICIPAL CODE SECTION 12.08.020B

### WALL LEGEND (FIRST LEVEL)

- W1 TYPICAL 2x4 INT CFS WALLS @16" OC
- W4 4" CONCRETE BASEMENT ELEVATOR WALLS. SEE STRUCTURAL DWG FOR SPECIFIC SIZE AND REINFORCEMENT
- W5 TYPICAL 2x8 EXT CFS WALLS @16" OC
- W6 TYPICAL 2x6 EXT CFS WALLS @16" OC

### NOTES:

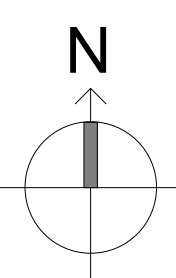
Blank area for additional notes.

### REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

### NOTES:

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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-2.002

FIRST LEVEL PLAN

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

PROJECT NO: -

SCALE: 1/4" = 1'-0"

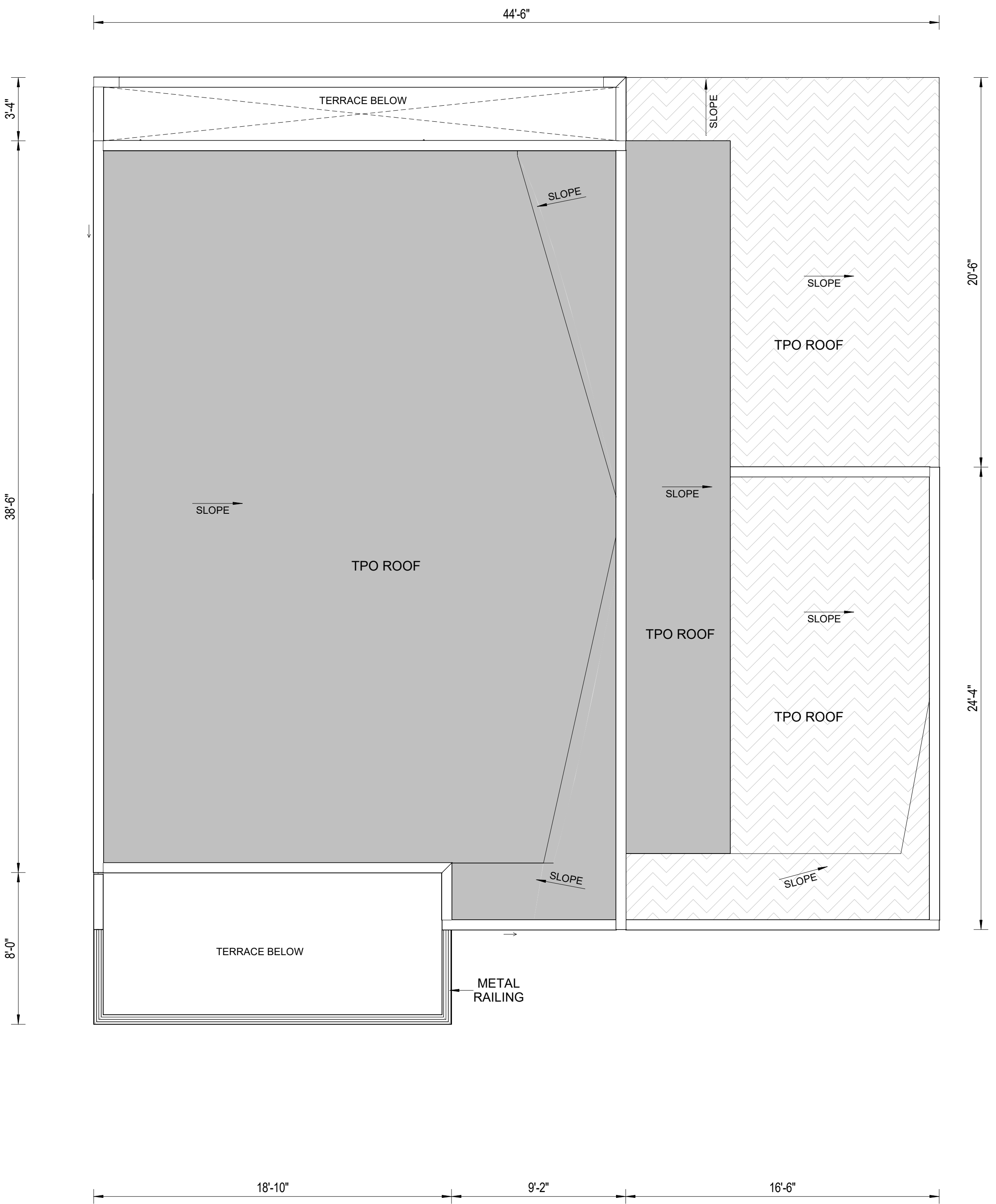


ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022  
 CONTACT : 650-209-6500  
 EMAIL : team@golivio.com

1 FIRST LEVEL PLAN  
1/4" = 1'-0"



# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



① ROOF LEVEL PLAN  
1/4" = 1'-0"

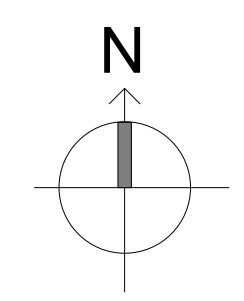
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

NOTES:

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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

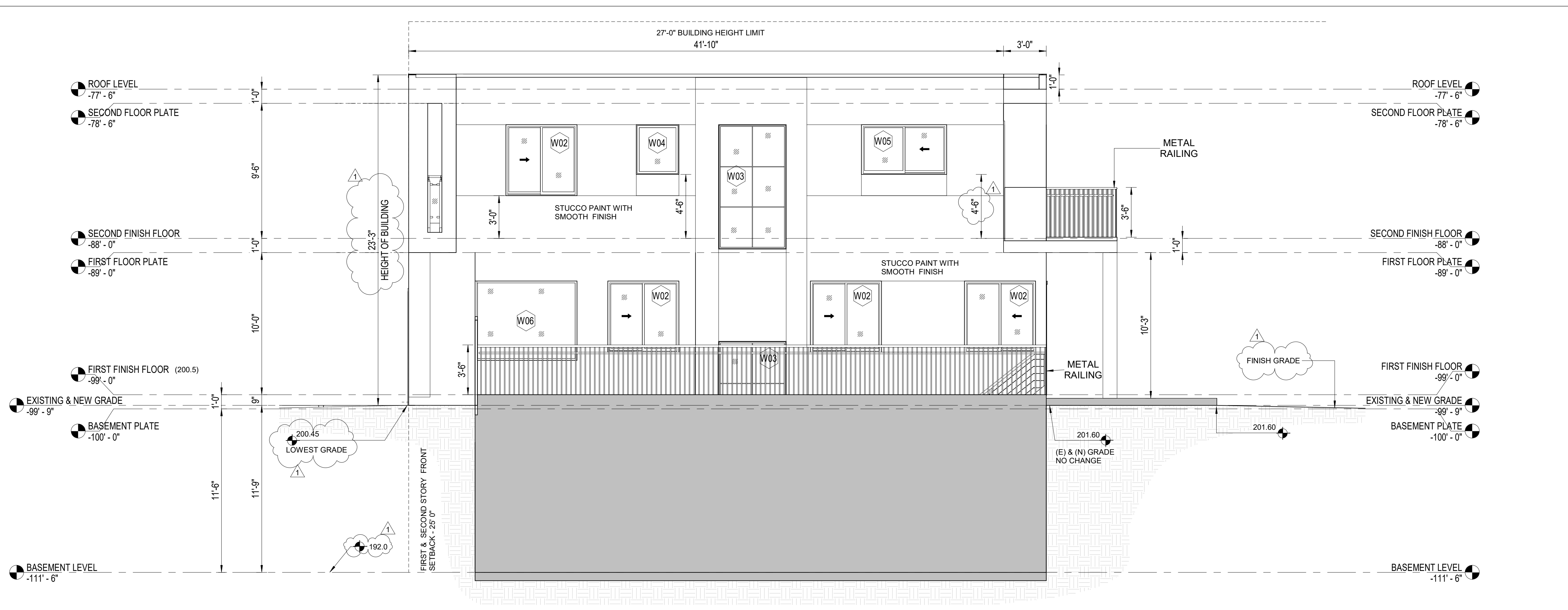
DRG NO: A-2.004

ROOF LEVEL PLAN

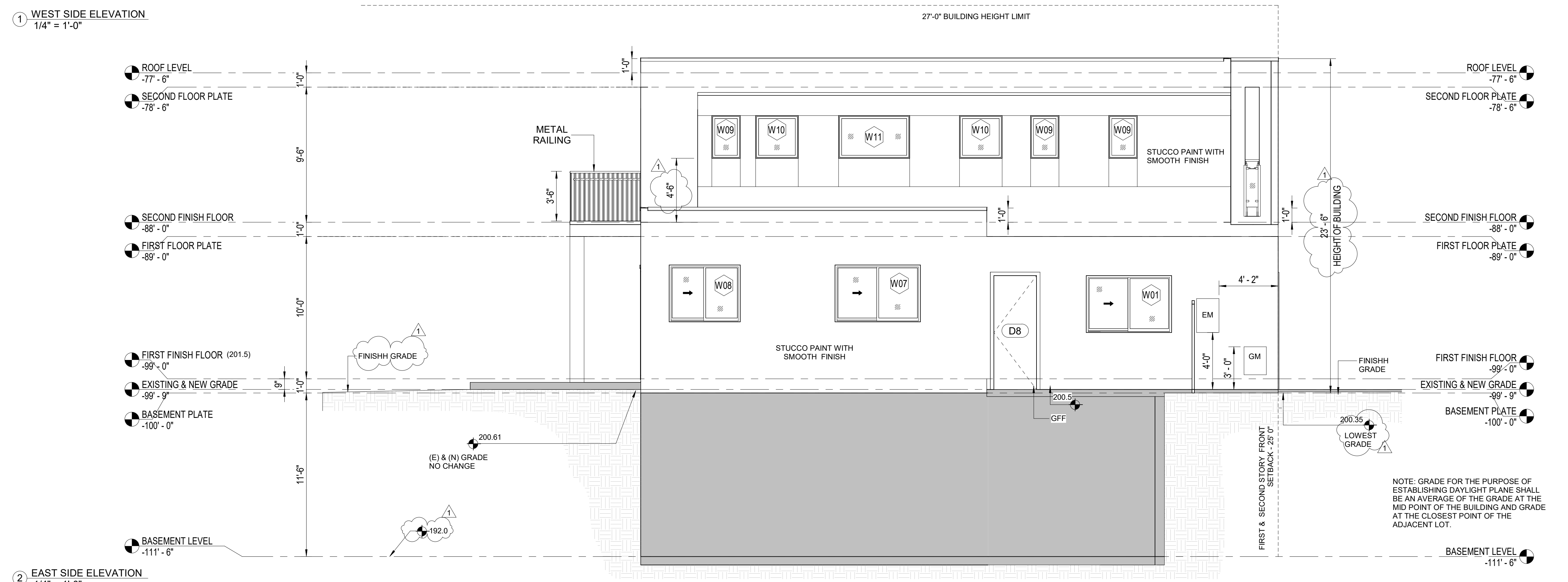
DATE:	09-JULY-2021	
DRAWN BY:	PRAKASH	
CHECKED BY:	SUBHENDU	
PROJECT NO.:	-	ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022
SCALE:	1/4" = 1'-0"	CONTACT : 650-209-6500
		EMAIL : team@golivio.com



# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



① WEST SIDE ELEVATION  
1/4" = 1'-0"



② EAST SIDE ELEVATION  
1/4" = 1'-0"

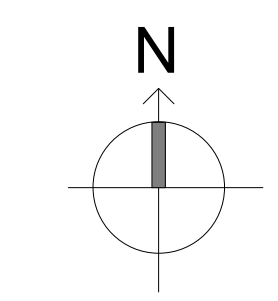
**NOTES:**

**REVISIONS :**

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

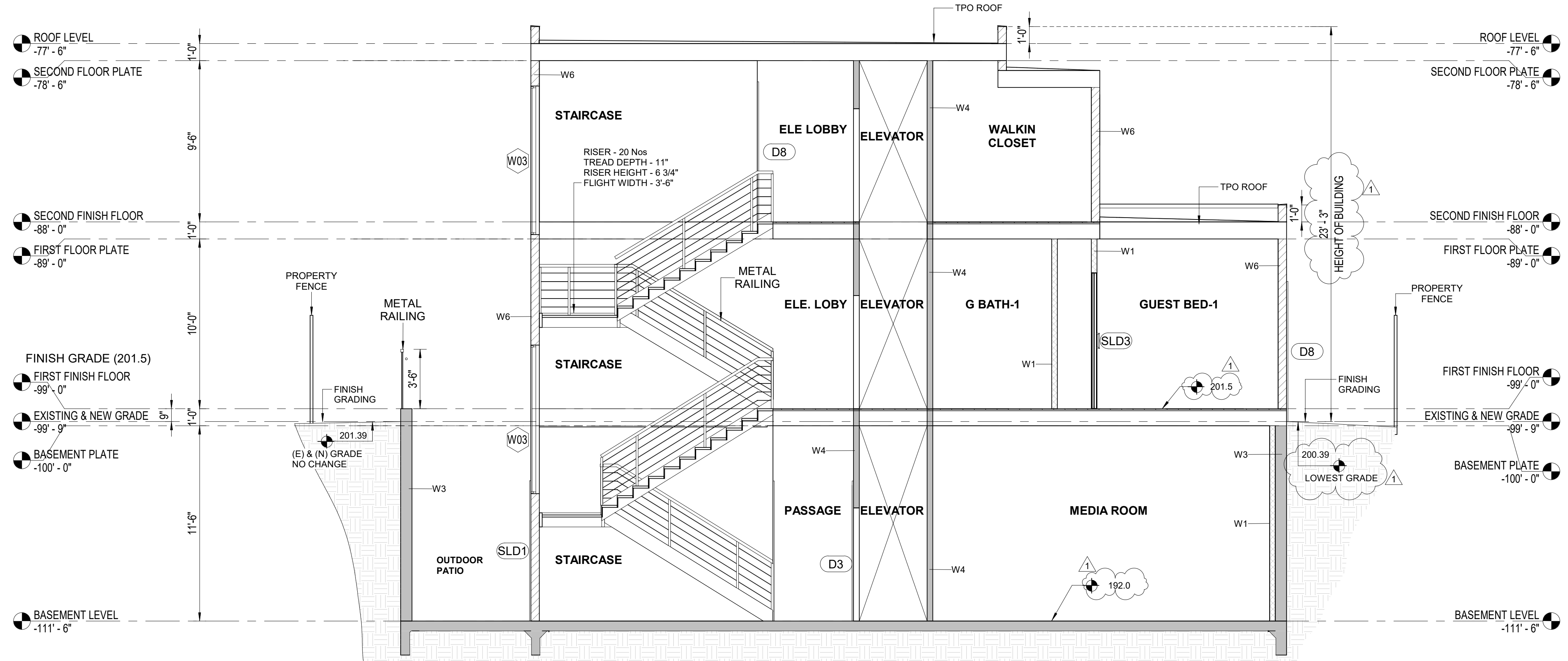
DRG NO: A-3.001

WEST AND EAST SIDE ELEVATION

DATE: 09-JULY-2021	
DRAWN BY: PRAKASH	
CHECKED BY: SUBHENDU	
PROJECT NO: -	ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022
SCALE: 1/4" = 1'-0"	CONTACT : 650-209-6500
	EMAIL : team@golivio.com



# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



**A-A SECTION A-A**  
1/4" = 1'-0"



**B-B SECTION B-B**  
1/4" = 1'-0"

**NOTES:**

**REVISIONS :**

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

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N

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**PROJECT :** 166, LYELL STREET, LOS ALTOS, CA

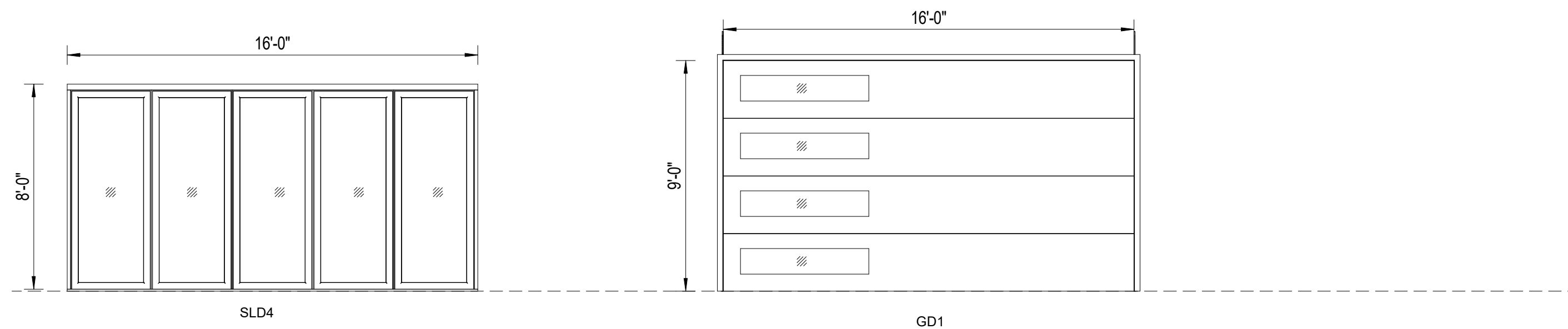
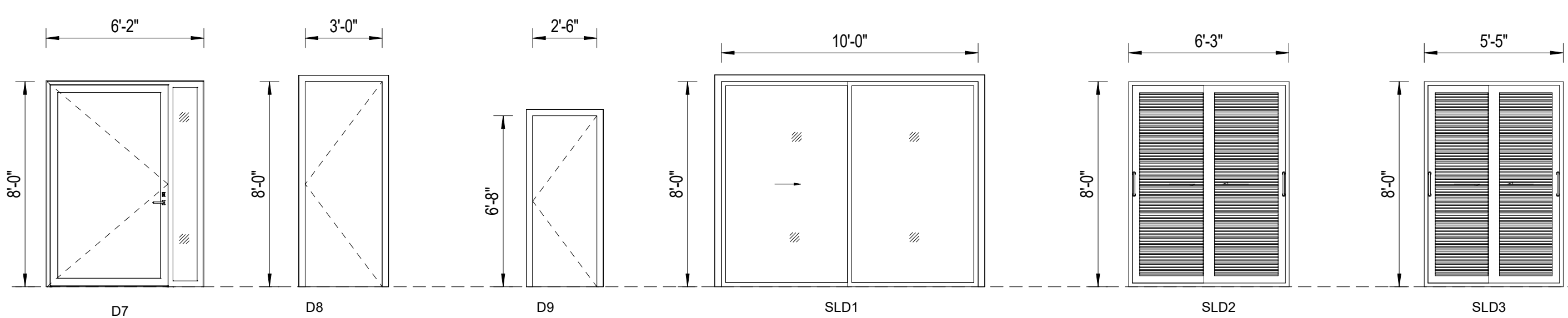
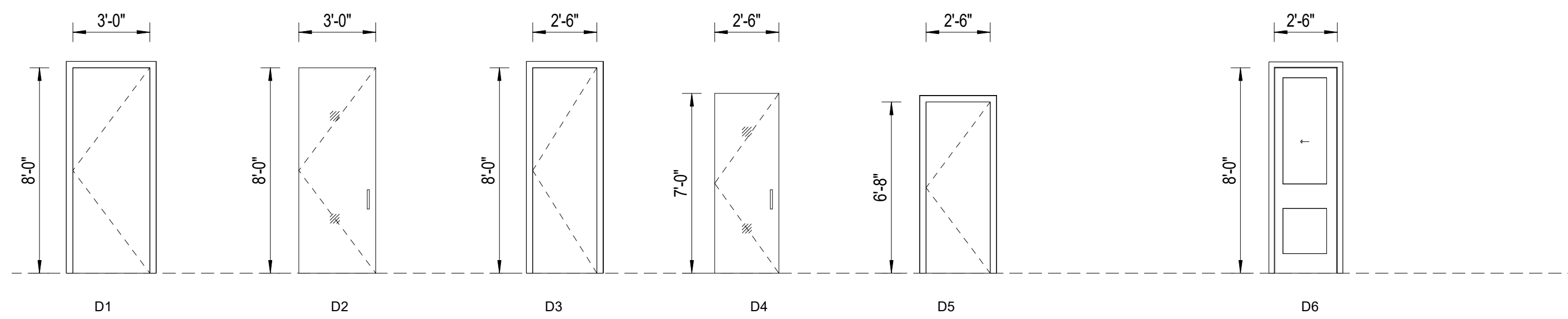
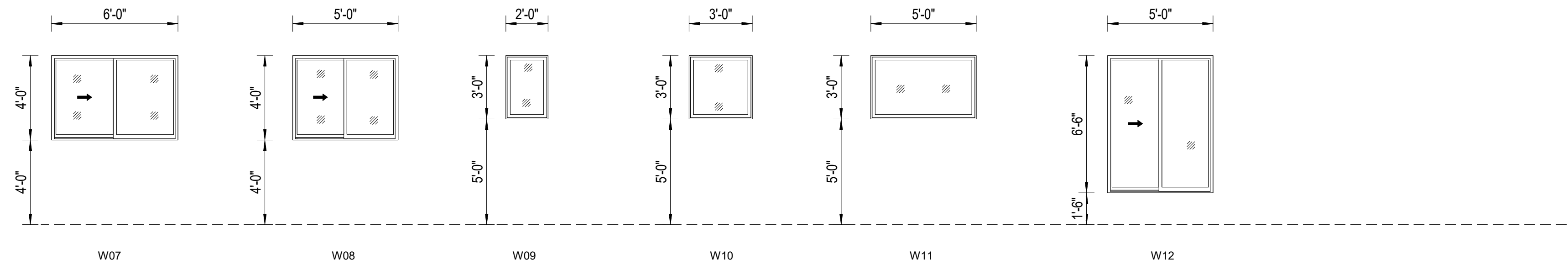
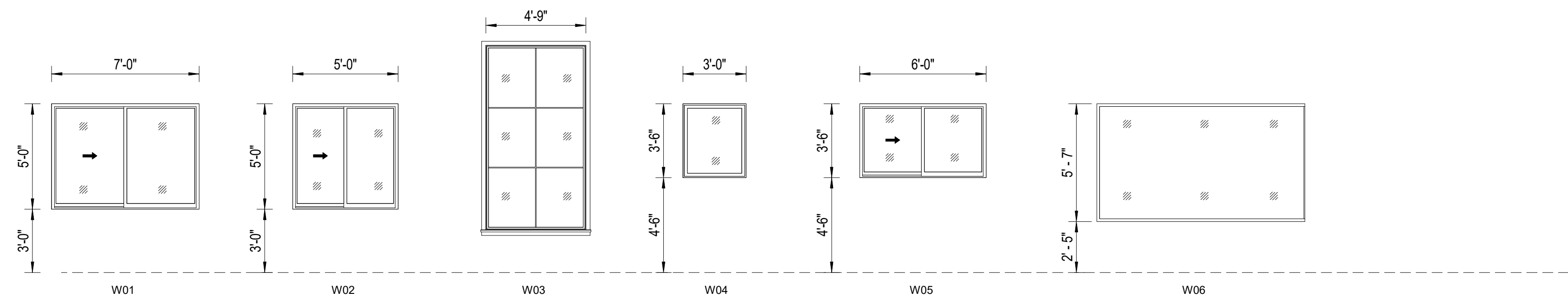
**DRG NO :** A-4.001

**SECTION A-A & B-B**

DATE:	09-JULY-2021
DRAWN BY:	PRAKASH
CHECKED BY:	SUBHENDU
PROJECT NO :	ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022
SCALE:	CONTACT : 650-209-6500
	EMAIL : team@golivio.com



# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



WINDOW SCHEDULE				
MARK	COUNT	WIDTH	HEIGHT	HEAD HEIGHT
W01	1			8' - 0"
W02	5	5' - 0"	5' - 0"	8' - 0"
W03	2	4' - 9"	8' - 9"	
W04	1	3' - 0"	3' - 6"	8' - 0"
W05	1	6' - 0"	3' - 6"	8' - 0"
W06	1	10' - 0"	5' - 7"	8' - 0"
W07	1	6' - 0"	4' - 0"	8' - 0"
W08	1	5' - 0"	4' - 0"	8' - 0"
W09	3	2' - 0"	3' - 0"	7' - 6"
W10	2	3' - 0"	3' - 0"	7' - 6"
W11	1	5' - 0"	3' - 0"	7' - 6"
W12	2	5' - 0"	6' - 6"	8' - 0"

DOOR SCHEDULE				
MARK	Count	WIDTH	HEIGHT	HEAD HEIGHT
D1	5	3' - 0"	8' - 0"	8' - 0"
D2	1	3' - 0"	8' - 0"	8' - 0"
D3	3	2' - 6"	8' - 0"	8' - 0"
D4	1	2' - 6"	7' - 0"	7' - 0"
D5	5	2' - 6"	6' - 8"	6' - 8"
D6	2	2' - 6"	8' - 0"	8' - 0"
D7	1	6' - 1"	8' - 0"	8' - 0"
D8	4	3' - 0"	8' - 0"	8' - 0"
D9	2	2' - 6"	6' - 8"	6' - 8"
GD-1	1	16' - 0"	8' - 0"	8' - 0"
SLD1	2	10' - 0"	8' - 0"	8' - 0"
SLD2	1	6' - 3"	8' - 0"	8' - 0"
SLD3	2	5' - 5"	8' - 0"	8' - 0"
SLD4	1	16' - 0"	8' - 0"	8' - 0"
SLD5	2	9' - 0"	8' - 0"	8' - 0"
SLD6	1	3' - 1"	6' - 0"	6' - 0"

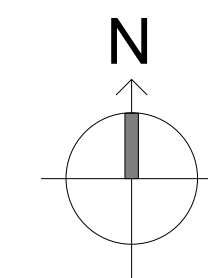
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

NOTES:

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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-5.001

DOOR & WINDOW SCHEDULE

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

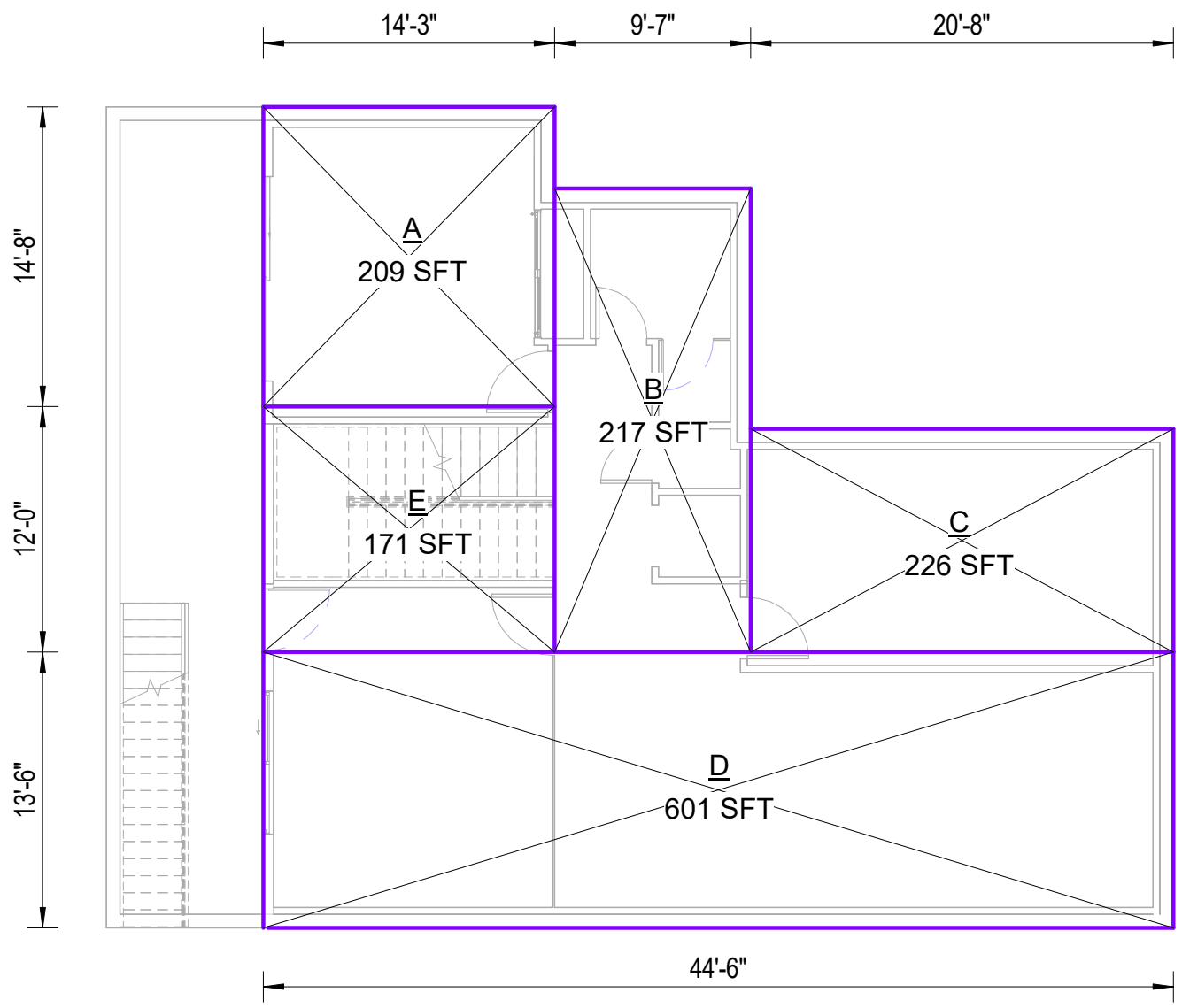
CHECKED BY: SUBHENDU

PROJECT NO: -

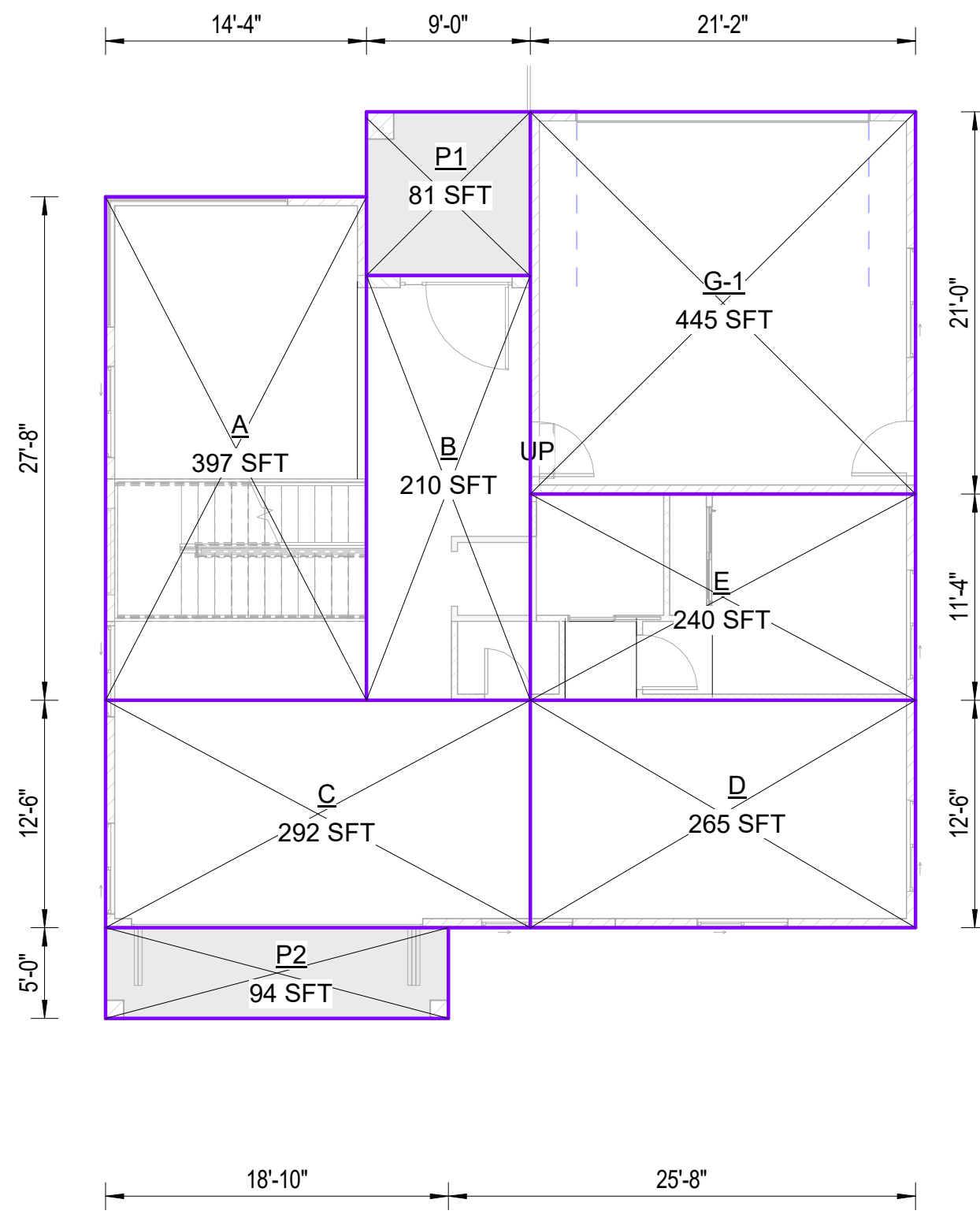
SCALE: 1/4" = 1'-0"

  
 ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022  
 CONTACT : 650-209-6500  
 EMAIL : team@golivio.com

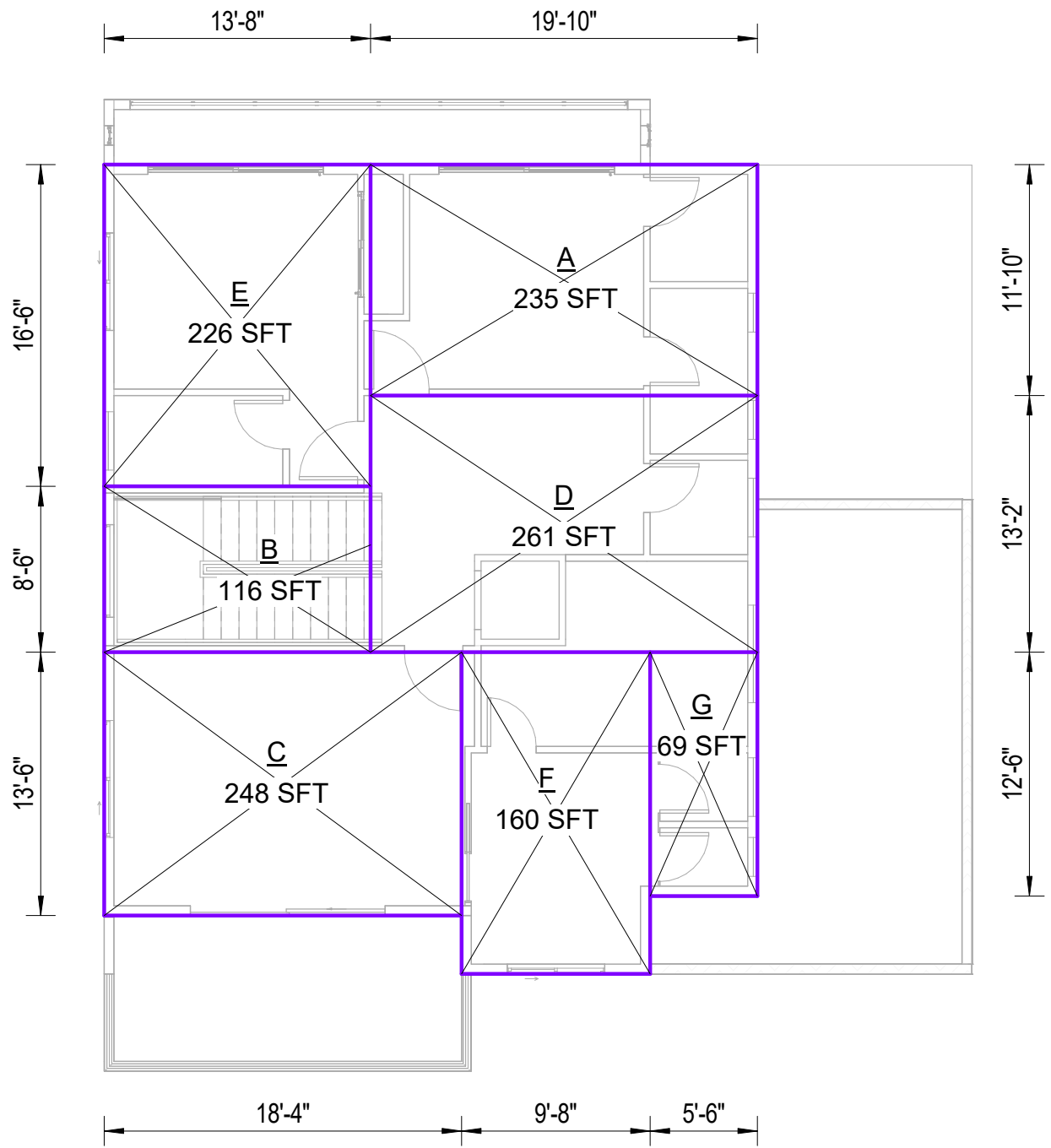
# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



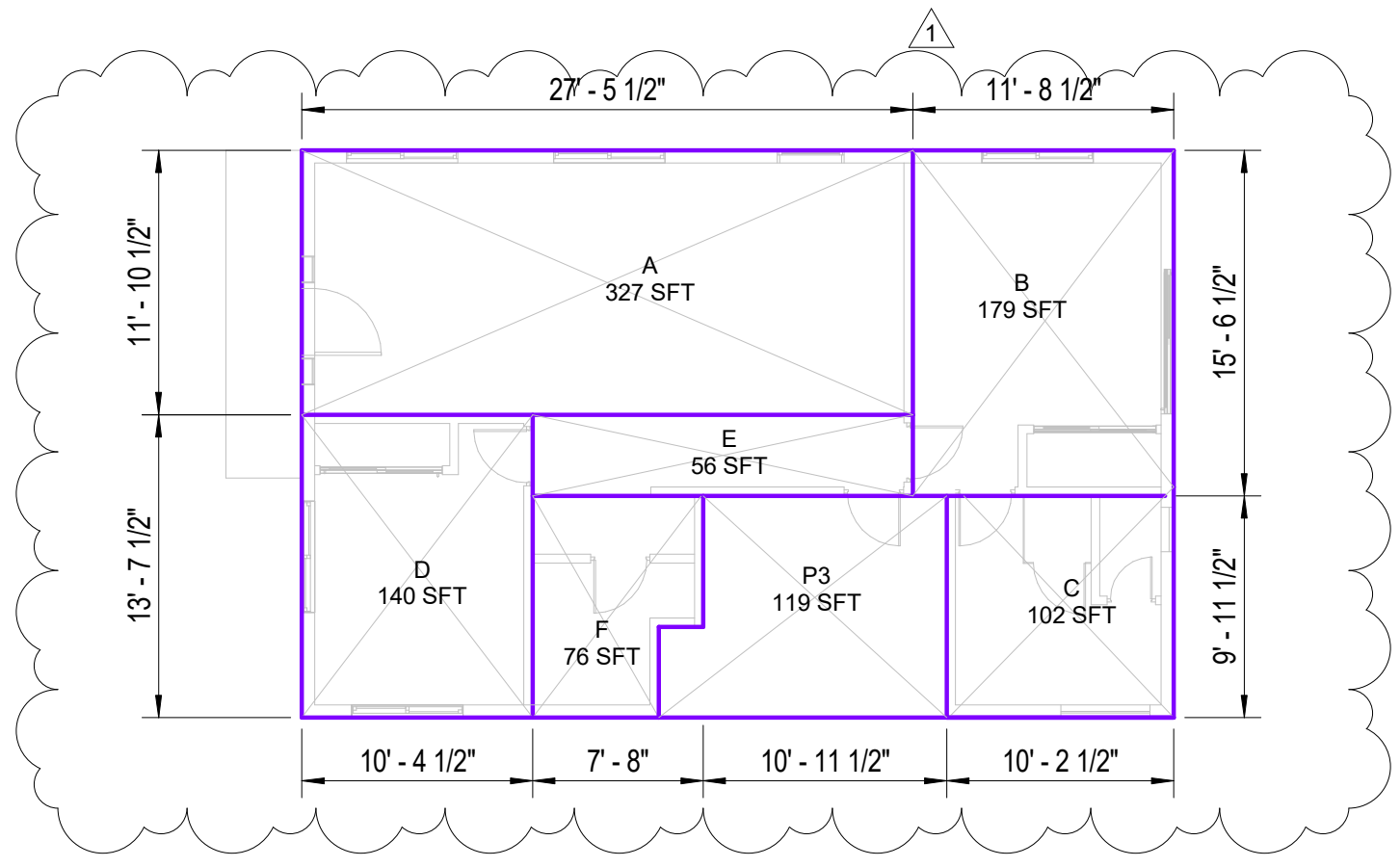
① BASEMENT LEVEL  
1/8" = 1'-0"



② FIRST FINISH FLOOR  
1/8" = 1'-0"



③ SECOND LEVEL  
1/8" = 1'-0"



④ EXISTING LYELL ADU FIRST FLOOR PLAN  
1/8" = 1'-0"

FIRST LEVEL AREA + SECOND LEVEL AREA = TOTAL FLOOR AREA  
**1847 + 1313 = 3,160 SF**

ALLOWABLE TOTAL FLOOR AREA = 4,160 SF

FIRST LEVEL AREA + PATIO AREA + ADU = TOTAL LOT COVERAGE AREA  
**1847 + 175 + 999 = 3,021 SF**

ALLOWABLE LOT COVERAGE AREA = 3,680 SF

BASEMENT LEVEL AREA CALCULATIONS			
NAME	AREA LENGTH	AREA WIDTH	AREA
BASEMENT LEVEL			
A	14'-3"	14'-8"	209 SF
B	9'-7"	22'-8"	217 SF
C	10'-11"	20'-8"	226 SF
D	13'-6 1/2"	44'-4"	601 SF
E	12'-0"	14'-3"	171 SF
TOTAL: 5			1424 SF

TOTAL BASEMENT FLOOR AREA = 1424 SF

FIRST LEVEL AREA CALCULATION			
NAME	AREA LENGTH	AREA WIDTH	AREA
A	14'-4"	27'-8"	397 SF
B	9'-0"	23'-4"	210 SF
C	12'-6"	23'-4"	292 SF
D	12'-6"	21'-2"	265 SF
E	11'-4"	21'-2"	240 SF
G-1	21'-0"	21'-2"	445 SF
TOTAL: 6			1847 SF

PORCH AREA CALCULATION			
NAME	AREA LENGTH	AREA WIDTH	AREA
P1	9'-0"	9'-0"	81 SF
P2	5'-0"	18'-10"	94 SF
P3	8'-1"	14'-9"	119 SF
TOTAL			294 SF

SECOND LEVEL AREA CALCULATION			
NAME	AREA LENGTH	AREA WIDTH	AREA
A	11'-10"	19'-10"	235 SF
B	8'-6"	13'-8"	116 SF
C	13'-6"	18'-4"	248 SF
D	13'-2"	19'-10"	261 SF
E	13'-8"	16'-6"	226 SF
F	9'-8"	16'-6"	160 SF
G	5'-6"	12'-6"	69 SF
TOTAL: 7			1313 SF

ADU FIRST FLOOR AREA CALCULATION			
NAME	ROOM WIDTH	ROOM DEPTH	AREA
A	27'-5 1/2"	11'-10 1/2"	327 SF
B	11' - 8 1/2"	15' - 1 1/2"	179 SF
C	9' - 9 1/2"	10' - 4 1/2"	102 SF
D	13' - 7 1/2"	10' - 4 1/2"	140 SF
E	17' - 1"	3' - 3"	56 SF
F	7' - 3 1/2"	10' - 4 1/2"	76 SF
TOTAL: 6			880 SF

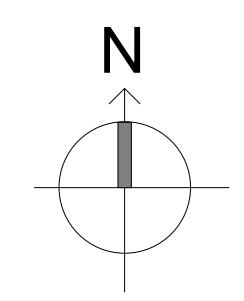
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-6.001

AREA CALCULATION

DATE:	09-JULY-2021
DRAWN BY:	PRAKASH
CHECKED BY:	SUBHENDU
PROJECT NO: -	ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022
SCALE: 1/8" = 1'-0"	CONTACT : 650-209-6500
	EMAIL : team@golivio.com





# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



GABILAN STREET VIEW



ADU NORTH VIEW

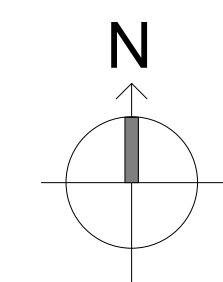
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-7.002

RENDER VIEWS

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

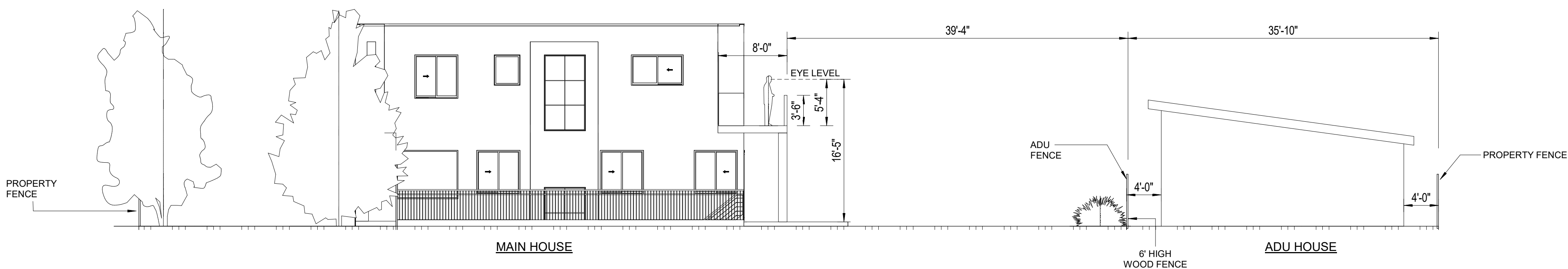
PROJECT NO: -

SCALE:

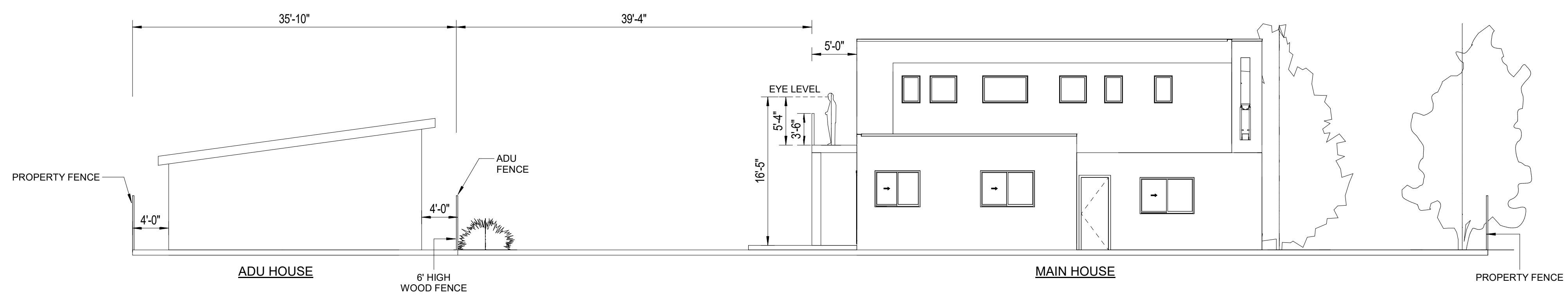
**LIVIO**

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022  
CONTACT : 650-209-6500  
EMAIL : team@golivio.com

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



② SITE SECTION-1  
1/8" = 1'-0"



① SITE SECTION-2  
1/8" = 1'-0"

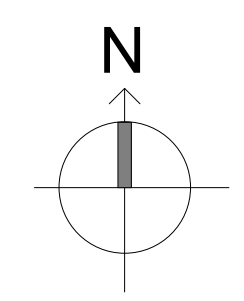
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

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- LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE THE SMALLER SCALE DRAWINGS AND DETAILS.
- THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE (FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.)



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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-7.003

SITE SECTIONS

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

PROJECT NO: -

SCALE: 1/8" = 1'-0"

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022  
CONTACT : 650-209-6500  
EMAIL : team@golivio.com



# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

### GRADING NOTES:

1. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENT OF THE CITY OF LOS ALTOS.
2. THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
3. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
4. CONTRACTOR TO EXPOSE EXISTING SEWERS AND CHECK INVERTS BEFORE CONSTRUCTING NEW SEWERS. NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXPOSING SEWERS.
5. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
6. THE SOIL REPORTS PREPARED FOR THE PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.
7. GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
8. PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES AND TYPUS SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPUS ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
9. THE LANDSCAPE FINISHED GRADES WITHIN FIVE FEET (TEN FEET IF BUILDING SETBACK ALLOWS) OF THE BUILDING OR STRUCTURE SHALL SLOPE AT A 2% MINIMUM FROM THE FOUNDATION. ALL EXTERIOR HARD SURFACING AREAS (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 2% MINIMUM GRADIENT, AND SHALL DRAIN AWAY FROM THE BUILDING. FINISHED GRADE DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1%. MAXIMUM GRADED SLOPE IS 3:1 (3 HORIZONTAL TO 1 VERTICAL). SPOT ELEVATIONS SHOWN ON THE PLAN SHALL DICTATE ACTUAL GRADES. SURFACE SLOPE GRADES NOTED ON THE PLAN ARE APPROXIMATE.
10. FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC. OF EXISTING UTILITIES, SUCH AS WATER, GAS/SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.
11. SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.

### EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)	EXPORT (CY)
DRIVEWAY & SITE	5	5	
HOUSE (PAD)	640	0	
TOTAL	645	5	640

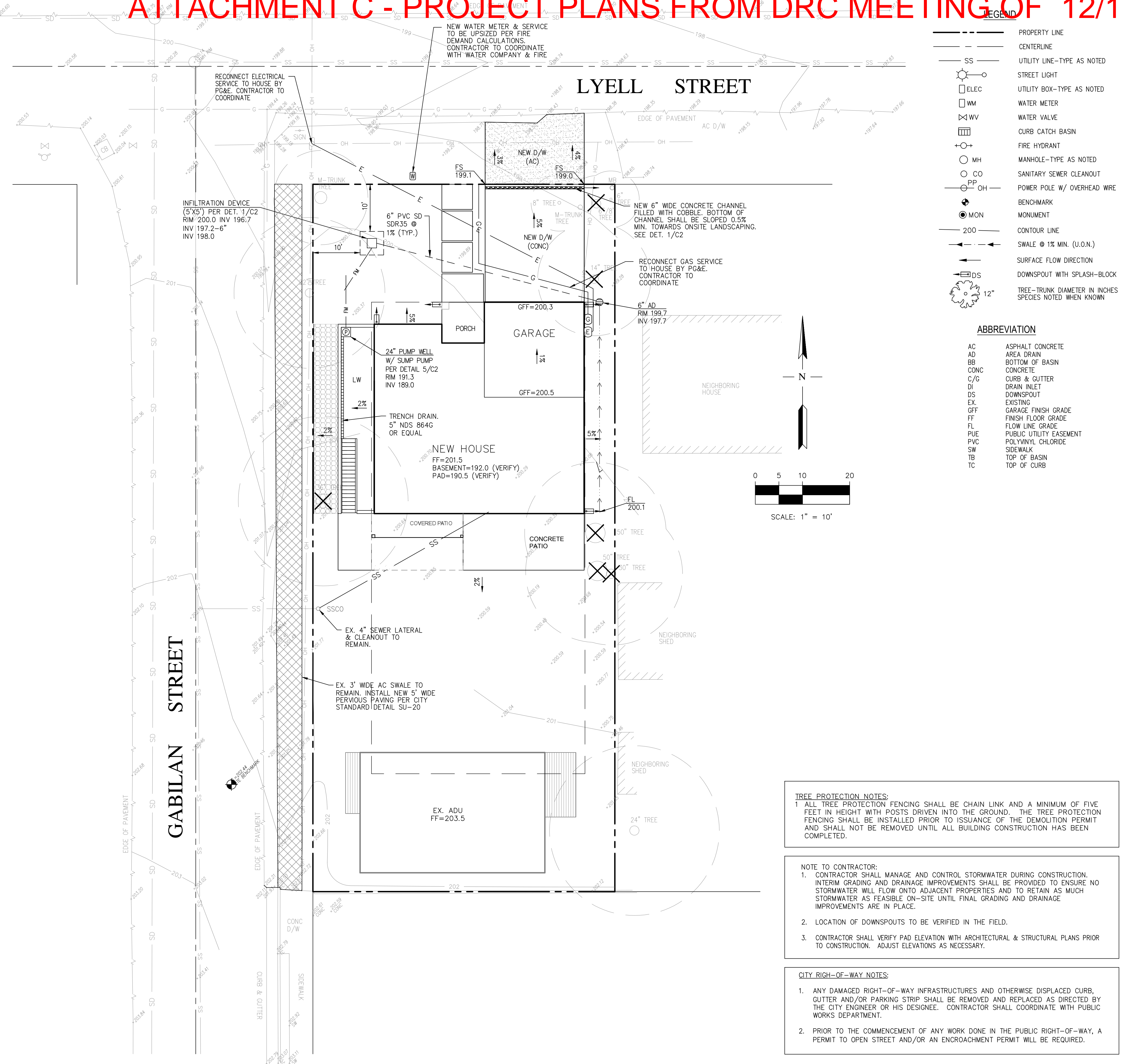
NOTE:  
EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF.

### SITE BENCHMARK:

SET NAIL  
ELEVATION= 202.44 NAVD 1988

### BASIS OF BEARINGS:

THE BEARING EAST OF THE CENTERLINE OF LYELL STREET AS SHOWN ON MAP NO. 3 THE TOWN OF LOS ALTOS, FILED FOR RECORD IN BOOK M OF MAPS AT PAGE 1, SANTA CLARA COUNTY RECORDS.

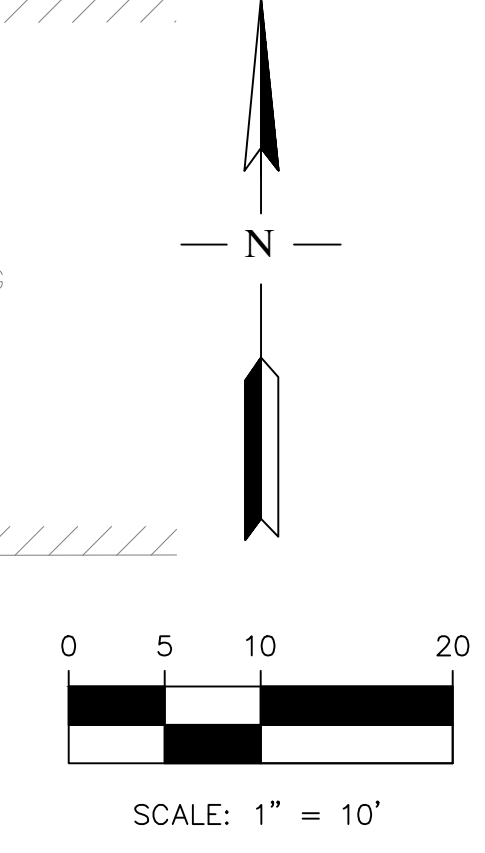


### LEGEND

---	PROPERTY LINE
---	CENTERLINE
SS	UTILITY LINE-TYPE AS NOTED
⊙	STREET LIGHT
□ ELEC	UTILITY BOX-TYPE AS NOTED
□ WM	WATER METER
⊗ WV	WATER VALVE
⊠	CURB CATCH BASIN
⊕	FIRE HYDRANT
⊙ MH	MANHOLE-TYPE AS NOTED
⊙ CO	SANITARY SEWER CLEANOUT
⊙ PP	POWER POLE W/ OVERHEAD WIRE
⊕	BENCHMARK
⊙ MON	MONUMENT
---	CONTOUR LINE
200	SWALE @ 1% MIN. (U.O.N.)
→	SURFACE FLOW DIRECTION
⊕ DS	DOWNSPOUT WITH SPLASH-BLOCK
⊙ 12"	TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

### ABBREVIATION

AC	ASPHALT CONCRETE
AD	AREA DRAIN
BB	BOTTOM OF BASIN
CONC	CONCRETE
C/G	CURB & GUTTER
DI	DRAIN INLET
DS	DOWNSPOUT
EX.	EXISTING
GFF	GARAGE FINISH GRADE
FF	FINISH FLOOR GRADE
FL	FLOW LINE GRADE
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
SW	SIDEWALK
TB	TOP OF BASIN
TC	TOP OF CURB



**TREE PROTECTION NOTES:**  
1 ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

**NOTE TO CONTRACTOR:**  
1. CONTRACTOR SHALL MANAGE AND CONTROL STORMWATER DURING CONSTRUCTION. INTERIM GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PROVIDED TO ENSURE NO STORMWATER WILL FLOW ONTO ADJACENT PROPERTIES AND TO RETAIN AS MUCH STORMWATER AS FEASIBLE ON-SITE UNTIL FINAL GRADING AND DRAINAGE IMPROVEMENTS ARE IN PLACE.  
2. LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.  
3. CONTRACTOR SHALL VERIFY PAD ELEVATION WITH ARCHITECTURAL & STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS AS NECESSARY.

**CITY RIGHT-OF-WAY NOTES:**  
1. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER AND/OR PARKING STRIP SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT.  
2. PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

DATE	REVISION	NO.

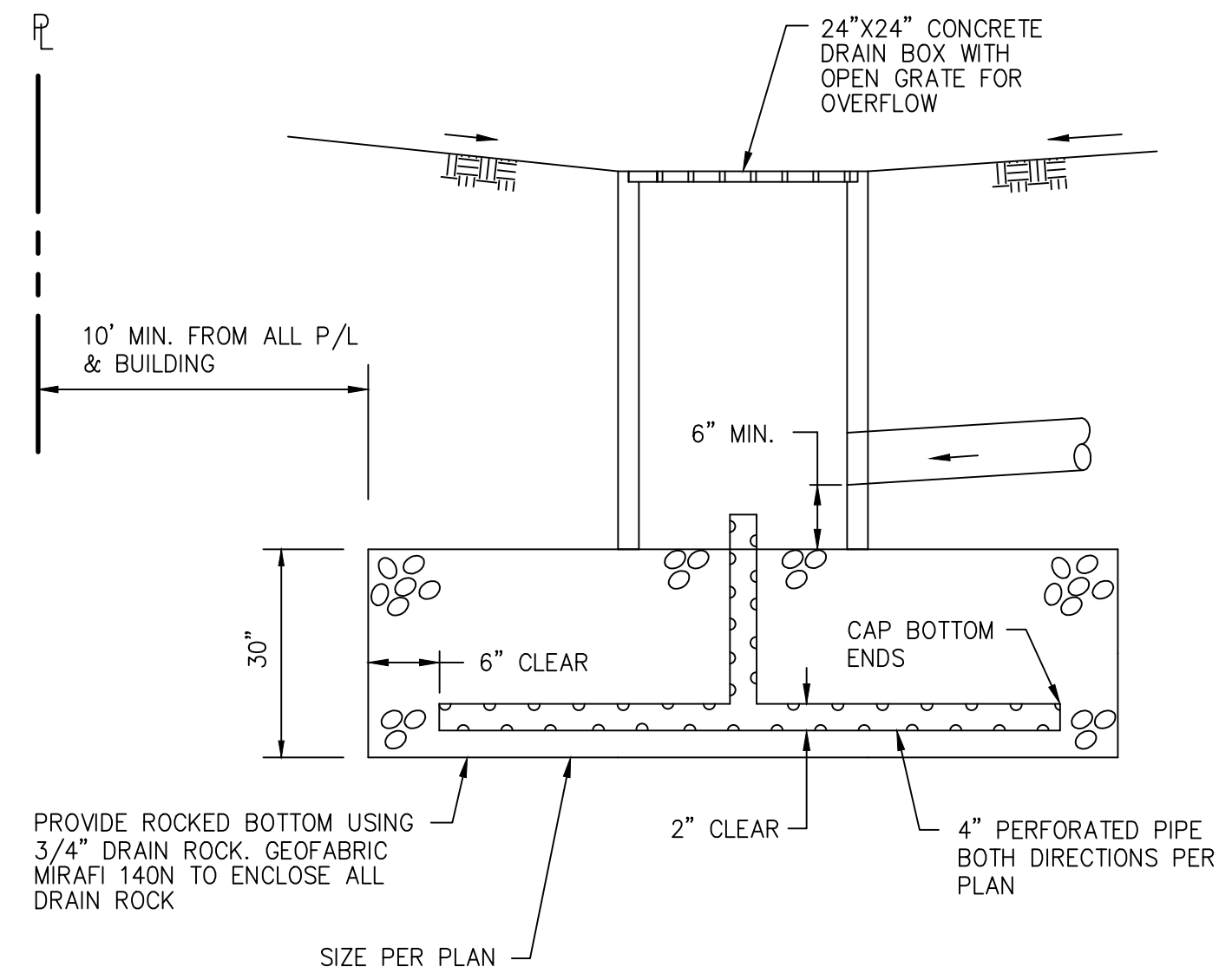
**RW ENGINEERING, INC.**  
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(F) (408) 824-5556  
rwengineering@gmail.com

**NEW ADU**  
**166 LYELL STREET**  
**LOS ALTOS, CA**  
 SANTA CLARA COUNTY  
 APN: 170-37-006

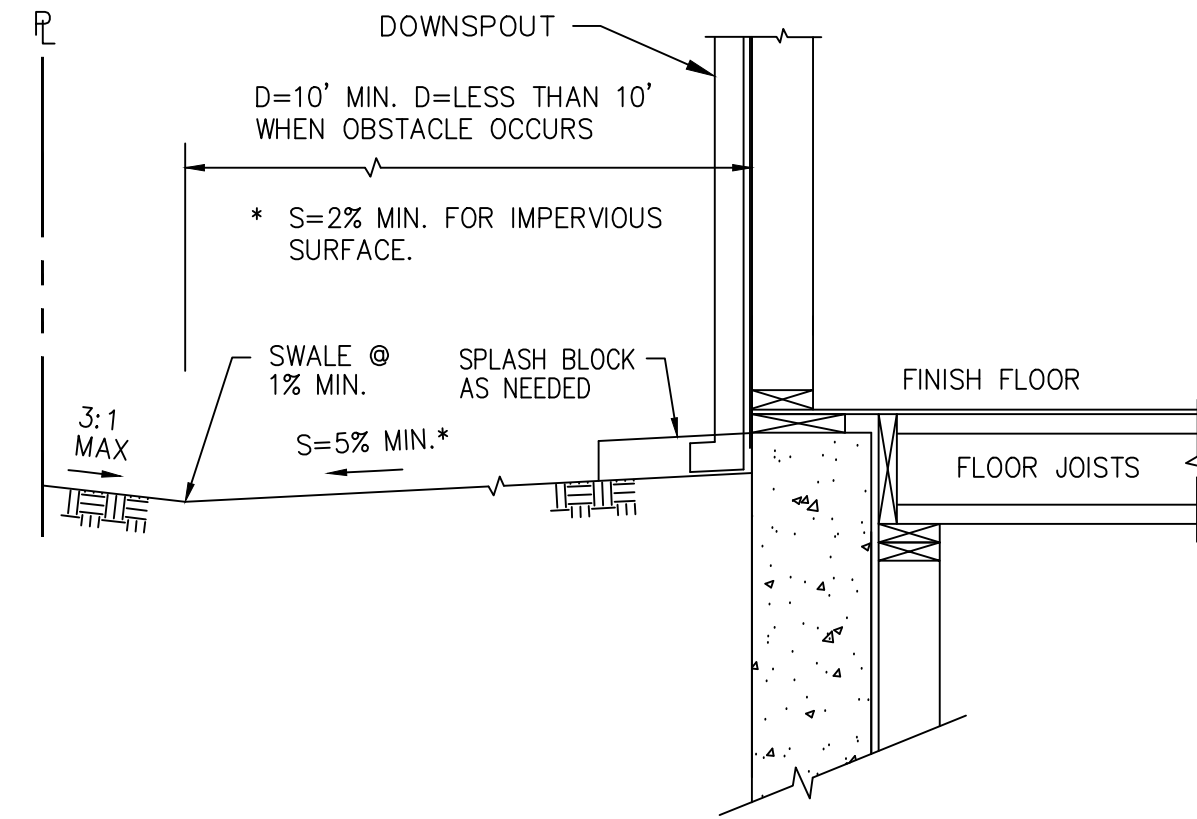
**GRADING AND DRAINAGE PLAN**

DATE: 7/6/21  
SCALE: AS NOTED  
DESIGNED BY: RW  
DRAWN BY: RW  
SHEET NO. **C-1**

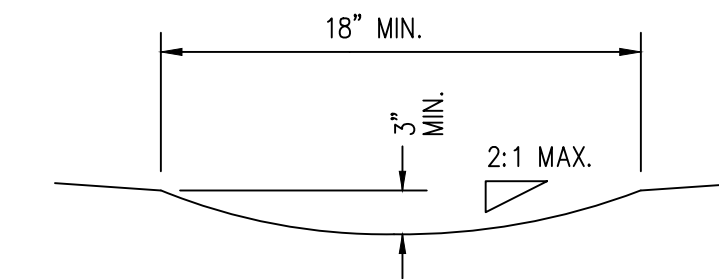
# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21



NOT TO SCALE



NOT TO SCALE

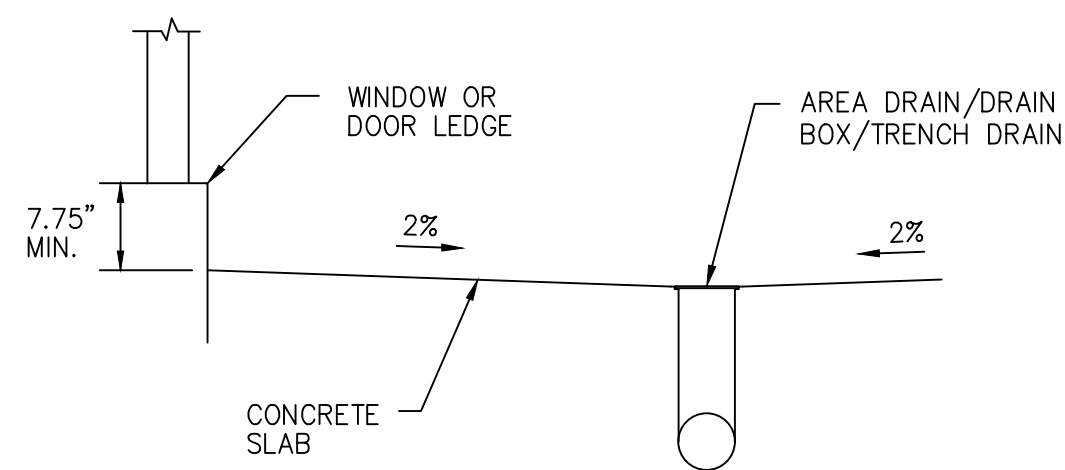


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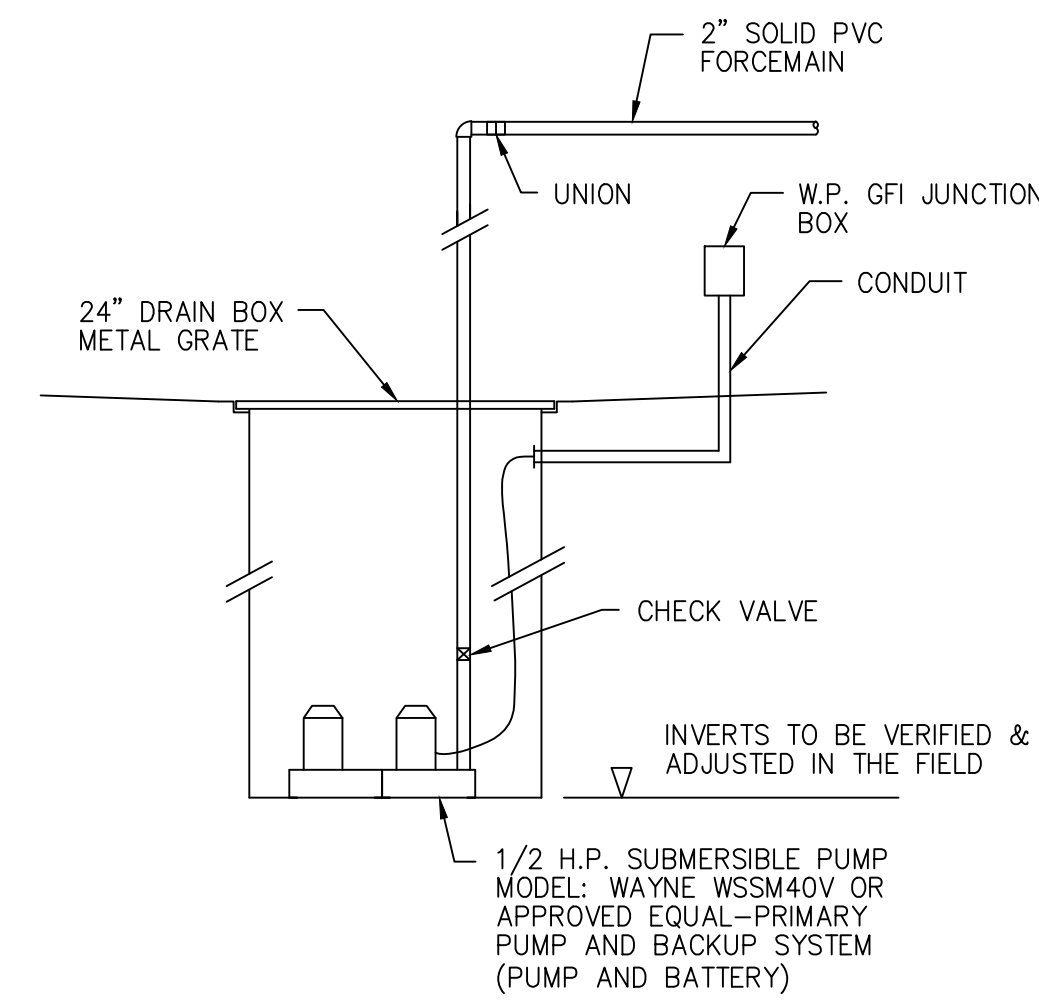
1 STORMWATER INFILTRATION BOX

2 TYPICAL GRADING AROUND FOUNDATION

3 SWALE



NOT TO SCALE



NOT TO SCALE

4 DRAIN IN LIGHT WELL

5 SUMP WELL

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 rweengineering@gmail.com



NEW RESIDENCE  
 306 COVINGTON ROAD  
 LOS ALTOS, CA  
 SANTA CLARA COUNTY  
 APN: 189-47-014

DETAILS

DATE: 7/5/21  
 SCALE: AS NOTED  
 DESIGNED BY: RW  
 DRAWN BY: RW  
 SHEET NO.

**C-2**

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

## GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

### EROSION AND SEDIMENT CONTROL MEASURES

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND COUNTY.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
- IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

### MAINTENANCE NOTES

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND GULLIES MUST BE REPAIRED.
- ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE ROCK BAG.

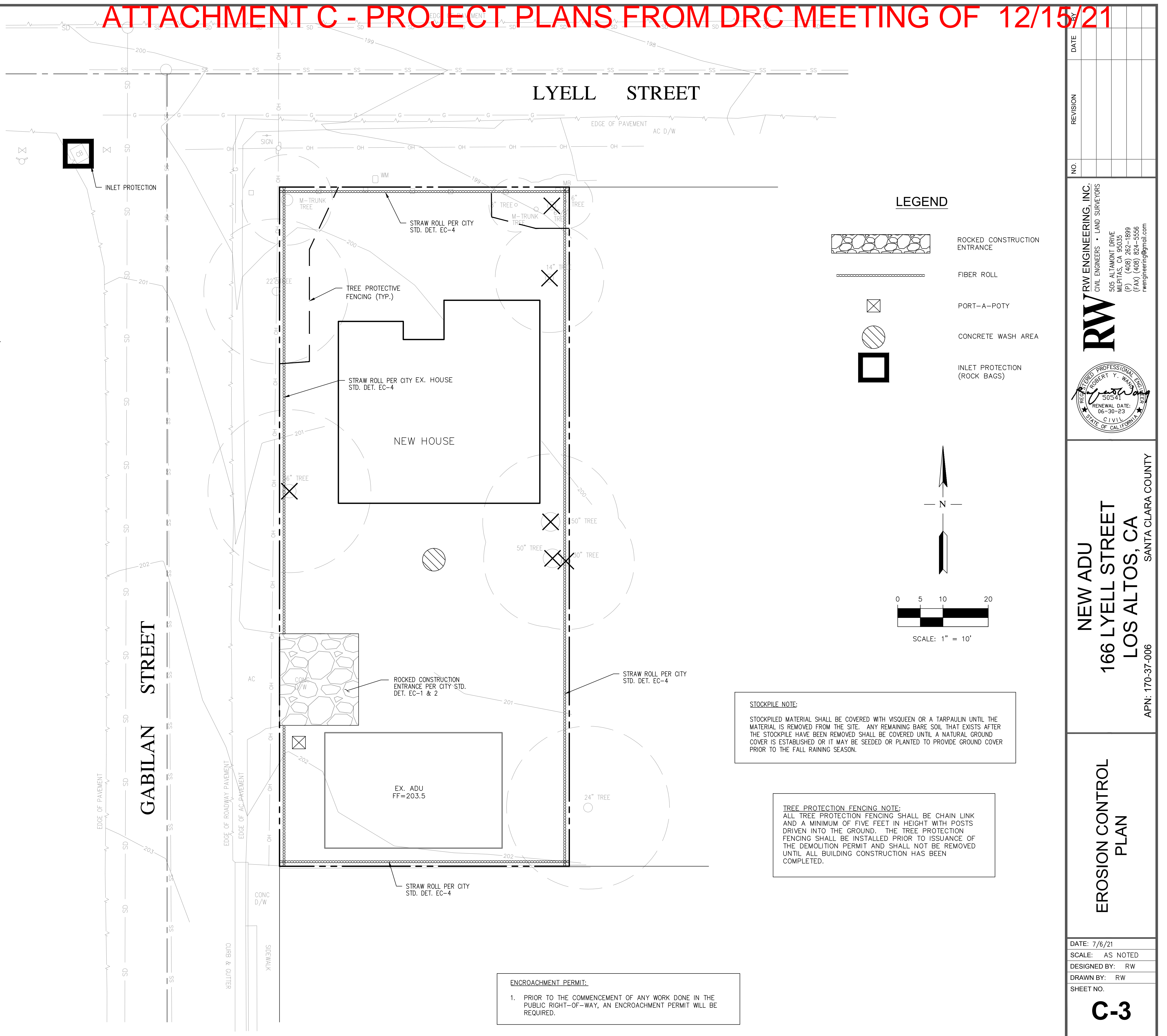
## HYDROSEEDING:

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALTRANS STANDARD SPECIFICATIONS, AND UNDER THE DIRECTION OF THE SOIL ENGINEER IN THE FIELD.
- ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE (925) 373-4417:
 

FIBER (HYDROSTRAW AND TACK MULCH)	2500 LBS/ACRE
COLOR (GREEN TO GOLD)	55 LBS/ACRE
FERTILIZER (16-20-0)	350 LBS/ACRE
M-BINDER	125 LB/ACRE
WATER, AS REQUIRED FOR APPLICATION	

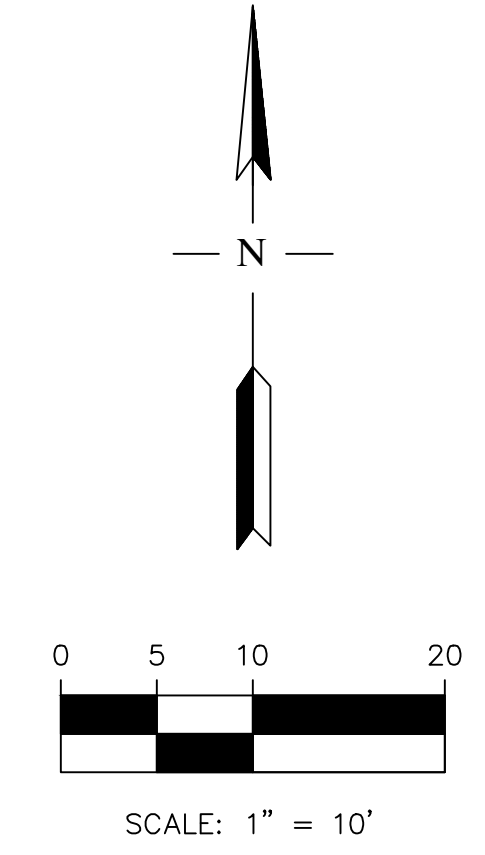
## ADDITIONAL NOTES:

- STABILIZE ALL DENUDED AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15TH AND APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING, WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DETWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
- AVOID CLEANING, FUELING, OR MAINTENING VEHICLE ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
- DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIAL OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMPs.



## LEGEND

- ROCKED CONSTRUCTION ENTRANCE
- FIBER ROLL
- PORT-A-POTY
- CONCRETE WASH AREA
- INLET PROTECTION (ROCK BAGS)



**STOCKPILE NOTE:**  
 STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAVE BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINING SEASON.

**TREE PROTECTION FENCING NOTE:**  
 ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

**ENCROACHMENT PERMIT:**  
 1. PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, AN ENCROACHMENT PERMIT WILL BE REQUIRED.

NO.	REVISION	DATE

**RW ENGINEERING, INC.**  
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 rweengineering@gmail.com

**NEW ADU**  
**166 LYELL STREET**  
**LOS ALTOS, CA**  
 SANTA CLARA COUNTY  
 APN: 170-37-006

**EROSION CONTROL PLAN**

DATE: 7/6/21
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO.

**GENERIC CONSTRUCTION SITE PLAN**

ALTERNATE (IF PROPERTY SLOPES TO THE REAR)  
PROPERTY LINE  
PROPERTY LINE  
PROPERTY LINE  
PROPERTY SLOPE  
HOUSE UNDER CONSTRUCTION  
STRAW ROLL OR SILT FENCE BOUNDARY (LIMITS TO BE SITE SPECIFIED)  
IF PROPERTY SLOPES TO THE REAR, THEN INSTALL STRAW ROLLS ALONG BACK OF PROPERTY  
STABILIZED CONSTRUCTION ENTRANCE  
EDGE OF PAVEMENT  
10' 10' 15' 10'  
STREET

Approved: *[Signature]* 1/4/10  
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		<b>TYPICAL EROSION AND SEDIMENT CONTROL AT SINGLE FAMILY CONSTRUCTION SITE</b>	<b>EC-1</b>

STANDARD DETAILS MAY 2010

CRUSHED ROCK AS DIRECTED BY THE ENGINEER  
25' MINIMUM LENGTH  
6" TO 12"  
SLOPE AWAY FROM ROADWAY  
EDGE OF PAVEMENT  
EXISTING ROAD  
EXISTING GROUND  
FILTER FABRIC

NOTES:  
1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET  
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

Approved: *[Signature]* 1/4/10  
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		<b>STABILIZED CONSTRUCTION SITE ENTRANCE</b>	<b>EC-2</b>

STANDARD DETAILS MAY 2010

NOTE: STRAW ROLLS MUST BE PLACED ALONG SLOPE CONTOURS  
ADJACENT ROLLS SHALL TIGHTLY ABUT  
3'-4" (1.2m)  
10'-25' (3-8m)  
SEDIMENT, ORGANIC MATTER, AND NATIVE SEEDS ARE CAPTURED BEHIND THE ROLLS  
SPACING DEPENDS ON SOIL TYPE AND SLOPE STEEPNESS  
8"-10" DIA. (200-250mm)  
3'-5" (75-125mm)  
1" x 1" STAKE (25 x 25mm)

NOTES:  
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3'-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL  
2. VERTICAL SPACING FOR SLOPE INSTALLATIONS  
1:1 SLOPES = 10 FEET APART  
2:1 SLOPES = 20 FEET APART  
3:1 SLOPES = 30 FEET APART  
4:1 SLOPES = 40 FEET APART  
<4:1 SLOPE = ONE ROW AT LOW POINT  
3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED

Approved: *[Signature]* 1/4/10  
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		<b>STRAW ROLLS</b>	<b>EC-4</b>

STANDARD DETAILS MAY 2010

PROVIDE 2 STREET TREES  
LANDSCAPING  
PERVIOUS PAVERS OR COMPACTABLE PERVIOUS MATERIAL  
NEW A.C. - DRAINAGE SWALE  
EDGE OF STREET PAVEMENT  
10' MIN  
8" MAX  
21' (MIN) TO TREE  
EXISTING STREET (WIDTH VARIES)  
EDGE OF STREET PAVEMENT  
21' (MIN) TO TREE  
DRIVEWAY (A.C., CONCRETE, OR PAVERS)  
22' MINIMUM FOR PARKING (TYPICAL)  
10' MIN  
PROVIDE 2 STREET TREES

**PLAN VIEW**

LEGEND:  
A.C. ASPHALT CONCRETE  
P PROPERTY LINE  
C CENTERLINE  
EXISTING OR NEW LANDSCAPING  
STREET TREE (NEW OR EXISTING)  
NEW PERMEABLE SURFACE  
NEW A.C. - DRAINAGE SWALE

NOTES:  
1. IF THE STREET PAVEMENT WIDTH IS 36 FEET OR GREATER, NO SHOULDER IMPROVEMENTS ARE PERMITTED WITH THE EXCEPTION OF LANDSCAPING AND IRRIGATION.  
2. POLICY DOES NOT APPLY FOR REPAIRS, RESEALING, AND REPAVING IN KIND OF EXISTING SHOULDERS, NOR DOES IT REQUIRE THAT SHOULDERS MUST BE PAVED.  
3. THE SHOULDER OF A NEWLY CONSTRUCTED OR 50% OR GREATER SQUARE FOOTAGE REMODELED RESIDENCE IS REQUIRED TO BE BROUGHT INTO COMPLIANCE WITH THIS POLICY.

Approved: *[Signature]* 1/4/10  
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		<b>SHOULDER PAVING POLICY</b>	<b>SU-20</b>

STANDARD DETAILS MAY 2010

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(FAX) (408) 824-5556  
rwengineering@gmail.com

REGISTERED PROFESSIONAL ENGINEER  
ROBERT Y. WANG  
50541  
RENEWAL DATE: 06-30-23  
CIVIL  
STATE OF CALIFORNIA

NEW ADU  
166 LYELL STREET  
LOS ALTOS, CA  
APN: 170-37-006  
SANTA CLARA COUNTY

STANDARD DETAILS

DATE: 7/5/21  
SCALE: AS NOTED  
DESIGNED BY: RW  
DRAWN BY: RW  
SHEET NO.

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

Revision

### CERTIFICATE OF COMPLETION

This certificate is to be filled out by the project applicant and signed by the property owner and landscape installer upon completion of the landscape project.

#### Part 1. PROJECT INFORMATION

Date	
Project Name	Telephone No.
Name of Project Applicant	Fax No.
Title	Email Address
Company	Street Address
City	State
	Zip Code

#### Project Address and Location:

Street Address	Parcel, tract or lot number, if available.
City	Latitude/Longitude (optional)
State	Zip Code

#### Property Owner:

Name	Telephone No.
	Fax No.
Title	Email Address
Company	Street Address
City	State
	Zip Code

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

Property Owner Signature \_\_\_\_\_ Date \_\_\_\_\_

### WATER EFFICIENT LANDSCAPE WORKSHEET

Date: 7/2/2021  
 Project: Single Family Residence  
 Address: 166 Lyell, Los Altos  
 Total Planted Area (sq.ft.) 2,421

#### Reference Evapotranspiration (Eto): 43 Palo Alto/Los Altos

HYDRO ZONE NO.	VALVES	HYDRO ZONE DESC.	Plant Factor PF	Irrig. Method	Irrig. Efficiency IE	ETAF PF/IE	LDSCP AREA Square Feet	ETAF x Area	Estimated Total Water Use (Gal.)
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#### Regular Landscape Areas

1	4, 5, 7	Drip, low water, shrub	0.25	Drip	0.81	0.3086	1,639	505.86	13,486
2	3, 6	Drip med water, shrub	0.5	Drip	0.81	0.6173	535	330.25	8,804
3	2	Drip, med water tree	0.5	Drip	0.81	0.6173	202	124.69	3,324
4	1	Drip, high water shrub	0.8	Drip	0.81	0.9877	45	44.44	1,185
5									
6									
7									
8									
<b>Totals</b>							2,421	1,005	26,799

#### Special Landscape Areas

						1		0	
						1			
						1			
<b>Totals</b>							0		0
<b>ETWU Total</b>									26,799
<b>Maximum Allowed Water Allowance (MAWA)</b>									35,499

Residential ETAF for MAWA calc. 0.55 MAWA (Annual Gallons Allowed) = (Eto) (0.62) [ (ETAF x LA) + ((1-ETAF) x SLA) ]

#### ETAF Calculations

#### Regular Landscape Areas

Total ETAF x Area	1,005
Total Area	2,421
Average ETAF	0.42

#### All Landscape Areas

Total ETAF x Area	1,005
Total Area	2,421
Sitewide ETAF	0.42

Average total ETAF must be .55 or less for residential

### PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

#### Landscape Architect or Designer:

Name	Telephone No.
	Fax No.
Title	Email Address
License No. or Certification No.	
Company	Street Address
City	State
	Zip Code

#### Landscape Installer:

Name (print)	Telephone No.
	Fax No.
Title	Email Address
License No. or Certification No.	
Company	Street Address
City	State
	Zip Code

"I/we certify that based upon periodic site observations, the work has been completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved Landscape Documentation Package."

Landscape Installer Signature \_\_\_\_\_ Date \_\_\_\_\_

#### Part 3. LANDSCAPE IRRIGATION AUDIT REPORT

Attach a Landscape Irrigation Audit Report per Section 492.12. The Landscape Irrigation Audit Report is intended to ensure that the subject irrigation system is functioning as designed and should address the following topics:

- Confirmation that all elements of the system were inspected;
- Outline any system tune-ups that were necessary to ensure that the system is functioning as designed;
- Confirmation that the system was tested for distribution uniformity, overspray and runoff that causes overland flow;
- Preparation of an irrigation schedule that includes configuring irrigation controllers with application rate, soil types, plant factors, slope, exposure and any other factors necessary for accurate programming.
- Provide additional information as necessary to confirm that the subject irrigation system is functioning as designed

### Landscape Documentation Package Checklist

#### LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST

##### 1 - PROJECT INFORMATION

- a Date - 7/2/21
- b Applicant - Greg Lewis - Landscape Architect
- c Project Address - 166 Lyell St., Los Altos
- d Total Landscape Area 2421 sf
- e Type of project -single family residential
- g Checklist of all documents in package - see this page
- h Contacts of Applicant -  
 Owner - Navneet Aron  
 navneet@galivio.com
- i "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"

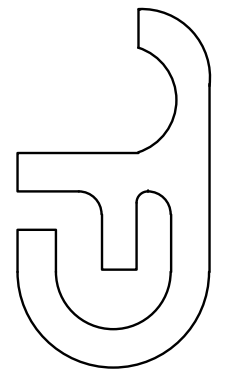
A. APPENDIX B - WATER EFFICIENT LANDSCAPE WORKSHEET - SEE SHEET L0

B. APPENDIX C - LANDSCAPE (PLANTING) PLAN - SEE SHEET L1 AND IRRIGATION PLAN - SEE SHEET L2, L3, L4,L5

GRADING PLAN - see civil engineers drawings

All landscaping and irrigation specified in the approved landscape documentation package shall be installed before a building permit can be signed-off and finalized. To verify that the landscaping and irrigation was installed per the approved plans, a certificate of completion shall be submitted to the City.

GREGORY LEWIS LANDSCAPE ARCHITECT #2176  
 Santa Cruz, CA 95065 (831) 359-0980  
 lewislandscape@sbcglobal.net



**New Residence**  
 166 Lyell St., Los Altos, CA

## LANDSCAPE SHEET INDEX

- L0 LANDSCAPE DOCUMENTATION
- L1 PLANTING PLAN
- L2 HYDROZONE PLAN
- L3 LANDSCAPE SCREENING
- L4 IRRIGATION PLAN
- L5 LANDSCAPE DETAILS
- L6 LANDSCAPE SPECIFICATIONS

LANDSCAPE DOCUMENTATION

Date: 3/5/21  
 Scale: As Noted  
 Drawn: Greg

Job Sheet: **L0**

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

## Plant Legend

KEY	QTY	SIZE	SPACING	WUCOLS	BOTANICAL NAME	COMMON NAME	High x Width
		GALLONS		RATING			
<b>TALL SHRUBS - SCREENING</b>							
LN	9	5	3'-5'	LOW	Laurus nobilis	15 - 40'x15-30'	Grecian Laurel
PE	4	15	5'-8'	MED	Pittosporum eugenioides	15-40'x6-15'	
growth rate 12" to 24" per year							
growth rate 24" per year							
<b>GROUND COVERS</b>							
LB	19	1	3'-5'	LOW	Lomandra Breeze		
DV	9	1	3'-5'	LOW	Dietes iridioides		Fortnight Lily
NC	3	1	3'-5'	LOW	Nandina Gulf Stream		
E	9	1	2'-3'	HIGH	Equisetum hyemale		Horsetail
Install 18" deep root barrier around grouping of E plants or use small Agave, Douglas Iris, or row of basalt rock columns instead							

Ask owners if they want to upsize some of 1 gal plants to 5 gal plants

Plant quantities are for planning purposes only. Contractor to do own plant count and install all plants on plan

## Planting Notes

- LESS THAN 25% OF PLANTING AREA IS TURF (0% OF LANDSCAPE AREA IS TURF)
- PLANTS WITH SIMILAR WATER NEEDS ARE GROUPED WITHIN HYDROZONES. EACH HYDROZONE SHALL BE CONTROLLED BY A SEPARATE GROUP OF VALVES
- AT LEAST 4 CUBIC YARDS OF COMPOST (BFI SUPER HUMUS) AND 16 POUNDS OF 12-12-12 FERTILIZER PER 1000 SF OF PLANTING AREA SHALL BE THOROUGHLY TILLED INTO THE TOP 8 INCHES OF SOIL (EXCEPT UNDER CANOPY OF EXISTING TREES TO BE SAVED) OR FOLLOW THE AMENDMENT AND FERTILIZER RECOMMENDATIONS OF A SOIL FERTILITY TEST AND ANALYSIS FROM A SOIL LAB (HIGHLY RECOMMENDED)
- INSTALL 3 INCH DEEP LAYER OF TOP DRESS MULCH ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN AREAS OF DIRECT SEEDING APPLICATION OR SOD LAWN. USE GRAVEL MULCH TO BE SELECTED BY OWNERS. PROVIDE SAMPLES AND PRICES PRIOR TO FINALIZING BID
- GRADING SHALL BE DESIGNED TO MINIMIZE SOIL EROSION, RUN-OFF AND WATER WASTE ADDITIONAL NOTES
- SEE SHEETS L5 AND L6 FOR PLANTING AND IRRIGATION DETAILS AND SPECIFICATIONS IN FINAL CONSTRUCTION DRAWING FOR BUILDING PERMIT
- DON'T TRENCH TOO CLOSE TO STRUCTURES WITHOUT THE APPROVAL OF THE BUILDING ARCHITECT, CIVIL, OR STRUCTURAL ENGINEER
- PRIOR TO ORDERING PLANTS OR SIGNING FINAL CONTRACT FOR WORK MAKE SURE YOU HAVE THE MOST CURRENT SET OF APPROVED PLANS AND MAKE SURE THERE ARE NO CHANGES TO THE PLANT CHOICES
- ADJUST FINAL LOCATIONS OF PLANTS TO AVOID CONFLICTS WITH UTILITIES, LIGHTS, AND IRRIGATION COMPONENTS. SCREEN VALVES AND UTILITIES WITH PLANTS. DON'T PUT PLANTS TOO CLOSE TO PAVING OR BUILDINGS
- GRADING AND DRAINAGE TO BE DONE ACCORDING TO THE APPROVED GRADING AND DRAINAGE PLANS DONE BY OTHERS

## Landscape Site Legend

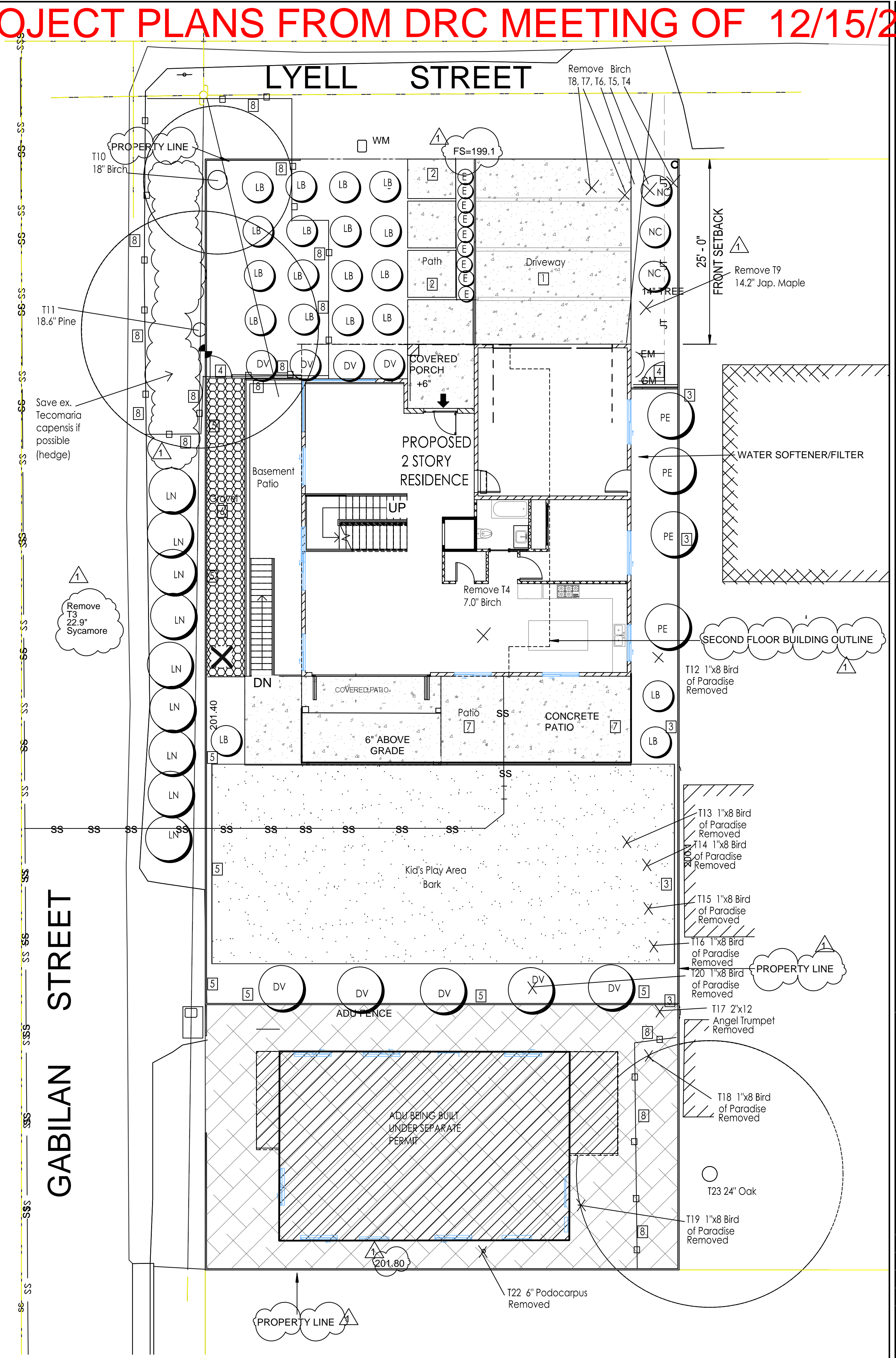
- Driveway - Concrete with score and expansion joints - color and finish to be determined by owner - possibly have 3.5 inch spaces filled with rounded mexican pebbles
- Front walkways - Concrete - pattern and color to be determined later by owner - possibly to match driveway with 3.5 inch spaces filled with rounded mexican pebbles
- Existing fence to remain - repair as required
- 6 foot tall x 3 foot wide gate and 6 foot tall fence
- 6 foot tall solid wood plus 1 foot of lattice fence
- Side gravel area - 3.5" deep with high quality weed cloth and steel landscape edging - gravel to be selected by owner
- Rear patio - Concrete or pavers - pattern and color to be determined by owner later
- Tree protection fence up to within 3 feet of house to allow for construction. Any where under existing tree canopy that you can't put fence install 6 inch deep coarse bark covered with thick plywood or steel plates - see arborist report for tree protection measures

Total Front Yard Setback Area  
 $64 \times 25 = 1600$   
 50% of 1600 = 800  
 Allowed non permeable

Non- permeable paving proposed  
 Driveway =  $25 \times 21 = 525$   
 Entry walk = 176

non permeable total = 701  
 less than 800 allowed

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the landscape design plan"  
 Greg Lewis  
 Gregory Lewis - Landscape Architect Lic. #2176 7/2/21



Revision

#2176

GREGORY LEWIS LANDSCAPE ARCHITECT

736 Park Way Santa Cruz, CA 95065 (831) 359-0960

lewislandscape@sbrglobal.net

## New Residence

166 Lyell St., Los Altos, CA

1/8" = 1'-0"

0' 8'

LANDSCAPE SITE/PLANTING PLAN

Date 7/2/21

Scale As Noted

Drawn Greg

Job

Sheet

# L1

of 7

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

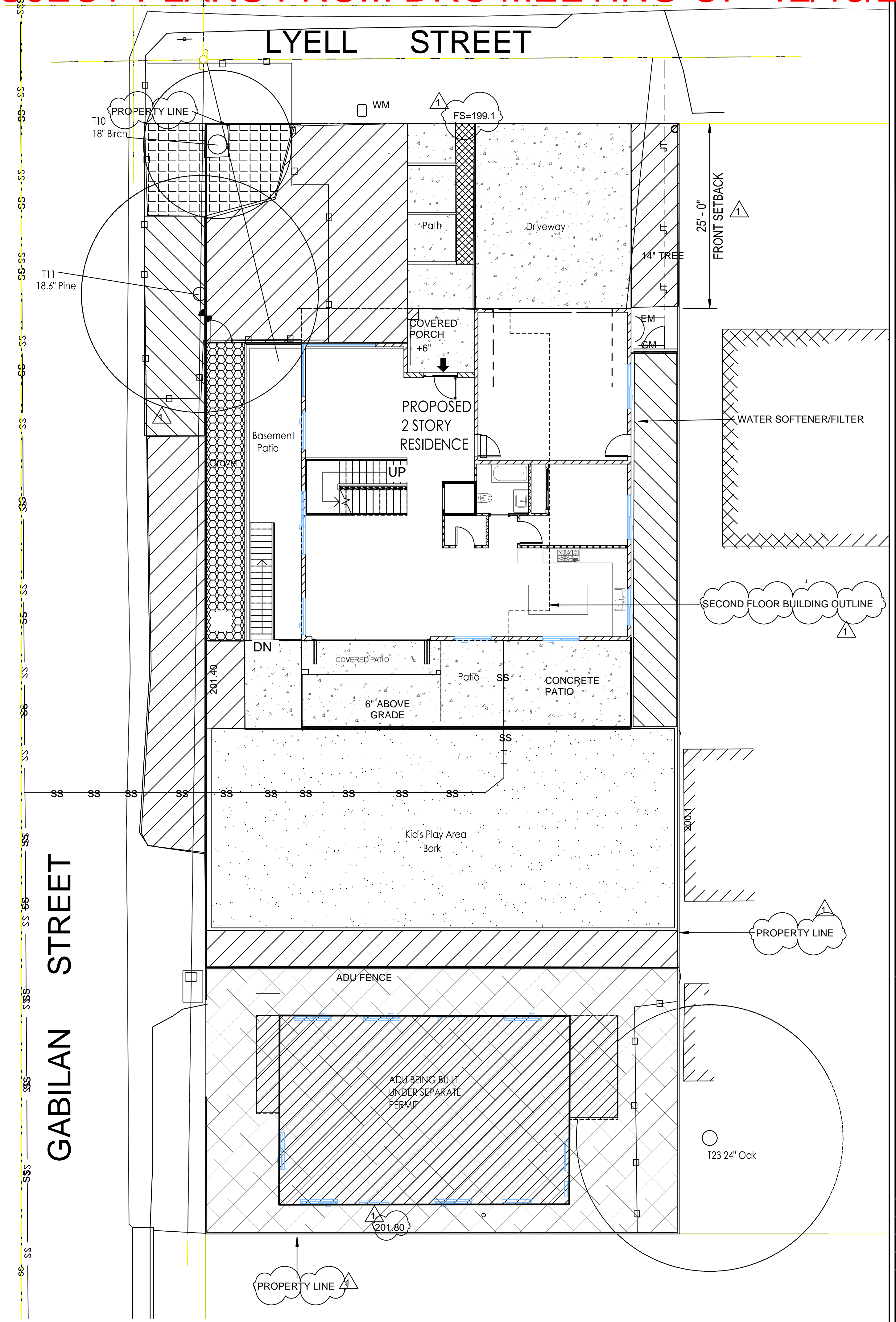
Revision

### Hydrozone Summary Sheet

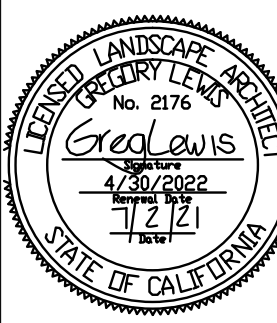
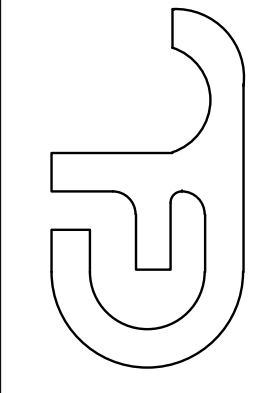
HYDROZONE	VALVES	IRRIG. METHOD	AREA (Sq.Ft.)	% of NEW LANDSCAPE
1 Low Water Shrubs	4,5,7	Drip	1639	68.0%
2 Med Water Shrubs	3,6	Drip	535	22.0%
3 Med Water Tree	2	Drip	202	8.0%
4 High Water Shrub	1	Drip	45	2.0%
<b>TOTAL</b>			<b>2421</b>	<b>100%</b>

SUMMARY by HYDROZONE	AREA (Sq.Ft.)	% of LANDSCAPE
High Water Use	45	2%
Medium Water Use	737	30%
Low Water Use	1639	68%
<b>TOTAL</b>	<b>2421</b>	<b>100%</b>



#2176  
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 Santa Cruz, CA 95065 (831) 359-0960  
 736 Park Way  
 lewislandscape@sbrglobal.net



**New Residence**  
 166 Lyell St., Los Altos, CA

1/8"=1'-0"  
 0' 8'

HYDROZONE PLAN

Date 7/2/21  
 Scale As Noted  
 Drawn Greg  
 Job  
 Sheet

**L2**  
 of 7

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

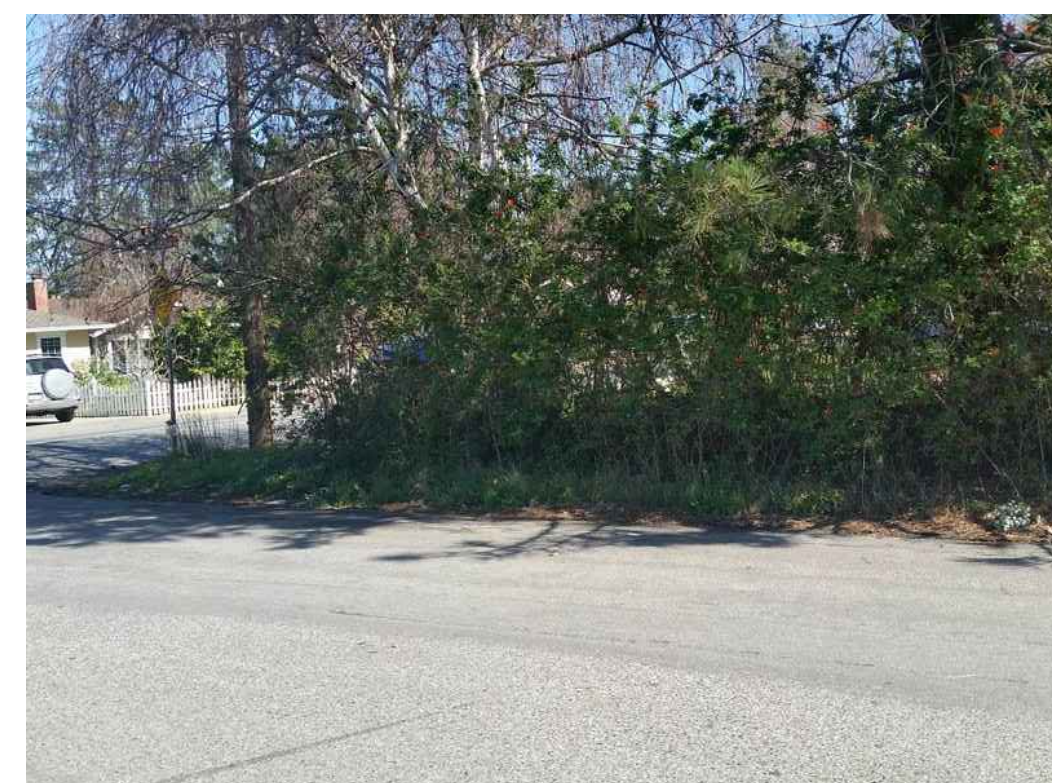
## Plant Legend

KEY	QTY	SIZE	SPACING	WUCOLS	BOTANICAL NAME	COMMON NAME
		GALLONS		RATING		High x Width
<b>TALL SHRUBS - SCREENING</b>						
LN	9	5	3'-5'	LOW	Laurus nobilis	15-40'x15-30'
growth rate 12" to 24" per year						
PE	4	15	5'-8'	MED	Pittosporum eugenioides	15-40'x6-15'
growth rate 24" per year						
<b>GROUND COVERS</b>						
LB	8	1	3'-5'	LOW	Lomandra Breeze	
DV	6	1	3'-5'	LOW	Dietes iridioides	Fortnight Lily
NC	5	1	3'-5'	LOW	Nandina Gulf Stream	
E	5	1	2'-3'	HIGH	Equisetum hyemale	Horsetail

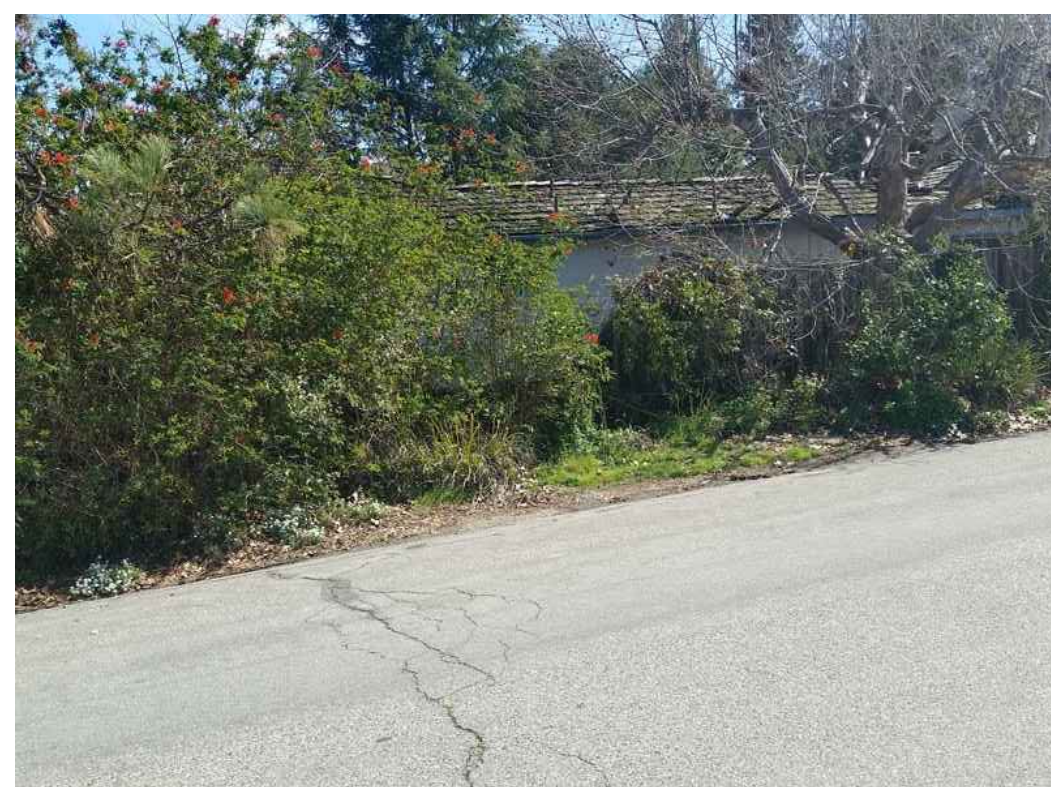
Install 18" deep root barrier around grouping of E plants or use small Agave, Douglas Iris, or row of basalt rock columns instead

Ask owners if they want to upsize some of 1 gal plants to 5 gal plants

Plant quantities are for planning purposes only. Contractor to do own plant count and install all plants on plan



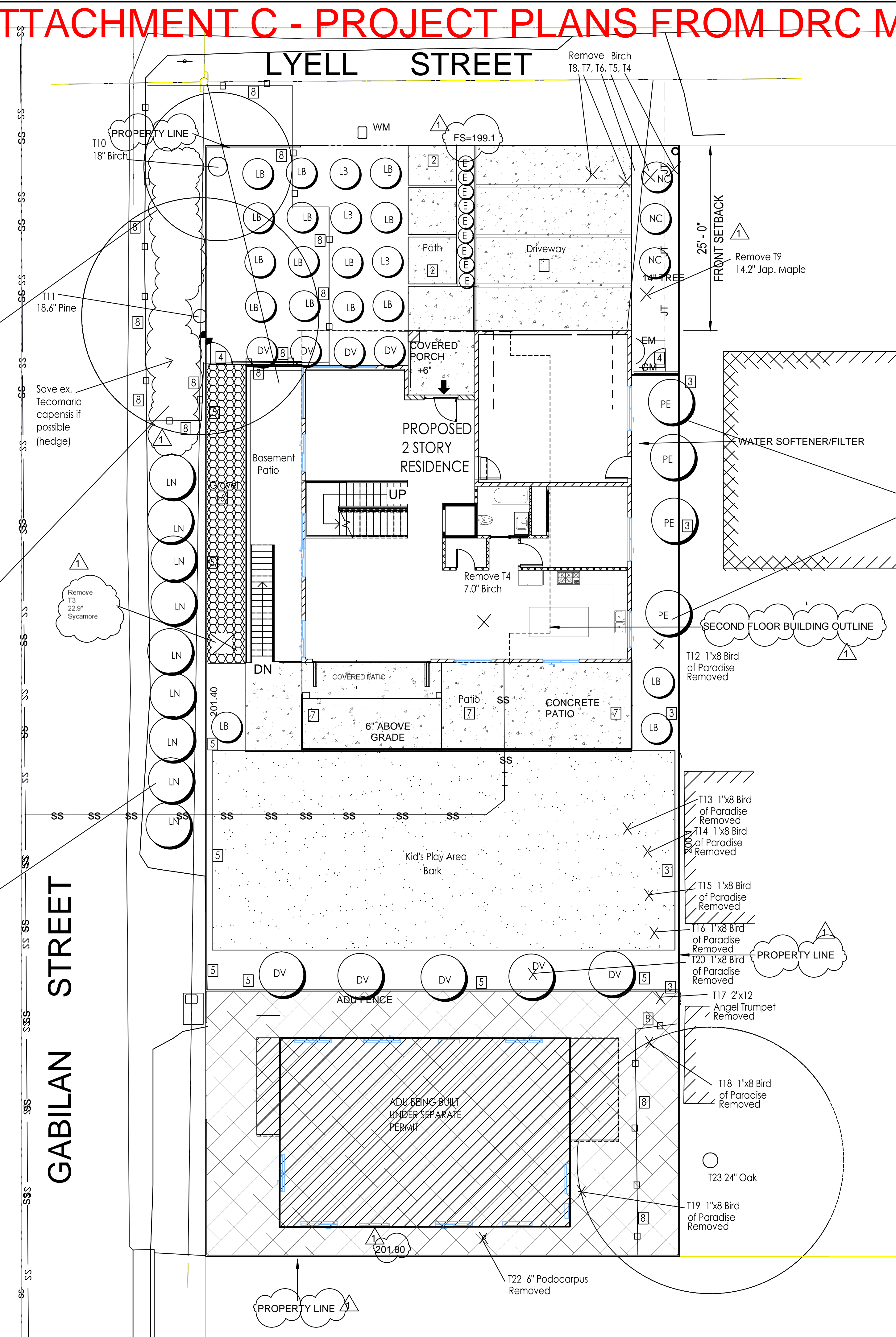
Ex. Tecomaria capensis along west property line



Ex. Tecomaria capensis along west property line further south



Laurus nobilis trained as tree that you can walk under



## Landscape Screening

- To the south there is a one story ADU on this same parcel that will screen views of the proposed 2 story house from neighbors further south
- To the west there are some existing trees, existing Tecomaria capensis (see pictures), and proposed Laurus nobilis (see pictures)
- On the east side of the proposed house we have added 15 gal. Pittosporum that will grow tall and screen views from the 2nd story east facing windows



Pittosporum eugenioides - this hedge has been topped a number of times to control it's height and will grow taller

Revision

#2176

GREGORY LEWIS LANDSCAPE ARCHITECT  
736 Park Way Santa Cruz, CA 95065 (831) 359-0960  
lewislandscape@sbrglobal.net

**New Residence**  
166 Lyell St., Los Altos, CA

1/8"=1'-0"  
0' 8'

LANDSCAPE SCREENING PLAN

Date: 7/2/21  
Scale: As Noted  
Drawn: Greg  
Job Sheet: **L3**

of 7



# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

Revision

### Irrigation Legend

KEY	MANUF.	MANUF. #	DESCRIPTION
(D) L5	C	Hunter Pro-C	4 station controller with enough modules for 7 stations exterior wall mount with multiple programming, cycle start, and calendar program
(C) L5	Hunter	SOLARSYNC	Install Solarsync weather sensor in sunny location that receives rain System will adjust valve run times according to weather
(C) L5	Hunter	PGV-ASV 075	3/4" antisiphon valve with 3/4" Amiad Filter, Senniger PR30 pressure regulator, and adaptor to drip tubing
(F) L5	Hunter	ICV-100G	1" automatic globe valve master valve below grade in valve box
(A) L5			1" manual brass ball valves - same size as pressure line
(B) L5			3/4" Nonpressure line - Sch 40 PVC 3/4" unless noted for larger size - 12" of cover
(L) L5			1" Pressure line - Sch 40 PVC : 1" unless noted for smaller size - 18" of cover
(PL)			LINES UNDER PAVING - 24" deep with sand backfill
(W)			1" Sch 40 PVC pressure line in 1-1/2" sleeve
(NP)			1-1/4" gray elec PVC sleeve
(G) L5	(E) L5		3/4" Sch 40 PVC nonpressure line in 1-1/4" sleeve
(H) L5	(L) L5		3/4" PE drip tubing with compression fittings - see drip notes
(I) L5	(F)		Rainbird XFS sub surface drip tubing - (Drippers with copper root intrusion prevention). Soil is loam in existing birch area. Use .6 GPH emitters 18" apart with laterals 18" apart. Verify that soil is loam. Install on surface and cover with mulch. Use the regular layout with supply and exhaust headers. Blank 1/2" Dripline tubing is OK for flows less than 5 GPM. Keep consistent spacing between the rows of tubing and don't exceed max. lateral length in charts. Use 3/4 PE or Sch 40 PVC headers for flows 4 to 8 GPM, 1" Sch 40 PVC for flows 8 to 13 GPM and 1-1/4" for 13 to 22 GPM
(I) L5	(F)		Manual flush valve in valve box - for regular system flushing maintenance Install at a low point at the end of the circuit opposite the valve Install flush valves at ends of all drip lines for both types of systems when not shown on plan.

### Irrigation Notes

- THE AUTOMATIC IRRIGATION CONTROLLER USES EVAPOTRANSPIRATION DATA AND UTILIZES A RAIN SENSOR
- THE IRRIGATION CONTROLLER DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED
- PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE
- MANUAL SHUT-OFF VALVES ARE INSTALLED AS CLOSE TO POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY
- ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD". ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014
- IRRIGATION SUBMETERS ARE REQUIRED FOR RESIDENTIAL PROJECTS WITH MORE THAN 5000 SQ.FT. OF LANDSCAPE AREA - THEY ARE NOT REQUIRED ON THIS PROJECT WITH LESS THAN 5000 SQ.FT.
- THERE IS NO POOL OR WATER FEATURE ON THIS PROJECT. THERE IS NO LAWN.
- SEE SHEET L4 AND L5 FOR DETAILS AND SPECIFICATIONS
- THIS SYSTEM IS DESIGNED TO OPERATE WITH MINIMUM .5 GPM AT MINIMUM 60 P.S.I. AT THE POINT OF CONNECTION. IF THIS CONDITION IS NOT MET CONTACT THE LANDSCAPE ARCHITECT FOR POSSIBLE REDESIGN. (YOU CAN ADD SOME VALVES TO REDUCE THE FLOW THRU THE VALVES WITH MORE FLOW). THERE IS 65 STATIC PSI IN THIS AREA. IF PRESSURE EXCEEDS 75 PSI AT POINT OF CONNECTION INSTALL A WILKINS 600 1" PRESSURE REGULATOR
- THE ROUTING OF SPRINKLER LINES IS SCHEMATIC ON THE PLAN. DO NOT PUT VALVES TOO CLOSE TO TREES. STAY 8" TO 10" AWAY IF POSSIBLE. DO NOT PUT PRESSURE LINES UNDER TREES. INSTALL LINE IN PLANTING AREAS INSTEAD OF UNDER PAVING WHENEVER POSSIBLE.
- POINT OF CONNECTION WILL TYPICALLY BE JUST BEFORE WATER ENTERS HOUSE. INSTALL 1" TEE AND A BALL VALVE AND RUN 1" SCH 40 PVC TO VALVE LOCATIONS. KEEP ANTISIPHON VALVES IN INCONSPICUOUS PLACES, INSTALLED 6" TO 12" ABOVE HIGHEST SPRINKLER OR DRIP EMITTER ON THE CIRCUIT. KEEP VALVES OUT OF PATHS.
- INSTALL 2 EXTRA CONTROL WIRES AT EACH VALVE GROUPING SO THAT TWO EXTRA VALVES COULD BE INSTALLED IN THE FUTURE IF NECESSARY
- BE SURE AND FOLLOW THE PLANS. YOU WILL PROBABLY BE REQUIRED TO HAVE A LICENSED/CERTIFIED LANDSCAPE PROFESSIONAL OBSERVE THE LANDSCAPE CONSTRUCTION AT PERIODIC INTERVALS AND FILL OUT A CERTIFICATE OF INSTALLATION. THIS PERSON WILL ALSO BE RESPONSIBLE FOR PROVIDING AN IRRIGATION SCHEDULE FOR NEW PLANTINGS AND MATURE PLANTINGS AND A LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE. READ A COPY OF THE LOS ALTOS WATER EFFICIENT LANDSCAPE ORDINANCE PRIOR TO STARTING THE PROJECT
- MAKE SURE YOU HAVE THE MOST CURRENT LANDSCAPE PLANS BY CHECKING WITH THE LANDSCAPE ARCHITECT BEFORE YOU AGREE ON YOUR FINAL BID AND START THE INSTALLATION

### Drip Irrigation Notes

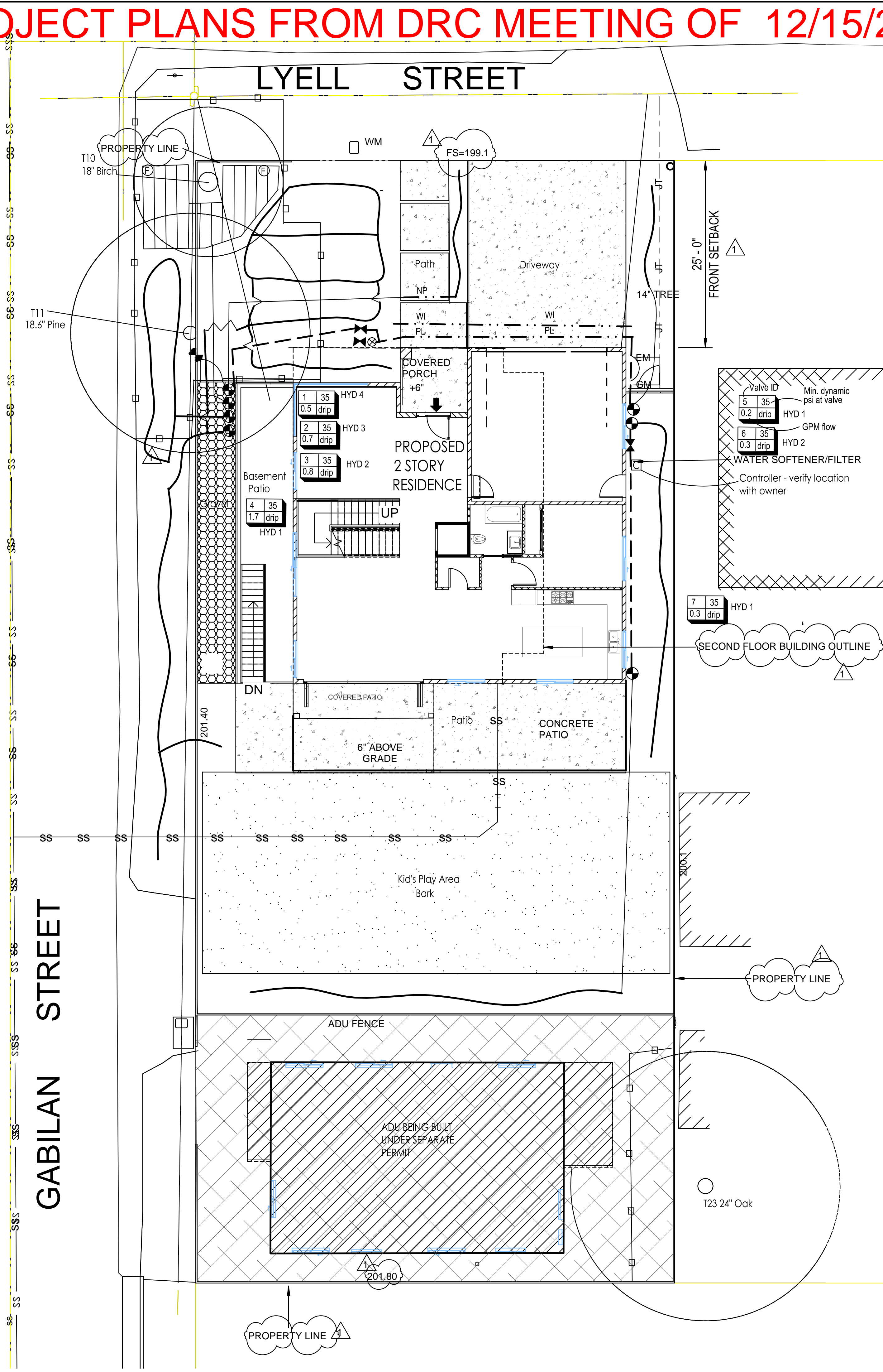
- SECURE LARGER 3/4" DRIP TUBING 1" BELOW GRADE WITH 7" OR 11" U-SHAPED STAKES 3 FEET ON CENTER OR CLOSER SO THAT THE TUBING CAN BE FOUND EASILY BUT DOES NOT SHOW IF THE MULCH GETS BRUSHED AWAY. COVER TUBING WITH SOIL AND MULCH AND INSTALL MANUAL FLUSH VALVES AT ENDS OF TUBING AND MARK THEM SO THEY CAN BE FOUND EASILY.
- RUN LARGE TUBING OVER AND NEXT TO ROOTBALL OF PLANTS TO MINIMIZE LENGTH OF SMALLER 1/4" TUBING. SECURE EMITTERS ON 3/4" TUBING AT PLANT ROOT BALLS. WHEN NECESSARY RUN SHORT LENGTHS OF 1/4" TUBING FROM EMITTERS TO PLANT ROOT BALLS. INSTALL STAKES ON 1/4" TUBING AT 12" ON CENTER AND COVER TUBING WITH 1" OF SOIL PLUS MULCH.
- AS THE PLANT AND PLANT ROOTBALL INCREASE IN SIZE, THE LOCATIONS OF THE EMITTERS MAY NEED TO BE ADJUSTED SO THEY ARE EVENLY SPACED OVER THE ROOTBALL.
- INSTALL PRESSURE COMPENSATING EMITTERS (WITH MINIMAL DIFFERENCE IN FLOW BETWEEN 10 PSI AND 40 PSI) AT EACH PLANT ON ROOT BALL (NOT RIGHT AT STEM). USE AGRIFIM PC PLUS (PRESSURE COMPENSATING EMITTERS). USE THE ONES THAT 1/4" TUBING CAN BE CONNECTED TO. OTHER EMITTERS MAY HAVE A HIGHER DISCHARGE RATE AT STARTUP REQUIRING LARGER PIPE SIZES.

**EMITTER SCHEDULE:**  
 TWO 1 GPH EMITTERS AT SMALL SHRUBS (EVENTUAL SIZE) none  
 THREE 1 GPH EMITTERS AT MEDIUM SHRUBS LB, DV, NC, E  
 FOUR 1 GPH EMITTERS AT LARGE SHRUBS LN, PE  
 WITH SHRUBS THAT HAVE MULTIPLE EMITTERS, PUT SOME OVER ROOT BALL (NOT RIGHT ON STEM) AND SOME OUT UNDER FUTURE CANOPY. SPACE EMITTERS EVENLY IN ROOT ZONE AREA.

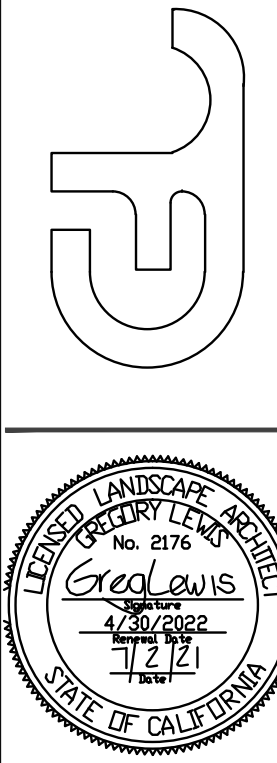
EX. TECOMARIA - INSTALL 4 GPH EMITTERS AT EACH PLANT OR AT 2 FEET APART UNDER PLANT CANOPY

EXISTING BIRCH - INSTALL 0.6 gpm EMITTERS ON 18" X 18" GRID

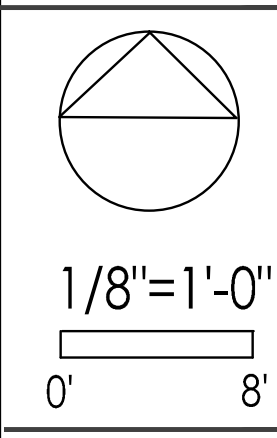
"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the irrigation design plan"  
 Greg Lewis  
 Gregory Lewis - Landscape Architect Lic. #2176 7/2/21



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 166 Lyell St., Los Altos, CA



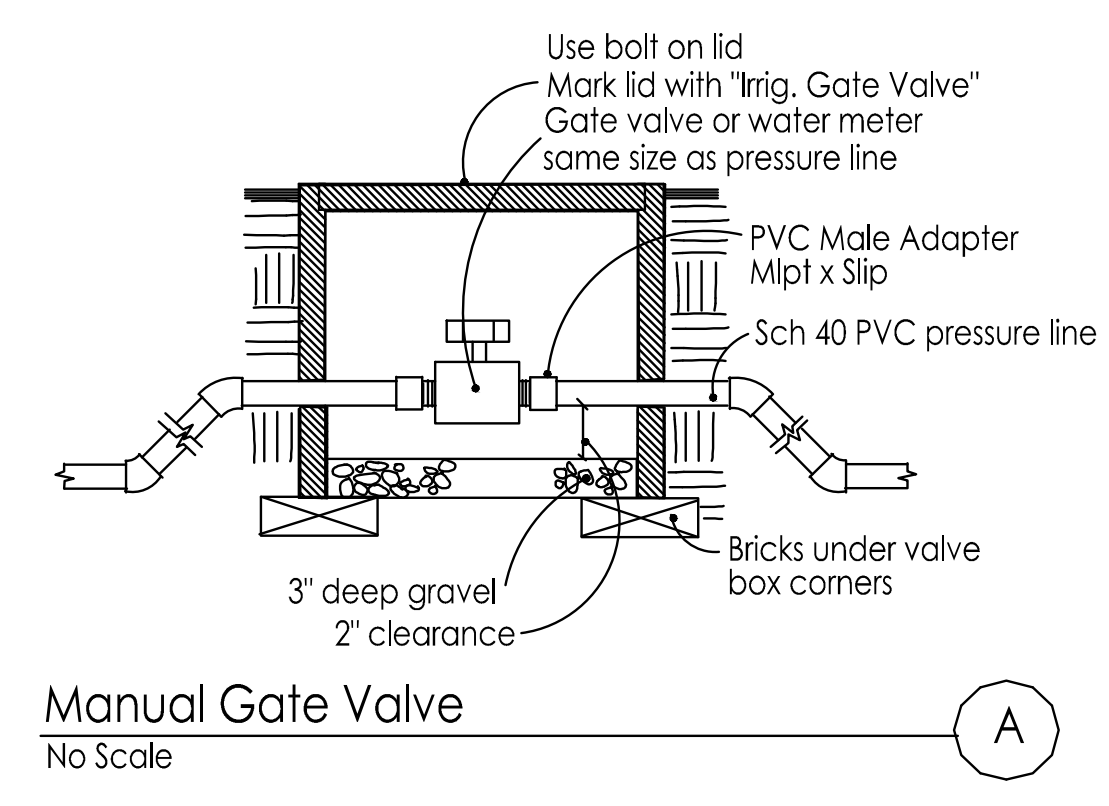
IRRIGATION PLAN

Date: 7/2/21  
 Scale: As Noted  
 Drawn: Greg  
 Job Sheet:

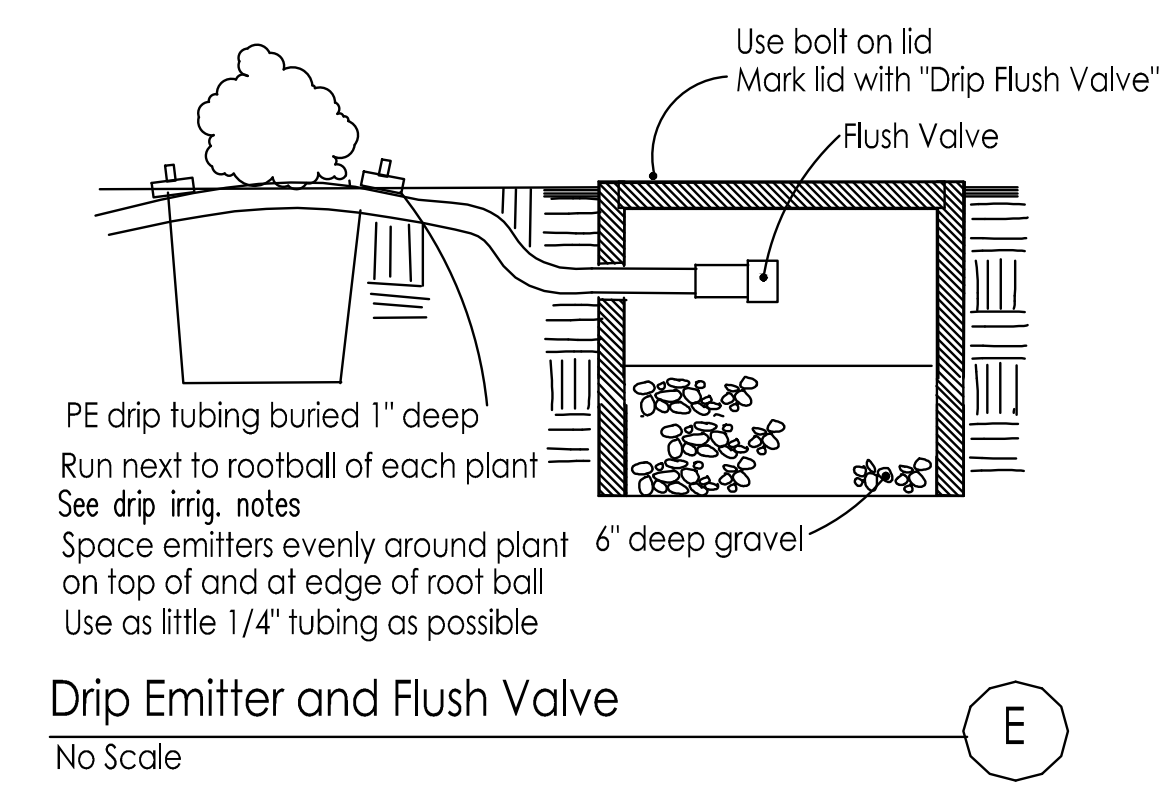
**L4**

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

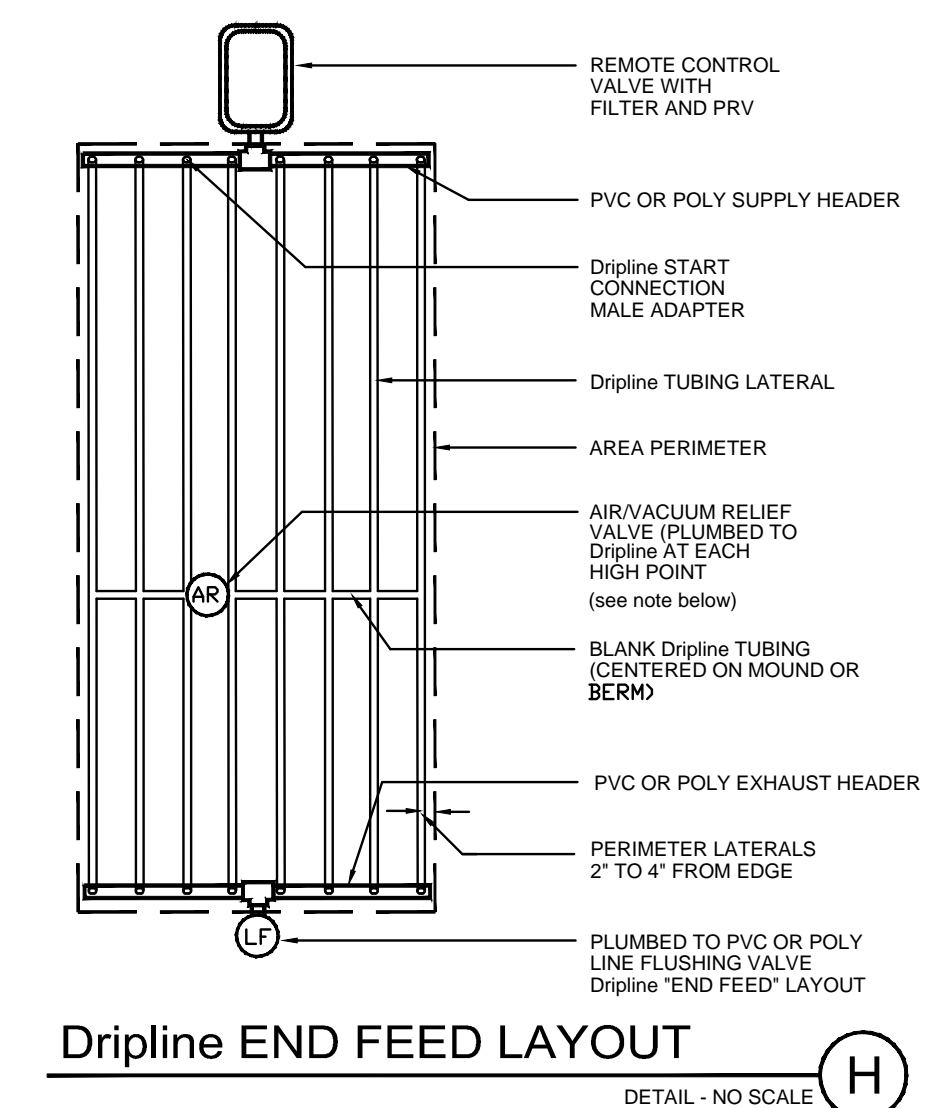
Revision



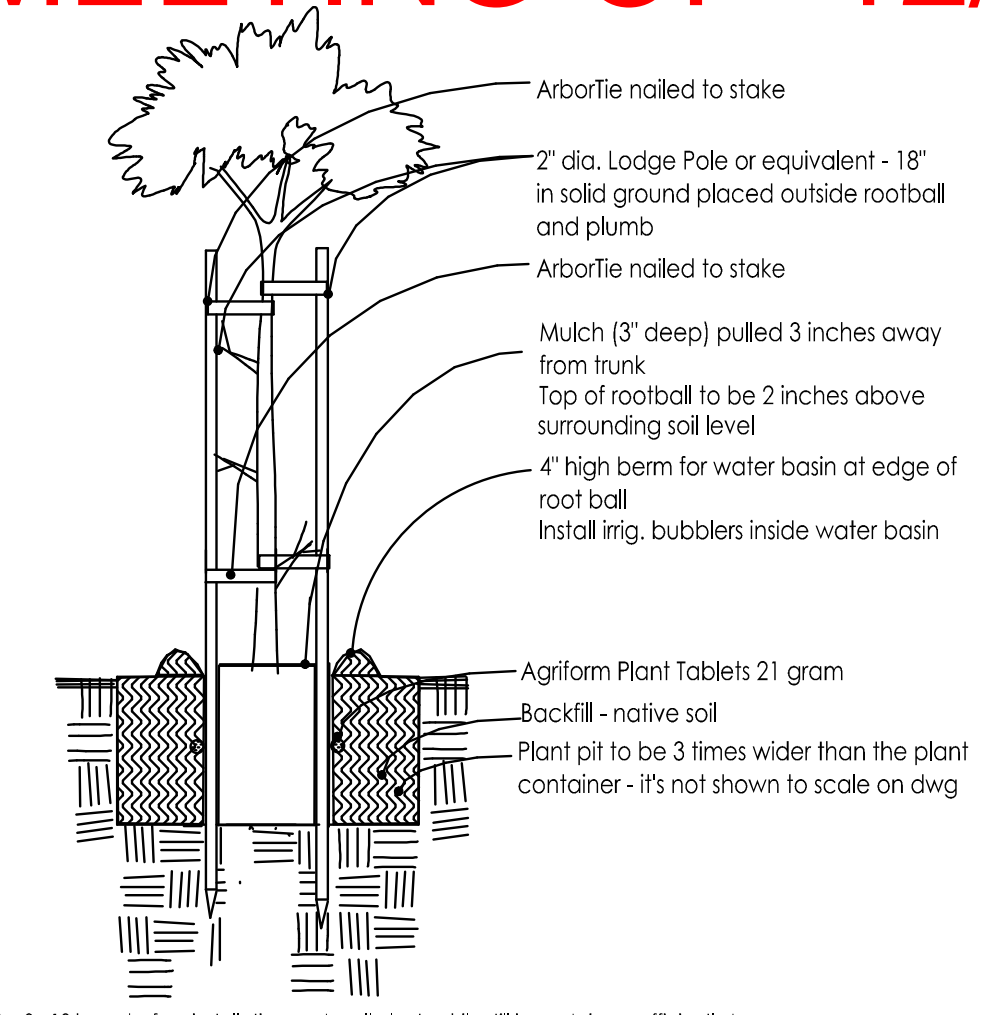
**Manual Gate Valve**  
No Scale



**Drip Emitter and Flush Valve**  
No Scale

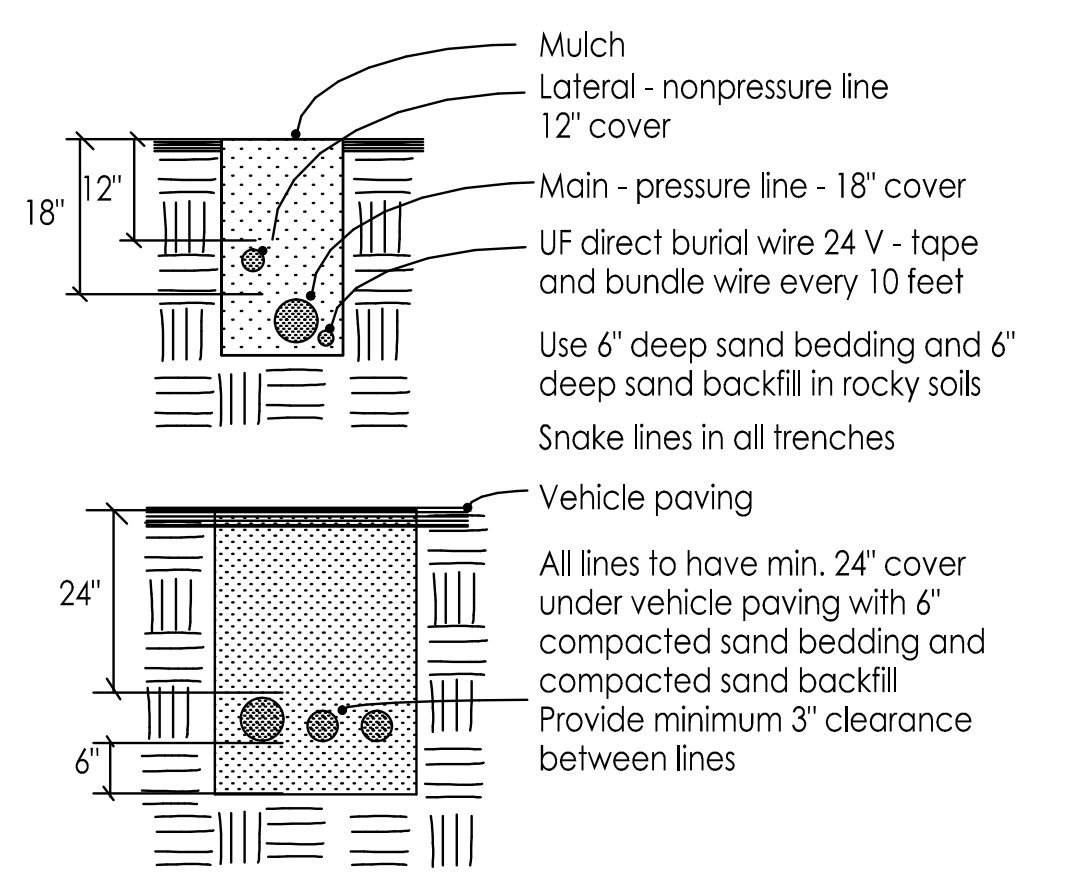


**Dripline END FEED LAYOUT**  
DETAIL - NO SCALE

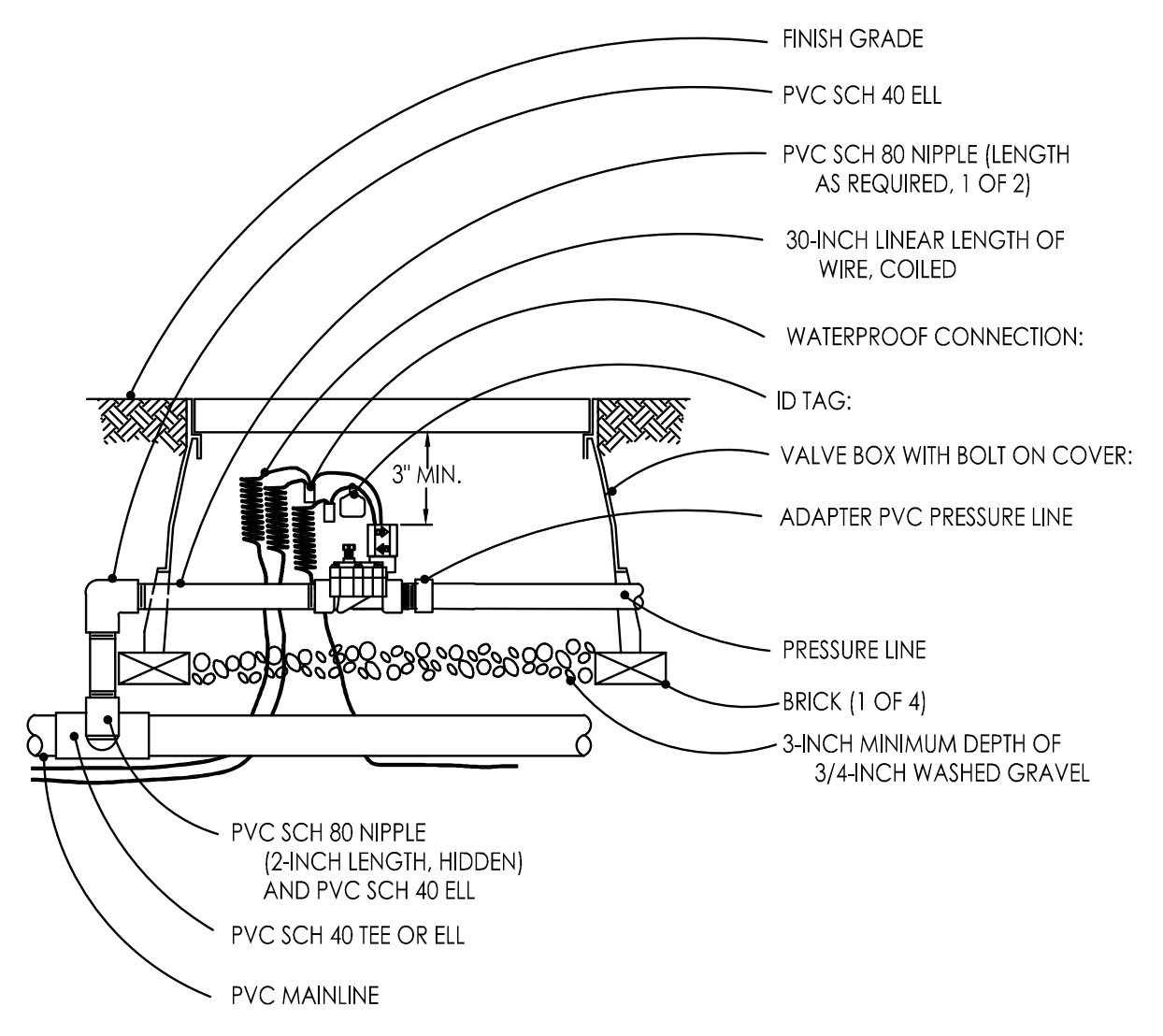


- 1) 8 - 12 hours before installation, water all plants while still in containers sufficiently to thoroughly wet root balls.
- 2) Dig hole at least 2' less deep than the container and 3 times wider than the diameter of the container the plants were delivered in.
- 3) Gauge holes in the side of the plant pit - 2 holes per sq. ft. of wall surface.
- 4) Remove rootball carefully from container with support from below. Sever any circling roots (3/16" dia. or greater) with sharp knife. Do not pull roots apart. The severing of large roots will encourage new roots of the cuts. Install enough backfill under root ball so top of rootball ends up 2" above grade of surrounding soil when it settles. Install some of fertilizer packets under root ball.
- 5) Fill around rootball with backfill mix to 1/2 its height and pack soil as you fill with shovel handle or feet being careful not to disturb root ball.
- 6) Put Agriform Plant Tablet fertilizer at this level adjacent to rootball and at bottom of hole (5 tablets per 15 gal. or 5 tablets per 1 inch of caliper width). Fill the remainder of the hole with backfill and pack it.
- 7) Water tree thoroughly by filling the basin and allowing the water to percolate in, doing this 3 times or more until root ball and backfill is wet.
- 8) Install stakes such that the stakes and the tree ties won't damage the tree and the stakes won't lean toward each other. Cut off tops of stakes if necessary to lower below branches that could be rubbed by stakes. Install stakes so they are straight up and don't lean in to each other.

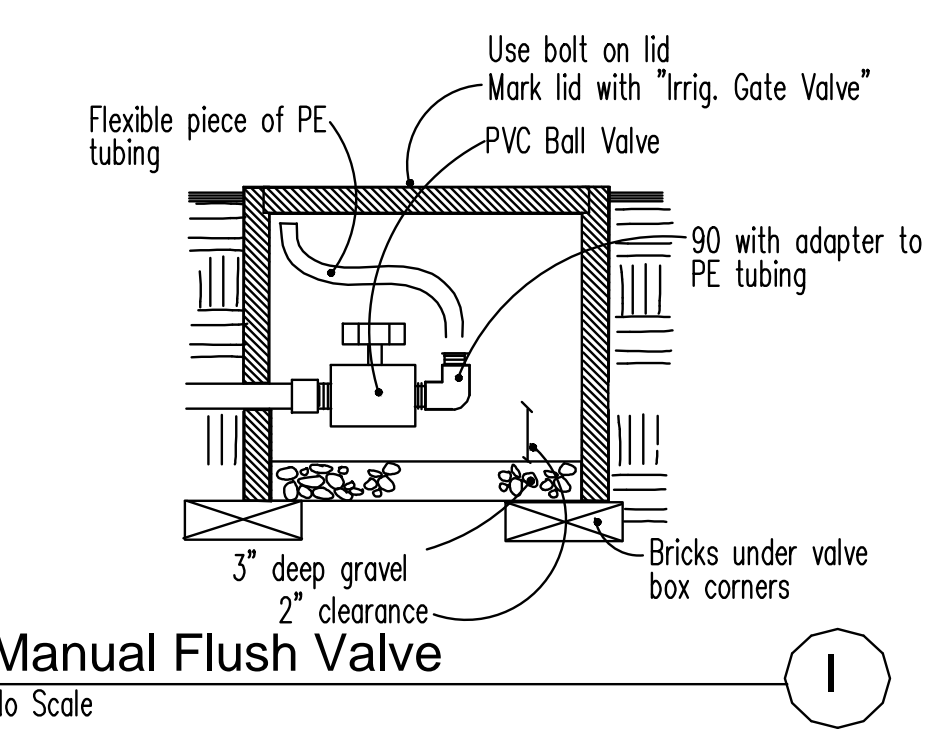
**Tree Planting**  
No Scale



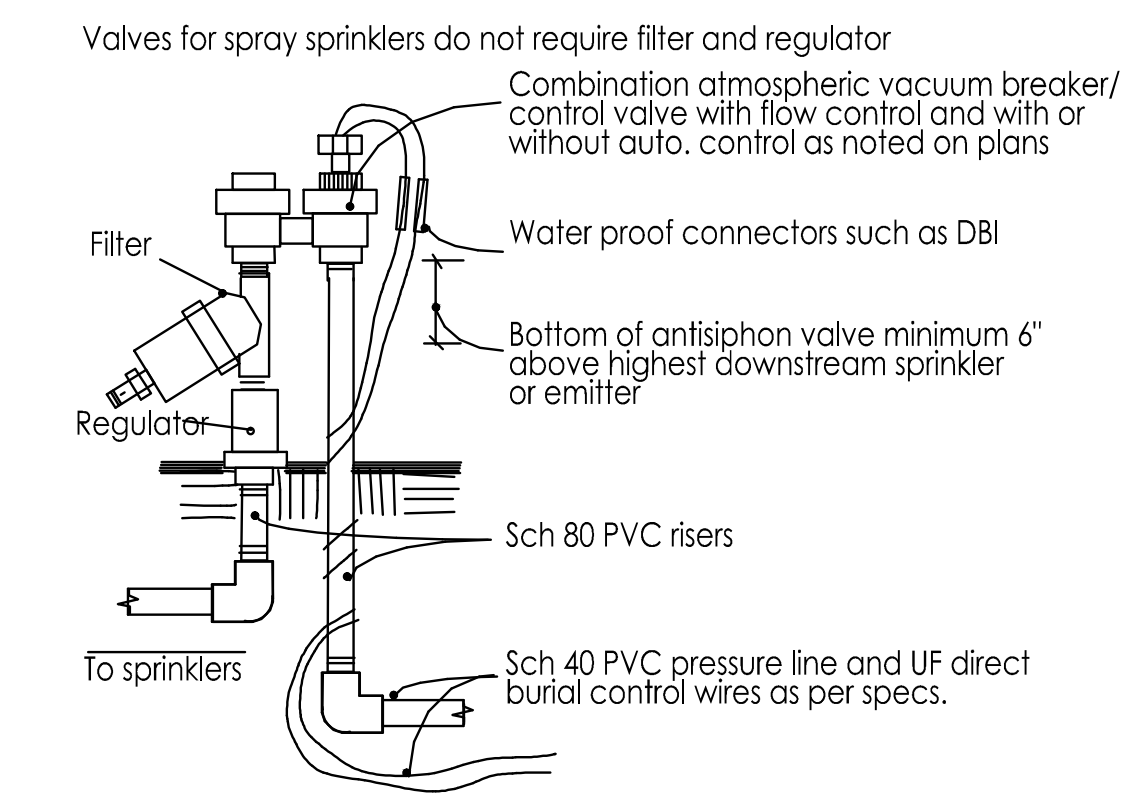
**Trenches/Lines**  
No Scale



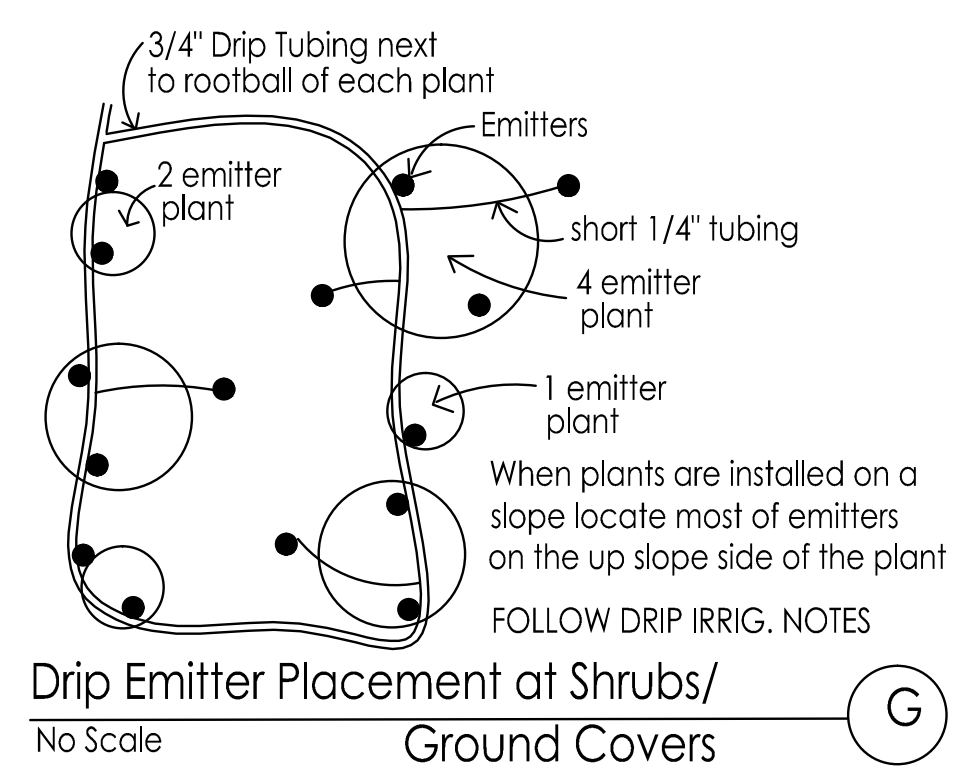
**Remote Control Master Valve**  
No Scale



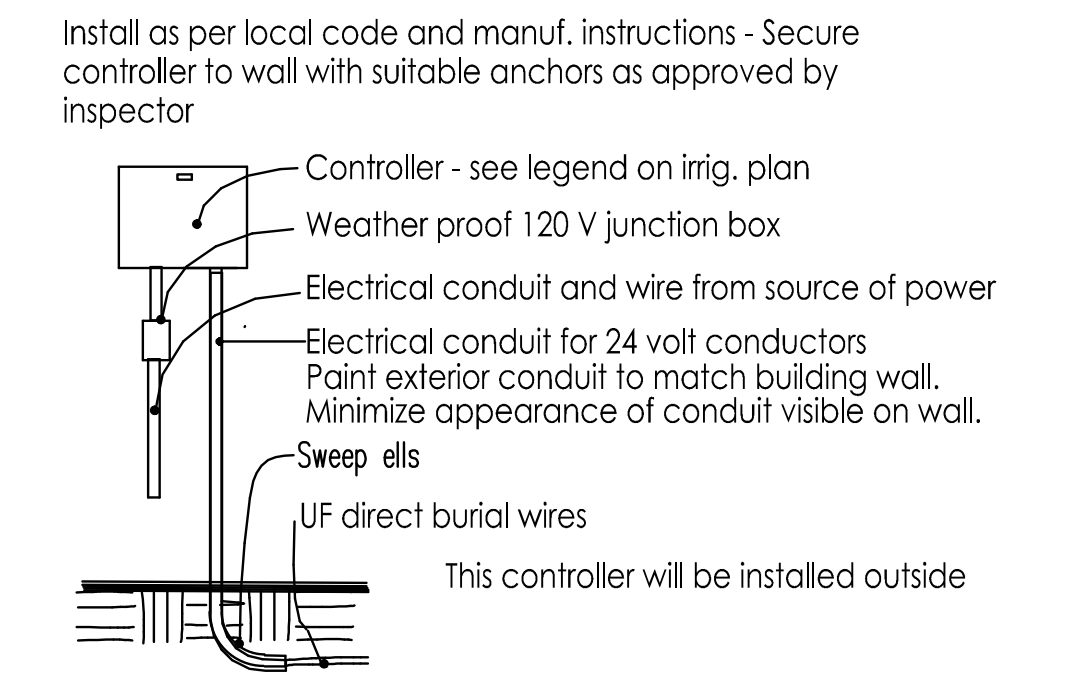
**Manual Flush Valve**  
No Scale



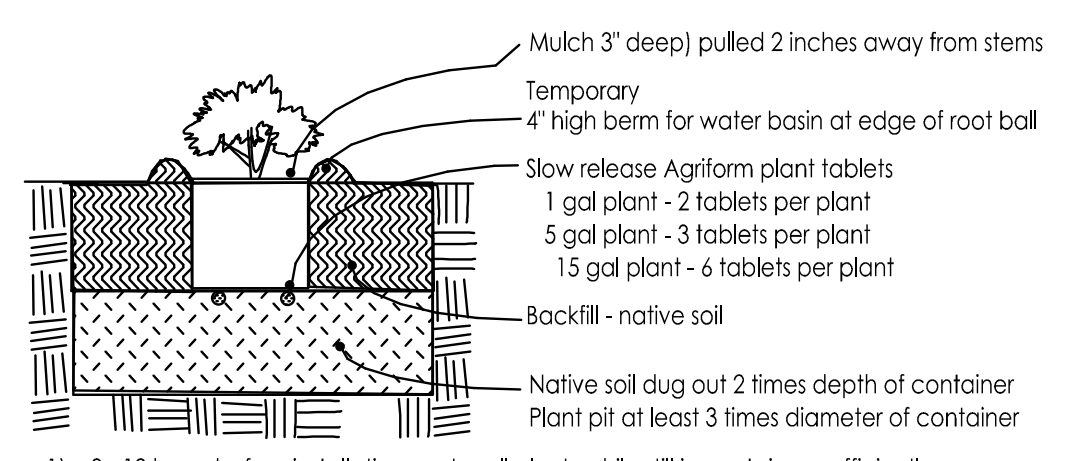
**Auto. Antisiphon Valve with Filter and Regulator for Drip**  
No Scale



**Drip Emitter Placement at Shrubs/Ground Covers**  
No Scale



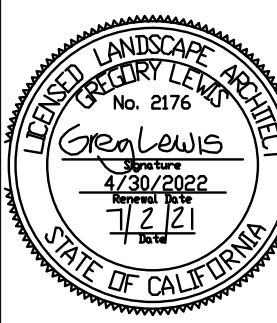
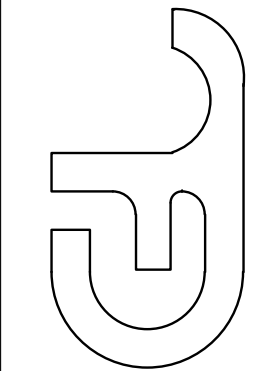
**Wall Mount Controller**  
No Scale



- 1) 8 - 12 hours before installation, water all plants while still in containers sufficiently to thoroughly wet root balls.
- 2) Dig the plant hole at least 3 times the dia. and 2 times the depth of the plant container.
- 3) Replace this mixture in bottom half of hole and walk on it. The level of it should be such that when the plant is installed and settled it will be slightly above grade of existing soil. Fill hole with water.
- 4) Remove rootball carefully from container by taping out, not pulling out by the stem. Scarify rootball walls in 3 vertical cuts and bottom to 1/2" deep, or by cutting roots of 1/2" or larger with shears. Do not pull roots apart.
- 5) Install fertilizer packets under rootball of plant. Set rootball on prepared surface and fill hole to 1/2 the depth, tamping soil around rootball. Fill hole with water.
- 6) Fill the remainder of the hole with backfill and pack it but do not tamp rootball.
- 7) Make the water basin.
- 8) Water shrub thoroughly within 1 hour of planting by filling the basin and allowing the water to percolate in, doing this 3 times or more until root ball and backfill is wet.
- 9) Install mulch.

**Shrub Planting**  
No Scale

#2176  
 GREGORY LEWIS LANDSCAPE ARCHITECT  
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 736 Park Way  
 lewislandscape@sbcglobal.net



**New Residence**  
 166 Lyell St., Los Altos, CA

LANDSCAPE DETAILS

Date: 7/2/21  
 Scale: As Noted  
 Drawn: Greg  
 Job Sheet:

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

## GENERAL CONDITIONS – SOIL PREPARATION, PLANTING, AND IRRIGATION

### 1.1 QUALITY ASSURANCE:

- A. Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this section.
- B. It is the Contractor's responsibility to verify all information contained in the plans and specifications and to notify the Architect of any discrepancy prior to ordering products or commencing with the work.
- C. Check and verify dimensions, reporting any variations to the Architect before proceeding with the work.

### 1.2 CONTRACTOR COORDINATION

- A. It is the responsibility of the Landscape Contractor to familiarize himself with all grade differences, location of walls, retaining walls, etc., and to coordinate work with the General Contractor.

### 1.3 DIMENSIONS AND SCALE

- A. Dimensions are to take precedence over scale at all times. Large scale details are to take precedence over those at small scale. Dimensions shown on plans shall be adhered to insofar as it is possible, and no deviation from such dimensions shall be made except with the consent of the Architect. The Contractor shall verify all dimensions at the site and shall be solely responsible for same or deviations from same.

### 1.4 LAWS AND REGULATIONS

- A. The Contractor shall conform to and abide by all city, county, state and federal building, labor and sanitary laws, ordinances, rules, and regulations.

### 1.5 LICENSES AND PERMITS

- A. The Contractor shall give all notices and procure and pay for all permits and licenses that may be required to complete the work.

### 1.6 SUBMITTALS

- A. At the request of the owner or the Landscape Architect, submit manufacturer's and/or supplier's specifications and other data needed to prove compliance with the specified requirements including certificates stating quantity, type, composition, weight, and origin of all amendments, chemicals, import soil, planter mix, plants, and irrigation equipment used on the site.

### 1.7 PRODUCT SUBSTITUTIONS

- A. Any product substitutions shall be requested in writing. The Landscape Architect must approve or refuse any substitutions in writing. Lack of written approval will mean the substitution is not approved. Any difference in cost to the Contractor of a less expensive substitution shall be credited to the Owner's

### 1.8 ERRORS AND OMISSIONS

- A. The Contractor shall not take advantage of any unintentional error or omission in the drawings or specifications. He will be expected to furnish all necessary materials and labor that are necessary to make a complete job to the true intent and meaning of these specifications. Should there be discrepancies in the drawings or specifications, the contractor shall immediately call the attention of the Architect to same and shall receive the complete instructions in writing.

### 1.9 INSPECTIONS/REVIEWS DEFINITION

- A. Inspection or observation as used in these specifications means visual observation of materials, equipment, or construction work on an intermittent basis to determine that the work is in substantial conformance with the contract documents and the design intent. Such inspection or observation does not constitute acceptance of the work nor shall it be construed to relieve the contractor in any way from his responsibility for the means and methods of construction or for safety on the construction site. Inspection or observation will be done by the Landscape Architect only if requested by the owner in writing. This service will require a written contract for additional fees.

## LANDSCAPE IRRIGATION

### PART 1 – GENERAL

#### 1.1 WORK INCLUDED

- A. The work includes but is not necessarily limited to the furnishing of all materials, equipments, and labor required to install a complete irrigation system.

- 1.2 GUARANTEE. The entire sprinkler system shall be guaranteed by the Contractor in writing to be free from defects in material and workmanship for a period of one year from acceptance of the work. The guarantee shall include repair of any trench settlement occurring within the guarantee period, including related damage to paving, landscaping, or improvements of any kind.

#### 1.3 REVIEWS

- A. Request the following reviews prior to progressing with the work: (1) Layout of system (2) Depth of lines prior to backfilling (3) Coverage adjustment of all heads, valve boxes and operation of system.

#### 1.4 WATER PRESSURE

- A. Verify the existence of the minimum acceptable volume of water at the minimum acceptable dynamic pressure as per plan at the point of connection at the earliest opportunity, reporting insufficient volume and/or pressure to the Landscape Architect. Contractor is responsible for cost of installation of pressure regulator if pressure exceeds 80 psi.

#### 1.5 UTILITIES

- A. Verify the location of all existing utilities and services in the line of work before excavating. Take all precautionary measures necessary to avoid damaging

#### 1.6 ELECTRICAL CONNECTION

- A. Verify existence of 110 Volt 20 Amp. circuit for irrigation controller (by others) at location noted on plan for installation of controller.

## PART 2 – PRODUCTS

### 2.1 PIPE

- A. Plastic pipe is to be polyvinyl chloride, marked 1120–1220, and bearing the seal of the National Sanitation Foundation. Use Schedule 40 polyvinyl chloride, type I-II fittings bearing the seal of the National Sanitation Foundation, and complying with ASTM D2466 for pressure line and also for any water lines under asphalt paving. Use Sch 40 PVC for lateral lines in planting areas unless stronger pipe is specified in the irrigation legend. For joining, use a solvent complying with ASTM D2466 and recommended by the manufacturer of the approved pipe. Pipe is to be continuously and permanently marked with the manufacturer's name, pipe size, schedule number, type of material, and code number.
- B. Galvanized steel pipe is to comply with ASTM A120 or ASTM A53, galvanized, Schedule 40, threaded, coupled, and hot-dip galvanized. Use 150 lb. rated galvanized malleable iron, banded pattern fittings. Wrap all galvanized pipe below grade with 2" wide, 10 mil. plastic wrapping tape (#50 Scotch wrap or equal).
- C. Drip tubing is to be as noted on plans. Use compression fittings.

### 2.2 CONTROL WIRE

- A. Use type UF direct burial wire minimum size #14, copper, U.L. approved for irrigation control use for runs of 1000 feet or less. For longer runs consult with Landscape Architect. Use 3M DBY Direct Bury Wire Splice Kits or dry splice type wire connectors at splices. No underground splices will be allowed without a splice box.

### 2.3 OTHER MATERIALS

- A. Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect.

## PART 3 – EXECUTION

### 3.1 SURFACE CONDITIONS

- A. Examine the areas and conditions under which the work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

### 3.2 EXCAVATION

- A. Trenches may be excavated either by hand or machine, but shall not be wider than is necessary to lay the pipes. Care should be taken to avoid damage to existing water lines, utility lines, and roots of plants to be saved.
- B. Minimum depth of cover for buried pipelines shall be: 1. Eighteen (18) inches for mainline pressure piping. 2. Eighteen (18) inches for 24 volt wiring from controllers to remote control valves. 3. Twelve (12) inches for lateral distribution lines. 4. Twenty-four (24) inches, minimum cover, with 6" sand bedding and 6" sand cover for any pipe or wire sleeve under A.C. paving.
- C. Under existing paving, piping may be installed by jacking, boring, or hydraulic driving except that no hydraulic driving will be permitted under asphalt concrete pavement (most pipes and sleeves under A.C. paving are to be installed prior to installation of the paving). Where cutting or breaking of existing pavement is necessary, secure permission from the Architect before cutting or breaking the pavement, and then make necessary repairs and replacements to the approval of the Architect and at no additional cost to the Owner.

### 3.3 INSTALLATION OF PIPE

- A. Handling and assembly of pipe, fittings, and accessories shall be by skilled tradesmen using methods and tools approved by the manufacturers of the pipe and equipment and exercising care to prevent damage to the materials or equipment.
- B. Metal pipe threads shall be sound, clean cut, and cored to full inside diameter. Threaded joints shall be made up with the best quality pure joint compound carefully and smoothly placed on the male threads only throughout the system.
- C. On plastic threaded connections use the sealer recommended by the manufacturer of the plastic valve or fitting. Do not use paste sealer products on plastic valves. Tighten plastic threaded connections with light wrench pressure only.
- D. Connections and controls shall be functionally as shown on the drawings, but physically shall be the most direct and convenient method while imposing the least hydraulic friction. Install lines in planting areas whenever possible.
- E. Thread mole PVC connections into metal female connections rather than the opposite.
- F. Interior of pipe fittings, and accessories shall be kept clean at all times, and all openings in piping runs shall be closed at the end of each day's work or otherwise as necessary to prevent the entry of foreign materials. Bending of galvanized steel pipe will not be permitted. Install plastic pipe with the markings turned up to be seen from above until the pipe is buried. "Snake" the pipe in the trenches so that there will be a small amount of excess length in the line to compensate for contraction and expansion of the pipe.
- G. Place backfill in 6" layers such that there will be no settling. The top 6" of soil is to be the top soil and soil amendment mixture. All backfill shall be free of rock and debris. Test pipe for leaks prior to backfilling joints. Obtain approval of the owner's representative before backfilling joints.

### 3.4 INSTALLATION OF EQUIPMENT

- A. Flush lines clean prior to installation of valves, sprinkler heads, or hose bibs. Install valves, sprinkler heads, controllers, backflow preventors, hose bibs, and other equipment as per the Irrigation Plan and details.

### 3.5 ELECTRICAL WORK

- A. The line voltage work shall consist of connecting the controller to the nearest available 115 volt supply. The line voltage connection shall be in conduit, in accordance with local electrical code. Controllers mounted inside buildings can be plugged into outlets. The low voltage work shall include all necessary wiring from the controller to the automatic sprinkler valves, installed in accordance with the manufacturer's recommendations. A loop of extra wire, a minimum of eighteen (18) inches long shall be provided at each automatic valve. Appropriate expansion loops shall be provided throughout the system to assure that no wiring will be under stress.
- B. All splices and connections on the 24 volt system shall be made using 3M DBY Direct Bury Splice Kits, Rain Bird Pentite connector, or equal.
- C. Wiring, wherever possible, shall be placed in the same trench with, and alongside of, the irrigation main water line. Tape and bundle wire every ten feet. All wiring placed under paving shall be put in adequately sized Sch 40 PVC pipe sleeves prior to paving operations.
- D. Wire for 24 volt control lines shall be size #14 UF direct burial irrigation wire. Unless noted differently on the plan, common grounds shall be white, size #14 UF direct burial wire. For wire runs over 1000 feet consult with Landscape Architect for wire size. Under no circumstances, on multiple controller installations, will a single common ground, shared by each controller, be permitted. Each controller shall have its own separate common ground wire.

### 3.6 TESTING

- A. All testing shall be done in the presence of the Owner's Representative. Center-load all pipelines with clean soil approximately every four feet to resist hydraulic pressures, but leave fittings exposed for inspection. Piping under paving shall be tested before paving is in place. Install a 0 to 160 P.S.I. gauge on lines to be tested. All valves shown on Plans shall be in place and shall be in the closed position. Mains shall be tested at 100 P.S.I., and laterals at 65 P.S.I. If available static water pressure is under 100 P.S.I., provide suitable pump for tests. Fill pipelines slowly to avoid pipe damage, and bleed all air from lines as they are being filled. After closing valve at water source, mains shall hold 100 P.S.I. gauge pressure for two hours with no leaks. Laterals are expected to have minor seepage at multiple swing joint assemblies. Major leaks are not acceptable. Laterals shall be tested for one hour at 65 P.S.I. solely to reveal any piping or assembly flaws. The laterals are not expected to hold gauge pressure. For testing laterals, cap risers or turn adjusting screws on nozzles to the "off" position, as appropriate. Repair any flaws discovered in mains or laterals, then retest in same fashion as outlined in presence of the Landscape Architect until all lines have been approved. Provide required testing equipment and personnel.

### 3.7 SYSTEM ADJUSTMENT

- A. The entire sprinkler system shall be properly adjusted before final acceptance. Adjustments shall include but not necessarily be limited to: (1) Adjustment of arc and distance control devices on sprinklers, including changing nozzle sizes if necessary to assure proper coverage of planted areas. (2) Relocation or addition of sprinkler heads if necessary to properly cover planted areas, without causing excessive water to be thrown onto building, walks, paving, etc. (3) Throttling of automatic valves as necessary to operate sprinklers at manufacturer's recommended pressure. (4) Adjustment and testing of all automatic control devices to assure their proper function, both automatically and manually. (5) Installation of pop-up heads anywhere there is a chance of pedestrians or vehicles hitting heads even if pop-ups are not shown on the plan. (6) Installation of check valves to keep sprinkler head drainage from eroding landscape areas, wasting water, or creating soggy spots in the landscaping.

### 3.8 AS-BUILT DRAWINGS AND INSTRUCTION

- A. Regularly update a print of the system noting any changes which are made by dimensioning features below grade from surface features with at least two dimensions. Prior to final approval, give the Owner 2 copies of clean blueprints marked to show changes during construction. The most important features to mark on the plan are valves, pressure lines, wires, and hose bibs.
- B. After the system has been completed, inspected, and approved, instruct the Owner's maintenance personnel in the operation and maintenance of the system. Give the Owner completed warranty cards for the irrigation equipment and keys to controllers and hose bibs.

## SOIL PREPARATION AND PLANTING

### PART 1 – GENERAL

#### 1.1 DESCRIPTION

- A. The work includes, but is not necessarily limited to, the furnishing of all materials, equipment, and labor required to do the installation and complete placement of topsoil, fine grading, soil conditioning, and planting.

#### 1.2 QUALITY ASSURANCE

- A. Plant Identification and Quality
  - 1. Plants are to be true to name, with one of each bundle or lot tagged with the name of the plants in accordance with standards of practice of the American Association of Nurserymen. In all cases, botanical names take precedence over common names.
  - 2. Plants shall be vigorous, of normal growth habit, free of diseases, insects, eggs, larvae, excessive abrasions, sun scalds, or other objectionable disfigurements, and shall conform to the standards as outlined by the California Association of Nurserymen. Tree trunks shall be sturdy and well "hardened off". All plants shall have normal well developed branch system, and vigorous, fibrous root systems which are not root bound. Ground cover plants (rooted cuttings) shall have well developed root systems and be kept moist prior to and during installation. Plants shall be nursery grown and of size indicated on Drawings. All plants not conforming to those requirements will be considered defective, removed from the site and replaced with acceptable new plants at the Contractor's expense.
  - 3. Sod shall have a well developed root system. Yellowing, brown, diseased, dried, or pest infested sod shall be rejected. Sod is to be cleanly mowed within 72 hours of delivery to the site. Sod is to be delivered to the site within 24 hours after being harvested and installed immediately after being delivered. Sod shall not be stored on the site overnight. Any sod delivered to the site that cannot be installed the same day shall be removed and not used on the site.
  - 4. Ground cover is to have well developed roots and foliage. It is to be grown in and delivered to the site in flats.

#### 1.3 SUBMITTALS

- A. Provide the results of lab tests done on representative samples of existing soils and imported soils to be used for the top 12" or more of landscape area. Tests are to be done by a reputable soils lab (i.e., Perry Lab, Watsonville or Santa Clara Soil and Plant Lab). Samples to be tested are to be collected by lab personnel. Soil samples are to be tested for:
  1. Particle size distribution (clay, silt, sand)
  2. Agricultural suitability including any excess problems; i.e., salinity (calcium, magnesium), boron, sodium, pH level.
  3. Fertility – amounts of available nitrogen, potassium, phosphorous, iron, magnesium, copper, zinc, and boron.
  4. Chemicals and/or poisons that would hinder plant growth. The owner is to decide if tests for poisons will be done since there is a small chance that any exist and the cost of testing for them is expensive and difficult.

- An interpretation of the test results and their affect on plant performance done by the lab staff or an approved horticultural consultant should be included in the report. The Owner is responsible for the cost of initial testing and for any additional chemicals and amendments that are required that are not already included in the Specifications or Drawings. Soils tests must be done as soon as possible and prior to ordering or installing soil amendments or plant materials. Plant selections and soil amendment specifications are subject to change depending on the results of the soil tests.
- 5. If bidding is done prior to soil fertility tests, bid 6 cu. yds. of nitrated RWD sawdust and 16 lbs. of 12–12–12 fertilizer per 1000 sq.ft. tilled or dug into the top 6" to 8" of soil in all planting areas for bidding purposes only. Revise bid when results of soil fertility tests are obtained.

### 1.4 GUARANTEE

- A. Trees shall be guaranteed 1 year – all other plant material 120 days following final acceptance. Any plant material needing replacement because of weakness or probability of dying will be replaced with material of similar type and size to that of the surrounding area. The replacement plants will have the same guarantee as the original plants or trees, starting the day of their replacement. The Contractor is not responsible for losses due to vandalism if he has taken reasonable measures for protection of the plants.

### 1.5 PRODUCT HANDLING

- A. Protect plants before and during installation, maintaining them in a healthy condition. Application(s) of anti-desiccant may be required to minimize damage. The Contractor is responsible for vandalism, theft, or damage to plant material until commencement of the maintenance period.

### 1.6 REVIEWS

- A. Request the following reviews by the Owner's Representative at least three (3) days in advance (in writing): (1) Rough grading (of landscape area) (2) Soil test (3) Verification of incorporation depths (4) Finish grade (5) Plant material quality approval (6) Plant material layout (7) Plant pit sizes (prior to planting plants) (8) Preliminary inspection (9) Final inspection (5 day advance notice required)

## PART 2 – PRODUCTS

### 2.1 TOPSOIL

- A. Native topsoil or import landscape soil

### 2.2 NATIVE TOPSOIL

- A. Native soil on site without admixture of subsoil, free from rocks over two cubic inches, debris, and other deleterious material. Native topsoil is to be stripped, stockpiled, and reinstalled.

### 2.3 IMPORT LANDSCAPE SOIL

- A. Import landscape soil must be tested and meet the following specification:

1. TEXTURE:  
Sandy loam to loam
2. GRADING:  
SEIVE SIZE PERCENT PASSING SIEVE  
25.4 mm (1") 95 – 100  
9.51 mm (3/8") 85 – 100  
53 Micron (270 mesh) 10 – 30
3. CHEMISTRY – SUITABILITY CONSIDERATIONS:  
a. Salinity: Saturation Extract Conductivity (E<sub>ce</sub> x 103 @ 25 degree C.) Less than 4.0  
b. Sodium: Sodium Adsorption Ratio (SAR) Less than 9.0  
c. Boron: Saturation Extract Concentration Less than 1.0 PPM  
d. Reaction: pH of Saturated Paste: 5.5 – 7.5  
e. Lime: less than 3% by weight

### 4. PESTS:

- a. The population of any single species of plant pathogenic nematode: fewer than 500 per pint of soil.
5. ORGANIC MATTER  
a. Soil is to have 5% to 10% organic matter at below 18 inches in depth. Soil is to have less than 30% organic matter at 0 to 18 inches in depth. Organic matter to be less than 1" dia. Do not use mushroom compost. No noxious weeds are allowed.
6. FERTILITY CONSIDERATIONS:  
a. Soil is to contain sufficient quantities of available nitrogen, phosphorous, potassium, calcium, and magnesium to support normal plant growth. In the event of nutrient inadequacies, provisions shall be made to add required materials to overcome inadequacies prior to planting.
7. COMPACTION  
a. Compact the soil enough so it doesn't settle more when walked on and not significantly over time where the flow of drainage will be affected or soil needs to be added. Don't over compact or work soil when it has too much moisture. Dig bottom layer of import soil into existing soil. Compact in 6 inch lifts.

### 2.4 ORGANIC SOIL AMENDMENT

- A. Redwood sawdust, 0–1/4" in diameter, that is nitrogen stabilized by the supplier, and contains a wetting agent. Also see note on planting plan

### 2.5 ORGANIC MULCH

- A. See Planting Plan

### 2.6 PLANTER SOIL MIX

- A. See Planting Plan and Details.

### 2.7 BACKFILL FOR PLANT PITS

- A. For native soils with 50% or more clay content – 75% topsoil and 25% organic amendment thoroughly mixed and incorporated together with no topsoil clods larger than 1/2" diameter. In heavy clay soils or other soils with large clods this will require mixing the backfill in a stockpile at the site or at the supplier. For soils with less clay content amend only the top 8" of the plant pit backfill as per the soils lab recommendations.

### 2.8 FERTILIZER

- A. Fertilizer needs and amounts will be based on the results of the soil test
- B. Sod lawn areas (there is no lawn on the plan)

### 2.9 PLANT MATERIAL SUBSTITUTES

- A. Substitutes will not be permitted except when proof is submitted that plants specified are not available and then only upon approval of the Landscape Architect and Owner.

### 2.10 OTHER MATERIALS

- A. Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Landscape Architect.

## PART 3 – EXECUTION

### 3.1 SURFACE CONDITIONS

- A. Examine the areas and conditions under which the work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.
- B. Weed and Debris Removal – All ground areas to be planted shall be cleaned of all weeds and debris prior to any soil preparation or grading work. Weeds and debris shall be disposed of off the site.

- C. Contaminated Soil – Do not perform any soil preparation work in areas where soil is contaminated with cement, plaster, paint or other construction debris. Bring such areas to the attention of the Owner's Representative and do not proceed until the contaminated soil is removed and replaced.
- D. Moisture Content – Soil shall not be worked when moisture content is so great that excessive compaction will occur, nor when it is so dry that dust will form in the air or that clods will not break readily. Water shall be applied, if necessary, to bring soil to an optimum moisture content for tilling and planting.

### 3.2 ROUGH GRADING AND TOPSOIL PLACEMENT

- A. Request a review by the Owner's Representative to verify specified limits and grades of work completed to date before starting soil preparation work. Place topsoil as required to obtain an 12" minimum depth of topsoil or as noted otherwise on the Plans. (Topsoil may already exist in the planting areas). Integrate topsoil layer into subsoil or existing compacted topsoil layer by ripping. Complete rough grading as necessary to round top and toe of all slopes, providing naturalized contouring to integrate newly graded area with the existing topography. Verify that rough grading is completed in accordance with civil engineering drawings and/or any landscape grading drawings. Break through any compacted layers of subgrade material (sometimes left from building or paving pad compaction) that will not allow water in planting areas to percolate through, causing a boggy, over saturated soil condition. You may have to use a backhoe or ratchammers to break up and turn soil to a minimum depth of 12". If proposed planters are in areas of existing paving or basecoat, remove at least 12" of material and bring in top soil up to grade required by grading plan. Rough grading in planting areas is to be such that when amendment is incorporated and the mulch is installed, the grade will be + 1" to finish grade.
- B. Soil Preparation: (1) Distribute soil (organic) amendment and fertilizer in the amounts recommended by the soils lab over all planting areas unless noted otherwise on the Plans. (2) Rip and/or till the amendment and fertilizer into the top 6" to 8" of soil until they are thoroughly mixed in. Hand work areas inaccessible to mechanical equipment. (3) Moisture to uniform depth for settlement and regrade to establish elevations and slopes indicated on Drawings.

### 3.3 FINISH GRADING

- A. The Contractor shall make himself familiar with the site and grading plans and do finished grading in conformance with said Plans and as herein specified.
- B. Grades not otherwise indicated shall be uniform levels or slopes between points where elevations are given or between points established by walks, paving, curbs, or catch basins. Finish grades shall be smooth, even, and on a uniform plane with no abrupt changes of surface. Minor adjustments of finish grades shall be made at the direction of the Landscape Architect, if required.
- C. All grades shall provide for natural runoff of water without low spots or pockets. Flowline grades shall be accurately set and shall be not less than 2% gradient wherever possible. Grades shall slope away from building foundations unless otherwise noted on Plans. All finish grades (top of mulch) are 1" below finish grade of walks, pavements, curbs, and valve boxes unless otherwise noted.

### 3.5 MULCHING

- A. Recultivate soils compacted by planting or other operations and smooth the soil areas prior to applying mulch. Mulch all planting areas to a depth as noted on plans. This depth should be as per the plans even after being settled and stepped on 30 days after installation. Water lightly to settle mulch. Do not bury ground cover with mulch. Place and settle mulch in such a way that it does not get washed onto paving or block drain swales or inlets.

### 3.6 WEED CONTROL

- A. The Contractor is responsible for pre-emergent weed control. Follow the manufacturer's directions. The Contractor is responsible for the replacement of any plants (other than weeds) that are hurt or killed due to the misuse of weed control products or use of the wrong product. Clay soils can increase the affect of certain pre-emergents. Adjust the application rate accordingly. Some owners may prefer hand weeding to chemical weed control although it is usually more expensive.

### 3.7 MAINTENANCE

- A. Maintenance shall begin immediately after each plant is installed.
- B. Maintenance will include:
  1. Continuous operations of watering, weeding, cultivating, fertilizing, spraying, insect, pest, fungus, and rodent control, and any other operations to assure good normal growth.
  2. Fertilizing: In addition to fertilizing of trees, shrubs and ground covers, herein specified, furnish and apply any additional fertilizers necessary to maintain plantings in a healthy, green vigorous growing condition during the maintenance period.
  3. Weeding, Cultivating and Clean Up: Planting areas shall be kept neat and free from debris at all times and shall be cultivated and weeded at no more than 10-day intervals.
  4. Insect, Pest and Disease Control: Insects and diseases shall be controlled by the use of approved insecticides and fungicides. Moles, gophers, and other rodents shall be controlled by traps, approved pellets inserted by probe gun, or other approved means.
  5. Protection: Work under this Section shall include complete responsibility for maintaining adequate protection for all areas. Any damaged areas shall be repaired at no additional expense to the Owner.
  6. Replacements: Immediately replace any plant materials that die or are damaged. Replacements shall be made to the Specifications as required for original plantings.
  7. Hand Watering: Even when planting areas are watered with automatic irrigation, the soil surrounding the plant pits can be moist while the sawdust/sand root ball is dry. This can cause the plants to deteriorate or not grow (even during the winter). The plants will do best (especially during the hot season) if they are hand watered deeply until their roots grow out into the surrounding soil.

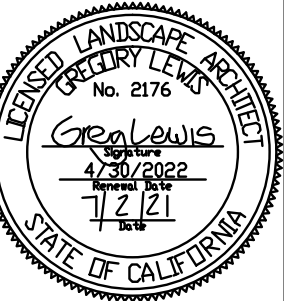
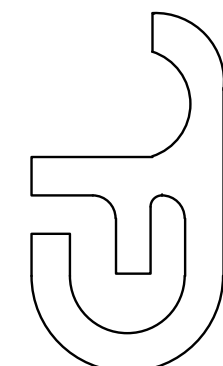
### 3.8 PRELIMINARY INSPECTION

- A. As soon as all the planting is installed, the Contractor will request the Owner's Representative (in writing) to make a preliminary inspection. The 30 calendar day maintenance period will start when the work is approved. Replacement and/or repairs may be required for approval. The Contractor is to notify the Owner and the Owner's Representative in writing when the 30 day maintenance period begins.

### 3.9 FINAL INSPECTION

- A. At least 5 days prior to the anticipated end of the maintenance period, the Contractor shall submit a written request for final inspection. The planting areas shall be weeded, neat and clean. The work shall be accepted by the Owner exclusive of the plant materials upon written approval of the work by the Owner's Representative.

#2176  
GREGORY LEWIS LANDSCAPE ARCHITECT  
736 Park Way Santa Cruz, CA 95065 (631) 359-0960  
lewlandscape@attglobal.net



**New Residence**  
166 Lyell St., Los Altos, CA

LANDSCAPE SPECIFICATIONS

Date 7/2/21

Scale As Noted

Drawn Greg

Job

Sheet</

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15

## Plant Legend

KEY QTY SIZE SPACING WUCOLS BOTANICAL NAME COMMON NAME  
GALLONS RATING High x Width

### TALL SHRUBS - SCREENING

LN 9 5 3' - 5' LOW Laurus nobilis 15 - 40'x15-30' Gracian Laurel  
growth rate 12" to 24" per year  
PE 4 15 5' - 8' MED Pittosporum eugenioides 5-40'x6-15'  
growth rate 24" per year

### GROUND COVERS

LB 19 1 3' - 5' LOW Lomandra Breeze  
DV 9 1 3' - 5' LOW Dietes irridioides Fortnight Lily  
NC 3 1 3' - 5' LOW Nandina Gulf Stream  
E 9 1 2' - 3' HIGH Equisetum hyemale Horsetail  
Install 18" deep root barrier around grouping of E plants or use small Agave,  
Douglas Iris, or row of basalt rock columns instead

Ask owners if they want to upsize some of 1 gal plants to 5 gal plants

Plant quantities are for planning purposes only. Contractor to do own plant count and install all plants on plan

## Planting Notes

1 LESS THAN 25% OF PLANTING AREA IS TURF (0% OF LANDSCAPE AREA IS TURF)

2 PLANTS WITH SIMILAR WATER NEEDS ARE GROUPED WITHIN HYDROZONES. EACH HYDROZONE SHALL BE CONTROLLED BY A SEPARATE GROUP OF VALVES

3 AT LEAST 4 CUBIC YARDS OF COMPOST (BFI SUPER HUMUS) AND 16 POUNDS OF 12-12-12 FERTILIZER PER 1000 SF OF PLANTING AREA SHALL BE THOROUGHLY TILLED INTO THE TOP 8 INCHES OF SOIL (EXCEPT UNDER CANOPY OF EXISTING TREES TO BE SAVED) OR FOLLOW THE AMENDMENT AND FERTILIZER RECOMMENDATIONS OF A SOIL FERTILITY TEST AND ANALYSIS FROM A SOIL LAB (HIGHLY RECOMMENDED)

4 INSTALL 3 INCH DEEP LAYER OF TOP DRESS MULCH ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN AREAS OF DIRECT SEEDING APPLICATION OR SOD LAWN. USE GRAVEL MULCH TO BE SELECTED BY OWNERS. PROVIDE SAMPLES AND PRICES PRIOR TO FINALIZING BID

5 GRADING SHALL BE DESIGNED TO MINIMIZE SOIL EROSION, RUN-OFF AND WATER WASTE ADDITIONAL NOTES

6 SEE SHEETS L5 AND L6 FOR PLANTING AND IRRIGATION DETAILS AND SPECIFICATIONS IN FINAL CONSTRUCTION DRAWING FOR BUILDING PERMIT

7 DON'T TRENCH TOO CLOSE TO STRUCTURES WITHOUT THE APPROVAL OF THE BUILDING ARCHITECT, CIVIL, OR STRUCTURAL ENGINEER

8 PRIOR TO ORDERING PLANTS OR SIGNING FINAL CONTRACT FOR WORK MAKE SURE YOU HAVE THE MOST CURRENT SET OF APPROVED PLANS AND MAKE SURE THERE ARE NO CHANGES TO THE PLANT CHOICES

9 ADJUST FINAL LOCATIONS OF PLANTS TO AVOID CONFLICTS WITH UTILITIES, LIGHTS, AND IRRIGATION COMPONENTS. SCREEN VALVES AND UTILITIES WITH PLANTS. DON'T PUT PLANTS TOO CLOSE TO PAVING OR BUILDINGS

10 GRADING AND DRAINAGE TO BE DONE ACCORDING TO THE APPROVED GRADING AND DRAINAGE PLANS DONE BY OTHERS

## Landscape Site Legend

1 Driveway - Concrete with score and expansion joints - color and finish to be determined by owner - possibly have 3.5 inch spaces filled with rounded mexican pebbles

2 Front walkways - Concrete - pattern and color to be determined later by owner - possibly to match driveway with 3.5 inch spaces filled with rounded mexican pebbles

3 Existing fence to remain - repair as required





4 6 foot tall x 3 foot wide gate and 6 foot tall fence







5 6 foot tall solid wood plus 1 foot of lattice fence

6 Side gravel area - 3.5" deep with high quality weed cloth and steel landscape edging - gravel to be selected by owner

7 Rear patio - Concrete or pavers - pattern and color to be determined by owner later

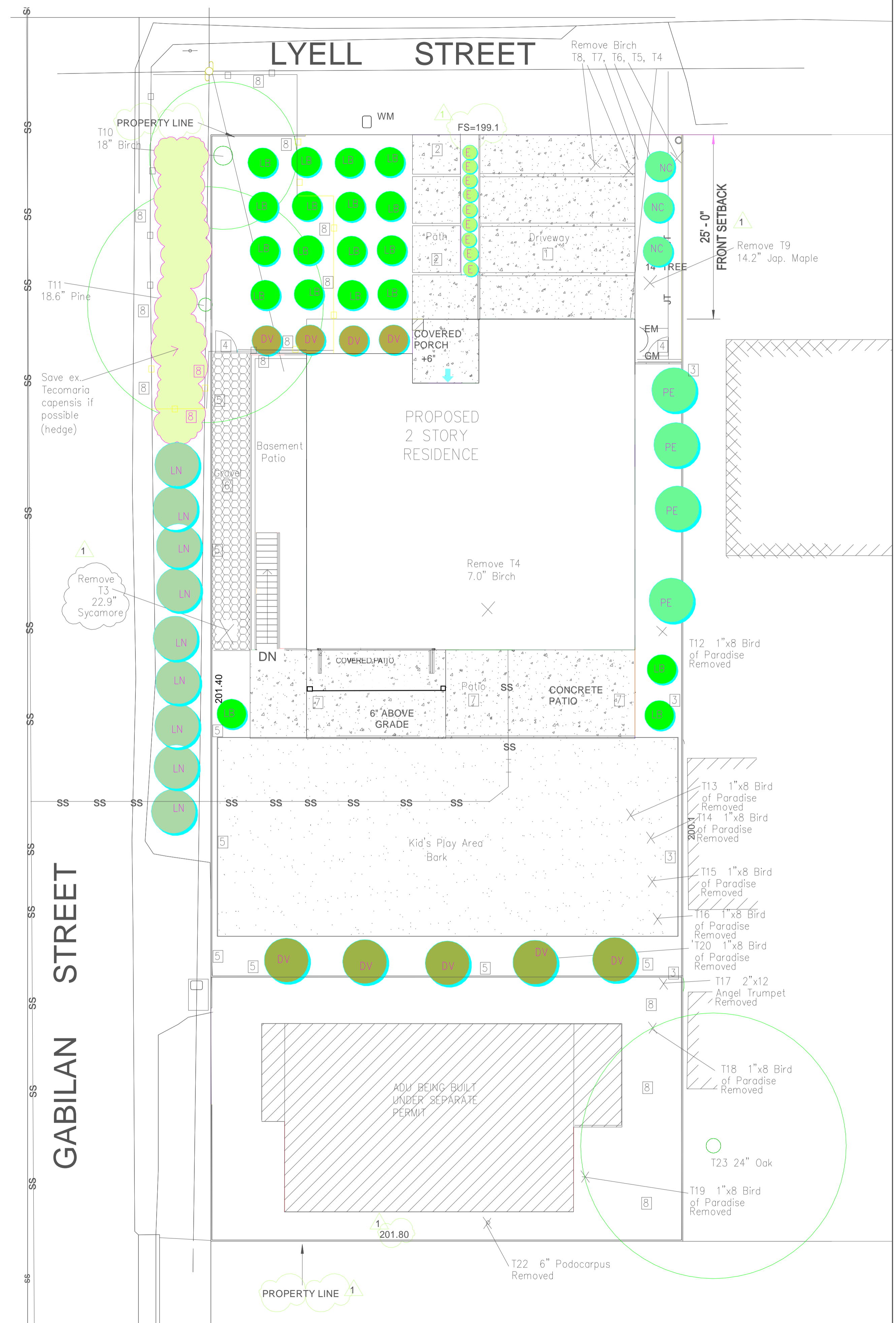
8 Tree protection fence up to within 3 feet of house to allow for construction. Any where under existing tree canopy that you can't put fence install 6 inch deep coarse bark covered with thick plywood or steel plates - see arborist report for tree protection measures

EXISTING TREE LEGEND				
KEY	COMMON NAME	ANTICIPATED HEIGHT AND SPREAD AT MATURITY	AVERAGE RATE OF GROWTH	IMAGE
T3	Sycamore	112' x 90'	24" Per Year	
T10	Pine	50-150'	24" Per Year	
T11	Betula	40 - 70' x 35 - 60'	36" Per Year	
T23	Oak	70' x 9'	12-16" Per Year	

PROPOSED PLANT LEGEND				
KEY	COMMON NAME	ANTICIPATED HEIGHT AND SPREAD AT MATURITY	AVERAGE RATE OF GROWTH	IMAGE
LN	Gracian Laurel	15 - 40' x 15 - 30'	12"-24" Per Year	
DV	Fortnight Lily	30" x 3' - 6"	24" Per Year	
PE	Lemonwood	15 - 40' x 6 - 15'	24" Per Year	
LB	Dwarf Mat Rush	2-3' x 2-4'	20" Per Year	
NC	Nandina	5- 7' x 3 - 5'	24" Per Year	
E	Rough Horsetail	2- 4' x 1 - 6'	100' within the Year	

Total Front Yard Setback Area  
64 x 25 = 1600  
50% of 1600 = 800  
Allowed non permeable

Non- permeable paving proposed  
Driveway = 25x21 = 525  
Entry walk = 176  
non permeable total = 701  
less than 800 allowed



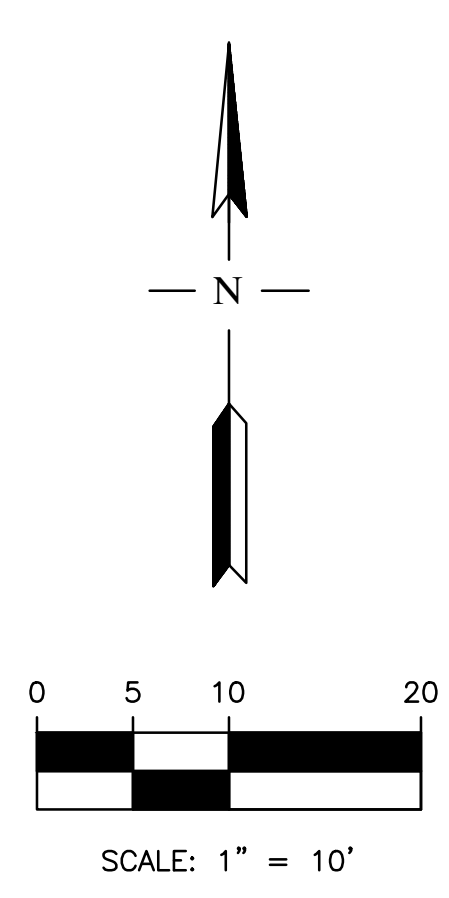
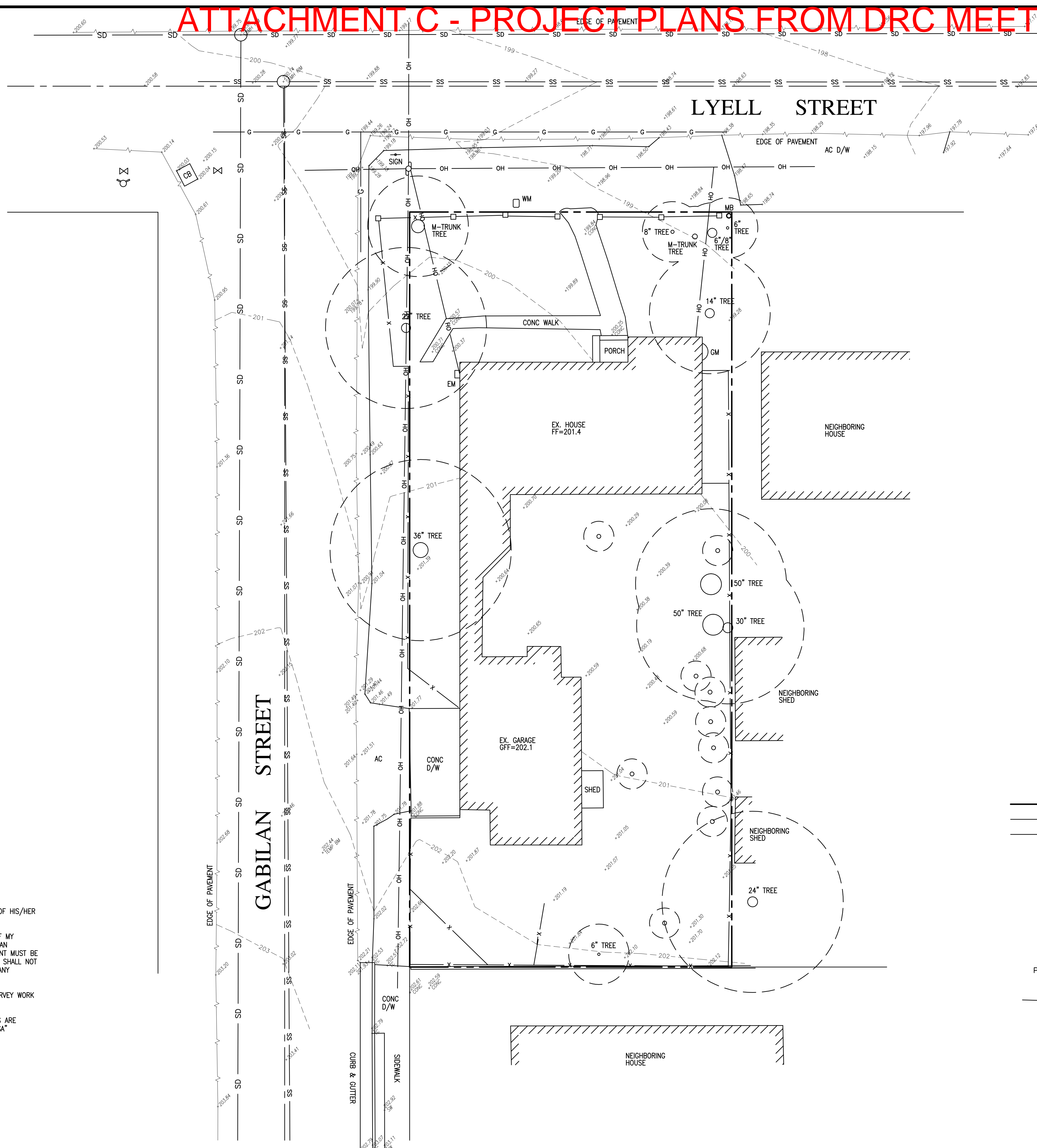
Revision

New Residence  
166 Lyell St., Los Altos, CA

1/8" = 1'-0"

COLORED LANDSCAPE SITE/PLANTING PLAN

Date 7/2/21  
Scale As Noted  
Drawn Greg  
Job  
Sheet LC1



**SITE BENCHMARK:**

SET NAIL  
ELEVATION= 202.44 NAVD 1988

**BASIS OF BEARINGS:**

THE BEARING EAST OF THE CENTERLINE OF LYELL STREET AS SHOWN ON MAP NO. 3 THE TOWN OF LOS ALTOS, FILED FOR RECORD IN BOOK M OF MAPS AT PAGE 1, SANTA CLARA COUNTY RECORDS.

**REFERENCES:**

R1 MAP NO. 3 THE TOWN OF LOS ALTOS (M MAPS 1)

**SITE DATA:**

166 LYELL STREET  
LOS ALTOS, CA  
APN: 170-37-006  
AREA= 9,600 S.F.±

**ABBREVIATION**

- AD AREA DRAIN
- A.E. ANCHOR EASEMENT
- AC ASPHALT CONCRETE
- BRI BRICK
- C/G CURB & GUTTER
- C CONCRETE
- DI DRAIN INLET
- FF FINISH FLOOR GRADE
- FL FLOWLINE
- GM GAS METER
- LG LIP OF GUTTER
- MB MAIL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.E. PUBLIC SERVICE EASEMENT
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER

**LEGEND**

- PROPERTY LINE
- - - CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- PG&E UTILITY BOX-TYPE AS NOTED
- WM/GM WATER/GAS METER
- ⊗ WV WATER VALVE
- ▣ CURB CATCH BASIN
- ⊕ FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- PP ○ OH POWER POLE W/ OVERHEAD WIRE
- ⬤ BENCHMARK
- 200 CONTOUR LINE
- ⊙ MON MONUMENT
- 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
- GUY WIRE

**NOTES:**

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
3. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
4. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
5. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).

NO.	REVISION	DATE

**RW ENGINEERING, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS

505 ALAMONT DRIVE  
MILPITAS, CA 95035  
(P) (408) 262-1889  
(FAX) (408) 824-5556  
rweengineering@gmail.com

**166 LYELL STREET  
LOS ALTOS, CA**

SANTA CLARA COUNTY  
APN: 170-37-006

**TOPOGRAPHIC MAP**

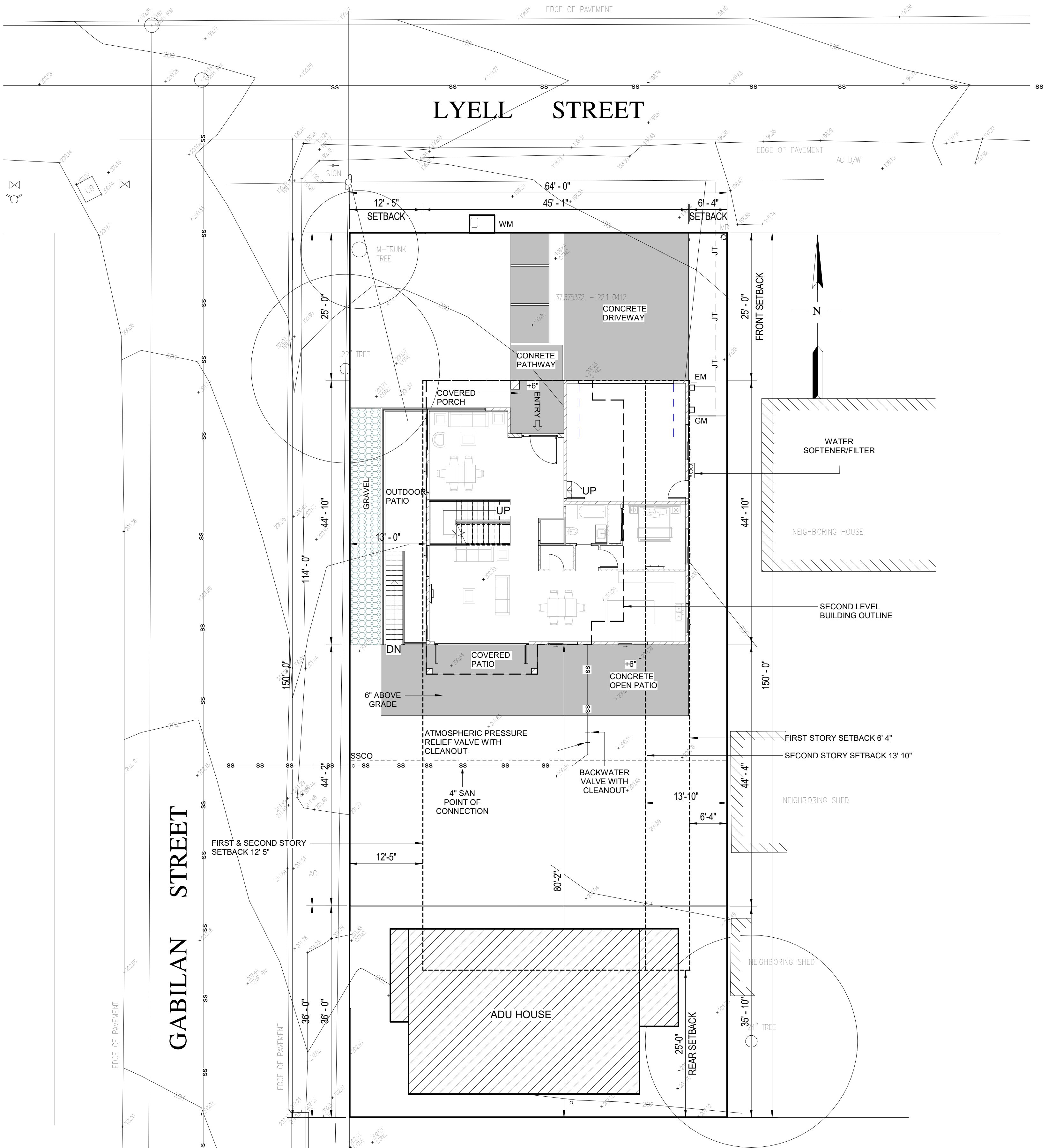
DATE: 4/27/20  
SCALE: AS NOTED  
DESIGNED BY: RW  
DRAWN BY: RW  
SHEET NO.

**SU-1**  
OF 1 SHEETS

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

**UTILITY LEGEND**

-JT- - JT- - -JT-	JOINT TRENCH
-SS- - SS- - -SS-	SANITARY SEWER LINE



① MAIN HOUSE UTILITY PLAN  
1" = 10'-0"

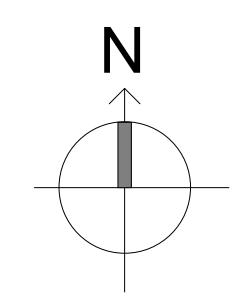
**NOTES:**

**REVISIONS :**

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

**NOTES:**

- ALL DIMENSIONS ARE IN FEET AND INCHES.
- DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
- ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/ WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS - UNLESS OTHERWISE MENTIONED.
- IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION.
- THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION.
- LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE THE SMALLER SCALE DRAWINGS AND DETAILS.
- THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE (FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.)



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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: U-1

UTILITY PLAN

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

PROJECT NO: -

SCALE: As indicated

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022  
CONTACT : 650-209-6500  
EMAIL : team@golivio.com



# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

NORTH SIDE ELEVATION



WEST SIDE ELEVATION



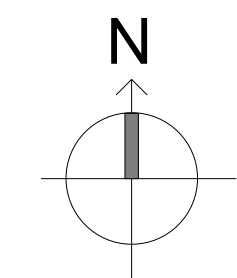
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES.
- DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: U-2

RENDERING IMAGES

DATE: 09-JULY-2021

DRAWN BY:

CHECKED BY: Checker

PROJECT NO: -

SCALE:

  
 ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022  
 CONTACT : 650-209-6500  
 EMAIL : team@golivio.com

# ATTACHMENT C - PROJECT PLANS FROM DRC MEETING OF 12/15/21

SOUTH SIDE ELEVATION



EAST SIDE ELEVATION



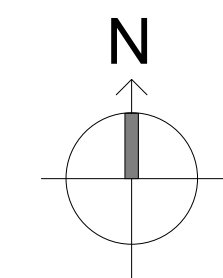
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES.
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: U-3

RENDERING IMAGES

DATE: 09-JULY-2021

DRAWN BY:

CHECKED BY: Checker

PROJECT NO: -

SCALE:

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022  
 CONTACT : 650-209-6500  
 EMAIL : team@golivio.com







## Tree status according to topographic map of 166 Lyell St.

Trees	Name	Status	Image
<p><b>TR12, TR1, TR2, TR13, TR14, TR15, TR16, TR17</b></p>	<p><b>Giant Bird Of Paradise, Incense Cedar, Incense Cedar, Giant Bird Of Paradise, Giant Bird Of Paradise, Giant Bird Of Paradise, Angels Trumpet</b></p>	<p><b>Removed (not present)</b></p>	
<p><b>TR20</b></p>	<p><b>Giant Bird Of Paradise</b></p>	<p><b>Removed (not present)</b></p>	
<p><b>TR23</b></p>	<p><b>Coast Live OAK</b></p>	<p><b>Protected</b></p>	
<p><b>TR17 &amp; TR18</b></p>	<p><b>Angels Trumpet &amp; Giant Bird Of Paradise</b></p>	<p><b>Removed (not present)</b></p>	

TR5	BIRCH	To be Removed	
TR4	BIRCH	To be Removed	
TR6 & TR7	BIRCH	To be Removed	
TR 8	BIRCH	To be Removed	

<p>TR9</p>	<p>Japanese Maple</p>	<p>To be Removed</p>	
<p>TR10</p>	<p>Birch</p>	<p>Protected</p>	
<p>TR11</p>	<p>Jeffrey Pine</p>	<p>Protected</p>	

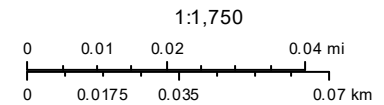
<p><b>TR3</b></p>	<p><b>Landon Plan</b></p>	<p><b>To be Removed</b></p>	
<p><b>TR4, TR5, TR6, TR7, TR8</b></p>	<p><b>Birch</b></p>	<p><b>To be Removed</b></p>	





# ATTACHMENT E

## Notification Map



Print Date: April 11, 2021



-  Schools
-  Park and Recreation Areas
-  City Limit
- Road Names
- Situs Label
-  TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.



1  
6  
6  
A

NOTICE OF DEVELOPMENT PROPOSAL  
DESIGN REVIEW FOR A NEW TWO-STORY HOUSE, 166 L'VELL STREET, SAN ANTONIO

PROJECT DESCRIPTION  
A NEW TWO-STORY HOUSE WITH A GARAGE

APPLICANT  
[Name]

PROPERTY OWNER  
[Name]

PROJECT PLANNER  
[Name]

PUBLIC HEARING NOTICE  
[Date and Time]