

PROJECT SUMMARY

PROJECT DESCRIPTION
 REMODEL AND ADD TO AN EXISTING TWO STORY RESIDENCE AT THE BACK. THE ADDITIONS AMOUNT IS 362 SF. THE 4 BR 4 BATH TWO STORY SINGLE FAMILY RESIDENCE WITH 2,835 LIVING S.F. ON A 9,729 S.F. LOT WITH EXISTING ATTACHED GARAGE OF 504 SF. TOTALING 3,339 S.F.

ADDRESS: 1051 VIA DEL POZO
 APN: 167-13-033
 ZONING: R-1-10
 FLOOD ZONE: X
 CONSTRUCTION TYPE: VB
 OCCUPANCY TYPE: R-3/U (SINGLE FAMILY RESIDENCE)
 FIRE SPRINKLERS: NO
 LOT SIZE: GROSS 10,409 +/- SF (NET LOT SIZE 9,729 SF)
 PARKING: 2 COVERED

ZONING COMPLIANCE			
	EXISTING	PROPOSED	REQUIRED
LOT COVERAGE	1,982 SF	2,424 SF	2,919 SF
	20.4%	24.9%	30%
FLOOR AREA	1,813 SF	2,075 SF	-
1 ST FLR	1,164 SF	1,264 SF	-
2 ND FLR	649 SF	811 SF	-
TOTAL	2,977 SF	3,339 SF	3,405 SF
	30.6%	34.3%	35%
SETBACK			
FRONT	25'-0"	25'-0"	25'
REAR	61'-8"	49'-5"	25'
RIGHT SIDE (1 ST /2 ND)	10'-5" / 17'-6"	10'-5" / 17'-6"	10'-0" / 17'-6"
LEFT SIDE (1 ST /2 ND)	10'-0" / 20'-0"	10'-0" / 20'-0"	10'-0" / 17'-6"
HEIGHT OF STRUCTURE	22'-6"	22'-6"	27'
SQUAREFOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	2,473 SF	362 SF	2,835 SF
NON-HABITABLE AREA	504 SF	0 SF	504 SF
LOT CALCULATIONS			
NET LOT AREA	9,729 SF		
FRONT YARD HARDSCAPE AREA	521 SF (25%)		
LANDSCAPE BREAKDOWN			
	TOTAL HARDSCAPE AREA: 5,620 SF		
	EXISTING SOFTSCAPE AREA: 4,109 SF		
	NEW SOFTSCAPE AREA: 0 SF		

VIA DEL POZO RESIDENCE ADDITION- ONE STORY SINGLE FAMILY RESIDENCE 1051 VIA DEL POZO, LOS ALTOS, CA



	SECTION	DIMENSIONS	AREA(SQ. FT.)
STRUCTURE TO REMAIN	D	23'3"x27'2"	632
	F	14'2"x17'8"	250
	I	8'7"x9'6"	82
	M	20'5"x24'8"	504
	Q	13'5"x18'9"	248
	R	12'8"x3'7"	45
	T	5'1"x6'7"	34
	U	11'10"x27'2"	321
	W	3'7"x5'10"	22
	X	14'0"x12'2"	171
	SUBTOTAL		2,309
ADDITION	B	20'2"x13'0"	262
	N	9'0"x5'6"	50
	O	9'0"x5'6"	50
	SUBTOTAL		362
CONVERTED SPACE	E	15'5"x12'0"	185
	G	7'8"x15'2"	116
	H	7'9"x5'8"	44
	P	31'0"x8'5"	261
	S	12'8"x3'0"	38
	V	3'7"x6'4"	24
	SUBTOTAL		668
TOTAL FLOOR AREA			3,339
	J	39'6"x3'10"	151
	K	1'6"x5'9"	9
	L	1'6"x5'9"	9
	A	16'6"x5'6"	91
	C	16'2"x5'6"	89
		TOTAL COVERAGE	

GENERAL REQUIREMENTS

- ALL WORK PERFORMED SHALL COMPLY WITH THESE GENERAL NOTES (UNLESS OTHERWISE NOTED ON PLANS)
- ON SITE VERIFICATIONS OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. GIVEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED MEASUREMENTS AND DETAILS OVER GENERAL DRAWINGS.
- FINAL GRADING SHALL NOT BE DONE UNTIL JOB IS NEARLY COMPLETE AND ALL DEBRIS HAS BEEN CLEARED FROM SITE. GRADE AND PAVE TO LEVEL SHOWN OR DERECTED AND PROVIDE UNIFORM DRAINAGE AWAY FROM THE STRUCTURE, 2% MINIMUM AWAY FROM FOUNDATION.
- PROJECT MUST MEET TITLE 24 REQUIREMENTS PER CALGREEN THIS SET HAS BEEN PRODUCED FOR THE PURPOSE OF DESIGN REVIEW APPROVAL. THESE DRAWINGS ARE NOT INTENDED TO BE ACCURATE "AS-BUILTS", NOR INCLUSIVE OF ALL DETAILS, DRAWINGS, MATERIAL SPECIFICATIONS, ETC. NEED TO ADDRESS ALL POSSIBLE CONSTRUCTION ISSUES. THE ARCHITECT HAS PREPARED THESE DOCUMENTS ONLY FOR THE IMPROVEMENTS AND CONSTRUCTION NOTED, INDICATED OR SHOWN AS "NEW" WORK AND ASSUMES NO RESPONSIBILITY FOR ALL OTHER CONSTRUCTION, MATERIALS OR EQUIPMENT NOTED, INDICATED OR SHOWN AS "EXISTING" OR AS PROVIDED "BY OTHERS"
- THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE, I.E., TITLE 24, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.
- REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS, WATER SUPPLY AND MAY INCLUDE SPECIFIC ADDITIONAL REQUIREMENTS AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSTRUED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK, THE OWNERS SHALL MAKE APPLICATION TO AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND FIRE DEPARTMENT STANDARD DETAIL AND SPECIFICATION SI-7.

APPLICABLE CODES

2019 CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 24, CALIFORNIA BUILDING STANDARDS COMMISSION (CBCS)

- PART 1 - CALIFORNIA ADMINISTRATIVE CODE
- PART 2 - VOLUME 1 OF 2 - CALIFORNIA BUILDING CODE - (CBC)
- PART 2 - VOLUME 2 OF 2 - CALIFORNIA BUILDING CODE - (CBC)
- PART 2.5 CALIFORNIA RESIDENTIAL CODE - (CRC)
- PART 3 - CALIFORNIA ELECTRICAL CODE - (CEC)
- PART 4 - CALIFORNIA MECHANICAL CODE - (CMC)
- PART 5 - CALIFORNIA PLUMBING CODE - (CPC)
- PART 6 - CALIFORNIA ENERGY CODE
- PART 7 - (NO LONGER PUBLISHED, REFER TO TITLE 8)
- PART 8 - CALIFORNIA HISTORICAL BUILDING CODE
- PART 9 - CALIFORNIA FIRE CODE (CFC)
- PART 10 - CALIFORNIA EXISTING BUILDING CODE
- PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
- PART 12 - CALIFORNIA REFERENCED STANDARDS CODE

ALONG WITH ANY OTHER LOCAL AND STATE LAWS AND REGULATIONS

DRAWING INDEX

- ARCHITECTURAL**
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 - A3.3 PERSPECTIVES
 - A4 BUILDING SECTIONS
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 - D2.2 DEMO/ EXISTING FIRST FLOOR PLAN
 - D3.1 EXISTING ELEVATIONS
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 - L1 LANDSCAPE PLAN

RECEIVED

Date: 12/14/2021

CITY OF LOS ALTOS PLANNING

- CIVIL**
- C.0 TOPOGRAPHIC SURVEY
 - C1 GRADING & DRAINAGE PLAN

PROJECT TEAM

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VIA DEL POZO RESIDENCE
 APN:167-13-033

JINGQIAN XU/
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REVISIONS
 1 REVISION 1 10/22/21

DESIGN REVIEW

JOB NO. _____
 DRAWN Author
 DATE 7/1/2021
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 FILENAME _____

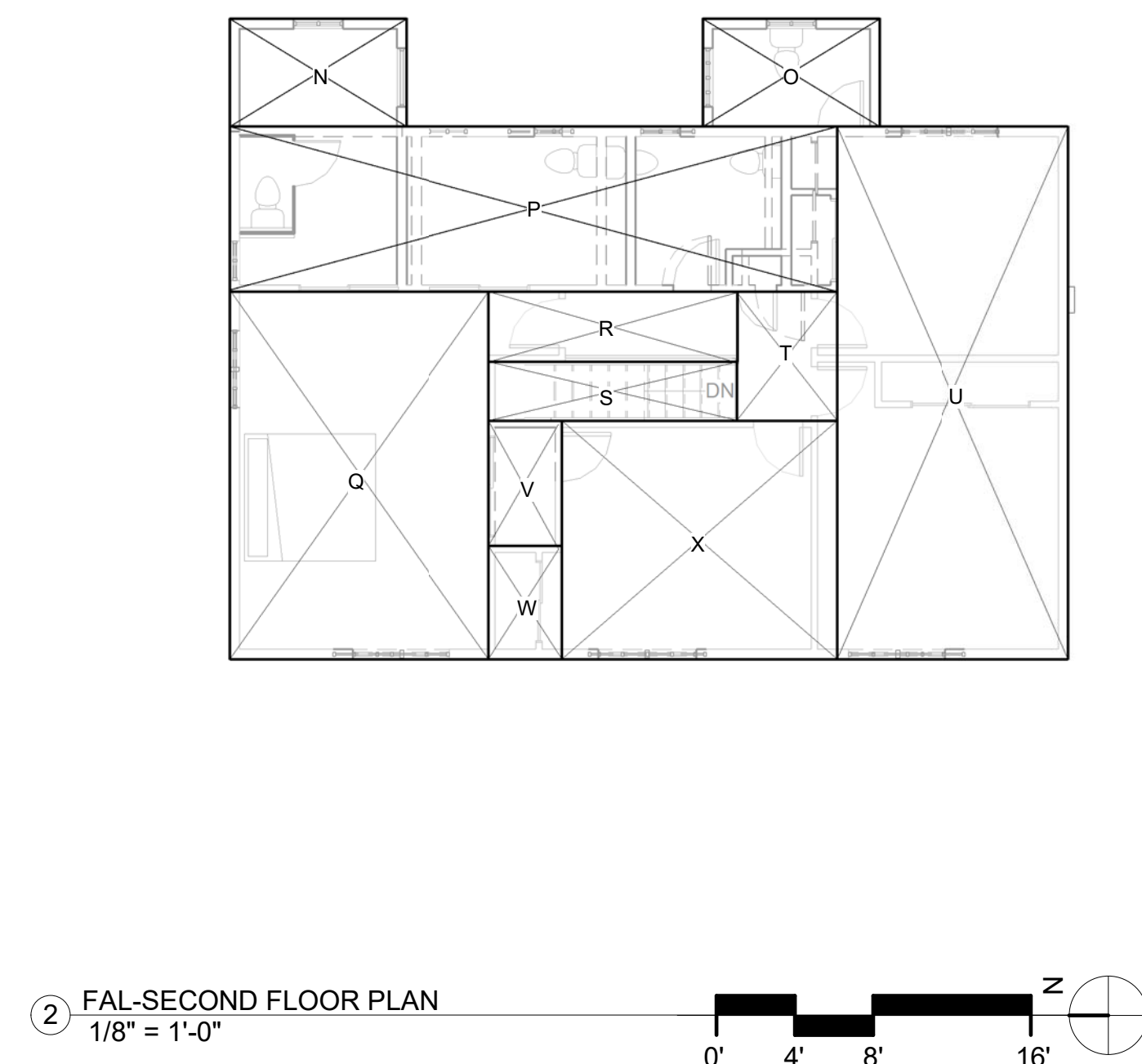
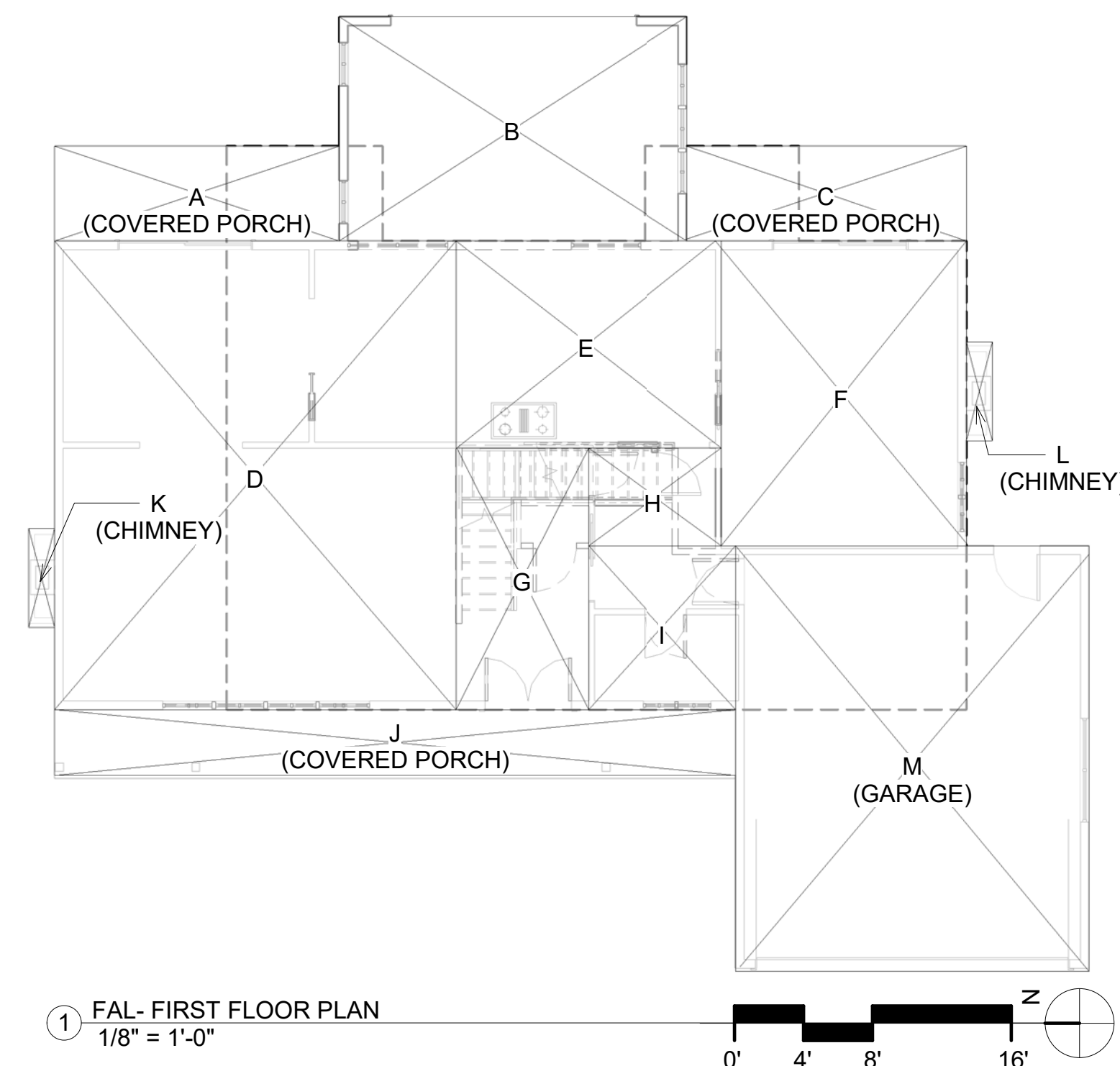
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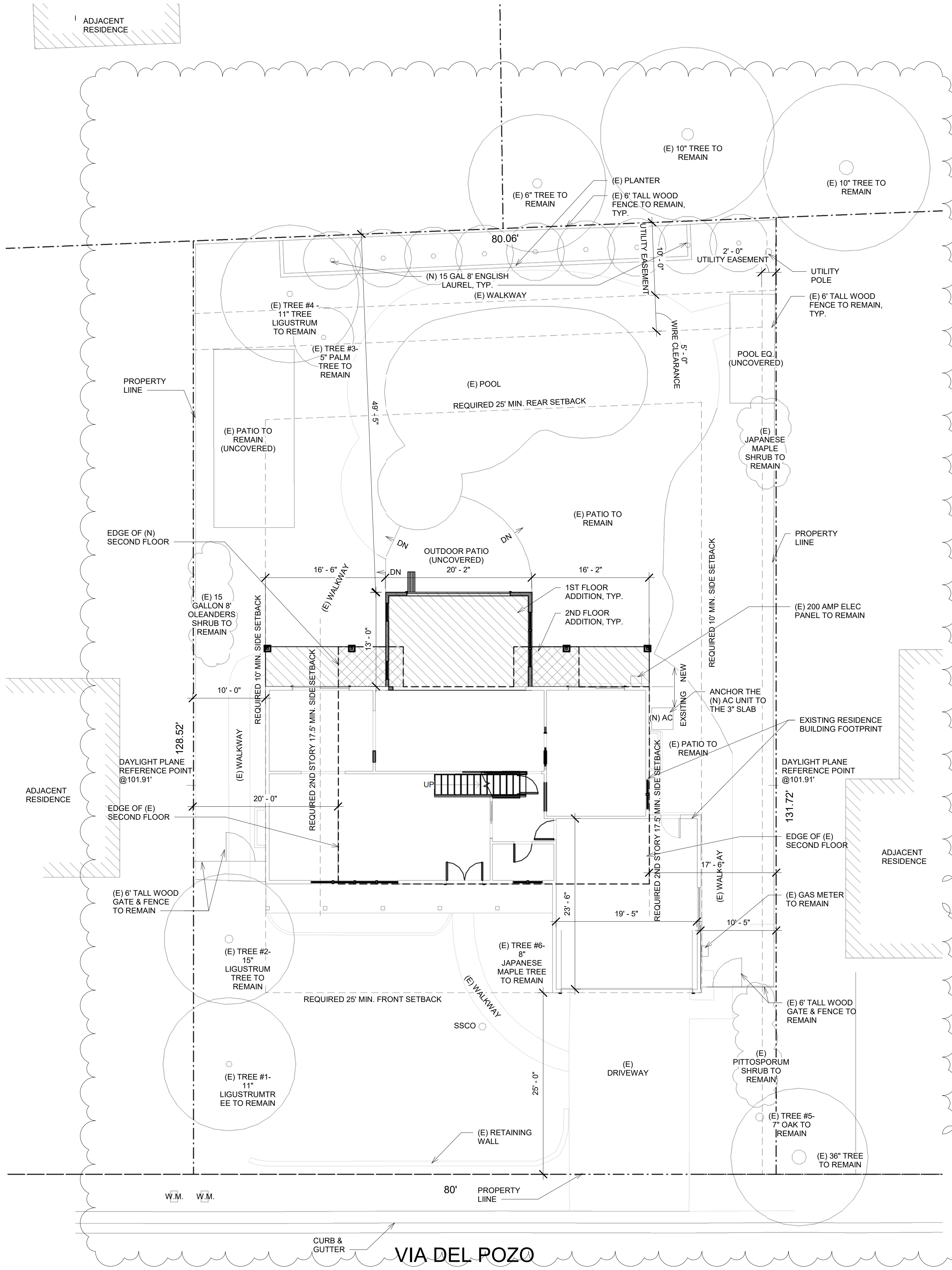
DEFERRED SUBMITTAL

CONTRACTOR SHALL PROVIDE AND SUBMIT ENGINEERING CALCULATIONS, SHOP DRAWINGS AND OTHER EXHIBITS AND PAY PLAN CHECK FEES REQUIRED FOR DEFERRED SUBMITTAL WORK AND TO OBTAIN PERMITS PRIOR TO COMMENCING INSTALLATION OF THE WORK ON SITE.

- 1. NOT USED

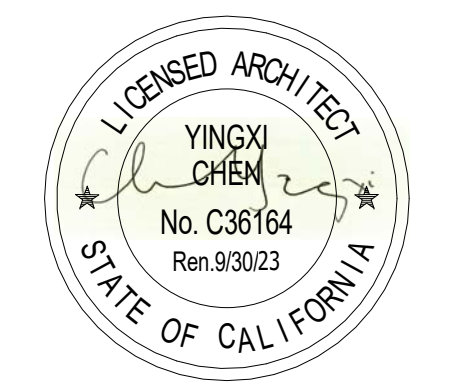


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 A1.1 PROPOSED SITE PLAN



GENERAL NOTES

- EXISTING ELEMENTS TO BE REMOVED OR MODIFIED SHOWN DASHED, TYPICAL.
- PRIOR TO DEMOLITION, WALK THROUGH WITH OWNER AND VERIFY ANY REMOVED PLUMBING, LIGHTING, FINISHES, WINDOWS, DOORS, ETC. TO BE SAVED FOR REUSE OR RELOCATION.
- VERIFY CITY REQ'D WASTE DIVERSION PROGRAMS FOR DEMOLITION & CONSTRUCTION DEBRIS PRIOR TO DEMOLITION.
- PROVIDE DUCT SCREENING AS NECESSARY TO PROTECT UNTOUCHED AREAS DURING CONSTRUCTION.
- SEAL OFF DUCT OPENINGS & VENTS PRIOR TO DEMOLITION & THROUGHOUT CONSTRUCTION TO PREVENT DUST INFILTRATION.
- PRIOR TO DEMOLITION, VERIFY COMPLIANCE WITH E.P.A. REQ'D PRACTICES & CERTIFICATION FOR LEAD CONTAMINATION. CONTRACTORS TO PROVIDE ALL WORK IN COMPLIANCE WITH REQUIRED LEAD-SAFE WORK PRACTICES, PROJECT DOCUMENTATION, AND PROFESSIONAL CERTIFICATIONS.
- THE ARCHITECT HAS NOT BEEN RETAINED TO SURVEY FOR OR OTHERWISE DISCOVER THE PRESENCE OF HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES. THE ARCHITECT IS NOT RESPONSIBLE FOR THE HANDLING, REMOVAL OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE. OWNER HEREBY WARRANTS THAT IF IT KNOWS OR HAS ANY REASON TO KNOW OR HAS ANY REASON TO ASSUME OR SUSPECT THAT HAZARDOUS MATERIALS EXIST AT THE PROJECT SITE, THAT IT WILL INFORM THE ARCHITECT AND THAT OWNER WILL CAUSE SUCH ITEMS TO BE REMOVED OR TREATED BY A PROFESSIONAL AND LICENSED ASBESTOS ABATEMENT CONTRACTOR IN A MANNER PRESCRIBED BY ALL APPLICABLE CODES AND REGULATIONS.
- ELECTRICAL PANEL/METER VERIFY SIZE AND LOCATION 200AMPS
- PROVIDE MINIMUM 6" LINE FROM NEAREST POINT OF CONNECTION THROUGH FRONTAGE IF EXISTING WATER LINE IS LESS THAN SIX INCHES.
- PROVIDE MINIMUM 8" LINE FROM NEAREST POINT OF CONNECTION THROUGH FRONTAGE IF NO SEWER LINE EXISTS.
- ALL GRADES TO REMAIN NATURAL
- ALL EXISTING CRACKED OR DAMAGED FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS. ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED.
- THE EXISTING DRIVEWAY APPROACH SHALL BE REPLACED WITH CITY STANDARD DRIVEWAY
- THE DAMAGED SIDEWALK SHALL BE REPLACED WITH CITY STANDARD SIDEWALK
- THE DAMAGED EXISTING CURB AND GUTTER SHALL BE REPLACED WITH CITY STANDARD CURB AND GUTTER
- COORDINATE WITH LOS ALTOS MUNICIPAL WATER AND THE FIRE DEPARTMENT TO DETERMINE WHETHER A LARGER SERVICE LATERAL AND / OR METER IS REQUIRED.
- FIRE SPRINKLERS ARE REQUIRED, IT IS ANTICIPATED THAT THE WATER METER WILL HAVE TO BE UPSIZED TO ACCOMMODATE THE FIRE SPRINKLERS AND MEET FIRE FLOW DEMAND. IT WILL BE UP TO THE DESIGN ENGINEER TO DETERMINE THE WATER DEMAND BASED ON FIRE FLOW REQUIREMENTS.
- AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT OF WAY
- PROPOSED AC MODEL SHALL BE CONSISTENT WITH THE CITY'S AIR CONDITIONING EQUIPMENT SETBACK REQUIREMENTS. AC UNIT NOT TO EXCEED 50 DBA AT THE NEAREST RESIDENTIAL PROPERTY LINE.
- TREE PROTECTION FENCING SHALL BE LOCATED AT THE DRIP LINE OF PROTECTED TREES WITH CHAIN LINK FENCES WITH A MINIMUM HEIGHT OF FIVE FEET ABOVE GRADE.
- WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE OWNERS AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE OWNERS. 2016 CFC SEC.903.3.5 AND HEALTH AND SAFETY CODE 13114.7
- AC EQUIPMENT MUST HAVE A SETBACK THAT COMPLIES WITH THE CITY'S NOISE CONTROL ORDINANCE (AIR CONDITIONER SETBACK GUIDELINES)



VIA DEL POZO RESIDENCE
 APN:167-13-033

JINGQIAN XU/
 XIAOCHUAN WANG

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 LOS ALTOS, CA 94022

REVISIONS

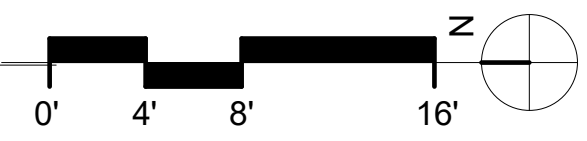
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DESIGN REVIEW

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EXISTING TREES		
	RETAINED	REMOVED
1	11" LIGUSTRUM TREE	X
2	15" LIGUSTRUM TREE	X
3	5" PALM TREE	X
4	11" LIGUSTRUM TREE	X
5	7" OAK TREE	X
6	8" JAPANESE MAPLE TREE	X

1 PROPOSED SITE PLAN
 1/8" = 1'-0"



A1.1
 PROPOSED SITE PLAN



1 NEIGHBORHOOD CONTEXT MAP
 1" = 20'-0"



739 SEMINOLE WAY // PALO ALTO, CALIFORNIA 94303 // T 916.872.0396



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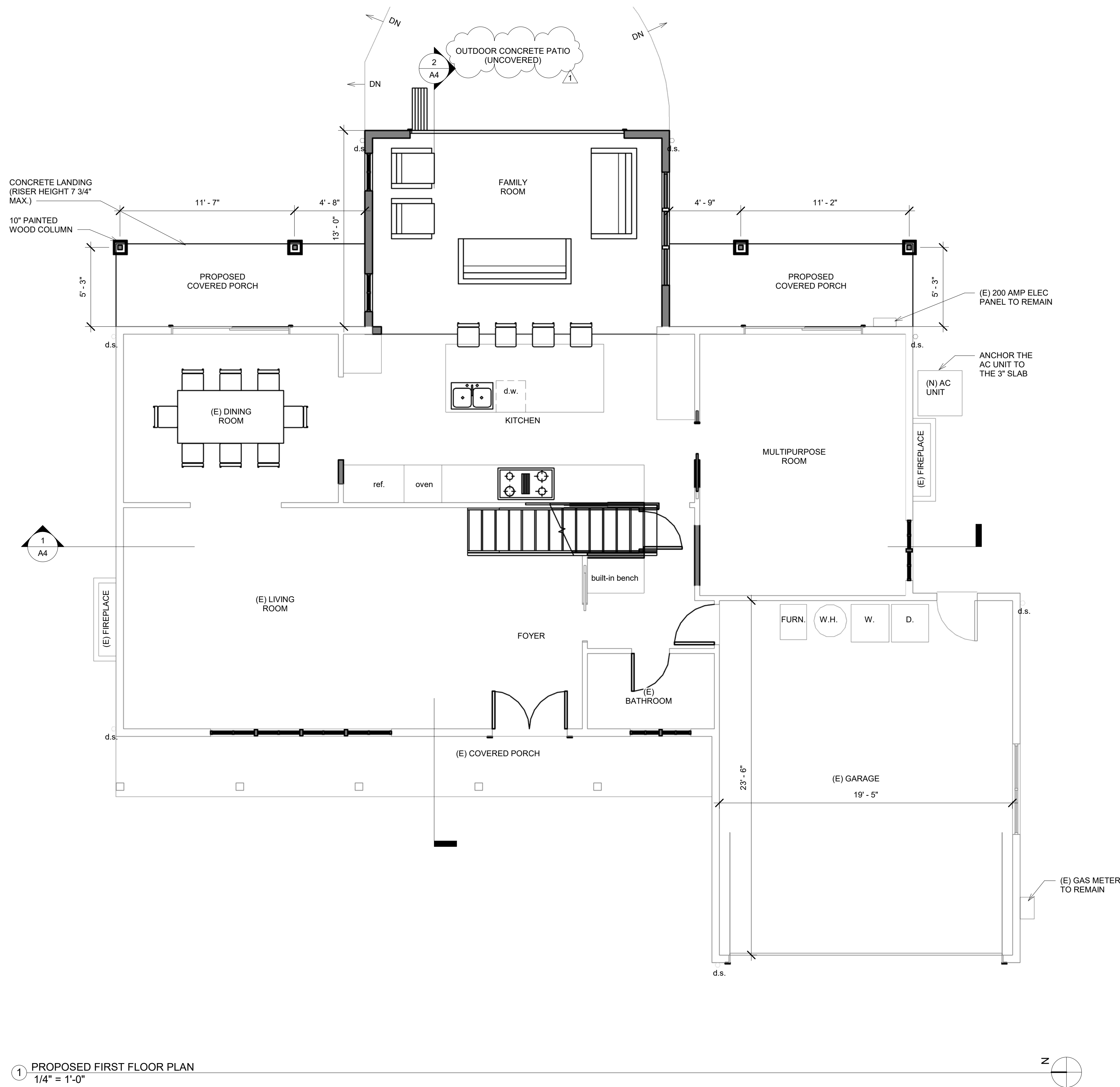
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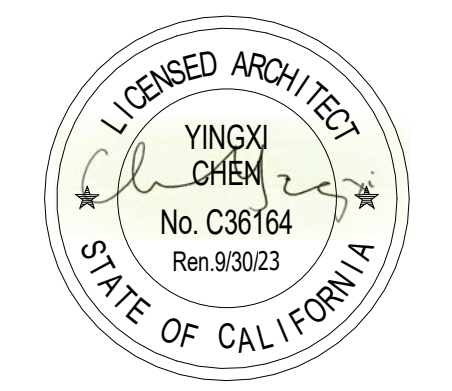
A1.2
 NEIGHBORHOOD CONTEXT MAP



1 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

GENERAL NOTES

1. VERIFY ALL HARDSCAPE & LANDSCAPE LAYOUTS & FINISHES WITH OWNER.
2. EXTERIOR WALL: 2x6 STUDS @ 16" O.C., TYP. U.N.O. - SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. COLOR AS SELECTED BY OWNER. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER STUDS OR SHEATHING OF EXTERIOR WALLS PER CRC 703.2-INSTALL PER MANUF. INSTRUCTIONS. ANCHORED STONE AND MASONRY VENEER SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R702.1 AND R703.
3. INTERIOR WALL: 2x4 STUDS @ 16" O.C., TYP. U.N.O. PLUMBING WALL 2x6 STUDS @ 16" O.C. U.N.O. PROVIDE 5/8" TYPE "X" GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER / TUB LOCATIONS. ALL WALLS TO RECEIVE PAINT FINISH. U.N.O. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD.
4. ALL NEW WINDOWS TO BE FIBERGLASS FRAME, DUAL PANE W/ SIMULATED DIVIDED LIGHTS AS SHOWN ON ELEVATIONS. PROVIDE TEMPERED GLASS AT ALL GLAZED DOORS AND GLAZING WITHIN 24" OF A DOOR OR WITHIN 18" OF FINISHED FLOOR. PROVIDE TEMPERED GLAZING AT WINDOWS AT SHOWERS AND ABOVE BATHTUBS.
5. ALL EXTERIOR DOORS TO HAVE WEATHERSTRIPPING, U.O.N.
6. ALL HEADER HEIGHTS ARE MEASURED FROM RESPECTIVE ROOM'S SUBFLOOR.
7. CONTRACTOR SHALL VERIFY FINAL WINDOW SIZES WITH THE MANUFACTURER'S OPENING SIZES BEFORE ORDERING AND INSTALLATION.
8. FRAMING CONTRACTOR SHALL CAREFULLY REVIEW ALL ARCHITECTURAL & STRUCTURAL DRAWINGS AND CONSIDER ALL ISSUES IN LOCATION OF SIGNIFICANT BEAMS AND LAYOUT OF FLOOR & CEILING JOISTS TO ACCOMMODATE LIGHT CANS, PLUMBING, MINIMIZE HEADING OFF, CENTR FLOOR REGISTERS WITH DOORS, ALIGN CHUTES & CHASES, ETC.
9. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF WINDOW/DOOR, TYP. U.N.O. VERIFY ALL CRITICAL DIMENSIONS AT EXISTING ELEMENTS IN FIELD PRIOR TO FRAMING.
10. CONTRACTOR TO PROVIDE SCREENING FOR DUST & NOISE DURING CONSTRUCTION - VERIFY W/ OWNER.
11. VERIFY FINISH SELECTIONS, BASEBOARD, CEILING TRIM, AND DOOR & WINDOW CASINGS W/ OWNER IN FIELD. PROVIDE BLOCKING AS NECESSARY. VERIFY PAINT AND COLOR SELECTIONS W/ OWNER IN FIELD.
12. MECHANICAL CONTRACTOR TO VERIFY ALL AIR DUCTS, CHASES, LOCATIONS, CONFIGURATIONS, ETC. W/ FRAMING CONTRACTOR DURING FOUNDATION WORK, PRIOR TO FRAMING. PLACE DUCTS OUT OF THE WAY IN ATTICS, CRAWLSPACES, ETC.
13. KITCHEN CABINETS, COUNTERS, APPLIANCES, ACCESSORIES & FINISHES PER OWNER. TYPICAL. PROVIDE SHOP DRAWINGS FOR APPROVAL. PROVIDE APPLIANCE DIMENSIONS, SPECIFICATIONS, CUT-OUTS, ELECTRICAL & GAS REQUIREMENTS, ETC. TO FRAMERS & CABINET MAKERS PRIOR TO CONSTRUCTION.
14. KITCHEN EXHAUST FAN SHALL BE MIN. 100CFM, WITH A MIN. 5" SMOOTH DUCT. NO LONGER THAN 85' OF DUCT RUN. SUBTRACT 15' OF ALLOWABLE LENGTH FOR EACH ELBOW. PROPOSE EXHAUST DUCT TERMINATED AT WALL. PROVIDE BACKDRAFT DAMPER ON KITCHEN RANGE HOOD. CONFIRM RANGE AND HOOD CLEARANCES AND MINIMUM CFM FOR EXHAUST OF FUEL GAS FUMES IN KITCHEN.
15. TERMINATION OF ALL ENVIRONMENTAL DUCTS SHALL BE A MINIMUM 3 FEET FROM PROPERTY LINE. 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.0. TERMINATION OF EXHAUST SYSTEM PER CMC 502.2.
16. PROVIDE MIN. 30" CLEAR WIDTH AT WATER CLOSET SPACE, WITH TOILET CENTERED WITHIN TYP. W/ MIN. 24" CLEAR FLOOR SPACE IN FRONT OF WATER CLOSET. MEASURED FROM BOWL.
17. EXHAUST FANS IN ALL BATHROOMS WITH TUBS OR SHOWERS MUST MOVE A MINIMUM 50 CFM OF AIR AND BE SEPARATELY SWITCHED FROM THE LIGHTING. FANS THAT OPERATE CONTINUOUSLY CAN BE 20 CFM. THE DUCT MUST TERMINATE ON THE EXTERIOR NOT LESS THAN 3 FEET FROM OPENINGS INTO THE BUILDING. EXHAUST FANS SHALL BE VENTED TO EXTERIOR WITH A BACK DRAFT DAMPER.
18. BUILT-IN SHELVING & CABINETRY, VERIFY SHOP DRAWINGS W/ OWNER'S PRIOR TO INSTALLATION.
19. VERIFY ALL BATHROOM SELECTIONS FINISHES, ACCESSORIES, ETC. W/ OWNER.
20. PROVIDE PLUMBING & ELECTRICAL INSTALLATIONS FOR WASHER AND DRYER. VERIFY REQUIREMENTS W/ OWNER.
21. VERIFY SHOP DRAWINGS OF BUILT-IN BENCH WITH STORAGE. W/ OWNER PRIOR TO INSTALLATION.
22. AC UNIT NOT TO EXCEED 50 DBA AT THE NEAREST RESIDENTIAL PROPERTY LINE. DISCHARGE SHOULD BE 4'-0" AWAY FROM PROPERTY LINE.
23. PROVIDE POLE AND SHELVING IN CLOSET. VERIFY W/ OWNER PRIOR TO INSTALLATION.
24. WHERE POSSIBLE RUN PLUMBING AND MECHANICAL VENTS AWAY FROM STREET FRONTAGE.
25. ELECTRICAL PANEL/METER VERIFY SIZE AND LOCATION 200AMPS NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR HOSE BIBS. ALL HOSE BIBS MUST HAVE AN APPROVED ANTI-SIPHON DEVICE AS PER 2016 CHAPTER 6.
26. A MINIMUM 5/8" GROUND ROD MUST BE BURIED AT LEAST 8 FEET IN THE GROUND. LOCATE THE GROUND ROD AS CLOSE AS PRACTICABLE TO THE ELECTRIC SERVICE.
27. VERIFY STAIR RAILING STYLE AND FINISH SELECTIONS WITH OWNER IN THE FIELD.
28. VERIFY STAIR RAILING STYLE AND FINISH SELECTIONS WITH OWNER IN THE FIELD.



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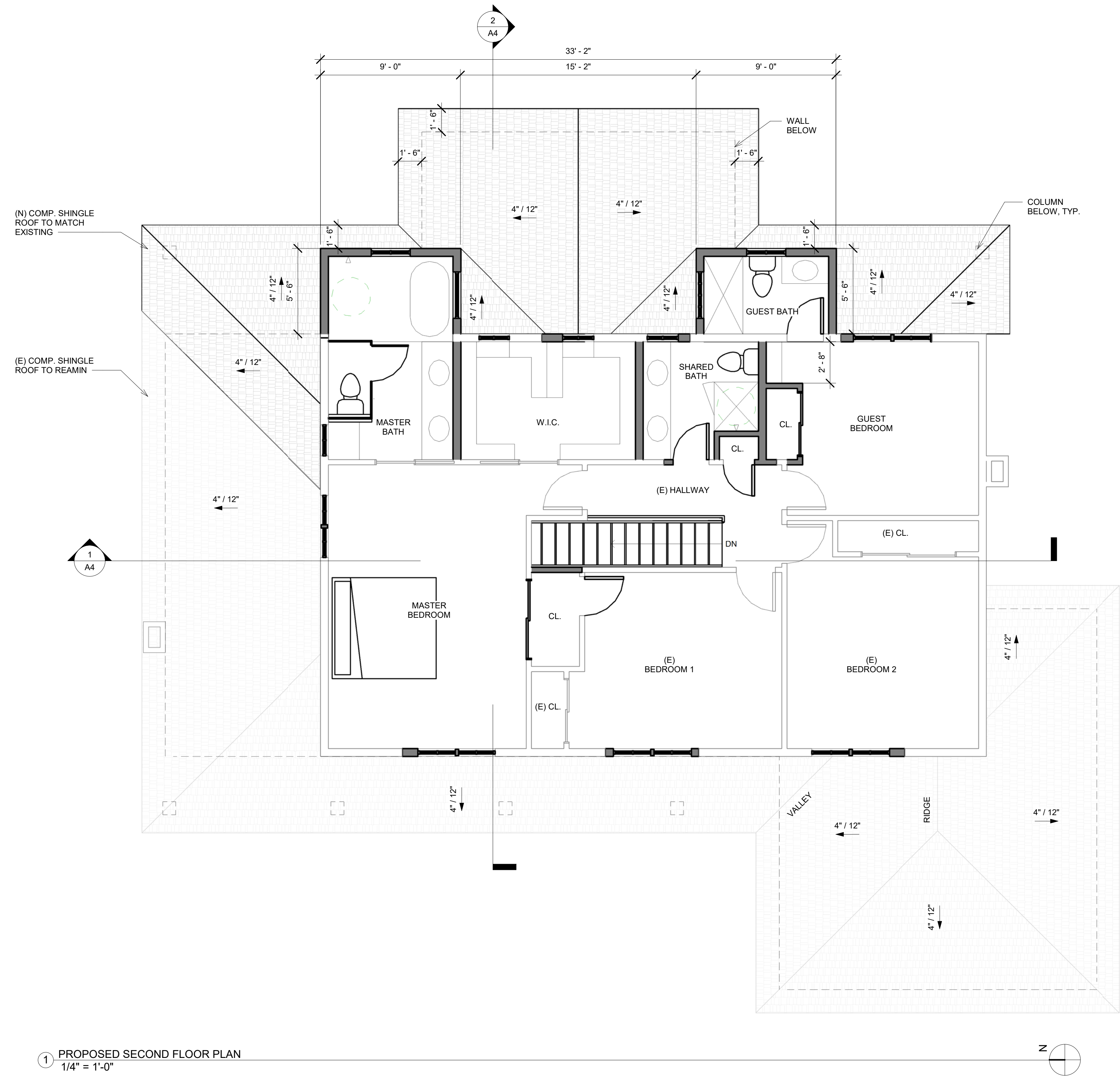
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REVISIONS

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DESIGN REVIEW

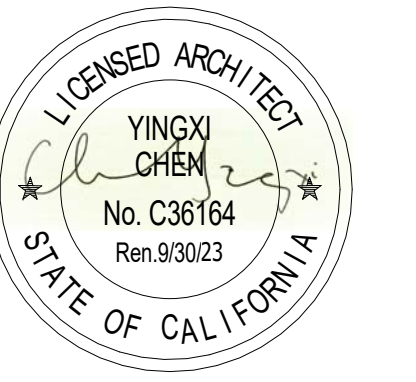
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1 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"



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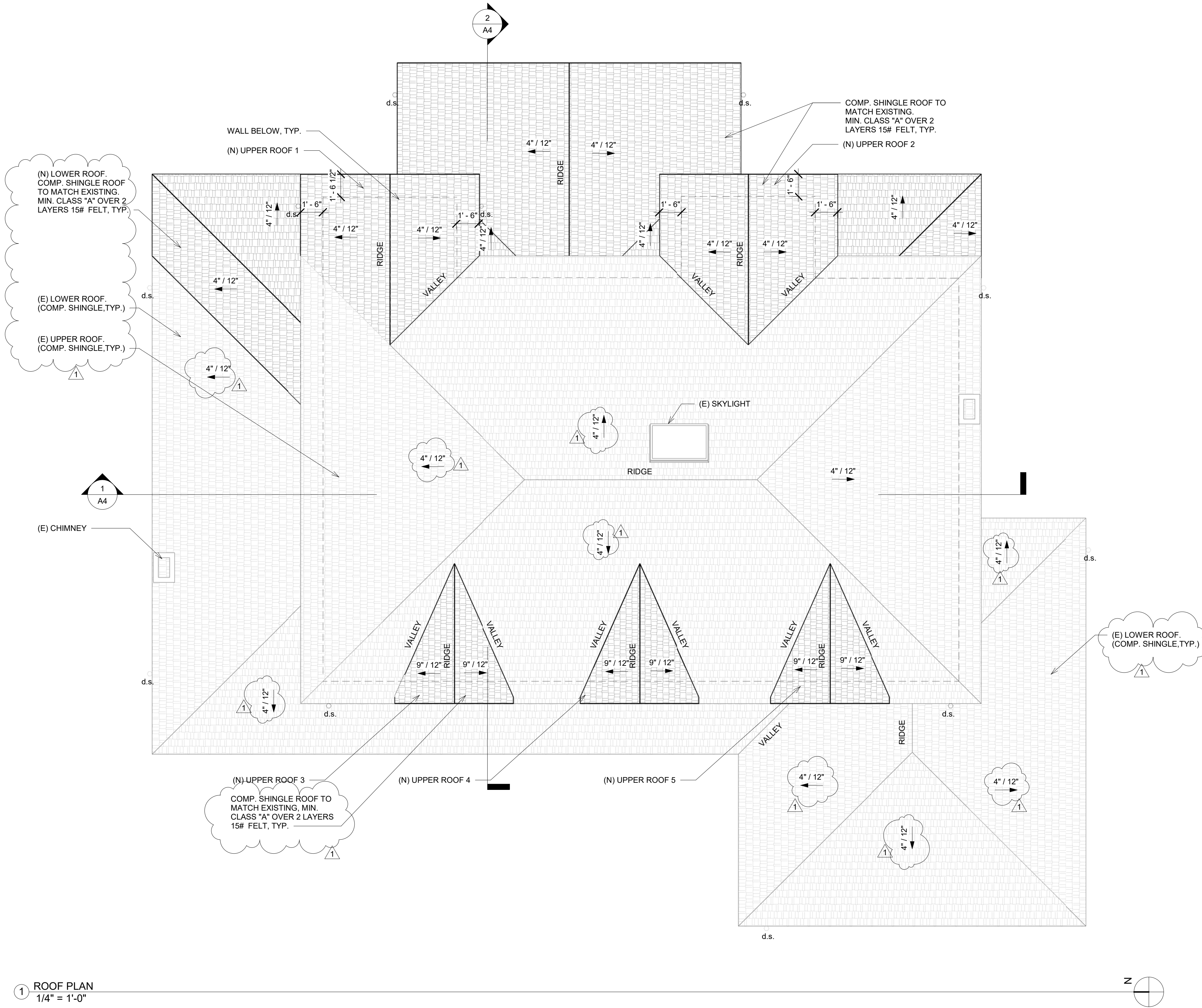
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A2.2
 SECOND FLOOR PLAN



1 ROOF PLAN
1/4" = 1'-0"

ROOF PLAN NOTES

1. ASPHALT SHINGLE ROOF. VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER.
2. FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION
3. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
4. ALL FLASHING, GUTTERS, EXPOSED SHEET METALS, VENTS, DOWNSPOUR AND ETC. SHALL BE GALVANIZED PAINT COLOR TO MATCH.
5. ROOF/ATTIC VENTILATION: MIN. NET FREE VENTILATION 1/150 S.F. OF AREA WITH 50% AT UPPER PORTION A MIN. OF 3' ABOVE EAVE OR CORNICES VENTS AND THE BALANCE VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. OPENINGS TO ATTACH SHALL COVERED WITH CORROSION-RESISTANT WIRE MESH. MESH OPENINGS: MIN. OF 1/8" NOT TO EXCEED 1/4"
6. MAINTAIN 1" AIR SPACE BETWEEN ROOF PLYWOOD & INSULATION. APPROVED TYPE SPARK ARRESTER TO BE INSTALLED ON THE EXISTING FIREPLACE CHIMNEY PER SECTION R1003.9.2CRC.
- 7.



739 SEMINOLE WAY // PALO ALTO, CALIFORNIA 94303 // T 916.872.0396



VIA DEL POZO
RESIDENCE
APN:167-13-033

JINGQIAN XU/
XIAOCHUAN WANG

1051 VIA DEL POZO,
LOS ALTOS, CA 94022

REVISIONS

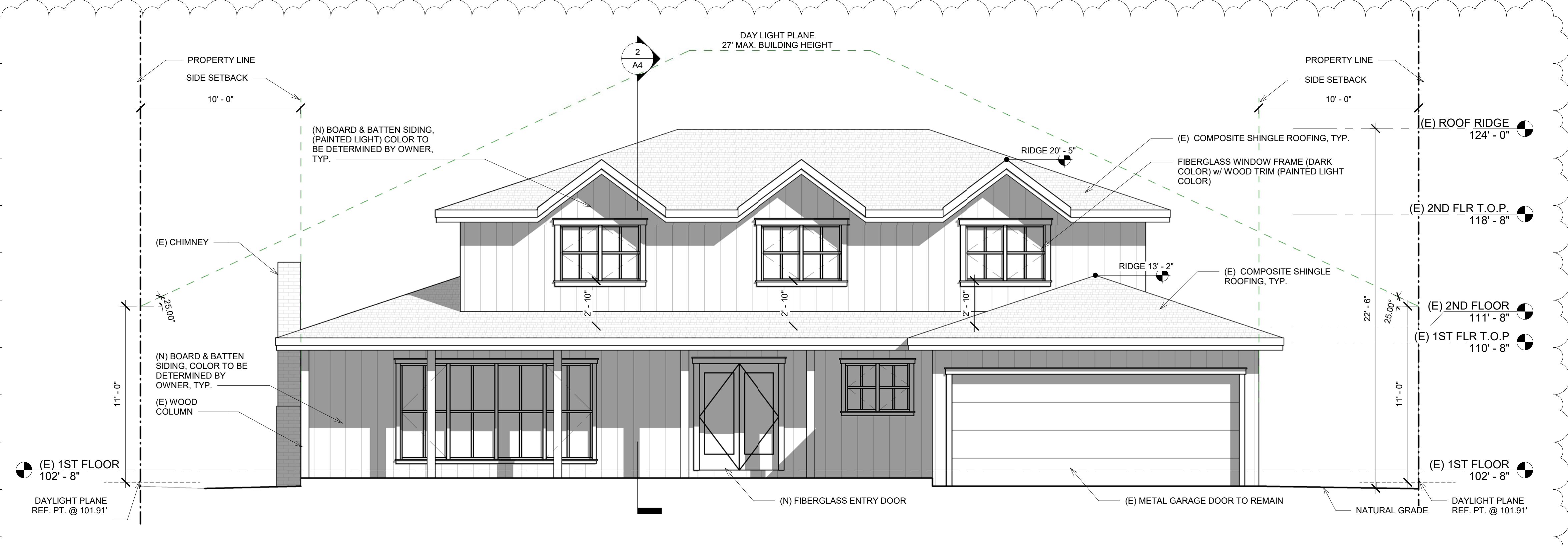
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DESIGN REVIEW

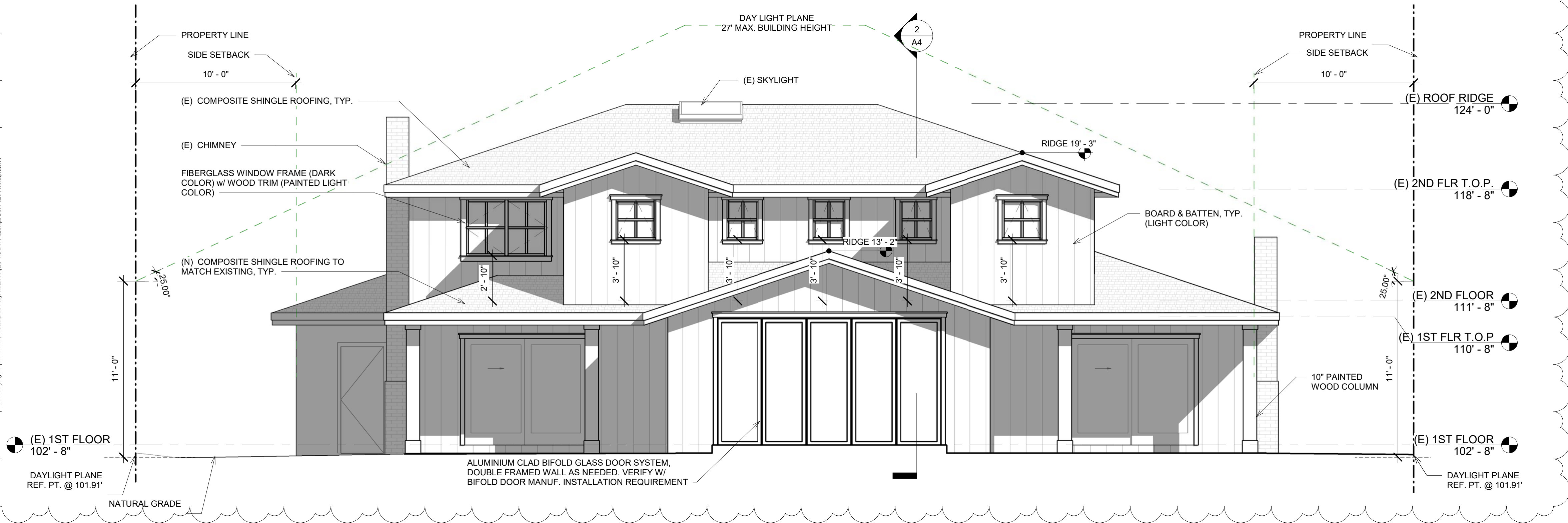
JOB NO.	-
DRAWN	Author
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FILENAME	

A2.3
ROOF PLAN

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1 FRONT (WEST) ELEVATION
1/4" = 1'-0"



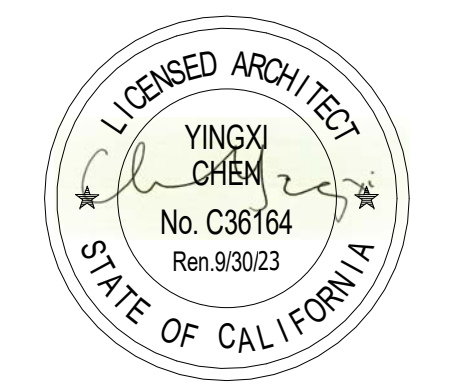
2 REAR (EAST) ELEVATION
1/4" = 1'-0"

GENERAL NOTES

1. PROVIDE 2% SLOPE AND DRAINAGE AWAY FROM BUILDING FOUNDATION. (CRC R401.3)
2. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 S.F.. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20". FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR. PROVIDE 12" MIN. 60MIL PEEL & STICK FLASH & COUNTER-FLASH AROUND ALL OPENINGS.
3. ADDRESS NUMBER SHALL BE SECURELY INSTALLED ONTO NEW BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CRC R319. SIZE OF NUMBERS SHALL BE A MINIMUM OF 1/2" STROKE BY 6" HIGH IS REQUIRED.
4. BUILDING PAPER TO BE INSTALLED UNDER ALL WALL SIDING

WINDOW ABBREVIATION

AWN	AWNING
CSMT	CASEMENT
FG	FIXED GLASS
SW	SLIDING WINDOW
SH	SINGLE HUNG WINDOW
TR	TRANSOM



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VIA DEL POZO RESIDENCE
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LOS ALTOS, CA 94022

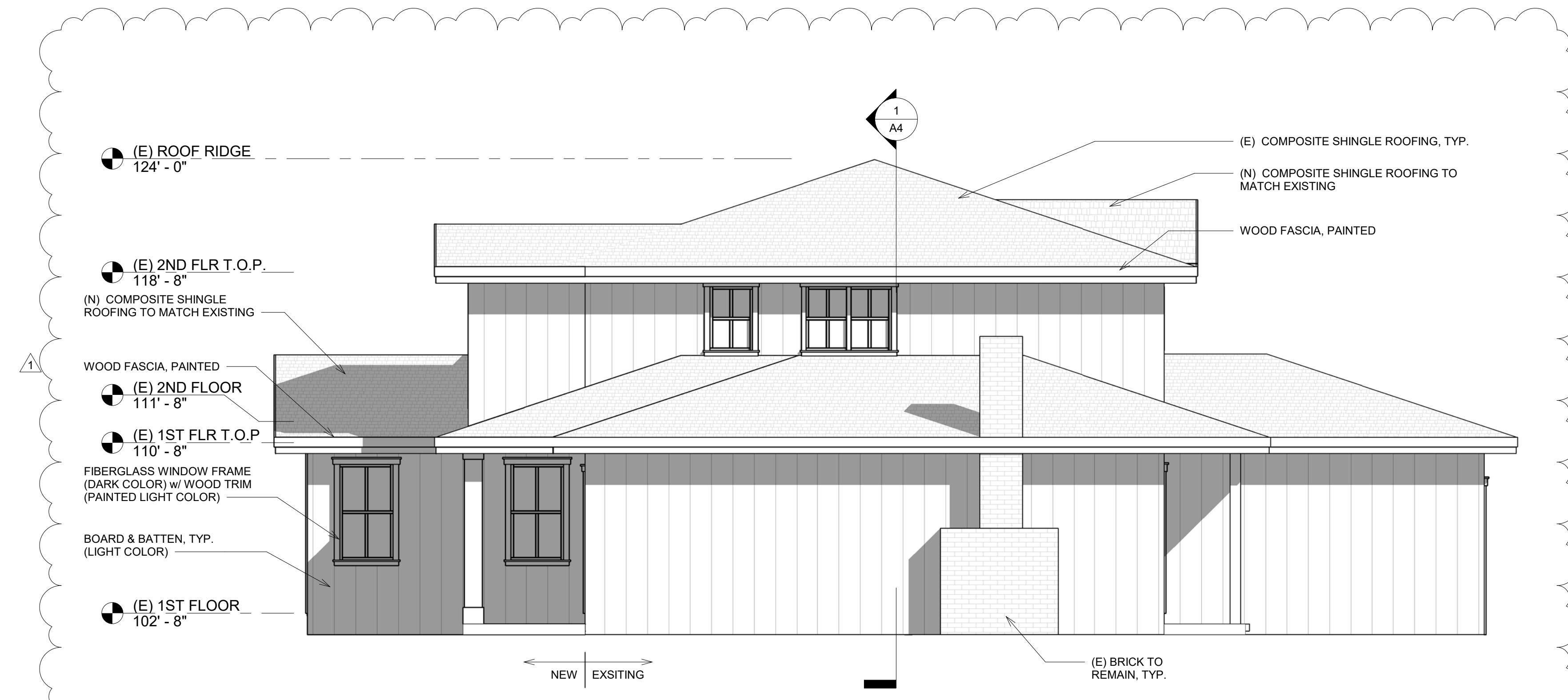
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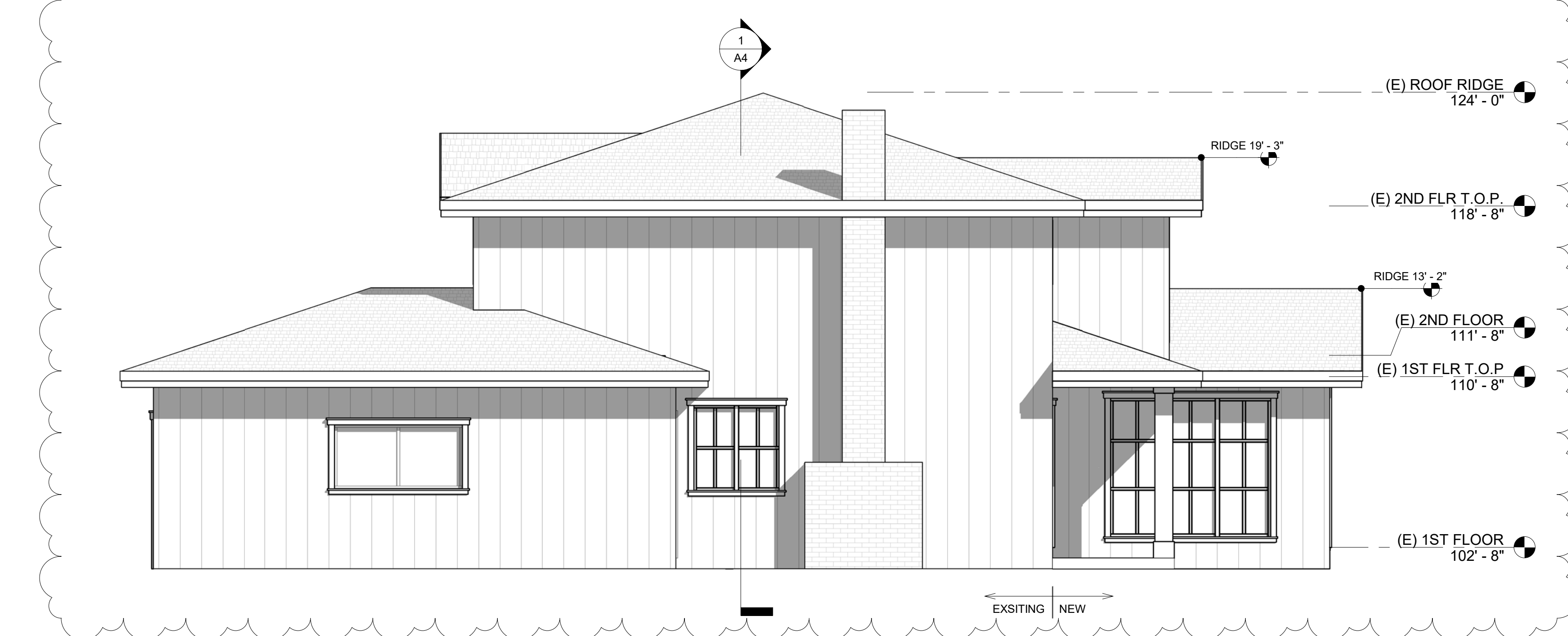
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JOB NO.	
DRAWN	Author
DATE	7/1/2021
SCALE	1/4" = 1'-0"
FILENAME	

A3.1
EXTERIOR ELEVATIONS



1 LEFT (NORTH) ELEVATION
1/4" = 1'-0"



2 RIGHT (SOUTH) ELEVATION
1/4" = 1'-0"



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VIA DEL POZO
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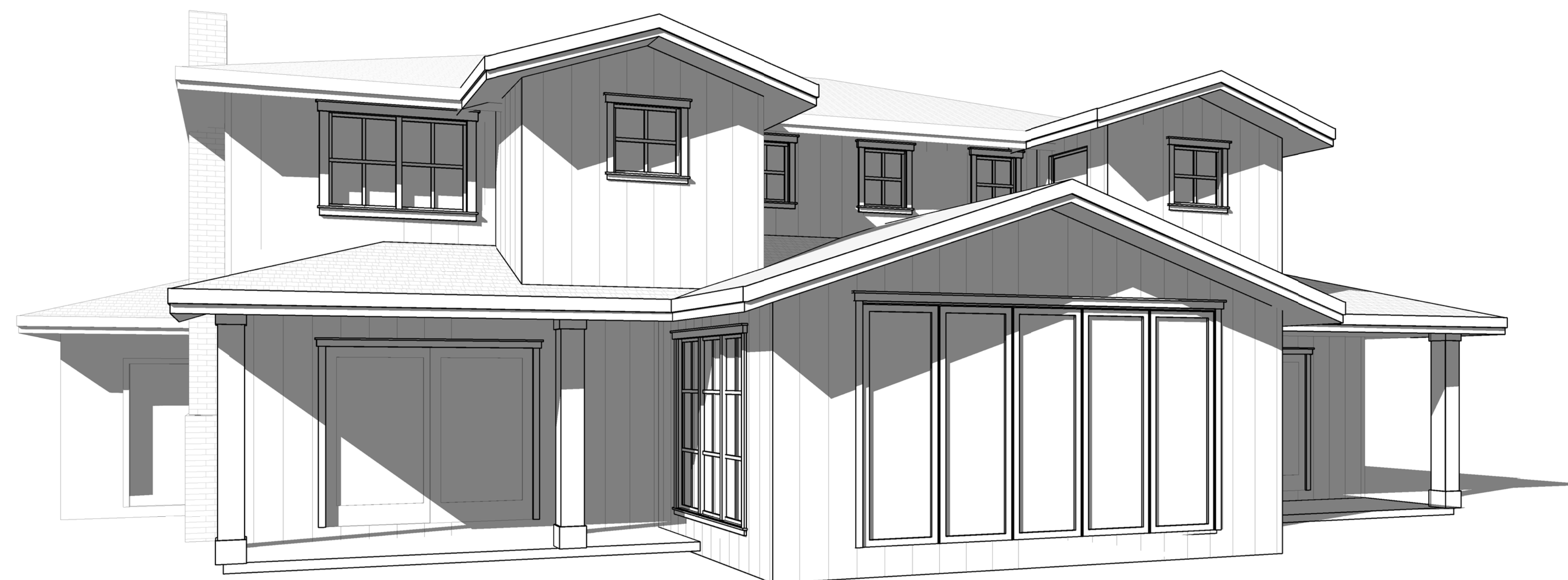
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FILENAME	

A3.2
EXTERIOR ELEVATIONS



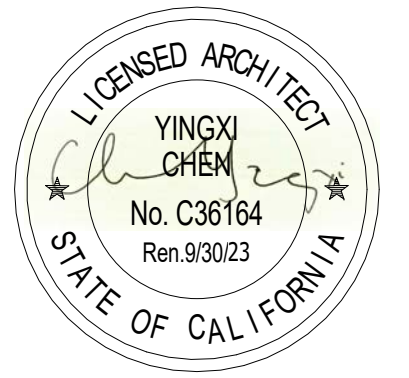
① FRONT VIEW



② REAR VIEW



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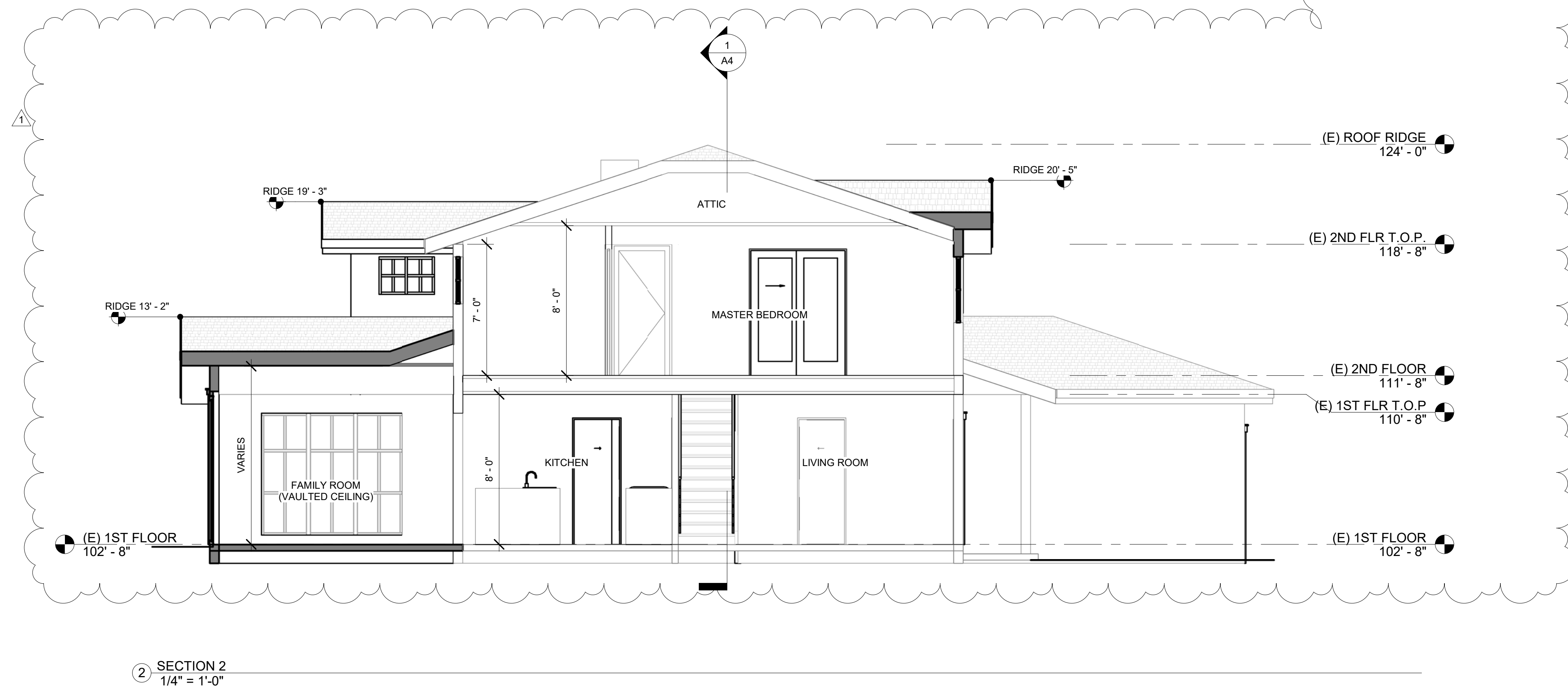
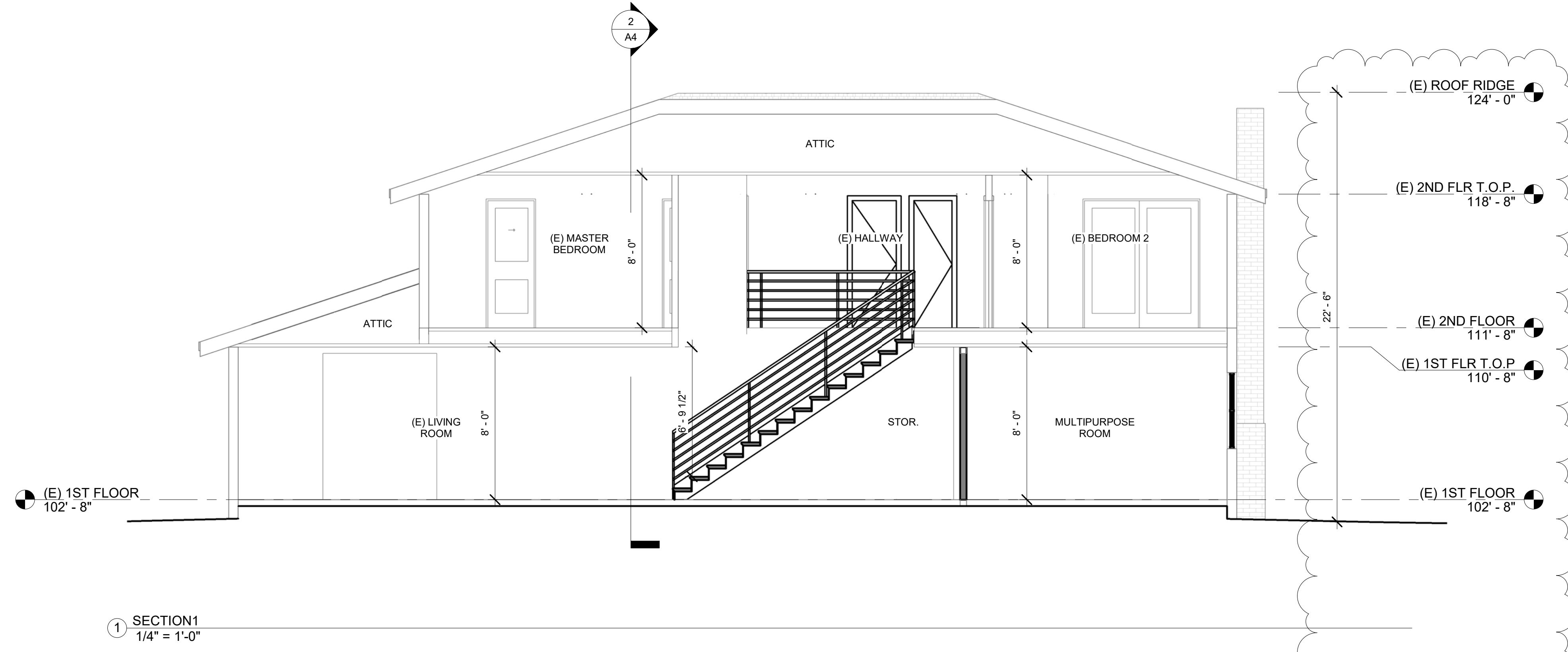
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A3.3

PERSPECTIVE VIEWS



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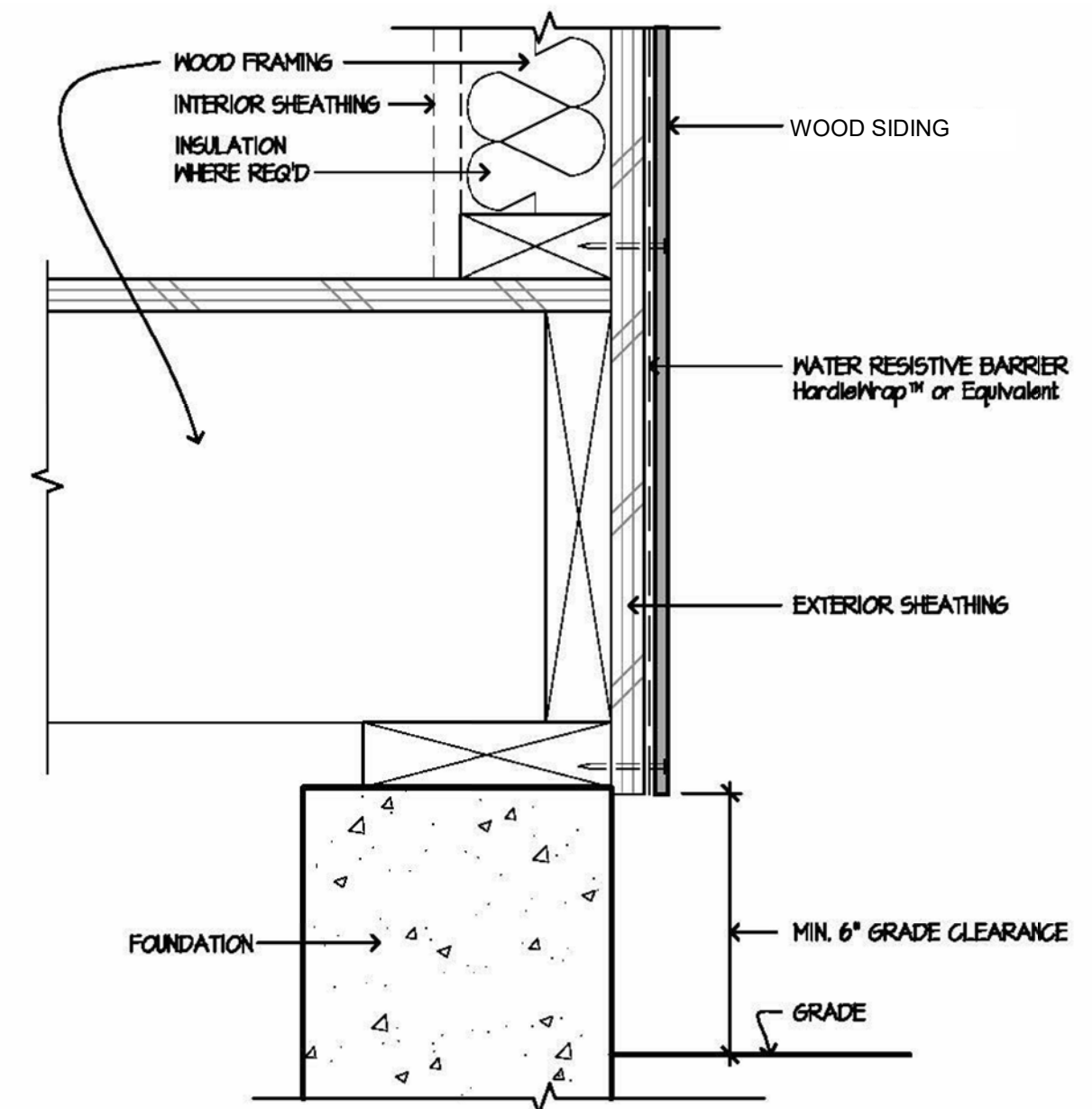
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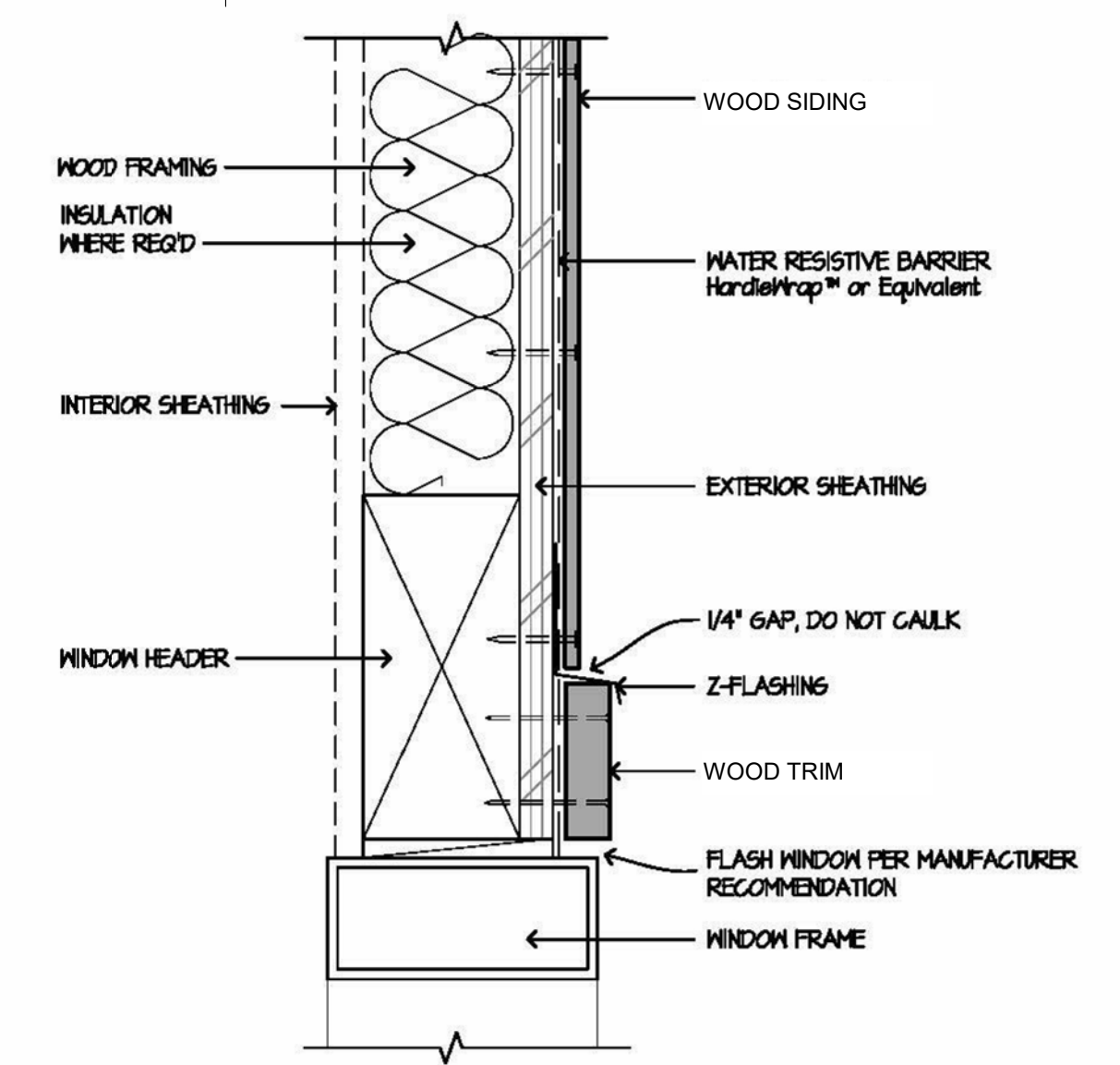
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DRAWN	Author
DATE	7/1/2021
SCALE	1/4" = 1'-0"
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A4
BUILDING SECTIONS

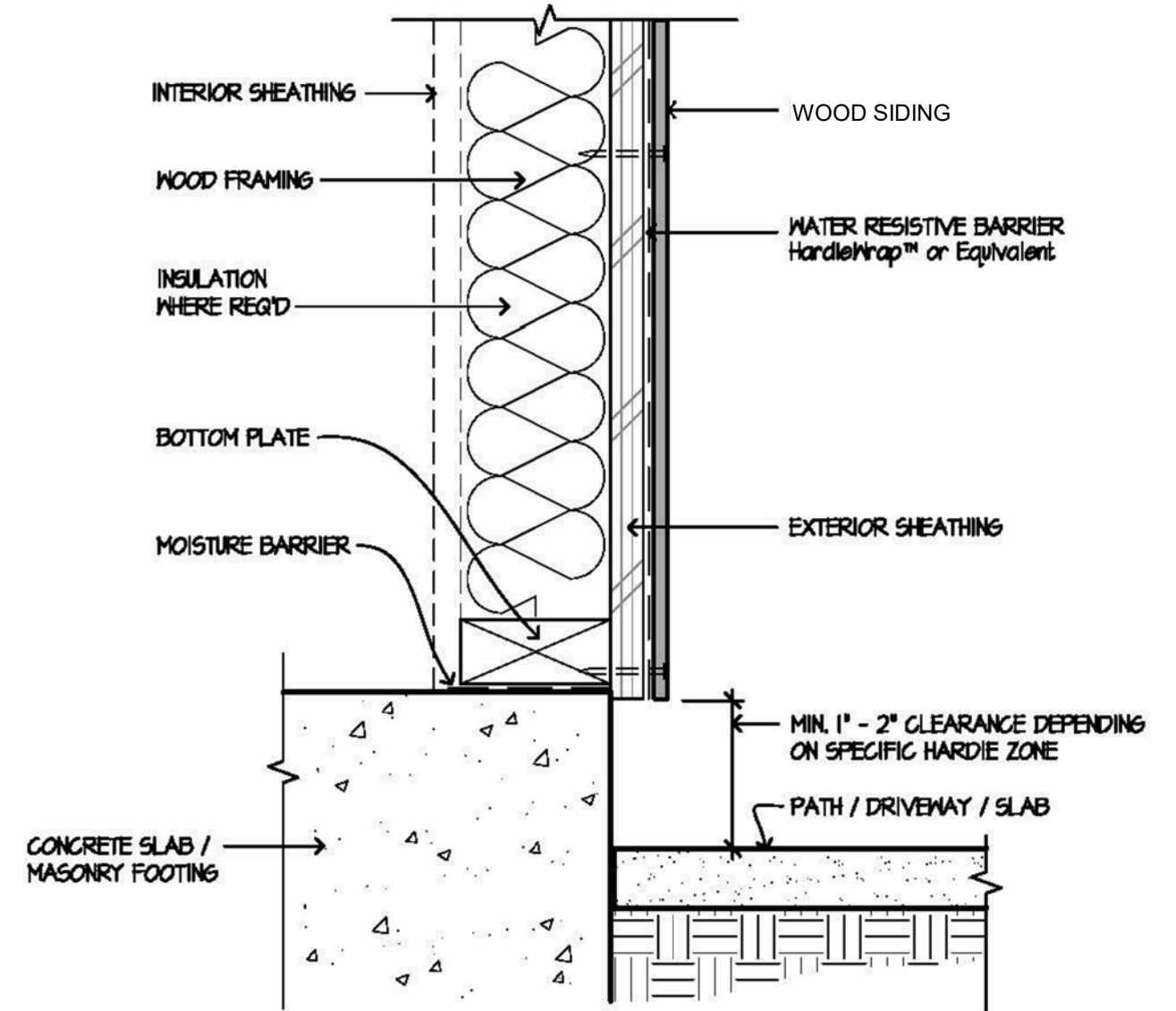


6 GRADE CLEARANCE SCALE: 3/4"=1'-0"

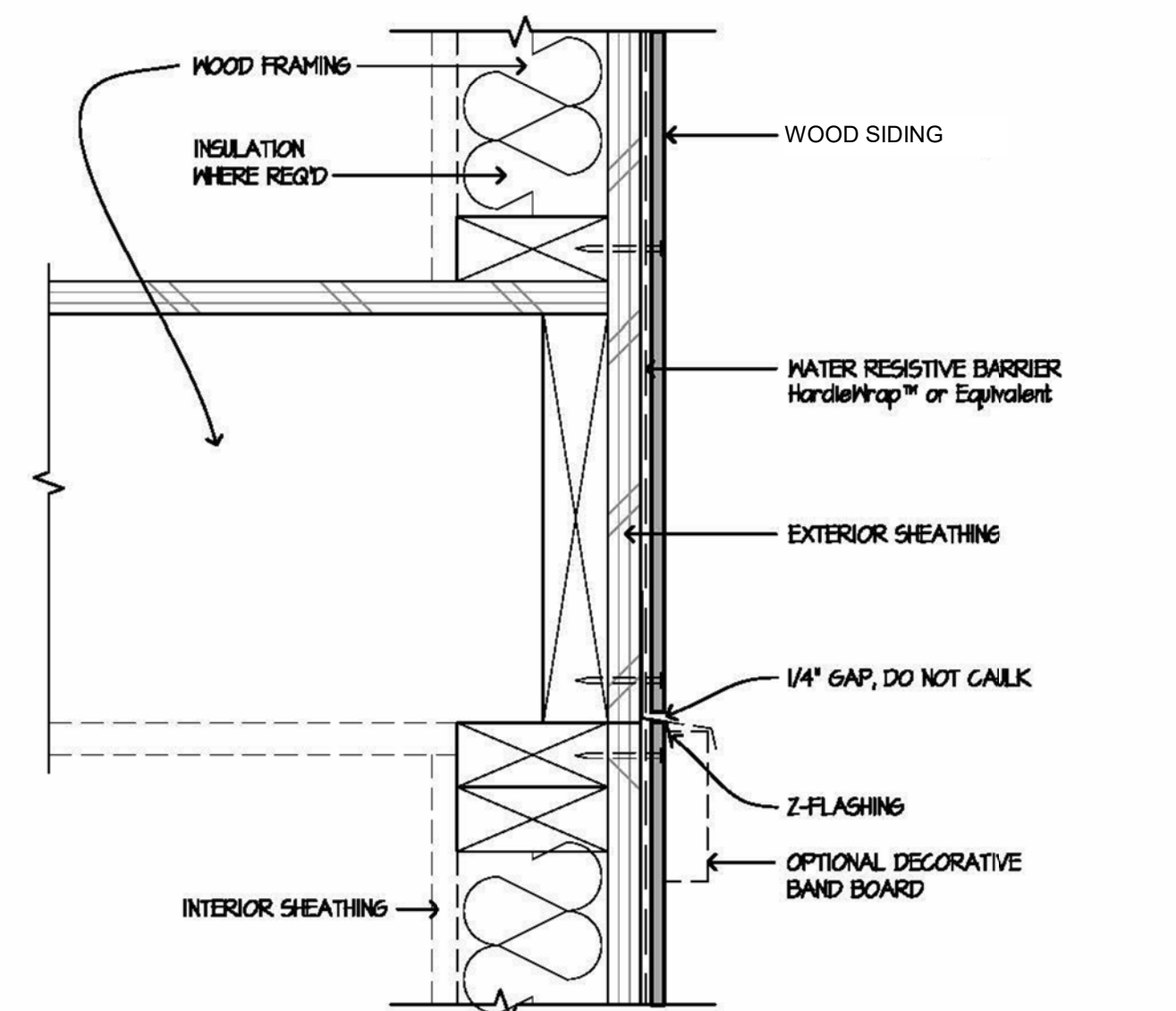


3 WINDOW/DOOR HEAD SCALE: 3/4"=1'-0"

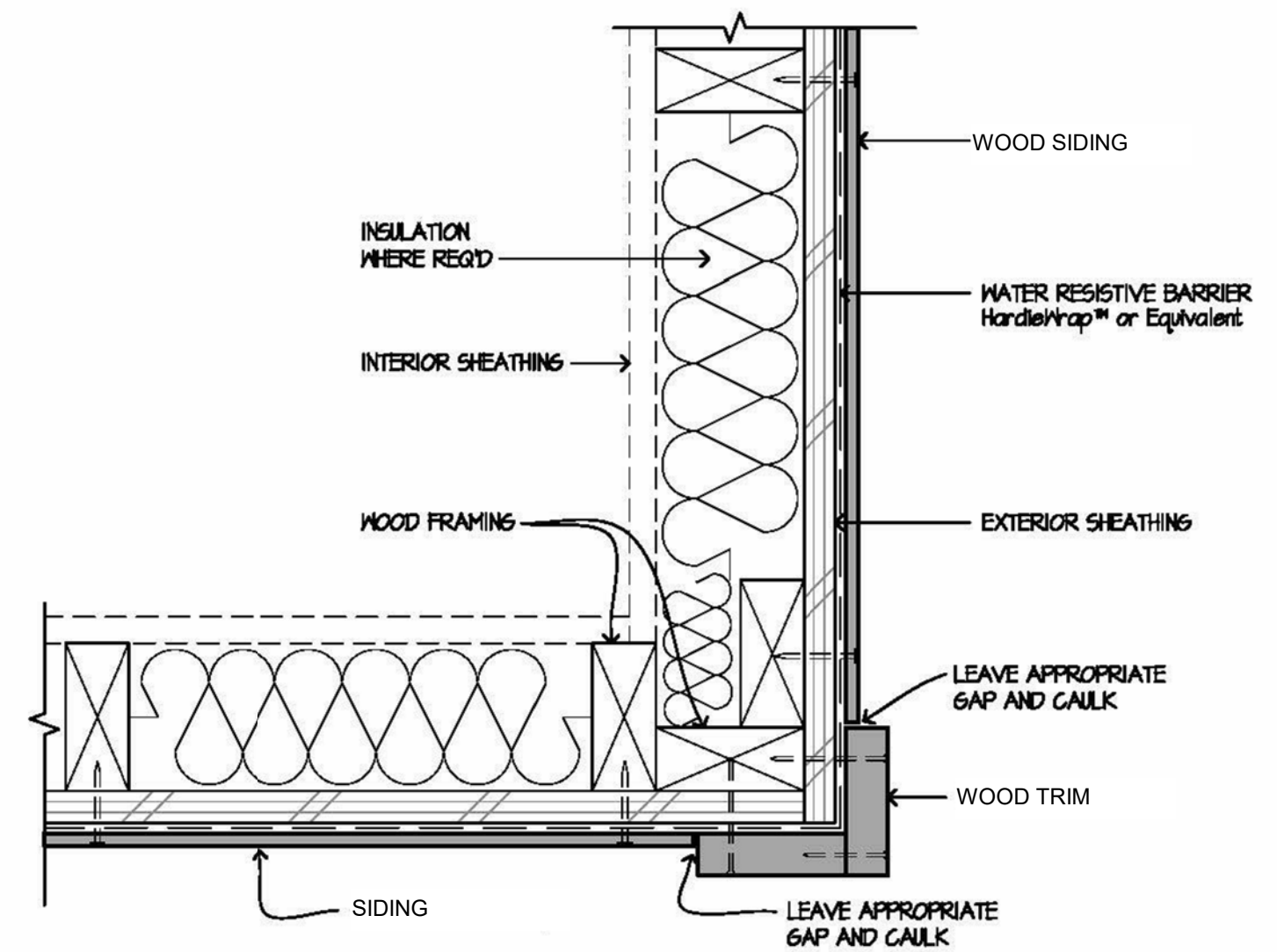
9 NOT USED SCALE: 3/4"=1'-0"



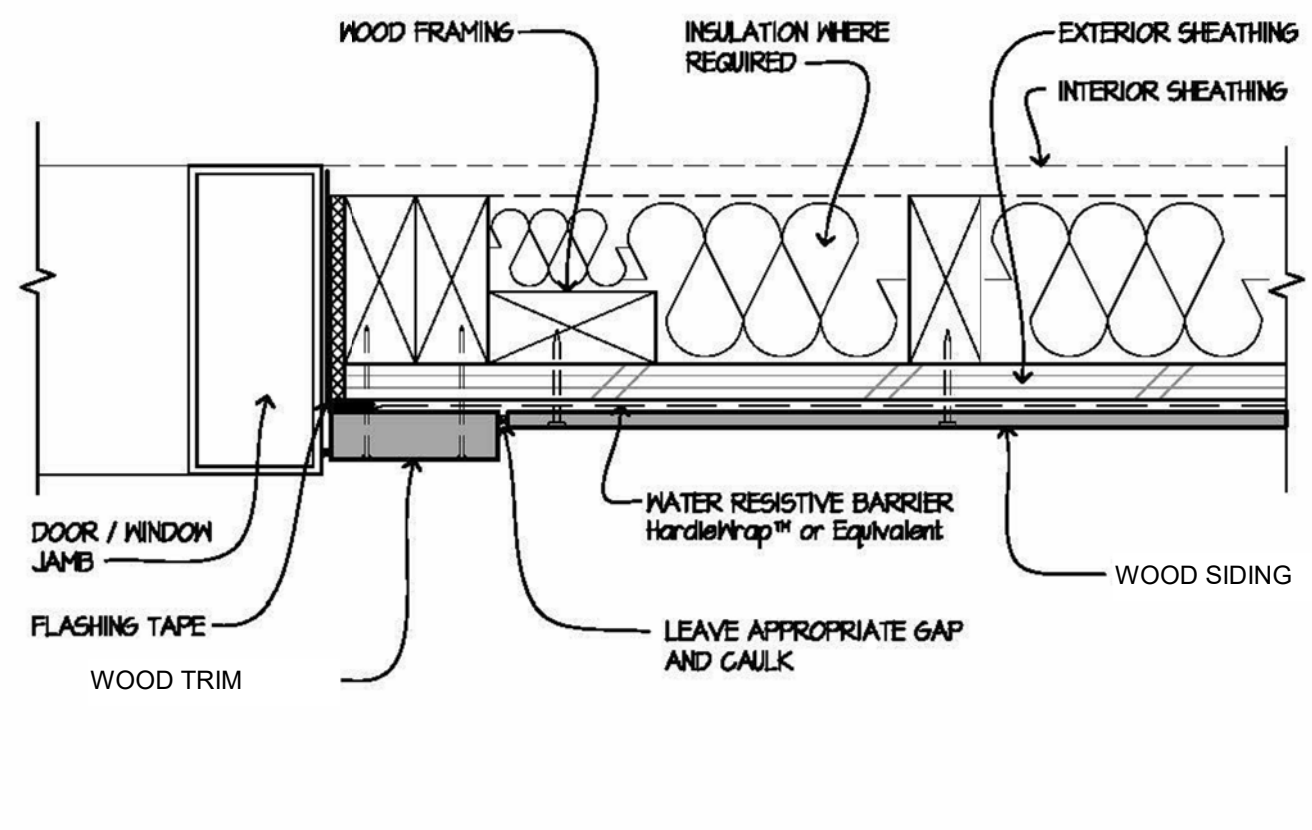
8 HARDSCAPE CLEARANCES, DECKS, PORCHES, PATIOS, WALKWAYS, ROOFS, ETC. SCALE: 1/2"=1'-0"



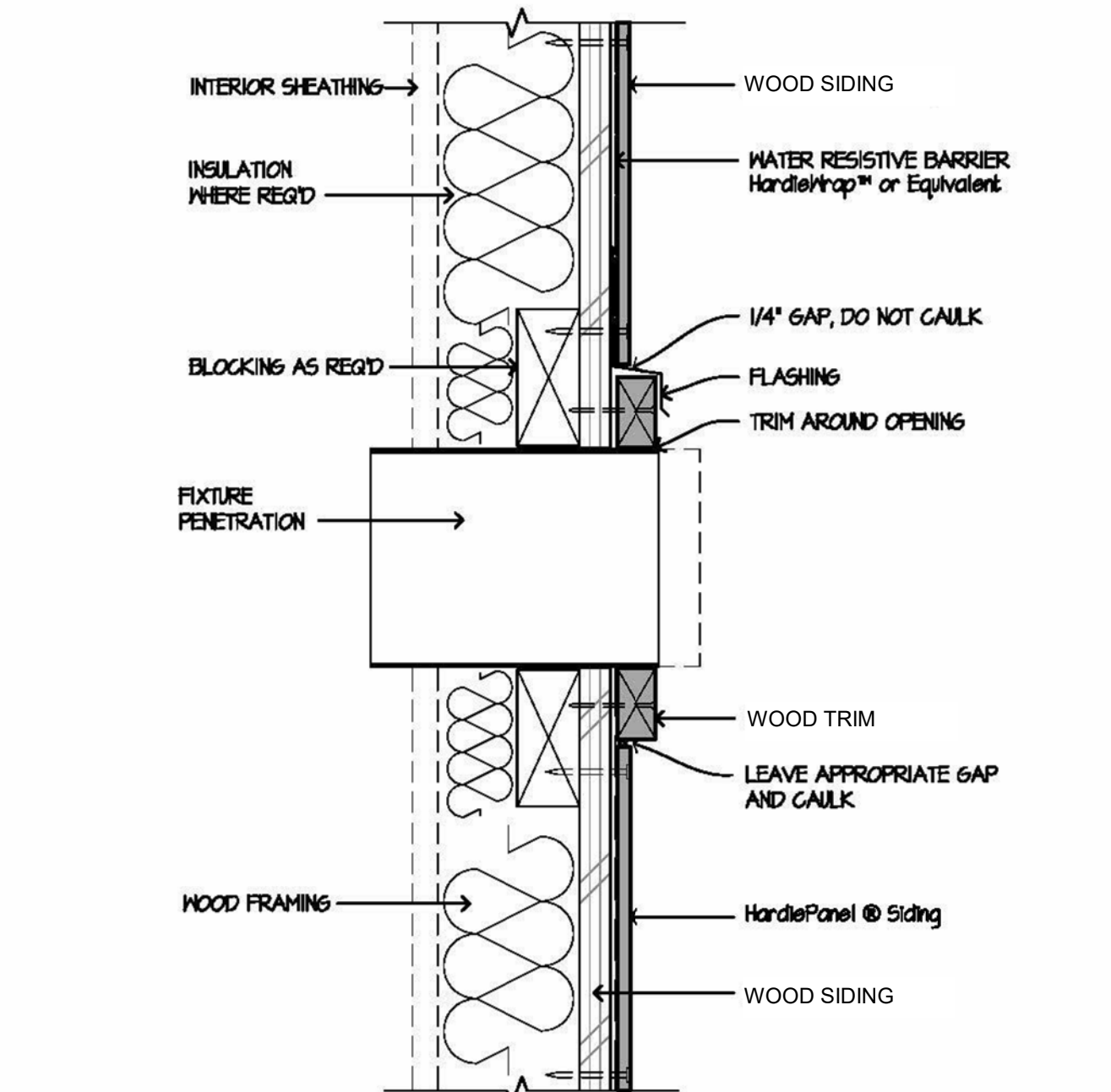
5 HORIZONTAL VIEW SCALE: 3/4"=1'-0"



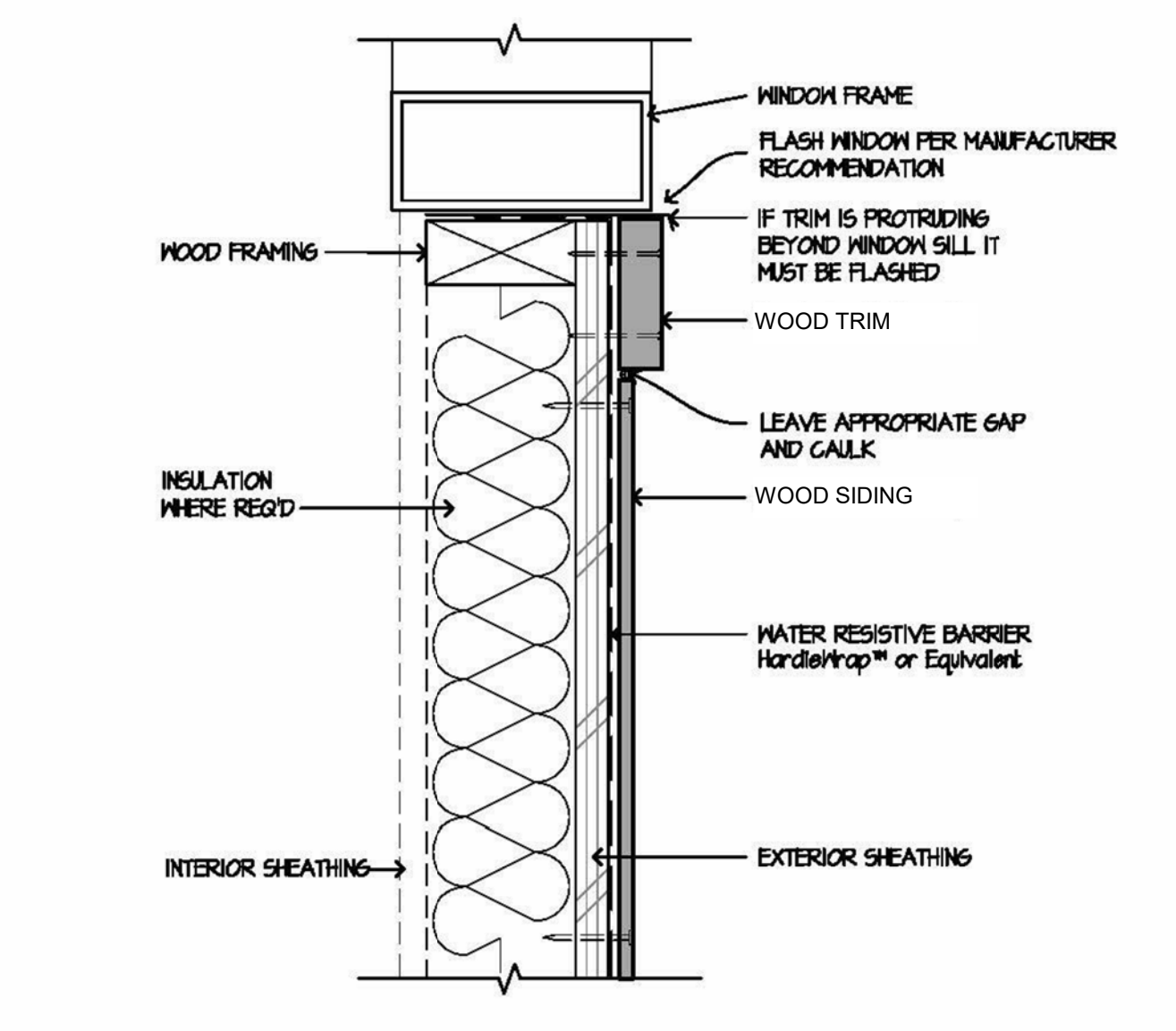
2 OUTSIDE CORNER SCALE: 3/4"=1'-0"



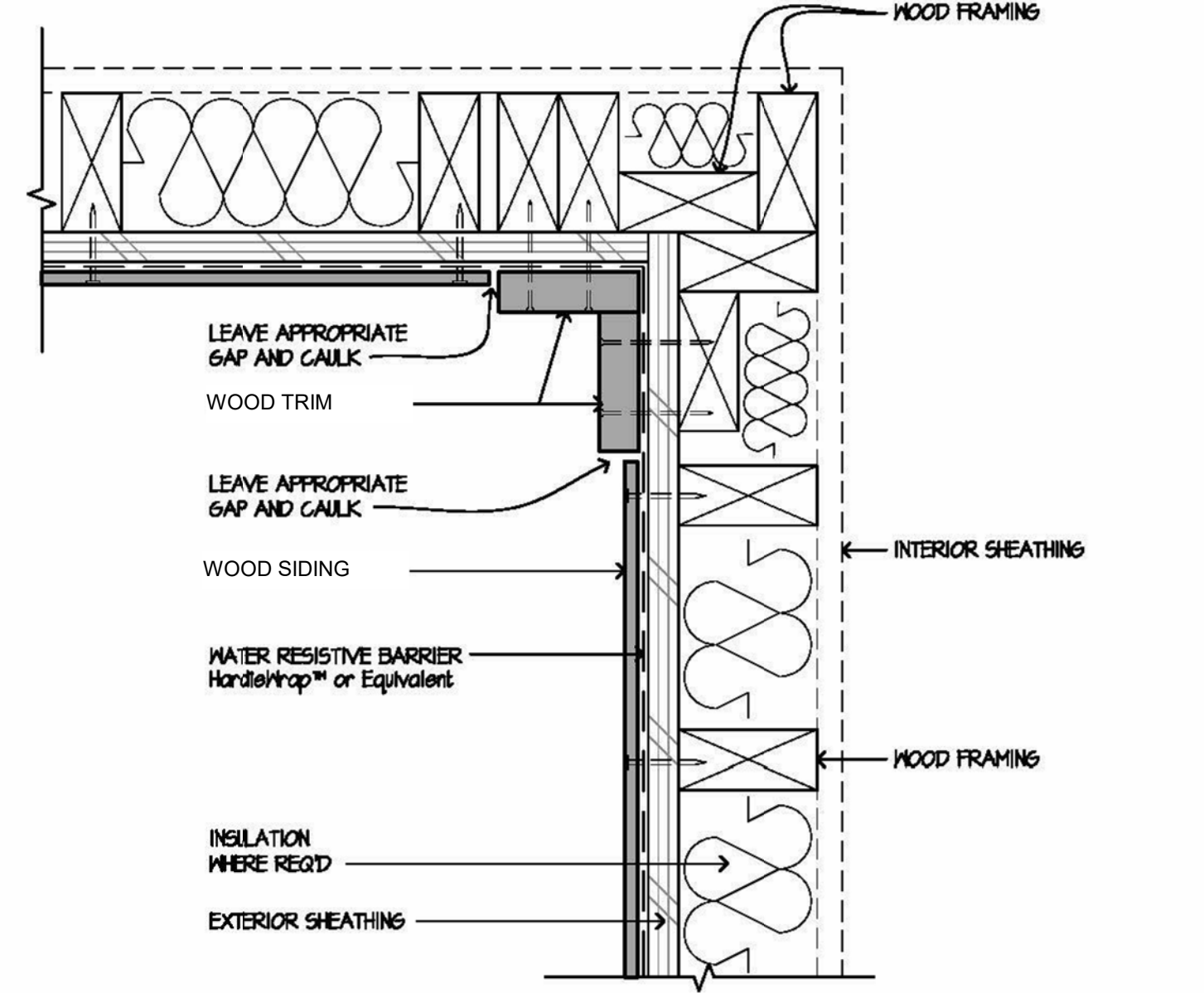
10 DOOR / WINDOW JAMB SCALE: 3/4"=1'-0"



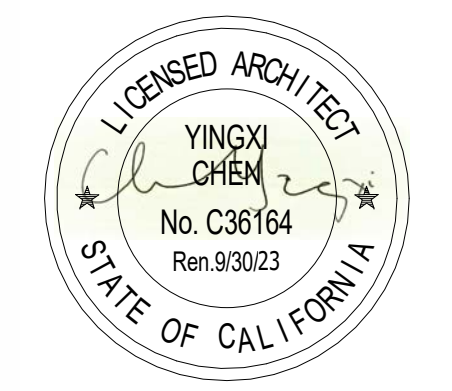
7 FIXTURE PENETRATION SCALE: 3/4"=1'-0"



4 WINDOW SILL SCALE: 3/4"=1'-0"



1 INSIDE CORNER SCALE: 3/4"=1'-0"



VIA DEL POZO RESIDENCE
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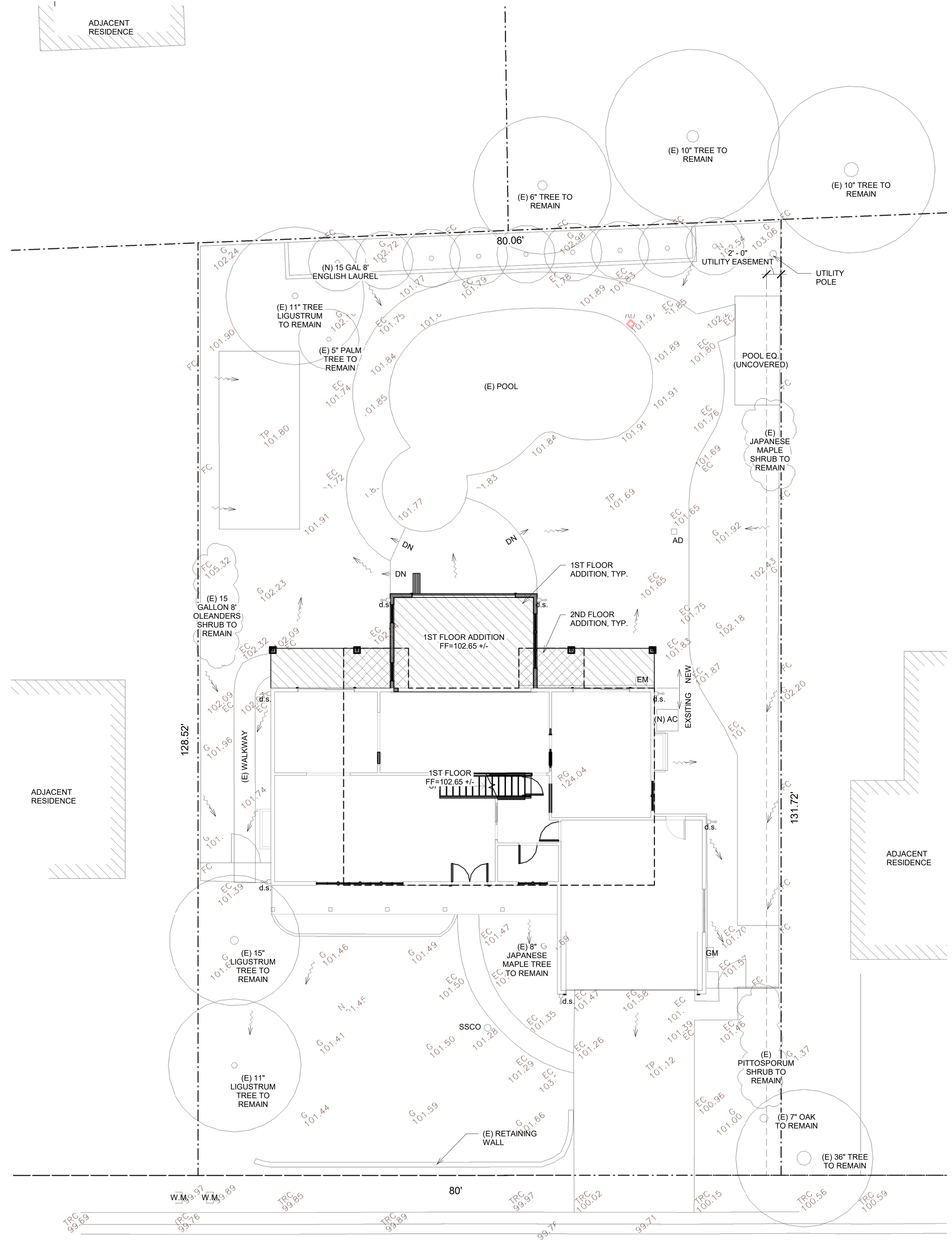
REVISIONS

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JOB NO.	
DRAWN	Author
DATE	7/1/2021
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FILENAME	

A7.1
 SIDING DETAILS

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 C:\Users\yngchen\OneDrive\Projects\Los Altos-Via Del Pozo\Via Del Pozo Residence.rvt
 C1 GRADING & DRAINAGE PLAN



1 GRADING & DRAINAGE PLAN
 1/8" = 1'-0"

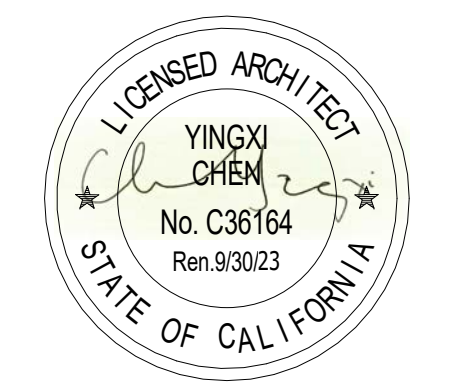


GRADING & DRAINAGE NOTES

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ARCHITECT/ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" 800-642-2444 PRIOR TO EXCAVATION.
- THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA. AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
- UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
- ANY CONSTRUCTION WITHIN THE CITY RIGHT OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND / OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS- ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

UTILITY NOTES

- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL GRAVITY SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION. ALL WORK FOR GRAVITY SYSTEMS SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION ELBOW AND TEE SHOULD BE AVOIDED.
- CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND / OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS.
- A MINIMUM OF 6 INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINE.
- A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5 FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

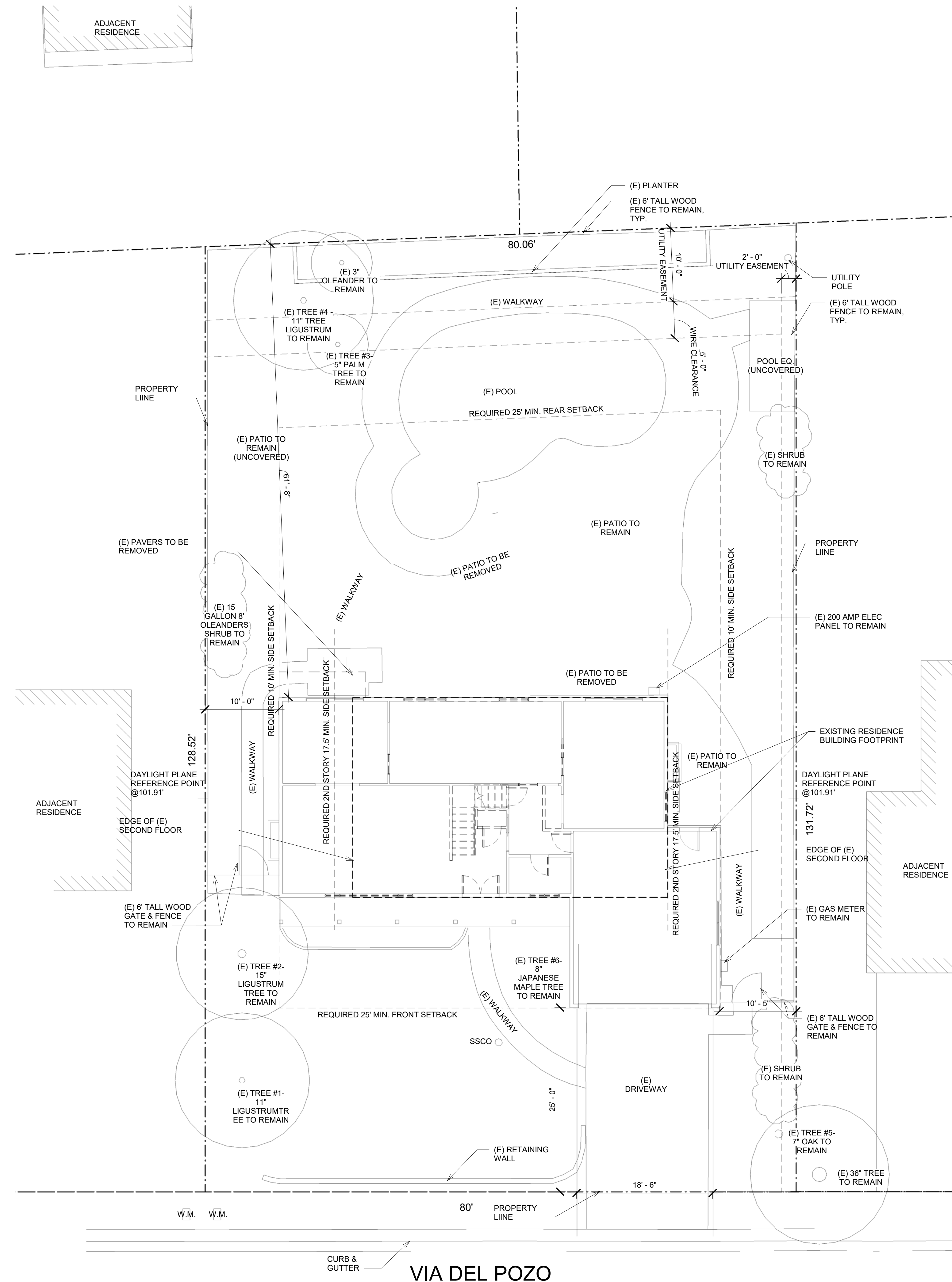


VIA DEL POZO RESIDENCE
APN:167-13-033
 JINGQIAN XU/
 XIAOCHUAN WANG

1051 VIA DEL POZO,
 LOS ALTOS, CA 94022
 REVISIONS

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JOB NO.	-
DRAWN	Author
DATE	7/1/2021
SCALE	1/8" = 1'-0"
FILENAME	

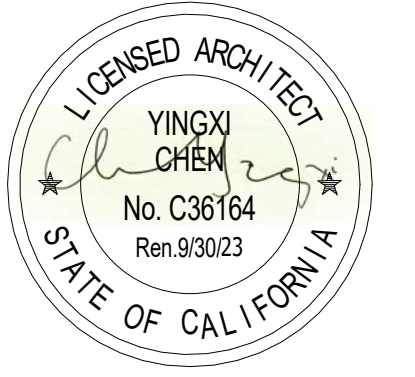
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 D1 DEMO/ EXISTING SITE PLAN



1 DEMO / EXISTING SITE PLAN
1/8" = 1'-0"



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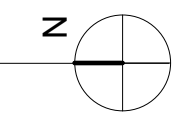
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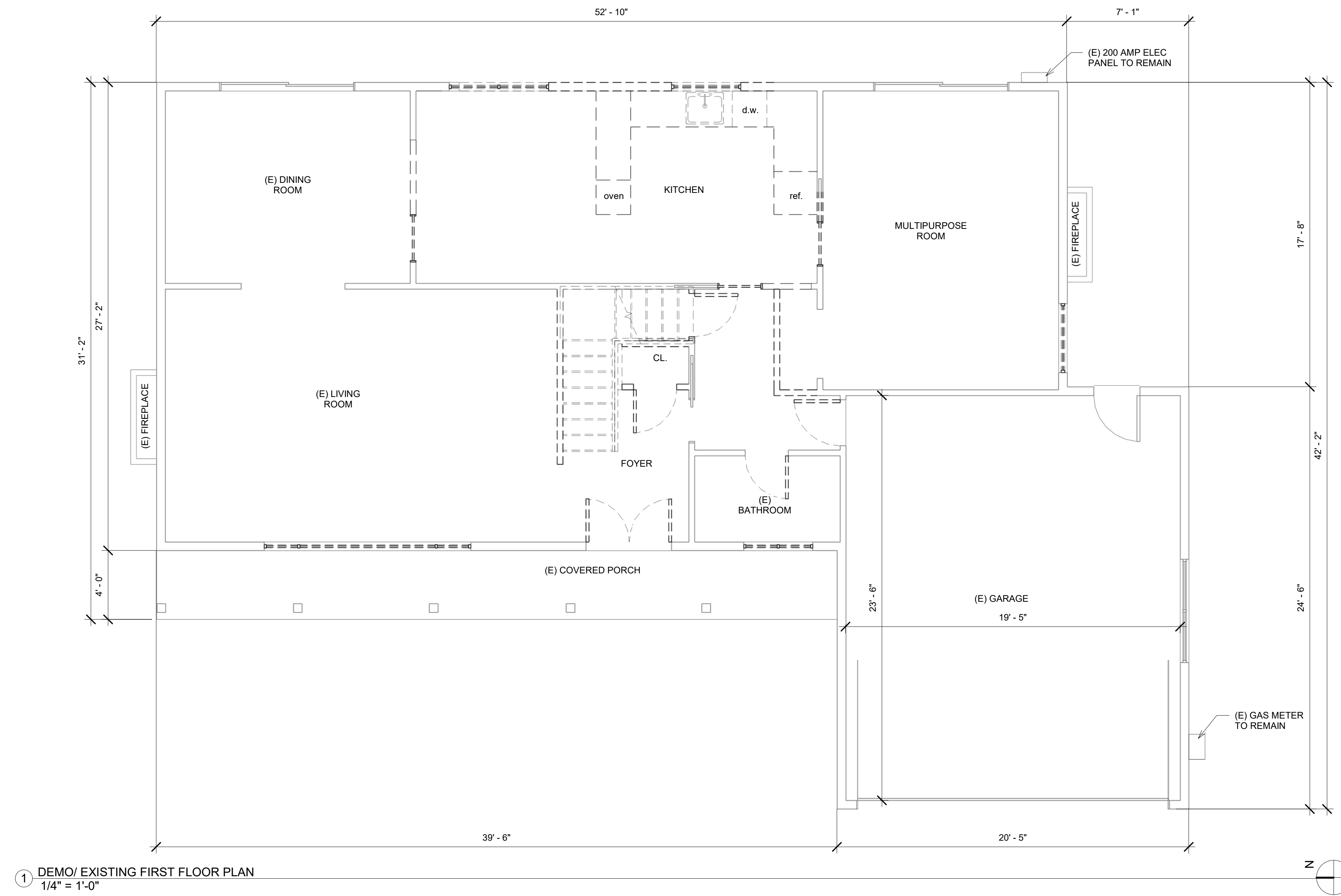
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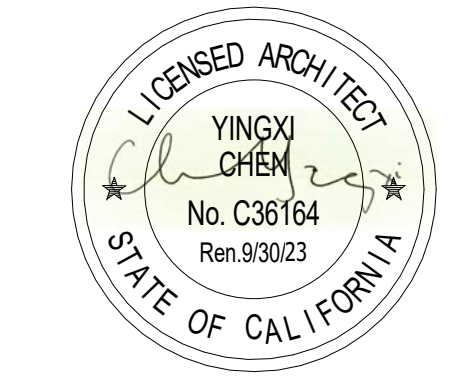
D1

DEMO/ EXISTING SITE PLAN





① DEMO/ EXISTING FIRST FLOOR PLAN
 1/4" = 1'-0"



**VIA DEL POZO
 RESIDENCE**
 APN:167-13-033

JINGQIAN XU/
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 LOS ALTOS, CA 94022
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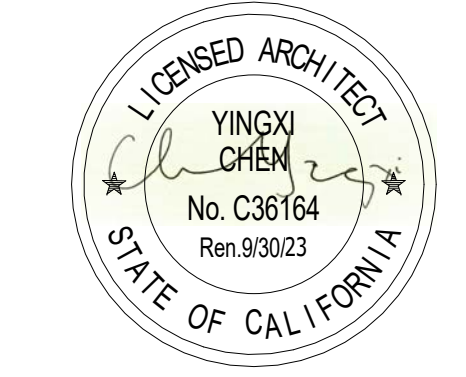
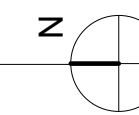
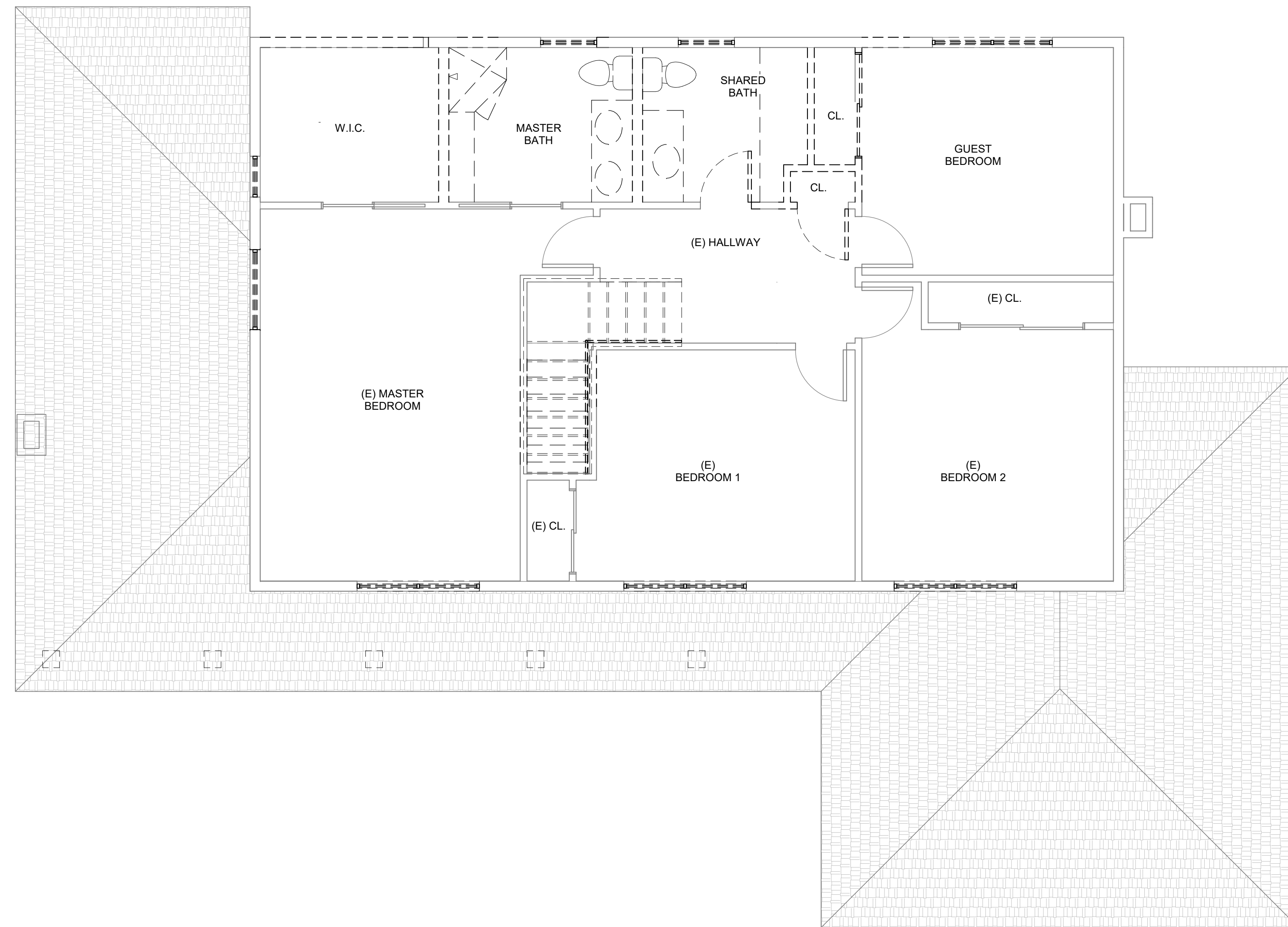
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JOB NO.	-
DRAWN	Author
DATE	7/1/2021
SCALE	1/4" = 1'-0"
FILENAME	

D2.1
 DEMO/ EXISTING FIRST
 FLOOR PLAN



① DEMO/ EXISTING SECOND FLOOR PLAN
 1/4" = 1'-0"



**VIA DEL POZO
 RESIDENCE**
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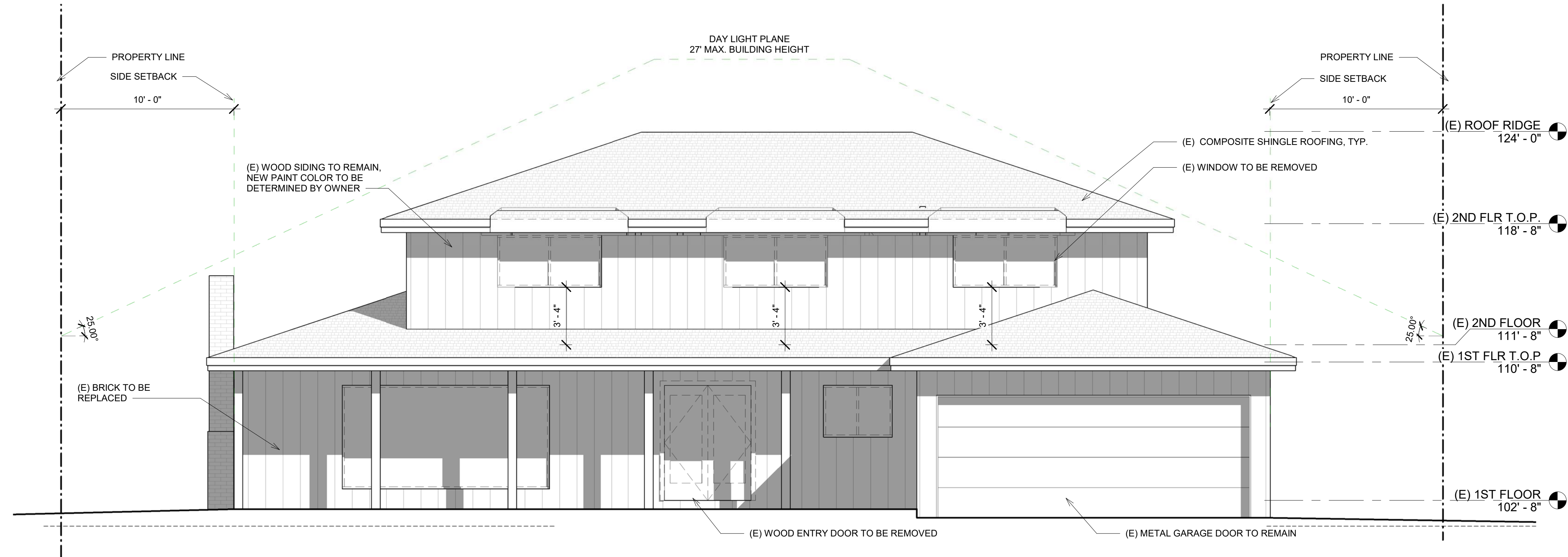
1051 VIA DEL POZO,
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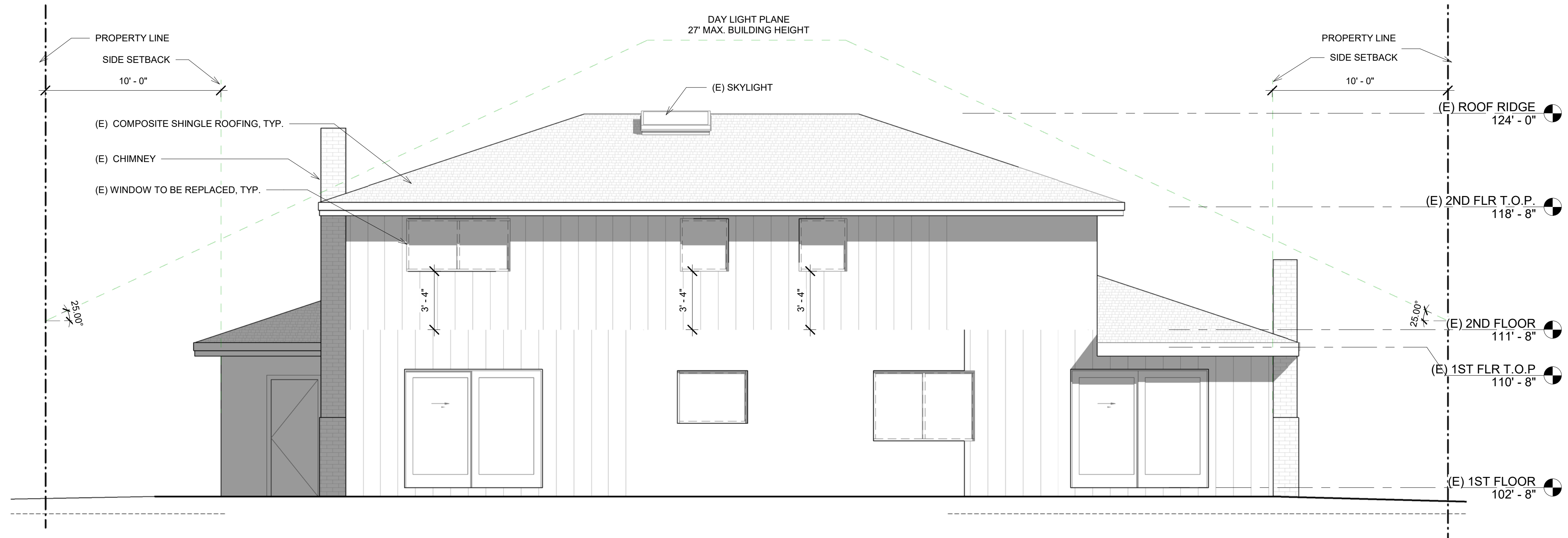
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D2.2
 DEMO/ EXISTING SECOND
 FLOOR PLAN





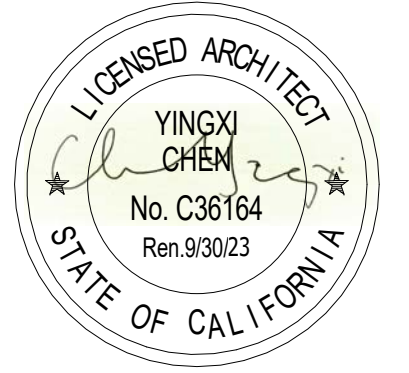
① (E) FRONT (WEST) ELEVATION
1/4" = 1'-0"



② (E) REAR (EAST) ELEVATION
1/4" = 1'-0"



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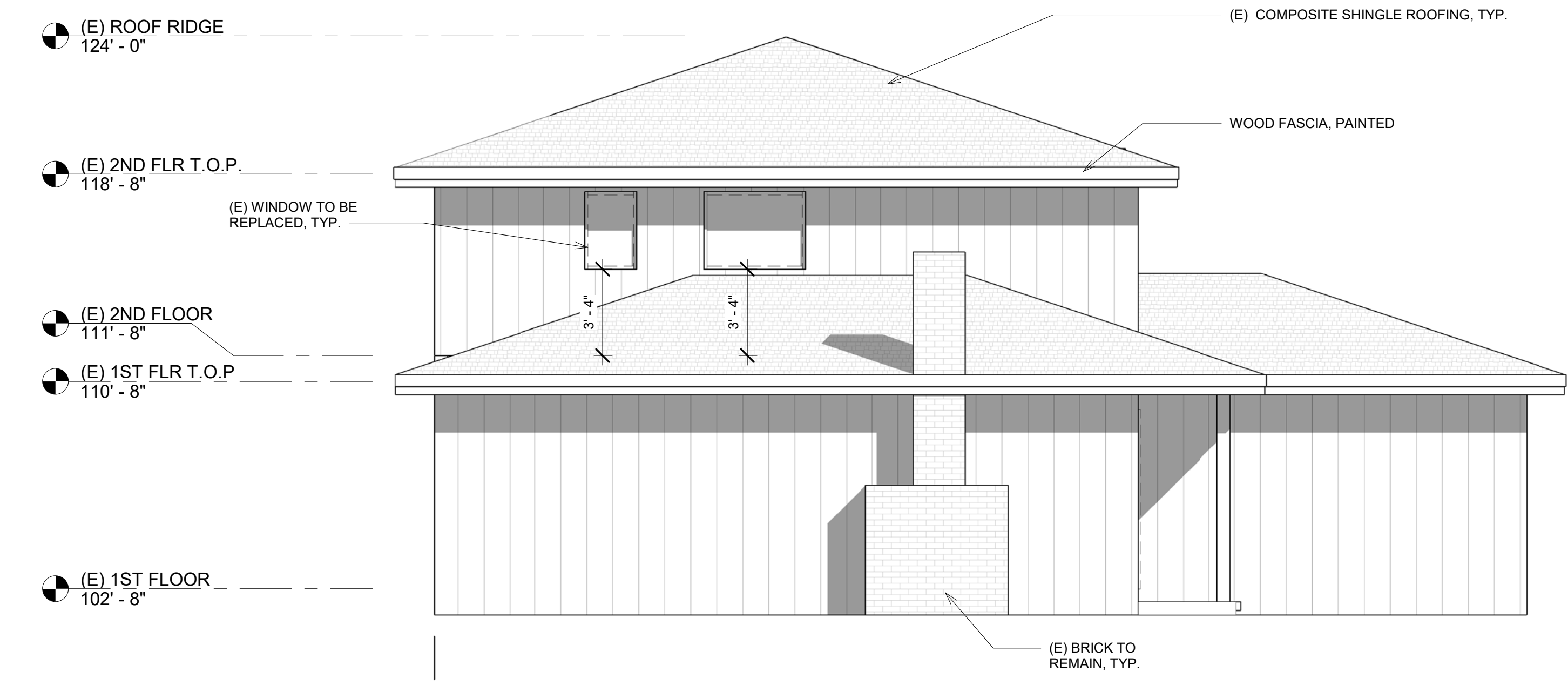
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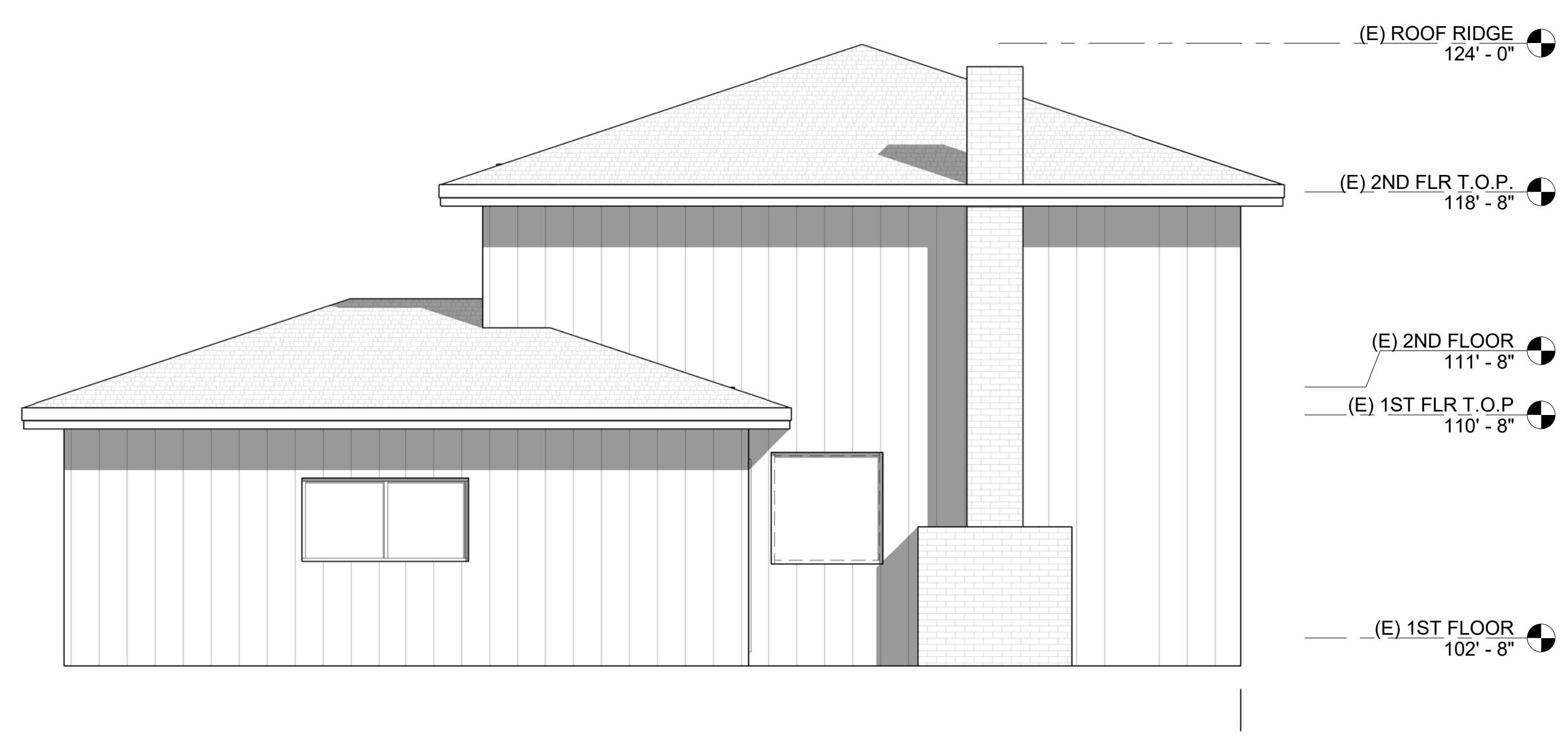
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D3.1

EXISTING ELEVATIONS



① (E) LEFT (NORTH) ELEVATION
1/4" = 1'-0"



② (E) RIGHT (SOUTH) ELEVATION
1/4" = 1'-0"



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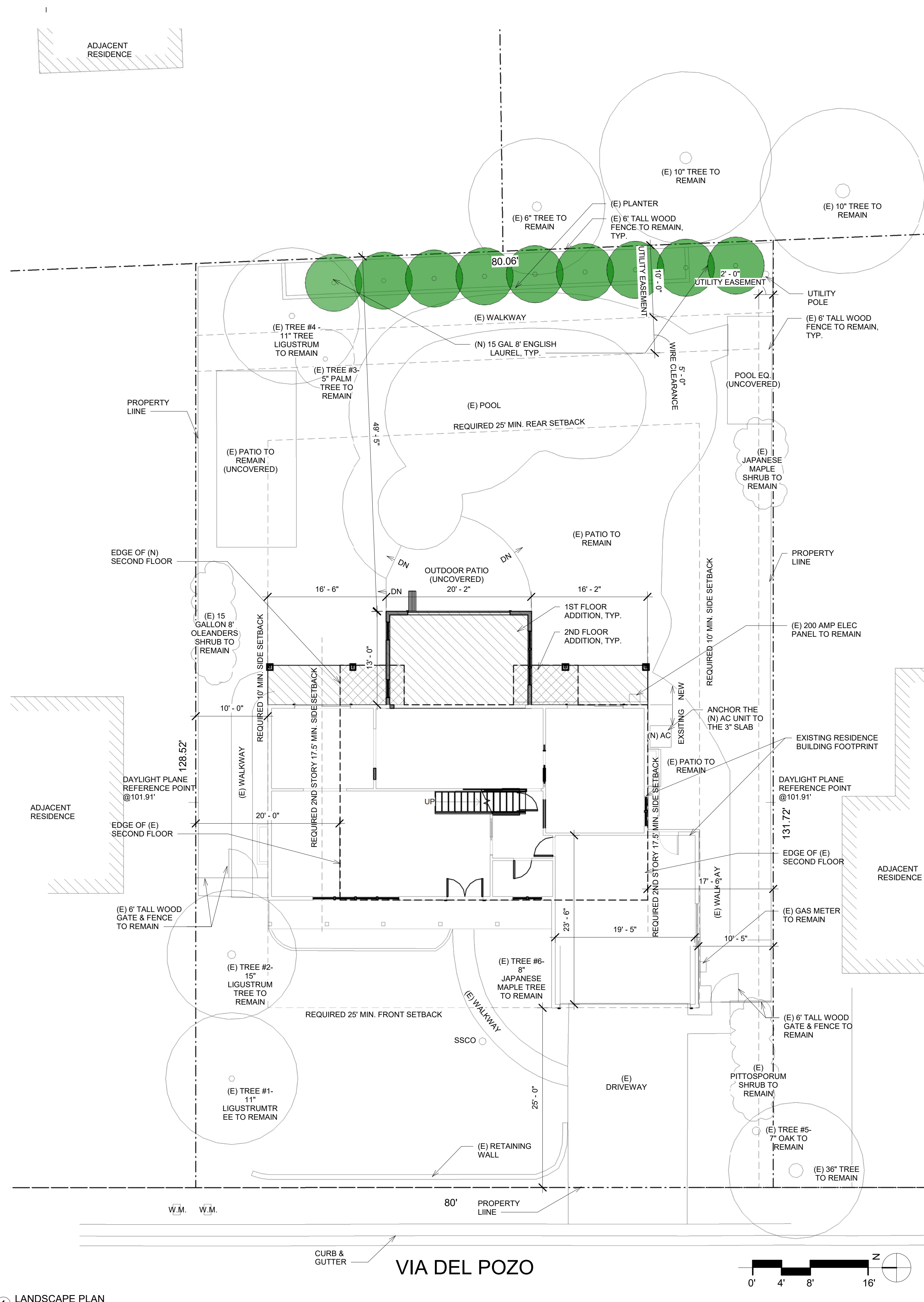
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FILENAME	

D3.2
 EXISTING ELEVATIONS



COMMON NAME ENGLISH LAUREL
BOTANICAL PRONUNCIATION PROO-NUS LAR-OH-SER-AY-SUS
AVERAGE SIZE AT MATURITY QUICKLY REACHES 12 FT. TALL, 8 FT. WIDE, LARGER WITH AGE.
BLOOM TIME SPRING
DECIDUOUS/ EVERGREEN EVERGREEN
FLOWER ATTRIBUTE FRAGRANT, SHOWY FLOWERS
FLOWER COLOR WHITE
FOLIAGE COLOR GREEN
GARDEN STYLE CONTEMPORARY, COTTAGE, MEDITERRANEAN
GROWTH HABIT SPREADING
GROWTH RATE FAST
LANDSCAPE USE BORDER, HEDGE, MASS PLANTING, PRIVACY SCREEN, WINDBREAK, WOODLAND GARDEN, COASTAL EXPOSURE, WILDLIFE GARDEN, DRY SHADE, URBAN GARDEN
LIGHT NEEDS FULL SUN, PARTIAL SUN
SOIL NEEDS TREE & SHRUB FOOD
SPECIAL FEATURE ORNAMENTAL BERRIES, TOLERATES POOR SOILS, YEAR-ROUND INTEREST, FAST GROWING, BIRD FRIENDLY, TOLERATES URBAN POLLUTION, TOLERATES ROAD SALT
WATER NEEDS MODERATE
WATERING NEEDS WATER REGULARLY - WEEKLY, OR MORE OFTEN IN EXTREME HEAT.



1 LANDSCAPE PLAN
 1/8" = 1'-0"

GENERAL NOTES



VIA DEL POZO
 RESIDENCE
 APN:167-13-033

JINGQIAN XU/
 XIAOCHUAN WANG

1051 VIA DEL POZO,
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REVISIONS

DESIGN REVIEW

JOB NO.	-
DRAWN	Author
DATE	7/1/2021
SCALE	1/8" = 1'-0"
FILENAME	

L1
 LANDSCAPE PLAN



739 SEMINOLE WAY // PALO ALTO, CALIFORNIA 94303 // T 916.872.0396

