

ABBREVIATIONS			
(REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL ABBREVIATIONS)			
AC. TILE	ACOUSTIC TILE	LAV.	LAVATORY
ADJ.	ADJUSTABLE	LAM.	LAMINATE
ALUM.	ALUMINUM	M.B.	MACHINE BOLT
A.B.	ANCHOR BOLT	M.H.	MANHOLE
APPROX.	APPROXIMATELY	MFG.	MANUFACTURER
A.C.	ASPHALTIC CONCRETE	M.O.	MATERIAL
A.F.F.	ABOVE FINISHED FLOOR	MAX.	MAXIMUM
@	AT	MATL.	MATERIAL
BLKG.	BLOCKING	MECH.	MECHANICAL
BD.	BOARD	MTL.	METAL
BOT.	BOTTOM	MIN.	MINIMUM
BLDG.	BUILDING	MISC.	MISCELLANEOUS
CAB.	CABINET	MTD.	MOUNTED
C.I.	CAST IRON	(N)	NOT IN CONTRACT
C.B.	CATCH BASIN	N.I.C.	NOT TO SCALE
CLG.	CEILING	N.T.S.	NOT TO SCALE
CEM.	CEMENT	NO. or #	NUMBER
C.C. or O.C.	CENTER TO CENTER	OB.S.	OBSCURE
CER. TILE	CENTERLINE	O.C.	ON CENTER
C.O.	CLEANOUT	OPNG.	OPENING
C.O.T.G.	CLEANOUT TO GRADE	OPP.	OPPOSITE
CLR.	CLEAR	O.H.	OPPOSITE HAND
RDW.	REDWOOD	O.F.O.S.	OUTSIDE FACE OF STUD
C.W.	COLD WATER	O.D.	OVERFLOW DRAIN and/or
COL.	COLUMN	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	O.F.C.I.	OWNER FURNISHED and
C.P.	CONCRETE PIPE		CONTRACTOR INSTALLED
CONST.	CONSTRUCTION	PART.	PARTITION
C.H.	CONSTRUCTION HEART	P.A.F.	POWDER ACTUATED
C.	CONTINUOUS	PL	FASTENER
CTR.	COUNTER	PLAS.	PLASTER
CTSK.	COUNTER SUNK	PW/PLYWD.	PLYWOOD
D.A.	DISABLED ACCESS	PR	PROPERTY LINE
DTL.	DETAIL	P.L.	PENNY (NAILS)
DIA. or Ø	DIAMETER	P.V.C.	POLY VINYL CHLORIDE
DIM.	DIMENSION	Q	
DW.	DISHWASHER	R. or RAD.	RADIUS
DISP.	DISPOSAL	R.W.L.	RAIN WATER LEADER
DR.	DOOR	R.C.P.	REINFORCED CONCRETE
D.S.	DOWNSPOUT	REIN.	REINFORCING
DWG.	DRAWING	REQ'D	REQUIRED
D.F.	DRINKING FOUNTAIN and/or DOUGLAS FIR	R.D.	ROOF DRAIN
EA.	EACH	RM.	ROOM
E.W.	EACH WAY	R.O.	ROUGH OPENING
ELECT.	ELECTRIC or ELECTRICAL	RND. or Ø	ROUND
E.W.C.	ELECTRIC WATER	R.H.M.S.	ROUND HEAD METAL
EL. or ELEV.	ELEVATION	R.H.W.S.	ROUND HEAD WOOD
ENCL.	ENCLOSE and/or ENCLOSURE	S.C.	SOLID CORE
EQ.	EQUAL	SPEC.	SPECIFICATIONS
EQUIP.	EQUIPMENT	SQ. or Ø	SQUARE
(E)	EXISTING	S.S.	STAINLESS STEEL
EX.	EXPANSION	STD.	STANDARD
E.J.	EXPANSION JOINT	STL.	STEEL
EXP.	EXPOSED	STRUCT.	STRUCTURAL
EXT.	EXTERIOR	TEL	TELEPHONE
F.O.C.	FACE OF CONCRETE	T.T.B.	TELEPHONE TERMINAL BOARD
F.O.M.	FACE OF MASONRY	TERR.	TERRAZZO
F.O.S.	FACE OF STUD	T.&G.	TONGUE & GROOVE
FIN.	FINISH	T.J.	TOOLED JOINT
F.E.	FIRE EXTINGUISHER	T.O.B.	TOP OF BEAM
F.E.C.	FIRE EXTINGUISHER CABINET	T.O.C.	TOP OF CURB or CONCRETE
F.H.C.	FIRE HOSE CABINET	T.O.S.	TOP OF STEEL or SHEATHING
F.H.M.S.	FLAT HEAD METAL SCREW	T.O.W.	TOP OF WALK TYPICAL
F.H.W.S.	FLAT HEAD WOOD SCREW	U.O.N.	UNLESS OTHERWISE NOTED
FL. or FLR.	FLOOR	V.T.R.	VENT THROUGH ROOF
F.D.	FLOOR DRAIN	VERT.	VERTICAL
FTG.	FOOTING	V.G.	VERTICAL GRAIN
FND.	FOUNDATION	V.C.T.	VINYL COMPOSITION TILE
GALV.	GALVANIZED	V.C.P.	VITRIFIED CLAY PIPE
G.I.	GALVANIZED IRON	W.W.C.	VINYL WALL COVERING
GA.	GAUGE	W.C.	WATER CLOSET
GL.	GLASS	W.H.	WATER HEATER
GLU-LAM	GLUE-LAMINATED	WP.	WATERPROOF
GRID.	GRADE	W/	WITH
GYP. BD.	GYPSUM BOARD	W/O	WITHOUT
HDW.	HARDWARE	WOD.	WOOD
HT.	HEIGHT	W.W.M.	WELDED WIRE MESH
H.C.	HOLLOW CORE		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
H.B.	HOSE BIBB		
HR.	HOUR		
INSUL.	INSULATION		
INT.	INTERIOR		
INV.	INVERT		
JT	JOINT		

SYMBOLS	
REFER TO ARCHITECTURAL FLOOR PLAN SHEETS AND CONSULTANT DRAWINGS FOR ADDITIONAL SYMBOLS AND REFERENCE DESIGNATIONS	
DIMENSION REFERENCE	MATERIALS REFERENCE
FACE OF OBJECT	EARTH
CENTERLINE OF OBJECT	GRAVEL / ROCK
SECTION REFERENCE	CONCRETE
SECTION NUMBER	CONCRETE BLOCK
SHEET WHERE APPEARS	SAND, GROUT OR PLASTER
DETAIL REFERENCE	STEEL
DETAIL NUMBER	WOOD, FINISH GRADE
SHEET WHERE APPEARS	PLY-WOOD
SCHEDULE REFERENCE	WOOD, CONTINUOUS MEMBER
PLAN REF. GRID	WOOD, BLOCKING
DOOR ID	
WINDOW ID	
REVISION MARKER	
PLAN KEY NOTES	

DEFERRED APPROVAL ITEMS	

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2,106 square feet (.17%)	2,207 square feet (.18%)	4,234 square feet (.35%)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 2,003 sq ft 2nd Flr. 1,222 sq ft Total 3,225 sq ft (.26%)	1st Flr. 2,024 sq ft 2nd Flr. 1,267 sq ft Total 3,291 sq ft (.27%)	4,234 square feet (.35%)
SETBACKS:			
Front	20' 6" feet	25 feet	25 feet
Right side (1 st /2 nd)	9' 1/2" feet	48' 9' 1/2" feet	25 feet
Left side (1 st /2 nd)	9' 11" feet/17.5 feet	10' feet/17.5 feet	10 feet/17.5 feet
HEIGHT:	26'11" feet	26'11" feet	27 feet

SQUARE FOOTAGE BREAKDOWN		
	Existing	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2,658 square feet	2,724 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	567 (garage) square feet	567 (garage) square feet

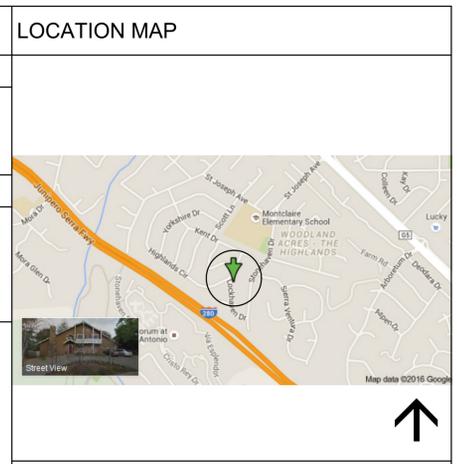
LOT CALCULATIONS	
NET LOT AREA:	12,098 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	1,401 square feet (50%) 1,401 / 2,786
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 4,436 sq ft Existing softscape (undisturbed) area: 7,662 sq ft New softscape (new or replaced landscaping) area: 0 sq ft <i>Sum of all three should equal the site's net lot area</i> 12,098

PROJECT TEAM	
OWNER	ENERGY COMPLIANCE
LYNN & ROBIN CHAN 871 LOCKHAVEN DR LOS ALTOS, CA 94024 T: (650) 703-0322	
STRUCTURAL ENGINEER	SURVEYOR / CIVIL ENGINEER
	TOM H. MILO, PLS TKM LAND SURVEYORS, LP 2250 BOHANNON DRIVE SANTA CLARA, CA 95050 T: (408) 615-8855

DRAWINGS INDEX	
ARCHITECTURAL	
A-1.0	PROJECT INFORMATION
S-1	SURVEY
A-1.1	SITE PLAN
A-1.2	AREA DIAGRAMS
A-1.3	NEIGHBORHOOD CONTEXT
A-2.0	(E) DEMO 1ST FLOOR PLAN
A-2.1	(E) DEMO 2ND FLOOR PLAN
A-2.2	(N) PROPOSED 1ST FLOOR PLAN
A-2.3	(N) PROPOSED 2ND FLOOR PLAN
A-2.4	(N) PROPOSED ROOF PLAN
A-3.0	EXTERIOR ELEVATIONS
A-3.1	EXTERIOR ELEVATIONS
A-4.0	BUILDING SECTIONS

PROJECT INFORMATION	
APN	342 11 134
COUNTY	SANTA CLARA
ZONING DISTRICT	R-1 10
FLOOD ZONE	N/A
HISTORIC DISTRICT	No
OCCUPANCY	R-3 / U
BUILDING TYPE	V-B
SITE AREA	12,098
ALLOWED FLOOR AREA	4,234 sq.ft.
MAX COVERAGE	2,048 sq.ft.
MIN. SETBACK	F= 25' S(i)=10' 1st Story 17.5' 2nd Story S(e)= 20' R=25' *
MAXIMUM HEIGHT (PROPOSED)	+ 24' 8"
FIRST FLOOR	1,457 sq.ft.
SECOND FLOOR	1,267 sq.ft.
GARAGE	567 sq.ft.
FLOOR AREA (sq.ft.) including garage	3,291 sq.ft.
PROPOSED COVERAGE (sq.ft.)	(1st Floor 2,024) + (Front Porch 183) = 2,207
	2,207 / 12,098 = 18%

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SCOPE OF WORK	
MINOR ADDITION AT FIRST FLOOR-LIVING ROOM AREA.	
REMOVAL OF NON CONFORMING FRONT BALCONY AND POSTS.	
REMODELING OF KITCHEN AND FAMILY ROOM AREA.	
REMODELING OF UPSTAIRS BATHROOMS, NEW LIVABLE SPACE WITHIN ATTIC SPACE. NEW CLERESTORY VOLUME.	
MODIFIED ROOF RIDGE.	
NEW EXTERIOR FINISHES.	
NEW SHINGLES ROOFING AND WINDOWS.	

APPLICABLE CODES	
2013 California Building Code	
2013 California Residential Building Code	
2013 California Mechanical Code	
2013 California Plumbing Code	
2013 California Electrical Code	
2013 California Energy Code	
2013 Calgreen	

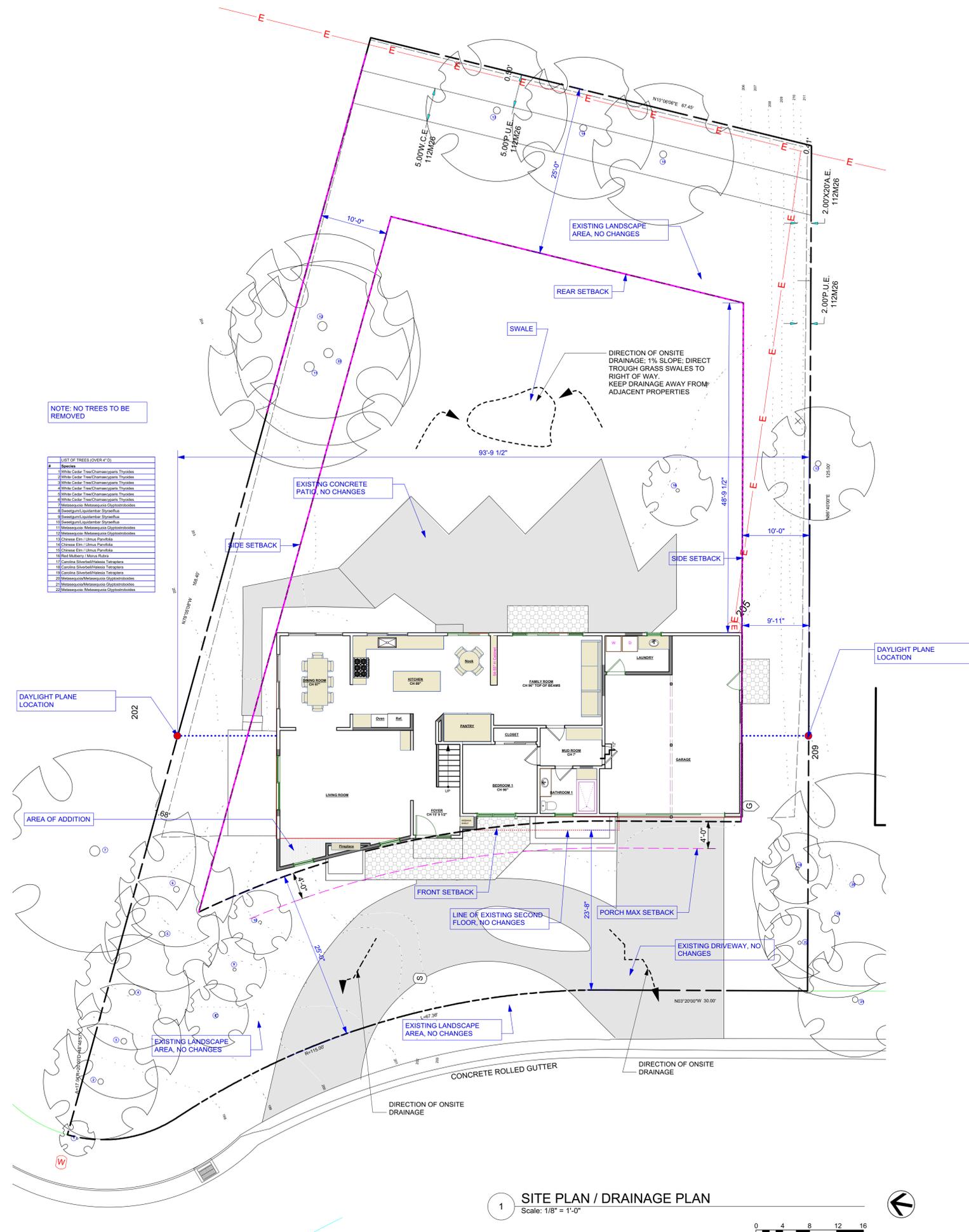
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CHAN RESIDENCE

871 LOCKHAVEN DR. LOS ALTOS

Revision	Revision	Revision
CHAN RESIDENCE ADDITION		
871 LOCKHAVEN DR. LOS ALTOS		
PROJECT INFO		
Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG
07/18/2016		
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12-31-17 15		
A 1.0		



- DRAINAGE NOTES**
- 1- ALL DOWNSPOUTS AND FOUNDATION PERIMETER DRAINS TO BE CONNECTED TO SPLASH BLOCKS AWAY FROM BUILDING
 - 2- SURFACE DRAINAGE TO FLOW THROUGH GRASS SWALES
 - 3- NOT USED
 - 4- ONLY TREES INDICATED TO BE REMOVED SHALL BE REMOVED
 - 5- SLOPE GRADE AWAY FROM BUILDING 5% FOR A DISTANCE OF 5' AWAY FROM BUILDING. PROVIDE 2% SLOPE ON IMPERVIOUS SURFACES
 - 6- NOT USED
 - 7- ENSURE PROPER LOT DRAINAGE PER CHAPTER 11 CPC 2013 FOR LOCATION OF CATCH BASINS TO THE PROPERTY LINES.
 - 8- THE RUNOFF SHOULD REMAIN ON THE PROPERTY NOT BE TAKEN TO A PUBLIC WAY.

NOTE: NO TREES TO BE REMOVED

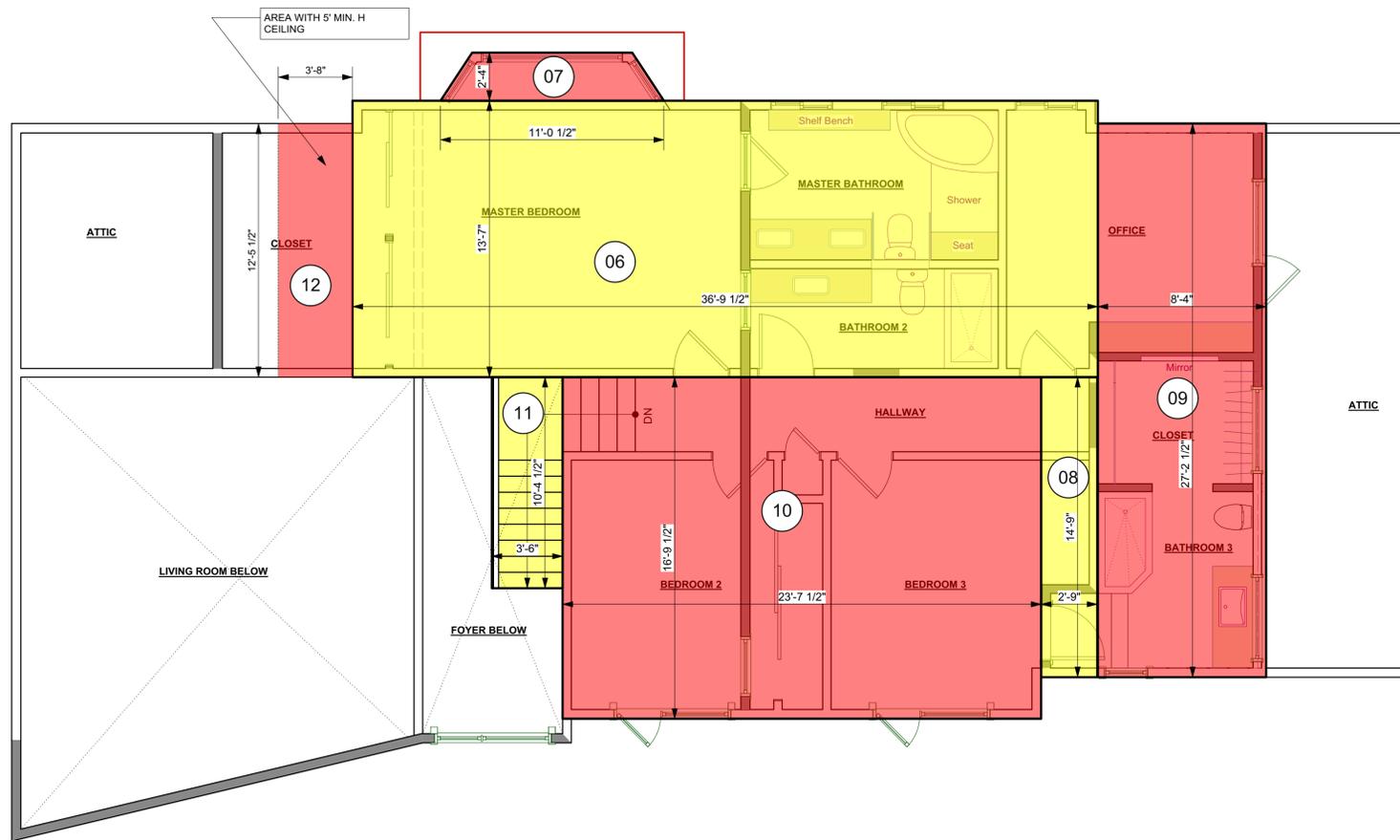
LIST OF TREES COVER 4" D

1	Species
2	White Cedar Tree/Chamaecyparis Thyoides
3	White Cedar Tree/Chamaecyparis Thyoides
4	White Cedar Tree/Chamaecyparis Thyoides
5	White Cedar Tree/Chamaecyparis Thyoides
6	White Cedar Tree/Chamaecyparis Thyoides
7	Metasequoia Metasequoia Glyptostrobodes
8	Sequoiya Libanioides/Thuja
9	Sequoiya Libanioides/Thuja
10	Sequoiya Libanioides/Thuja
11	Metasequoia Metasequoia Glyptostrobodes
12	Metasequoia Metasequoia Glyptostrobodes
13	Chinese Elm/Ulmus Parvifolia
14	Chinese Elm/Ulmus Parvifolia
15	Chinese Elm/Ulmus Parvifolia
16	Red Mulberry/Morua Rubra
17	Ceanothus Shrub/Retama Toxicaria
18	Ceanothus Shrub/Retama Toxicaria
19	Ceanothus Shrub/Retama Toxicaria
20	Metasequoia Metasequoia Glyptostrobodes
21	Metasequoia Metasequoia Glyptostrobodes
22	Metasequoia Metasequoia Glyptostrobodes

1 SITE PLAN / DRAINAGE PLAN
Scale: 1/8" = 1'-0"

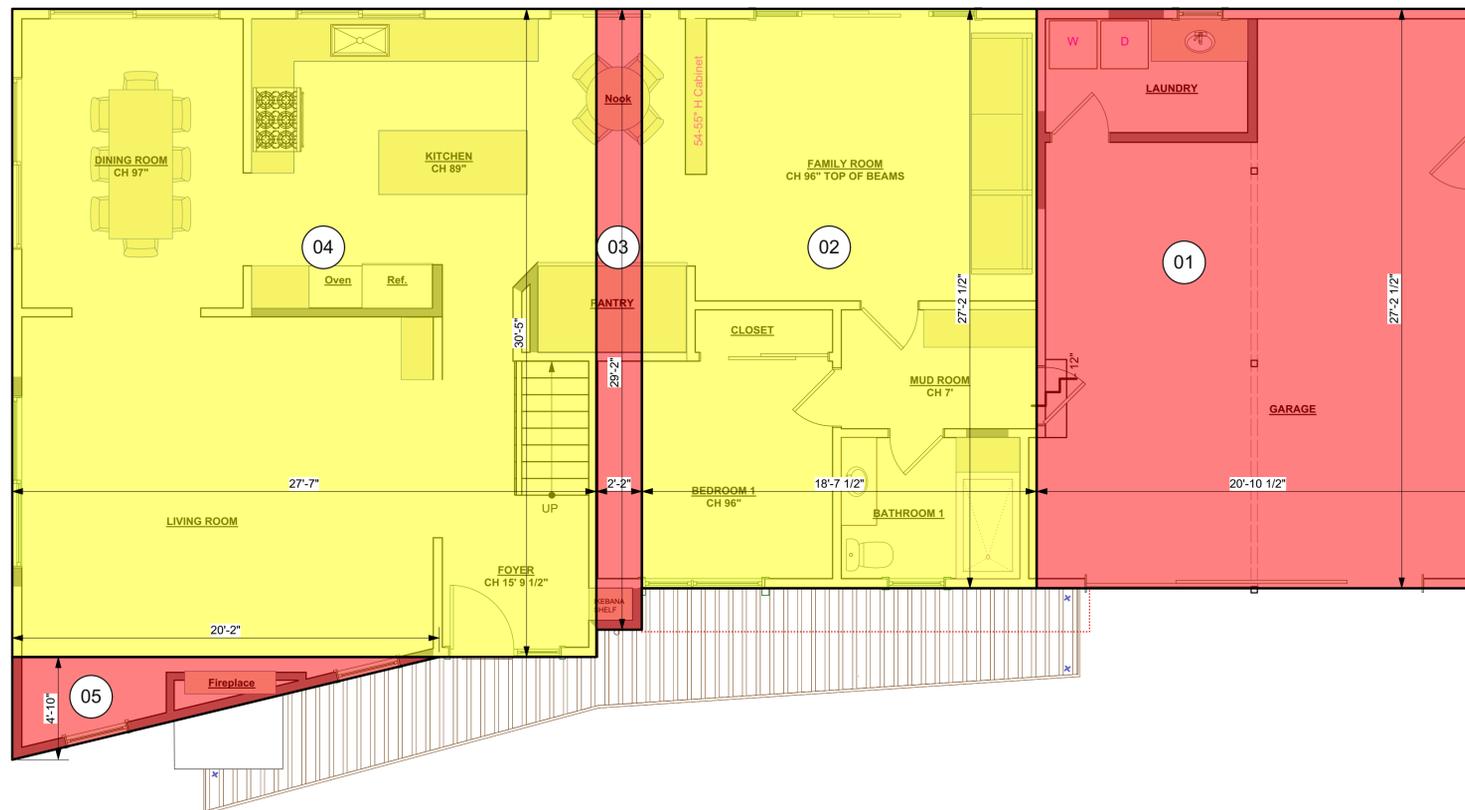


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A 1.1		



2 2ND FLOOR PLAN- AREA DIAGRAM
Scale: 1/4" = 1'-0"

SECTION # (SHAPE)	SIDE A	SIDE B	FLOOR AREA OF SECTION FOOTPRINT
01- RECTANGLE	27'-2 1/2"	20'-1 1/2"	567 sq.ft.
			TOTAL GARAGE
			567 sq.ft.
02- RECTANGLE	27'-2 1/2"	18'-7 1/2"	507 sq.ft.
03- RECTANGLE	29'-1 1/2"	2'-2"	63 sq.ft.
04- RECTANGLE	30'-5 1/2"	27'-7"	839 sq.ft.
05- TRIANGLE	4'-10"	20'-2"	48 sq.ft.
			TOTAL 1ST FLOOR
			1,457 sq.ft.
06- RECTANGLE	13'-7"	36'-9 1/2"	500 sq.ft.
07- POLYGON	2'-4"	11'-1/2"	22 sq.ft.
08- RECTANGLE	14'-9"	2'-9"	41 sq.ft.
09- RECTANGLE	27'-2 1/2"	8'-4"	226 sq.ft.
10- RECTANGLE	16'-9 1/2"	23'-7 1/2"	397 sq.ft.
11- RECTANGLE	10'-4 1/2"	3'-6"	36 sq.ft.
12- RECTANGLE	12'-5 1/2"	3'-8"	45 sq.ft.
			TOTAL 2ND FLOOR
			1,267 sq.ft.
			TOTAL AREA
			3,291 sq.ft.



1 1ST FLOOR PLAN- AREA DIAGRAM
Scale: 1/4" = 1'-0"

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CHAN RESIDENCE ADDITION
871 LOCKHAVEN DR. LOS ALTOS

AREA DIAGRAMS
Proj. #

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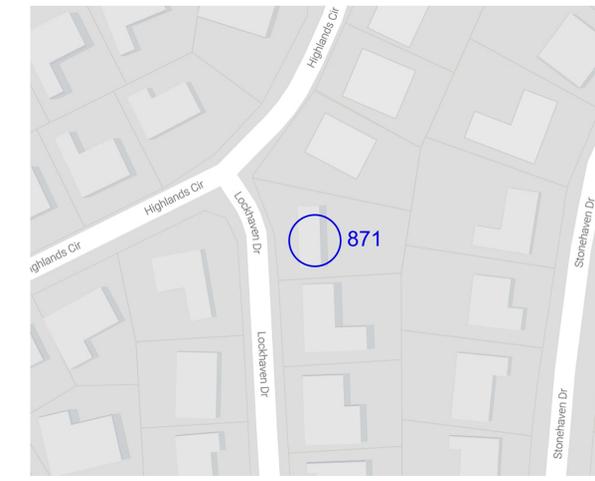
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A 1.2



CROSS FACING HOUSE, SINGLE STORY RANCH STYLE, WOOD SIDING, STUCCO



ADJACENT HOUSE AT LOWER ELEVATION, TWO STORY BIG GABLE ECLECTIC HOUSE WITH WOODEN BALCONY, STUCCO



PROJECT RESIDENCE, EXISTING TWO STORY HOUSE WITH BALCONY



FRONT FACING HOUSE, SINGLE STORY RANCH STYLE, STUCCO



TWO STORY RANCH STYLE HOUSE



REAR HOUSE PSEUDO MEDITERRANEAN SINGLE STORY HOUSE SIDING AND CLAY TILE



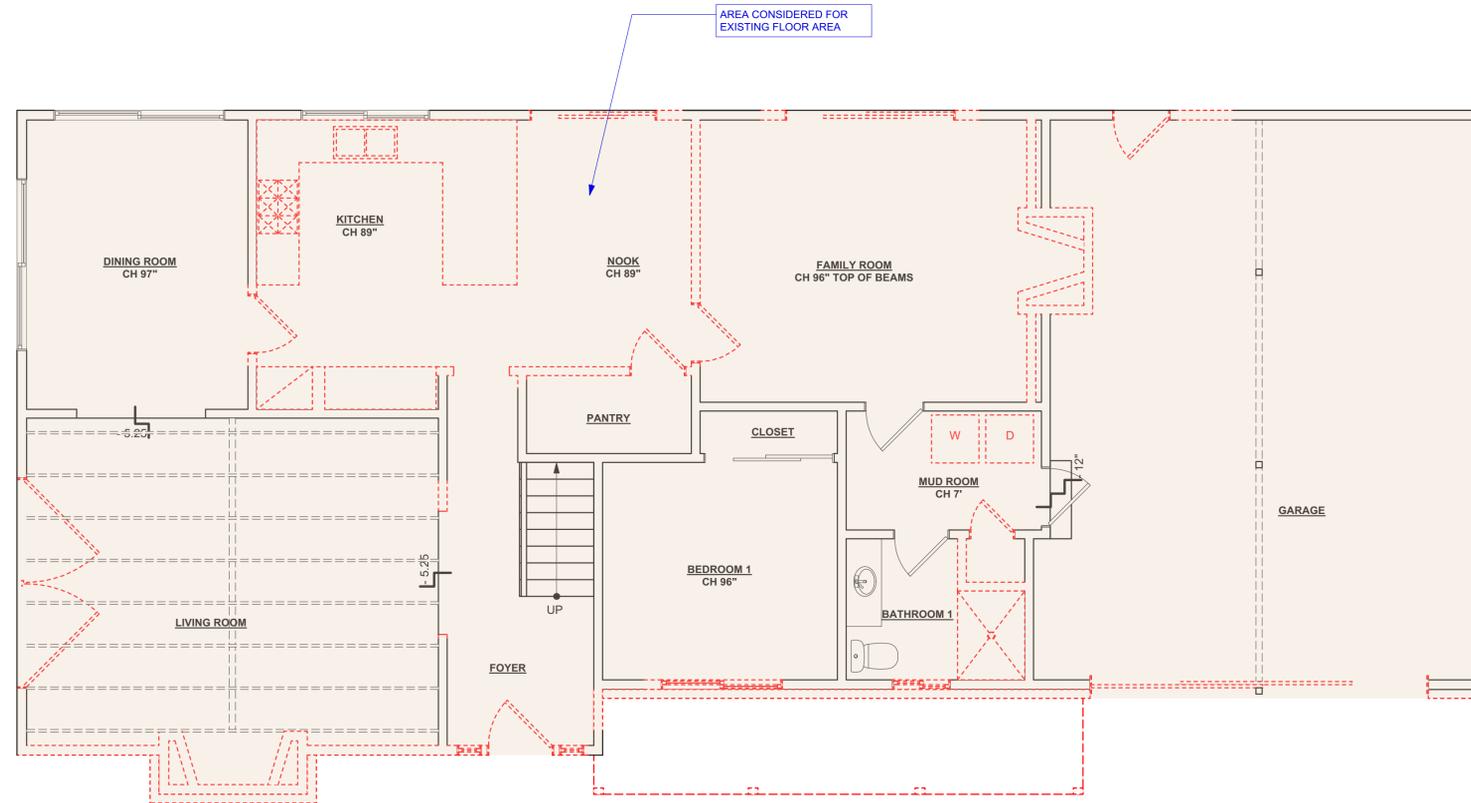
REAR HOUSE COLONIAL TWO STORY HOUSE, REAR BALCONY, WOOD SIDING



ADJACENT HOUSE SINGLE STORY HOUSE RANCH STYLE, STUCCO AND SIDING

NEIGHBORHOOD CONTEXT

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A 1.3		



- GENERAL DEMOLITION NOTES:**
- 01 SECURELY SHORE IN PLACE ALL OVERHEAD STRUCTURES PRIOR TO REMOVAL OF ANY EXISTING SUPPORTING STRUCTURES
 - 02 REMOVE ALL APPLIANCES, CABINETRY AND PLUMBING FIXTURES CAP OFF OR RE-ROUTE PLUMBING AND GAS LINES AS NECESSARY FOR NEW CONSTRUCTION

- WALL LEGEND**
- INDICATES EXISTING WALLS TO REMAIN
 - - - - - INDICATES EXISTING WALLS TO BE REMOVED
 - · · · · INDICATES EXISTING ITEMS TO BE REMOVED



1 (E) DEMO 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
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CHAN RESIDENCE ADDITION
871 LOCKHAVEN DR. LOS ALTOS
Proj. # (E) DEMO 1ST FLOOR PLAN

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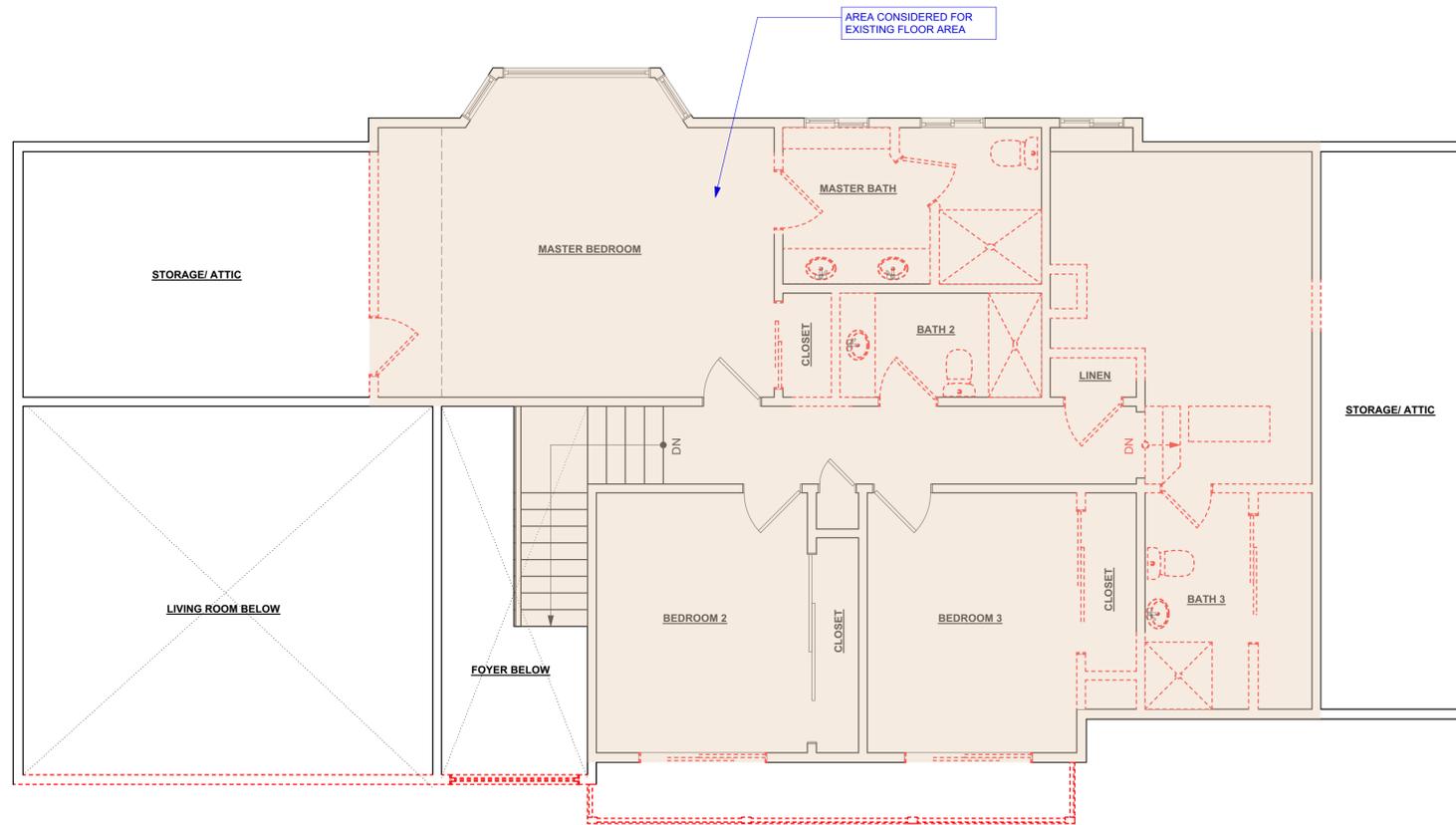
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A 2.0



GENERAL DEMOLITION NOTES:

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- 02 REMOVE ALL APPLIANCES, CABINETS AND PLUMBING FIXTURES CAP OFF OR RE-ROUTE PLUMBING AND GAS LINES AS NECESSARY FOR NEW CONSTRUCTION

WALL LEGEND

- INDICATES EXISTING WALLS TO REMAIN
- INDICATES EXISTING WALLS TO BE REMOVED
- INDICATES EXISTING ITEMS TO BE REMOVED



1 (E) DEMO SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

Revision	
Revision	
Revision	

CHAN RESIDENCE ADDITION
871 LOCKHAVEN DR. LOS ALTOS
Proj. # (E) DEMO 2ND FLOOR PLAN

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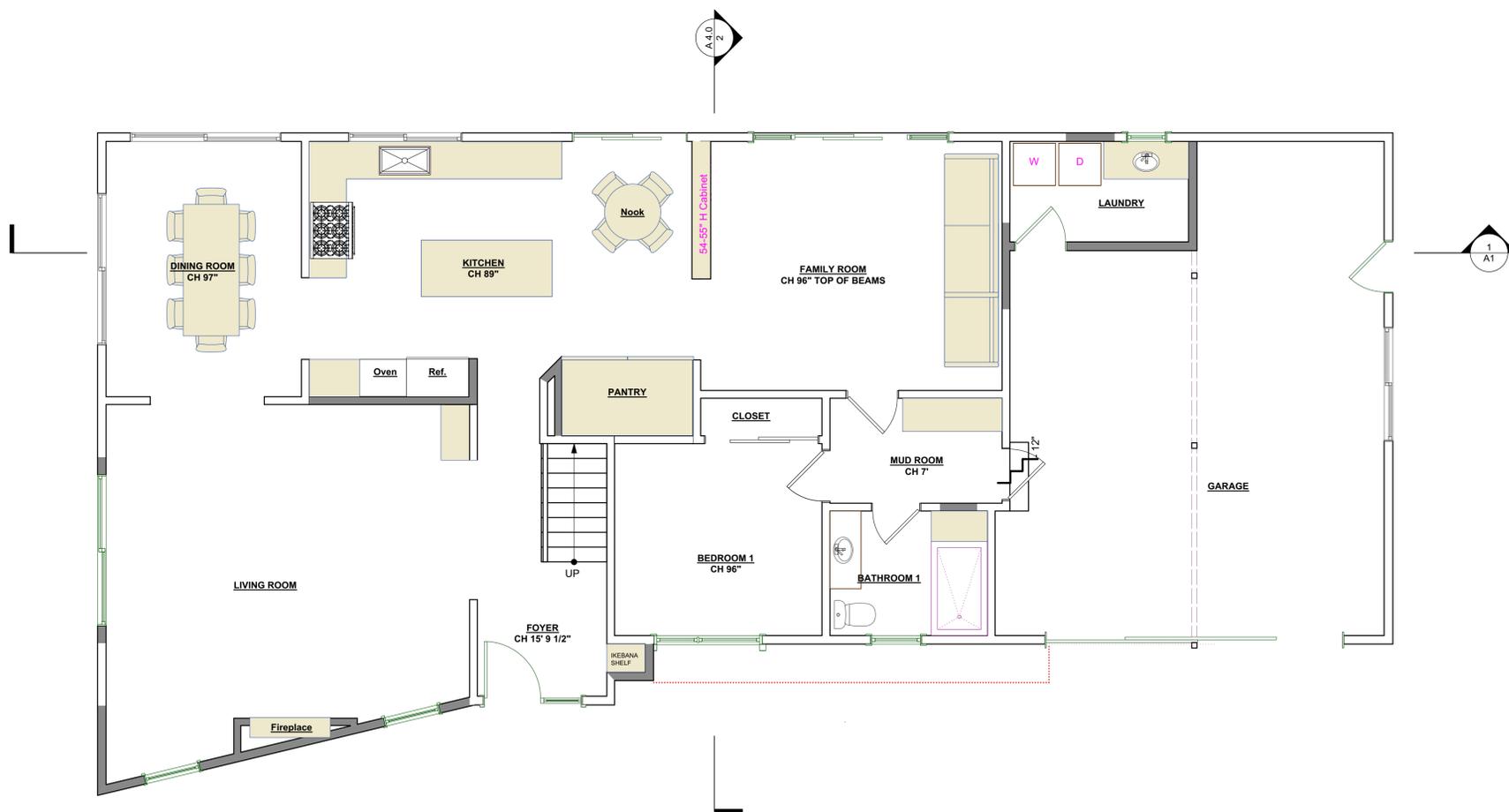
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A 2.1



- GENERAL SHEET NOTES:**
1. REFER TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR EXTENT OF MECHANICAL, ELECTRICAL, AND STRUCTURAL WORK.
 2. ALL EXTERIOR STUD WALLS SHALL HAVE MIN. R-15 FOIL BACKED INSULATION.
 3. REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND STRUCTURAL MEMBER SIZES.
 4. PROVIDE FULLY TEMPERED GLAZING, LAMINATED SAFETY GLASS OR APPROVED PLASTIC IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
 5. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
 6. PROVIDE TEMPERED GLAZING AT HAZARDOUS LOCATIONS, SUCH AS IN DOORS.
 7. TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. PROVIDE MIXING VALVE FOR ALL TUB/SHOWERS
 8. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE AT WATER HEATER.
 9. INSTALL WINDOWS PER MANUFACTURER'S RECOMMENDATIONS
 10. DIMENSIONS ARE TO FINISH OF WALLS U.O.N.
 11. MIN. JAMB AT DOORS TO BE 4"

- DIMENSIONS NOTES**
- 1-CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE ANY CONSTRUCTION
 - 2- CONTRACTOR TO STAKE PROPERTY LINES WITH SURVEYOR AND USE SETBACKS FOR ADDITION LAY-OUT

- WATER HEATER NOTES:**
- WATER HEATERS REQUIRE TWO SEISMIC STRAPS; ONE LOCATED WITHIN THE TOP 1/3 OF THE WATER HEATER AND ONE AT THE BOTTOM 1/3. THE BOTTOM STRAP SHALL BE LOCATED AT LEAST 4" AWAY FROM THE HEATER CONTROLS. CPC 508.2

- PLUMBING PLAN NOTES:**
- A) WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLONS PER FLUSH. CPC 402.2C
 - B) SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 2.5 GALLONS PER MINUTE. CPC 402.1.1
 - C) FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 2.2 GALLONS PER MINUTE. CPC 402.1.2

- EGRESS NOTES:**
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING (R310.1)
 - a) MINIMUM NET CLEAR OPENABLE DIMENSION OF 24" IN HEIGHT (R310.1.2)
 - b) MINIMUM NET CLEAR OPENABLE DIMENSION OF 20" IN WIDTH (R310.1.3)
 - c) MINIMUM NET CLEAR OPENABLE DIMENSION OF 5.7 SQUARE FEET IN AREA. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET (R310.1.1)
 - d) OPENINGS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" MEASURED FROM THE FLOOR (R310.1)

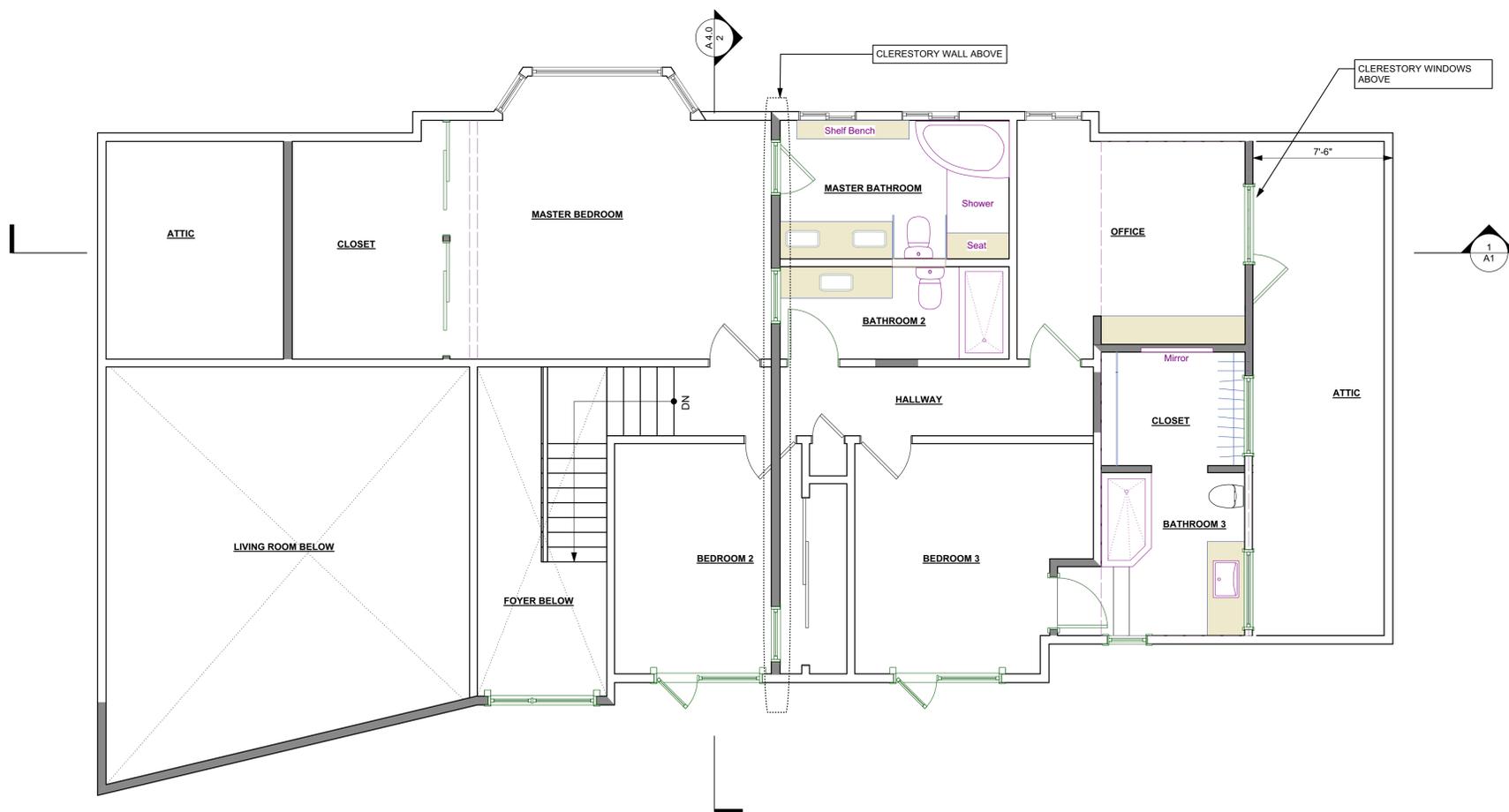
- STAIRWAY REQUIREMENT**
- A. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH ABOVE THE HANDRAILS. HANDRAIL PROJECTIONS ARE LIMITED TO NOT MORE THAN 4.5 INCHES ON EITHER SIDE OF THE STAIRWAY. (CRC Sec.R311.7.1)
 - B. HEADROOM SHALL NOT BE LESS THAN 6 FEET 8 INCHES MEASURED FROM THE SLOPED LINE ADJOINING THE TREAD NOSING. (CRC R311.7.2)
 - C. RISER HEIGHT SHALL NOT EXCEED 7 3/4 INCHES. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". (CRC Sec.R311.7.4.1).
 - D. TREAD DEPTH (MEASURED BETWEEN THE NOSING) SHALL BE AT LEAST 10 INCHES. THE LARGEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" (CRC Sec.R311.7.4.2)
 - E. NOSING NOT LESS THAN 0.75" BUT NOT MORE THAN 1.25" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS IF THE TREAD DEPTH IS LESS THAN 11"; THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16 INCH. (CRC Sec.R311.7.4.3).
 - F. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4-INCH DIAMETER SPHERE. THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30 INCHES OR LESS. (CRC Sec. R311.7.4.3)

- GRAPHIC KEY:**
- EXISTING WALL TO REMAIN
 - NEW FRAMED EXTERIOR / INTERIOR WALL S.S.D.
 - FIRE RESISTIVE WALL CONSTRUCTION AT WALLS BETWEEN GARAGE AND LIVABLE SPACE: MIN. 1/2" GYPSUM BOARD TYPE X OVER STUDS FROM CURB TO UNDERSIDE OF ROOF SHEATHING APPLIED TO INTERIOR SIDE OF THE EXTERIOR WALLS



1 PROPOSED 1ST FLOOR PLAN
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
CHAN RESIDENCE ADDITION 871 LOCKHAVEN DR. LOS ALTOS		
Proj. #		(N) PROPOSED 1ST FLOOR PLAN
Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG
07/18/2016		
DaVIDe GiannelIa		
 acadia architecture		
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A 2.2		



- GENERAL SHEET NOTES:**
1. REFER TO MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS FOR EXTENT OF MECHANICAL, ELECTRICAL, AND STRUCTURAL WORK.
 2. ALL EXTERIOR STUD WALLS SHALL HAVE MIN. R-15 FOIL BACKED INSULATION.
 3. REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND STRUCTURAL MEMBER SIZES.
 4. PROVIDE FULLY TEMPERED GLAZING, LAMINATED SAFETY GLASS OR APPROVED PLASTIC IN SHOWERS OR BATHTUB ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
 5. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
 6. PROVIDE TEMPERED GLAZING AT HAZARDOUS LOCATIONS, SUCH AS IN DOORS.
 7. TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. PROVIDE MIXING VALVE FOR ALL TUB/SHOWERS
 8. PROVIDE PRESSURE RELIEF VALVE WITH DRAIN TO OUTSIDE AT WATER HEATER.
 9. INSTALL WINDOWS PER MANUFACTURER'S RECOMMENDATIONS
 10. DIMENSIONS ARE TO FINISH OF WALLS U.O.N.
 11. MIN. JAMB AT DOORS TO BE 4"

- DIMENSIONS NOTES**
- 1-CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY BEFORE ANY CONSTRUCTION
 - 2- CONTRACTOR TO STAKE PROPERTY LINES WITH SURVEYOR AND USE SETBACKS FOR ADDITION LAY-OUT

- WATER HEATER NOTES:**
- WATER HEATERS REQUIRE TWO SEISMIC STRAPS; ONE LOCATED WITHIN THE TOP 1/3 OF THE WATER HEATER AND ONE AT THE BOTTOM 1/3. THE BOTTOM STRAP SHALL BE LOCATED AT LEAST 4" AWAY FROM THE HEATER CONTROLS. CPC 508.2

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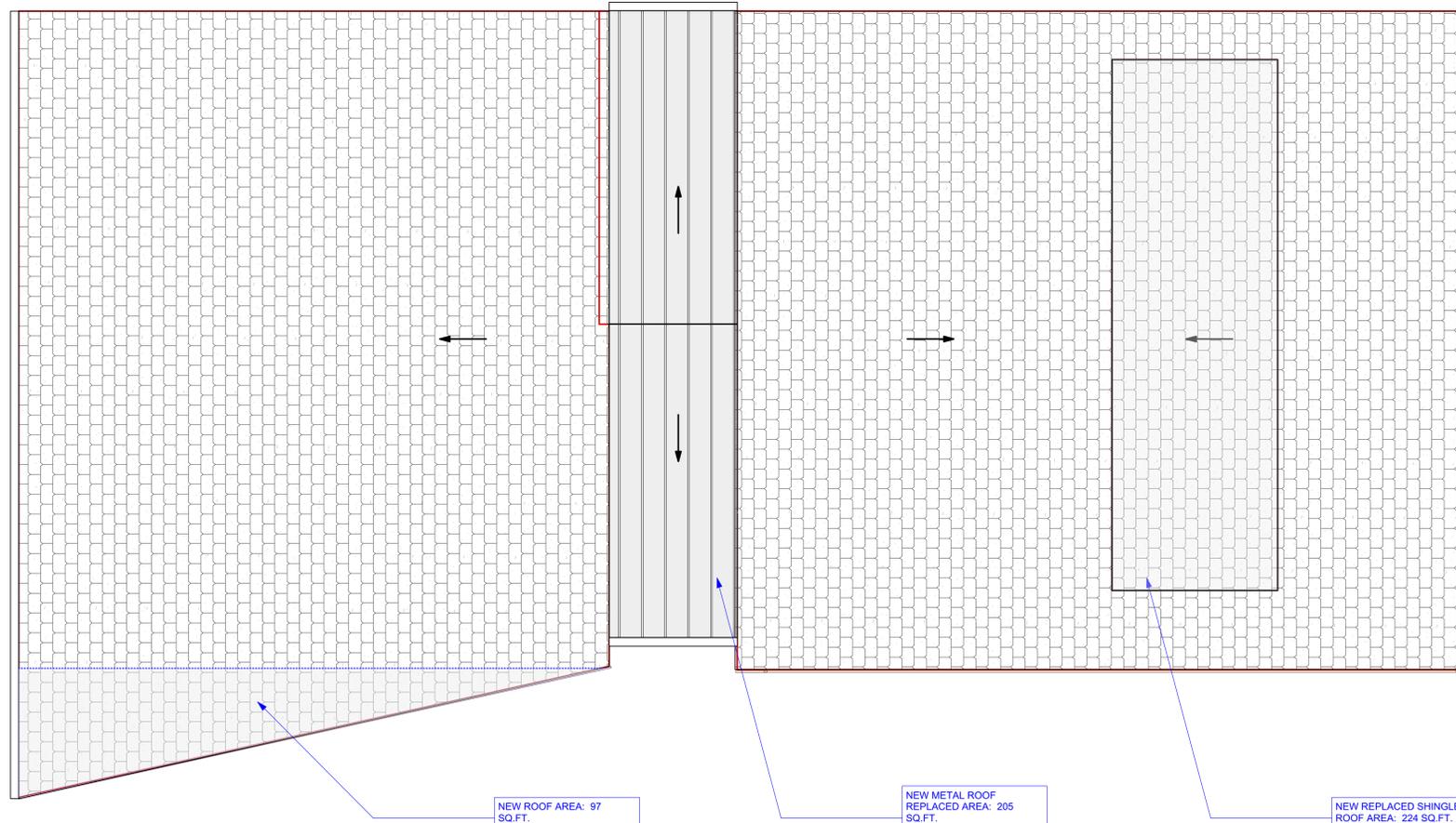
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1 PROPOSED 2ND FLOOR PLAN
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
CHAN RESIDENCE ADDITION		
871 LOCKHAVEN DR. LOS ALTOS		
(N) PROPOSED 2ND FLOOR PLAN		
Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG
DaVIDe Giannella		
 acadia architecture		
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A 2.3		



NEW ROOF AREA: 97 SQ.FT.

NEW METAL ROOF REPLACED AREA: 205 SQ.FT.

NEW REPLACED SHINGLE ROOF AREA: 224 SQ.FT.

EXISTING ROOF AREA: 2,425 SQ.FT.
TOTAL REPLACED ROOF AREA: 429 SQ.FT.

PERCENTAGE OF REPLACED ROOF AREA: 17%

ROOF VENTILATION NOTES:

1. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS AGAINST THE ENTRANCE THE RAIN. VENTILATING OPENINGS SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE MESH, WITH THE LAST DIMENSION BEING 1/8".
2. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED WITH 50% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS .
3. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1-INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.

ROOF DRAINAGE NOTES:

- 1) Roof drains shall be equipped with strainers extending at 4" above the roof deck surface and be at least 1-1/2 times larger than the drainpipe. (CPC 1105.2)
- 2)Where roof surfaces are not designed to drain over roof edges, overflow drains or scuppers three times the size of required roof drains shall be provided. Said drains to be located 2" above the low point of the roof. Overflow drains to be independent of and in addition to surface drains. CBC 1506.3
- 3)Roof drainage water shall not be allowed to flow over public property CBC 1506.5
- 4) Provide splashblocks at each downspout

GRAPHIC KEY:

- DS 3" DIA. 26 GA DOWNSPOUT
- OF 4" D OVERFLOW DRAIN
- DR 2" D DRAIN
- SC THROUGH-WALL SCUPPER
- 5".032 inch THICK ALUMINUM GUTTER WITH LEAF GUARDS
- ROOF VENTILATOR/ INTAKE VENT
- FLAT EYEBROW ROOF VENT
- STANDING SEAM METAL ROOFING
- ASPHALT SHINGLE ROOFING

VAPOR BARRIER NOTE

PROVIDE CLASS 1 OR CLASS 2 VAPOR BARRIER INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING OR PROVIDE VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS PER CRC R806.2

SKYLIGHTS NOTE

PLUMBING VENTS TO BE A MINIMUM OF 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2

SKYLIGHTS MIN. ENERGY PERFORMANCE: (U= 0.45, SHGC=0.4 MAX PER T24)



Revision	Revision	Revision
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CHAN RESIDENCE ADDITION
871 LOCKHAVEN DR. LOS ALTOS
Proj. # (N) PROPOSED ROOF PLAN

Sheet Scale : AS NOTED	Drawn By DG	Reviewed By DG	07/18/2016
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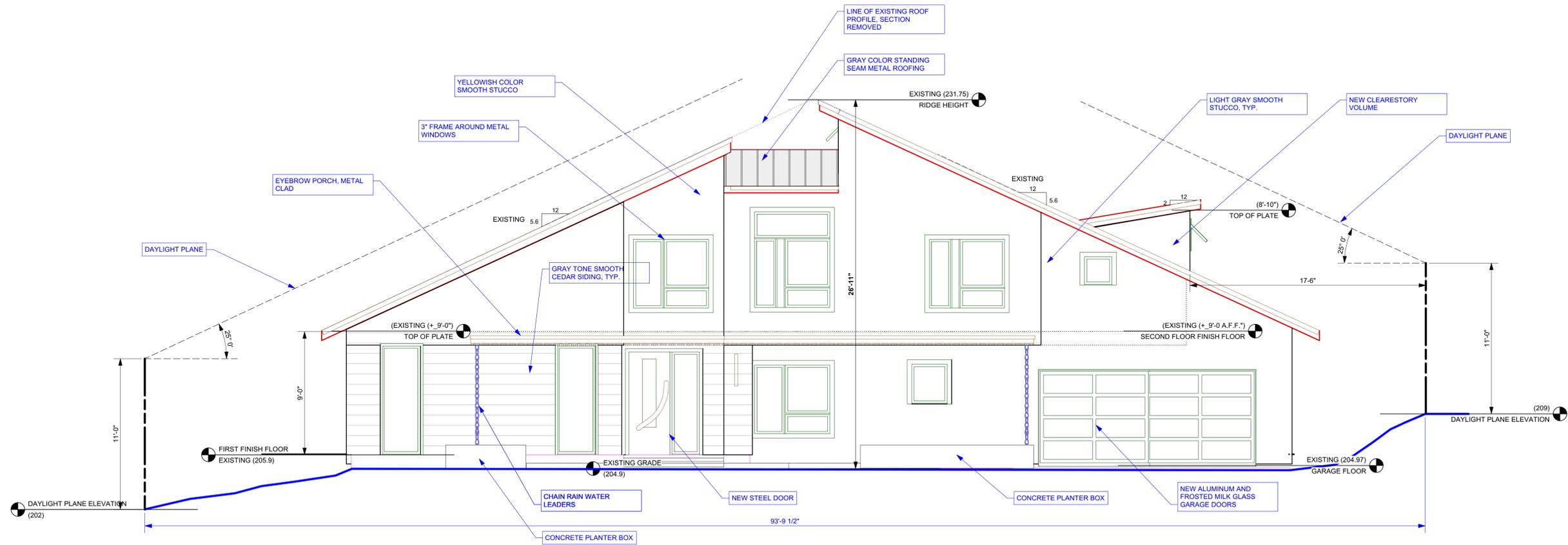
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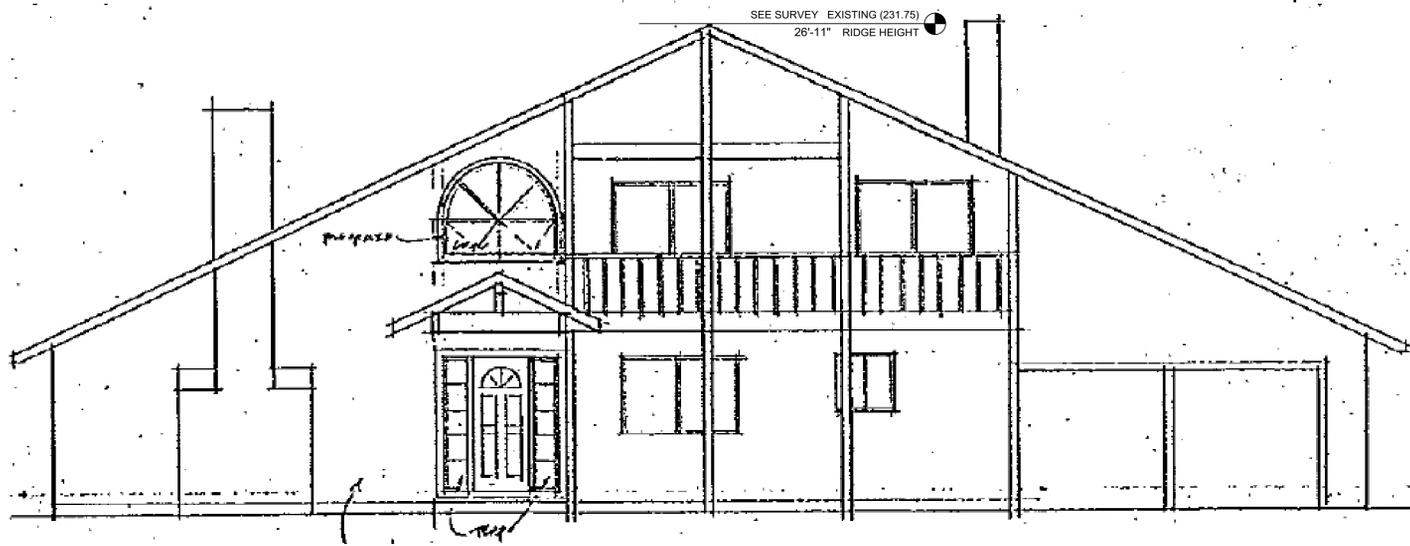
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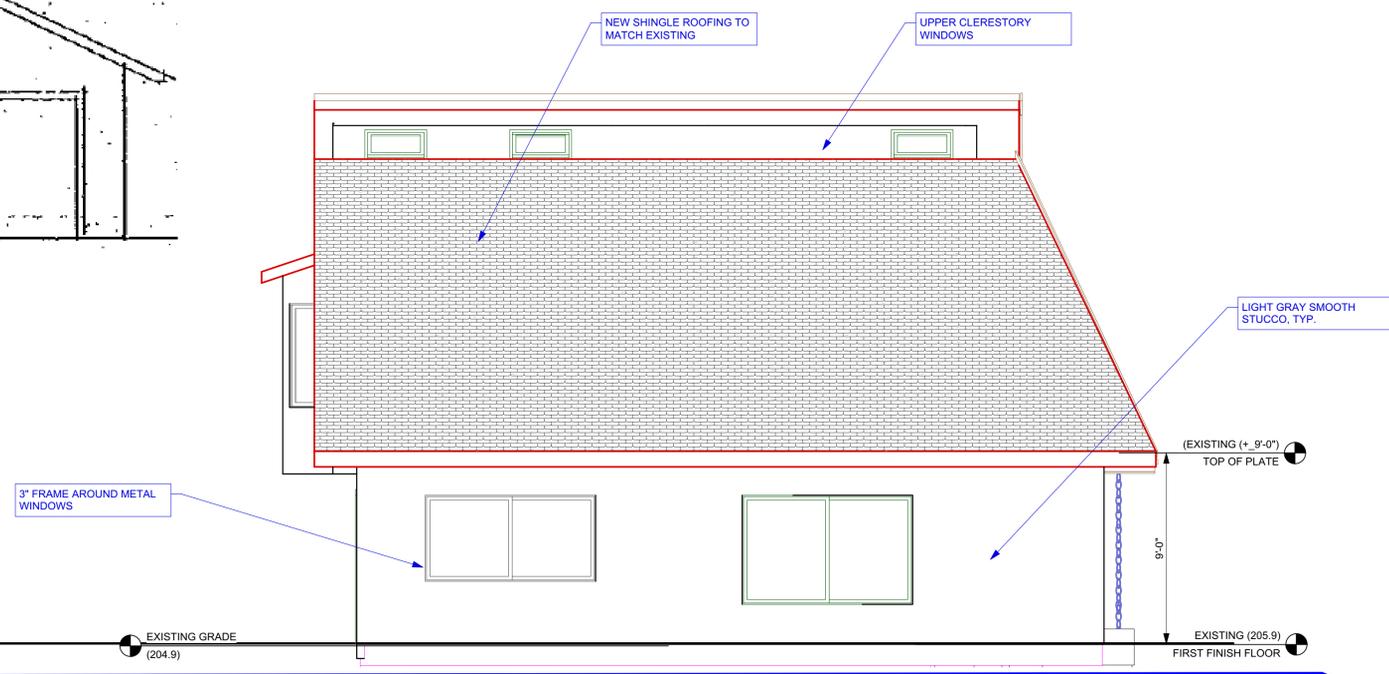




1 FRONT ELEVATION
Scale: 1/4" = 1'-0"

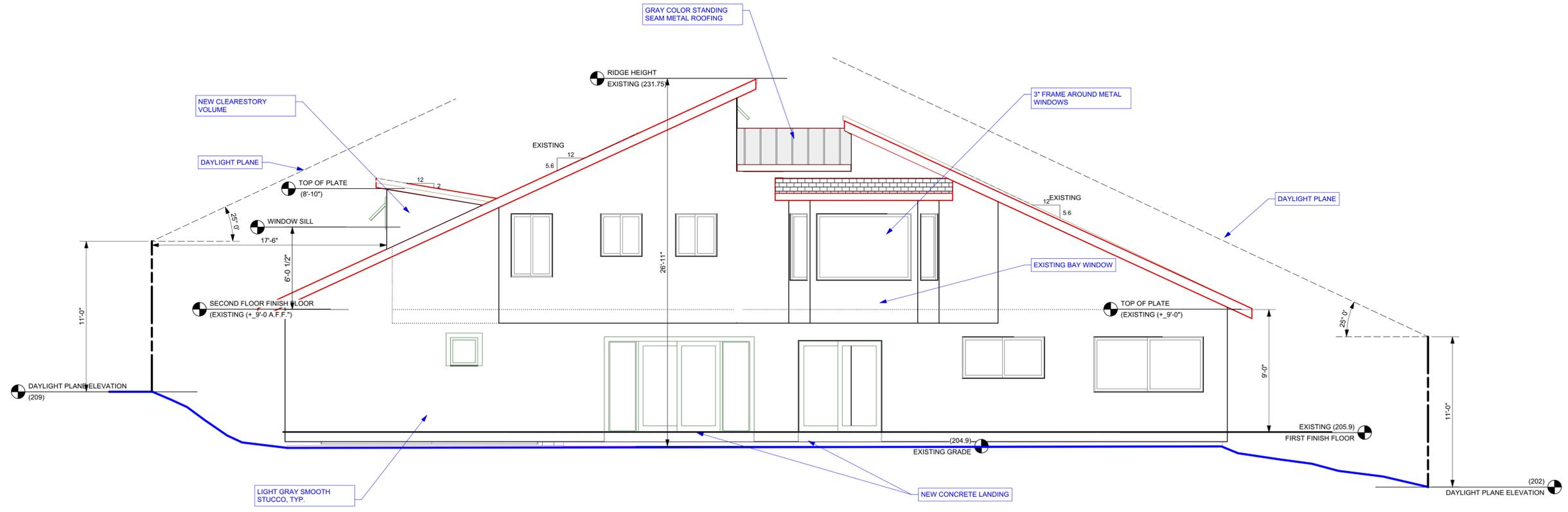


3 EXISTING FRONT ELEVATION
N.T.S.

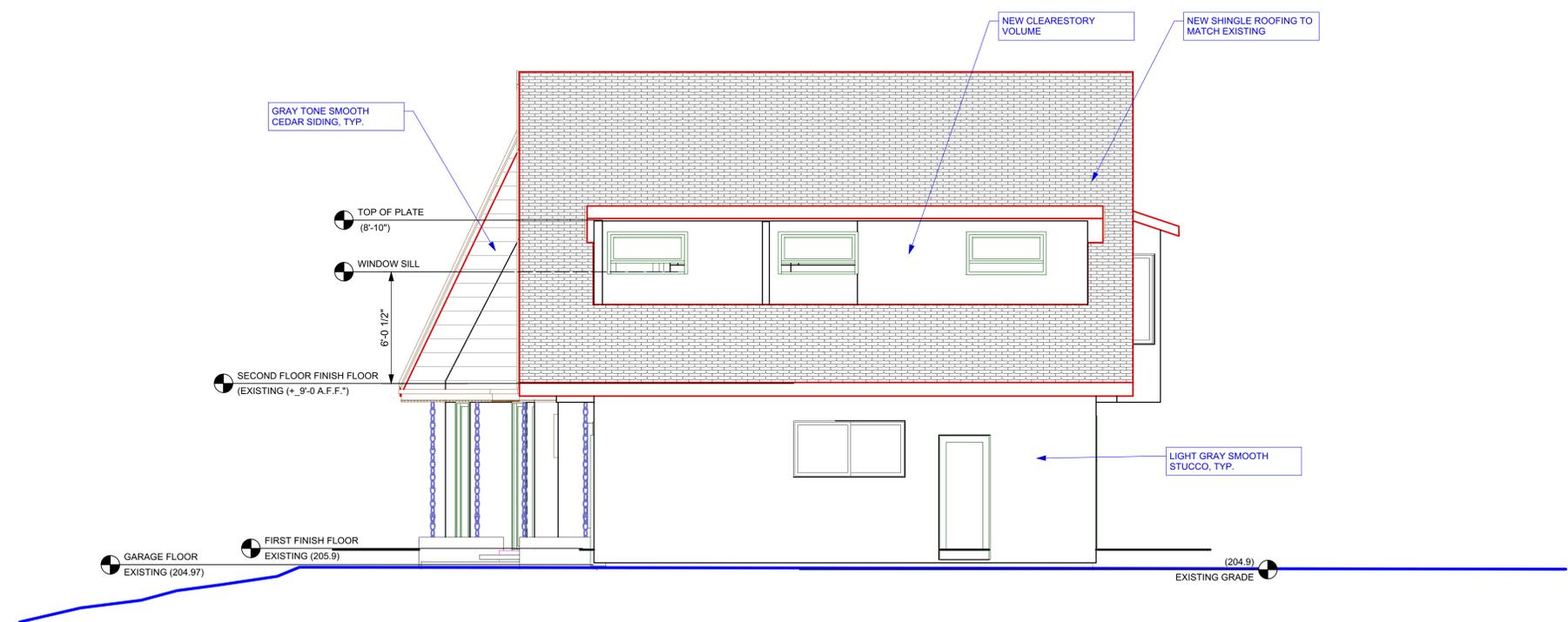


2 NORTH ELEVATION
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
CHAN RESIDENCE ADDITION 871 LOCKHAVEN DR. LOS ALTOS Proj. # EXTERIOR ELEVATIONS		
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A 3.0		

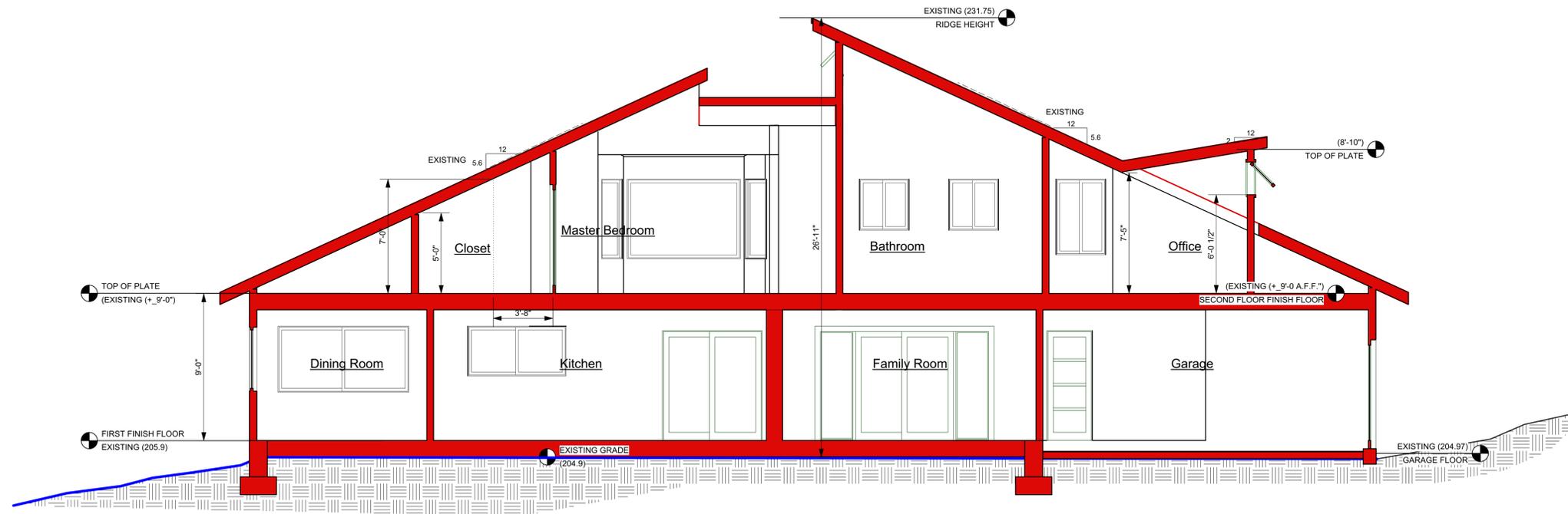


1 REAR ELEVATION
Scale: 1/4" = 1'-0"

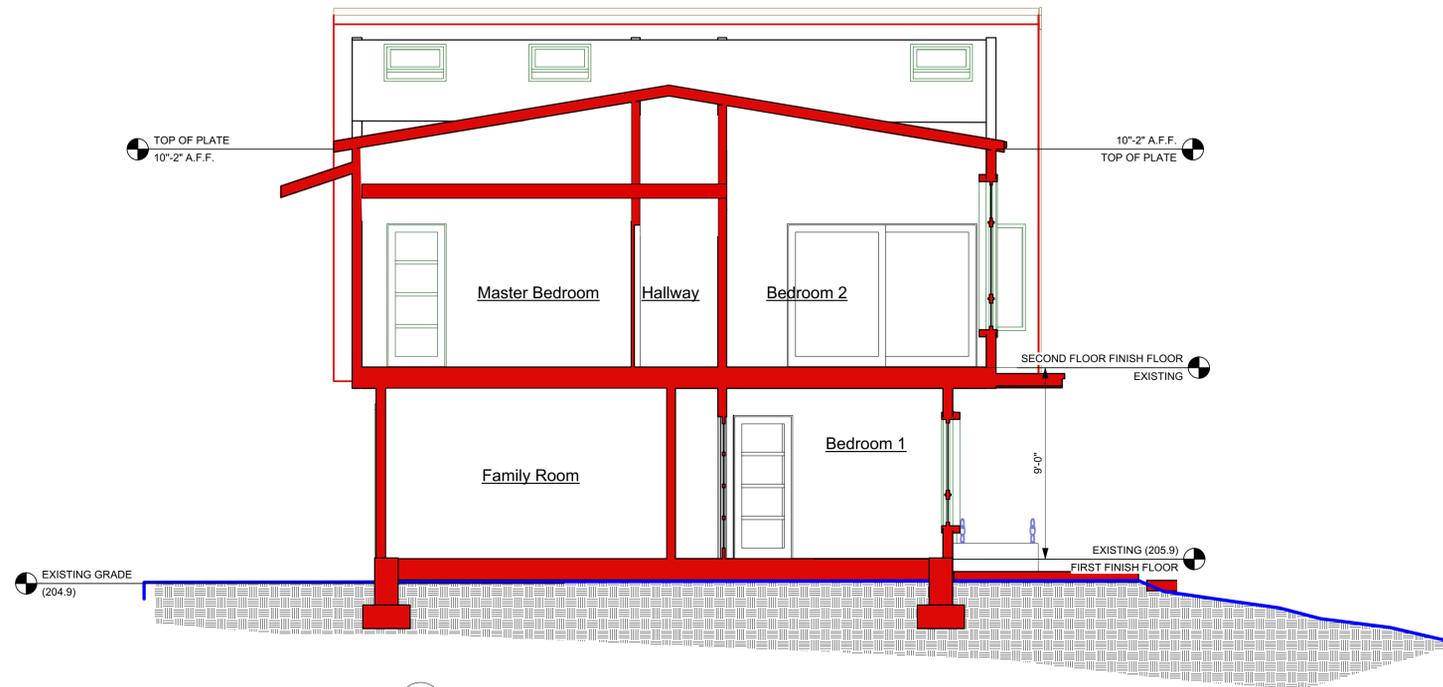


2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
CHAN RESIDENCE ADDITION 871 LOCKHAVEN DR. LOS ALTOS Proj. # EXTERIOR ELEVATIONS		
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A 3.1		



1 SECTION
Scale: 1/4" = 1'-0"



2 SECTION
Scale: 1/4" = 1'-0"

Revision	Revision	Revision
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CHAN RESIDENCE ADDITION
871 LOCKHAVEN DR. LOS ALTOS

BUILDING SECTIONS
Proj. #

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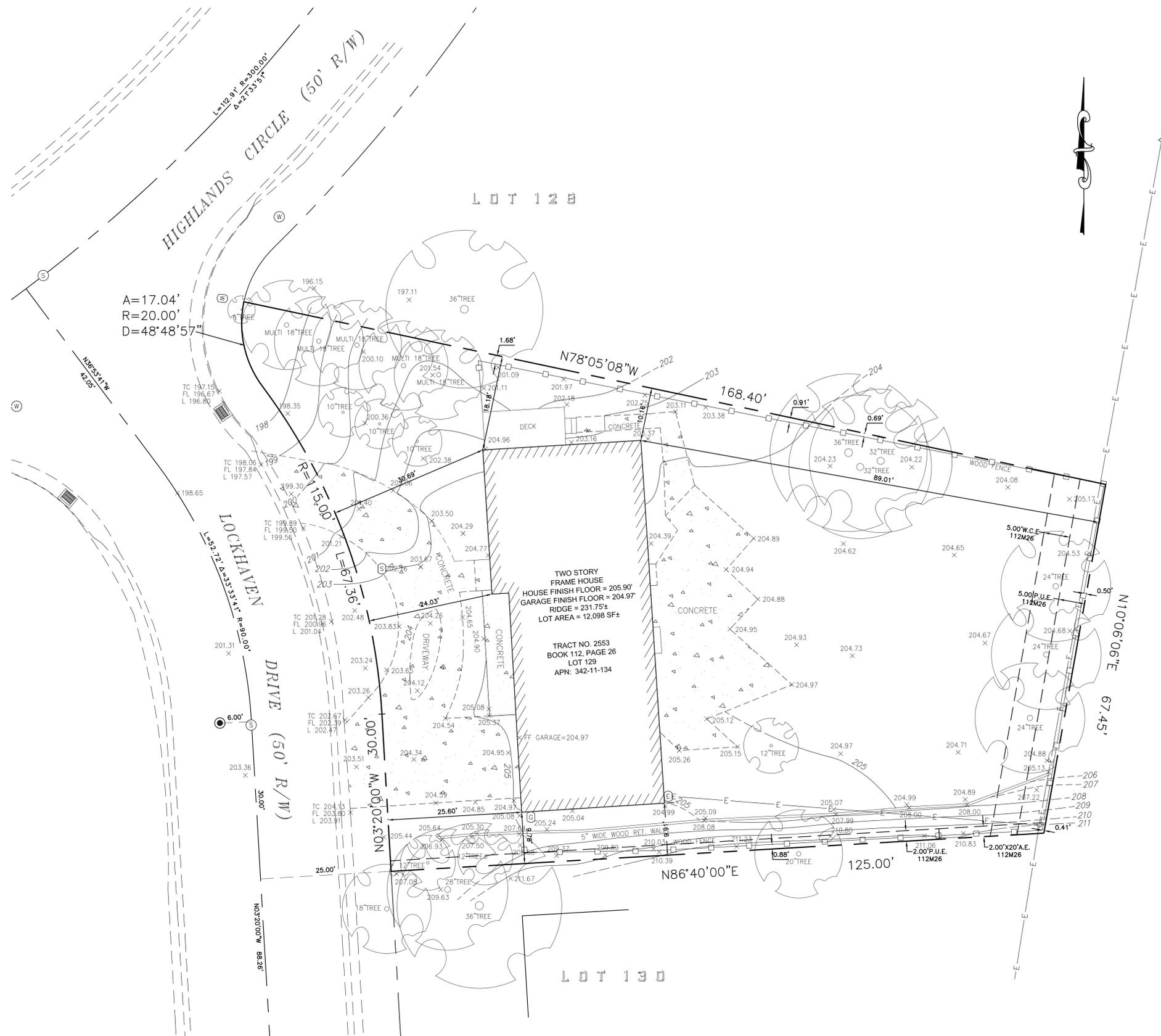
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A 4.0



LEGEND

BOUNDARY	---
PROPERTY LINE	---
CENTER LINE	---
SETBACK LINE	---
EASEMENT LINE	---
FACE OF BUILDING LINE	---
WOODEN FENCE	□
CHAINLINK FENCE	○
BARBED WIRE FENCE	---
EDGE OF CREEK	---
GAS METER	(G)
WATER METER	(W)
LANDSCAPE LIGHT	*
SANITARY SEWER CLEANOUT	(S)
SANITARY SEWER MANHOLE	(C)
STORMDRAIN MANHOLE	(D)
WATER VALVE	(V)
FIRE HYDRANT	(H)
JOINT POLE	(J)
CATCH BASIN	(CB)
FOUND IRON PIPE AS NOTED	(IP)
FOUND MONUMENT AS NOTED	(M)

ABBREVIATIONS

FL	FLOWLINE
TC	TOP OF CURB
C	CONCRETE
L	LIP OF GUTTER
G	GROUND
AC	ASPHALTIC CONCRETE
TS	TOP OF STEP
TW	TOP OF WALL
P.U.E.	PUBLIC UTILITY EASEMENT
P.S.E.	PUBLIC SERVICE EASEMENT
B.S.L.	BUILDING SETBACK LINE

NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
 - DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
 - NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 342-11-134
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
 - DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON TRACT MAP NO. 2553 RECORDED IN BOOK 112 OF MAPS AT PAGE 26, SANTA CLARA COUNTY RECORDS.

PROJECT BENCHMARK

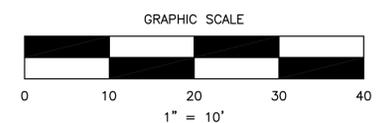
TOP OF BRASS DISC FOUND IN A MONUMENT WELL, 6 FEET OFFSET WEST FROM THE CENTERLINE OF LOCKHAVEN DRIVE AT THE SOUTHERLY END OF A CURVE, HAVING A RADIUS OF 90 FEET AS SHOWN ON TRACT NO. 2553. ASSUMED ELEVATION TAKEN AS 201.49 FEET.

SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

TOM H. MILO
L.S. 6438

DATE



DRAWN BY EN
CKD. BY THM
DATE 05/17/2016
SCALE 1" = 10'

BOUNDARY & TOPOGRAPHIC SURVEY
APN: 342-11-134
871 LOCKHAVEN DRIVE
LOS ALTOS CALIFORNIA

T.K.M.
Land Surveyors
2250 Bohannon Drive
Santa Clara, CA 95050
408.615.8855 phone
408.615.1556 fax

JOB NO. 1
SHEET 1 OF 1
FILE NO.