

Vicinity Map



705 Casita Way

eye level perspective

Note : this is a simplified view - see elevations for horizontal trim and other details

Project Summary Tables

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2878 square feet (17.4%)	2798 square feet (17.3%)	4860.9 square feet (30%)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 1802 sq ft 2nd Flr: sq ft Total: sq ft (%)	1st Flr: 2747 sq ft 2nd Flr: 1585 sq ft Total: 4333 sq ft (%)	4370 square feet (%)
SETBACKS:			
Front	23'-2" feet	25'-6" feet	25 feet
Rear	NA feet	NA feet	NA feet
Right side (1st/2nd)	20'-6" feet/ feet	20 feet/ 20 feet	20 feet/ 20 feet
Left side (1st/2nd)	18'-4" feet/ feet	17'-6" feet/ 22 feet	10 feet/ feet
interior side			
HEIGHT:	13'-6" feet	26'-8" feet	27 feet

3850 + 10% of 5203

controlled by daylight plane

Setback Analysis

This lot is a triangular lot and as a result has no rear yard

Front setback - 25" required

Exterior side yard - 20% of lot width - or 20' if lot is over 90' wide
lot width average is 90.3'
required side yard is 20'

Interior side yard - 10' required

Table of Contents

- A1 Cover Sheet
- A2 Context Plan 1
- A3 Context Plan 2
- A4 Neighborhood Compatibility Photos
- A5 Site Plan
- A6 Topo
- A7 First Floor Plan
- A8 Second Floor Plan
- A9 Roof Plan
- A10 Elevations
- A11 Existing Elevations
- A12 Sections
- A13 Area Calculations

- L1 Landscape Plan
- L2 Tree Protection Plan

- C1 Grading & Drainage Plan
- C2 Civil Details

General Information

Project Description

a new single family home - the existing home to be demolished

Zoning R1-10

Property owner

Sophia Yen & Steve Ko
411 Los Niños Way
Los Altos, Ca
415 806-7818

Design Team

Architect
John Ploss Architect
42 Glen Eden Ave
Oakland, Ca
510 654-5084

Landscape Architect
Zettere Landscape Architecture
136 Freelon Street
S.F. Ca
415 691-2166

Civil Engineer and Surveyor
JLK Associates
73 Cedar Lane
San Jose
408 729-3734

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	1802 square feet	+2,053 square feet	3856 square feet
NON- HABITABLE AREA: <i>Does not include covered porches or open structures</i>	479 square feet	-2 square feet	477 square feet

LOT CALCULATIONS

NET LOT AREA:	16,203 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	600 square feet (16%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 5840 sq ft Existing softscape (undisturbed) area: 0 sq ft New softscape area: 10363 sq ft <i>Sum of all three should equal the site's net lot area</i>

front yard 3807 sf



John Ploss

architecture
+
planning

42 Glen Eden Ave
Oakland, Ca 94611
(510) 654-5084

a
new house
for
Steve Ko
&
Sophia Yen
at
705 Casita Way
Los Altos, Ca

Context Plan 1

1"=40'

Note:
All neighboring houses on
Casita and Marich are one story

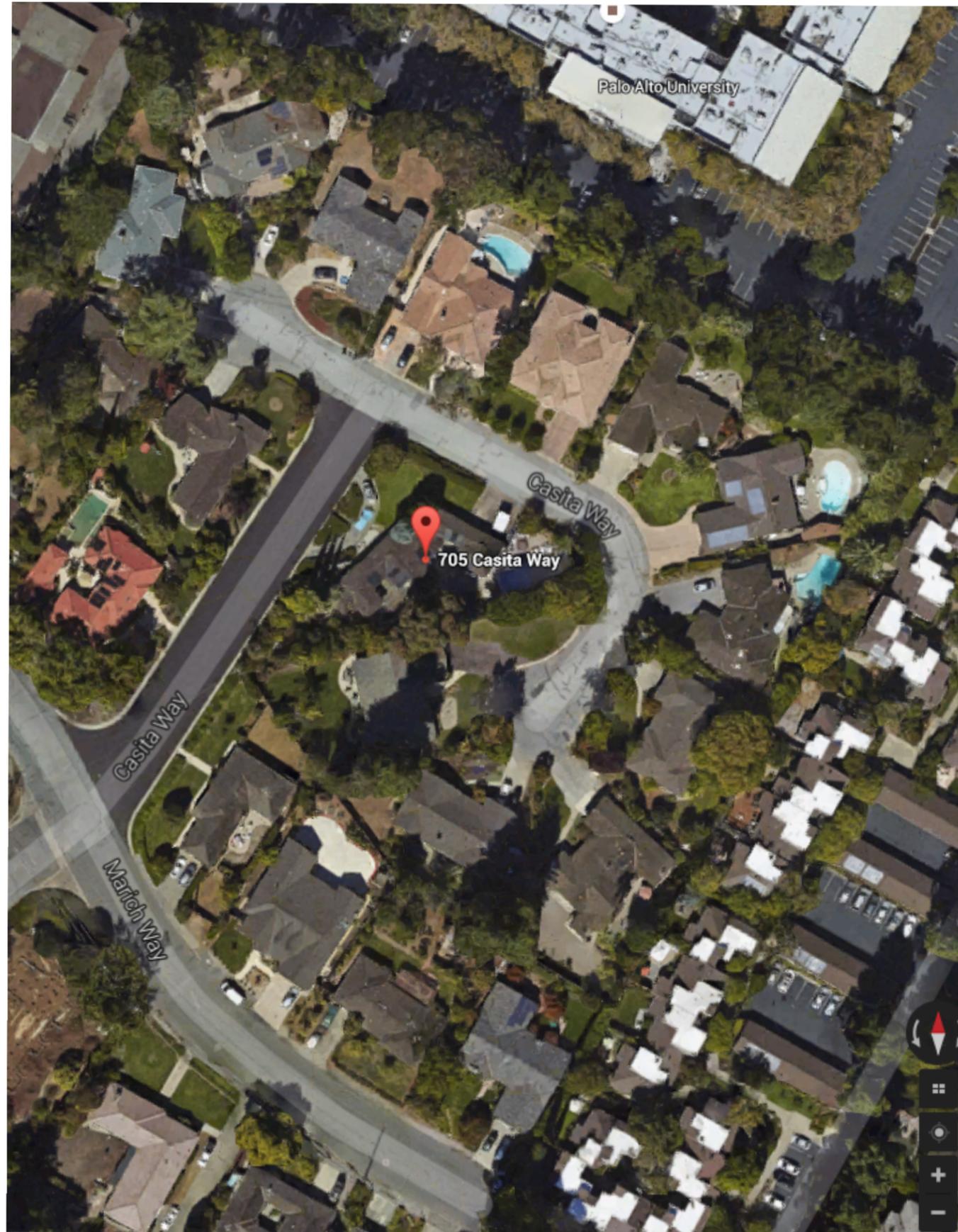
For trees and driveways please see
Context Plan 2

Context Plan 1

R2 - 8/8/16
R1 - 6/7/16

1/25/16

A2



Context Plan 2

1"=40'

existing home at 705 Casita shown

John Ploss

architecture
+
planning

42 Glen Eden Ave
Oakland, Ca 94611
(510) 654-5084

a
new house
for
Steve Ko
&
Sophia Yen
at
705 Casita Way
Los Altos, Ca

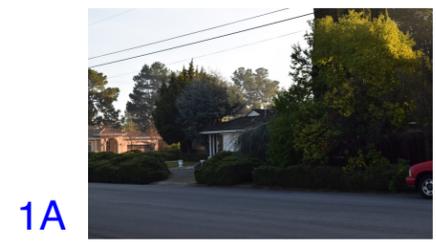
Context Plan 2

R2 - 8/8/16

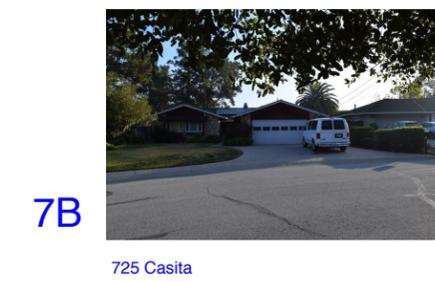
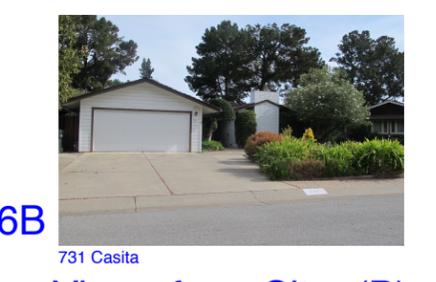
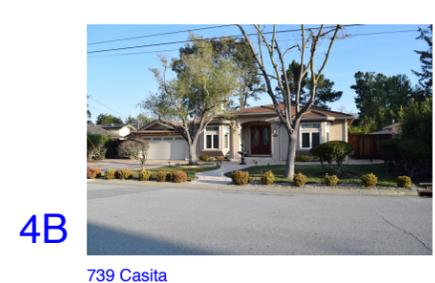
R1 - 6/7/16

1/25/16

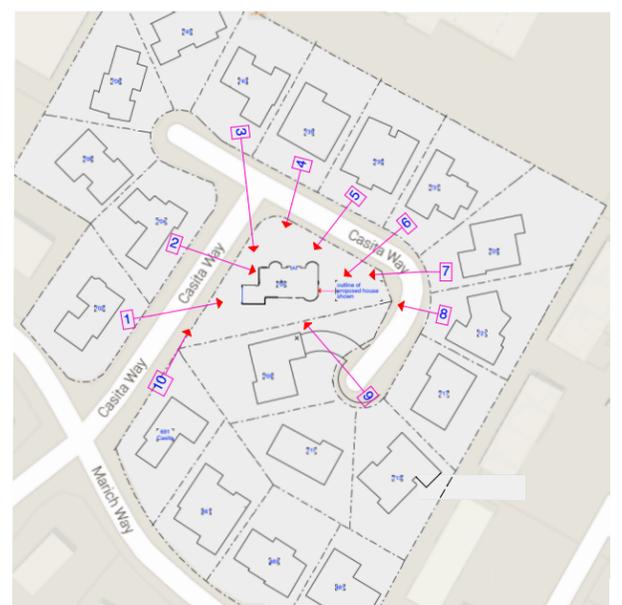
A3



Views toward Site (A)



Views from Site (B)



Key to Photos

Setback Analysis

This lot is a triangular lot and as a result has no rear yard

Front setback - 25" required

Exterior side yard - 20% of lot width - or 20' if lot is over 90' wide
lot width average is 90.3'
required exterior side yard is 20'

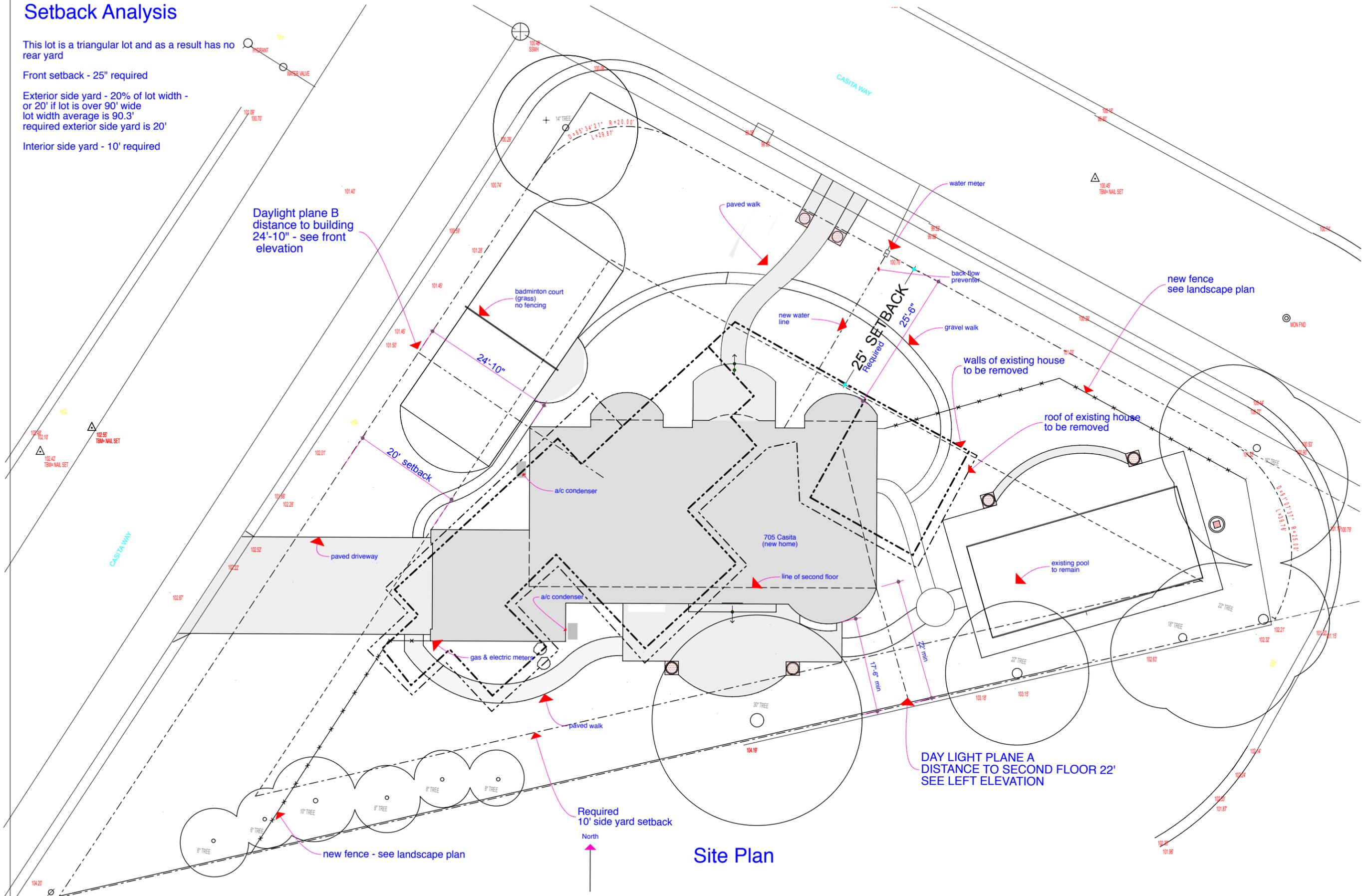
Interior side yard - 10' required

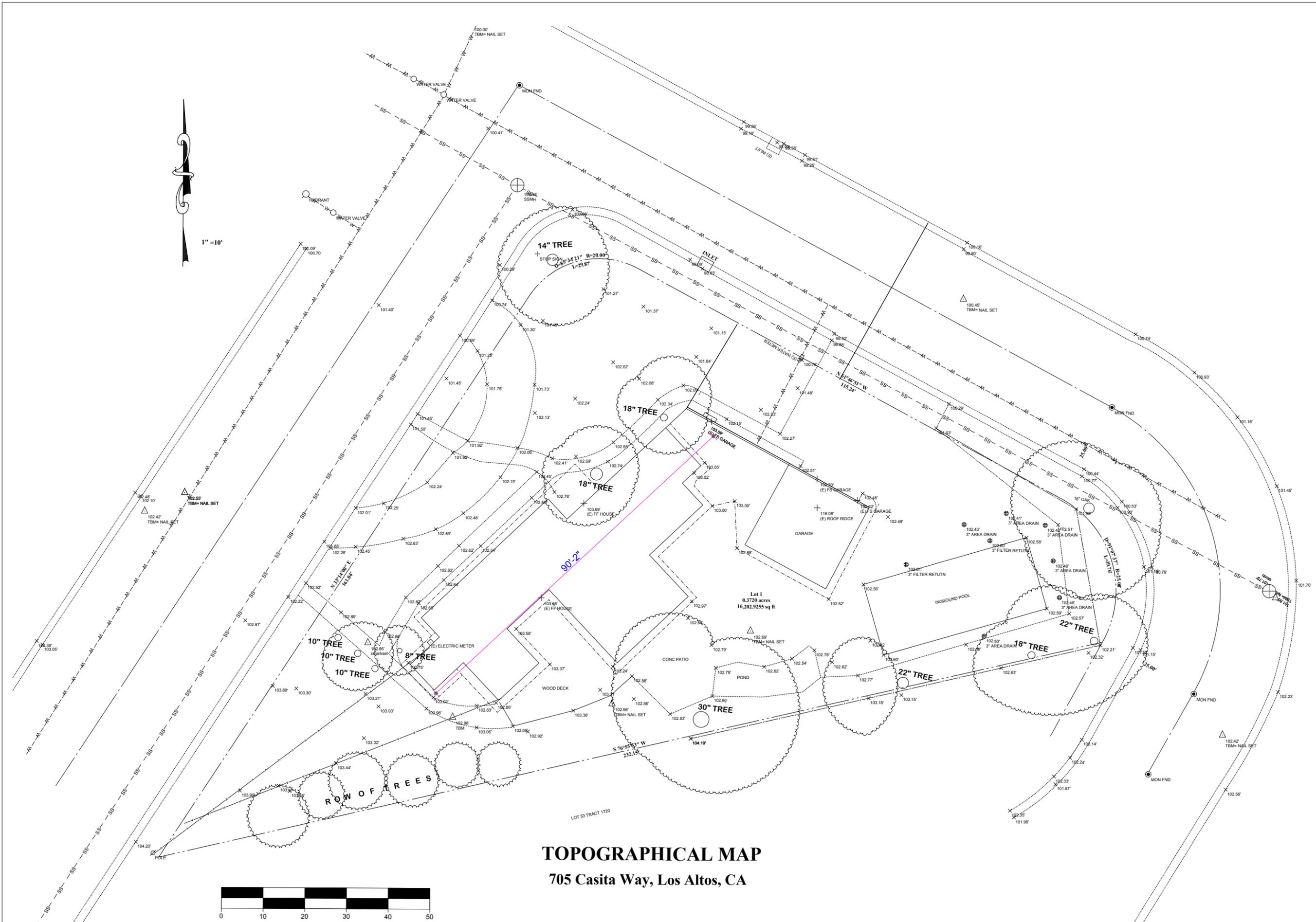
Daylight plane B
distance to building
24'-10" - see front
elevation

DAY LIGHT PLANE A
DISTANCE TO SECOND FLOOR 22'
SEE LEFT ELEVATION

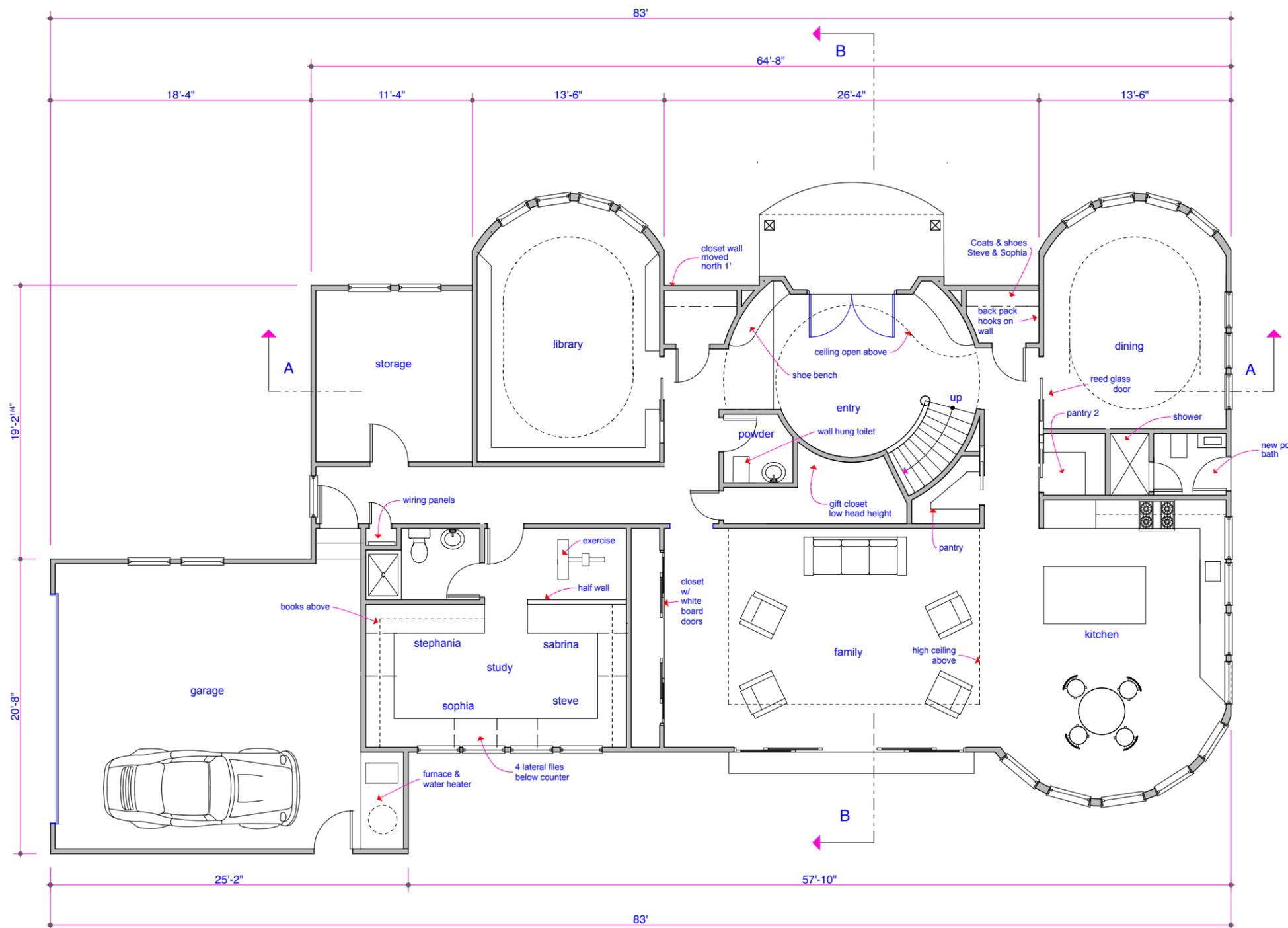
Required
10' side yard setback
North

Site Plan





TOPOGRAPHICAL MAP
705 Casita Way, Los Altos, CA

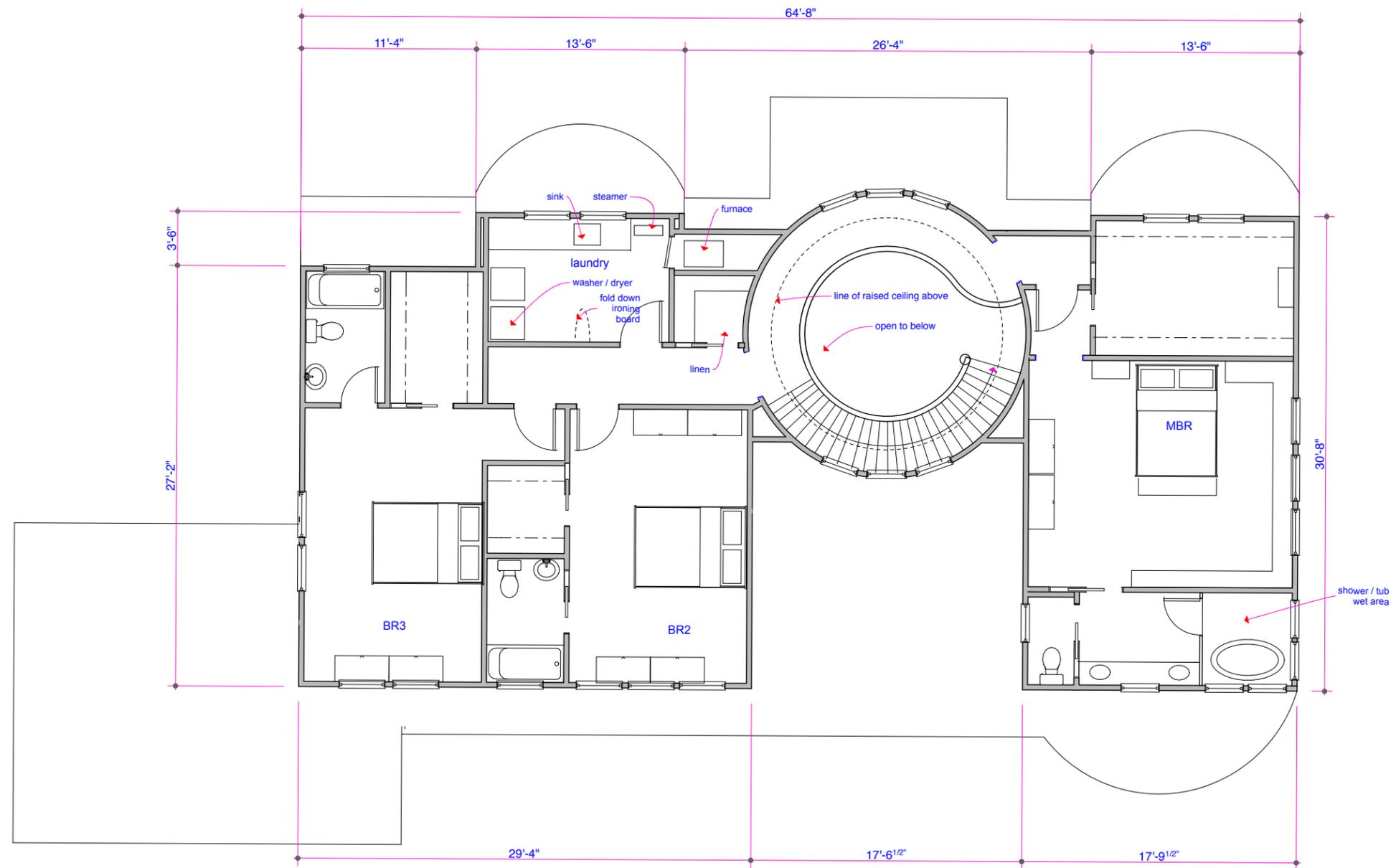


First Floor

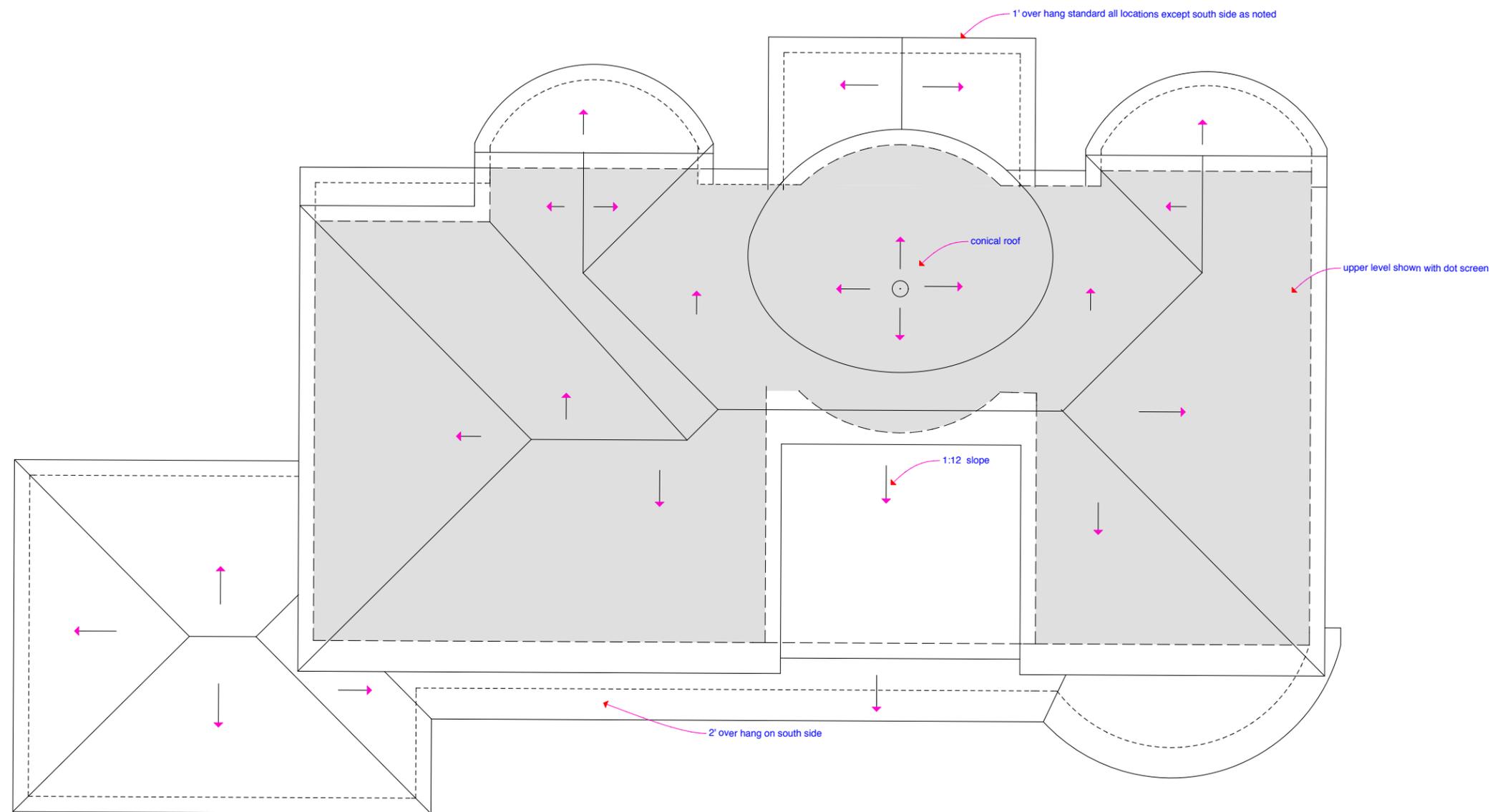
First Floor

R2 - 8/8/16
R1 - 6/7/16

1/25/16

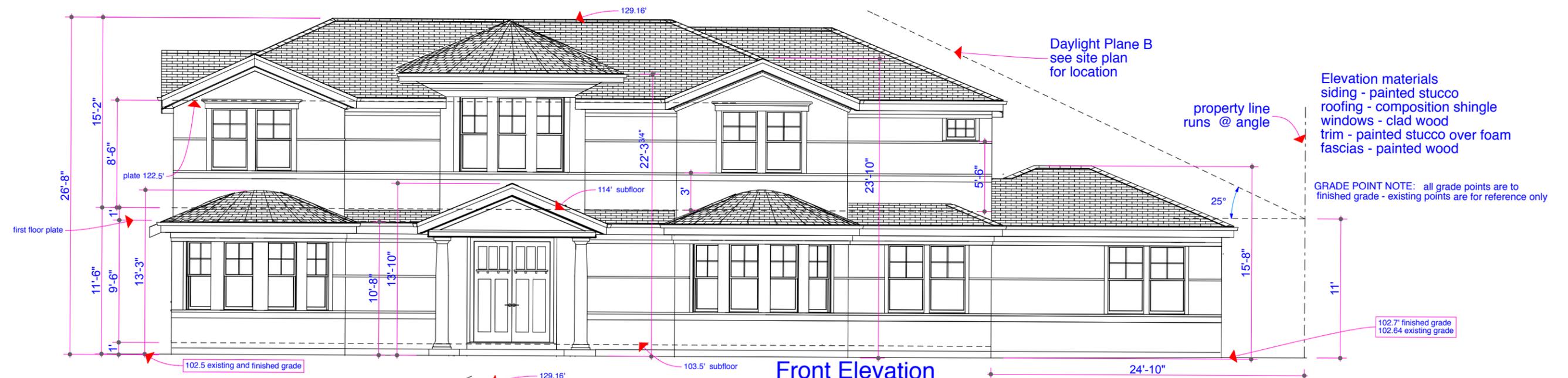


Second Floor

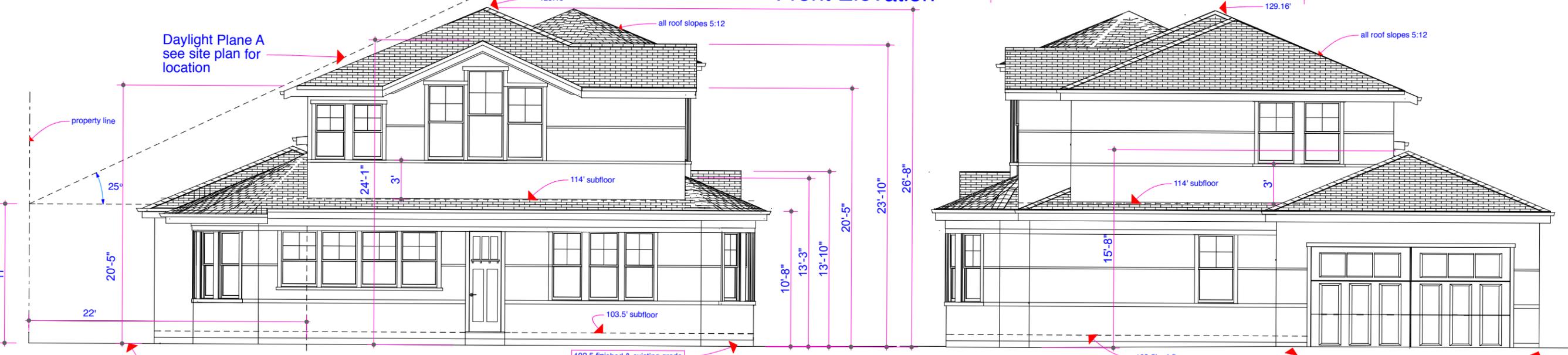


Roof Plan

All roof slopes 5:12 except as noted



Front Elevation



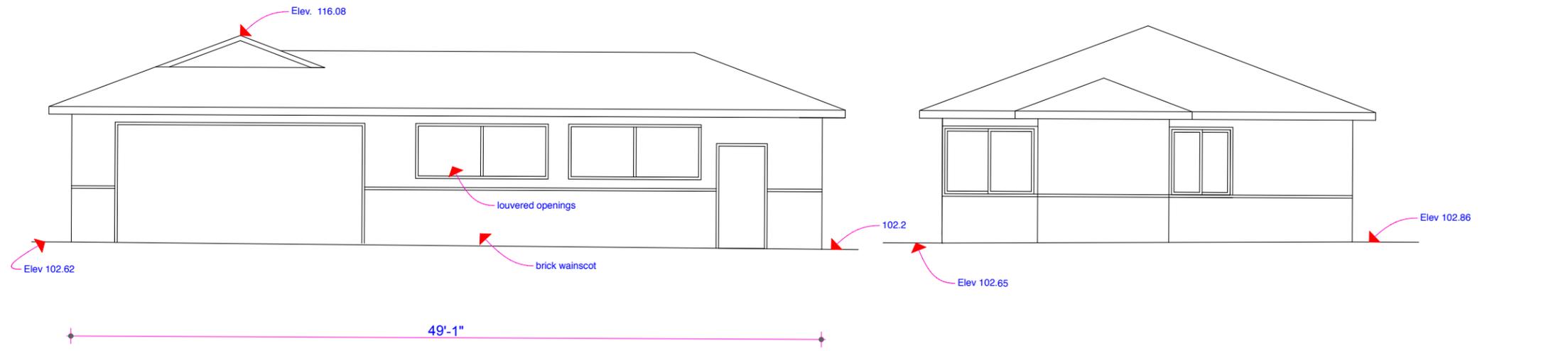
Left Elevation

Right Elevation



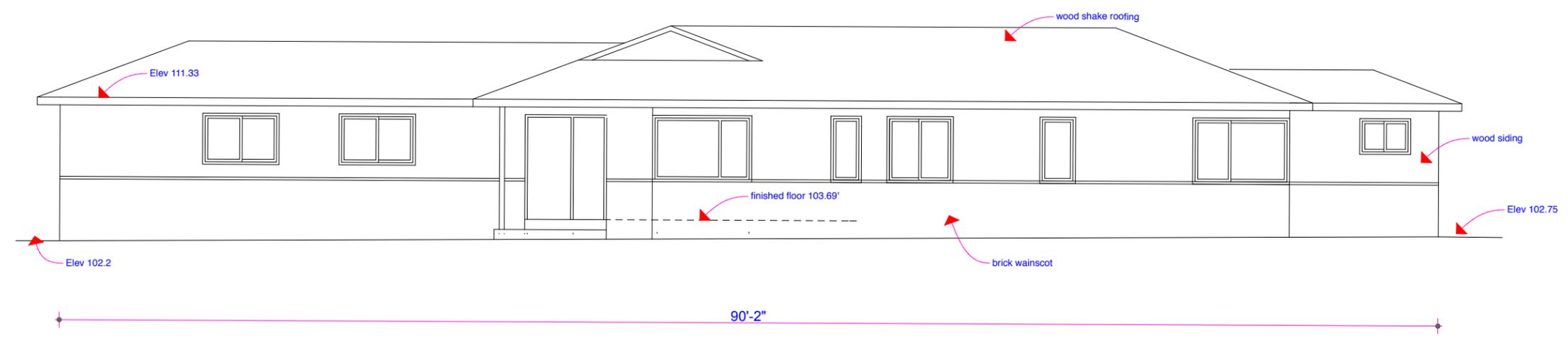
Interior Side Yard (rear) Elevation

a
 new house
 for
 Steve Ko
 &
 Sophia Yen
 at
 705 Casita Way
 Los Altos, Ca



North East Elevation

South West Elevation



North West Elevation

Elevations of Existing House to be Removed

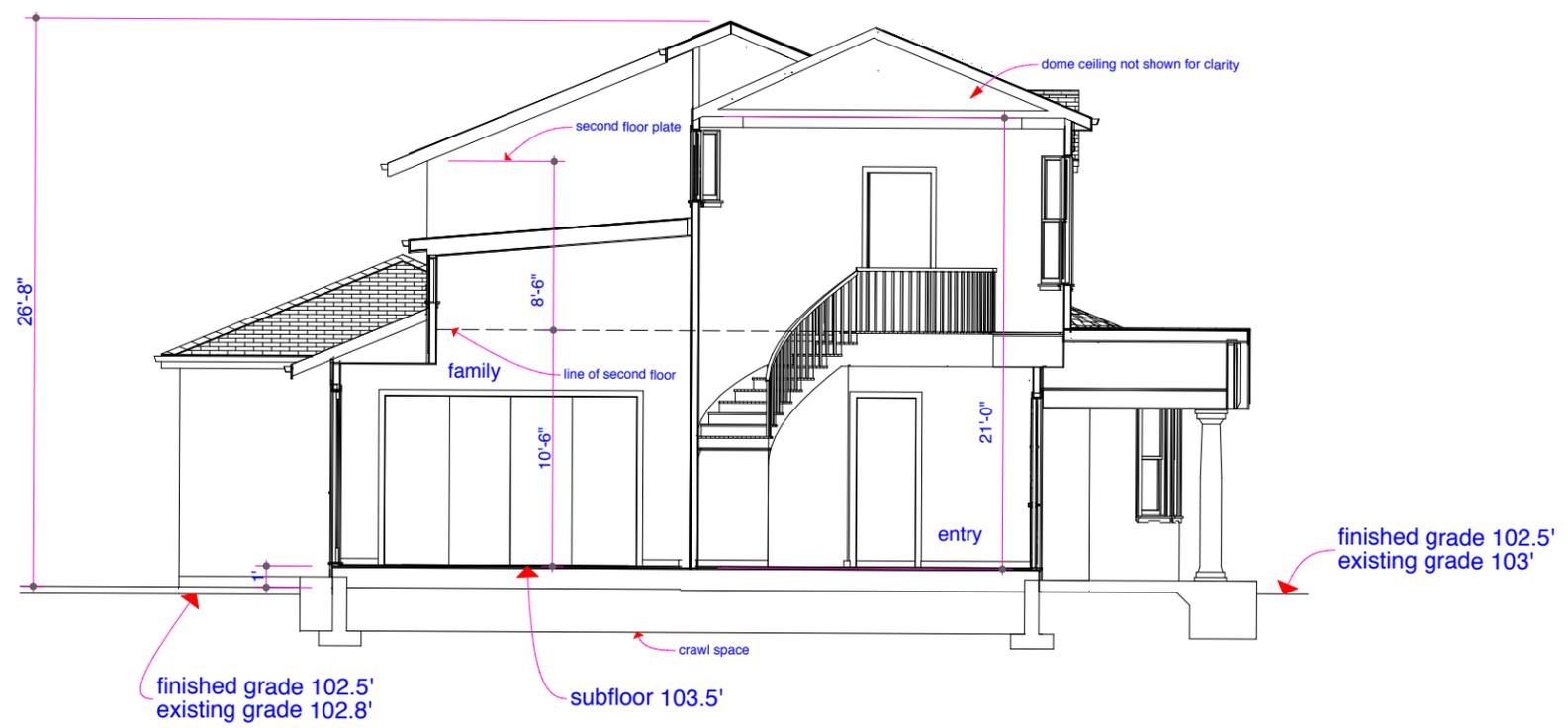
Existing
 Elevations

R2 - 8/8/16
 R1 - 6/7/16

1/25/16

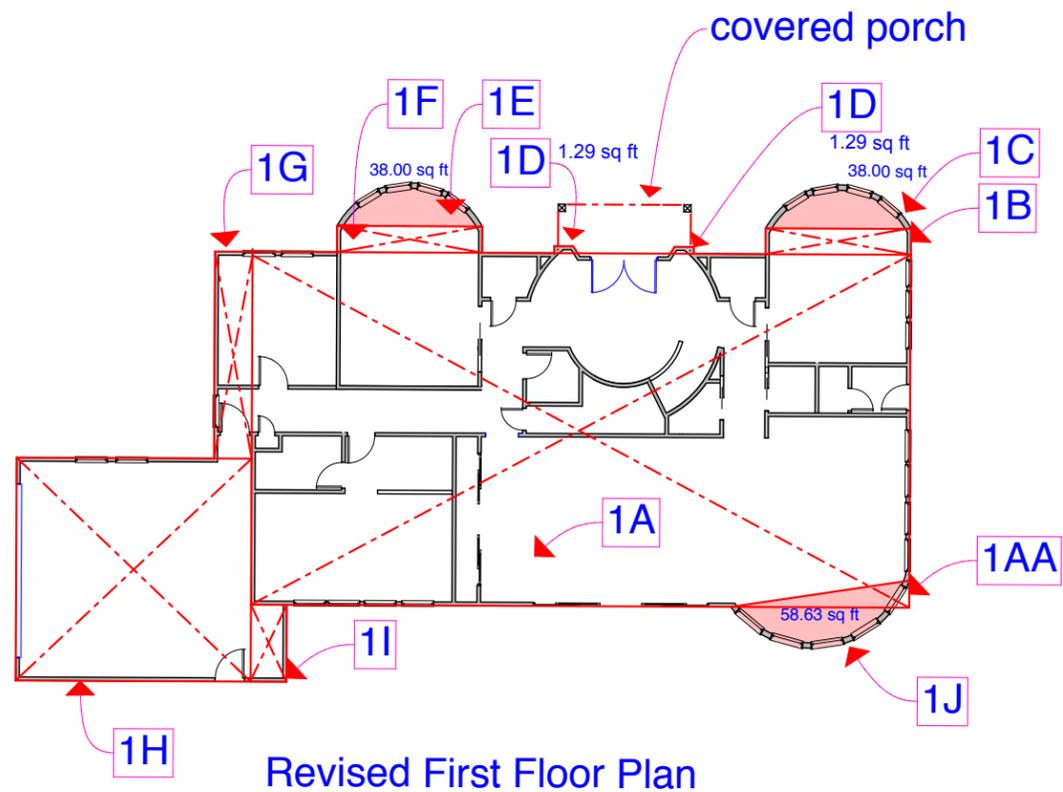


Section AA



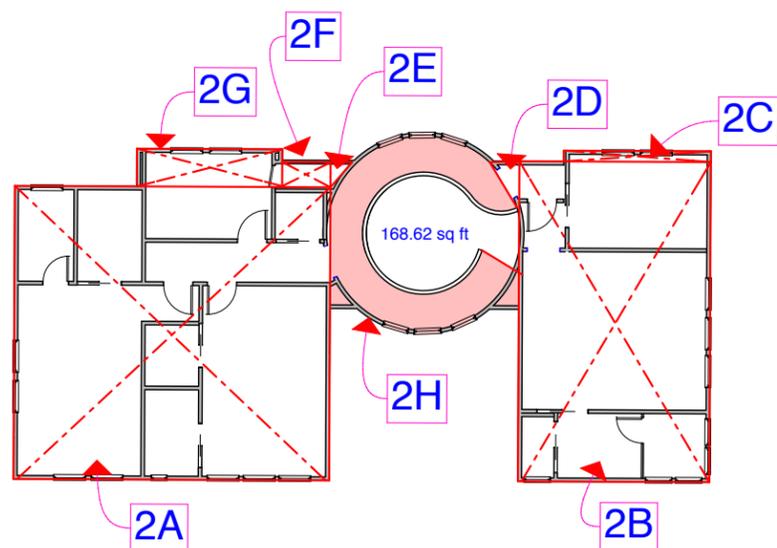
Section BB

GRADE POINT NOTE: all grade points are to finished grade - existing points are for reference only



Revised First Floor Plan

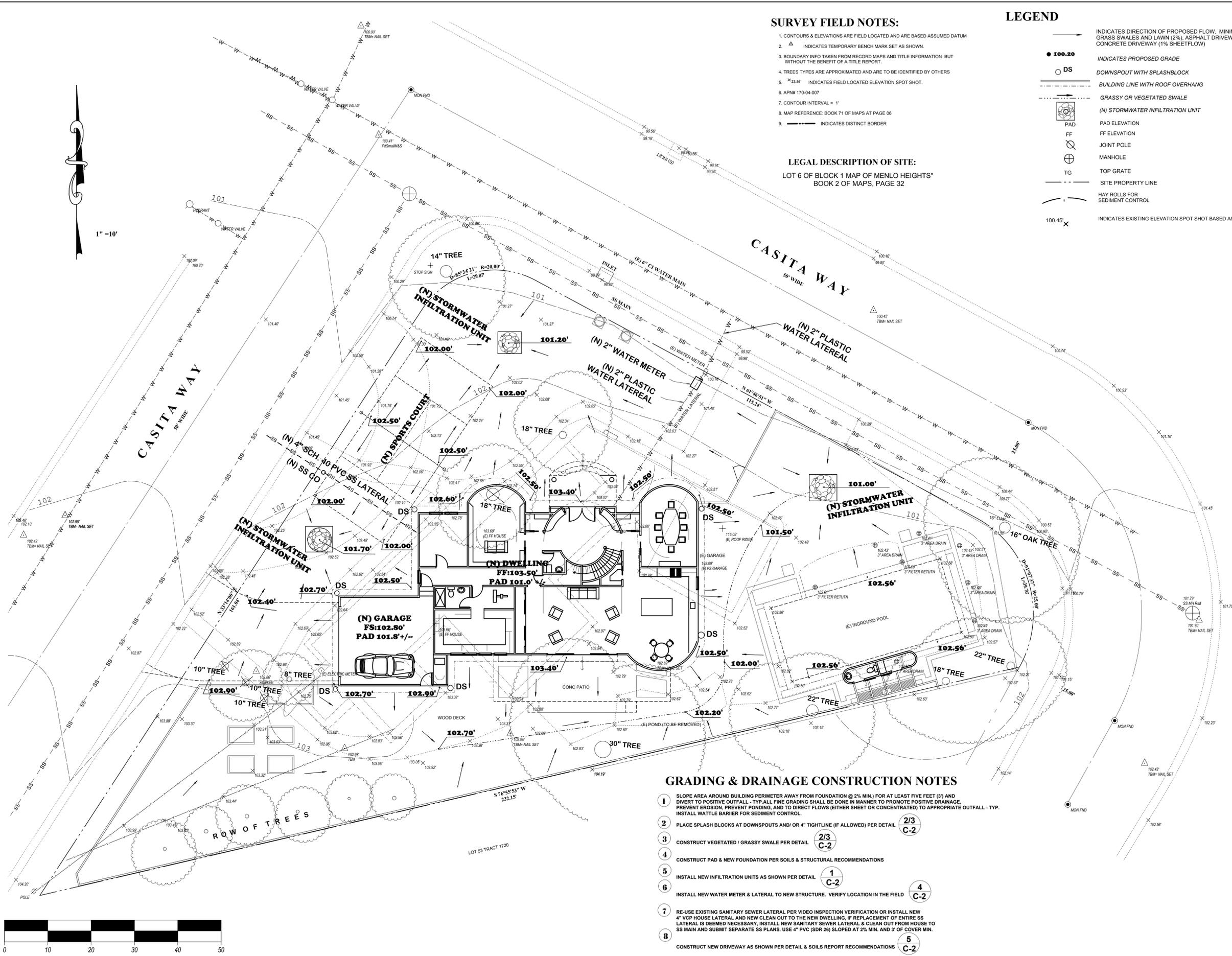
First Floor		
	size	area
1A	61'-2" x 32'8"	1998.10
1AA	2.33'1.33/2	-1.55
1B	13'-6 x 2'-6	33.75
1C		38.00
1D	1.3 x 2	2.60
1E		38.00
1F	13'-6 x 2'-6	33.75
1G	3'-6 x 19'-6	68.25
1H	21'-10 x 20'-8	451.23
1I	3'-4 x 7'-1	26.07
1J		59.00
first floor subtotal		2747.20
Second Floor		
2A	29'-4 x 27'-4	801.59
2B	17'-10 x 29'-8	529.02
2C	13'-6 x 1	13.50
2D	3'-2 x 5'-7 /2	8.82
2E	4'-1 x 2'-6 /2	5.10
2F	4'-2 x 2'-8	11.13
2G	13'-6 x 3'-6	47.25
2H		169.00
second floor subtotal		1585.41
Total Floor Area		4333
covered porch	12'-7 x 4	50.48
first floor subtotal		2747.20
Total lot coverage		2797.68
allowed coverage		4965.9 0.175



SECOND FLOOR



1" = 10'



SURVEY FIELD NOTES:

1. CONTOURS & ELEVATIONS ARE FIELD LOCATED AND ARE BASED ASSUMED DATUM
2. Δ INDICATES TEMPORARY BENCH MARK SET AS SHOWN.
3. BOUNDARY INFO TAKEN FROM RECORD MAPS AND TITLE INFORMATION BUT WITHOUT THE BENEFIT OF A TITLE REPORT.
4. TREES TYPES ARE APPROXIMATED AND ARE TO BE IDENTIFIED BY OTHERS
5. 'x' INDICATES FIELD LOCATED ELEVATION SPOT SHOT.
6. APN# 170-04-007
7. CONTOUR INTERVAL = 1'
8. MAP REFERENCE: BOOK 71 OF MAPS AT PAGE 06
9. --- INDICATES DISTINCT BORDER

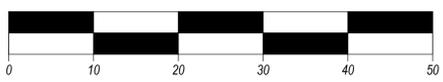
LEGAL DESCRIPTION OF SITE:
 LOT 6 OF BLOCK 1 MAP OF MENLO HEIGHTS*
 BOOK 2 OF MAPS, PAGE 32

LEGEND

- INDICATES DIRECTION OF PROPOSED FLOW. MINIMUMS PER CITY GUIDELINES: GRASS SWALES AND LAWN (2%), ASPHALT DRIVEWAY (2% SHEETFLOW), PORTLAND CEMENT CONCRETE DRIVEWAY (1% SHEETFLOW)
- INDICATES PROPOSED GRADE
- 100.20
- DS
- BUILDING LINE WITH SPLASHBLOCK
- BUILDING LINE WITH ROOF OVERHANG
- GRASSY OR VEGETATED SWALE
- (N) STORMWATER INFILTRATION UNIT
- PAD PAD ELEVATION
- FF FF ELEVATION
- ⊕ JOINT POLE
- ⊕ MANHOLE
- ⊕ TG TOP GRATE
- SITE PROPERTY LINE
- HAY ROLLS FOR SEDIMENT CONTROL
- 100.45' x INDICATES EXISTING ELEVATION SPOT SHOT BASED ASSUMED DATUM

GRADING & DRAINAGE CONSTRUCTION NOTES

1. SLOPE AREA AROUND BUILDING PERIMETER AWAY FROM FOUNDATION @ 2% MIN.) FOR AT LEAST FIVE FEET (5') AND DIVERT TO POSITIVE OUTFALL - TYP. ALL FINE GRADING SHALL BE DONE IN MANNER TO PROMOTE POSITIVE DRAINAGE, PREVENT EROSION, PREVENT PONDING, AND TO DIRECT FLOWS (EITHER SHEET OR CONCENTRATED) TO APPROPRIATE OUTFALL - TYP. INSTALL WATTLE BARRIER FOR SEDIMENT CONTROL.
2. PLACE SPLASH BLOCKS AT DOWNSPOUTS AND/ OR 4" TIGHTLINE (IF ALLOWED) PER DETAIL 2/3 C-2
3. CONSTRUCT VEGETATED / GRASSY SWALE PER DETAIL 2/3 C-2
4. CONSTRUCT PAD & NEW FOUNDATION PER SOILS & STRUCTURAL RECOMMENDATIONS
5. INSTALL NEW INFILTRATION UNITS AS SHOWN PER DETAIL 1 C-2
6. INSTALL NEW WATER METER & LATERAL TO NEW STRUCTURE. VERIFY LOCATION IN THE FIELD 4 C-2
7. RE-USE EXISTING SANITARY SEWER LATERAL PER VIDEO INSPECTION VERIFICATION OR INSTALL NEW 4" VCP HOUSE LATERAL AND NEW CLEAN OUT TO THE NEW DWELLING, IF REPLACEMENT OF ENTIRE SS LATERAL IS DEEMED NECESSARY. INSTALL NEW SANITARY SEWER LATERAL & CLEAN OUT FROM HOUSE TO SS MAIN AND SUBMIT SEPARATE SS PLANS. USE 4" PVC (SDR 26) SLOPED AT 2% MIN. AND 3" OF COVER MIN.
8. CONSTRUCT NEW DRIVEWAY AS SHOWN PER DETAIL & SOILS REPORT RECOMMENDATIONS 5 C-2



Chkd	
By	
Date	
Revision	
No.	
Date: 01-25-16	Drawn By: JLK

JLK ASSOCIATES
 SURVEYORS / ENGINEERS
 73 CEDAR LANE
 SAN JOSE, CA. 95127
 408-729-3734

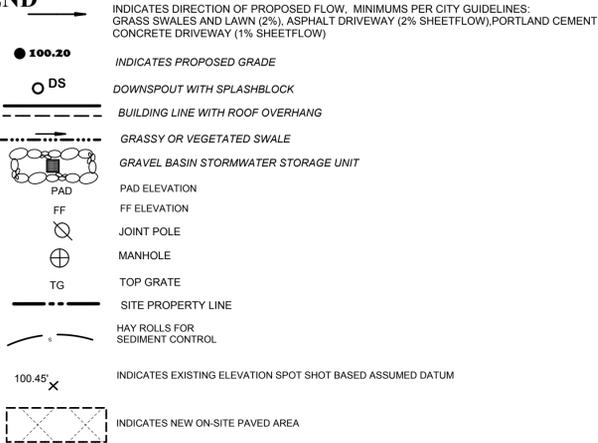
DRAINAGE & GRADING PLAN
 705 CASITA WAY
 LOS ALTOS
 SAN MATEO COUNTY
 CALIFORNIA



SCALE: AS NOTED

SHEET:
C - 1
 1 OF 2

LEGEND



GRADING & DRAINAGE CONSTRUCTION NOTES

- SLOPE AREA AROUND BUILDING PERIMETER AWAY FROM FOUNDATION @ 2% MIN. FOR AT LEAST FIVE FEET (5') AND DIVERT TO POSITIVE OUTFALL - TYP. ALL FINE GRADING SHALL BE DONE IN MANNER TO PROMOTE POSITIVE DRAINAGE, PREVENT EROSION, PREVENT PONDING, AND TO DIRECT FLOWS (EITHER SHEET OR CONCENTRATED) TO APPROPRIATE OUTFALL - TYP. INSTALL WATTLE BARRIER FOR SEDIMENT CONTROL. **2/3 C-2**
- PLACE SPLASH BLOCKS AT DOWNSPOUTS AND/OR 4" TIGHTLINE (IF ALLOWED) PER DETAIL. **2/3 C-2**
- CONSTRUCT VEGETATED / GRASSY SWALE PER DETAIL. **2/3 C-2**
- CONSTRUCT PAD & NEW FOUNDATION PER SOILS & STRUCTURAL RECOMMENDATIONS. **1 C-2**
- INSTALL NEW INFILTRATION UNITS AS SHOWN PER DETAIL. **1 C-2**
- INSTALL NEW WATER METER & LATERAL TO NEW STRUCTURE. VERIFY LOCATION IN THE FIELD. **4 C-2**
- RE-USE EXISTING SANITARY SEWER LATERAL PER VIDEO INSPECTION VERIFICATION OR INSTALL NEW 4" VCP HOUSE LATERAL AND NEW CLEAN OUT TO THE NEW DWELLING, IF REPLACEMENT OF ENTIRE SS LATERAL IS DEEMED NECESSARY. INSTALL NEW SANITARY SEWER LATERAL & CLEAN OUT FROM HOUSE TO SS MAIN AND SUBMIT SEPARATE SS PLANS. USE 4" PVC (SDR 26) SLOPED AT 2% MIN. AND 3" OF COVER MIN.
- CONSTRUCT NEW DRIVEWAY AS SHOWN PER DETAIL & SOILS REPORT RECOMMENDATIONS. **5 C-2**

STORMWATER RUN-OFF CALCULATIONS

DETERMINE VOLUME OF RUN-OFF & MINIMUM DETENTION VOLUME

- TOTAL AREA OF NEW IMPERVIOUS AREA: 3518 POST DEVELOPMENT
- CHANGE IN THE RUN-OFF COEFFICIENT 0.95-0.30 = 0.65
- DISCHARGE RATE OF NEW IMPERVIOUS AREA:
3518 sq ft (from step 1) X 1.75 X 0.65 = 0.0926 CUBIC FEET PER SECOND OF RUN-OFF (CFS)
- DETERMINE MINIMUM REQUIRED STORAGE / DETENTION VOLUME:
0.0926 cfs x 1.5 x 10 minutes X 60 SEC/MIN = 83 CUBIC FEET OF RUN OFF (CF)

GRAVEL BASIN DETENTION METHOD

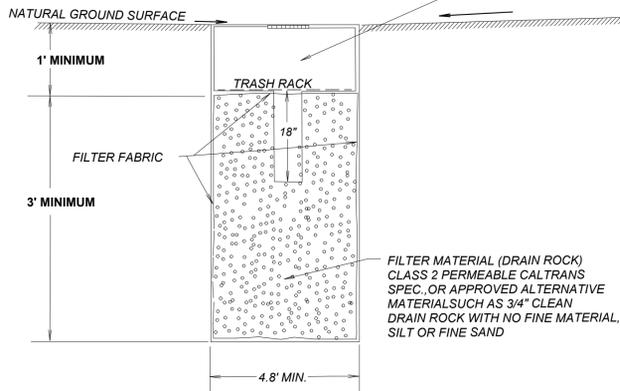
- DETERMINE REQUIRED SIZE OF GRAVEL BED. $V (\text{gravel bed}) = V / 0.4 (40\% \text{ VOIDS})$ (5.4 (CF) DIVIDED BY 0.4 = 13.5 (CF))

DIMENSIONS OF BEDS PROPOSED : 4.8' X 4.8' X 3.0' = 69 CUBIC FEET X 3 UNITS= 207 CU FT X .40 VOIDS = 83 CU FT PROVIDED

STREET NOTES

- The applicant/contractor shall obtain a separate encroachment permit from the County's Engineering Division prior to start of any work within the County's right-of-way or public easement areas. The applicant shall obtain permits from utility companies prior to applying for County encroachment permit.
- Contact Public Works to schedule an inspection a minimum of 24 hours in advance of commencement of public improvement work. The construction supervisor will discuss any repair work to frontage improvements which are not shown on the plans.
- The applicant shall remove and replace all cracked, damaged, uplifted or depressed frontage improvements (curb, gutter, sidewalk, driveway, etc.), existing or damaged by the construction activities, per County standards along the entire property frontage. If frontage improvements do not currently exist, the applicant is required to install frontage improvements per County standards along the entire property frontage. All improvements are to be completed and approved by the County's Public Work's inspector prior to the final inspection by the Building inspector.

INSTALL OVERFLOW BUBBLER BOX 12" MINIMUM DEPTH WITH 8" PIPE EXTENDING THROUGH BOTTOM OF BOX INTO SEEPAGE PITPER DETAIL

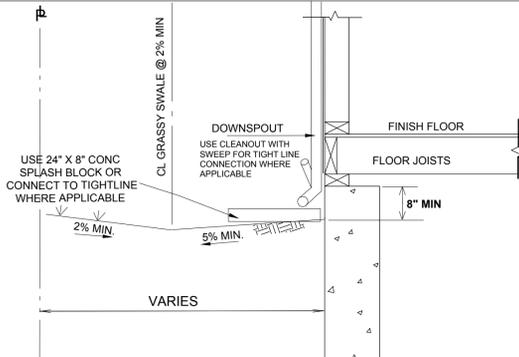


STORMWATER INFILTRATION UNIT DETAIL

NOT TO SCALE

1

C-2

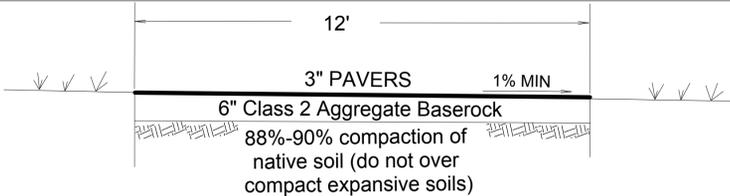


GRASSY SWALE & DOWNSPOUT SPLASH BLOCK DETAIL

NOT TO SCALE

2&3

C-1

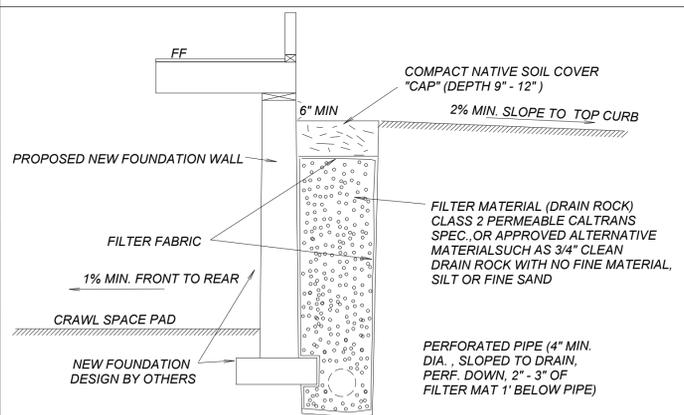


IN COUNTY RIGHT-OF-WAY USE 2" ASPHALT CONCRETE OVER 6" CLASS 2 AGGREGATE

TYPICAL DRIVEWAY SECTION

5

C-1

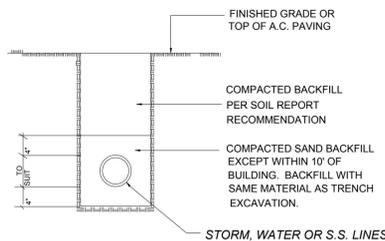


PERIMETER FOUNDATION SUBDRAIN DETAIL

NOT TO SCALE

2

C-2



PIPE LINE BACKFILL DETAIL

NOT TO SCALE

4

C-1

Chief	
By	
Date	
Revision	
No.	

Date: 01-25-16

Drawn By: JJK

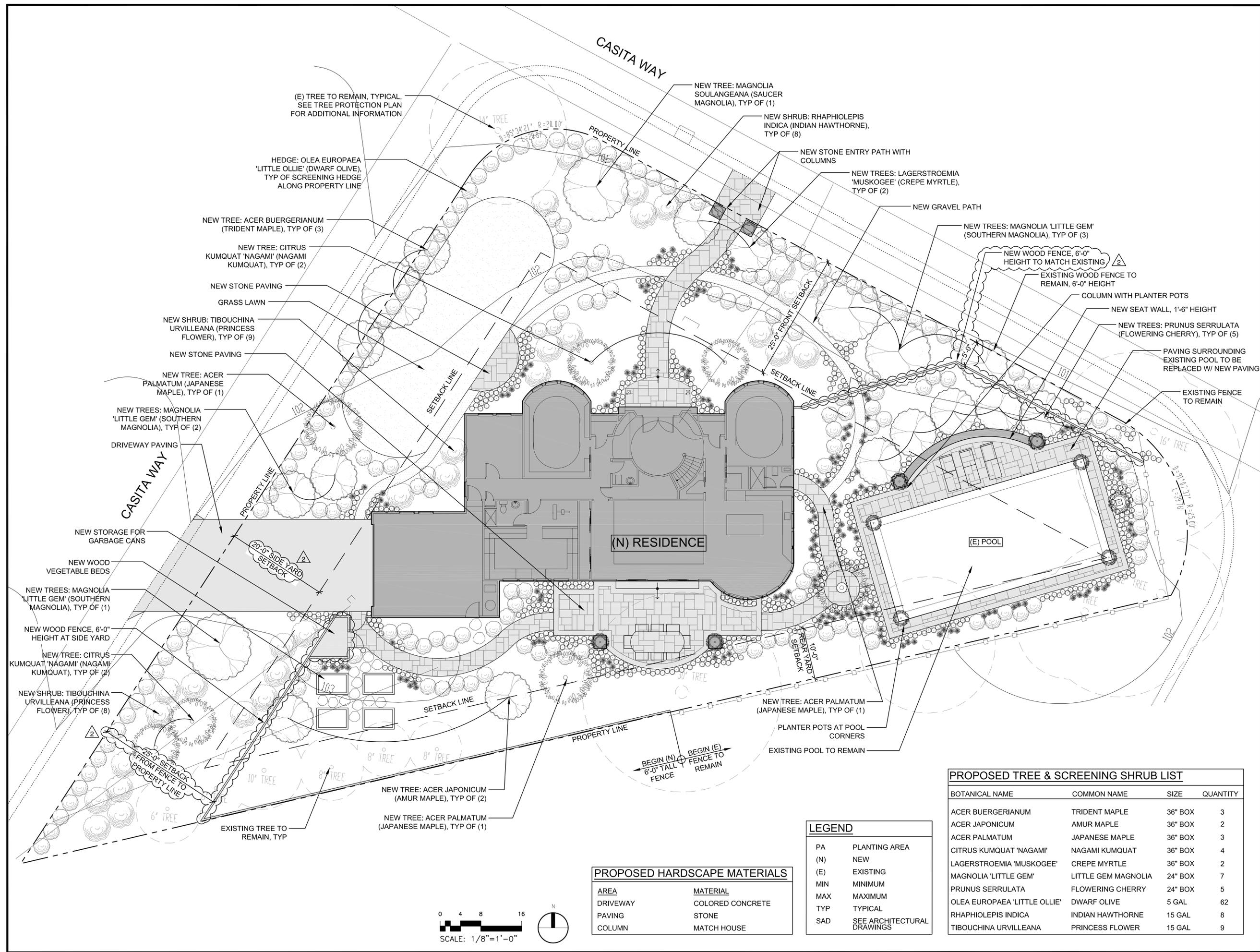
JLK ASSOCIATES
SURVEYORS / ENGINEERS
73 CEDAR LANE
SAN JOSE, CA. 95127
408-729-3734

DRAINAGE & GRADING PLAN
705 CASITA WAY
LOS ALTOS
SAN MATEO COUNTY
CALIFORNIA



SCALE: AS NOTED

SHEET:
C - 2



OWNERSHIP & USE OF DOCUMENTS:

All Drawings, Specifications and copies thereof furnished by Zetterre Landscape Architecture are and shall remain its property. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for purposes in connection with the Project is not to be construed as publication in derogation of Zetterre Landscape Architecture, common law copyright or other reserved rights.

Revisions:

Date:	Submitted:
05/27/2016	Planning Revisions
08/03/2016	Planning Revisions

Project Title:

YEN RESIDENCE

Project Address:

705 Casita Way
Los Altos, CA 94022

Sheet Title:

LANDSCAPE PLAN

Approved:

Scale: Planning Submittal

Drawn: WS/SJS

Project No:

Scale: As Shown

Date: 01/22/2016

Sheet No:

L1

X of Sheets

PROPOSED HARDSCAPE MATERIALS

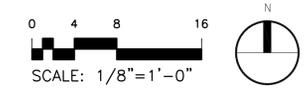
AREA	MATERIAL
DRIVEWAY	COLORED CONCRETE
PAVING	STONE
COLUMN	MATCH HOUSE

LEGEND

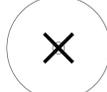
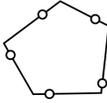
PA	PLANTING AREA
(N)	NEW
(E)	EXISTING
MIN	MINIMUM
MAX	MAXIMUM
TYP	TYPICAL
SAD	SEE ARCHITECTURAL DRAWINGS

PROPOSED TREE & SCREENING SHRUB LIST

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
ACER BUERGERIANUM	TRIDENT MAPLE	36" BOX	3
ACER JAPONICUM	AMUR MAPLE	36" BOX	2
ACER PALMATUM	JAPANESE MAPLE	36" BOX	3
CITRUS KUMQUAT 'NAGAMI'	NAGAMI KUMQUAT	36" BOX	4
LAGERSTROEMIA 'MUSKOGEE'	CREPE MYRTLE	36" BOX	2
MAGNOLIA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	24" BOX	7
PRUNUS SERRULATA	FLOWERING CHERRY	24" BOX	5
OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE	5 GAL	62
RHAPHIOLEPIS INDICA	INDIAN HAWTHORNE	15 GAL	8
TIBOUCHINA URVILLEANA	PRINCESS FLOWER	15 GAL	9

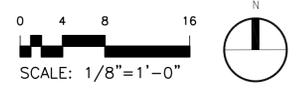


LEGEND:

-  AREA OF PLANTING TO BE HAND CLEARED
-  TREE TO BE REMOVED
-  TREE TO BE REMAIN
-  TREE PROTECTION FENCING TO BE MAINTAINED DURING CONSTRUCTION

GENERAL NOTES:

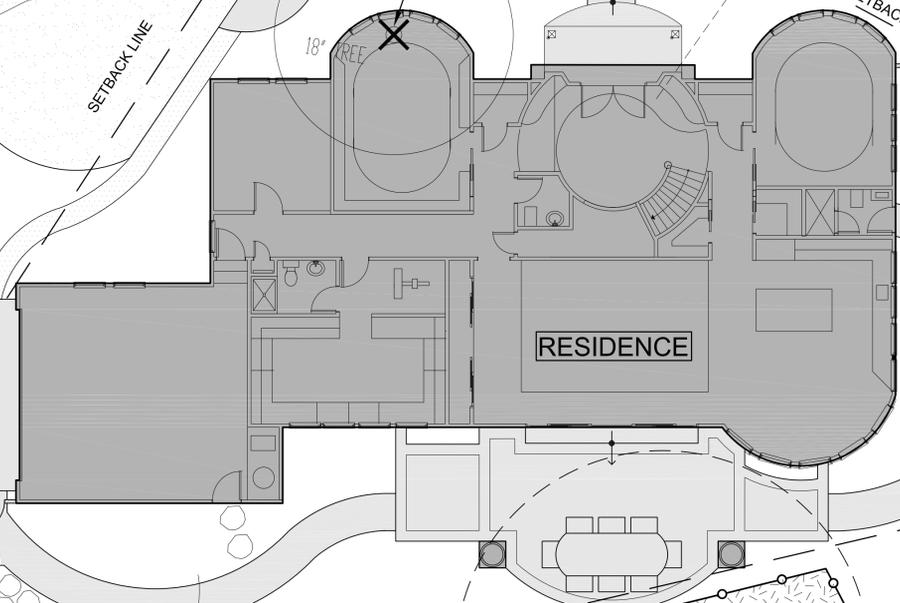
- FOR ADDITIONAL NOTES, LEGEND, AND ABBREVIATIONS, SEE SHEET L1
- AT NO TIME SHALL THE STREET BE CLOSED OR BLOCKED. FLAGMEN SHALL BE USED AT ALL TIMES WHEN DELIVERIES OR CONSTRUCTION RESTRICT ANY PORTION OF THE RIGHT OF WAY.
- ALL PROTECTIVE FENCING SHALL BE MAINTAINED IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.
- NO DEMOLITION OR CONSTRUCTION MAY COMMENCE UNTIL THE PROTECTIVE FENCING HAS BEEN INSTALLED
- UNLESS OTHERWISE NOTED ALL DEVELOPMENT SHOWN IS NEW
- REFER TO LANDSCAPE PLAN FOR NEW TREE PLACEMENT



- 8" XYLOSMA CONGESTUM (18)
- 10" CUPRESSUS SEMPERVIRENS (17)
- 10" CUPRESSUS SEMPERVIRENS (16)
- 10" CUPRESSUS SEMPERVIRENS (15)
- 6" PITTOSPORUM UNDULATUM (13)
- 8" PITTOSPORUM UNDULATUM (11)
- 10" PITTOSPORUM UNDULATUM (12)
- 6" PITTOSPORUM UNDULATUM (14)

CASITA WAY

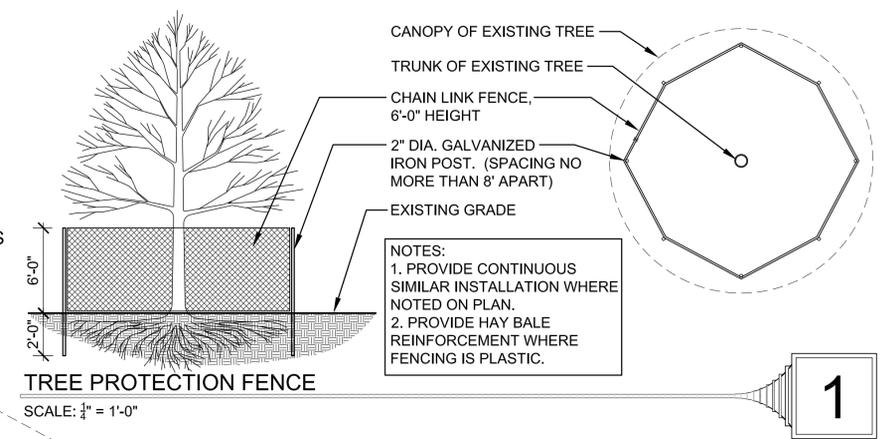
CASITA WAY



TREE SURVEY INDEX

SYM	BOTANICAL NAME	COMMON NAME	SIZE	STATUS
1	MAGNOLIA SOULANGEANA	CHINESE MAGNOLIA	14"	REMAIN
2	CEDRUS DEODORA	DEODAR CEDAR	18"	REMOVE
3	CUPRESSUS MACROCARPA	MONTEREY CYPRESS	18"	REMOVE
4	QUERCUS AGRIFOLIA	COAST LIVE OAK	16"	REMAIN
5	PITTOSPORUM UNDULATUM	VICTORIAN BOX	18"	REMAIN
6	ULMUS PARVIFOLIA	CHINESE ELM	22"	REMAIN
7	PITTOSPORUM UNDULATUM	MONTEREY PINE	22"	REMAIN
8	EUCALYPTUS GLOBULUS	EUCALYPTUS	30"	REMAIN

SYM	BOTANICAL NAME	COMMON NAME	SIZE	STATUS
9	PITTOSPORUM UNDULATUM	VICTORIAN BOX	8"	REMAIN
10	PITTOSPORUM UNDULATUM	VICTORIAN BOX	8"	REMAIN
11	PITTOSPORUM UNDULATUM	VICTORIAN BOX	8"	REMAIN
12	PITTOSPORUM UNDULATUM	VICTORIAN BOX	10"	REMAIN
13	PITTOSPORUM UNDULATUM	VICTORIAN BOX	6"	REMAIN
14	PITTOSPORUM UNDULATUM	VICTORIAN BOX	6"	REMAIN
15	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	10"	REMOVE
16	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	10"	REMOVE
17	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	10"	REMOVE
18	XYLOSMA CONGESTUM	SHINY XYLOSMA	8"	REMOVE



1



Zeterre Landscape Architecture, Inc.
1171 Folsom Street
San Francisco, CA 94103
Ph. 415.691.2166
www.zeterre.com

OWNERSHIP & USE OF DOCUMENTS:

All Drawings, Specifications and copies thereof furnished by Zeterre Landscape Architecture are and shall remain its property. They are to be used only with respect to this Project and are not to be used on any other project. Submission or distribution to meet official regulatory requirements or for purposes in connection with the Project is not to be construed as publication in derogation of Zeterre Landscape Architecture, common law copyright or other reserved rights.

Revisions:

Date:	Submittal:
05/27/2016	Planning Revisions
08/03/2016	Planning Revisions

Project Title:

YEN RESIDENCE

Project Address:

705 Casita Way
Los Altos, CA 94022

Sheet Title:

TREE PROTECTION PLAN

Approved:

Scale: Planning Submittal

Drawn: WS/SJS

Project No:

Scale: As Shown

Date: 01/22/2016

Sheet No:

L2

of Sheets