

PLANNING SET

June 21, 2016

SCOPE OF WORK

Renovation of existing single family residence. 1,065 SF addition of new living room and new second story bedroom spaces. Convert 68 SF of garage to habitable area. Relocate existing driveway. Remove unpermitted sun room.

PROJECT DATA

APN#: 189-56-015
 DISTRICT: R1-10
 OCCUPANCY GROUP: R-3
 CONSTRUCTION TYPE: VB

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
Lot Coverage	1,956 SF (23 %)	2,352 SF (28 %)	2,500 SF (30 %)
Floor Area (gross)	1ST FLOOR: 1,821 2ND FLOOR: 0 (22%)	1ST FLOOR: 2,242 2ND FLOOR: 644 (34.6%)	2917 SF (35 %)
Setbacks (One story)			
-Front	23'-9"	23'-9"	25 feet
-Rear	17'-9"	17'-9"	25 feet
-Side (west)	15'-10" / N/A	13'-4" / 30'-10"	10 feet / 17.5 feet
-Side (east)	14'-10" / N/A	14'-10" / 26'-2"	20 feet
Height	15' (1 story)	25'-0"	27 feet (2 stories)

SQUARE FOOTAGE BREAKDOWN

	Existing SF	Change In SF	Total Proposed SF
Habitable Living Area	1,332	+1,133	2,465
Non-Habitable Area:	489	-68	421

LOT CALCULATIONS

Net Lot Area	8,333.6 SF
Front Yard Hardscape Area (shall not exceed 50%)	740 SF (37%)
Landscape Breakdown	Total hardscape area (existing and proposed) 4,759.0 SF Existing softscape (undisturbed) area 2,762.6 SF New softscape area 812.0 SF (Sum of all three should equal the site's net lot area)

DRAWING LIST

- A0 PROPOSED SITE, EXISTING ROOF FLOOR AREA CALCULATIONS
- A0.1 FLOOR AREA CALCULATIONS
- A0.2 ROOF AREA CALCULATIONS
- A0.3 NEIGHBORHOOD PLAN
- A1 EXISTING, DEMOLITION PLAN
- A1.1 EXISTING ELEVATIONS
- A1.2 EXISTING ELEVATIONS
- A2 PROPOSED LANDSCAPE PLAN, GRADING & DRAINAGE PLAN
- A2.1 PROPOSED FLOOR PLAN
- A2.2 PROPOSED 2ND FLOOR PLAN
- A2.3 PROPOSED ROOF
- A3 PROPOSED EXTERIOR ELEVATIONS
- A3.1 PROPOSED EXTERIOR ELEVATIONS SECTIONS
- A4 INTERIOR ELEVATIONS
- A5 ENLARGED KITCHEN PLANS AND ELEVATIONS
- A7 ENLARGED BATHROOM PLANS AND ELEVATIONS
- A8 SCHEDULES
- E1 ELECTRICAL SCHEDULES
- E2 ELECTRICAL PLANS SURVEY

- CODES IN EFFECT FOR THE WORK:
- 2013 California Building Code (2006 IBC)
 - 2013 California Electrical Code (2005 NEC)
 - 2013 California Mechanical Code (2006 UMC)
 - 2013 California Plumbing Code (2006 UPC)
 - 2013 California Fire Code
 - 2013 California Energy Efficiency Code
 - 2013 California Residential Code (CRC)
 - 2013 California Green Building Standards Code (CGBC)
 - City of Los Altos Municipal Code

GENERAL NOTES CONTINUED

- Fire sprinklers are required due to the addition of more than 50% of the existing livable area. (Section R313.1.) Refer to calculations on A0.2. Provide backflow preventer as required.
- No encroachment permit is necessary as no work will be done in public right-of-way (which includes the street shoulder).
- The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project.
- Any new utility service drops shall be located underground from the nearest convenient existing pole pursuant to Chapter 12.68 of the Municipal Code.
- Prior to the issuance of a Demolition Permit or Building Permit, tree protection fencing shall be installed around the dripline of trees immediately adjacent to the additions, or as required by the project arborist. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.
- Note the location of any water backflow preventers and screening to mitigate such facilities.
- There are no air conditioning units on the property.
- All front and exterior side yard landscaping and privacy screening shall be maintained and/or installed as required by the Planning Division.
- automatic irrigation system controllers for landscaping shall comply with the following:
 - controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plant watering needs as weather or soil conditions change.
 - weather-based controllers without integral rain sensors or communication systems that account for rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s).

GENERAL NOTES

The Contractor shall carefully review the Construction Documents, shall take field measurements of any existing conditions related to the Work and shall observe any conditions at the site affecting it. Any inconsistencies with the Construction Documents discovered by the Contractor shall be reported promptly to the Architect as a request for information.

The Contractor shall be solely responsible for and have control over construction means, methods, techniques, sequences and procedures and for coordinating all portions of the Work under the Contract.

The Contractor shall comply with and give notices required by laws, ordinances, rules, regulations and lawful orders of public authorities applicable to performance of the Work.

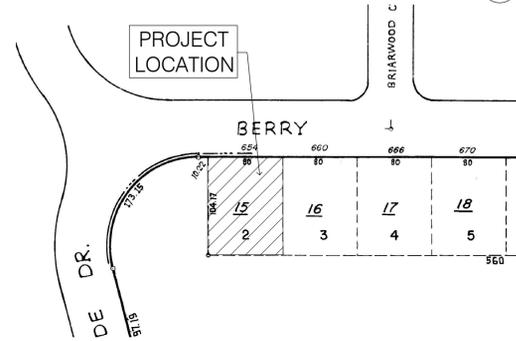
The Contractor shall comply with all manufacturer specifications and recommendations for products and finish selections.



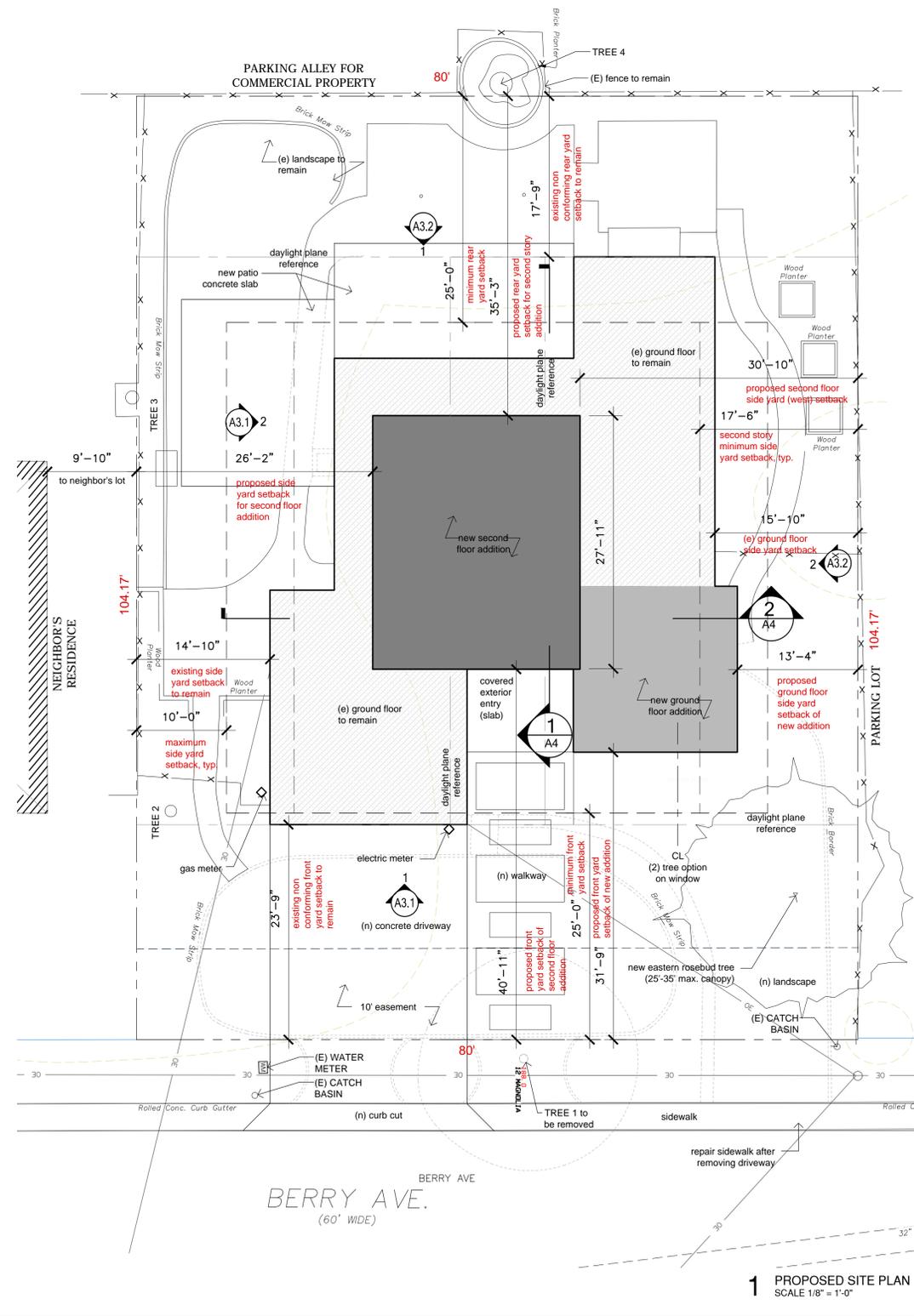
5 RENDERING: STREET VIEW
SCALE: NTS



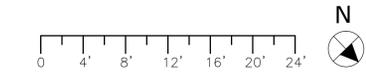
4 VICINITY MAP
SCALE: NTS



3 PARCEL MAP
SCALE: NTS



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



Saproo RENOVATION

for
Ajay Saproo

at
654 Berry Ave
Los Altos, CA



Lori Sang Hsu Architect

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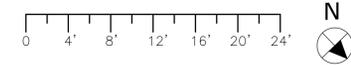
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PROGRESS PRINT	2/19/15
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TITLE

PROPOSED SITE & EXISTING ROOF PLAN

SHEET

A0.0



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RENOVATION**

for
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at
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Los Altos, CA

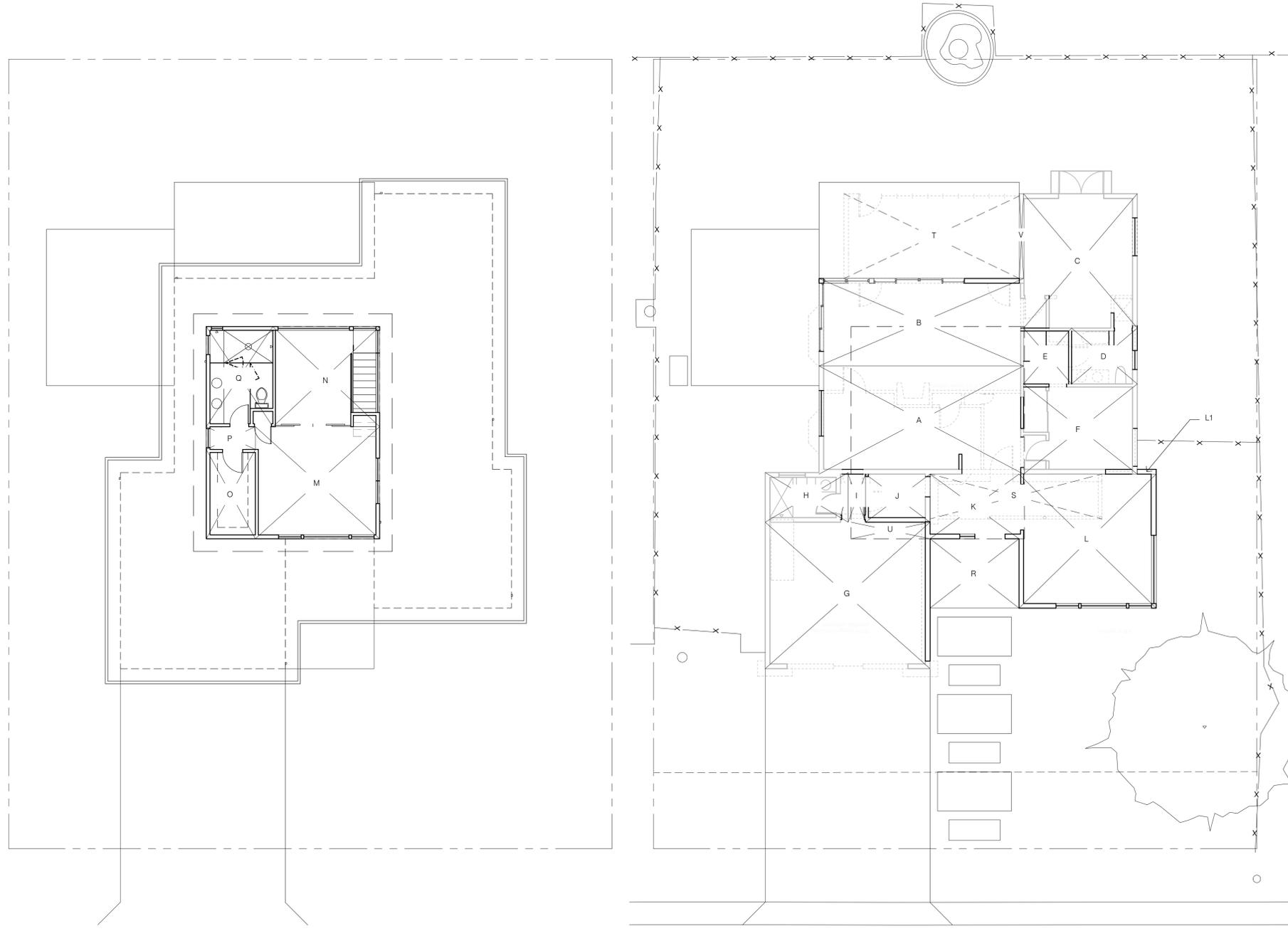


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3 AREA DIAGRAM SECOND FLOOR
SCALE 1/8" = 1'-0"

2 AREA DIAGRAM GROUND FLOOR
SCALE 1/8" = 1'-0"

AREA CALCULATIONS			
* SEE HABITABLE & NON-HABITABLE AREA CALCULATIONS			
SECTION	DIMENSIONS	AREA	DESCRIPTION
A	27'x14.3'	386	(E) HABITABLE FLOOR AREA
B	27'x11.5'	311	(E) HABITABLE FLOOR AREA
C	15'x17.3'	265.5	(E) HABITABLE FLOOR AREA
V	.56'x11.2'	6.3	(E) HABITABLE FLOOR AREA
D	8.7'x7.4'	64.4	(E) HABITABLE FLOOR AREA
E	6.4'x7.4'	47.4	(E) HABITABLE FLOOR AREA
F	15'x11.9'	178.5	(E) HABITABLE FLOOR AREA
G	21.8'x19.3'	421	(E) NON-HABITABLE FLOOR AREA
H	11.2'x6.5'	73	(E) HABITABLE FLOOR AREA
I	2.25'x6.3'	14	*(E) NON-HABITABLE FLOOR AREA
J	8.6'x6.3'	54	*(E) NON-HABITABLE FLOOR AREA
		1821.10	(E) GROSS FLOOR AREA
T	23.25'x10.9'	253.40	(E) UN-PERMITTED AREA TO BE REMOVED, NOT INCLUDED IN CALC.
K	11.8'x8.5'	100	NEW AREA (FLOOR 1)
L	18.2'x17.6'	320	NEW AREA (FLOOR 1)
L1	2.5'x0.6'	1.5	NEW AREA (FLOOR 1)
M	16.5'x14.8'	244	NEW AREA (FLOOR 2)
N	14.2'x13.2'	187.4	NEW AREA (FLOOR 2)
O	6.5'x11.8'	76.7	NEW AREA (FLOOR 2)
P	6.5'x3'	19.5	NEW AREA (FLOOR 2)
Q	8.8'x13.2'	116.16	NEW AREA (FLOOR 2)
		1065.26	(N) AREA SUBTOTAL
		1821.10	(E) GROSS FLOOR AREA
		2886.36	(N) GROSS FLOOR AREA
FIRE SPRINKLER CALCULATIONS			
SECTION	DIMENSIONS	AREA	DESCRIPTION
L	18.2'x17.6'	320	NEW AREA (FLOOR 1)
L1	2.5'x0.6'	1.5	NEW AREA (FLOOR 1)
K	11.8'x8.5'	100	NEW AREA (FLOOR 1)
I	2.25'x6.3'	14	(E) ROOF TO BE REPLACED
J	8.6'x6.3'	54	(E) ROOF TO BE REPLACED
U	10.5'x2.2'	23	(E) ROOF TO BE REPLACED
A	27'x14.3'	386	(E) ROOF TO BE REPLACED
B	27'x11.5'	311	(E) ROOF TO BE REPLACED
		1209.50	ADDITION & REMOVAL FOOTPRINT
		1821	(E) GROSS FLOOR AREA
		911	50% OF (E) HABITABLE AREA
		1209.5 < 911 SF	FIRE SPRINKLERS REQUIRED

LOT COVERAGE			
SECTION	DIMENSIONS	AREA	DESCRIPTION
S	22.8'x5.9'	135	(E) PORCH TO BE DEMOLISHED
		1821	(E) GROSS FLOOR AREA
		1956.00	(E) LOT COVERAGE
R	11.8'x9.2'	109	(N) PORCH
K	11.8'x8.5'	100	NEW AREA (FLOOR 1)
L	18.2'x17.6'	320	NEW AREA (FLOOR 1)
L1	2.5'x0.6'	1.5	NEW AREA (FLOOR 1)
		1821	(E) GROSS FLOOR AREA
		2352	(N) LOT COVERAGE
NON HABITABLE AREA (GARAGE) CALCULATIONS			
SECTION	DIMENSIONS	AREA	DESCRIPTION
G	21.8'x19.3'	421	(E) NON-HABITABLE FLOOR AREA
I	2.25'x6.3'	14	(E) NON-HABITABLE AREA TO BE (N) HABITABLE AREA
J	8.6'x6.3'	54	(E) NON-HABITABLE AREA TO BE (N) HABITABLE AREA
		489	TOTAL (E) NON-HABITABLE FLOOR AREA
-I	-2.25'x6.3'	-14	(E) NON-HABITABLE AREA TO BE (N) HABITABLE AREA
-J	-8.6'x6.3'	-54	(E) NON-HABITABLE AREA TO BE (N) HABITABLE AREA
		421	AREA G
HABITABLE AREA CALCULATIONS			
(E) GROSS FLOOR AREA		1821	
TOTAL (E) NON-HABITABLE FLOOR AREA (SEE GARAGE CALCULATIONS)		-489	
(E) HABITABLE AREA		1332	
I	2.25'x6.3'	14	(E) NON-HABITABLE AREA TO BE (N) HABITABLE AREA
J	8.6'x6.3'	54	(E) NON-HABITABLE AREA TO BE (N) HABITABLE AREA
		1065.00	(N) AREA SUBTOTAL, SEE AREA CALCULATIONS
		2465.00	(N) HABITABLE AREA
PLANNING < 50% CALCULATIONS			
SECTION	DIMENSIONS	AREA	DESCRIPTION
A	27'x14.3'	386	(E) ROOF TO BE REPLACED
B	27'x11.5'	311	(E) ROOF TO BE REPLACED
I	2.25'x6.3'	14	(E) ROOF TO BE REPLACED
J	8.6'x6.3'	54	(E) ROOF TO BE REPLACED
U	10.5'x2.2'	23	(E) ROOF TO BE REPLACED
		788.00	ELIMINATED/REPLACED AREA (FROM EXISTING, NOT INCLUDING ADDITION)
		1821	(E) GROSS FLOOR AREA
		788	50% OF (E) HABITABLE AREA
		788 < 911 SF	PRESERVE (E) NONCONFORMING AREAS, OK

1 FLOOR AREA AND COVERAGE CALCS
SCALE 1/8" = 1'-0"

ISSUE

PROGRESS PRINT	2/09/15
PROGRESS PRINT	2/19/15
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FLOOR AREA AND
COVERAGE
CALCULATIONS

SHEET

A0.1

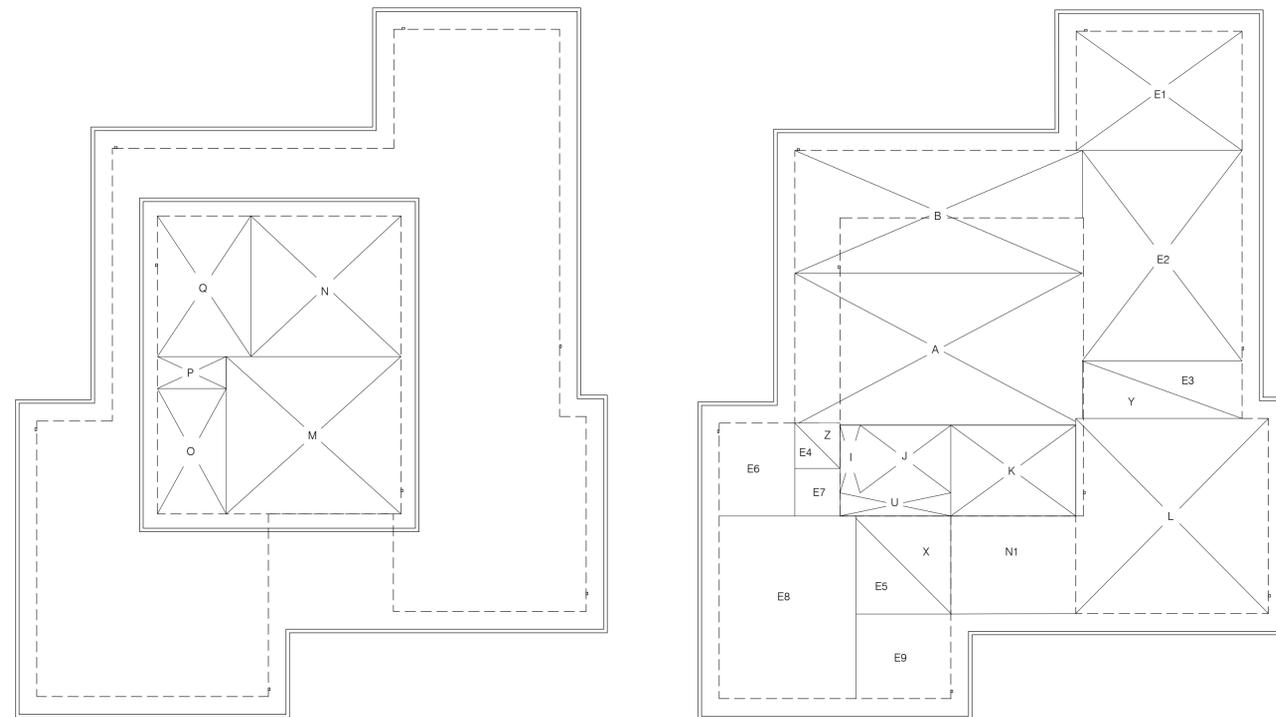
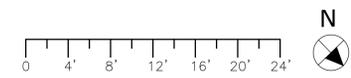


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ROOF AREAS			
SECTION	DIMENSIONS	AREA	DESCRIPTION
L	18.2'x18.3'	333	NEW AREA (FLOOR 1)
K	11.8'x8.5'	100	NEW AREA (FLOOR 1)
N1	11.8'x9.2'	109	NEW ROOF OVER EXTERIOR PORCH (FLOOR 1)
		542.00	SUBTOTAL
		0.00	
A	27'x14.5'	366	(EXISTING FLOOR 1) ROOF TO BE REPLACED
B	27'x11.5'	311	(EXISTING FLOOR 1) ROOF TO BE REPLACED
I	2.25'x6.3'	14	(EXISTING FLOOR 1) ROOF TO BE REPLACED
J	8.6'x6.3'	54	(EXISTING FLOOR 1) ROOF TO BE REPLACED
U	10.5'x2.2'	23	(EXISTING FLOOR 1) ROOF TO BE REPLACED
X	(8.9'x9.2')/2	41	NEW ROOF CRICKET OVER EXISTING ROOF
Y	(14.9'x5.4')/2	40	NEW ROOF CRICKET OVER EXISTING ROOF
Z	(4.25'x4.25')/2	9	NEW ROOF CRICKET OVER EXISTING ROOF
		878.00	SUBTOTAL
M	16.5'x14.8'	244	NEW ROOF (FLOOR 2)
N	14.2'x13.2'	187.4	NEW ROOF (FLOOR 2)
O	6.5'x11.8'	76.7	NEW ROOF (FLOOR 2)
P	6.5'x5'	19.5	NEW ROOF (FLOOR 2)
Q	8.8'x13.2'	116.16	NEW ROOF (FLOOR 2)
		644.00	SUBTOTAL
E1	16'x11'	176	(EXISTING FLOOR 1) ROOF TO REMAIN
E2	15'x20'	300	(EXISTING FLOOR 1) ROOF TO REMAIN
E3	(19x5.5)/2	41	(EXISTING FLOOR 1) ROOF TO REMAIN
E4	(4.25'x4.25')/2	9	(EXISTING FLOOR 1) ROOF TO REMAIN
E5	(9'x9')/2	41	(EXISTING FLOOR 1) ROOF TO REMAIN
E6	7'x9'	63	(EXISTING FLOOR 1) ROOF TO REMAIN
E7	4.4'x4.5'	20	(EXISTING FLOOR 1) ROOF TO REMAIN
E8	13'x17'	221	(EXISTING FLOOR 1) ROOF TO REMAIN
E9	9'x8'	72	(EXISTING FLOOR 1) ROOF TO REMAIN
		943.00	SUBTOTAL
ROOF AREA CALCULATIONS			
SECTION	DIMENSIONS	AREA	DESCRIPTION
		878	(EXISTING FLOOR 1) ROOF TO BE REPLACED
		943	(EXISTING FLOOR 1) ROOF TO REMAIN
		1821	(1) GROUND FLOOR ROOF
		878 / 1821	% OF EXISTING ROOF TO BE REPLACED

ISSUE

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TITLE
**ROOF AREA
CALCULATIONS**

SHEET
A0.2

3 ROOF DIAGRAM SECOND FLOOR
SCALE 1/8" = 1'-0"

2 ROOF DIAGRAM GROUND FLOOR
SCALE 1/8" = 1'-0"

1 ROOF CALCULATIONS
SCALE 1/8" = 1'-0"

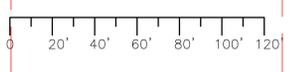
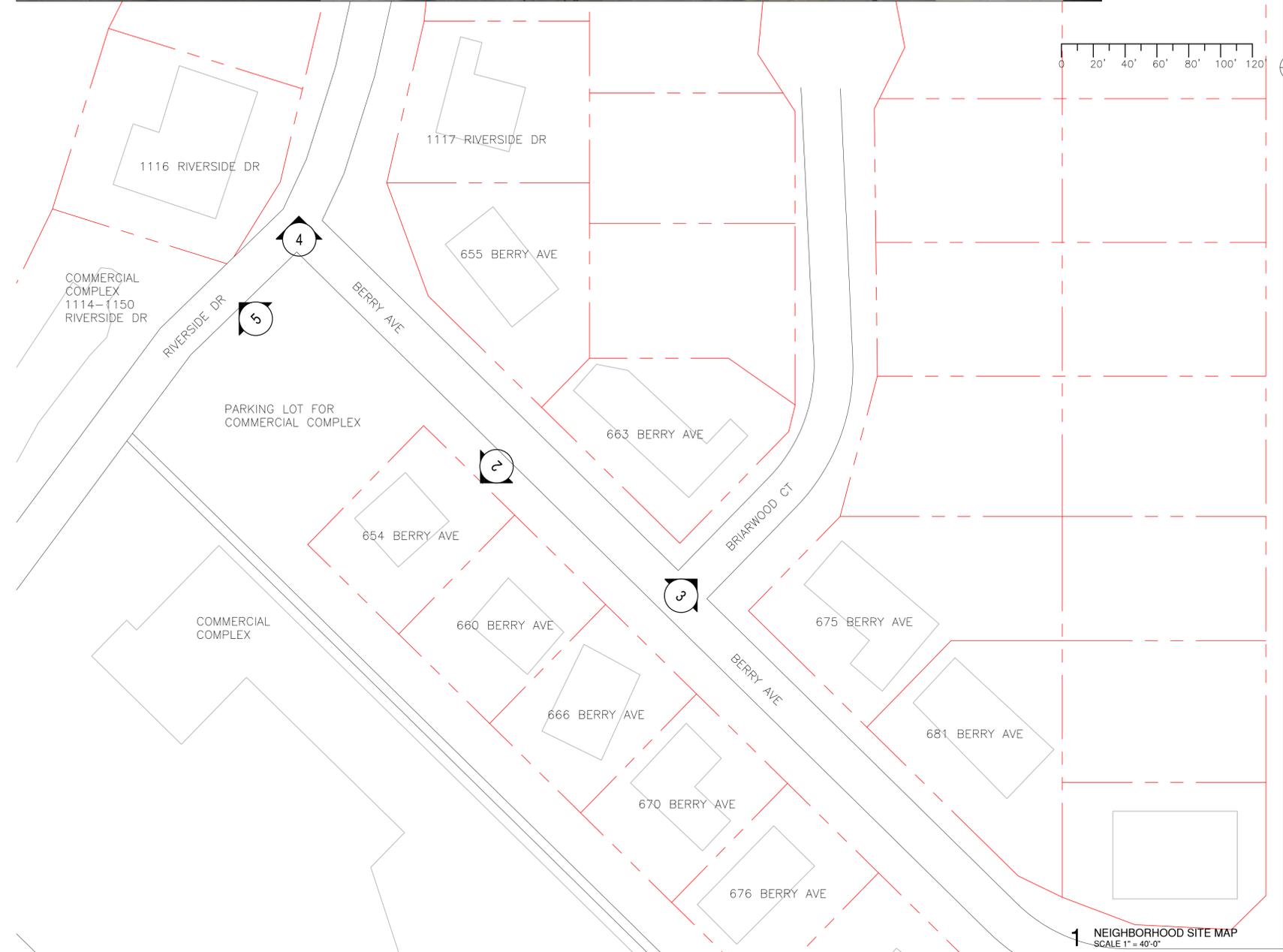


2 FLOOR AREA AND COVERAGE CALC
SCALE 1" = 40'-0"

3 FLOOR AREA AND COVERAGE CALC
SCALE 1" = 40'-0"

4 FLOOR AREA AND COVERAGE CALC
SCALE 1" = 40'-0"

5 FLOOR AREA AND COVERAGE CALC
SCALE 1" = 40'-0"



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TITLE

NEIGHBORHOOD
PLAN

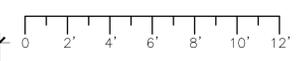
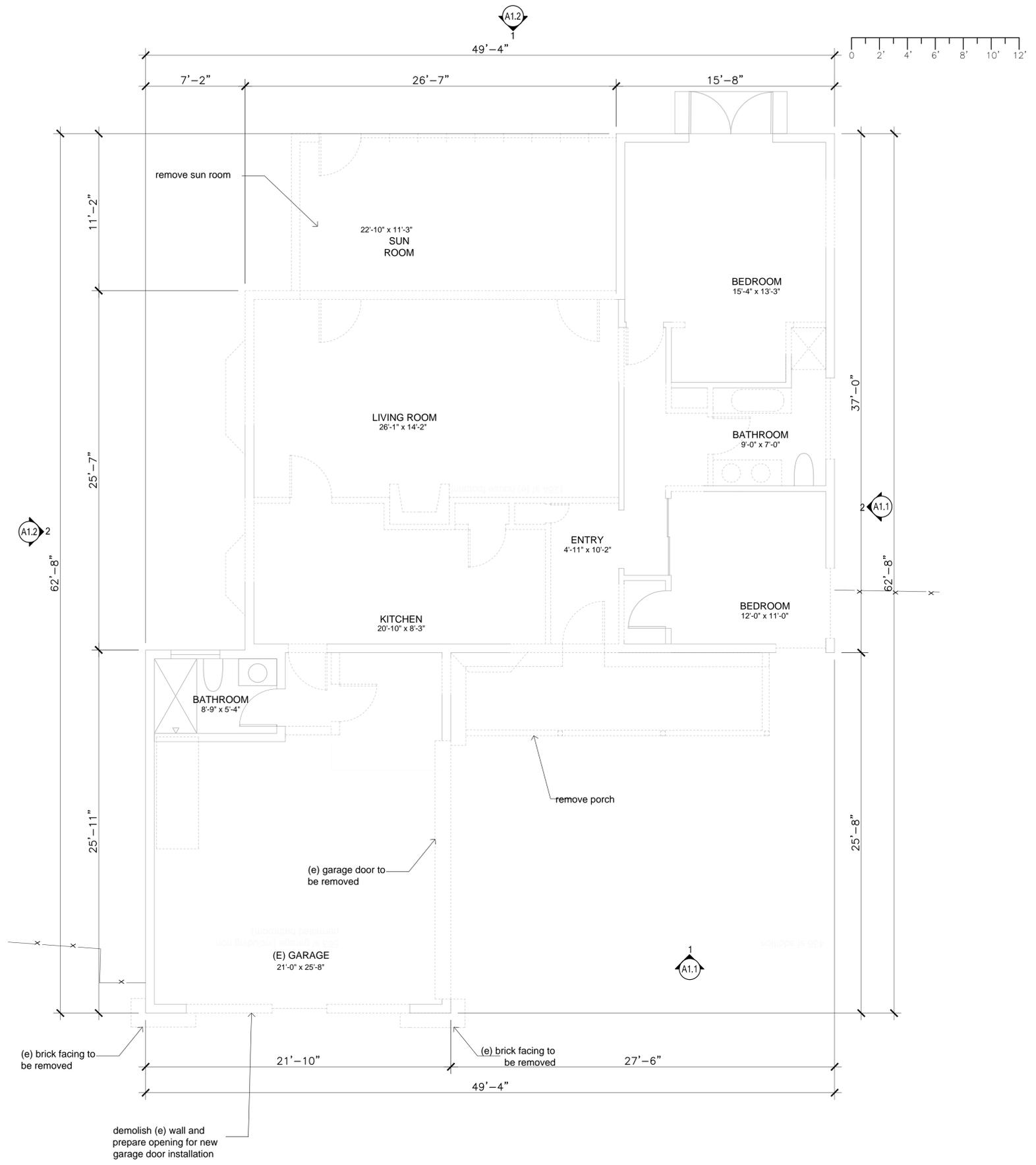
SHEET

A0.3

SPRINGER RD

1 NEIGHBORHOOD SITE MAP
SCALE 1" = 40'-0"

LEGEND	
	existing conditions to remain, typically shown grey
	existing conditions to be demolished, typically shown grey dotted
	proposed new walls, typically shown with black lines



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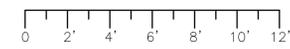
TITLE

EXISTING + DEMO
FLOOR PLAN

SHEET

A1

LEGEND		existing conditions to remain, typically shown grey
		existing conditions to be demolished, typically shown grey dotted
		proposed new walls, typically shown with black lines



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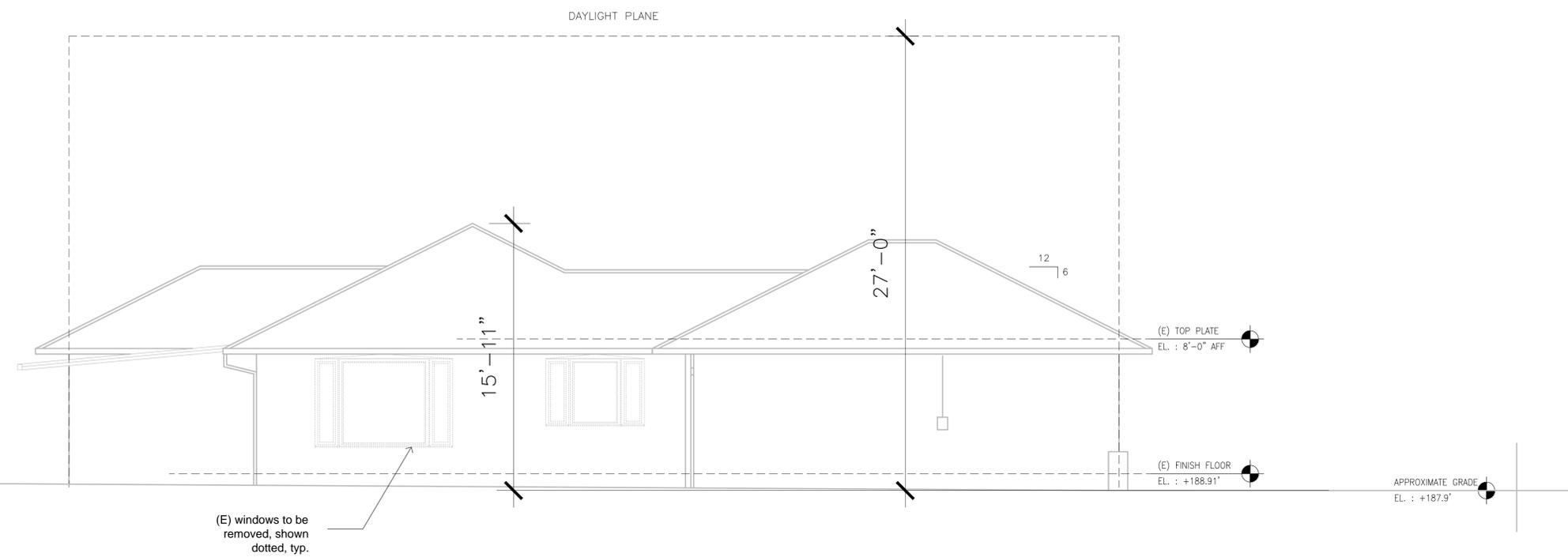


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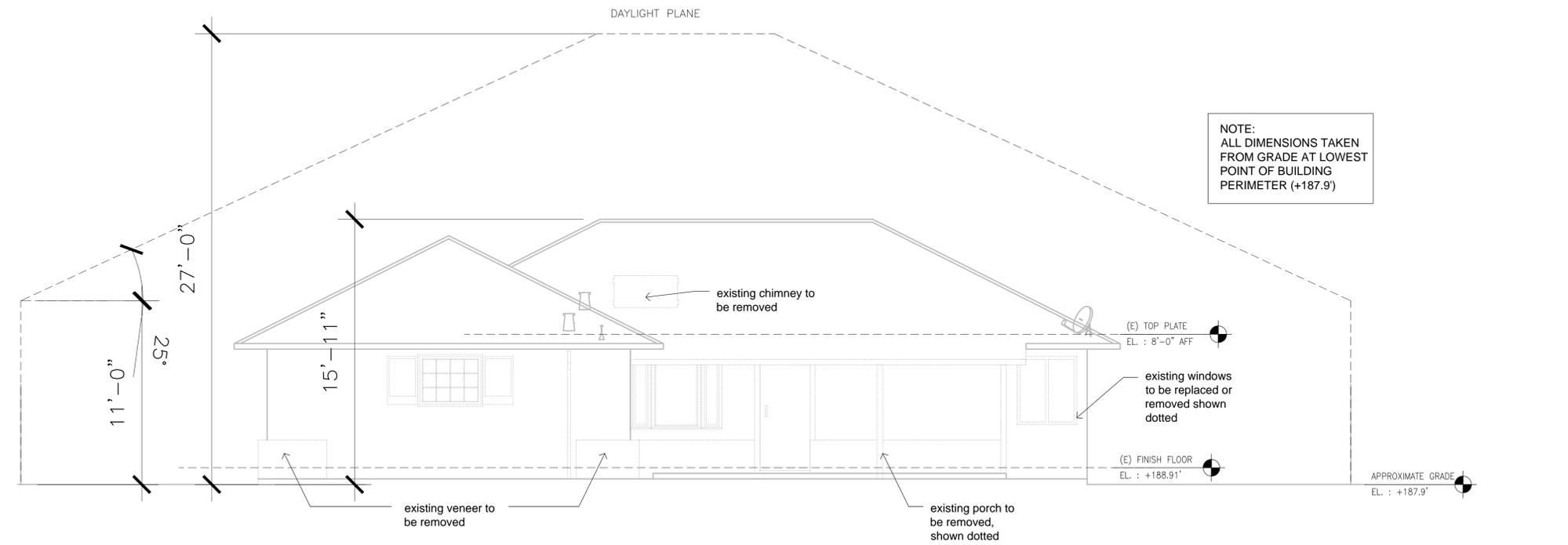
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2 EAST ELEVATION (E)
SCALE 1/4" = 1'-0"



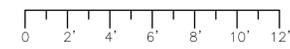
1 FRONT (NORTH) ELEVATION (E)
SCALE 1/4" = 1'-0"

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TITLE
EXISTING ELEVATIONS

SHEET
A1.1

LEGEND		existing conditions to remain, typically shown grey
		existing conditions to be demolished, typically shown grey dotted
		proposed new walls, typically shown with black lines



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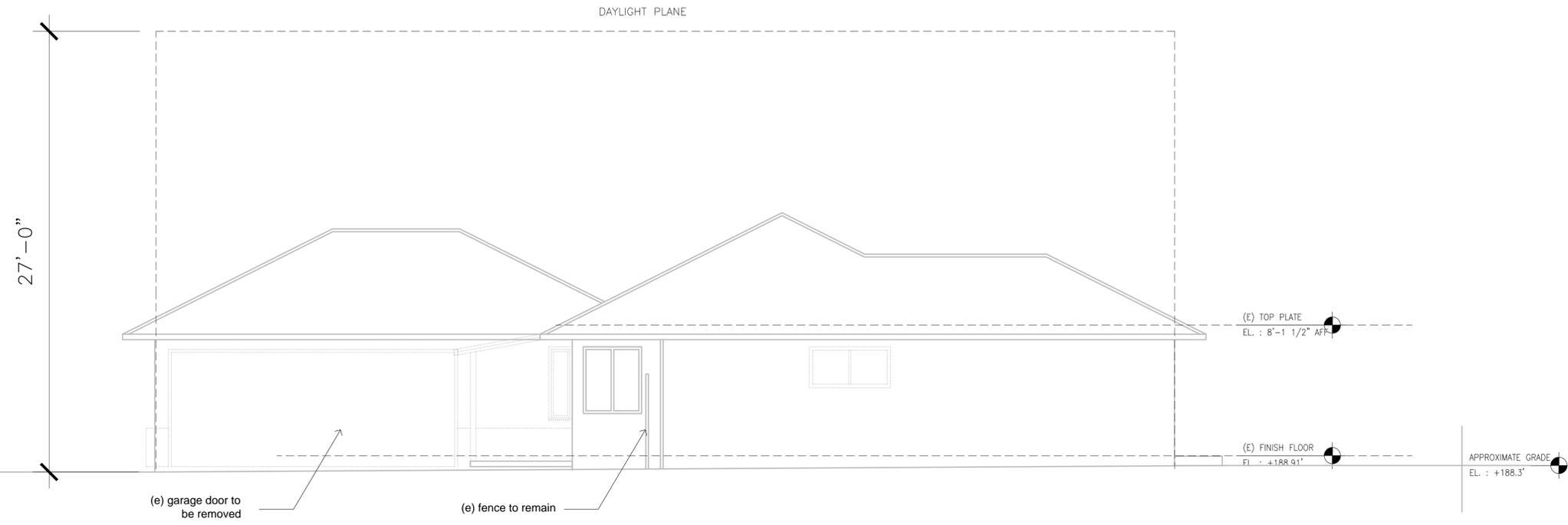


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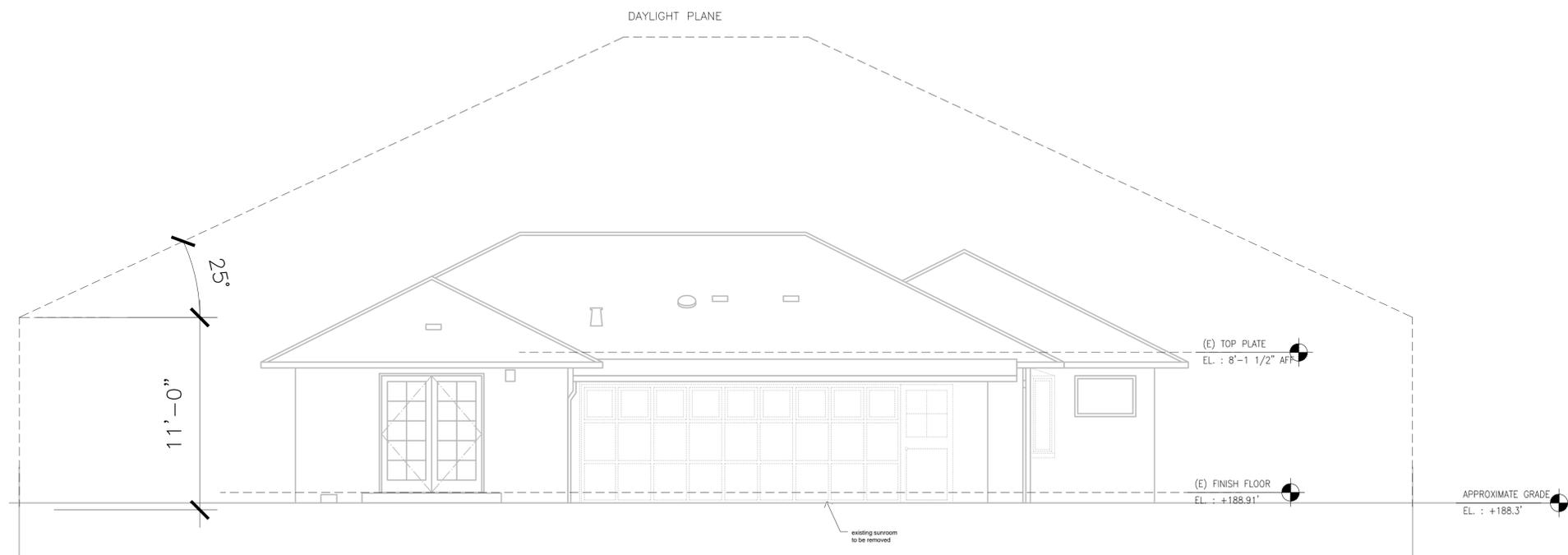
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2 WEST ELEVATION (E)
SCALE 1/4" = 1'-0"



1 REAR (SOUTH) ELEVATION (E)
SCALE 1/4" = 1'-0"

ISSUE

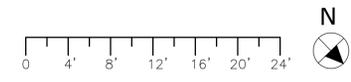
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EXISTING ELEVATIONS

SHEET

A1.2



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TITLE
**LANDSCAPE PLAN,
GRADING &
DRAINAGE**

SHEET

A2

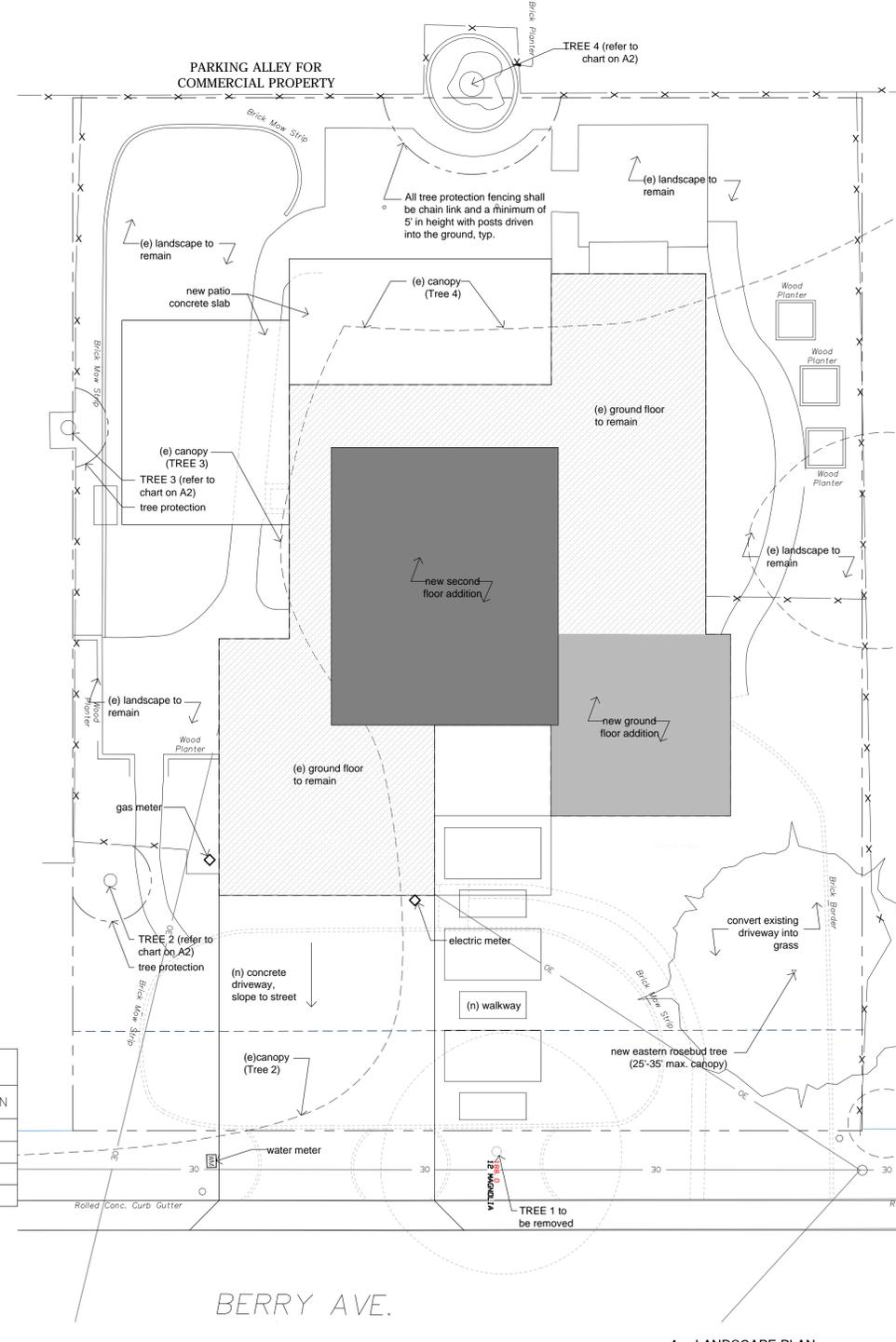


3 GRADING AND DRAINAGE PLAN
SCALE 1/8" = 1'-0"

TREE TABLE

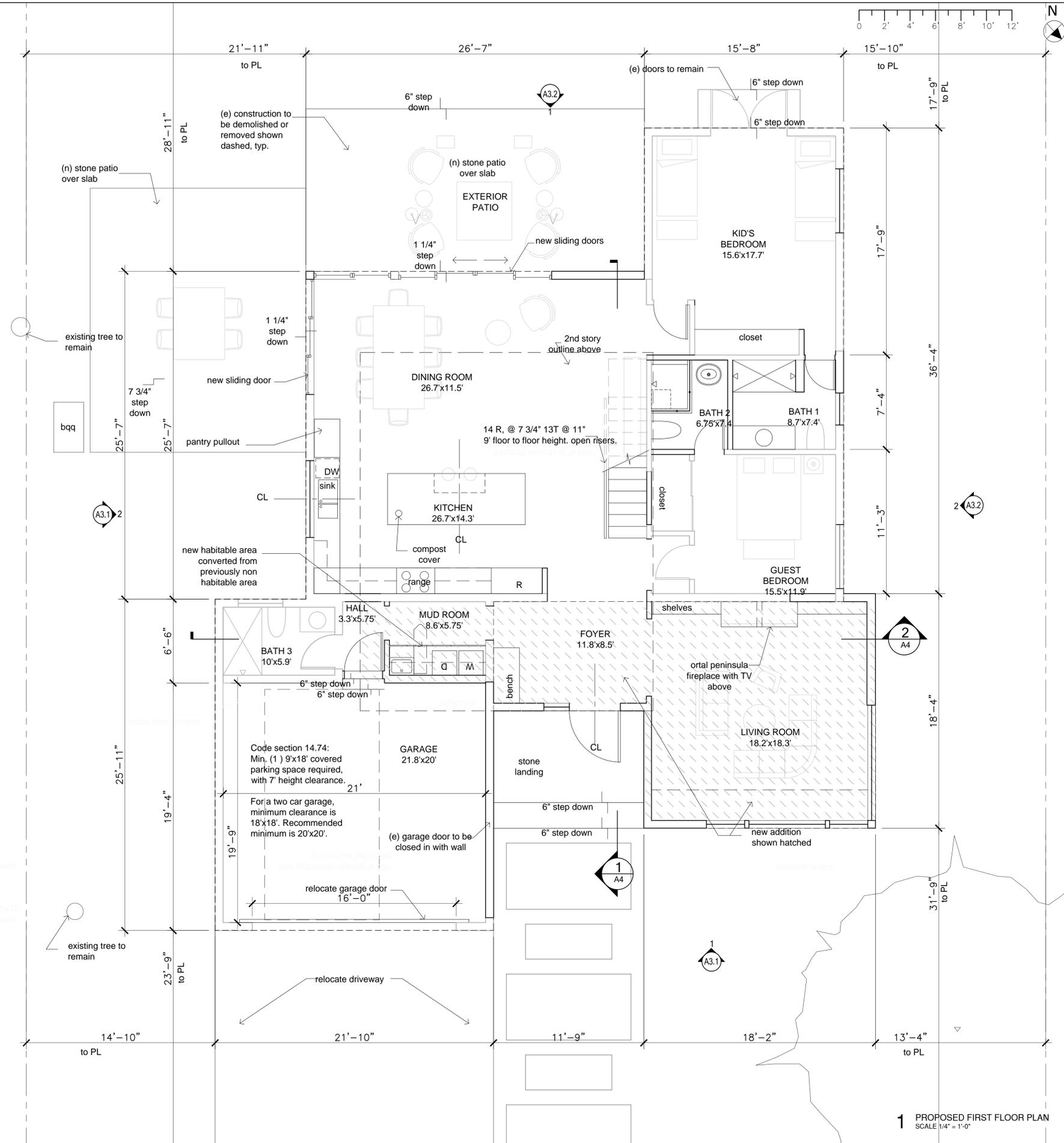
#	SIZE	TYPE	REMOVE	RETAIN
1	1'-0"	MAGNOLIA	X	
2	2'-10"	OAK		X
3	18"	OAK		X
4	30"	OAK		X

2 TREE TABLE
SCALE 1/8" = 1'-0"



1 LANDSCAPE PLAN
SCALE 1/8" = 1'-0"

LEGEND	
	existing conditions to remain, typically shown grey
	existing conditions to be demolished, typically shown grey dotted
	proposed new walls, typically shown with black lines



Code section 14.74:
Min. (1) 9'x18' covered parking space required, with 7' height clearance.
For a two car garage, minimum clearance is 18'x18'. Recommended minimum is 20'x20'.

Saproo RENOVATION

for
Ajay Saproo

at
654 Berry Ave
Los Altos, CA



Lori Sang Hsu
Architect

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PLANNING RESUBMITTAL	6/21/16

TITLE

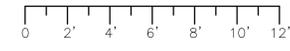
PROPOSED FIRST FLOOR PLAN

SHEET

A2.1

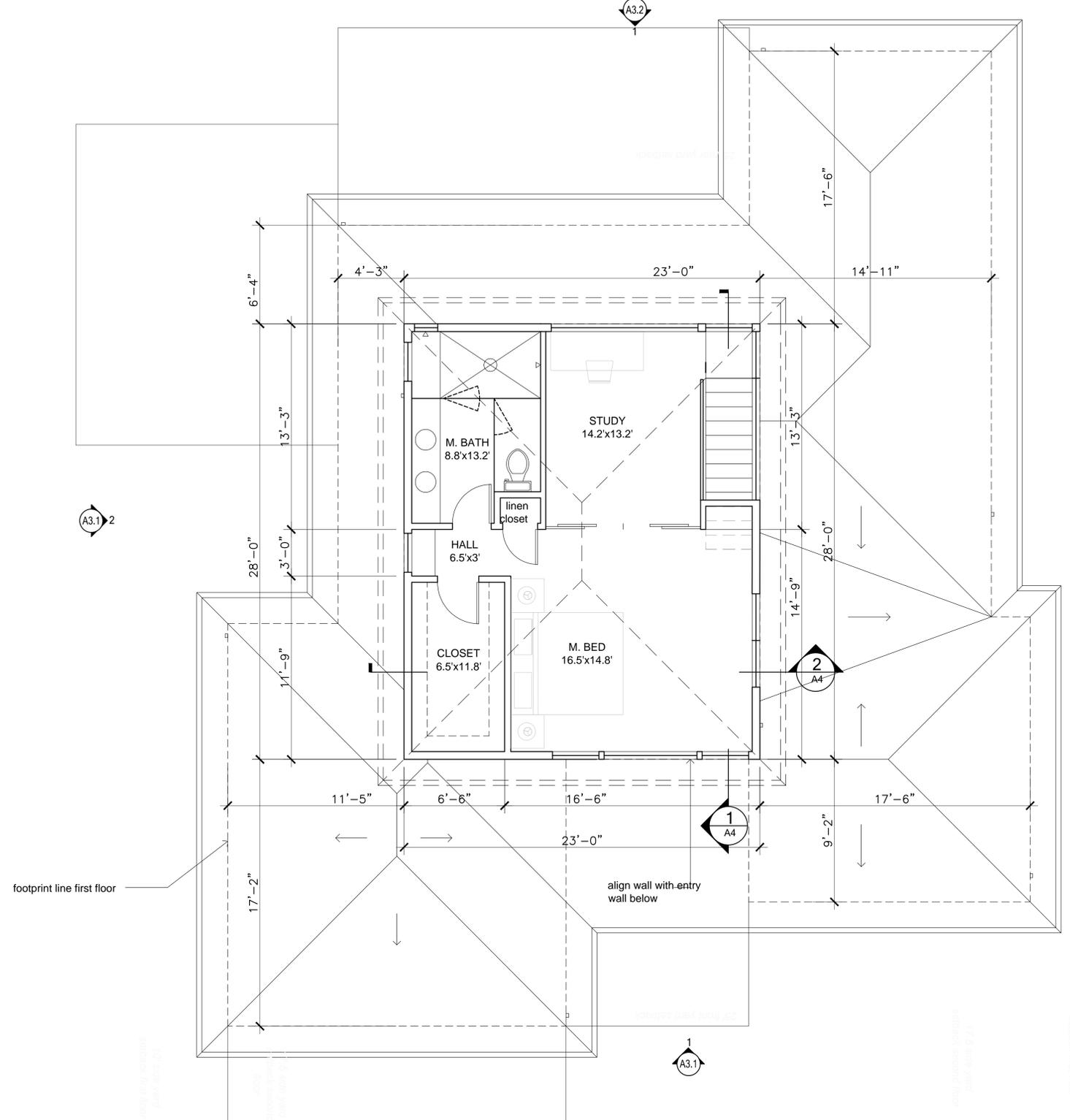
1 PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

LEGEND	
	existing conditions to remain, typically shown grey
	existing conditions to be demolished, typically shown grey dotted
	proposed new walls, typically shown with black lines



property line

property line



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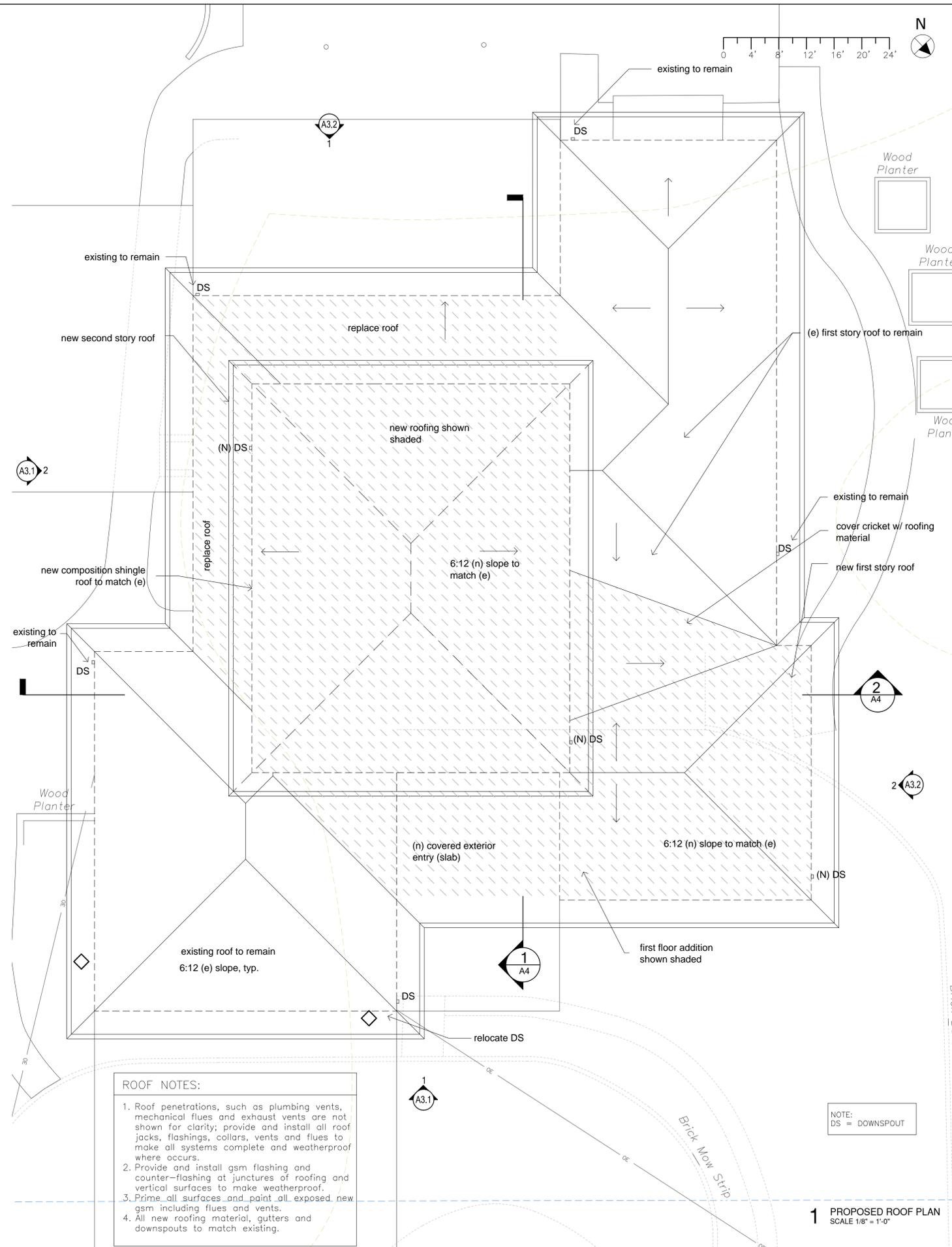
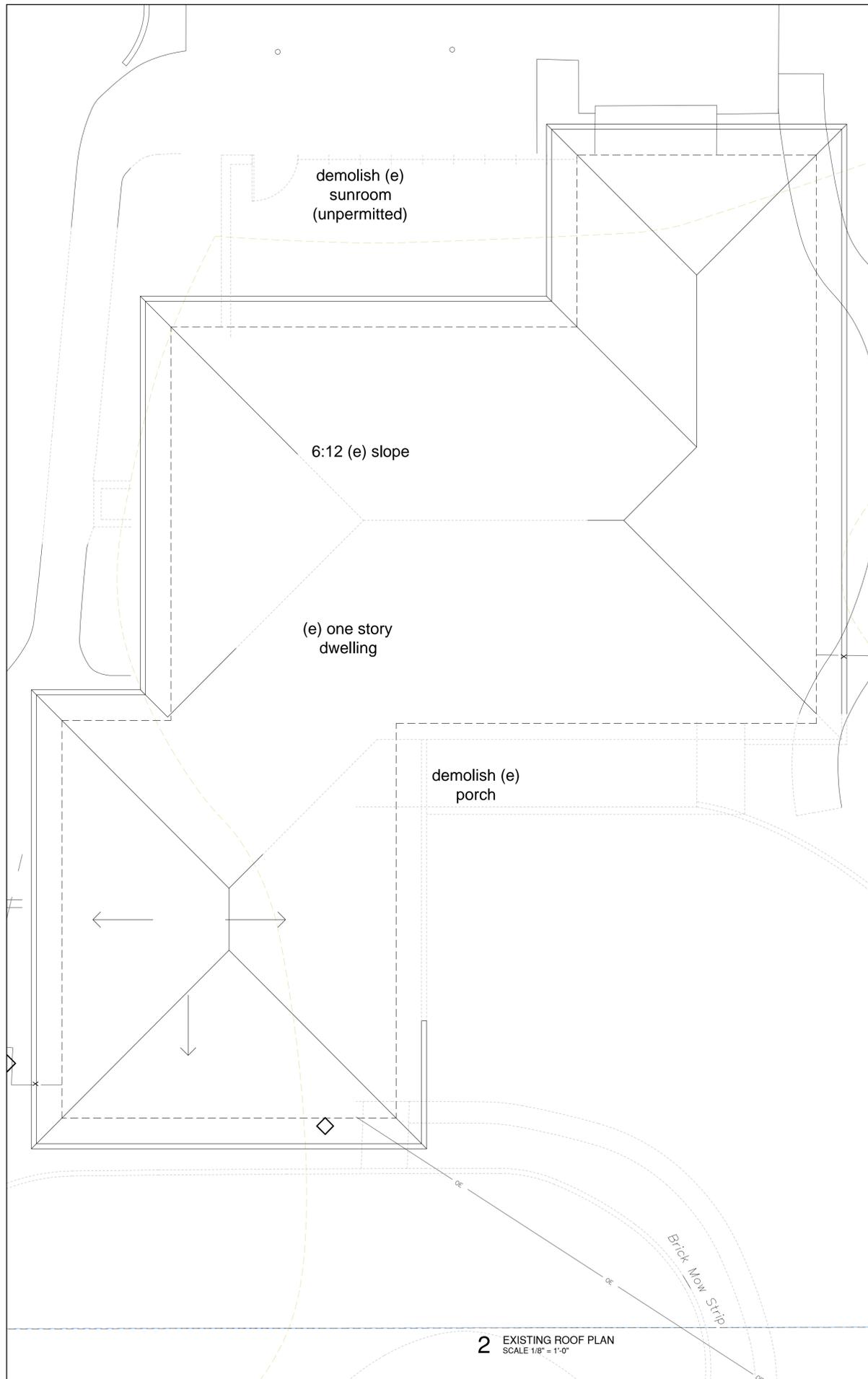
TITLE

PROPOSED
SECOND FLOOR
PLAN

SHEET

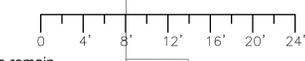
A2.2

1 PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



- ROOF NOTES:**
1. Roof penetrations, such as plumbing vents, mechanical flues and exhaust vents are not shown for clarity; provide and install all roof jacks, flashings, collars, vents and flues to make all systems complete and weatherproof where occurs.
 2. Provide and install gsm flashing and counter-flashing at junctures of roofing and vertical surfaces to make weatherproof.
 3. Prime all surfaces and paint all exposed new gsm including flues and vents.
 4. All new roofing material, gutters and downspouts to match existing.

NOTE:
DS = DOWNSPOUT



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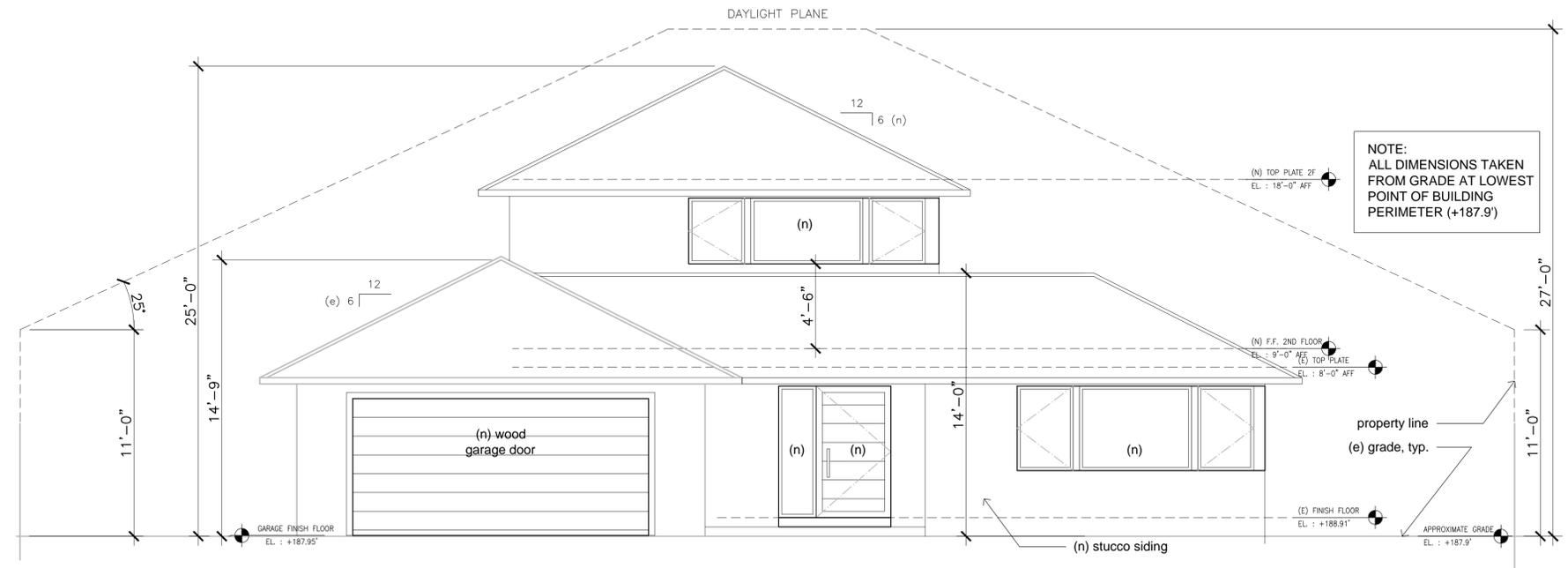
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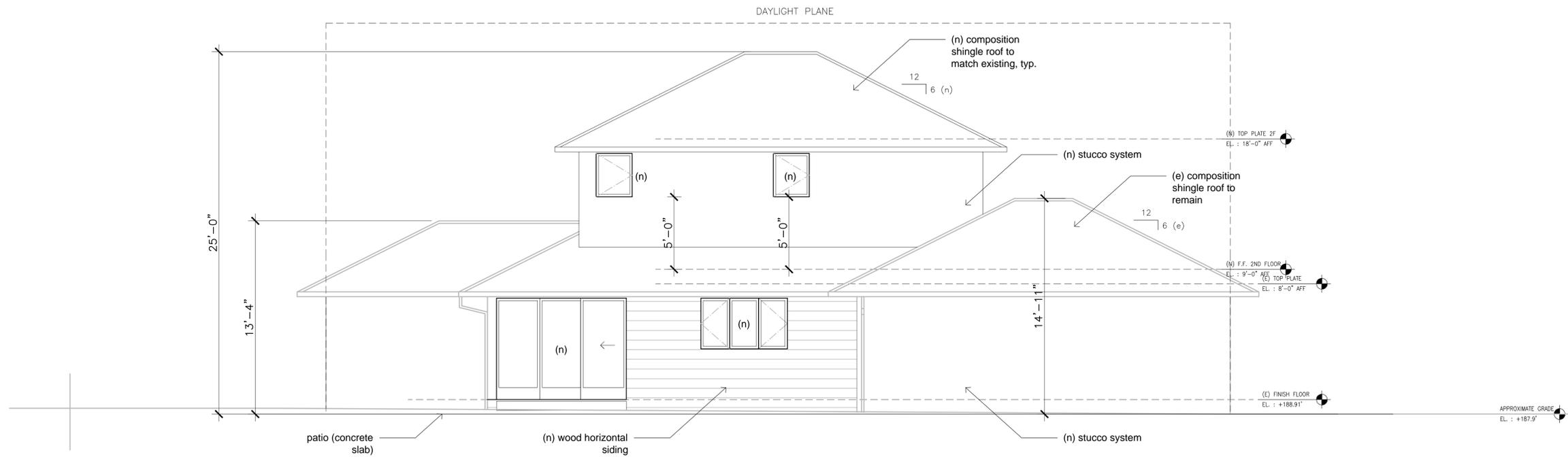
EXISTING &
PROPOSED ROOF
PLAN

SHEET

A2.3



1 FRONT (SOUTH) EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"



2 SIDE (WEST) EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"

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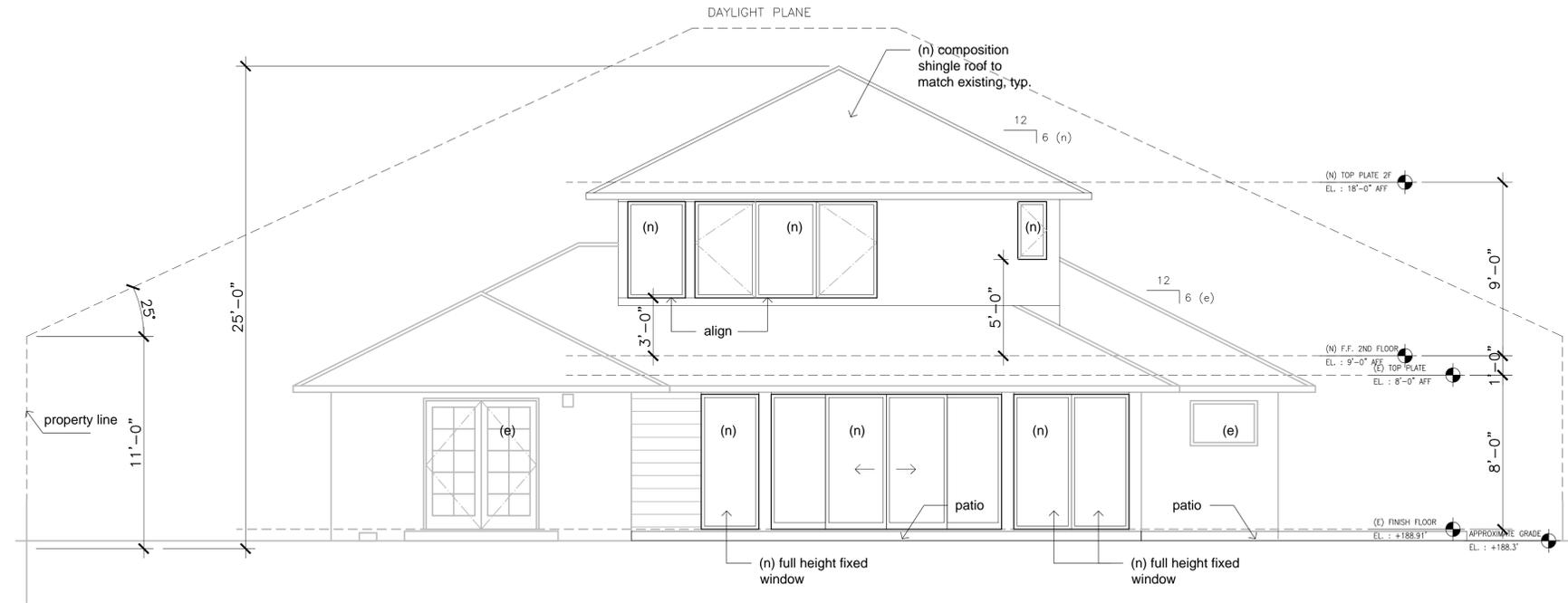
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TITLE

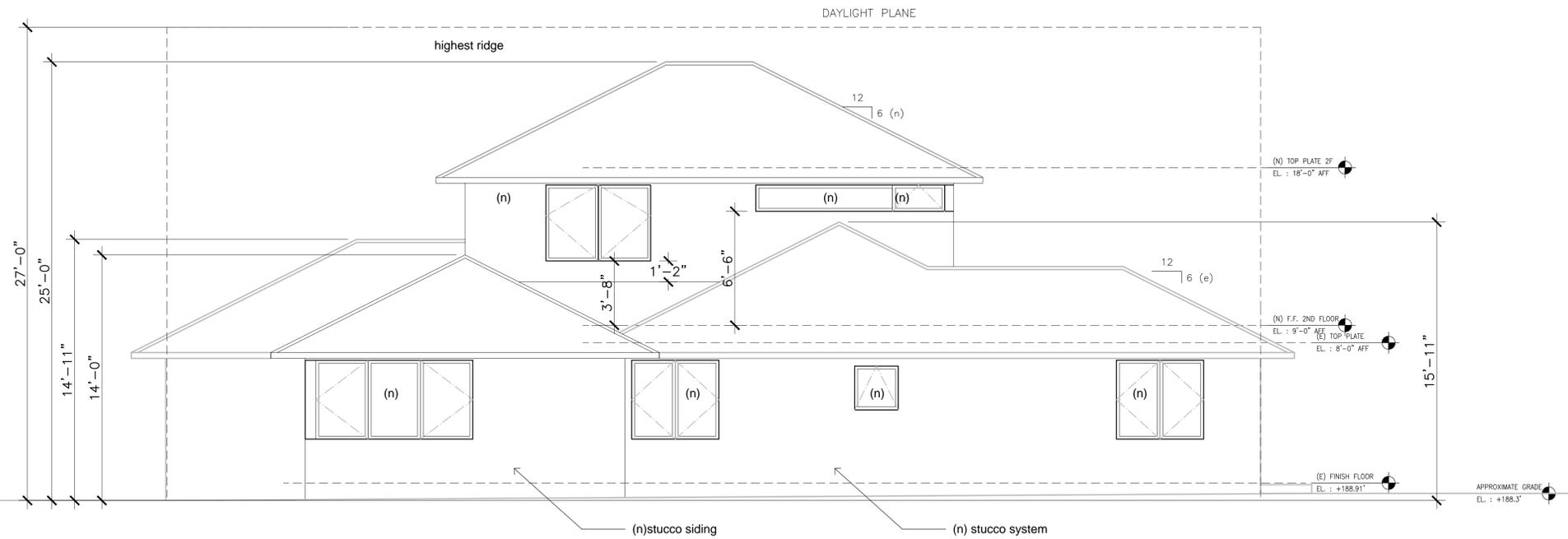
PROPOSED
EXTERIOR
ELEVATIONS

SHEET

A3.1



1 REAR (NORTH) EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"



2 SIDE (EAST) EXTERIOR ELEVATION
SCALE 1/4" = 1'-0"

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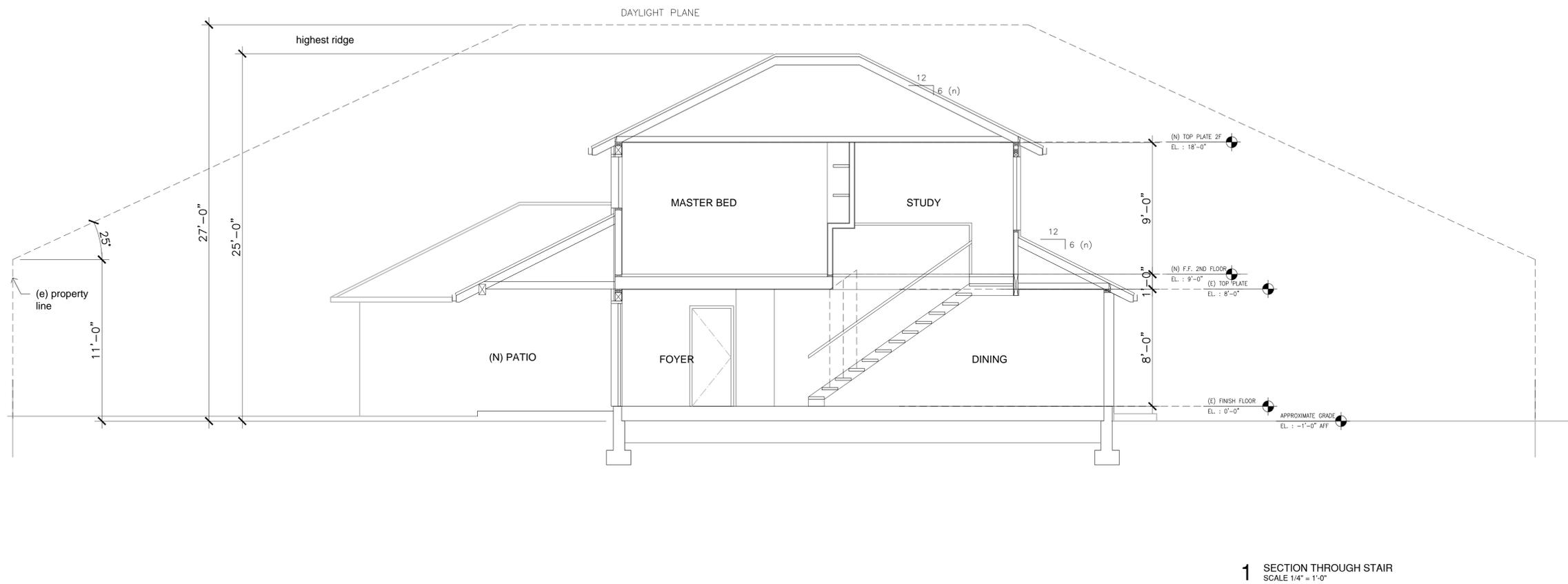
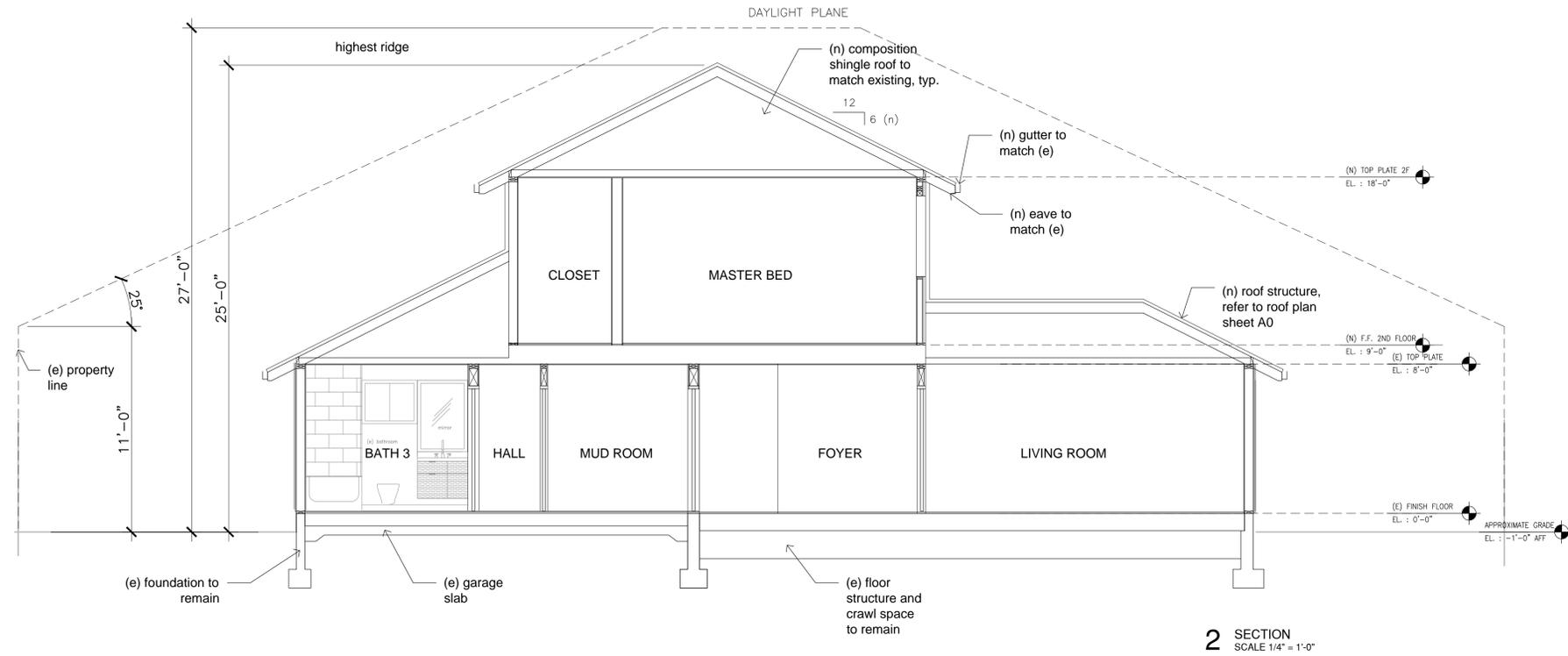
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TITLE

PROPOSED
EXTERIOR
ELEVATIONS

SHEET

A3.2



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TITLE

SECTIONS

SHEET

A4