

LYELL STREET ELEVATION



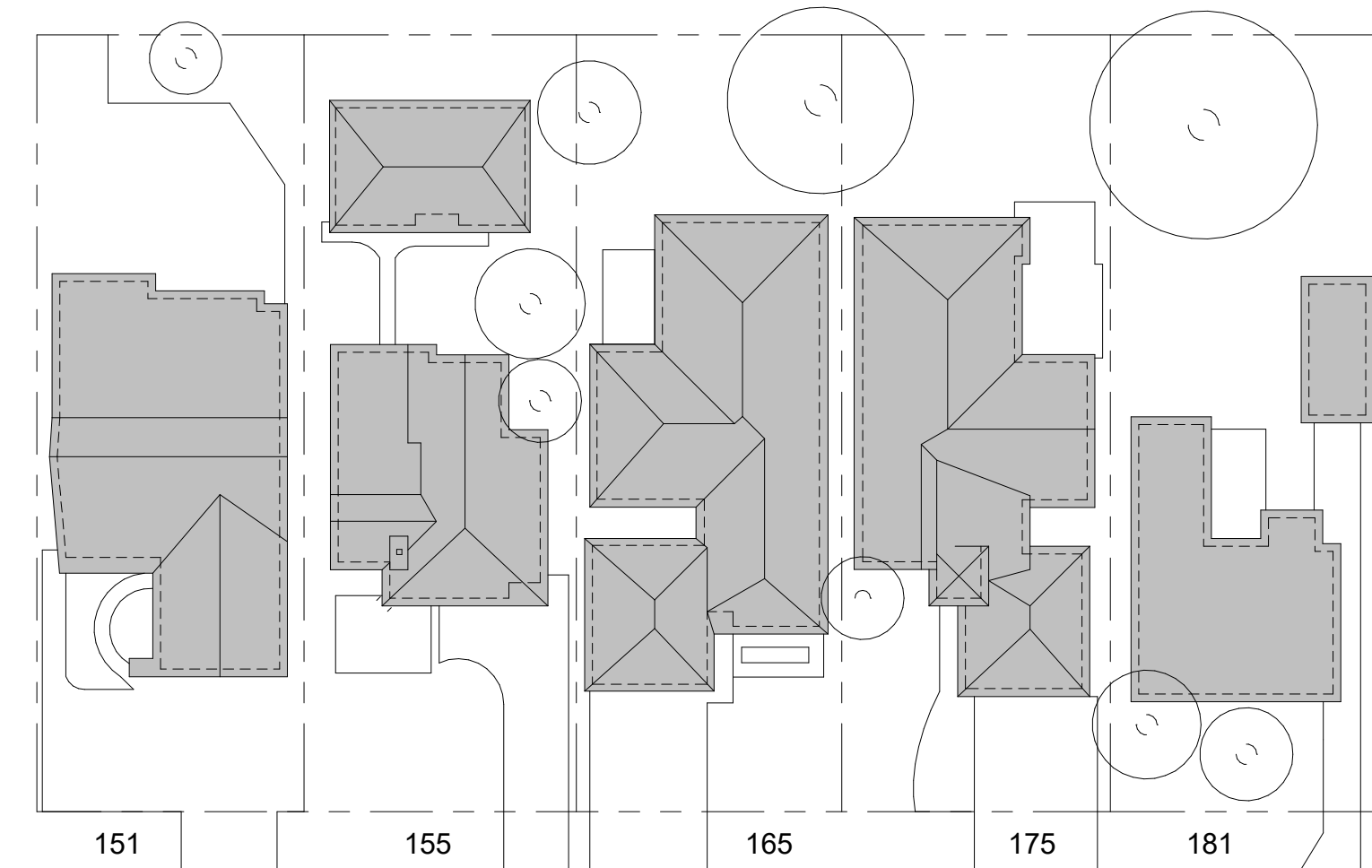
GABALIAN STREET ELEVATION



VIEW LOOKING OF 166 LYELL STEET EXISTING HOUSE

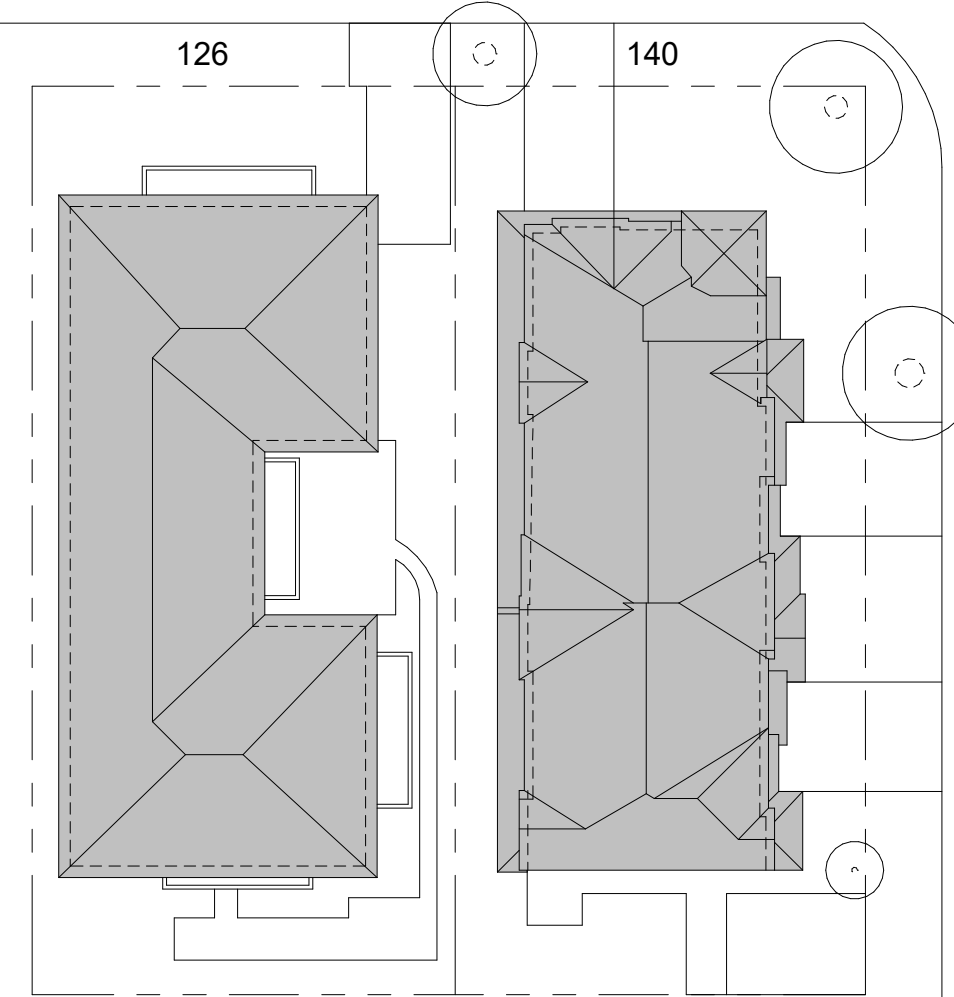


VIEW LOOKING OF 166 GABILAN STEET EXISTING HOUSE

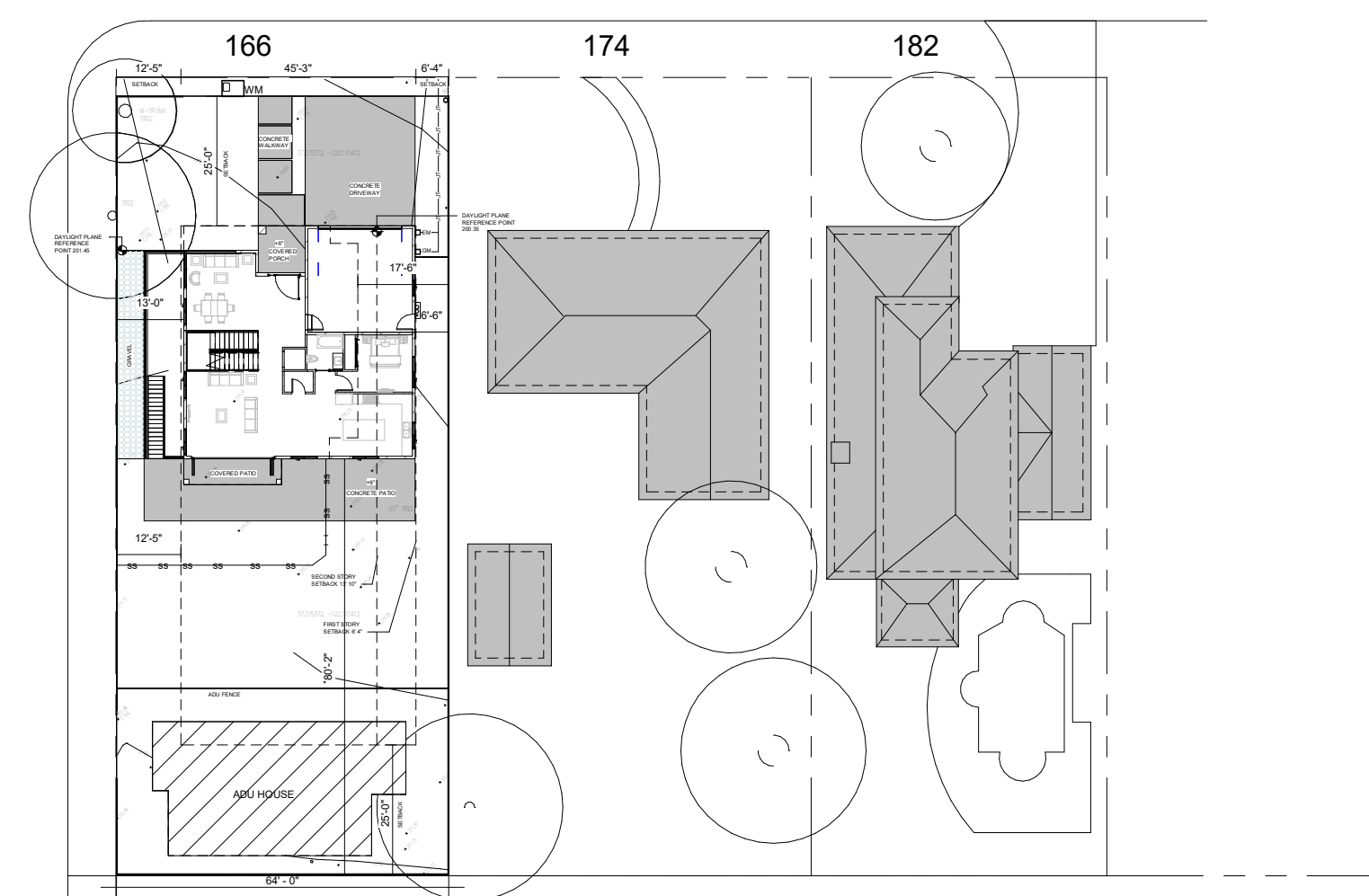


LYELL ST

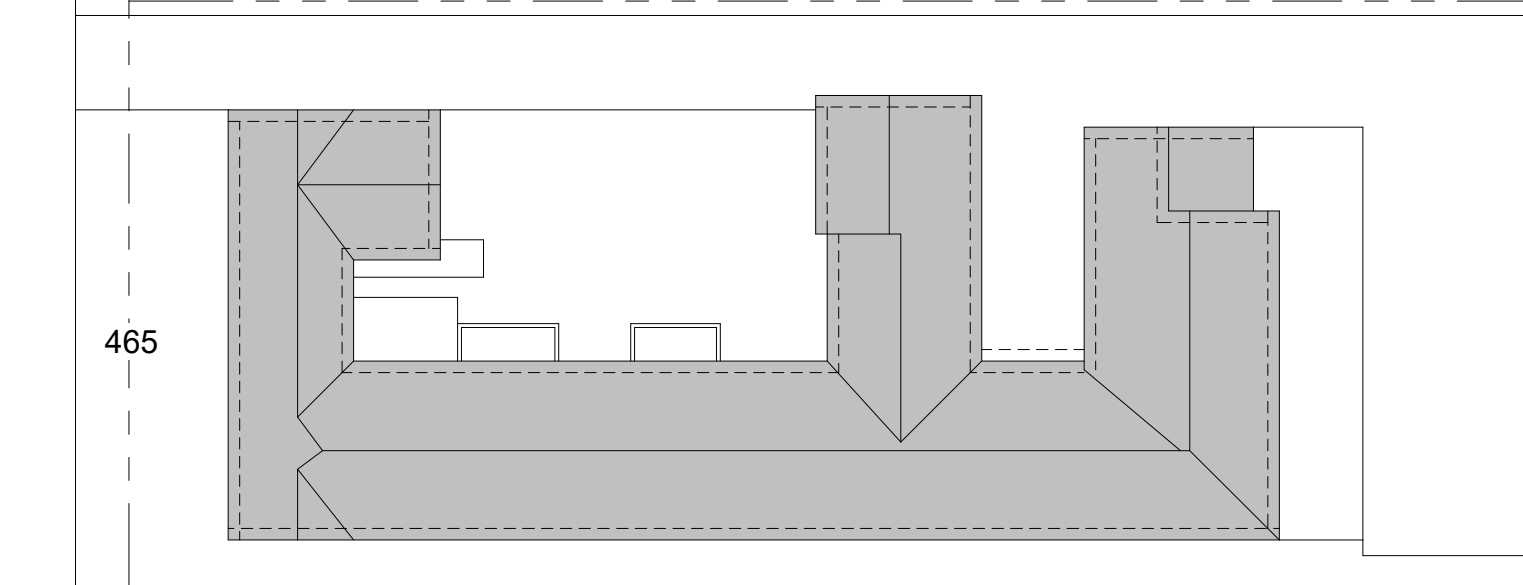
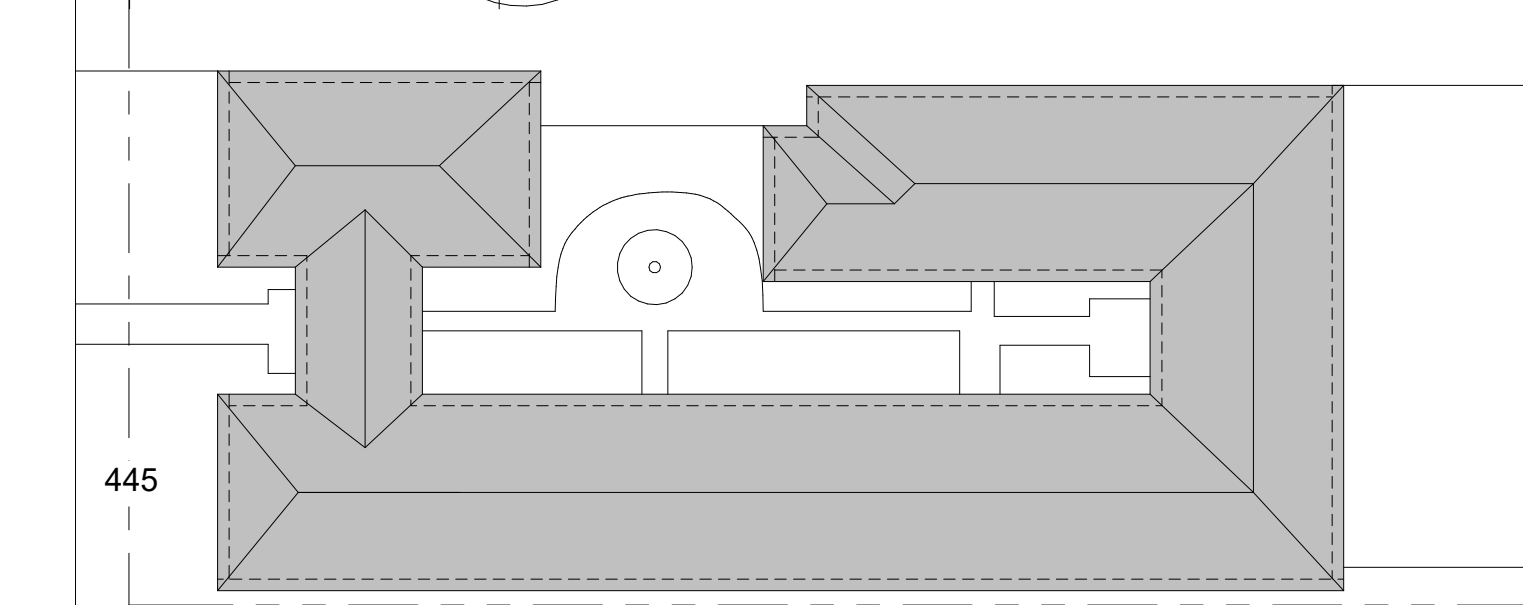
LYELL ST



GABILAN ST



GABILAN ST



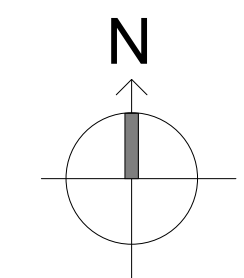
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES.
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-1.002

SITE NEIGHBOURHOOD

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

PROJECT NO: -

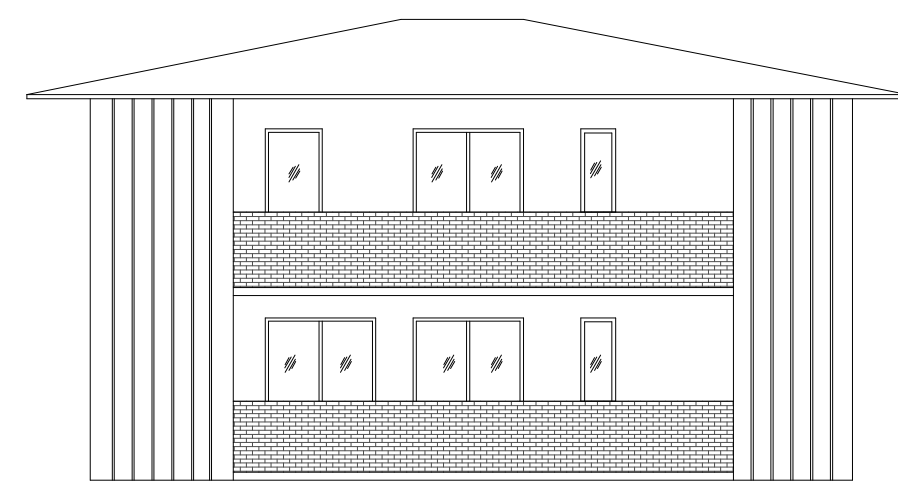
SCALE: As indicated

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022

CONTACT : 650-209-6500

EMAIL : team@golivio.com



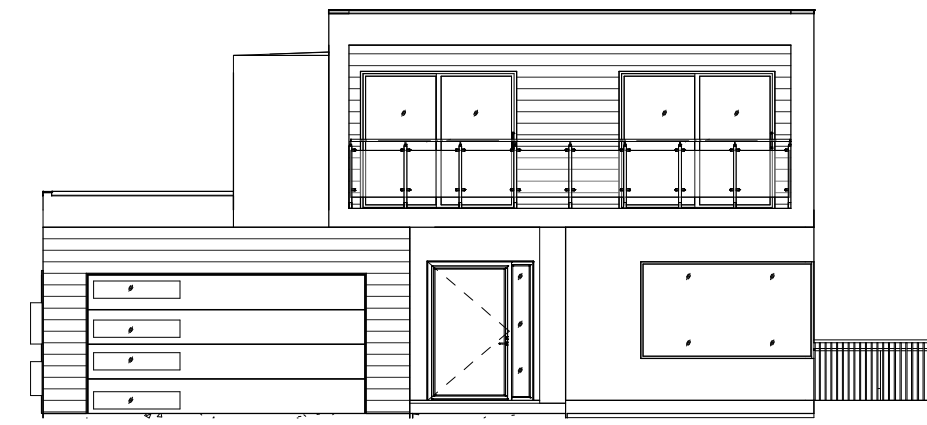


126 TWO STORY, HIP AND GABLE ROOF, WIDE TILING

LYELL STREET ELEVATION :



140 TWO STORY, HIP AND GABLE ROOF, WIDE VERTICAL SIDING



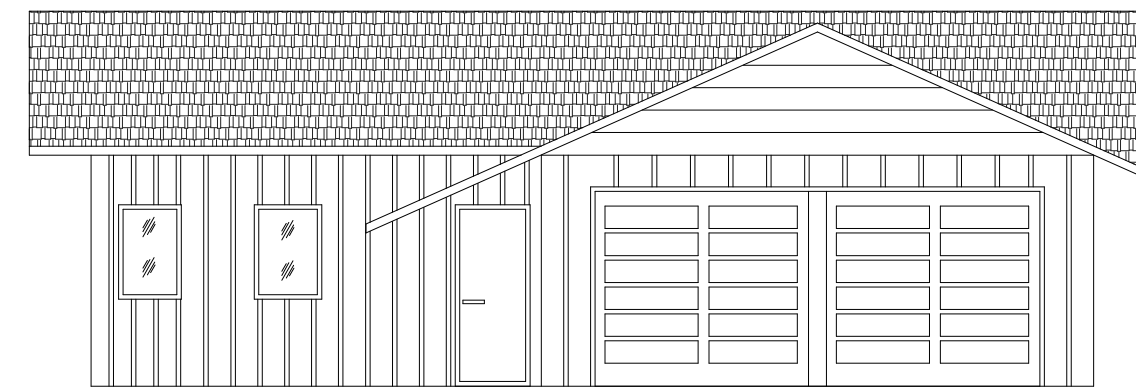
166 TWO STORY, FLAT ROOF, WIDE HORIZONTAL SIDING



174 ONE STORY, HIP AND GABLE ROOF, WIDE HORIZONTAL SIDING

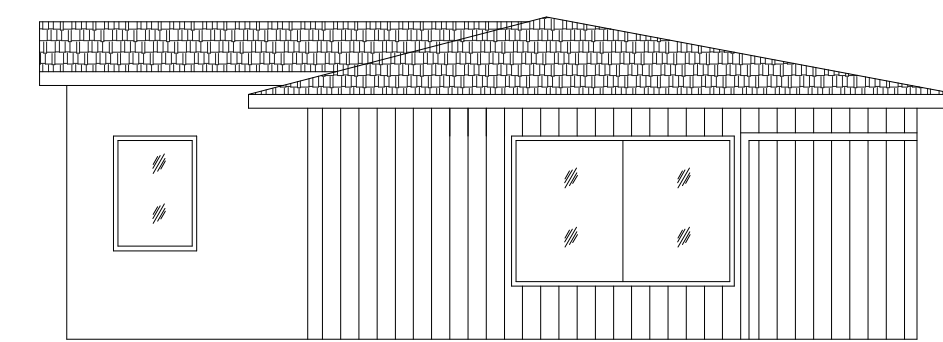


182 TWO STORY, HIP AND GABLE ROOF, WIDE HORIZONTAL SIDING

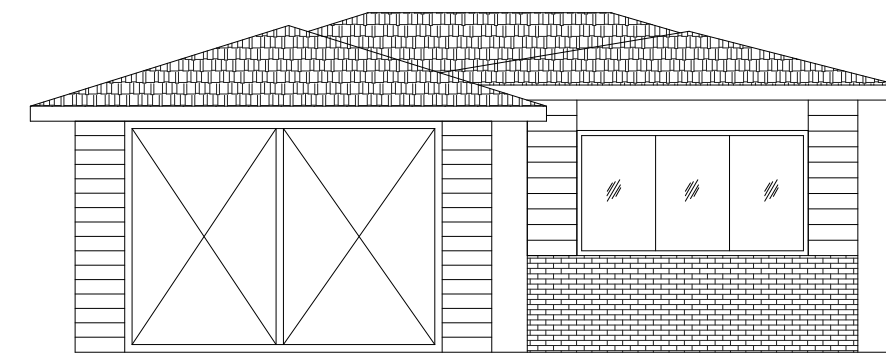


151 ONE STORY, HIP AND GABLE ROOF, WIDE HORIZONTAL SIDING

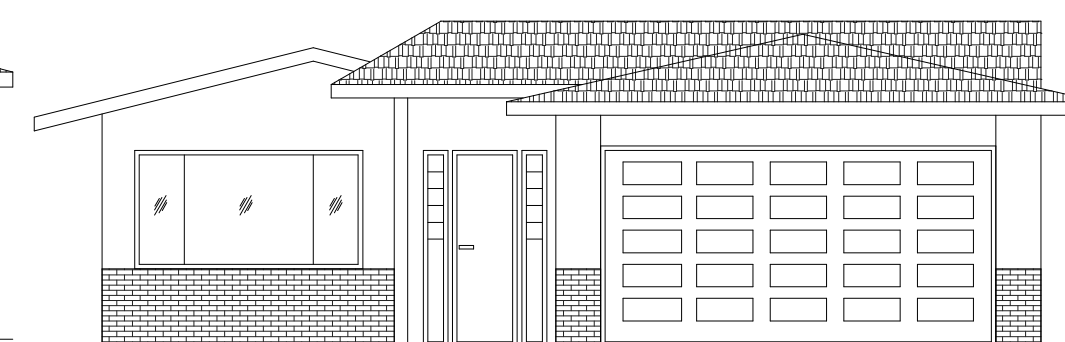
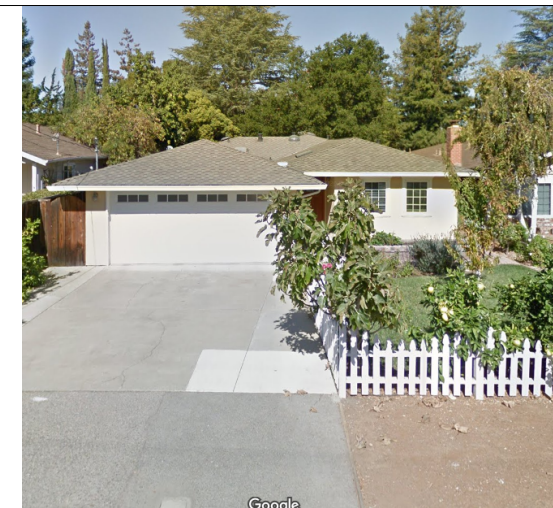
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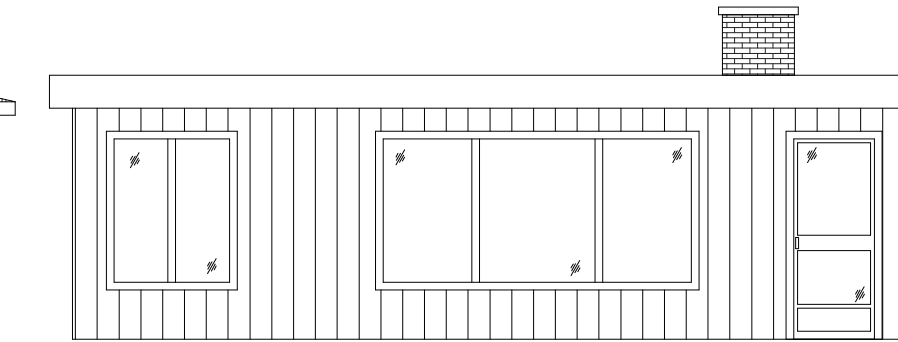
155 ONE STORY, HIP AND GABLE ROOF, WIDE VERTICAL SIDING



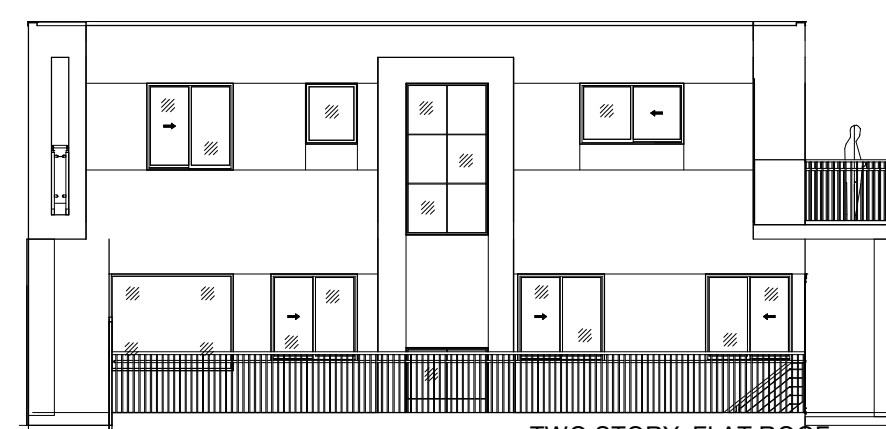
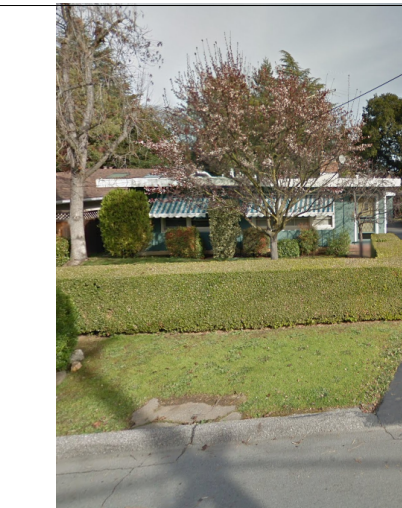
165 ONE STORY, HIP AND GABLE ROOF, WIDE HORIZONTAL SIDING



175 ONE STORY, HIP AND GABLE ROOF, WIDE HORIZONTAL TILING

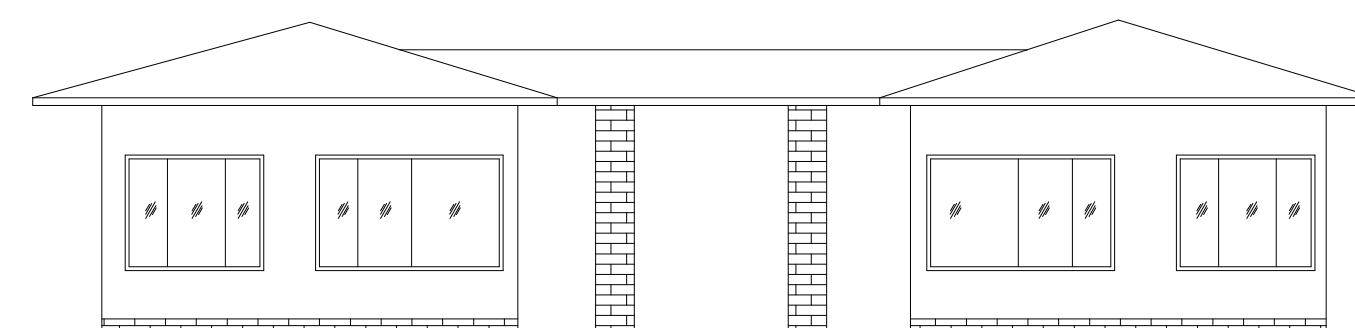


181 ONE STORY, TPO ROOF, WIDE VERTICAL SIDING



166 TWO STORY, FLAT ROOF, WIDE HORIZONTAL SIDING

GABILAN STREET ELEVATION :



445 ONE STORY, HIP AND GABLE ROOF, WIDE HORIZONTAL SIDING



465 TWO STORY, HIP AND GABLE ROOF, WIDE HORIZONTAL SIDING



CONTEXT MAP

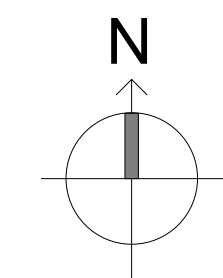
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REV.	DESCRIPTION	DATE	REV BY
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-1.003

NEIGHBOURHOOD CONTEXT

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

PROJECT NO: -

SCALE: As indicated

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022

CONTACT : 650-209-6500

EMAIL : team@golivio.com



SITE BENCHMARK

SET NAIL
ELEVATION = 202.44 NAVD 1988

BASIS OF BEARINGS

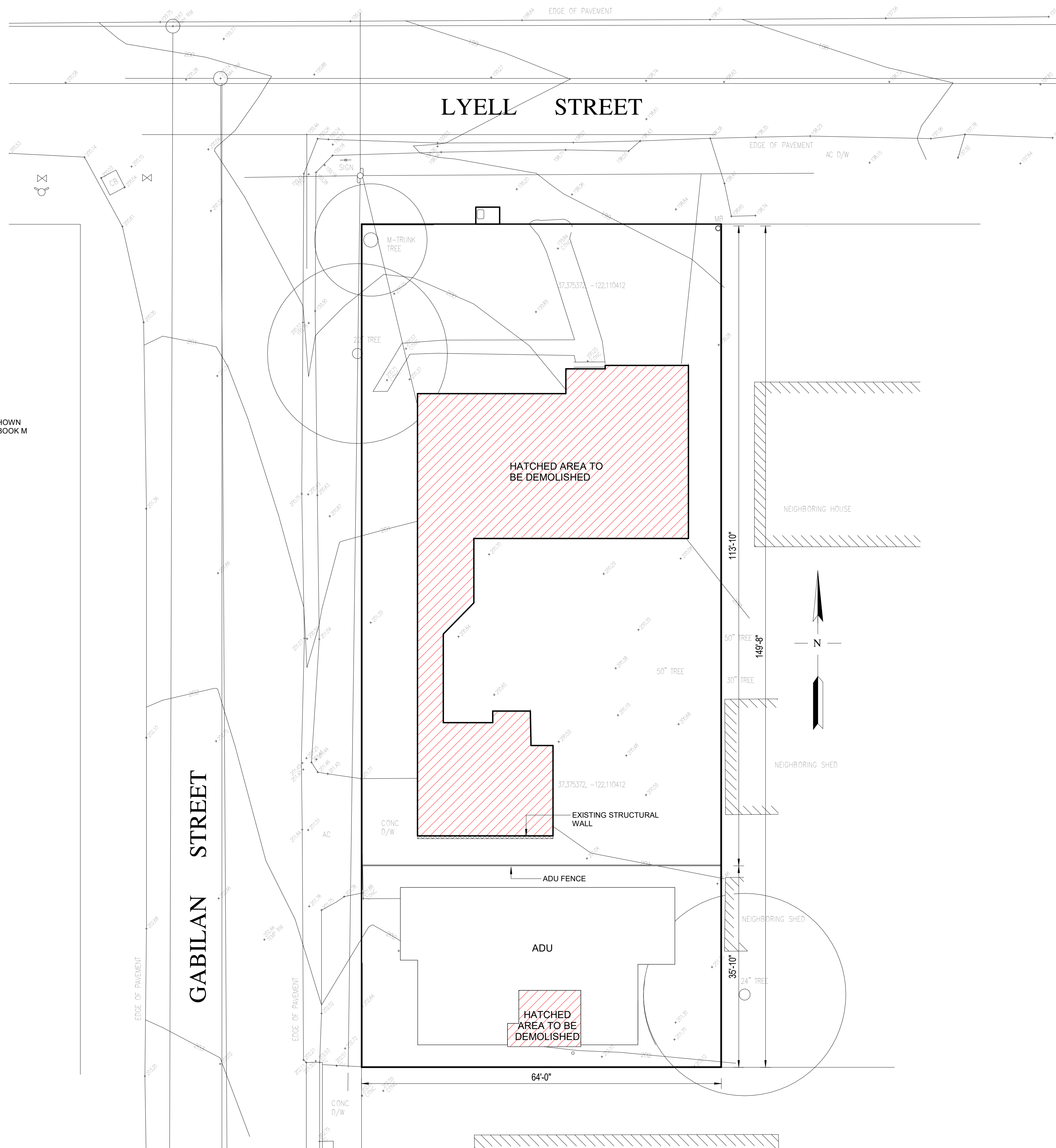
THE BEARING EAST OF THE CENTRELINE OF LYELL STREET AS SHOWN ON MAP NO. 3 THE TOWN OF LOS ALTOS, FILED FOR RECORD IN BOOK M OF MAPS AT PAGE 1, SANTA CLARA COUNTY RECORDS.

REFERENCES

R1 MAP NO. 3 TH TOWN OF LOS ALTOS (M MAPS 1)

SITE DATA:

166 LYELL STREET
LOS ALTOS, CA
APN: 170-37-006
AREA= 9,600 S.F. +/-



3 SITE DEMOLITION LAYOUT
1" = 10'-0"

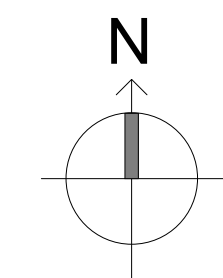
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REV.	DESCRIPTION	DATE	REV BY
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-1.007

SITE DEMOLITION LAYOUT

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

PROJECT NO: -

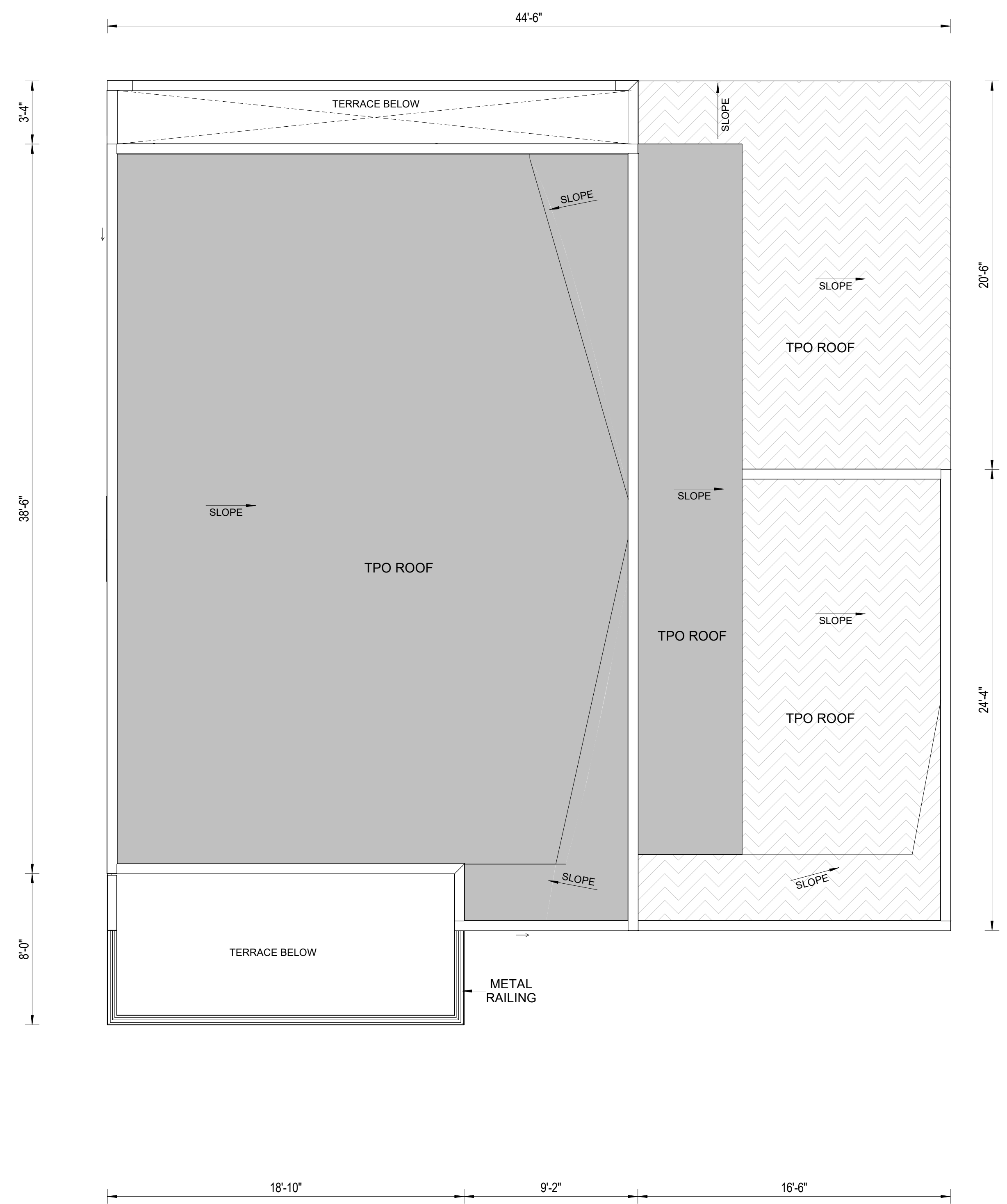
SCALE: As indicated

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022

CONTACT : 650-209-6500

EMAIL : team@golivio.com





1 ROOF LEVEL PLAN
1/4" = 1'-0"

NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
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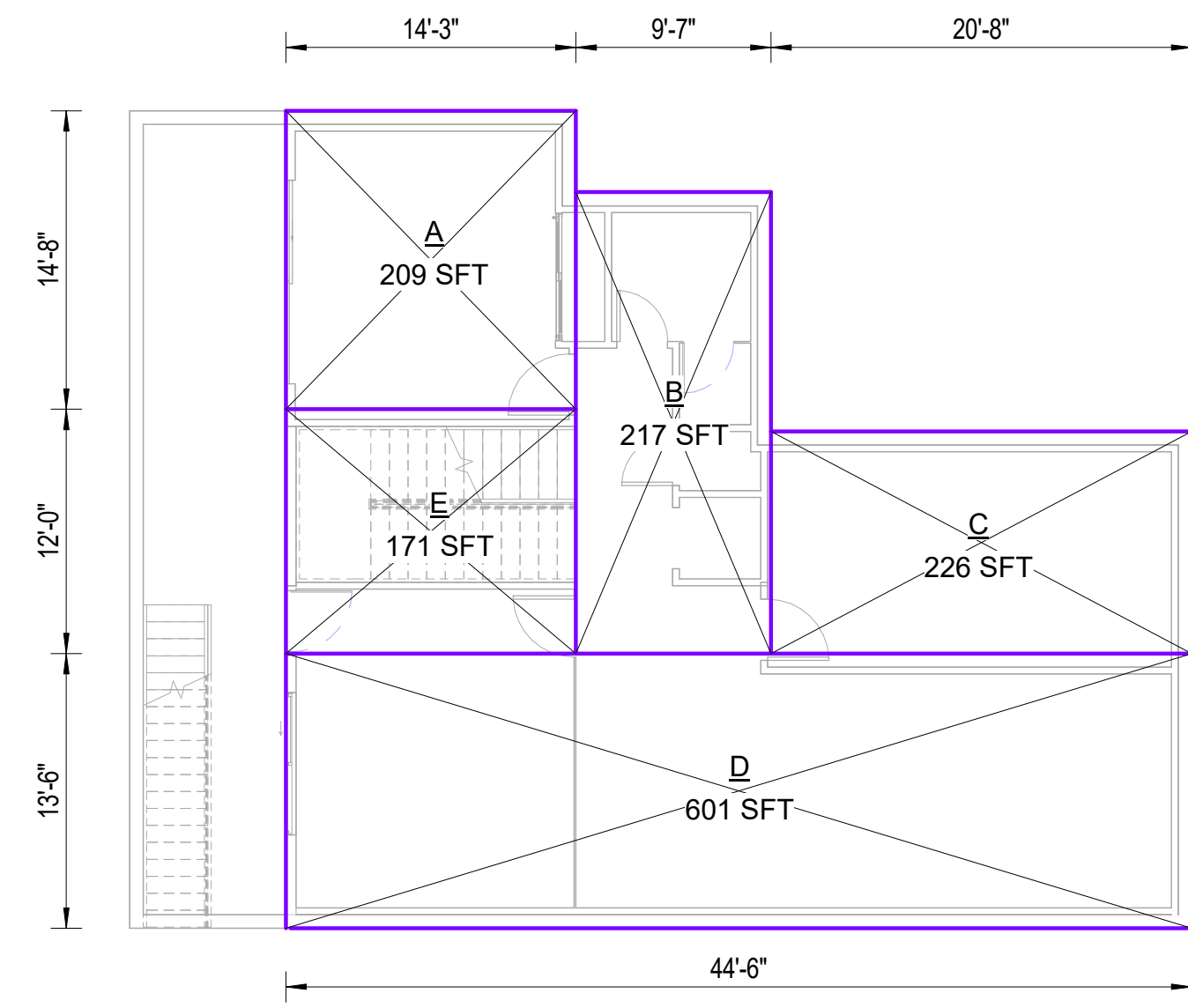
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

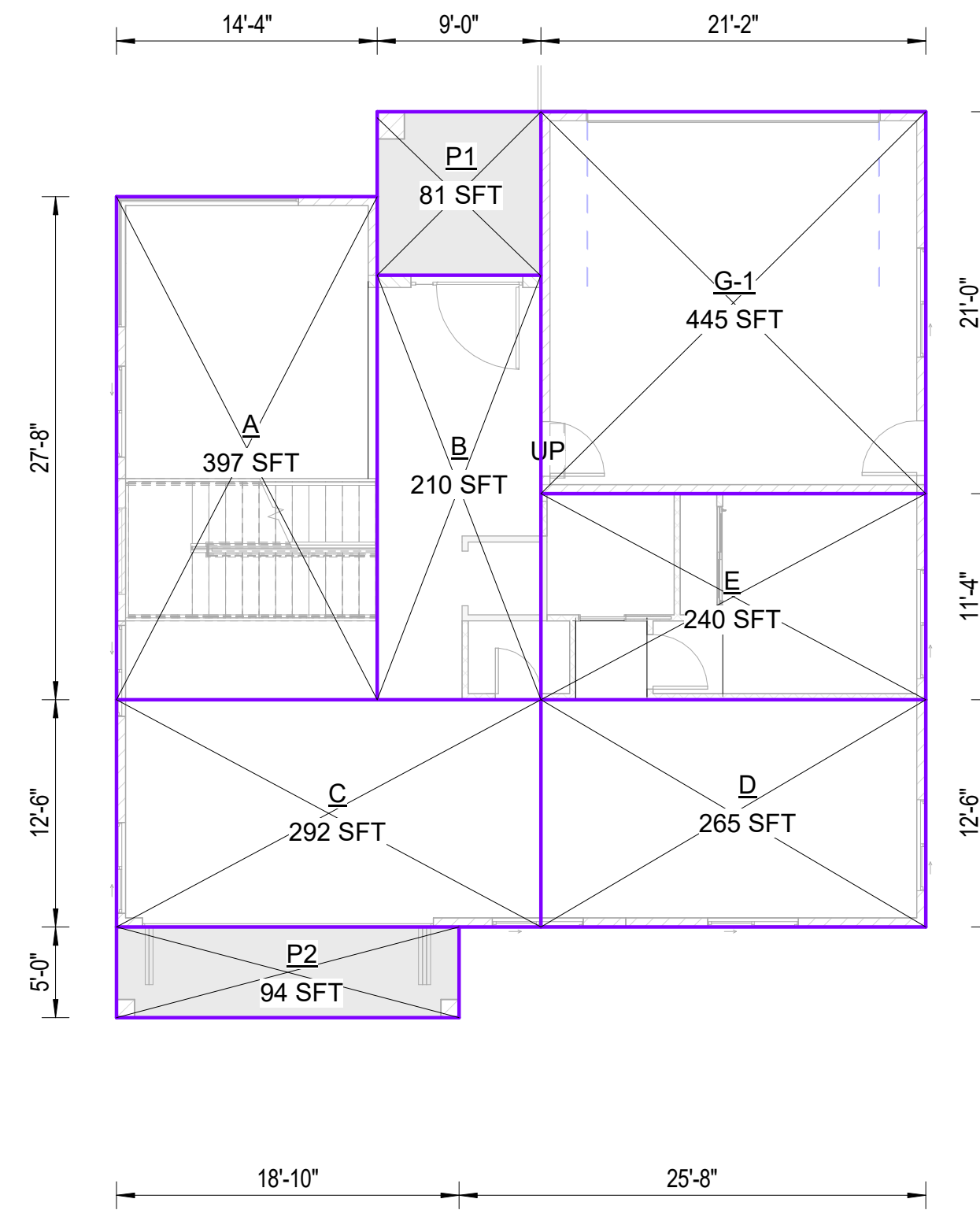
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ROOF LEVEL PLAN

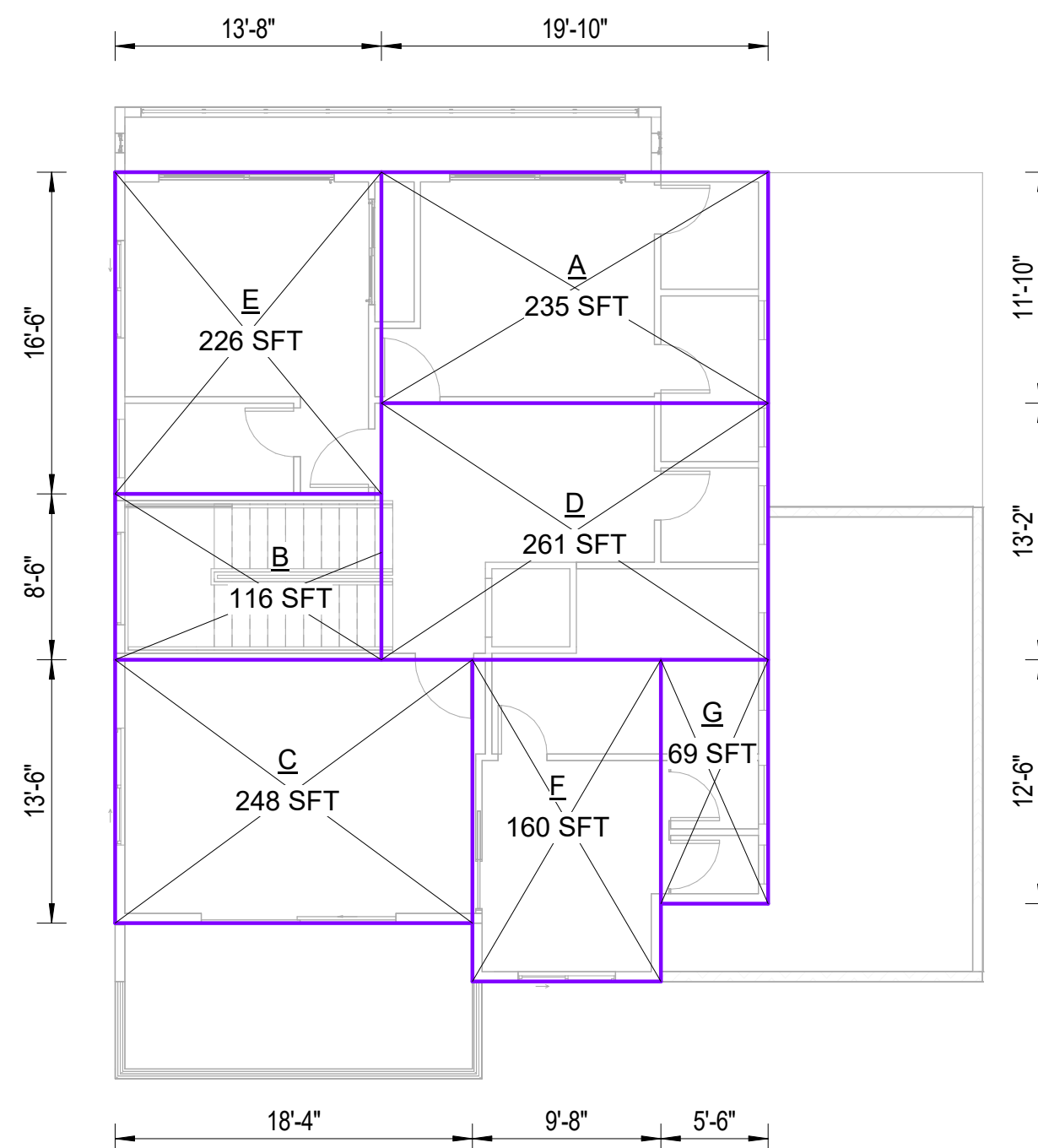
DATE:	09-JULY-2021		
DRAWN BY:	PRAKASH		
CHECKED BY:	SUBHENDU		
PROJECT NO :		ADDRESS :	329 S San Antonio Road #8, Los Altos, CA 94022
SCALE:	1/4" = 1'-0"	CONTACT :	650-209-6500
		EMAIL :	team@golivio.com



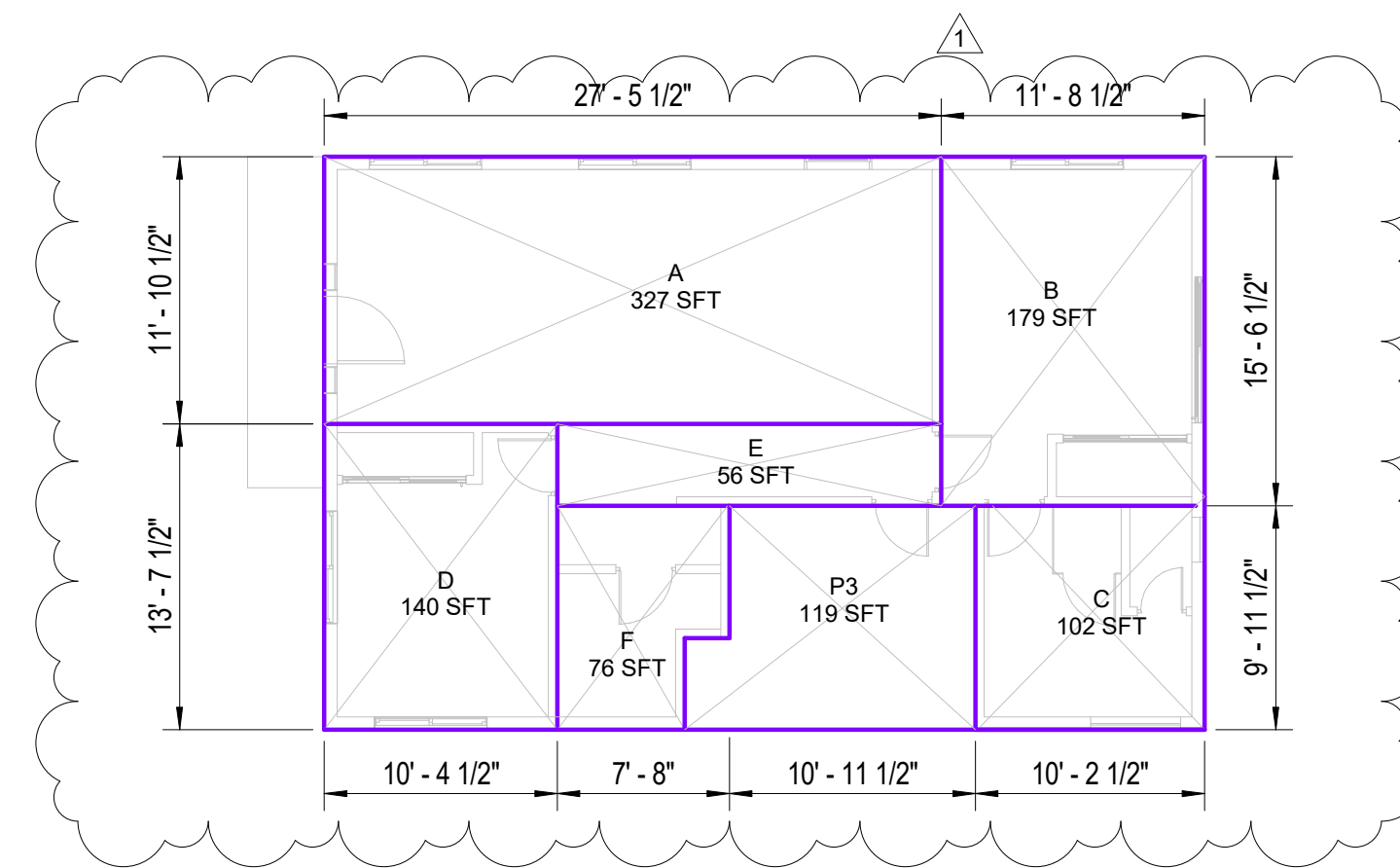
1 BASEMENT LEVEL
1/8" = 1'-0"



2 FIRST FINISH FLOOR
1/8" = 1'-0"



3 SECOND LEVEL
1/8" = 1'-0"



4 EXISTING LYELL ADU FIRST FLOOR PLAN
1/8" = 1'-0"

FIRST LEVEL AREA + SECOND LEVEL AREA = TOTAL FLOOR AREA
1847 + 1313 = 3,160 SF

ALLOWABLE TOTAL FLOOR AREA = 4,160 SF

FIRST LEVEL AREA + PATIO AREA + ADU = TOTAL LOT COVERAGE AREA

1847 + 175 + 999 = 3,021 SF

ALLOWABLE LOT COVERAGE AREA = 3,680 SF

BASEMENT LEVEL AREA CALCULATIONS

NAME	AREA LENGTH	AREA WIDTH	AREA
BASEMENT LEVEL			
A	14'-3"	14'-8"	209 SF
B	9'-7"	22'-8"	217 SF
C	10'-11"	20'-8"	226 SF
D	13'-6 1/2"	44'-4"	601 SF
E	12'-0"	14'-3"	171 SF
TOTAL: 5			1424 SF

TOTAL BASEMENT FLOOR AREA = 1424 SF

FIRST LEVEL AREA CALCULATION

NAME	AREA LENGTH	AREA WIDTH	AREA
A	14'-4"	27'-8"	397 SF
B	9'-0"	23'-4"	210 SF
C	12'-6"	23'-4"	292 SF
D	12'-6"	21'-2"	265 SF
E	11'-4"	21'-2"	240 SF
G-1	21'-0"	21'-2"	445 SF
TOTAL: 6			1847 SF

PORCH AREA CALCULATION

NAME	AREA LENGTH	AREA WIDTH	AREA
P1	9'-0"	9'-0"	81 SF
P2	5'-0"	18'-10"	94 SF
P3	8'-1"	14'-9"	119 SF
TOTAL			294 SF

SECOND LEVEL AREA CALCULATION

NAME	AREA LENGTH	AREA WIDTH	AREA
A	11'-10"	19'-10"	235 SF
B	8'-6"	13'-8"	116 SF
C	13'-6"	18'-4"	248 SF
D	13'-2"	19'-10"	261 SF
E	13'-8"	16'-6"	226 SF
F	9'-8"	16'-6"	160 SF
G	5'-6"	12'-6"	69 SF
TOTAL: 7			1313 SF

ADU FIRST FLOOR AREA CALCULATION

NAME	ROOM WIDTH	ROOM DEPTH	AREA
A	27'-5 1/2"	11'-10 1/2"	327 SF
B	11' - 8 1/2"	15' - 1 1/2"	179 SF
C	9' - 9 1/2"	10' - 4 1/2"	102 SF
D	13' - 7 1/2"	10' - 4 1/2"	140 SF
E	17' - 1"	3' - 3"	56 SF
F	7' - 3 1/2"	10' - 4 1/2"	76 SF
TOTAL: 6			880 SF

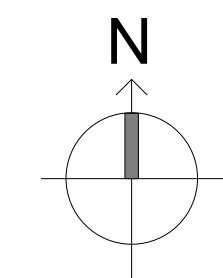
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-6.001

AREA CALCULATION

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

PROJECT NO: -

SCALE: 1/8" = 1'-0"

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022
CONTACT : 650-209-6500
EMAIL : team@golivio.com

EXTERIOR COLOR / MATERIAL SCHEDULE				
ROOF	MATERIAL / APPLICATION	CODE	COLOR	MANUFACTURE
	TPO ROOFING	M1	GREY	GAF EVERGUARD@ TPO 60-MIL MEMBRANE
WALL	SMOOTH FINISH STUCCO	M2	WHITE	-
	CEMENT BOARD SIDING	M3	WOODEN	-
MISC.	GARAGE DOOR	M4	BLACK	C.H.I. OR EQ.
	METAL WINDOW FRAMES	M5	DARK BRONZE	MILGARD OR EQ
	SLIDING GLASS DOOR	M6	DARK BRONZE	LA-CANTINA OR EQ
	METAL RAILINGS	M7	METAL RAILING	VIEWRAIL OR EQ
	GLASS RAILINGS	M8	GLASS RAILING	VIEWRAIL OR EQ
	METAL AWNING	M9	BLACK	AWNTECH OR EQ
	CONCRETE	M10		-

* NOTES: EXACT COLORS TO BE VERIFIED W/ OWNER & ARCHITECT



METAL AWNING



CONCRETE PATHWAY & DRIVEWAY

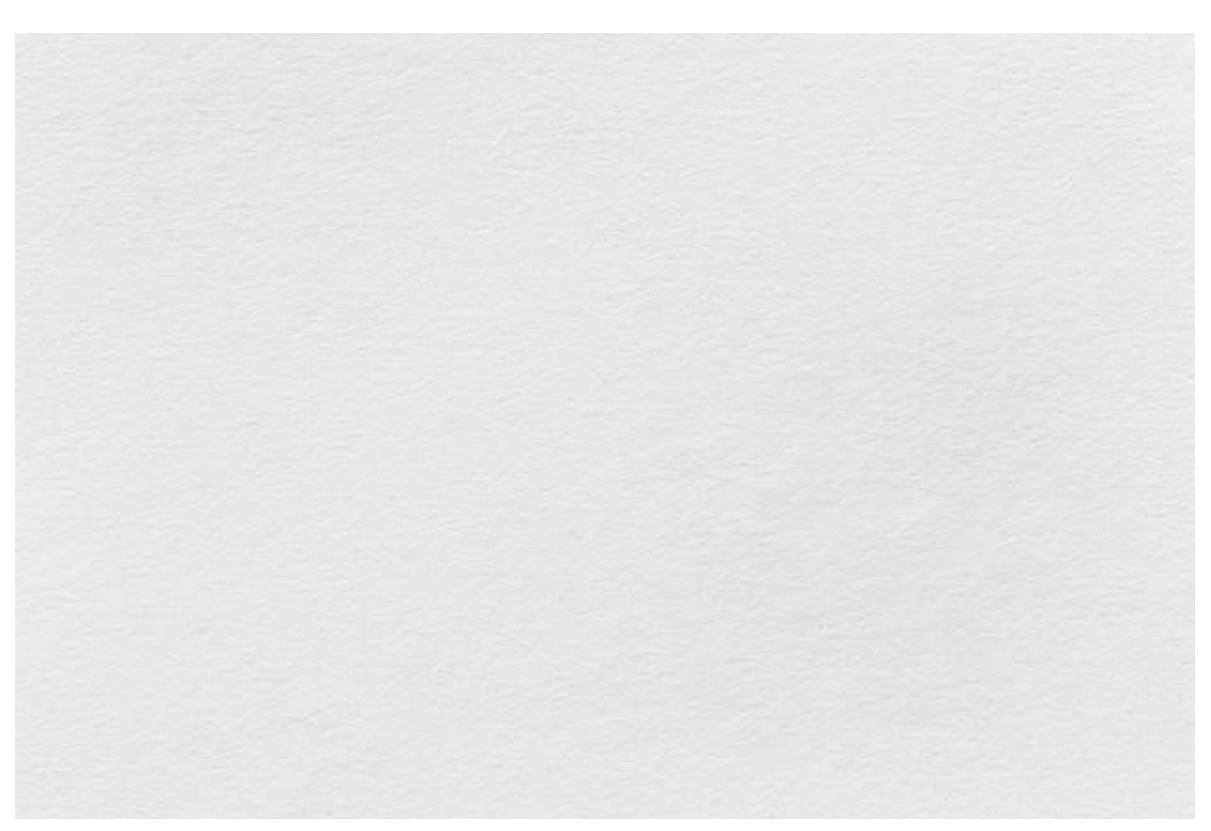
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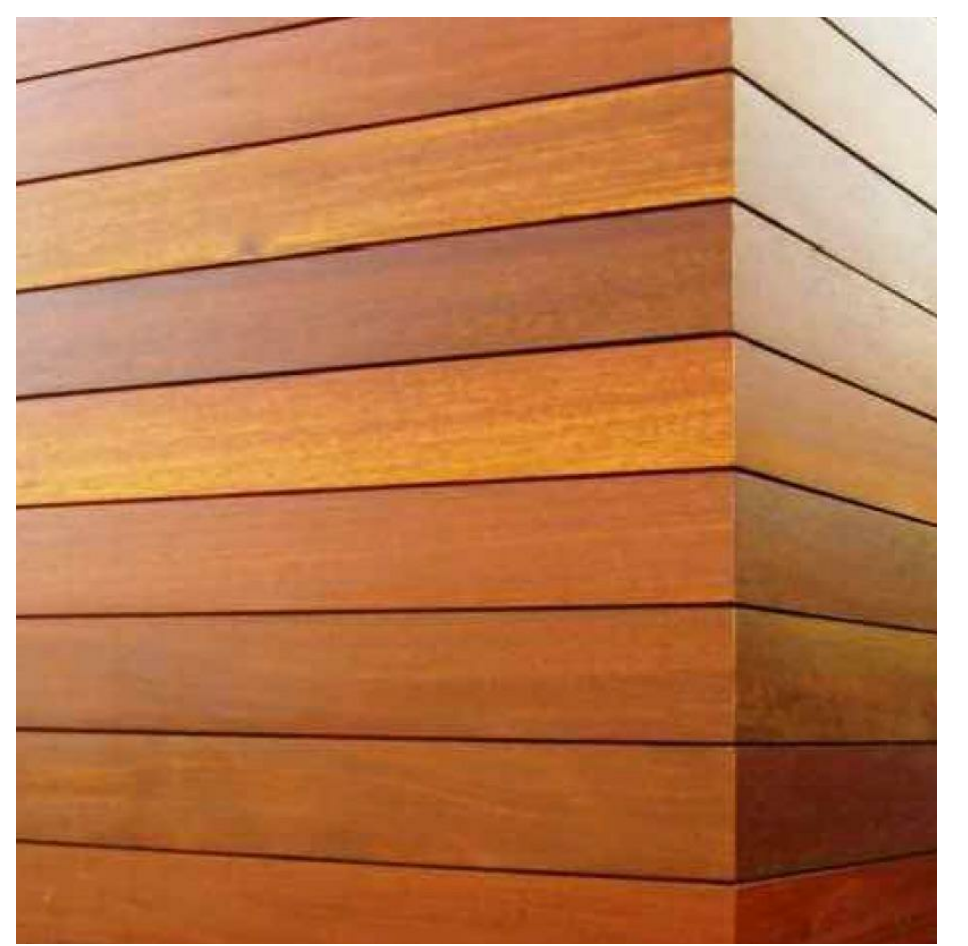
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1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH



TPO ROOFING (GREY)



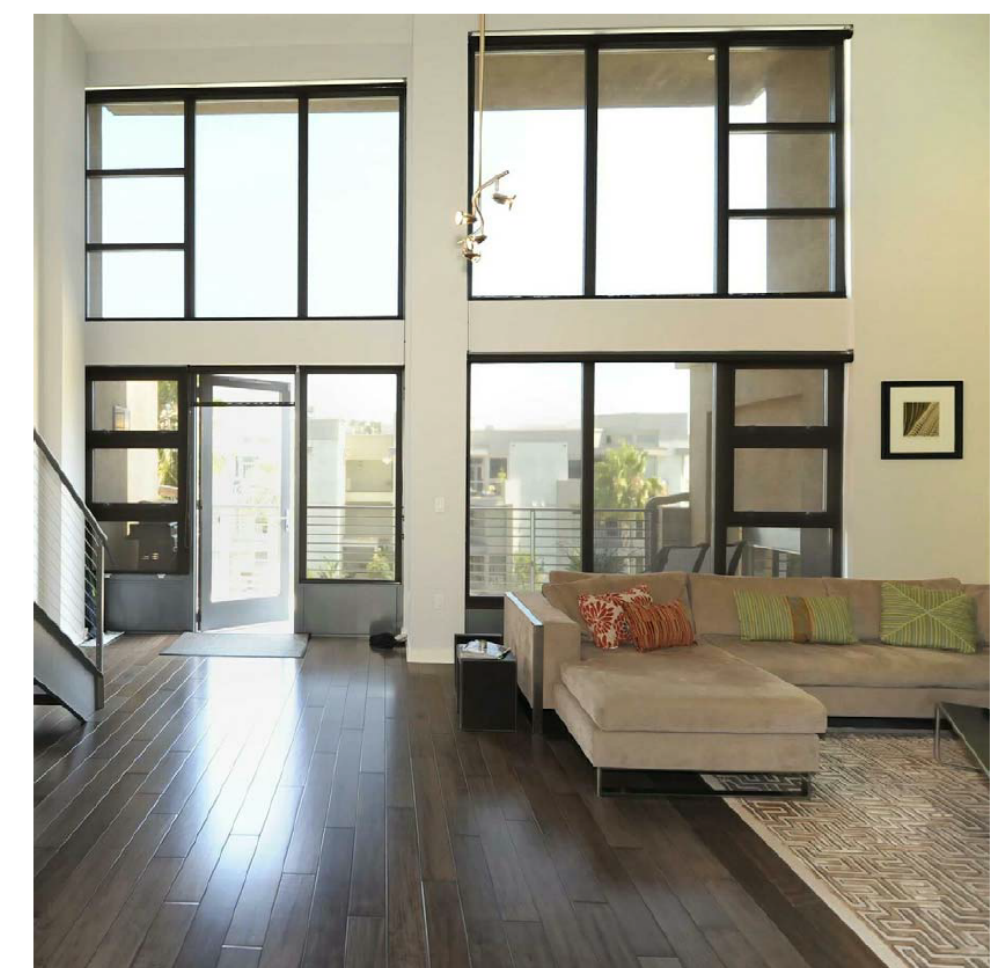
SMOOTH FINISH STUCCO



CEMENT BOARD SIDING



GARAGE DOOR



METAL WINDOW FRAMES



NANA GLASS DOOR



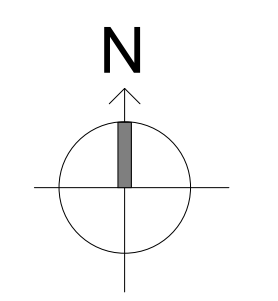
METAL RAILING



GLASS RAILING

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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-7.001

MATERIAL BOARD

DATE:	09-JULY-2021
DRAWN BY:	PRAKASH
CHECKED BY:	SUBHENDU
PROJECT NO: -	ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022
SCALE: 12" = 1'-0"	CONTACT : 650-209-6500
	EMAIL : team@golivio.com





GABILAN STREET VIEW



ADU NORTH VIEW

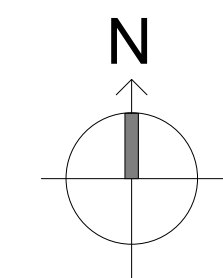
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-7.002

RENDER VIEWS

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

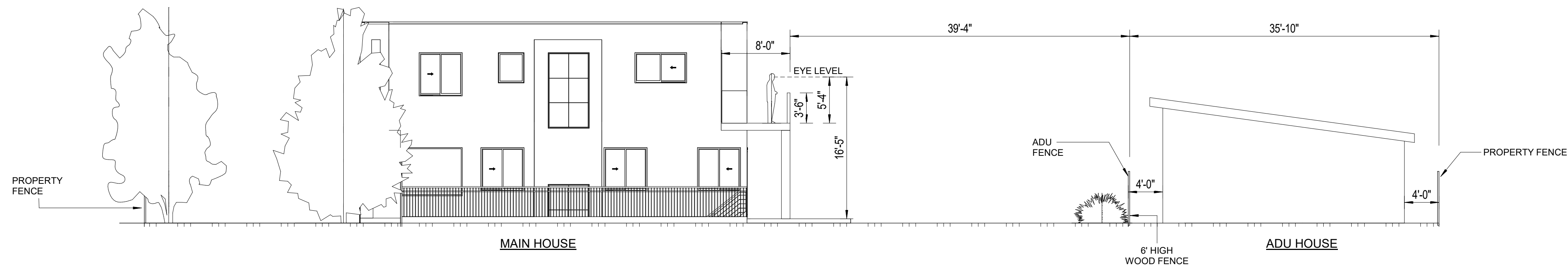
CHECKED BY: SUBHENDU

PROJECT NO: -

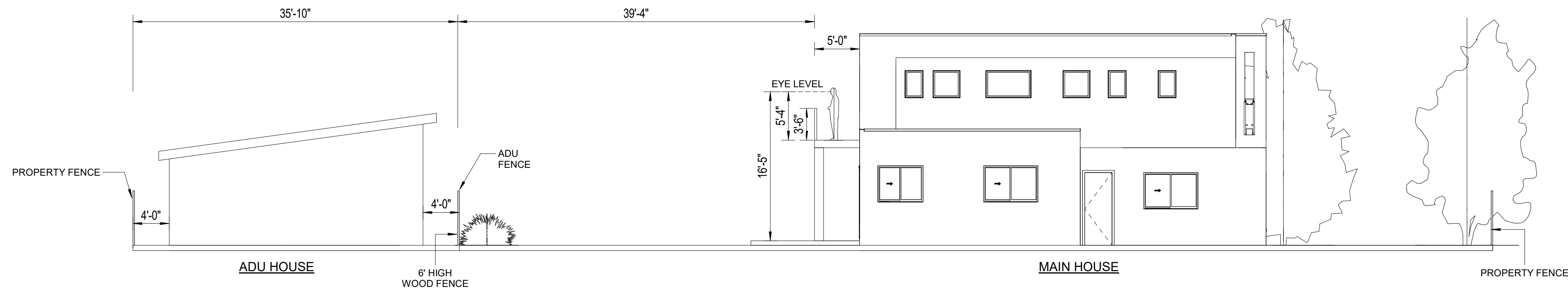
SCALE:

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022
 CONTACT : 650-209-6500
 EMAIL : team@golivio.com





② SITE SECTION-1
1/8" = 1'-0"



① SITE SECTION-2
1/8" = 1'-0"

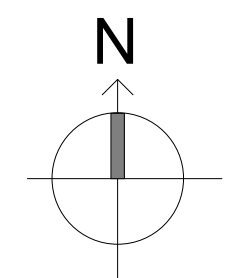
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES.
- DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
- ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/ WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS- UNLESS OTHERWISE MENTIONED.
- IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION.
- THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION.
- LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE THE SMALLER SCALE DRAWINGS AND DETAILS.
- THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE (FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.)



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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: A-7.003

SITE SECTIONS

DATE: 09-JULY-2021

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

PROJECT NO: -

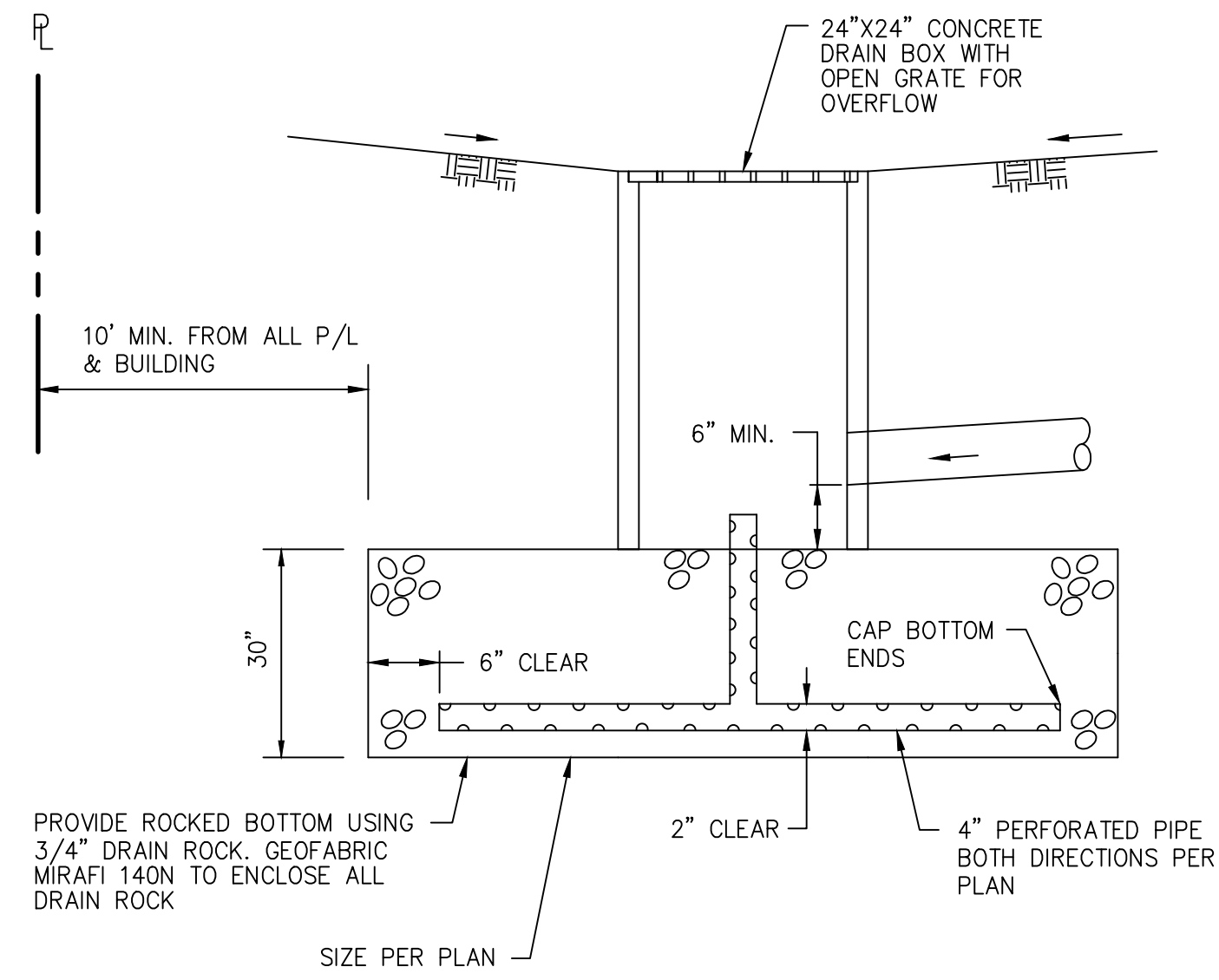
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ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022

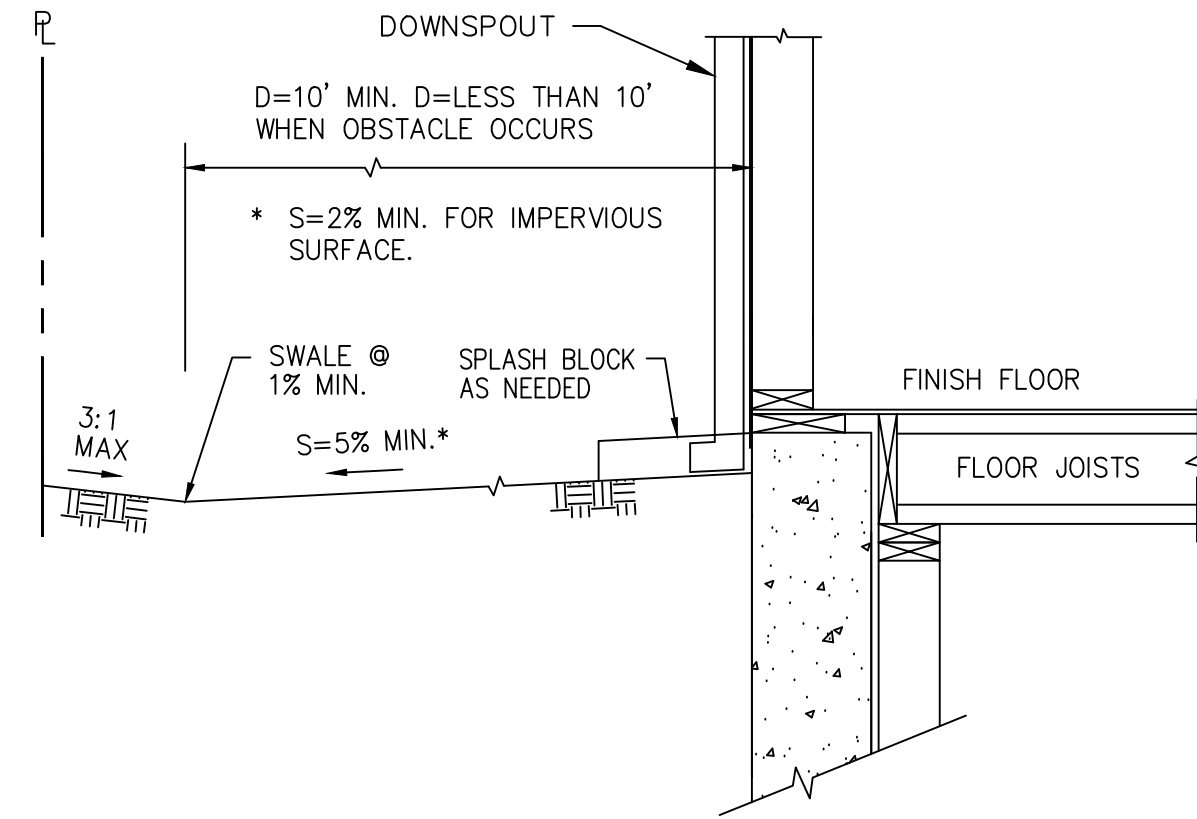
CONTACT : 650-209-6500

EMAIL : team@golivio.com

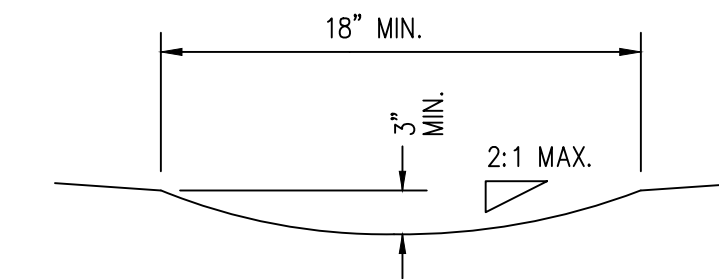




NOT TO SCALE



NOT TO SCALE

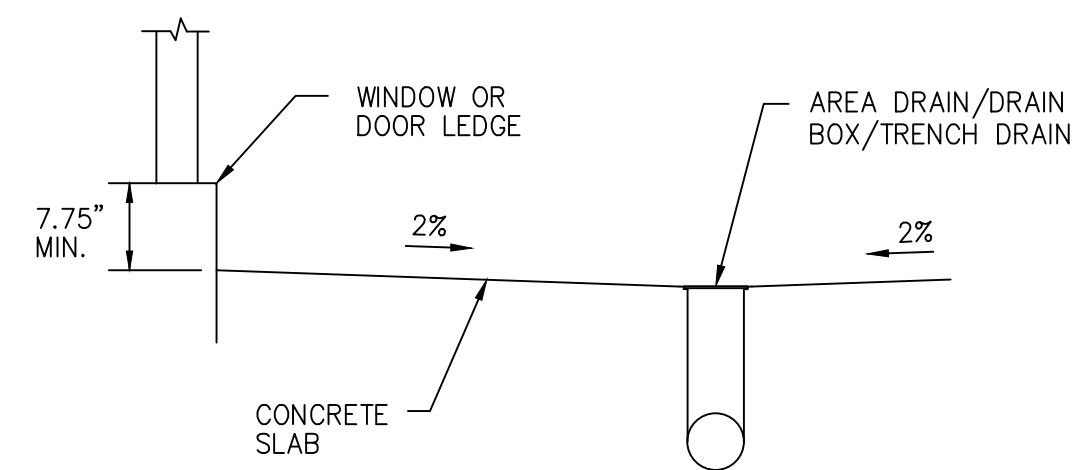


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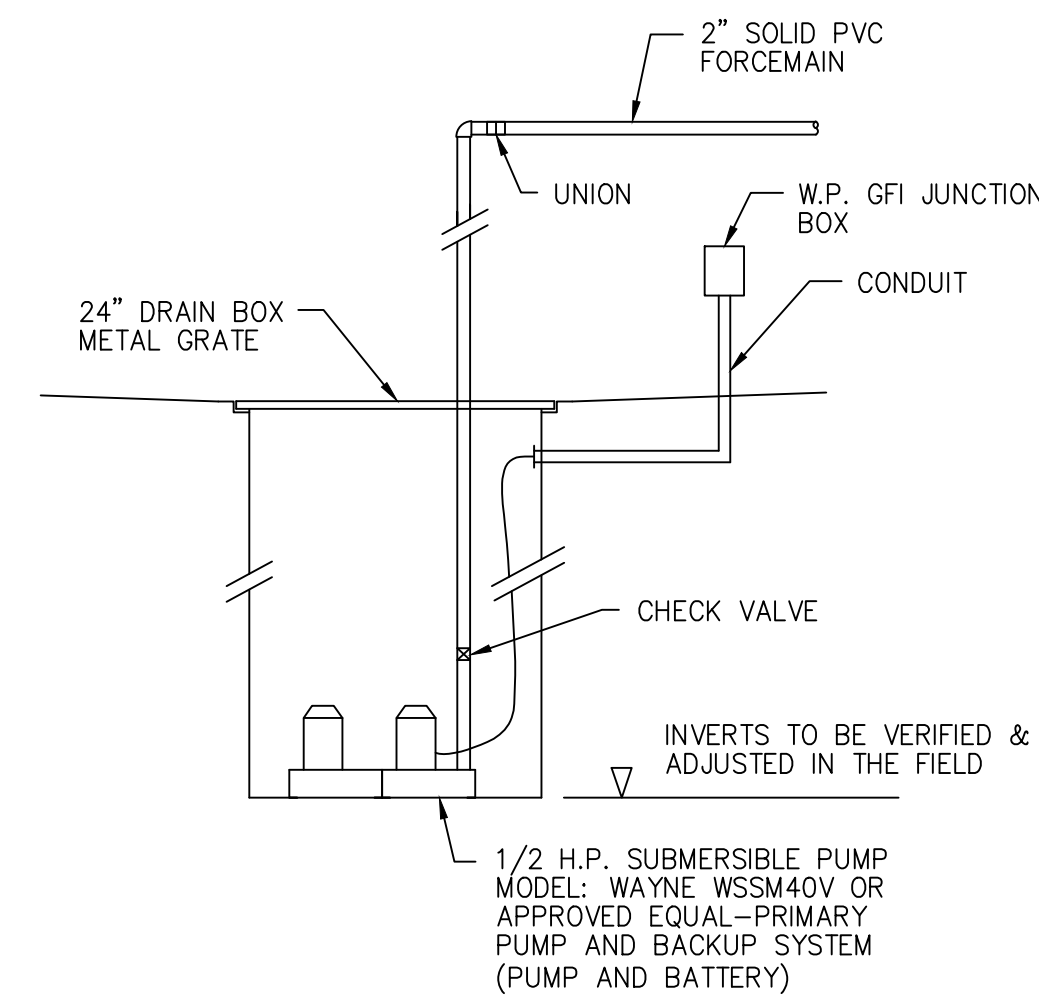
1 STORMWATER INFILTRATION BOX

2 TYPICAL GRADING AROUND FOUNDATION

3 SWALE



NOT TO SCALE



NOT TO SCALE

4 DRAIN IN LIGHT WELL

5 SUMP WELL

NO.	REVISION	DATE	BY

RW RW ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 505 ALTAMONT DRIVE
 MILPITAS, CA 95035
 (P) (408) 262-1899
 (FAX) (408) 824-5556
 rweengineering@gmail.com



NEW RESIDENCE
 306 COVINGTON ROAD
 LOS ALTOS, CA
 SANTA CLARA COUNTY
 APN: 189-47-014

DETAILS

DATE: 7/5/21
 SCALE: AS NOTED
 DESIGNED BY: RW
 DRAWN BY: RW
 SHEET NO.

C-2

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
2. OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND COUNTY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.
2. ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE ROCK BAG.

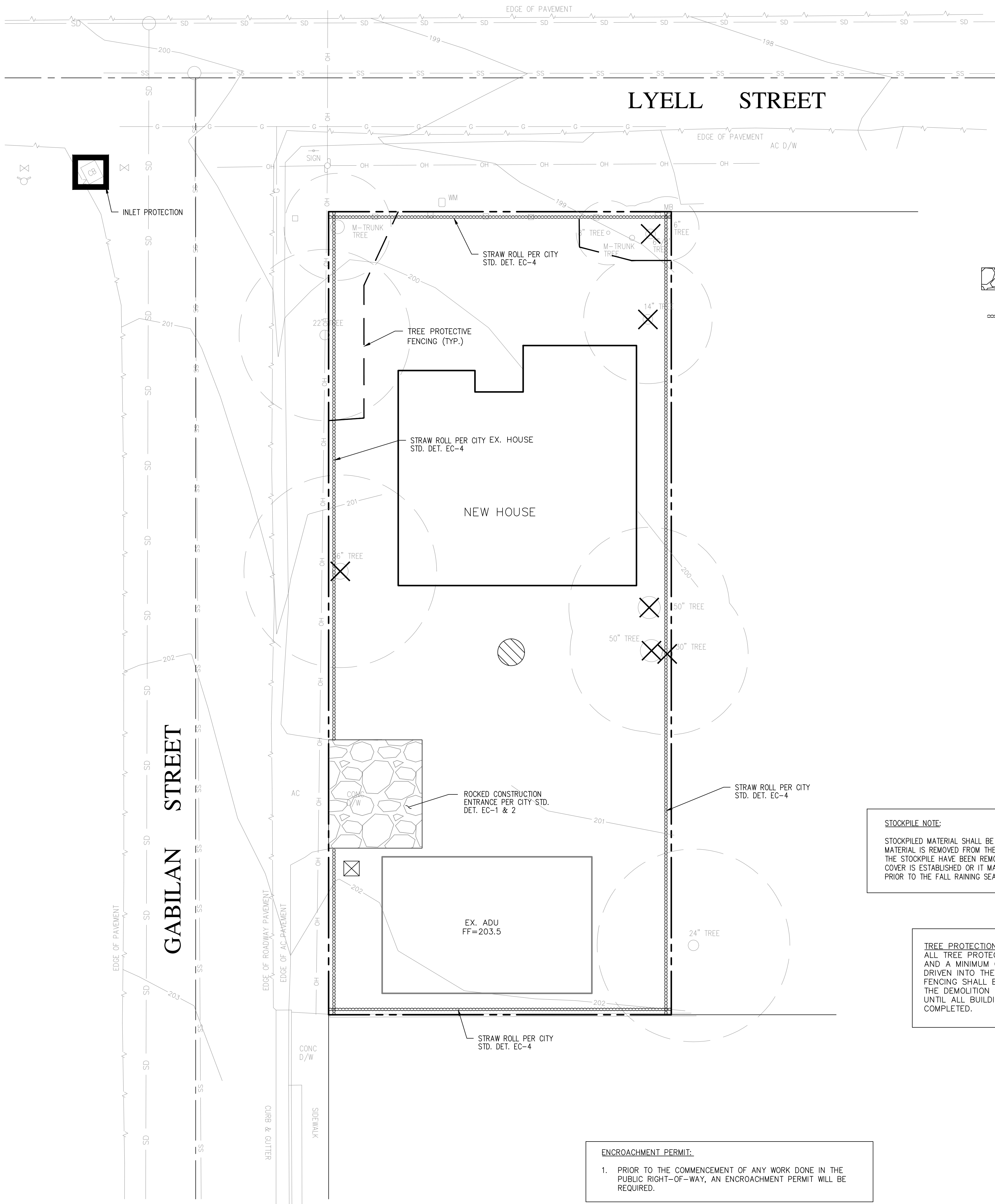
HYDROSEEDING:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALTRANS STANDARD SPECIFICATIONS, AND UNDER THE DIRECTION OF THE SOIL ENGINEER IN THE FIELD.
2. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE (925) 373-4417:

FIBER (HYDROSTRAW AND TACK MULCH)	2500 LBS/ACRE
COLOR (GREEN TO GOLD)	55 LBS/ACRE
FERTILIZER (16-20-0)	350 LBS/ACRE
M-BINDER	125 LB/ACRE
WATER, AS REQUIRED FOR APPLICATION	

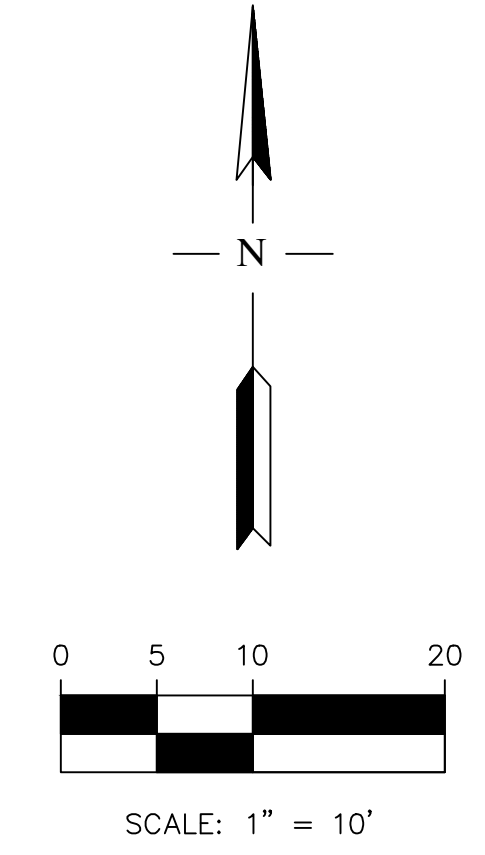
ADDITIONAL NOTES:

1. STABILIZE ALL DENUDE AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15TH AND APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
2. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
3. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING, WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
4. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DETWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
5. AVOID CLEANING, FUELING, OR MAINTENING VEHICLE ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
6. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
8. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
9. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
10. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
11. AVOID TRACKING DIRT OR OTHER MATERIAL OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
12. THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMPs.



LEGEND

- ROCKED CONSTRUCTION ENTRANCE
- FIBER ROLL
- PORT-A-POTY
- CONCRETE WASH AREA
- INLET PROTECTION (ROCK BAGS)



STOCKPILE NOTE:
 STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAVE BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINING SEASON.

TREE PROTECTION FENCING NOTE:
 ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

ENCROACHMENT PERMIT:
 1. PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, AN ENCROACHMENT PERMIT WILL BE REQUIRED.

NO.	REVISION	DATE	BY

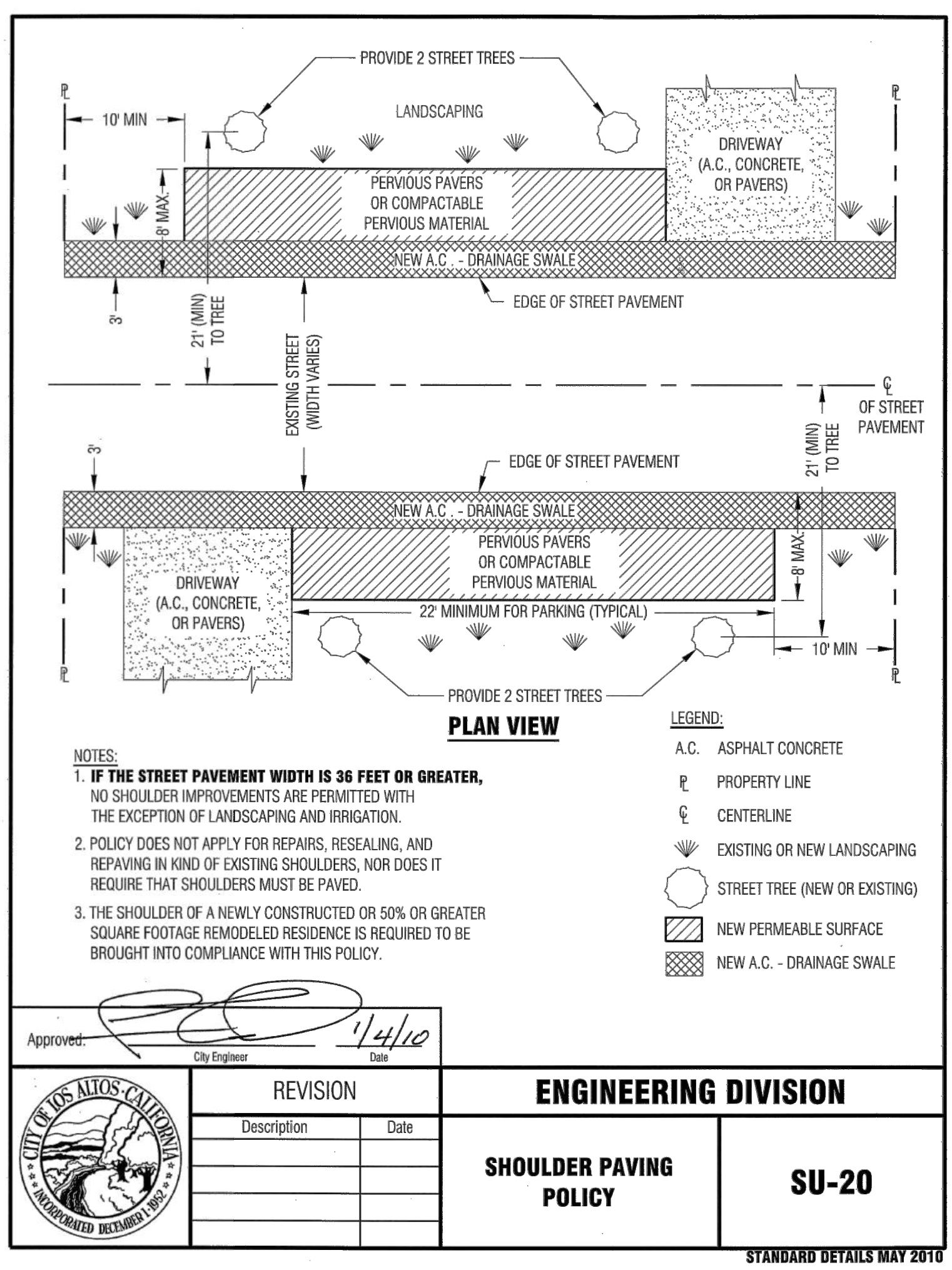
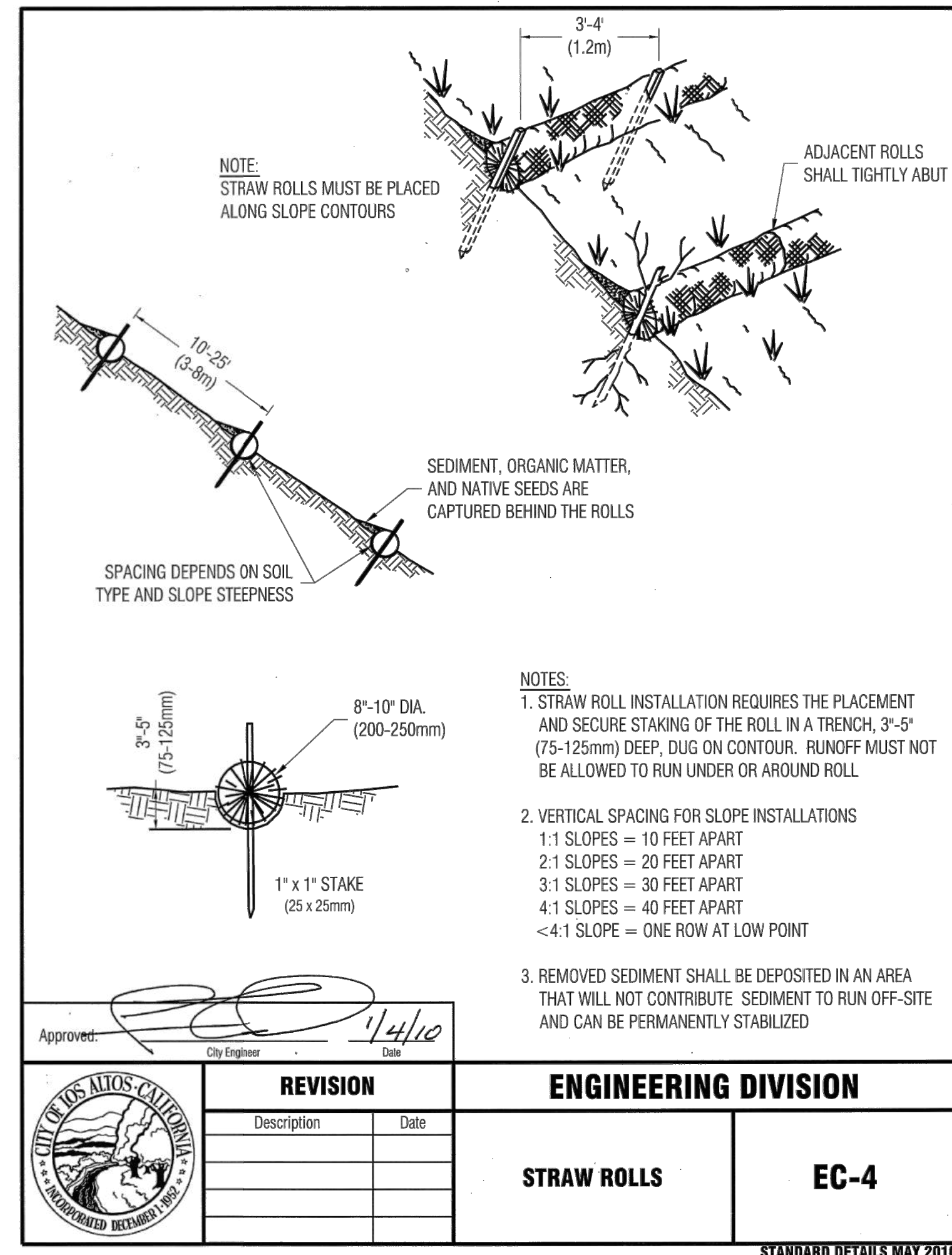
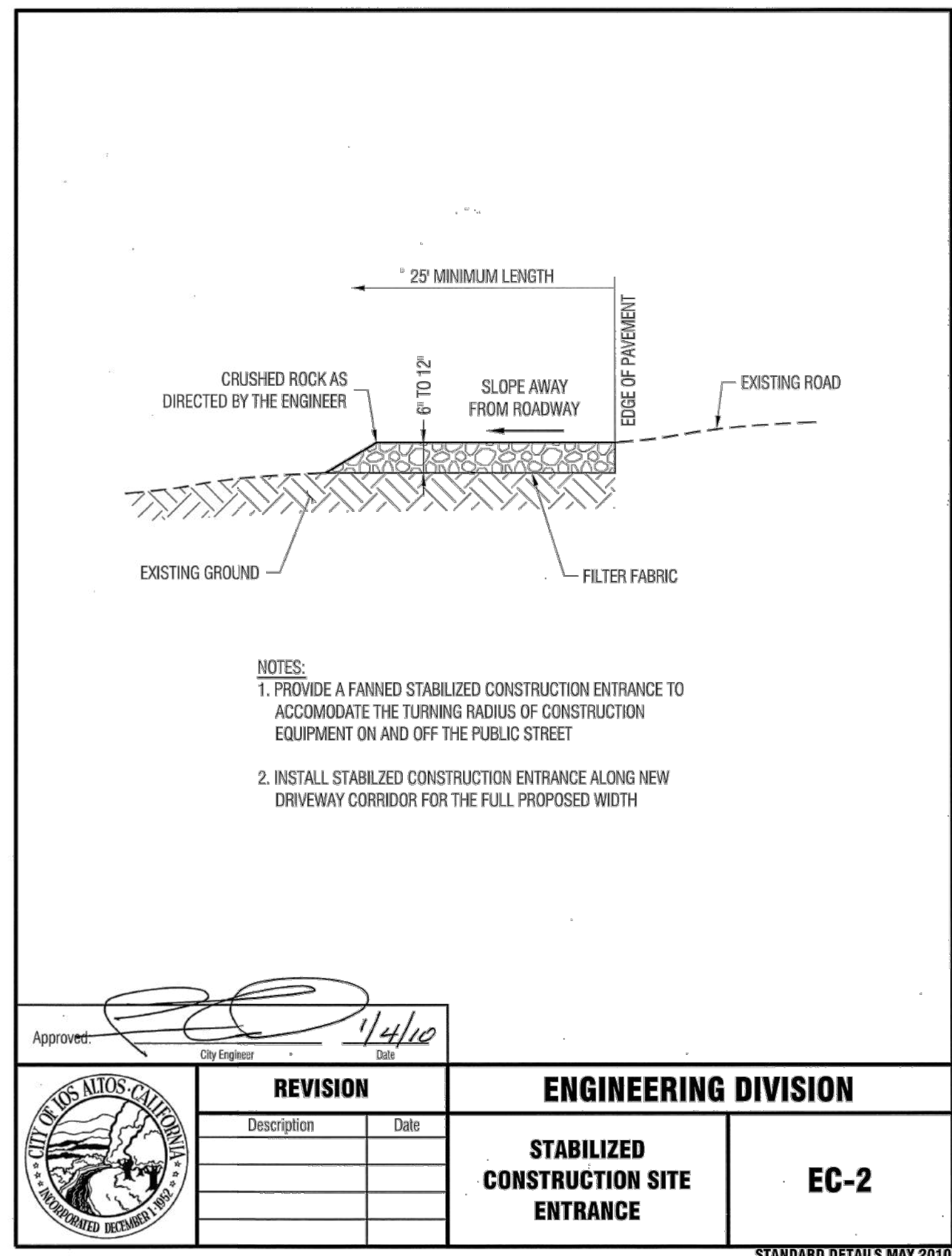
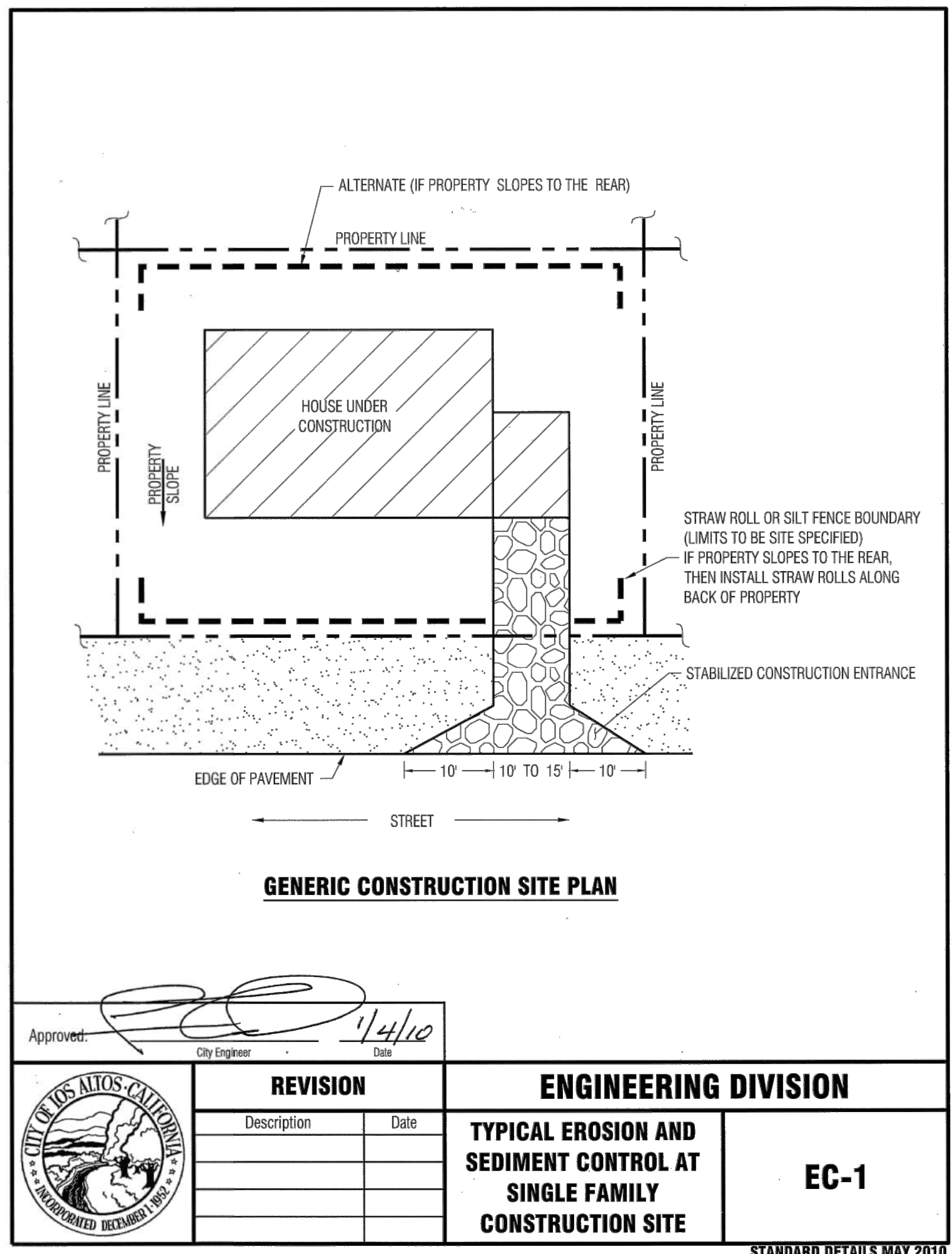
RW ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 505 ALTA MOUNT DRIVE
 MILPITAS, CA 95035
 (P) (408) 262-1899
 (FAX) (408) 824-5556
 rweengineering@gmail.com

NEW ADU
166 LYELL STREET
LOS ALTOS, CA
 SANTA CLARA COUNTY
 APN: 170-37-006

EROSION CONTROL PLAN

DATE: 7/6/21
 SCALE: AS NOTED
 DESIGNED BY: RW
 DRAWN BY: RW
 SHEET NO.

C-3



BY: _____ DATE: _____ REVISION: _____ NO. _____

RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALMONT DRIVE
MILPITAS, CA 95035
(P) (408) 262-1899
(FAX) (408) 824-5556
rwengineering@gmail.com

RW

REGISTERED PROFESSIONAL ENGINEER
ROBERT Y. WANG
50541
RENEWAL DATE: 06-30-23
CIVIL
STATE OF CALIFORNIA

NEW ADU
166 LYELL STREET
LOS ALTOS, CA
APN: 170-37-006
SANTA CLARA COUNTY

STANDARD DETAILS

DATE: 7/5/21
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO.

C-3

CERTIFICATE OF COMPLETION

This certificate is to be filled out by the project applicant and signed by the property owner and landscape installer upon completion of the landscape project.

Part 1. PROJECT INFORMATION

Date		
Project Name		
Name of Project Applicant	Telephone No.	
	Fax No.	
Title	Email Address	
Company	Street Address	
City	State	Zip Code

Project Address and Location:

Street Address	Parcel, tract or lot number, if available.	
City	Latitude/Longitude (optional)	
State	Zip Code	

Property Owner:

Name	Telephone No.	
	Fax No.	
Title	Email Address	
Company	Street Address	
City	State	Zip Code

"I/we certify that I/we have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is our responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule."

Property Owner Signature _____ Date _____

PART 2. CERTIFICATION OF INSTALLATION ACCORDING TO THE LANDSCAPE DOCUMENTATION PACKAGE

Landscape Architect or Designer:

Name	Telephone No.	
	Fax No.	
Title	Email Address	
License No. or Certification No.		
Company	Street Address	
City	State	Zip Code

Landscape Installer:

Name (print)	Telephone No.	
	Fax No.	
Title	Email Address	
License No. or Certification No.		
Company	Street Address	
City	State	Zip Code

"I/we certify that based upon periodic site observations, the work has been completed in accordance with the ordinance and that the landscape planting and irrigation installation conform with the criteria and specifications of the approved Landscape Documentation Package."

Landscape Installer Signature _____ Date _____

Part 3. LANDSCAPE IRRIGATION AUDIT REPORT

Attach a Landscape Irrigation Audit Report per Section 492.12. The Landscape Irrigation Audit Report is intended to ensure that the subject irrigation system is functioning as designed and should address the following topics:

- Confirmation that all elements of the system were inspected;
- Outline any system tune-ups that were necessary to ensure that the system is functioning as designed;
- Confirmation that the system was tested for distribution uniformity, overspray and runoff that causes overland flow;
- Preparation of an irrigation schedule that includes configuring irrigation controllers with application rate, soil types, plant factors, slope, exposure and any other factors necessary for accurate programming.
- Provide additional information as necessary to confirm that the subject irrigation system is functioning as designed

WATER EFFICIENT LANDSCAPE WORKSHEET

Date: 7/2/2021
 Project: Single Family Residence
 Address: 166 Lyell, Los Altos
 Total Planted Area (sq.ft.) 2,421

HYDRO ZONE NO.	VALVES	HYDRO ZONE DESC.	Plant Factor PF	Irrig. Method	Irrig. Efficiency IE	ETAF PF/IE	LDSCP AREA Square Feet	ETAF x Area	Estimated Total Water Use (Gal.)
Reference Evapotranspiration (Eto): 43 Palo Alto/Los Altos									

Regular Landscape Areas										
1	4, 5, 7	Drip, low water, shrub	0.25	Drip	0.81	0.3086	1,639	505.86	13,486	
2	3, 6	Drip, med water, shrub	0.5	Drip	0.81	0.6173	535	330.25	8,804	
3	2	Drip, med water tree	0.5	Drip	0.81	0.6173	202	124.69	3,324	
4	1	Drip, high water shrub	0.8	Drip	0.81	0.9877	45	44.44	1,185	
5										
6										
7										
8										
							Totals	2,421	1,005	26,799

Special Landscape Areas									
						1	0		
						1			
						1			
							Totals	0	0
							ETWU Total		26,799
							Maximum Allowed Water Allowance (MAWA)		35,499

Residential ETAF for MAWA calc. 0.55 MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	1,005
Total Area	2,421
Average ETAF	0.42

All Landscape Areas	
Total ETAF x Area	1,005
Total Area	2,421
Sitewide ETAF	0.42

Average total ETAF must be .55 or less for residential

Landscape Documentation Package Checklist

LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST

- 1 - PROJECT INFORMATION
- a Date - 7/2/21
 - b Applicant - Greg Lewis - Landscape Architect
 - c Project Address - 166 Lyell St., Los Altos
 - d Total Landscape Area 2421 sf
 - e Type of project -single family residential
 - g Checklist of all documents in package - see this page
 - h Contacts of Applicant -
 Owner - Navneet Aron
 navneet@golivio.com
 - i "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"

A. APPENDIX B - WATER EFFICIENT LANDSCAPE WORKSHEET - SEE SHEET L0

B. APPENDIX C - LANDSCAPE (PLANTING) PLAN - SEE SHEET L1 AND IRRIGATION PLAN - SEE SHEET L2, L3, L4,L5

GRADING PLAN - see civil engineers drawings

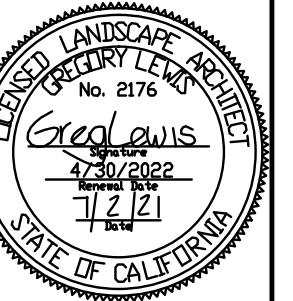
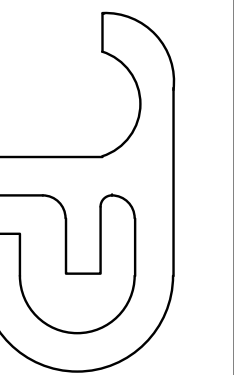
All landscaping and irrigation specified in the approved landscape documentation package shall be installed before a building permit can be signed-off and finalized. To verify that the landscaping and irrigation was installed per the approved plans, a certificate of completion shall be submitted to the City.

LANDSCAPE SHEET INDEX

- L0 LANDSCAPE DOCUMENTATION
- L1 PLANTING PLAN
- L2 HYDROZONE PLAN
- L3 LANDSCAPE SCREENING
- L4 IRRIGATION PLAN
- L5 LANDSCAPE DETAILS
- L6 LANDSCAPE SPECIFICATIONS

Revision

GREGORY LEWIS LANDSCAPE ARCHITECT #2176
 Santa Cruz, CA 95065 (831) 359-0980
 736 Park Way lewislandscape@sbcglobal.net



New Residence
 166 Lyell St., Los Altos, CA

LANDSCAPE DOCUMENTATION

Date 3/5/21

Scale As Noted

Drawn Greg

Job

Sheet

L0

Plant Legend

KEY	QTY	SIZE	SPACING	WUCOLS	BOTANICAL NAME	COMMON NAME
		GALLONS		RATING		High x Width
TALL SHRUBS - SCREENING						
LN	9	5	3'-5'	LOW	Laurus nobilis	15 - 40'x15-30' Grecian Laurel
growth rate 12" to 24" per year						
PE	4	15	5'-8'	MED	Pittosporum eugenioides	15-40'x6-15' growth rate 24" per year
GROUND COVERS						
LB	19	1	3'-5'	LOW	Lomandra Breeze	
DV	9	1	3'-5'	LOW	Dietes iridioides	Fortnight Lily
NC	3	1	3'-5'	LOW	Nandina Gulf Stream	
E	9	1	2'-3'	HIGH	Equisetum hyemale	Horsetail

Install 18" deep root barrier around grouping of E plants or use small Agave, Douglas Iris, or row of basalt rock columns instead

Ask owners if they want to upsize some of 1 gal plants to 5 gal plants

Plant quantities are for planning purposes only. Contractor to do own plant count and install all plants on plan

Planting Notes

- LESS THAN 25% OF PLANTING AREA IS TURF (0% OF LANDSCAPE AREA IS TURF)
- PLANTS WITH SIMILAR WATER NEEDS ARE GROUPED WITHIN HYDROZONES. EACH HYDROZONE SHALL BE CONTROLLED BY A SEPARATE GROUP OF VALVES
- AT LEAST 4 CUBIC YARDS OF COMPOST (BFI SUPER HUMUS) AND 16 POUNDS OF 12-12-12 FERTILIZER PER 1000 SF OF PLANTING AREA SHALL BE THOROUGHLY TILLED INTO THE TOP 8 INCHES OF SOIL (EXCEPT UNDER CANOPY OF EXISTING TREES TO BE SAVED) OR FOLLOW THE AMENDMENT AND FERTILIZER RECOMMENDATIONS OF A SOIL FERTILITY TEST AND ANALYSIS FROM A SOIL LAB (HIGHLY RECOMMENDED)
- INSTALL 3 INCH DEEP LAYER OF TOP DRESS MULCH ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN AREAS OF DIRECT SEEDING APPLICATION OR SOD LAWN. USE GRAVEL MULCH TO BE SELECTED BY OWNERS. PROVIDE SAMPLES AND PRICES PRIOR TO FINALIZING BID
- GRADING SHALL BE DESIGNED TO MINIMIZE SOIL EROSION, RUN-OFF AND WATER WASTE ADDITIONAL NOTES
- SEE SHEETS L5 AND L6 FOR PLANTING AND IRRIGATION DETAILS AND SPECIFICATIONS IN FINAL CONSTRUCTION DRAWING FOR BUILDING PERMIT
- DON'T TRENCH TOO CLOSE TO STRUCTURES WITHOUT THE APPROVAL OF THE BUILDING ARCHITECT, CIVIL, OR STRUCTURAL ENGINEER
- PRIOR TO ORDERING PLANTS OR SIGNING FINAL CONTRACT FOR WORK MAKE SURE YOU HAVE THE MOST CURRENT SET OF APPROVED PLANS AND MAKE SURE THERE ARE NO CHANGES TO THE PLANT CHOICES
- ADJUST FINAL LOCATIONS OF PLANTS TO AVOID CONFLICTS WITH UTILITIES, LIGHTS, AND IRRIGATION COMPONENTS. SCREEN VALVES AND UTILITIES WITH PLANTS. DON'T PUT PLANTS TOO CLOSE TO PAVING OR BUILDINGS
- GRADING AND DRAINAGE TO BE DONE ACCORDING TO THE APPROVED GRADING AND DRAINAGE PLANS DONE BY OTHERS

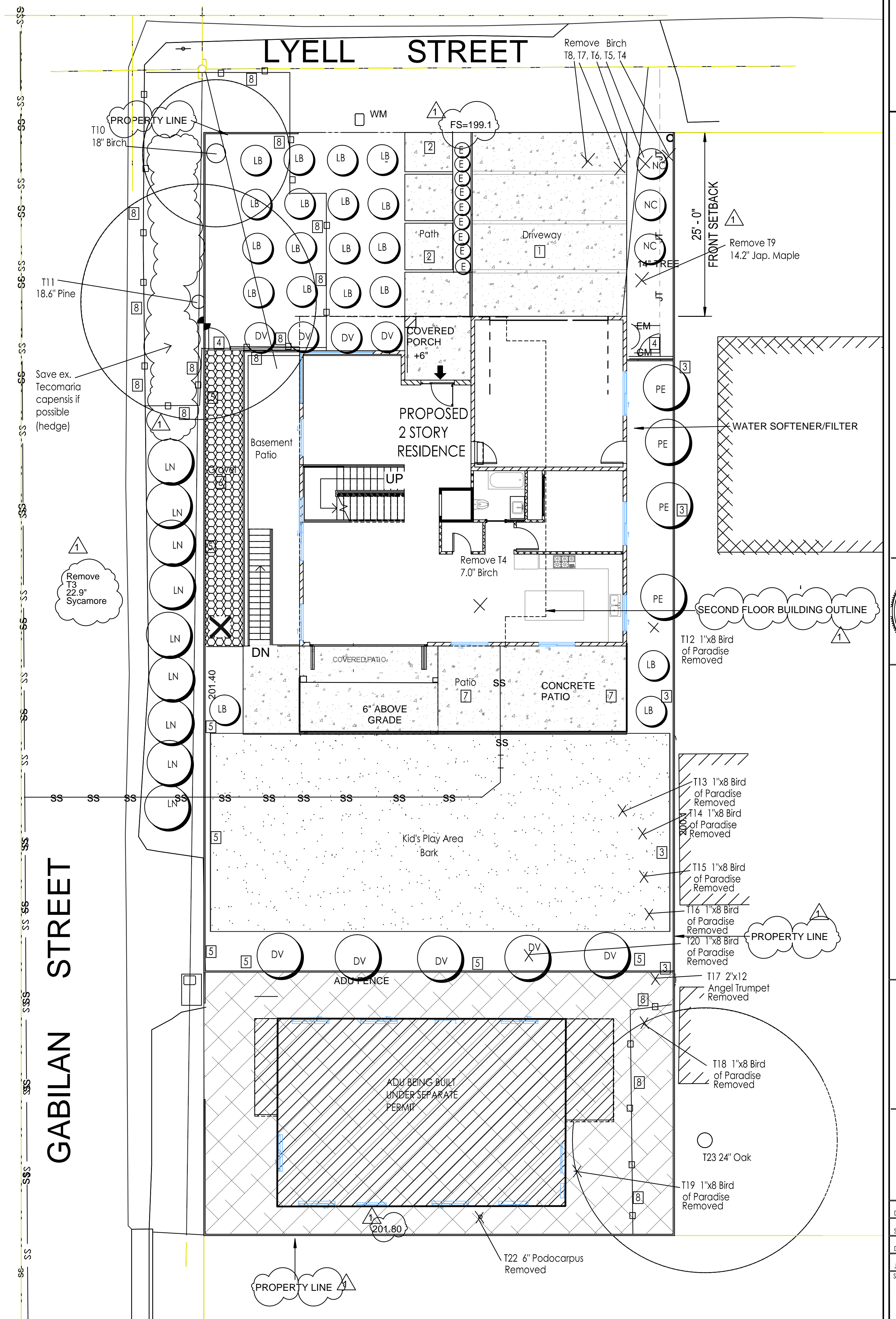
Landscape Site Legend

- Driveway - Concrete with score and expansion joints - color and finish to be determined by owner - possibly have 3.5 inch spaces filled with rounded mexican pebbles
- Front walkways - Concrete - pattern and color to be determined later by owner - possibly to match driveway with 3.5 inch spaces filled with rounded mexican pebbles
- Existing fence to remain - repair as required
- 6 foot tall x 3 foot wide gate and 6 foot tall fence
- 6 foot tall solid wood plus 1 foot of lattice fence
- Side gravel area - 3.5" deep with high quality weed cloth and steel landscape edging - gravel to be selected by owner
- Rear patio - Concrete or pavers - pattern and color to be determined by owner later
- Tree protection fence up to within 3 feet of house to allow for construction. Any where under existing tree canopy that you can't put fence install 6 inch deep coarse bark covered with thick plywood or steel plates - see arborist report for tree protection measures

Total Front Yard Setback Area
 $64 \times 25 = 1600$
 50% of 1600 = 800
 Allowed non permeable

Non- permeable paving proposed
 Driveway = $25 \times 21 = 525$
 Entry walk = 176
 non permeable total = 701
 less than 800 allowed

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the landscape design plan"
 Greg Lewis
 Gregory Lewis - Landscape Architect Lic. #2176 7/2/21



Revision

#2176
 GREGORY LEWIS LANDSCAPE ARCHITECT
 736 Park Way Santa Cruz, CA 95065 (831) 359-0960
 lewislandscape@sbrglobal.net

STATE OF CALIFORNIA
 LANDSCAPE ARCHITECT
 No. 2176
 Greg Lewis
 4/28/2021
 7/2/21

New Residence
 166 Lyell St., Los Altos, CA

1/8"=1'-0"
 0' 8'

LANDSCAPE SITE/PLANTING PLAN

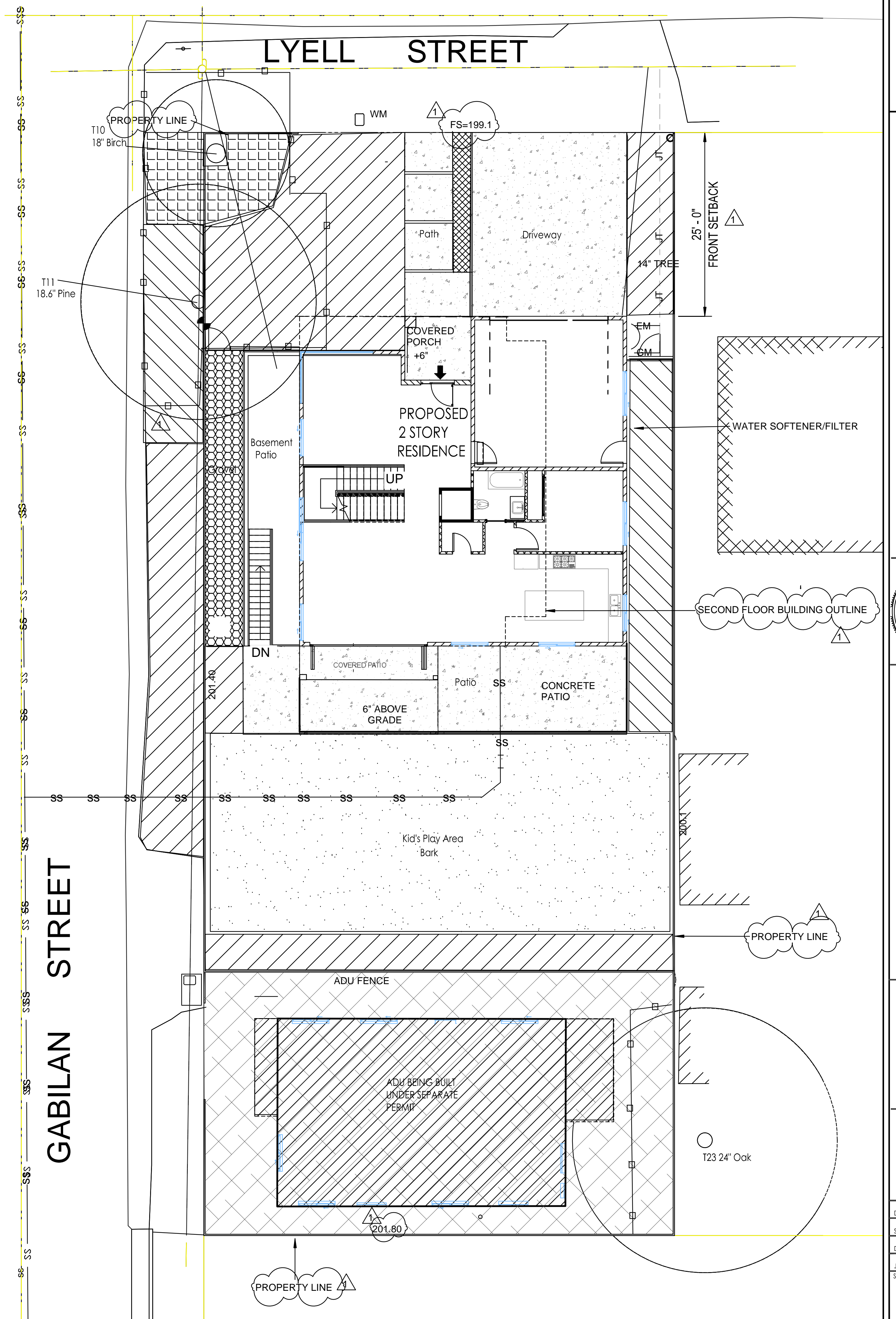
Date 7/2/21
 Scale As Noted
 Drawn Greg
 Job
 Sheet **L1**

of 7

Hydrozone Summary Sheet

HYDROZONE	VALVES	IRRIG. METHOD	AREA (Sq.Ft.)	% of NEW LANDSCAPE
1 Low Water Shrubs	4,5,7	Drip	1639	68.0%
2 Med Water Shrubs	3,6	Drip	535	22.0%
3 Med Water Tree	2	Drip	202	8.0%
4 High Water Shrub	1	Drip	45	2.0%
TOTAL			2421	100%

SUMMARY by HYDROZONE	AREA (Sq.Ft.)	% of LANDSCAPE
High Water Use	45	2%
Medium Water Use	737	30%
Low Water Use	1639	68%
TOTAL	2421	100%



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 11/2/21
 STATE OF CALIFORNIA

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 0' 8'

HYDROZONE PLAN

Date: 7/2/21
 Scale: As Noted
 Drawn: Greg
 Job Sheet: **L2**

of 7

Plant Legend

KEY QTY SIZE SPACING WUCOLS BOTANICAL NAME COMMON NAME
 GALLONS RATING High x Width

TALL SHRUBS - SCREENING

LN 9 5 3'-5' LOW Laurus nobilis 15-40'x15-30' Grecian Laurel
 growth rate 12" to 24" per year
 PE 4 15 5'-8' MED Pittosporum eugenioides 15-40'x6-15'
 growth rate 24" per year

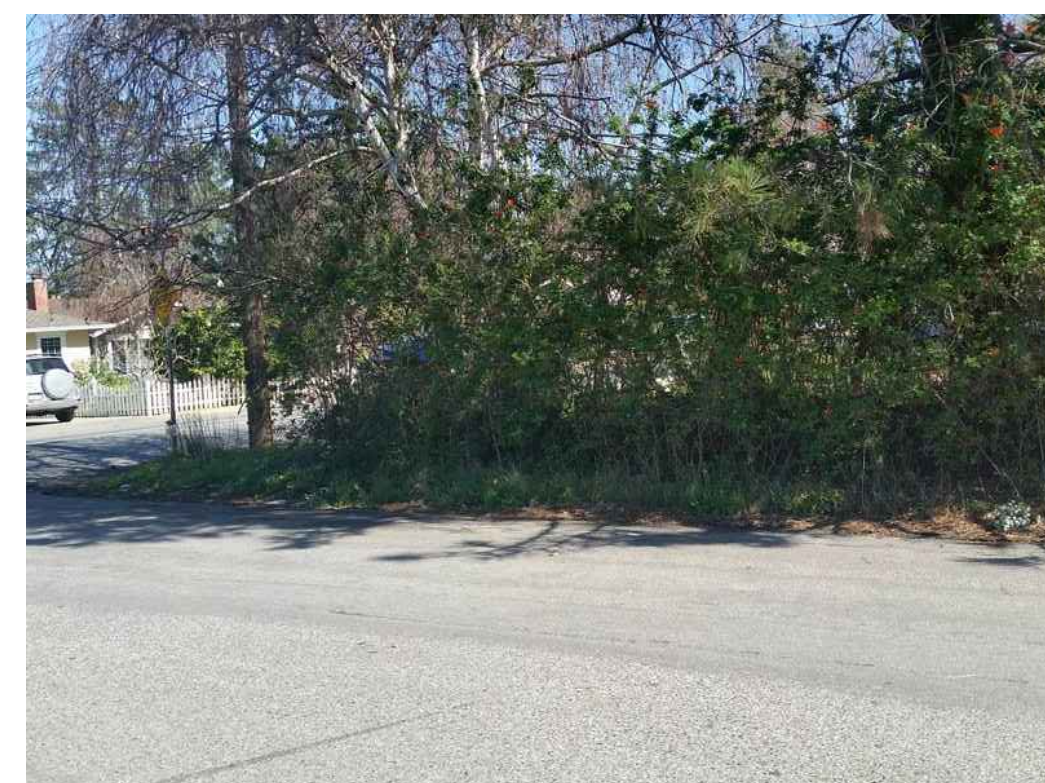
GROUND COVERS

LB 8 1 3'-5' LOW Lomandra Breeze
 DV 6 1 3'-5' LOW Dietes iridioides Fortnight Lily
 NC 5 1 3'-5' LOW Nandina Gulf Stream
 E 5 1 2'-3' HIGH Equisetum hyemale Horsetail

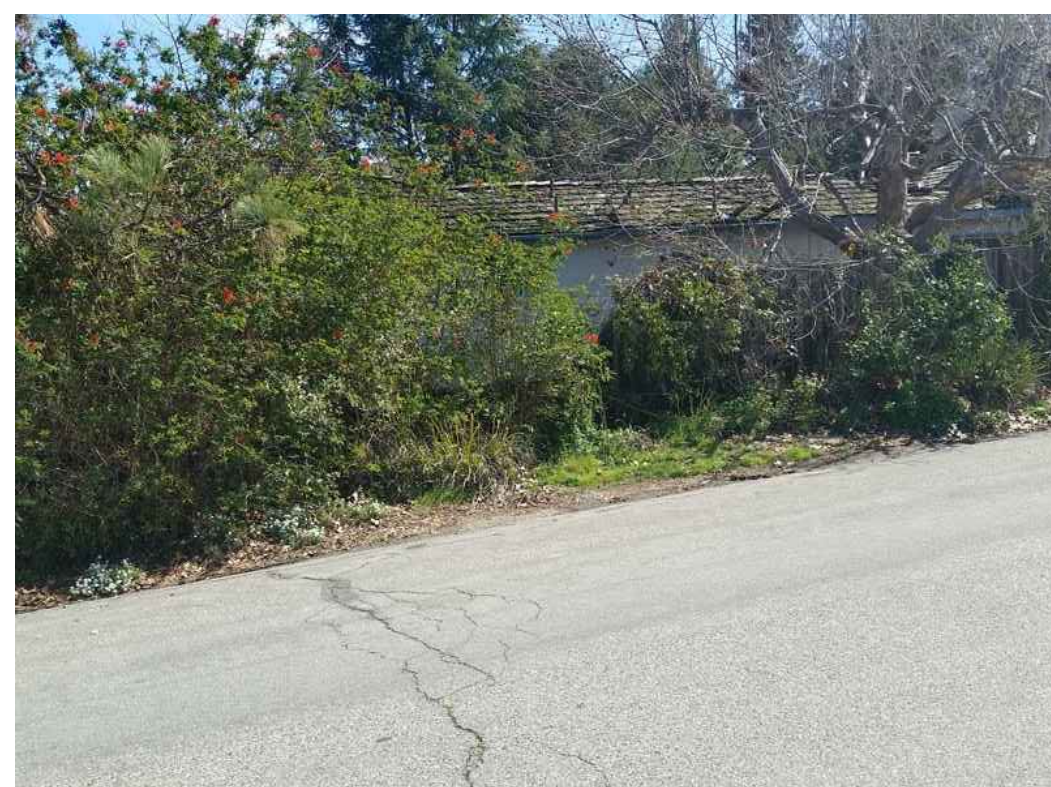
Install 18" deep root barrier around grouping of E plants or use small Agave, Douglas Iris, or row of basalt rock columns instead

Ask owners if they want to upsize some of 1 gal plants to 5 gal plants

Plant quantities are for planning purposes only. Contractor to do own plant count and install all plants on plan



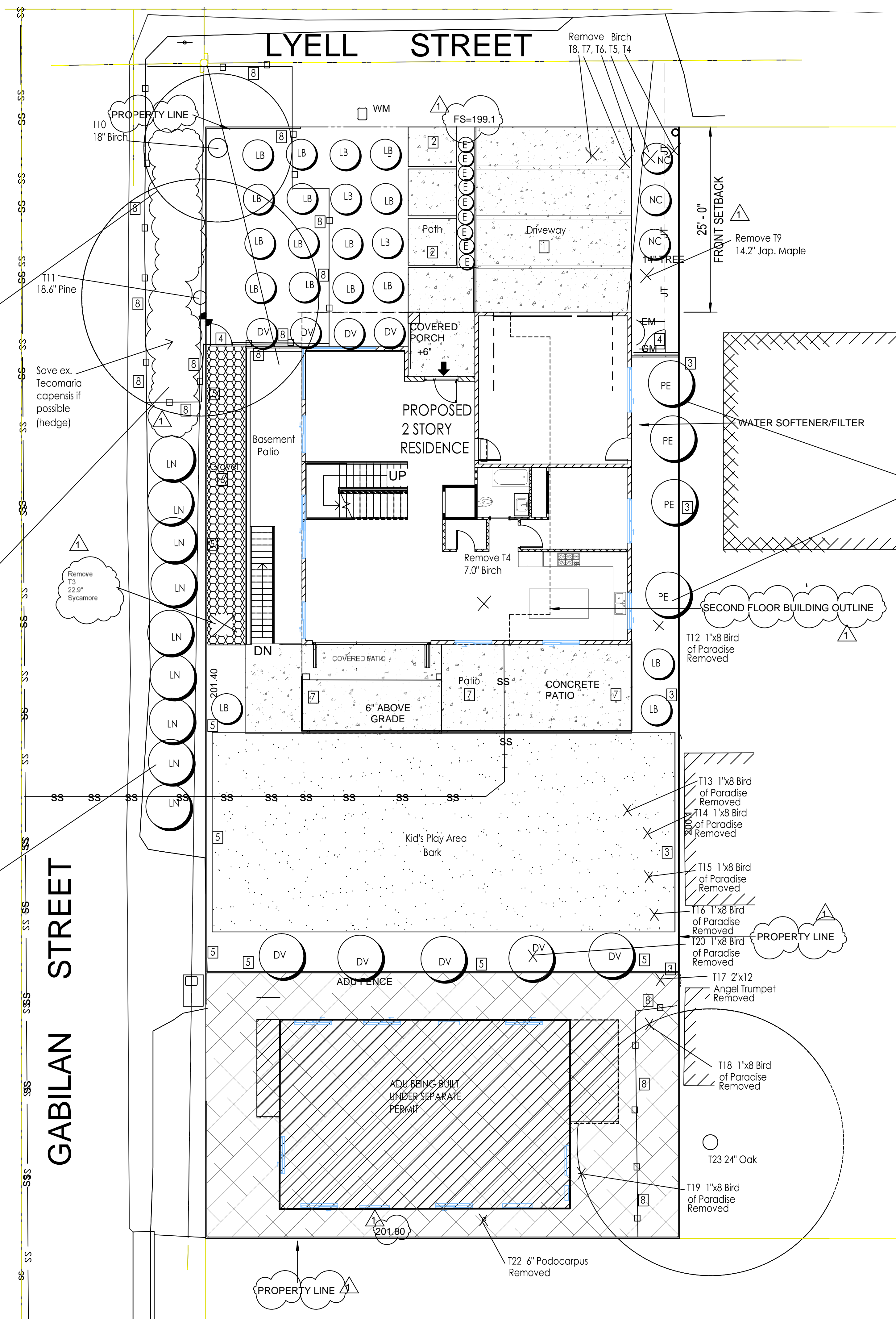
Ex. Tecomaria capensis along west property line



Ex. Tecomaria capensis along west property line further south



Laurus nobilis trained as tree that you can walk under



Landscape Screening

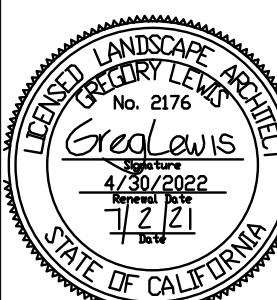
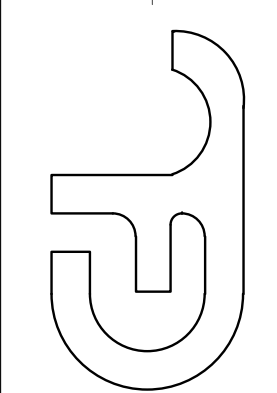
- To the south there is a one story ADU on this same parcel that will screen views of the proposed 2 story house from neighbors further south
- To the west there are some existing trees, existing Tecomaria capensis (see pictures), and proposed Laurus nobilis (see pictures)
- On the east side of the proposed house we have added 15 gal. Pittosporum that will grow tall and screen views from the 2nd story east facing windows



Pittosporum eugenioides - this hedge has been topped a number of times to control its height and will grow taller

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New Residence
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1/8"=1'-0"
 0' 8'

LANDSCAPE SCREENING PLAN

Date 7/2/21
 Scale As Noted
 Drawn Greg
 Job Sheet

L3

of 7

Irrigation Legend

KEY	MANUF.	MANUF. #	DESCRIPTION
(D) L5	C	Hunter Pro-C	4 station controller with enough modules for 7 stations exterior wall mount with multiple programming, cycle start, and calendar program
(C) L5	Hunter	SOLARSYNC	Install Solarsync weather sensor in sunny location that receives rain System will adjust valve run times according to weather
(C) L5	Hunter	PGV-ASV 075	3/4" antisiphon valve with 3/4" Amiad Filter, Senniger PR30 pressure regulator, and adaptor to drip tubing
(F) L5	Hunter	ICV-100G	1" automatic globe valve master valve below grade in valve box
(A) L5			1" manual brass ball valves - same size as pressure line
(B) L5			3/4" Nonpressure line - Sch 40 PVC 3/4" unless noted for larger size - 12" of cover
			1" Pressure line - Sch 40 PVC : 1" unless noted for smaller size - 18" of cover
			LINES UNDER PAVING - 24" deep with sand backfill
			1" Sch 40 PVC pressure line in 1-1/2" sleeve
			1-1/4" gray elec PVC sleeve
			3/4" Sch 40 PVC nonpressure line in 1-1/4" sleeve
(G) L5	(E) L5		3/4" PE drip tubing with compression fittings - see drip notes
(H) L5	(F)		Rainbird XFS sub surface drip tubing - (Drippers with copper root intrusion prevention). Soil is loam in existing birch area. Use .6 GPH emitters 18" apart with laterals 18" apart. Verify that soil is loam. Install on surface and cover with mulch. Use the regular layout with supply and exhaust headers. Blank 1/2" Dripline tubing is OK for flows less than 5 GPM. Keep consistent spacing between the rows of tubing and don't exceed max. lateral length in charts. Use 3/4 PE or Sch 40 PVC headers for flows 4 to 8 GPM, 1" Sch 40 PVC for flows 8 to 13 GPM and 1-1/4" for 13 to 22 GPM
(I) L5	(F)		Manual flush valve in valve box - for regular system flushing maintenance Install at a low point at the end of the circuit opposite the valve Install flush valves at ends of all drip lines for both types of systems when not shown on plan.

Irrigation Notes

- THE AUTOMATIC IRRIGATION CONTROLLER USES EVAPOTRANSPIRATION DATA AND UTILIZES A RAIN SENSOR
- THE IRRIGATION CONTROLLER DOES NOT LOSE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED
- PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE
- MANUAL SHUT-OFF VALVES ARE INSTALLED AS CLOSE TO POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY
- ALL IRRIGATION EMISSION DEVICES MUST MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD". ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY LOW QUARTER OF 0.65 OR HIGHER USING THE PROTOCOL DEFINED IN ASABE/ICC 802-2014
- IRRIGATION SUBMETERS ARE REQUIRED FOR RESIDENTIAL PROJECTS WITH MORE THAN 5000 SQ.FT. OF LANDSCAPE AREA - THEY ARE NOT REQUIRED ON THIS PROJECT WITH LESS THAN 5000 SQ.FT.
- THERE IS NO POOL OR WATER FEATURE ON THIS PROJECT. THERE IS NO LAWN.
- SEE SHEET L4 AND L5 FOR DETAILS AND SPECIFICATIONS
- THIS SYSTEM IS DESIGNED TO OPERATE WITH MINIMUM .5 GPM AT MINIMUM 60 P.S.I. AT THE POINT OF CONNECTION. IF THIS CONDITION IS NOT MET CONTACT THE LANDSCAPE ARCHITECT FOR POSSIBLE REDESIGN. (YOU CAN ADD SOME VALVES TO REDUCE THE FLOW THRU THE VALVES WITH MORE FLOW). THERE IS 65 STATIC PSI IN THIS AREA. IF PRESSURE EXCEEDS 75 PSI AT POINT OF CONNECTION INSTALL A WILKINS 600 1" PRESSURE REGULATOR
- THE ROUTING OF SPRINKLER LINES IS SCHEMATIC ON THE PLAN. DO NOT PUT VALVES TOO CLOSE TO TREES. STAY 8' TO 10' AWAY IF POSSIBLE. DO NOT PUT PRESSURE LINES UNDER TREES. INSTALL LINE IN PLANTING AREAS INSTEAD OF UNDER PAVING WHENEVER POSSIBLE.
- POINT OF CONNECTION WILL TYPICALLY BE JUST BEFORE WATER ENTERS HOUSE. INSTALL 1" TEE AND A BALL VALVE AND RUN 1" SCH 40 PVC TO VALVE LOCATIONS. KEEP ANTISIPHON VALVES IN INCONSPICUOUS PLACES. INSTALLED 6" TO 12" ABOVE HIGHEST SPRINKLER OR DRIP EMITTER ON THE CIRCUIT. KEEP VALVES OUT OF PATHS.
- INSTALL 2 EXTRA CONTROL WIRES AT EACH VALVE GROUPING SO THAT TWO EXTRA VALVES COULD BE INSTALLED IN THE FUTURE IF NECESSARY
- BE SURE AND FOLLOW THE PLANS. YOU WILL PROBABLY BE REQUIRED TO HAVE A LICENSED/CERTIFIED LANDSCAPE PROFESSIONAL OBSERVE THE LANDSCAPE CONSTRUCTION AT PERIODIC INTERVALS AND FILL OUT A CERTIFICATE OF INSTALLATION. THIS PERSON WILL ALSO BE RESPONSIBLE FOR PROVIDING AN IRRIGATION SCHEDULE FOR NEW PLANTINGS AND MATURE PLANTINGS AND A LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE. READ A COPY OF THE LOS ALTOS WATER EFFICIENT LANDSCAPE ORDINANCE PRIOR TO STARTING THE PROJECT
- MAKE SURE YOU HAVE THE MOST CURRENT LANDSCAPE PLANS BY CHECKING WITH THE LANDSCAPE ARCHITECT BEFORE YOU AGREE ON YOUR FINAL BID AND START THE INSTALLATION

Drip Irrigation Notes

- SECURE LARGER 3/4" DRIP TUBING 1" BELOW GRADE WITH 7" OR 11" U-SHAPED STAKES 3 FEET ON CENTER OR CLOSER SO THAT THE TUBING CAN BE FOUND EASILY BUT DOES NOT SHOW IF THE MULCH GETS BRUSHED AWAY. COVER TUBING WITH SOIL AND MULCH AND INSTALL MANUAL FLUSH VALVES AT ENDS OF TUBING AND MARK THEM SO THEY CAN BE FOUND EASILY.
- RUN LARGE TUBING OVER AND NEXT TOROOTBALL OF PLANTS TO MINIMIZE LENGTH OF SMALLER 1/4" TUBING. SECURE EMITTERS ON 3/4" TUBING AT PLANT ROOT BALLS. WHEN NECESSARY RUN SHORT LENGTHS OF 1/4" TUBING FROM EMITTERS TO PLANT ROOT BALLS. INSTALL STAKES ON 1/4" TUBING AT 12" ON CENTER AND COVER TUBING WITH 1" OF SOIL PLUS MULCH.
- AS THE PLANT AND PLANT ROOTBALL INCREASE IN SIZE, THE LOCATIONS OF THE EMITTERS MAY NEED TO BE ADJUSTED SO THEY ARE EVENLY SPACED OVER THE ROOTBALL.
- INSTALL PRESSURE COMPENSATING EMITTERS (WITH MINIMAL DIFFERENCE IN FLOW BETWEEN 10 PSI AND 40 PSI) AT EACH PLANT ON ROOT BALL (NOT RIGHT AT STEM). USE AGRIFIM PC PLUS (PRESSURE COMPENSATING EMITTERS). USE THE ONES THAT 1/4 TUBING CAN BE CONNECTED TO. OTHER EMITTERS MAY HAVE A HIGHER DISCHARGE RATE AT STARTUP REQUIRING LARGER PIPE SIZES.

EMITTER SCHEDULE:

TWO 1 GPH EMITTERS AT SMALL SHRUBS (EVENTUAL SIZE) none
THREE 1 GPH EMITTERS AT MEDIUM SHRUBS LB, DV, NC, E
FOUR 1 GPH EMITTERS AT LARGE SHRUBS LN, PE
WITH SHRUBS THAT HAVE MULTIPLE EMITTERS, PUT SOME OVER ROOT BALL (NOT RIGHT ON STEM) AND SOME OUT UNDER FUTURE CANOPY. SPACE EMITTERS EVENLY IN ROOT ZONE AREA.

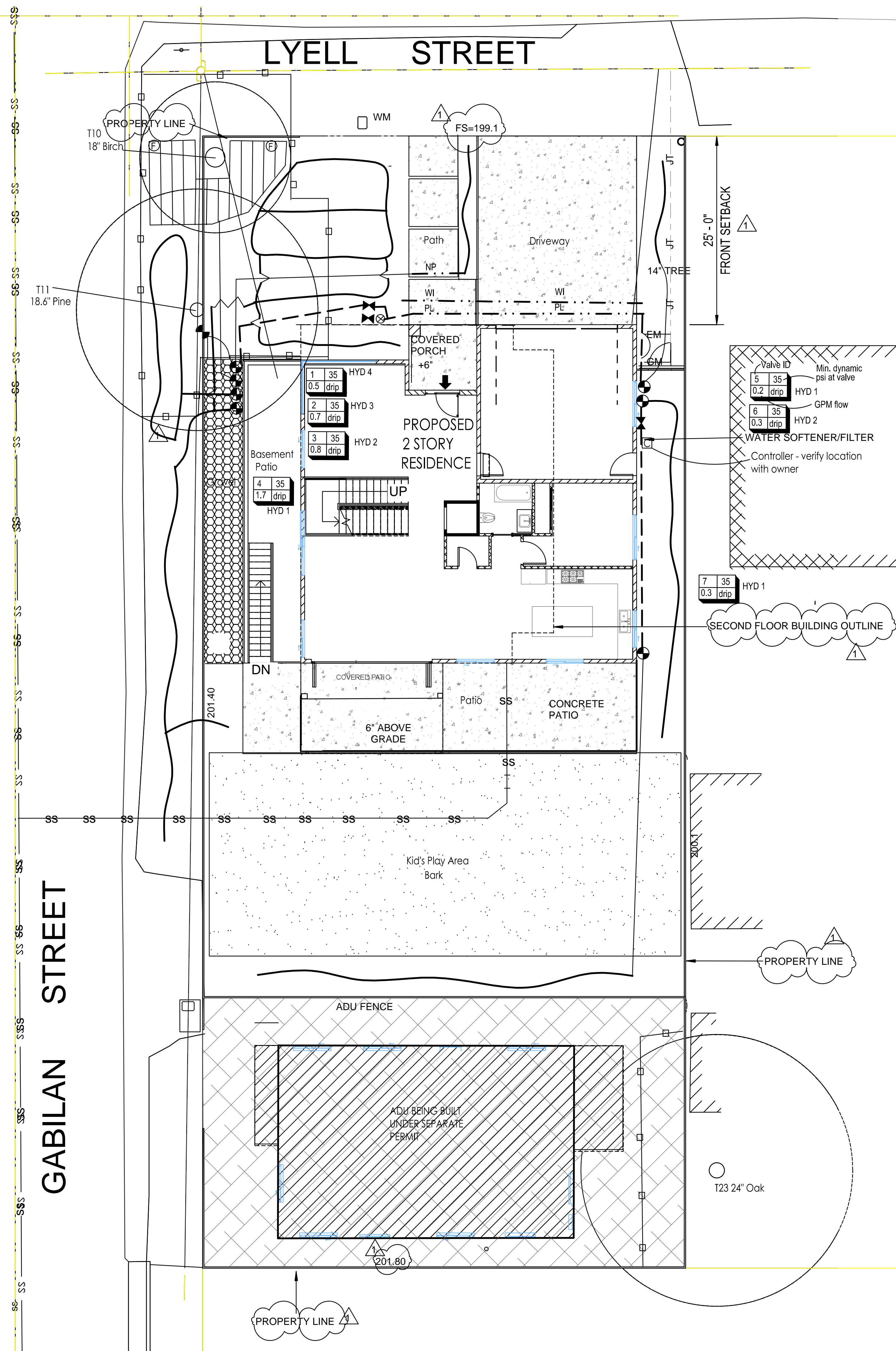
EX. TECOMARIA - INSTALL 4 GPH EMITTERS AT EACH PLANT OR AT 2 FEET APART UNDER PLANT CANOPY

EXISTING BIRCH - INSTALL 0.6 gpm EMITTERS ON 18" X 18" GRID

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the irrigation design plan"

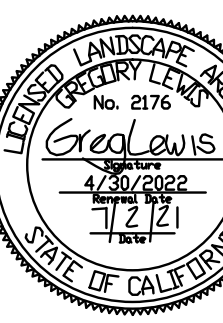
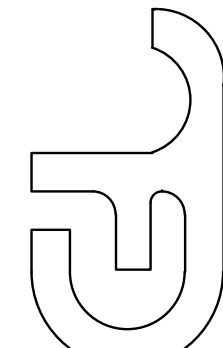
Greg Lewis

Gregory Lewis - Landscape Architect Lic. #2176 7/2/21

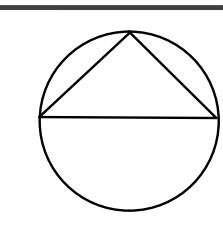


Revision

GREGORY LEWIS LANDSCAPE ARCHITECT #2176
736 Park Way Santa Cruz, CA 95065 (831) 359-0960
lewislandscape@sbrglaball.net



New Residence
166 Lyell St., Los Altos, CA



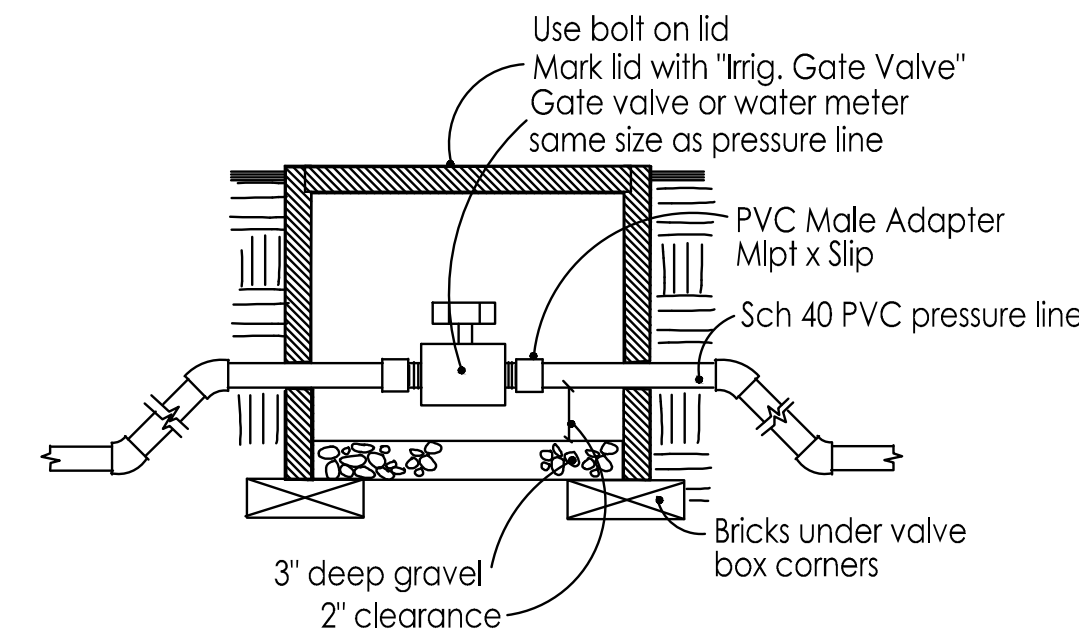
1/8" = 1'-0"
0' 8'

IRRIGATION PLAN

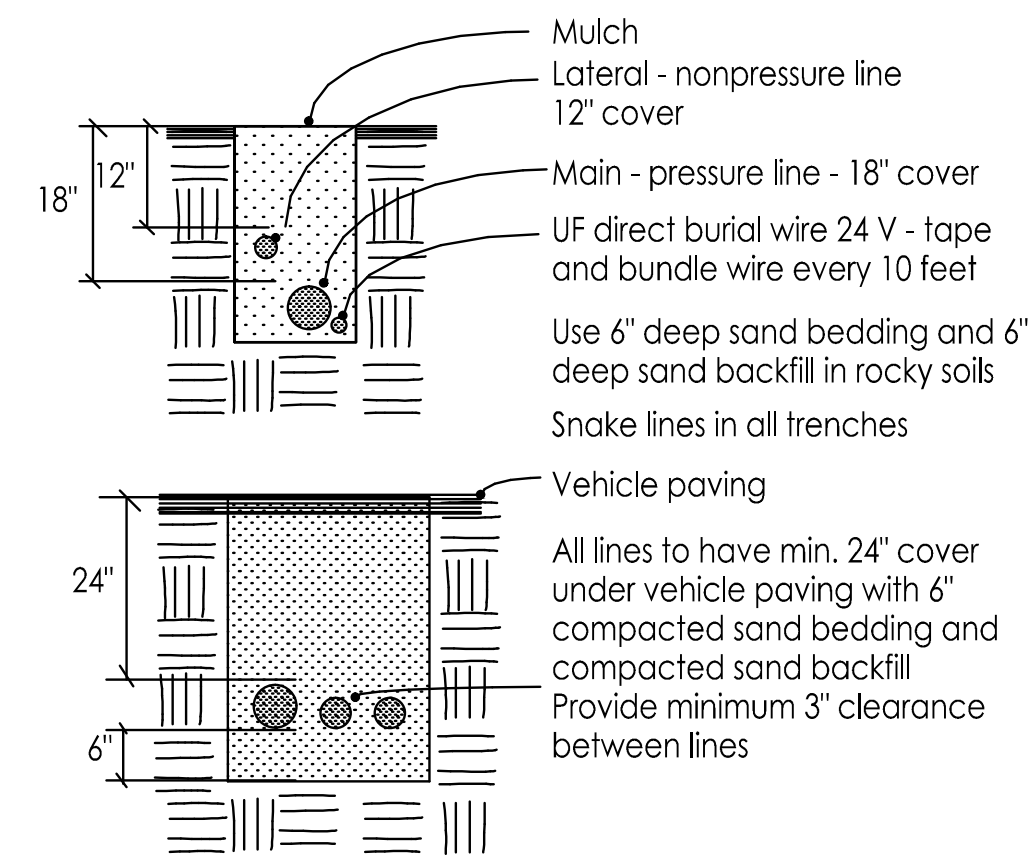
Date 7/2/21
Scale As Noted
Drawn Greg
Job
Sheet

L4

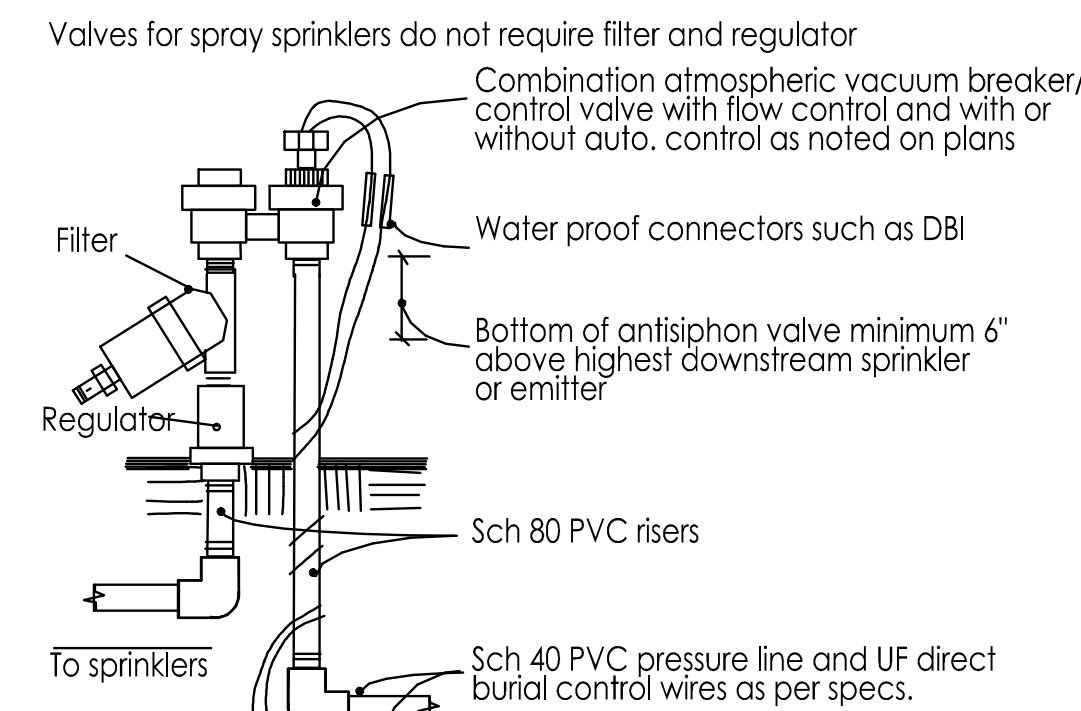
of 7



Manual Gate Valve
No Scale

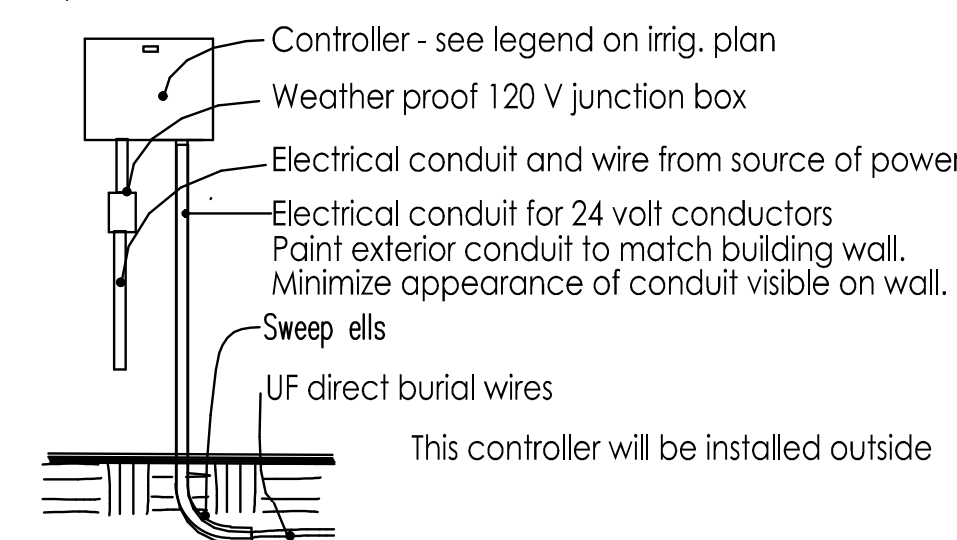


Trenches/Lines
No Scale

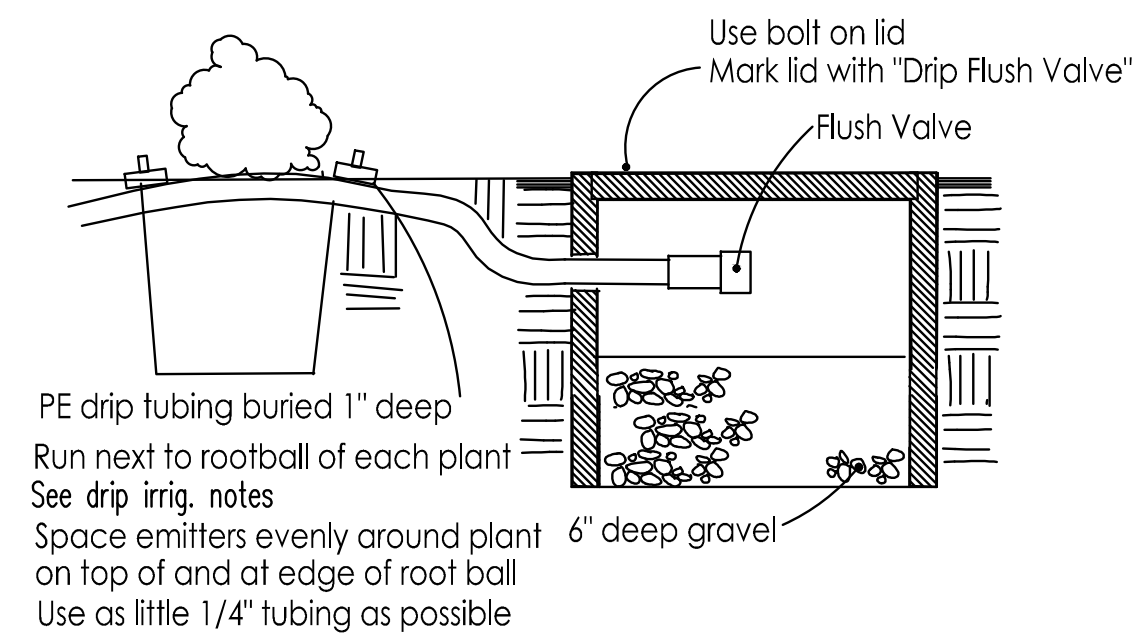


Auto. Antisiphon Valve with Filter and Regulator for Drip
No Scale

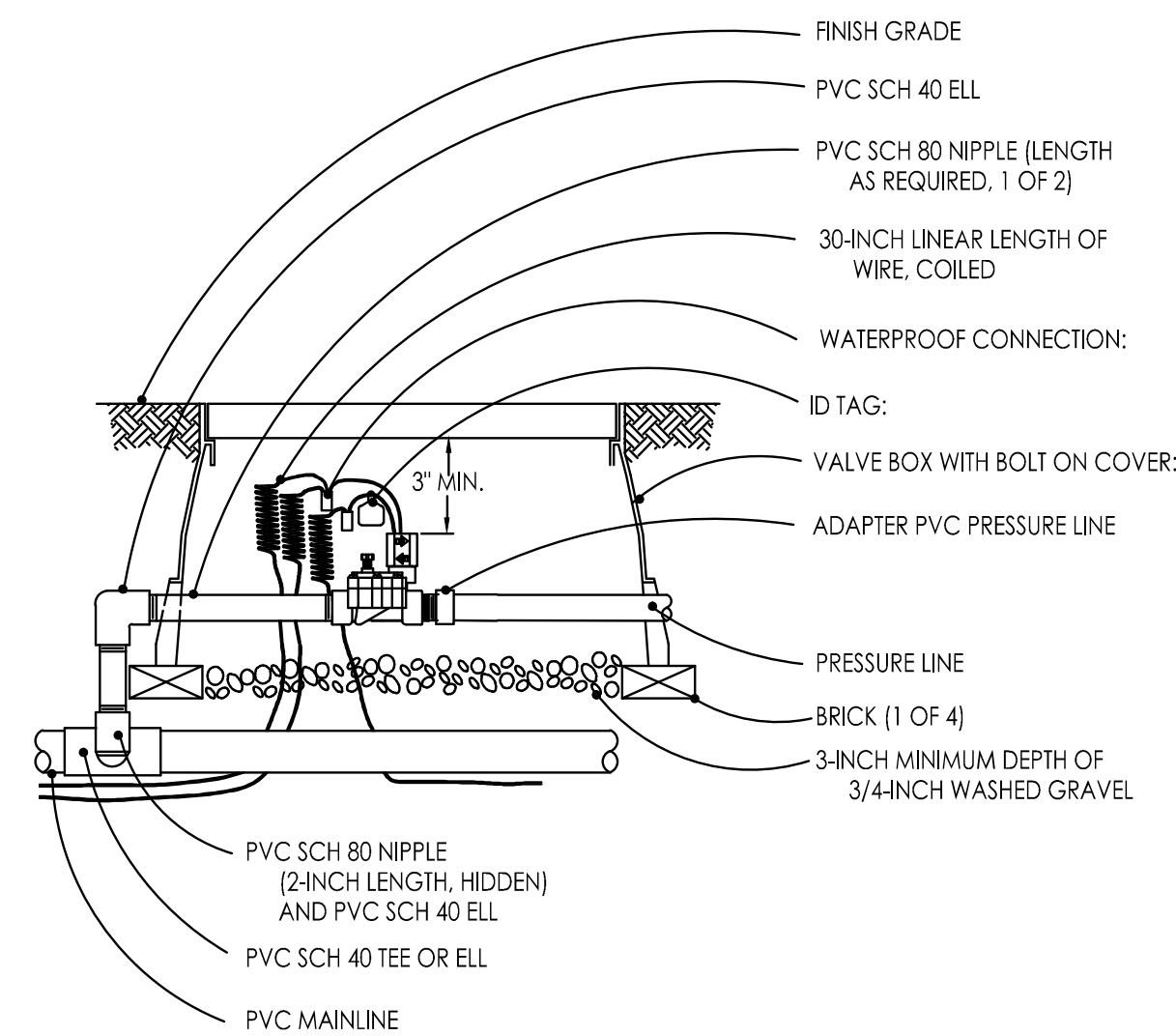
Install as per local code and manuf. instructions - Secure controller to wall with suitable anchors as approved by inspector



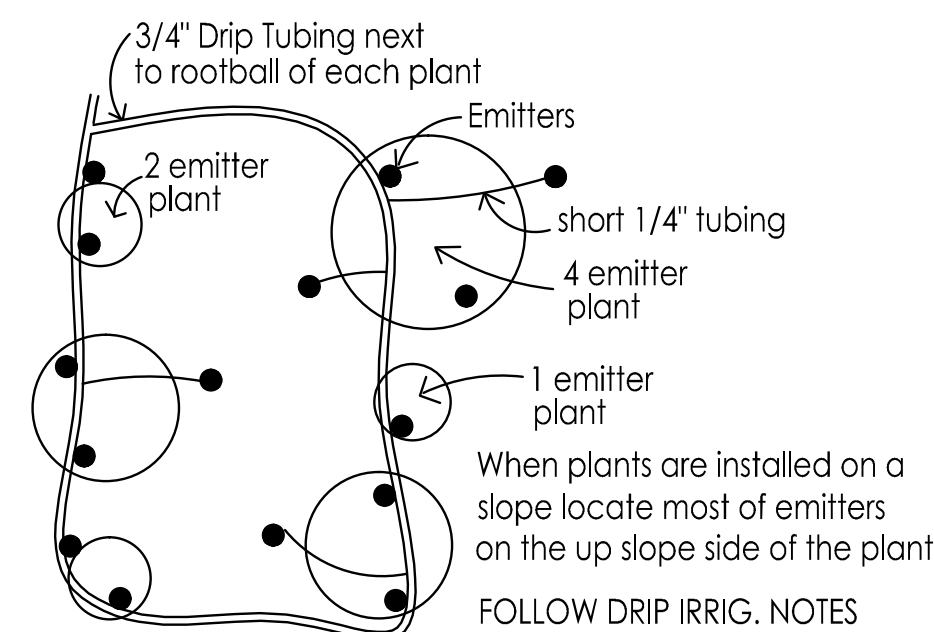
Wall Mount Controller
No Scale



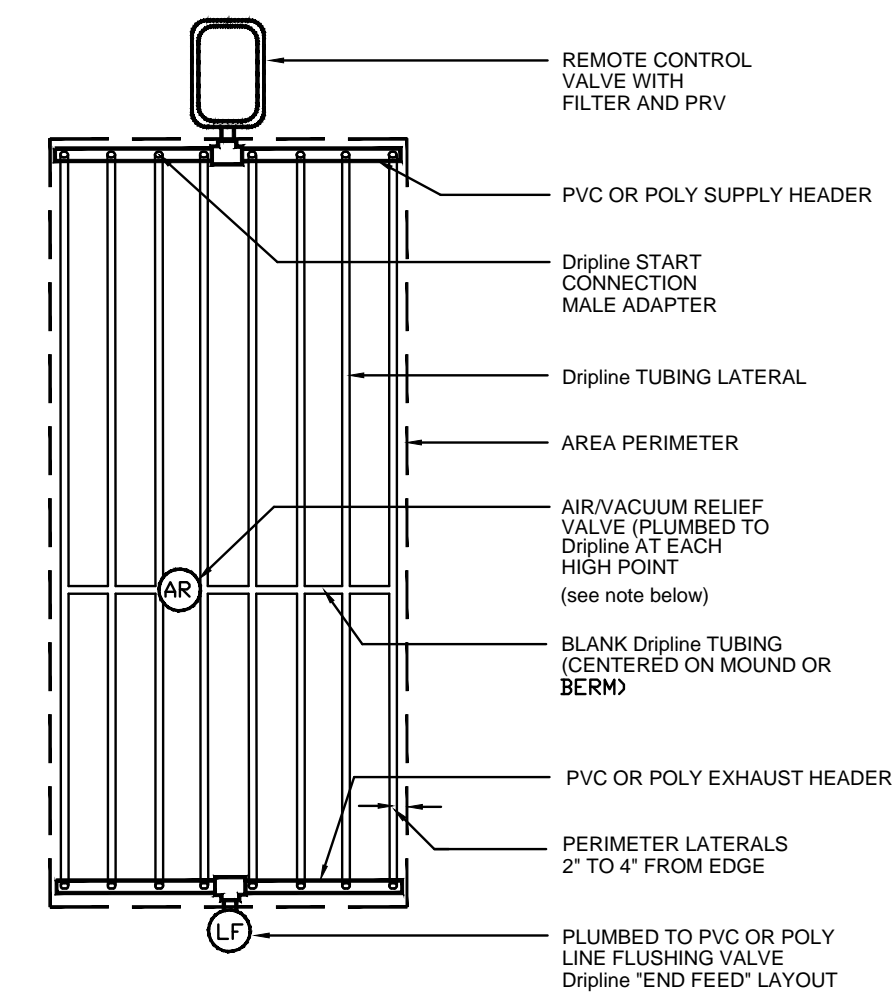
Drip Emitter and Flush Valve
No Scale



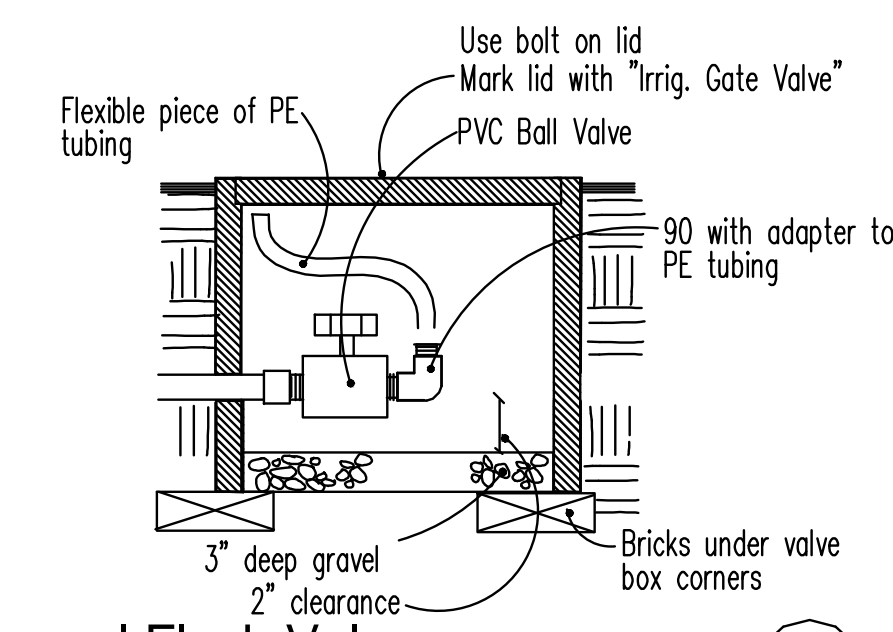
Remote Control Master Valve
No Scale



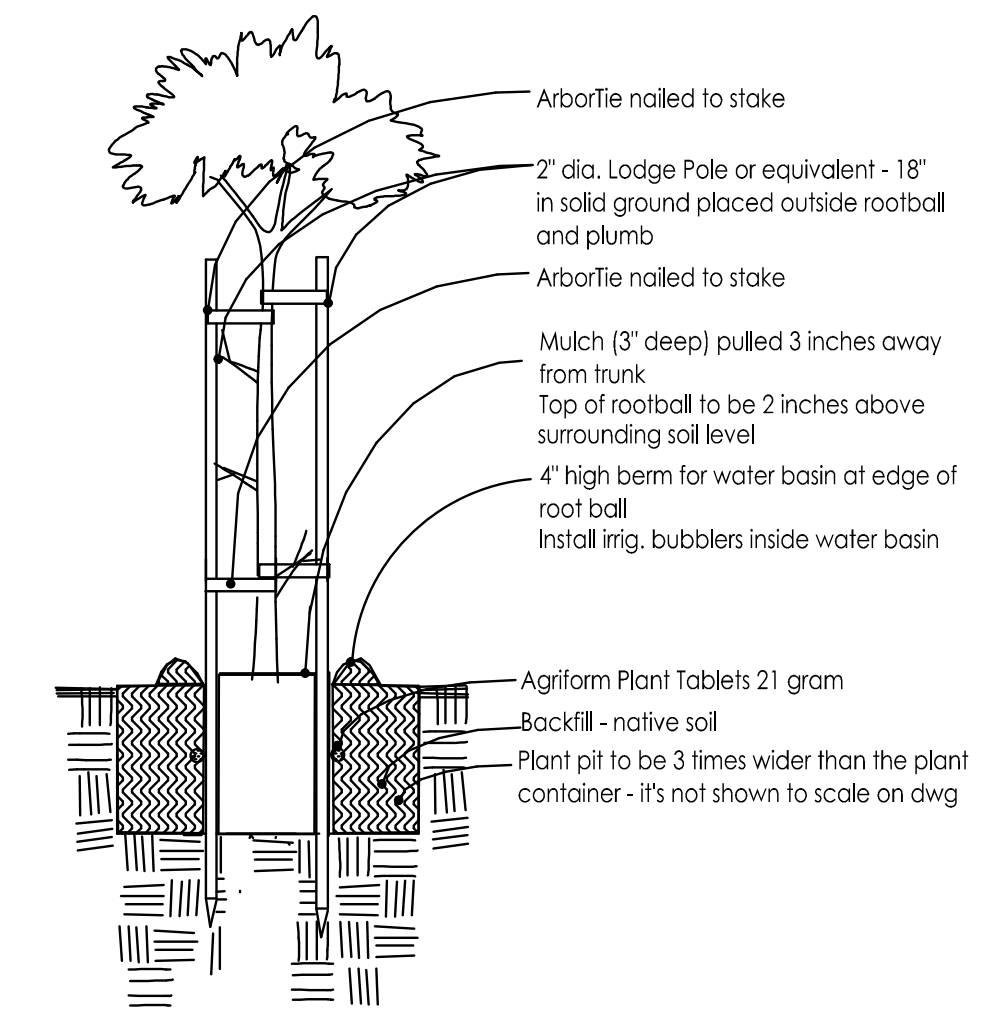
Drip Emitter Placement at Shrubs/Ground Covers
No Scale



Dripline END FEED LAYOUT
DETAIL - NO SCALE

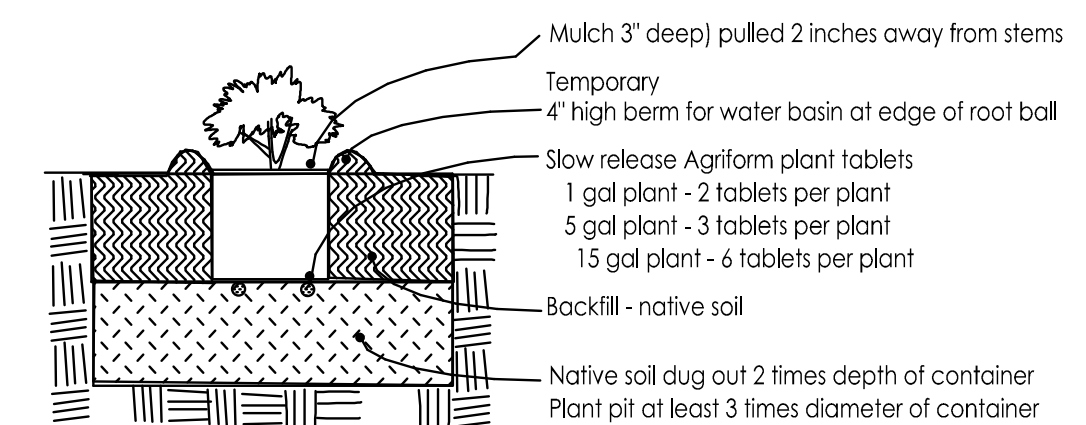


Manual Flush Valve
No Scale



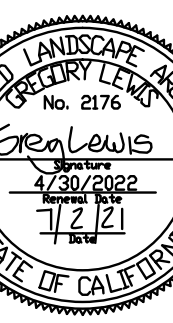
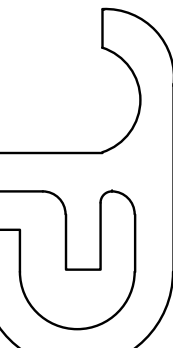
- 1) 8 - 12 hours before installation, water all plants while still in containers sufficiently to thoroughly wet root balls
- 2) Dig hole at least 2' less deep than the container and 3 times wider than the diameter of the container the plants were delivered in.
- 3) Gauge holes in the side of the plant pit - 2 holes per sq. ft. of wall surface
- 4) Remove rootball carefully from container with support from below. Sever any circling roots (3/16" dia. or greater) with sharp knife. Do not pull roots apart. The severing of large roots will encourage new roots of the cuts. Install enough backfill under root ball so top of rootball ends up 2" above grade of surrounding soil when it settles. Install some of fertilizer packets under root ball.
- 5) Fill around rootball with backfill mix to 1/2 its height and pack soil as you fill with shovel handle or feet being careful not to disturb root ball
- 6) Put Agriform Plant Tablet fertilizer at this level adjacent to rootball and at bottom of hole (5 tablets per 15 gal. or 5 tablets per 1 inch of caliper width). Fill the remainder of the hole with backfill and pack it.
- 7) Water tree thoroughly by filling the basin and allowing the water to percolate in, doing this 3 times or more until root ball and backfill is wet
- 8) Install stakes such that the stakes and the tree ties won't damage the tree and the stakes won't lean toward each other. Cut off tops of stakes if necessary to lower below branches that could be rubbed by stakes. Install stakes so they are straight up and don't lean in to each other

Tree Planting
No Scale



- 1) 8 - 12 hours before installation, water all plants while still in containers sufficiently to thoroughly wet root balls
- 2) Dig the plant hole at least 3 times the dia. and 2 times the depth of the plant container.
- 3) Replace this mixture in bottom half of hole and walk on it. The level of it should be such that when the plant is installed and settled it will be slightly above grade of existing soil. Fill hole with water.
- 4) Remove rootball carefully from container by tapping out, not pulling out by the stem. Scarify rootball walls in 3 vertical cuts and bottom to 1/2" deep, or by cutting roots of 1/2" or larger with shears. Do not pull roots apart.
- 5) Install fertilizer packets under rootball of plant. Set rootball on prepared surface and fill hole to 1/2 the depth, tamping soil around rootball. Fill hole with water.
- 6) Fill the remainder of the hole with backfill and pack it but do not tamp rootball.
- 7) Make the water basin.
- 8) Water shrub thoroughly within 1 hour of planting by filling the basin and allowing the water to percolate in, doing this 3 times or more until root ball and backfill is wet
- 9) Install mulch

Shrub Planting
No Scale



GENERAL CONDITIONS – SOIL PREPARATION, PLANTING, AND IRRIGATION

1.1 QUALITY ASSURANCE:

- A. Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and the methods needed for proper performance of the work of this section.
B. It is the Contractor's responsibility to verify all information contained in the plans and specifications and to notify the Architect of any discrepancy prior to ordering products or commencing with the work.
C. Check and verify dimensions, reporting any variations to the Architect before proceeding with the work.

1.2 CONTRACTOR COORDINATION

- A. It is the responsibility of the Landscape Contractor to familiarize himself with all grade differences, location of walls, retaining walls, etc., and to coordinate work with the General Contractor.

1.3 DIMENSIONS AND SCALE

- A. Dimensions are to take precedence over scale at all times. Large scale details are to take precedence over those at small scale. Dimensions shown on plans shall be adhered to insofar as it is possible, and no deviation from such dimensions shall be made except with the consent of the Architect. The Contractor shall verify all dimensions at the site and shall be solely responsible for same or deviations from same.

1.4 LAWS AND REGULATIONS

- A. The Contractor shall conform to and abide by all city, county, state and federal building, labor and sanitary laws, ordinances, rules, and regulations.

1.5 LICENSES AND PERMITS

- A. The Contractor shall give all notices and procure and pay for all permits and licenses that may be required to complete the work.

1.6 SUBMITTALS

- A. At the request of the owner or the Landscape Architect, submit manufacturer's and/or supplier's specifications and other data needed to prove compliance with the specified requirements including certificates stating quantity, type, composition, weight, and origin of all amendments, chemicals, import soil, planter mix, plants, and irrigation equipment used on the site.

1.7 PRODUCT SUBSTITUTIONS

- A. Any product substitutions shall be requested in writing. The Landscape Architect must approve or refuse any substitutions in writing. Lack of written approval will mean the substitution is not approved. Any difference in cost to the Contractor of a less expensive substitution shall be credited to the Owner's

1.8 ERRORS AND OMISSIONS

- A. The Contractor shall not take advantage of any unintentional error or omission in the drawings or specifications. He will be expected to furnish all necessary materials and labor that are necessary to make a complete job to the true intent and meaning of these specifications. Should there be discrepancies in the drawings or specifications, the contractor shall immediately call the attention of the Architect to same and shall receive the complete instructions in writing.

1.9 INSPECTIONS/REVIEWS DEFINITION

- A. Inspection or observation as used in these specifications means visual observation of materials, equipment, or construction work on an intermittent basis to determine that the work is in substantial conformance with the contract documents and the design intent. Such inspection or observation does not constitute acceptance of the work nor shall it be construed to relieve the contractor in any way from his responsibility for the means and methods of construction or for safety on the construction site. Inspection or observation will be done by the Landscape Architect only if requested by the owner in writing. This service will require a written contract for additional fees.

LANDSCAPE IRRIGATION

PART 1 – GENERAL

1.1 WORK INCLUDED

- A. The work includes but is not necessarily limited to the furnishing of all materials, equipments, and labor required to install a complete irrigation system.

- 1.2 GUARANTEE. The entire sprinkler system shall be guaranteed by the Contractor in writing to be free from defects in material and workmanship for a period of one year from acceptance of the work. The guarantee shall include repair of any trench settlement occurring within the guarantee period, including related damage to paving, landscaping, or improvements of any kind.

1.3 REVIEWS

- A. Request the following reviews prior to progressing with the work: (1) Layout of system (2) Depth of lines prior to backfilling (3) Coverage adjustment of all heads, valve boxes and operation of system.

1.4 WATER PRESSURE

- A. Verify the existence of the minimum acceptable volume of water at the minimum acceptable dynamic pressure as per plan at the point of connection at the earliest opportunity, reporting insufficient volume and/or pressure to the Landscape Architect. Contractor is responsible for cost of installation of pressure regulator if pressure exceeds 80 psi.

1.5 UTILITIES

- A. Verify the location of all existing utilities and services in the line of work before excavating. Take all precautionary measures necessary to avoid damaging

1.6 ELECTRICAL CONNECTION

- A. Verify existence of 110 Volt 20 Amp. circuit for irrigation controller (by others) at location noted on plan for installation of controller.

PART 2 – PRODUCTS

2.1 PIPE

- A. Plastic pipe is to be polyvinyl chloride, marked 1120–1220, and bearing the seal of the National Sanitation Foundation. Use Schedule 40 polyvinyl chloride, type I-II fittings bearing the seal of the National Sanitation Foundation, and complying with ASTM D2466 for pressure line and also for any water lines under asphalt paving. Use Sch 40 PVC for lateral lines in planting areas unless stronger pipe is specified in the irrigation legend. For joining, use a solvent complying with ASTM D2466 and recommended by the manufacturer of the approved pipe. Pipe is to be continuously and permanently marked with the manufacturer's name, pipe size, schedule number, type of material, and code number.
B. Galvanized steel pipe is to comply with ASTM A120 or ASTM A53, galvanized, Schedule 40, threaded, coupled, and hot-dip galvanized. Use 150 lb. rated galvanized malleable iron, banded pattern fittings. Wrap all galvanized pipe below grade with 2" wide, 10 mil. plastic wrapping tape (#50 Scotch wrap or equal).
C. Drip tubing is to be as noted on plans. Use compression fittings.

2.2 CONTROL WIRE

- A. Use type UF direct burial wire minimum size #14, copper, U.L. approved for irrigation control use for runs of 1000 feet or less. For longer runs consult with Landscape Architect. Use 3M DBY Direct Bury Wire Splice Kits or dry splice type wire connectors at splices. No underground splices will be allowed without a splice box.

2.3 OTHER MATERIALS

- A. Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect.

PART 3 – EXECUTION

3.1 SURFACE CONDITIONS

- A. Examine the areas and conditions under which the work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

3.2 EXCAVATION

- A. Trenches may be excavated either by hand or machine, but shall not be wider than is necessary to lay the pipes. Care should be taken to avoid damage to existing water lines, utility lines, and roots of plants to be saved.
B. Minimum depth of cover for buried pipelines shall be: 1. Eighteen (18) inches for mainline pressure piping. 2. Eighteen (18) inches for 24 volt wiring from controllers to remote control valves. 3. Twelve (12) inches for lateral distribution lines. 4. Twenty-four (24) inches, minimum cover, with 6" sand bedding and 6" sand cover for any pipe or wire sleeve under A.C. paving.
C. Under existing paving, piping may be installed by jacking, boring, or hydraulic driving except that no hydraulic driving will be permitted under asphalt concrete pavement (most pipes and sleeves under A.C. paving are to be installed prior to installation of the paving). Where cutting or breaking of existing pavement is necessary, secure permission from the Architect before cutting or breaking the pavement, and then make necessary repairs and replacements to the approval of the Architect and at no additional cost to the Owner.

3.3 INSTALLATION OF PIPE

- A. Handling and assembly of pipe, fittings, and accessories shall be by skilled tradesmen using methods and tools approved by the manufacturers of the pipe and equipment and exercising care to prevent damage to the materials or equipment.
B. Metal pipe threads shall be sound, clean cut, and cored to full inside diameter. Threaded joints shall be made up with the best quality pure joint compound carefully and smoothly placed on the male threads only throughout the system.
C. On plastic threaded connections use the sealer recommended by the manufacturer of the plastic valve or fitting. Do not use paste sealer products on plastic valves. Tighten plastic threaded connections with light wrench pressure only.
D. Connections and controls shall be functionally as shown on the drawings, but physically shall be the most direct and convenient method while imposing the least hydraulic friction. Install lines in planting areas whenever possible.
E. Thread mole PVC connections into metal female connections rather than the opposite.
F. Interior of pipe fittings, and accessories shall be kept clean at all times, and all openings in piping runs shall be closed at the end of each day's work or otherwise as necessary to prevent the entry of foreign materials. Bending of galvanized steel pipe will not be permitted. Install plastic pipe with the markings turned up to be seen from above until the pipe is buried. "Snake" the pipe in the trenches so that there will be a small amount of excess length in the line to compensate for contraction and expansion of the pipe.
G. Place backfill in 6" layers such that there will be no settling. The top 6" of soil is to be the top soil and soil amendment mixture. All backfill shall be free of rock and debris. Test pipe for leaks prior to backfilling joints. Obtain approval of the owner's representative before backfilling joints.

3.4 INSTALLATION OF EQUIPMENT

- A. Flush lines clean prior to installation of valves, sprinkler heads, or hose bibs. Install valves, sprinkler heads, controllers, backflow preventors, hose bibs, and other equipment as per the Irrigation Plan and details.

3.5 ELECTRICAL WORK

- A. The line voltage work shall consist of connecting the controller to the nearest available 115 volt supply. The line voltage connection shall be in conduit, in accordance with local electrical code. Controllers mounted inside buildings can be plugged into outlets. The low voltage work shall include all necessary wiring from the controller to the automatic sprinkler valves, installed in accordance with the manufacturer's recommendations. A loop of extra wire, a minimum of eighteen (18) inches long shall be provided at each automatic valve. Appropriate expansion loops shall be provided throughout the system to assure that no wiring will be under stress.
B. All splices and connections on the 24 volt system shall be made using 3M DBY Direct Bury Splice Kits, Rain Bird Pentite connector, or equal.
C. Wiring, wherever possible, shall be placed in the same trench with, and alongside of, the irrigation main water line. Tape and bundle wire every ten feet. All wiring placed under paving shall be put in adequately sized Sch 40 PVC pipe sleeves prior to paving operations.
D. Wire for 24 volt control lines shall be size #14 UF direct burial irrigation wire. Unless noted differently on the plan, common grounds shall be white, size #14 UF direct burial wire. For wire runs over 1000 feet consult with Landscape Architect for wire size. Under no circumstances, on multiple controller installations, will a single common ground, shared by each controller, be permitted. Each controller shall have its own separate common ground wire.

3.6 TESTING

- A. All testing shall be done in the presence of the Owner's Representative. Center-load all pipelines with clean soil approximately every four feet to resist hydraulic pressures, but leave fittings exposed for inspection. Piping under paving shall be tested before paving is in place. Install a 0 to 160 P.S.I. gauge on lines to be tested. All valves shown on Plans shall be in place and shall be in the closed position. Mains shall be tested at 100 P.S.I., and laterals at 65 P.S.I. If available static water pressure is under 100 P.S.I., provide suitable pump for tests. Fill pipelines slowly to avoid pipe damage, and bleed all air from lines as they are being filled. After closing valve at water source, mains shall hold 100 P.S.I. gauge pressure for two hours with no leaks. Laterals are expected to have minor seepage at multiple swing joint assemblies. Major leaks are not acceptable. Laterals shall be tested for one hour at 65 P.S.I. solely to reveal any piping or assembly flaws. The laterals are not expected to hold gauge pressure. For testing laterals, cap risers or turn adjusting screws on nozzles to the "off" position, as appropriate. Repair any flaws discovered in mains or laterals, then retest in same fashion as outlined in presence of the Landscape Architect until all lines have been approved. Provide required testing equipment and personnel.

3.7 SYSTEM ADJUSTMENT

- A. The entire sprinkler system shall be properly adjusted before final acceptance. Adjustments shall include but not necessarily be limited to: (1) Adjustment of arc and distance control devices on sprinklers, including changing nozzle sizes if necessary to assure proper coverage of planted areas. (2) Relocation or addition of sprinkler heads if necessary to properly cover planted areas, without causing excessive water to be thrown onto building, walks, paving, etc. (3) Throttling of automatic valves as necessary to operate sprinklers at manufacturer's recommended pressure. (4) Adjustment and testing of all automatic control devices to assure their proper function, both automatically and manually. (5) Installation of pop-up heads anywhere there is a chance of pedestrians or vehicles hitting heads even if pop-ups are not shown on the plan. (6) Installation of check valves to keep sprinkler head drainage from eroding landscape areas, wasting water, or creating soggy spots in the landscaping.

3.8 AS-BUILT DRAWINGS AND INSTRUCTION

- A. Regularly update a print of the system noting any changes which are made by dimensioning features below grade from surface features with at least two dimensions. Prior to final approval, give the Owner 2 copies of clean blueprints marked to show changes during construction. The most important features to mark on the plan are valves, pressure lines, wires, and hose bibs.
B. After the system has been completed, inspected, and approved, instruct the Owner's maintenance personnel in the operation and maintenance of the system. Give the Owner completed warranty cards for the irrigation equipment and keys to controllers and hose bibs.

SOIL PREPARATION AND PLANTING

PART 1 – GENERAL

1.1 DESCRIPTION

- A. The work includes, but is not necessarily limited to, the furnishing of all materials, equipment, and labor required to do the installation and complete placement of topsoil, fine grading, soil conditioning, and planting.

1.2 QUALITY ASSURANCE

- A. Plant Identification and Quality
1. Plants are to be true to name, with one of each bundle or lot tagged with the name of the plants in accordance with standards of practice of the American Association of Nurserymen. In all cases, botanical names take precedence over common names.
2. Plants shall be vigorous, of normal growth habit, free of diseases, insects, eggs, larvae, excessive abrasions, sun scalds, or other objectionable disfigurements, and shall conform to the standards as outlined by the California Association of Nurserymen. Tree trunks shall be sturdy and well "hardened off". All plants shall have normal well developed branch system, and vigorous, fibrous root systems which are not root bound. Ground cover plants (rooted cuttings) shall have well developed root systems and be kept moist prior to and during installation. Plants shall be nursery grown and of size indicated on Drawings. All plants not conforming to those requirements will be considered defective, removed from the site and replaced with acceptable new plants at the Contractor's expense.
3. Sod shall have a well developed root system. Yellowing, brown, diseased, dried, or pest infested sod shall be rejected. Sod is to be cleanly mowed within 72 hours of delivery to the site. Sod is to be delivered to the site within 24 hours after being harvested and installed immediately after being delivered. Sod shall not be stored on the site overnight. Any sod delivered to the site that cannot be installed the same day shall be removed and not used on the site.
4. Ground cover is to have well developed roots and foliage. It is to be grown in and delivered to the site in flats.

1.3 SUBMITTALS

- A. Provide the results of lab tests done on representative samples of existing soils and imported soils to be used for the top 12" or more of landscape area. Tests are to be done by a reputable soils lab (i.e., Perry Lab, Watsonville or Santa Clara Soil and Plant Lab). Samples to be tested are to be collected by lab personnel. Soil samples are to be tested for:
1. Particle size distribution (clay, silt, sand)
2. Agricultural suitability including any excess problems; i.e., salinity (calcium, magnesium), boron, sodium, pH level.
3. Fertility – amounts of available nitrogen, potassium, phosphorous, iron, magnesium, copper, zinc, and boron.
4. Chemicals and/or poisons that would hinder plant growth. The owner is to decide if tests for poisons will be done since there is a small chance that any exist and the cost of testing for them is expensive and difficult.
An interpretation of the test results and their affect on plant performance done by the lab staff or an approved horticultural consultant should be included in the report. The Owner is responsible for the cost of initial testing and for any additional chemicals and amendments that are required that are not already included in the Specifications or Drawings. Soils tests must be done as soon as possible and prior to ordering or installing soil amendments or plant materials. Plant selections and soil amendment specifications are subject to change depending on the results of the soil tests.
5. If bidding is done prior to soil fertility tests, bid 6 cu. yds. of nitrated RWD sawdust and 16 lbs. of 12–12–12 fertilizer per 1000 sq.ft. tilled or dug into the top 6" to 8" of soil in all planting areas for bidding purposes only. Revise bid when results of soil fertility tests are obtained.

1.4 QUARANTEE

- A. Trees shall be guaranteed 1 year – all other plant material 120 days following final acceptance. Any plant material needing replacement because of weakness or probability of dying will be replaced with material of similar type and size to that of the surrounding area. The replacement plants will have the same guarantee as the original plants or trees, starting the day of their replacement. The Contractor is not responsible for losses due to vandalism if he has taken reasonable measures for protection of the plants.

1.5 PRODUCT HANDLING

- A. Protect plants before and during installation, maintaining them in a healthy condition. Application(s) of anti-desiccant may be required to minimize damage. The Contractor is responsible for vandalism, theft, or damage to plant material until commencement of the maintenance period.

1.6 REVIEWS

- A. Request the following reviews by the Owner's Representative at least three (3) days in advance (in writing): (1) Rough grading (of landscape area) (2) Soil test (3) Verification of incorporation depths (4) Finish grade (5) Plant material quality approval (6) Plant material layout (7) Plant pit sizes (prior to planting plants) (8) Preliminary inspection (9) Final inspection (5 day advance notice required)

PART 2 – PRODUCTS

2.1 TOPSOIL

- A. Native topsoil or import landscape soil

2.2 NATIVE TOPSOIL

- A. Native soil on site without admixture of subsoil, free from rocks over two cubic inches, debris, and other deleterious material. Native topsoil is to be stripped, stockpiled, and reinstalled.

2.3 IMPORT LANDSCAPE SOIL

- A. Import landscape soil must be tested and meet the following specification:

1. TEXTURE:

Sandy loam to loam

2. GRADING:

SEIVE SIZE PERCENT PASSING SIEVE

25.4 mm (1") 95 – 100

9.51 mm (3/8") 85 – 100

53 Micron (270 mesh) 10 – 30

3. CHEMISTRY – SUITABILITY CONSIDERATIONS:

a. Salinity: Saturation Extract Conductivity (E_c x 103 @ 25 degree C.) Less than 4.0

b. Sodium: Sodium Adsorption Ratio (SAR) Less than 9.0

c. Boron: Saturation Extract Concentration Less than 1.0 PPM

d. Reaction: pH of Saturated Paste: 5.5 – 7.5

e. Lime: less than 3% by weight

4. PESTS:

a. The population of any single species of plant pathogenic nematode: fewer than 500 per pint of soil.

5. ORGANIC MATTER

a. Soil is to have 5% to 10% organic matter at below 18 inches in depth. Soil is to have less than 30% organic matter at 0 to 18 inches in depth. Organic matter to be less than 1" dia. Do not use mushroom compost.

No noxious weeds are allowed.

6. FERTILITY CONSIDERATIONS:

a. Soil is to contain sufficient quantities of available nitrogen, phosphorous, potassium, calcium, and magnesium to support normal plant growth. In the event of nutrient inadequacies, provisions shall be made to add required materials to overcome inadequacies prior to planting.

7. COMPACTION

a. Compact the soil enough so it doesn't settle more when walked on and not significantly over time where the flow of drainage will be affected or soil needs to be added. Don't over compact or work soil when it has too much moisture. Dig bottom layer of import soil into existing soil. Compact in 6 inch lifts.

2.4 ORGANIC SOIL AMENDMENT

A. Redwood sawdust, 0–1/4" in diameter, that is nitrogen stabilized by the supplier, and contains a wetting agent. Also see note on planting plan

2.5 ORGANIC MULCH

A. See Planting Plan

2.6 PLANTER SOIL MIX

A. See Planting Plan and Details.

2.7 BACKFILL FOR PLANT PITS

A. For native soils with 50% or more clay content – 75% topsoil and 25% organic amendment thoroughly mixed and incorporated together with no topsoil clods larger than 1/2" diameter. In heavy clay soils or other soils with large clods this will require mixing the backfill in a stockpile at the site or at the supplier. For soils with less clay content amend only the top 8" of the plant pit backfill as per the soils lab recommendations.

2.8 FERTILIZER

A. Fertilizer needs and amounts will be based on the results of the soil test

B. Sod lawn areas (there is no lawn on the plan)

2.9 PLANT MATERIAL SUBSTITUTES

A. Substitutes will not be permitted except when proof is submitted that plants specified are not available and then only upon approval of the Landscape Architect and Owner.

2.10 OTHER MATERIALS

A. Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Landscape Architect.

PART 3 – EXECUTION

3.1 SURFACE CONDITIONS

- A. Examine the areas and conditions under which the work of this Section will be performed. Correct conditions detrimental to timely and proper completion of the work. Do not proceed until unsatisfactory conditions are corrected.

B. Weed and Debris Removal – All ground areas to be planted shall be cleaned of all weeds and debris prior to any soil preparation or grading work. Weeds and debris shall be disposed of off the site.

- C. Contaminated Soil – Do not perform any soil preparation work in areas where soil is contaminated with cement, plaster, paint or other construction debris. Bring such areas to the attention of the Owner's Representative and do not proceed until the contaminated soil is removed and replaced.

- D. Moisture Content – Soil shall not be worked when moisture content is so great that excessive compaction will occur, nor when it is so dry that dust will form in the air or that clods will not break readily. Water shall be applied, if necessary, to bring soil to an optimum moisture content for tilling and planting.

3.2 ROUGH GRADING AND TOPSOIL PLACEMENT

A. Request a review by the Owner's Representative to verify specified limits and grades of work completed to date before starting soil preparation work. Place topsoil as required to obtain an 12" minimum depth of topsoil or as noted otherwise on the Plans. (Topsoil may already exist in the planting areas). Integrate topsoil layer into subsoil or existing compacted topsoil layer by ripping.

Complete rough grading as necessary to round top and toe of all slopes, providing naturalized contouring to integrate newly graded area with the existing topography. Verify that rough grading is completed in accordance with civil engineering drawings and/or any landscape grading drawings. Break through any compacted layers of subgrade material (sometimes left from building or paving pad compaction) that will not allow water in planting areas to percolate through, causing a boggy, over saturated soil condition. You may have to use a backhoe or ratchammers to break up and turn soil to a minimum depth of 12". If proposed planters are in areas of existing paving or baseroack, remove at least 12" of material and bring in top soil up to grade required by grading plan. Rough grading in planting areas is to be such that when amendment is incorporated and the mulch is installed, the grade will be + 1" to finish grade.

B. Soil Preparation: (1) Distribute soil (organic) amendment and fertilizer in the amounts recommended by the soils lab over all planting areas unless noted otherwise on the Plans. (2) Rip and/or till the amendment and fertilizer into the top 6" to 8" of soil until they are thoroughly mixed in. Hand work areas inaccessible to mechanical equipment. (3) Moisten to uniform depth for settlement and regrade to establish elevations and slopes indicated on Drawings.

C. All grades shall provide for natural runoff of water without low spots or pockets. Flowline grades shall be accurately set and shall be not less than 2% gradient wherever possible. Grades shall slope away from building foundations unless otherwise noted on Plans. All finish grades (top of mulch) are 1" below finish grade of walks, pavements, curbs, and valve boxes unless otherwise noted.

D. All grades shall provide for natural runoff of water without low spots or pockets. Flowline grades shall be accurately set and shall be not less than 2% gradient wherever possible. Grades shall slope away from building foundations unless otherwise noted on Plans. All finish grades (top of mulch) are 1" below finish grade of walks, pavements, curbs, and valve boxes unless otherwise noted.

3.3 FINISH GRADING

A. The Contractor shall make himself familiar with the site and grading plans and do finished grading in conformance with said Plans and as herein specified.

B. Grades not otherwise indicated shall be uniform levels or slopes between points where elevations are given or between points established by walks, paving, curbs, or catch basins. Finish grades shall be smooth, even, and on a uniform plane with no abrupt changes of surface. Minor adjustments of finish grades shall be made at the direction of the Landscape Architect, if required.

C. All grades shall provide for natural runoff of water without low spots or pockets. Flowline grades shall be accurately set and shall be not less than 2% gradient wherever possible. Grades shall slope away from building foundations unless otherwise noted on Plans. All finish grades (top of mulch) are 1" below finish grade of walks, pavements, curbs, and valve boxes unless otherwise noted.

3.5 MULCHING

A. Recultivate soils compacted by planting or other operations and smooth the soil areas prior to applying mulch. Mulch all planting areas to a depth as noted on plans. This depth should be as per the plans even after being settled and stepped on 30 days after installation. Water lightly to settle mulch. Do not bury ground cover with mulch. Place and settle mulch in such a way that it does not get washed onto paving or block drain swales or inlets.

3.6 WEED CONTROL

A. The Contractor is responsible for pre-emergent weed control. Follow the manufacturer's directions. The Contractor is responsible for the replacement of any plants (other than weeds) that are hurt or killed due to the misuse of weed control products or use of the wrong product. Clay soils can increase the affect of certain pre-emergents. Adjust the application rate accordingly. Some owners may prefer hand weeding to chemical weed control although it is usually more expensive.

3.7 MAINTENANCE

A. Maintenance shall begin immediately after each plant is installed.

B. Maintenance will include:
1. Continuous operations of watering, weeding, cultivating, fertilizing, spraying, insect, pest, fungus, and rodent control, and any other operations to assure good normal growth.

2. Fertilizing: In addition to fertilizing of trees, shrubs and ground covers, herein specified, furnish and apply any additional fertilizers necessary to maintain plantings in a healthy, green vigorous growing condition during the maintenance period.

3. Weeding, Cultivating and Clean Up: Planting areas shall be kept neat and free from debris at all times and shall be cultivated and weeded at no more than 10-day intervals.

4. Insect, Pest and Disease Control: Insects and diseases shall be controlled by the use of approved insecticides and fungicides. Moles, gophers, and other rodents shall be controlled by traps, approved pellets inserted by probe gun, or other approved means.

5. Protection: Work under this Section shall include complete responsibility for maintaining adequate protection for all areas. Any damaged areas shall be repaired at no additional expense to the Owner.

6. Replacements: Immediately replace any plant materials that die or are damaged. Replacements shall be made to the Specifications as required for original plantings.

7. Hand Watering: Even when planting areas are watered with automatic irrigation, the soil surrounding the plant pits can be moist while the sawdust/sand root ball is dry. This can cause the plants to deteriorate or not grow (even during the winter). The plants will do best (especially during the hot season) if they are hand watered deeply until their roots grow out into the surrounding soil.

3.8 PRELIMINARY INSPECTION

A. As soon as all the planting is installed, the Contractor will request the Owner's Representative (in writing) to make a preliminary inspection. The 30 calendar day maintenance period will start when the work is approved. Replacement and/or repairs may be required for approval. The Contractor is to notify the Owner and the Owner's Representative in writing when the 30 day maintenance period begins.

3.9 FINAL INSPECTION

A. At least 5 days prior to the anticipated end of the maintenance period, the Contractor shall submit a written request for final inspection. The planting areas shall be weeded, neat and clean. The work shall be accepted by the Owner exclusive of the plant materials upon written approval of the work by the Owner's Representative.

Revision

#2176

GREGORY LEWIS LANDSCAPE ARCHITECT

736 Park Way Santa Cruz, CA 95065 (631) 359-0960

lewlandscape@sigobahn.net

LANDSCAPE ARCHITECT

No. 2176

11/2/21

STATE OF CALIFORNIA

LANDSCAPE ARCHITECT

No. 2176

Plant Legend

KEY QTY SIZE SPACING WUCOLS BOTANICAL NAME COMMON NAME
GALLONS RATING High x Width

TALL SHRUBS - SCREENING

LN 9 5 3' - 5' LOW Laurus nobilis 15 - 40'x15-30' Gracian Laurel
growth rate 12" to 24" per year
PE 4 15 5' - 8' MED Pittosporum eugenioides 5-40'x6-15'
growth rate 24" per year

GROUND COVERS

LB 19 1 3' - 5' LOW Lomandra Breeze
DV 9 1 3' - 5' LOW Dietes irridioides Fortnight Lily
NC 3 1 3' - 5' LOW Nandina Gulf Stream
E 9 1 2' - 3' HIGH Equisetum hyemale Horsetail
Install 18" deep root barrier around grouping of E plants or use small Agave, Douglas Iris, or row of basalt rock columns instead

Ask owners if they want to upsize some of 1 gal plants to 5 gal plants

Plant quantities are for planning purposes only. Contractor to do own plant count and install all plants on plan

Planting Notes

1 LESS THAN 25% OF PLANTING AREA IS TURF (0% OF LANDSCAPE AREA IS TURF)

2 PLANTS WITH SIMILAR WATER NEEDS ARE GROUPED WITHIN HYDROZONES. EACH HYDROZONE SHALL BE CONTROLLED BY A SEPARATE GROUP OF VALVES

3 AT LEAST 4 CUBIC YARDS OF COMPOST (BFI SUPER HUMUS) AND 16 POUNDS OF 12-12-12 FERTILIZER PER 1000 SF OF PLANTING AREA SHALL BE THOROUGHLY TILLED INTO THE TOP 8 INCHES OF SOIL (EXCEPT UNDER CANOPY OF EXISTING TREES TO BE SAVED) OR FOLLOW THE AMENDMENT AND FERTILIZER RECOMMENDATIONS OF A SOIL FERTILITY TEST AND ANALYSIS FROM A SOIL LAB (HIGHLY RECOMMENDED)

4 INSTALL 3 INCH DEEP LAYER OF TOP DRESS MULCH ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN AREAS OF DIRECT SEEDING APPLICATION OR SOD LAWN. USE GRAVEL MULCH TO BE SELECTED BY OWNERS. PROVIDE SAMPLES AND PRICES PRIOR TO FINALIZING BID

5 GRADING SHALL BE DESIGNED TO MINIMIZE SOIL EROSION, RUN-OFF AND WATER WASTE ADDITIONAL NOTES

6 SEE SHEETS L5 AND L6 FOR PLANTING AND IRRIGATION DETAILS AND SPECIFICATIONS IN FINAL CONSTRUCTION DRAWING FOR BUILDING PERMIT

7 DON'T TRENCH TOO CLOSE TO STRUCTURES WITHOUT THE APPROVAL OF THE BUILDING ARCHITECT, CIVIL, OR STRUCTURAL ENGINEER

8 PRIOR TO ORDERING PLANTS OR SIGNING FINAL CONTRACT FOR WORK MAKE SURE YOU HAVE THE MOST CURRENT SET OF APPROVED PLANS AND MAKE SURE THERE ARE NO CHANGES TO THE PLANT CHOICES

9 ADJUST FINAL LOCATIONS OF PLANTS TO AVOID CONFLICTS WITH UTILITIES, LIGHTS, AND IRRIGATION COMPONENTS. SCREEN VALVES AND UTILITIES WITH PLANTS. DON'T PUT PLANTS TOO CLOSE TO PAVING OR BUILDINGS

10 GRADING AND DRAINAGE TO BE DONE ACCORDING TO THE APPROVED GRADING AND DRAINAGE PLANS DONE BY OTHERS

Landscape Site Legend

1 Driveway - Concrete with score and expansion joints - color and finish to be determined by owner - possibly have 3.5 inch spaces filled with rounded mexican pebbles

2 Front walkways - Concrete - pattern and color to be determined later by owner - possibly to match driveway with 3.5 inch spaces filled with rounded mexican pebbles

3 Existing fence to remain - repair as required





4 6 foot tall x 3 foot wide gate and 6 foot tall fence







5 6 foot tall solid wood plus 1 foot of lattice fence

6 Side gravel area - 3.5" deep with high quality weed cloth and steel landscape edging - gravel to be selected by owner

7 Rear patio - Concrete or pavers - pattern and color to be determined by owner later

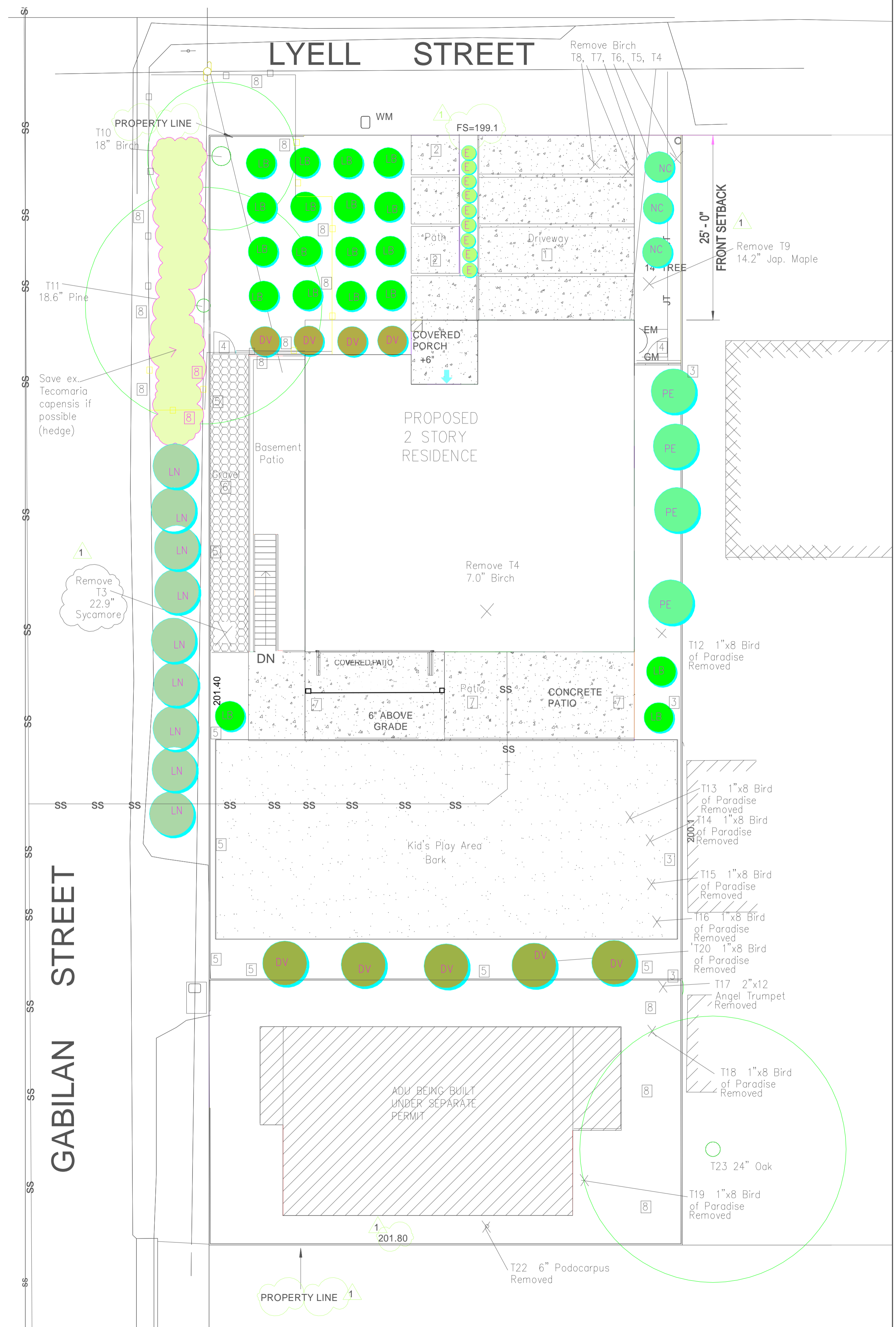
8 Tree protection fence up to within 3 feet of house to allow for construction. Any where under existing tree canopy that you can't put fence install 6 inch deep coarse bark covered with thick plywood or steel plates - see arborist report for tree protection measures

EXISTING TREE LEGEND				
KEY	COMMON NAME	ANTICIPATED HEIGHT AND SPREAD AT MATURITY	AVERAGE RATE OF GROWTH	IMAGE
T3	Sycamore	112' x 90'	24" Per Year	
T10	Pine	50-150'	24" Per Year	
T11	Betula	40 - 70' x 35 - 60'	36" Per Year	
T23	Oak	70' x 9'	12-16" Per Year	

PROPOSED PLANT LEGEND				
KEY	COMMON NAME	ANTICIPATED HEIGHT AND SPREAD AT MATURITY	AVERAGE RATE OF GROWTH	IMAGE
LN	Gracian Laurel	15 - 40' x 15 - 30'	12"-24" Per Year	
DV	Fortnight Lily	30" x 3' - 6'	24" Per Year	
PE	Lemonwood	15 - 40' x 6 - 15'	24" Per Year	
LB	Dwarf Mat Rush	2-3' x 2-4'	20" Per Year	
NC	Nandina	5-7' x 3 - 5'	24" Per Year	
E	Rough Horsetail	2-4' x 1 - 6'	100' within the Year	

Total Front Yard Setback Area
64 x 25 = 1600
50% of 1600 = 800
Allowed non permeable

Non-permeable paving proposed
Driveway = 25x21 = 525
Entry walk = 176
non permeable total = 701
less than 800 allowed



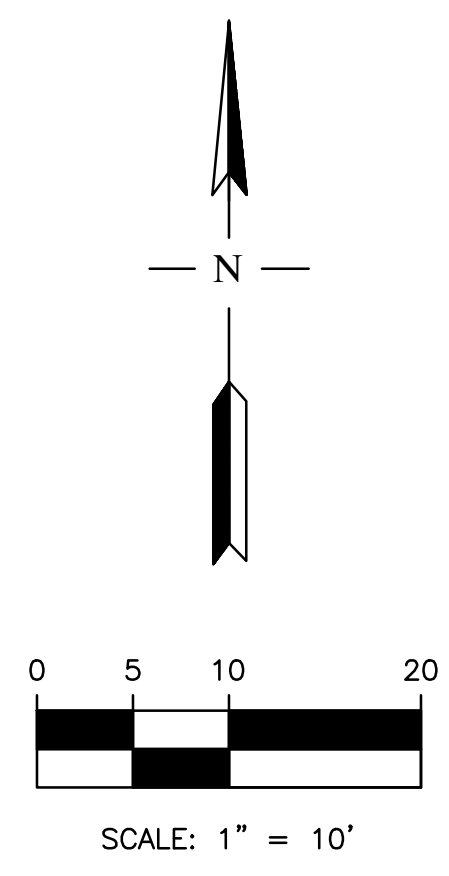
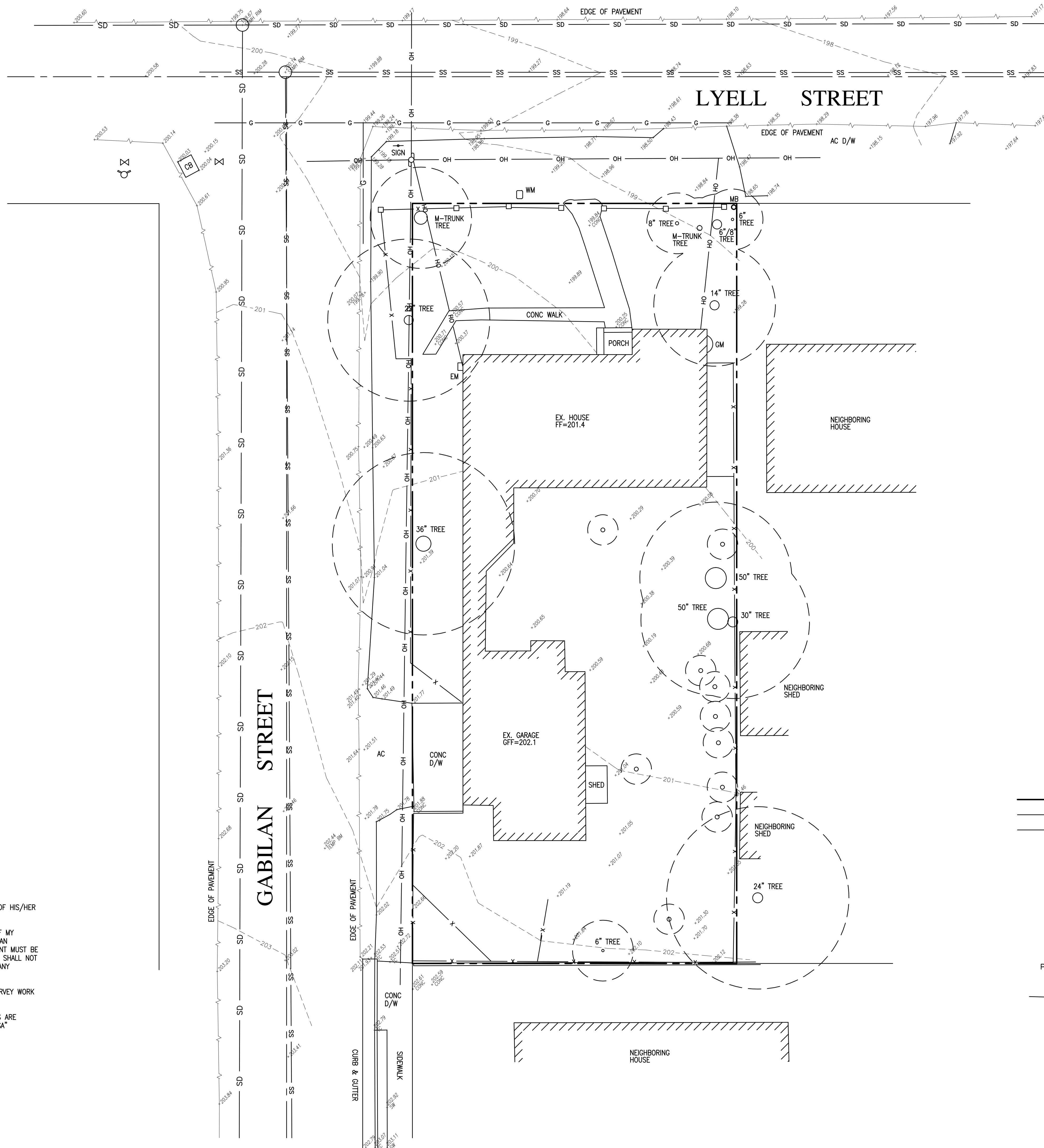
Revision

New Residence
166 Lyell St., Los Altos, CA

1/8" = 1'-0"

COLORED LANDSCAPE SITE/PLANTING PLAN

Date 7/2/21
Scale As Noted
Drawn Greg
Job
Sheet LC1



SITE BENCHMARK:

SET NAIL
ELEVATION= 202.44 NAVD 1988

BASIS OF BEARINGS:

THE BEARING EAST OF THE CENTERLINE OF LYELL STREET AS SHOWN ON MAP NO. 3 THE TOWN OF LOS ALTOS, FILED FOR RECORD IN BOOK M OF MAPS AT PAGE 1, SANTA CLARA COUNTY RECORDS.

REFERENCES:

R1 MAP NO. 3 THE TOWN OF LOS ALTOS (M MAPS 1)

SITE DATA:

166 LYELL STREET
LOS ALTOS, CA
APN: 170-37-006
AREA= 9,600 S.F.±

NOTES:

1. THIS ELECTRONIC FILE IS SOLELY FOR THE USE OF THE ARCHITECT FOR THE DEVELOPMENT OF HIS/HER ARCHITECTURAL DRAWINGS TO OBTAIN BUILDING PERMITS.
2. THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. RW ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.
3. THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY AT THE TIME THE SURVEY WORK WAS COMPLETED.
4. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
5. ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).

ABBREVIATION

- AD AREA DRAIN
- A.E. ANCHOR EASEMENT
- AC ASPHALT CONCRETE
- BRI BRICK
- C/G CURB & GUTTER
- C CONCRETE
- DI DRAIN INLET
- FF FINISH FLOOR GRADE
- FL FLOWLINE
- GM GAS METER
- LG LIP OF GUTTER
- MB MAIL BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- P.S.E. PUBLIC SERVICE EASEMENT
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- S/W SIDEWALK
- TC TOP OF CURB
- TRC TOP OF ROLLED CURB
- W.C.E. WIRE CLEARANCE EASEMENT
- WM WATER METER

LEGEND

- PROPERTY LINE
- - - CENTERLINE
- SS UTILITY LINE-TYPE AS NOTED
- STREET LIGHT
- PG&E UTILITY BOX-TYPE AS NOTED
- WM/GM WATER/GAS METER
- WV WATER VALVE
- CB CURB CATCH BASIN
- FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- PP-○ OH POWER POLE W/ OVERHEAD WIRE
- ◆ BENCHMARK
- 200 CONTOUR LINE
- MON MONUMENT
- 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN
- GUY WIRE

NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALTIMONT DRIVE
MILPITAS, CA 95035
(P) (408) 262-1889
(FAX) (408) 824-5556
rweengineering@gmail.com

**166 LYELL STREET
LOS ALTOS, CA**

SANTA CLARA COUNTY

APN: 170-37-006

TOPOGRAPHIC MAP

DATE: 4/27/20
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO.

SU-1
OF 1 SHEETS

NORTH SIDE ELEVATION



WEST SIDE ELEVATION



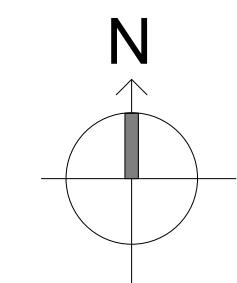
NOTES:

REVISIONS :

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER PLANNING APPROVAL COMMENTS	07-JULY-2021	PRAKASH

NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES.
- DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
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- THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION.
- LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE THE SMALLER SCALE DRAWINGS AND DETAILS.
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: U-2

RENDERING IMAGES

DATE: 09-JULY-2021

DRAWN BY:

CHECKED BY: Checker

PROJECT NO: -

SCALE:

ADDRESS : 329 S San Antonio Road #8, Los Altos, CA 94022
 CONTACT : 650-209-6500
 EMAIL : team@golivio.com

SOUTH SIDE ELEVATION



EAST SIDE ELEVATION



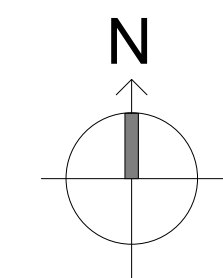
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PROJECT : 166, LYELL STREET, LOS ALTOS, CA

DRG NO: U-3

RENDERING IMAGES

DATE: 09-JULY-2021

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