

DESIGN REVIEW APPLICATION

SECOND STORY ADDITION

CHARON RESIDENCE

444 FIR LANE, LOS ALTOS, CA 94024

360 design studio
ARCHITECTURE

1491 BEN ROE DRIVE
LOS ALTOS, CA 94024
phone 650.360.2905

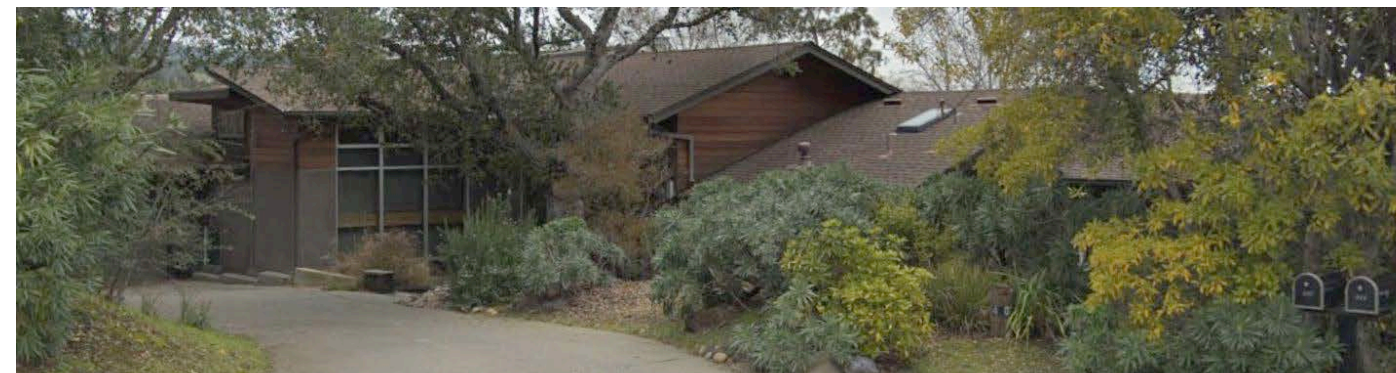
info@360designstudio.net

Charon Residence

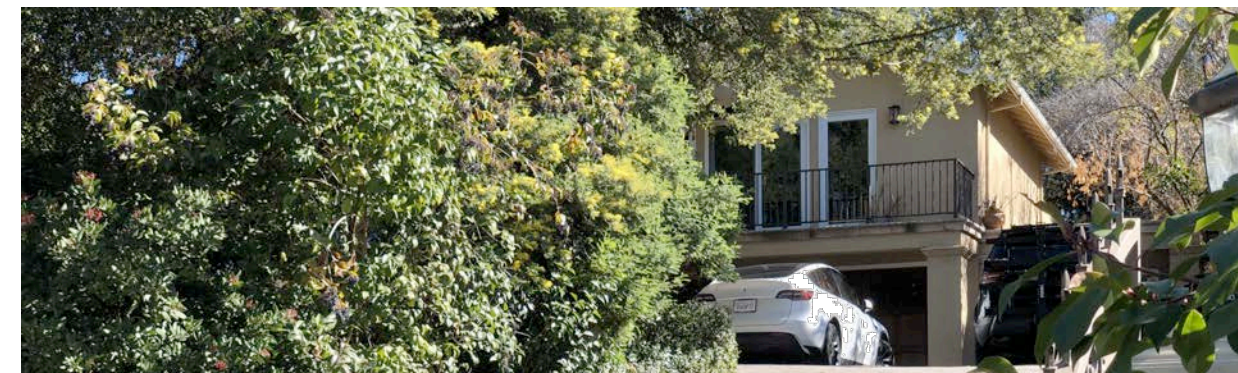
444 Fir Lane
Los Altos, CA 94024



444 FIR LANE - EXISTING ELEVATION FROM STREET



400 FIR LANE



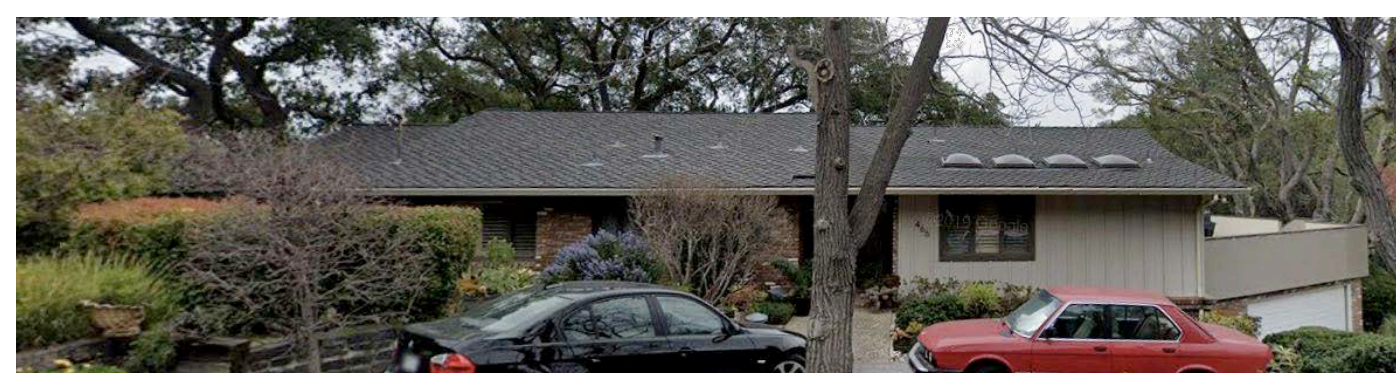
5721 ARBORETUM DRIVE



447 FIR LANE



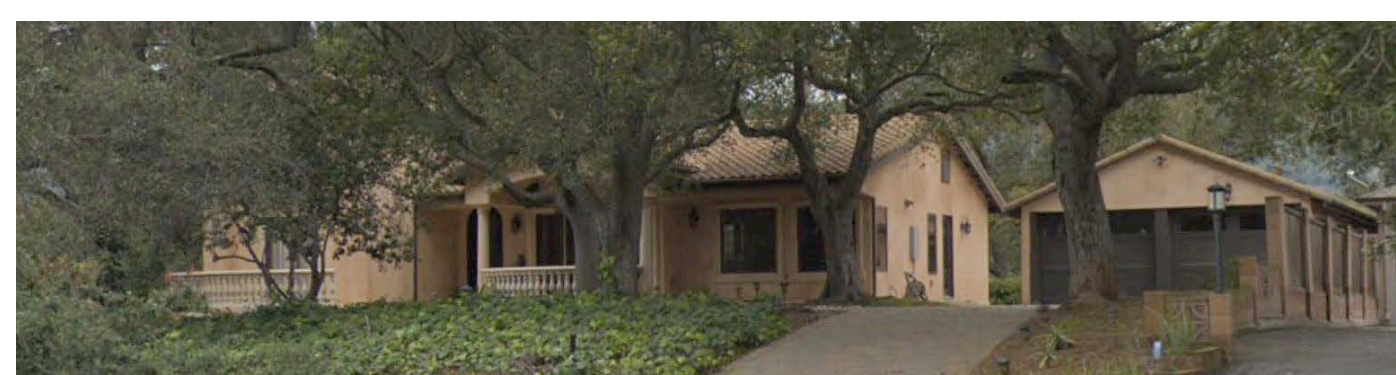
5666 ARBORETUM DRIVE



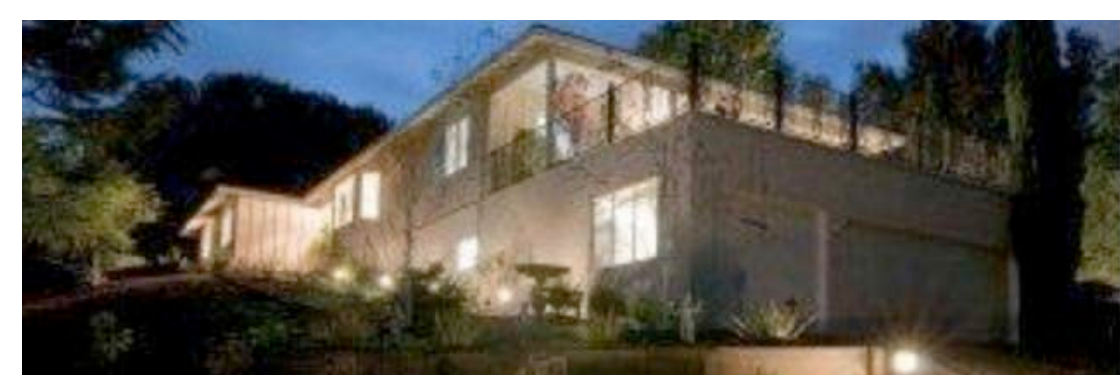
466 FIR LANE



5667 ARBORETUM DRIVE



475 FIR LANE



485 ASPEN DRIVE



5734 ARBORETUM DRIVE

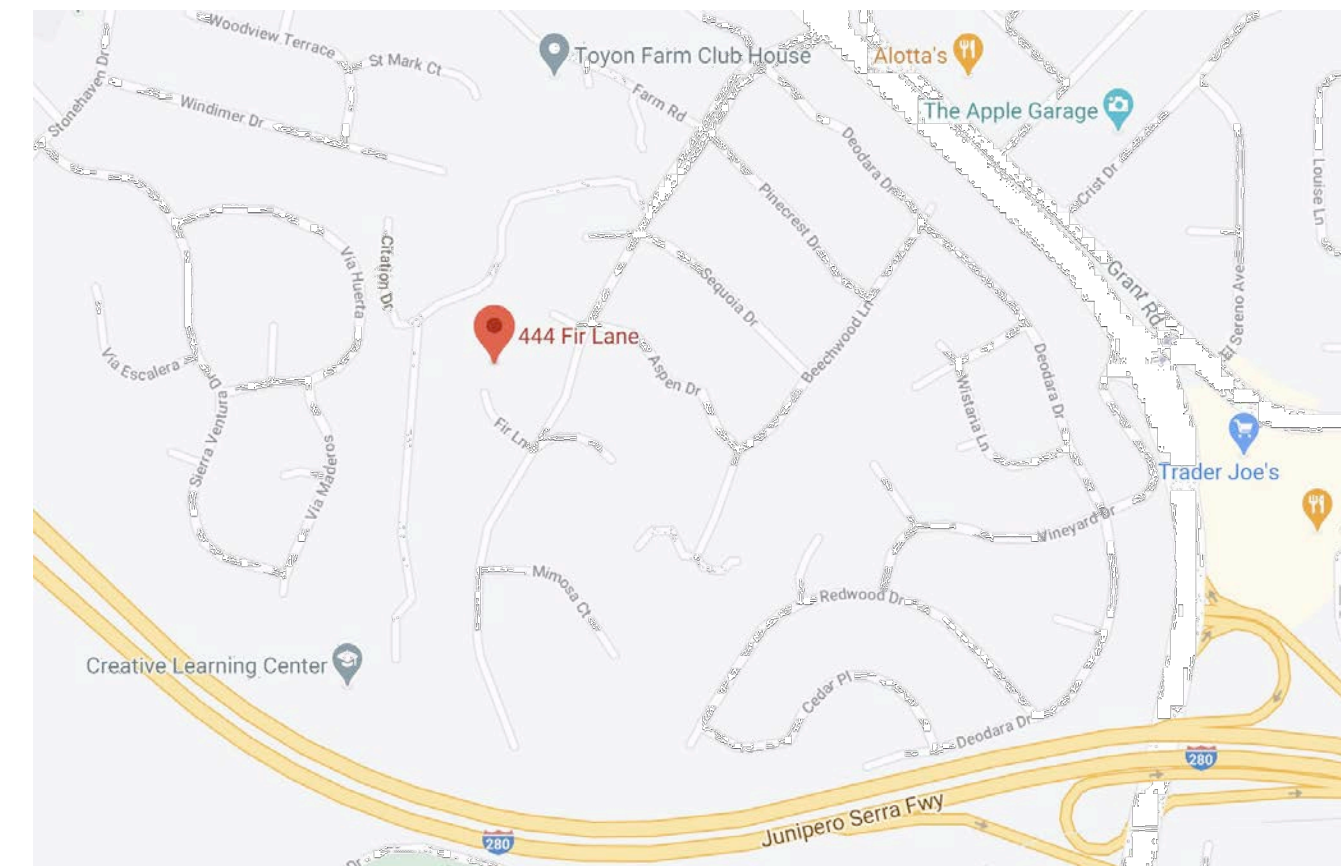


455 ASPEN DRIVE

NEIGHBORHOOD PHOTOS 8

PROJECT CONSISTS OF A GROUND FLOOR EXPANSION AND SECOND FLOOR ADDITION TO EXISTING ONE STORY HOUSE

PROJECT DESCRIPTION 5



VICINITY MAP 6



NEIGHBORHOOD CONTEXT MAPS 7

PROJECT DIRECTORY 1

- A0 COVER SHEET
- EC1 EXISTING CONDITIONS & EXISTING ELEVATIONS
- A1.1 PROPOSED SITE PLAN
- A1.2 AREA CALCULATION DIAGRAM
- A2.1 PROPOSED GROUND FLOOR PLAN
- A2.2 PROPOSED SECOND FLOOR PLAN
- A2.3 PROPOSED ROOF PLAN
- A3.1 PROPOSED EXTERIOR ELEVATIONS
- A3.2 PROPOSED EXTERIOR ELEVATIONS
- A4.1 PROPOSED SECTIONS
- A4.2 PROPOSED SITE SECTION + STREETSCAPE
- A5 3D IMAGES
- C1 GRADING AND DRAINAGE PLAN
- C2 EROSION CONTROL PLAN
- T1 SITE SURVEY MAP

SHEET INDEX 2

444 Fir Lane,
Los Altos CA 94024

APN: 342-04-060
ZONE: R1-20
Lot size: 1.149 Acres 50,050 SF

EXISTING FLOOR AREA
MAIN HOUSE: 2,063 SF
GARAGE: 527 SF
POOL HOUSE: 260 SF
COVERED PORCH: 496 SF
SHED: 43 SF

PROPOSED ADDITION:
GROUND FLOOR: 794 SF
SECOND FLOOR: 396 SF

GENERAL PROJECT INFORMATION 3

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
Lot Coverage:	3,387 (7%)	4,181 (8%)	12,513 (25%)
Floor Area:	2,891 SF (6%)	4,081 (8%)	7,755 (15%)
Setbacks:			
	Front 25'-8"	NO CHANGE	30'-0"
	Rear 221'-10"	192'-2"	35'-0"
	One Story (West) 21'-7"	20'-5"	20'-0"
	Second Story (West) NONE	25'-0"	25'-0"
	One Story Side (East) 20'-8"	NO CHANGE	20'-0"
	Second Story (East) NONE	112'-3"	25'-0"
Height:	+/- 18'-6"	26'-10"	27'-0"
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
Habitable Living Area	2321	1190	3511
Non-Habitable Floor area	570	NO CHANGE	570
LOT CALCULATIONS			
Net Lot Area:	50,050 SF		
Front Yard Area Total	3,160 SF		
Front Yard Hardscape area	1,380 SF (43%)		
Landscaping breakdown			Total Hardscape area (e. and proposed): 8,391 SF
			Existing Softscape (undisturbed) area: 42,435 SF
			New Softscape area: 41,659 SF

PROJECT SUMMARY TABLE 4

DESIGN REVIEW PACKAGE NOT FOR CONSTRUCTION

Date	05/25/2021
Rev	Rev 1 04/08/2021

Sheet Title	COVER SHEET
Sheet No.	A0

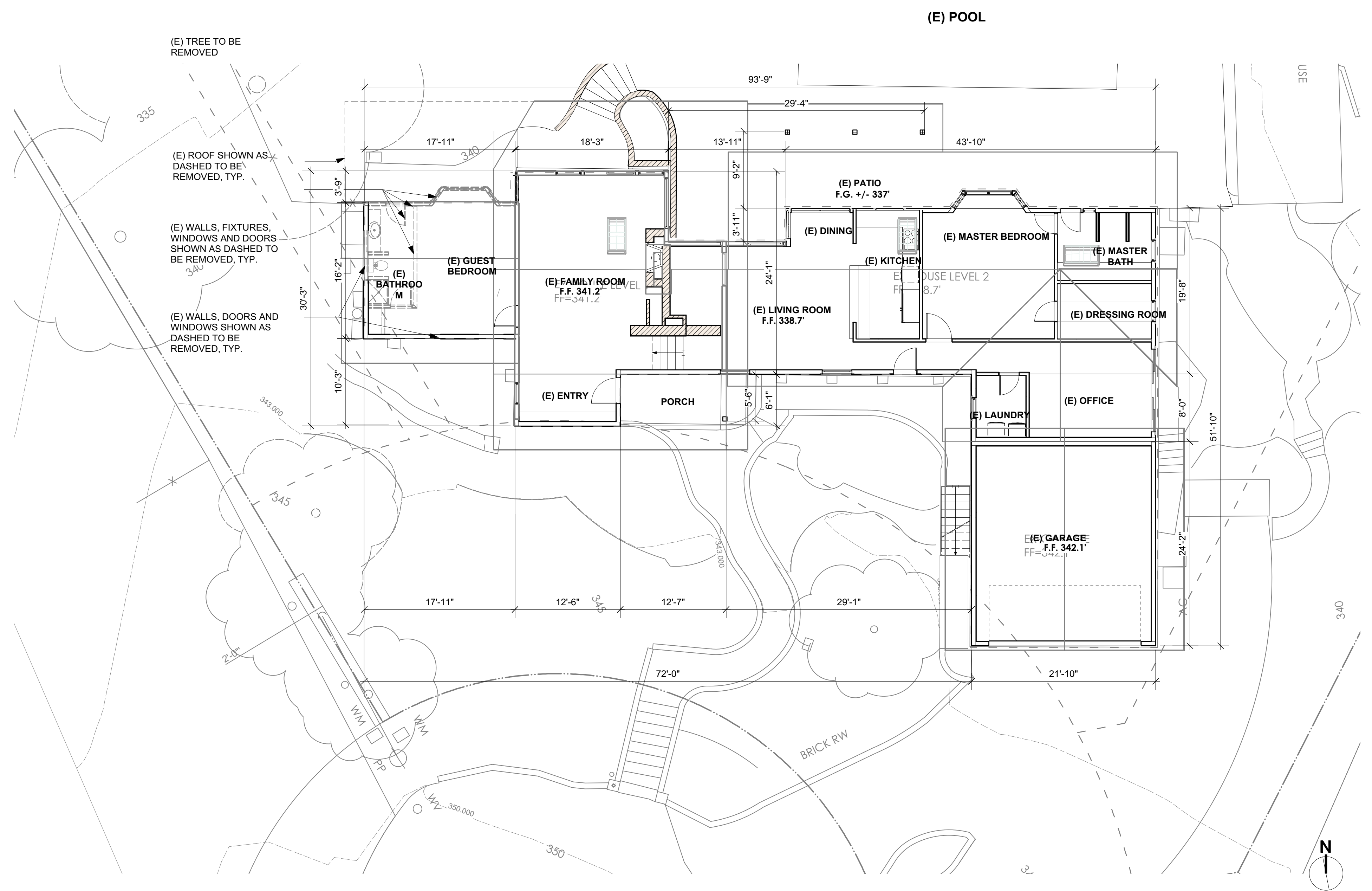
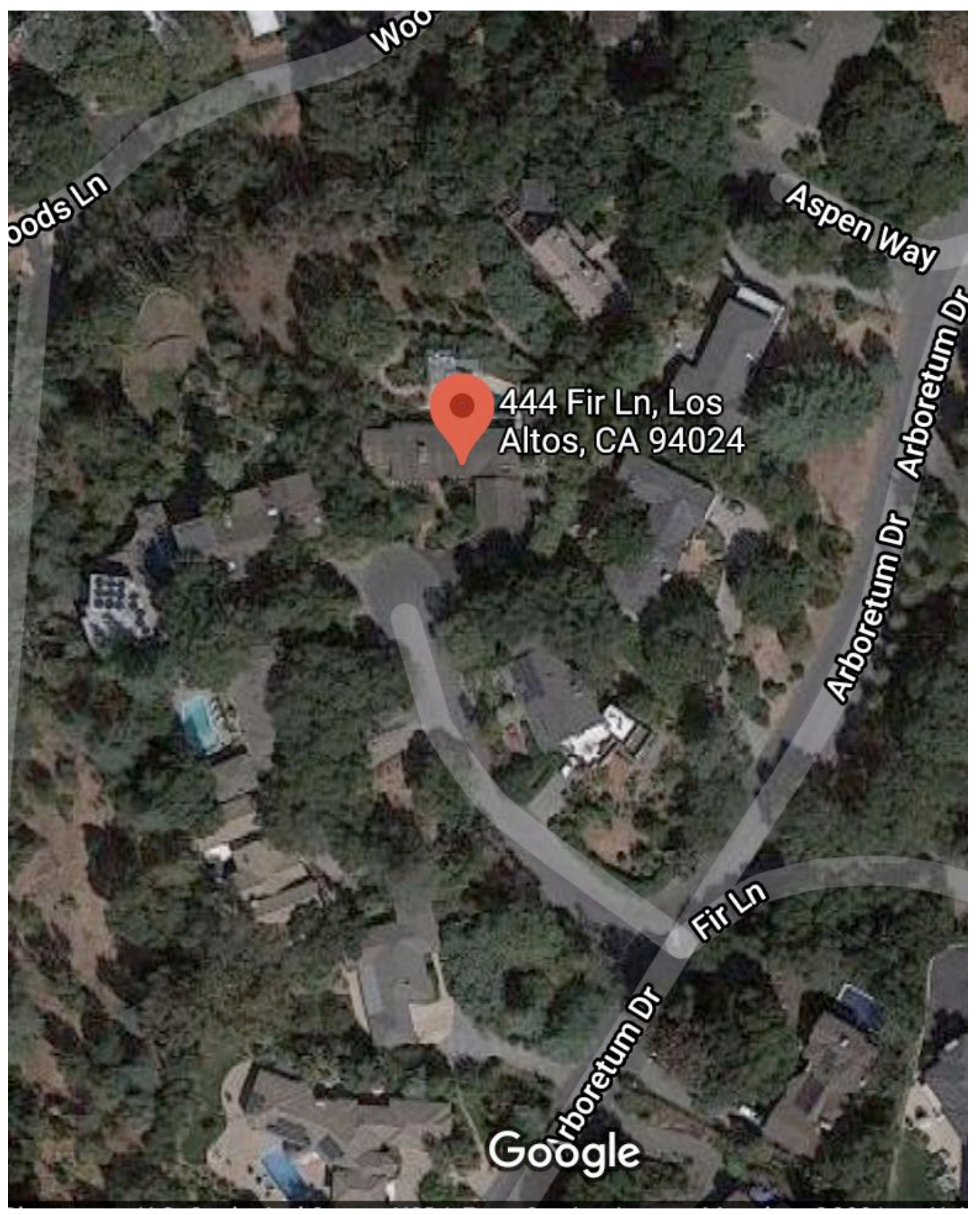
Charon Residence
444 Fir Lane
Los Altos, CA 94024



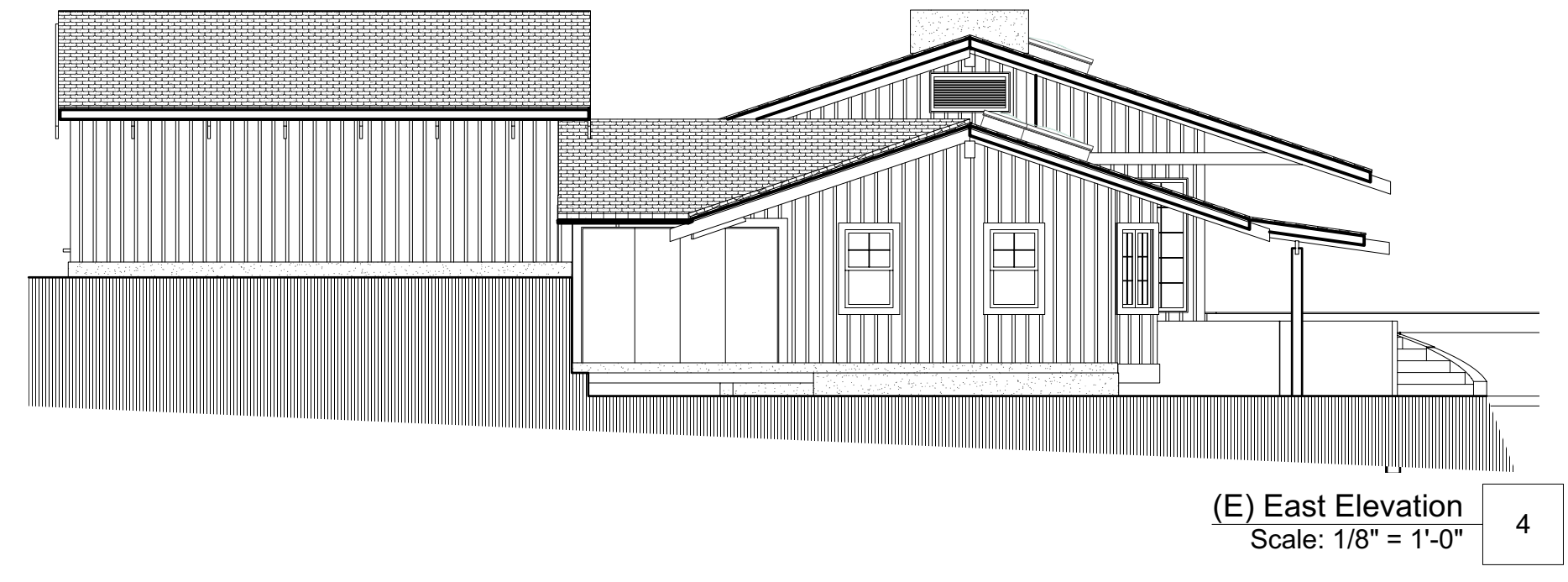
DESIGN REVIEW PACKAGE

Date	02/12/2021
Rev	

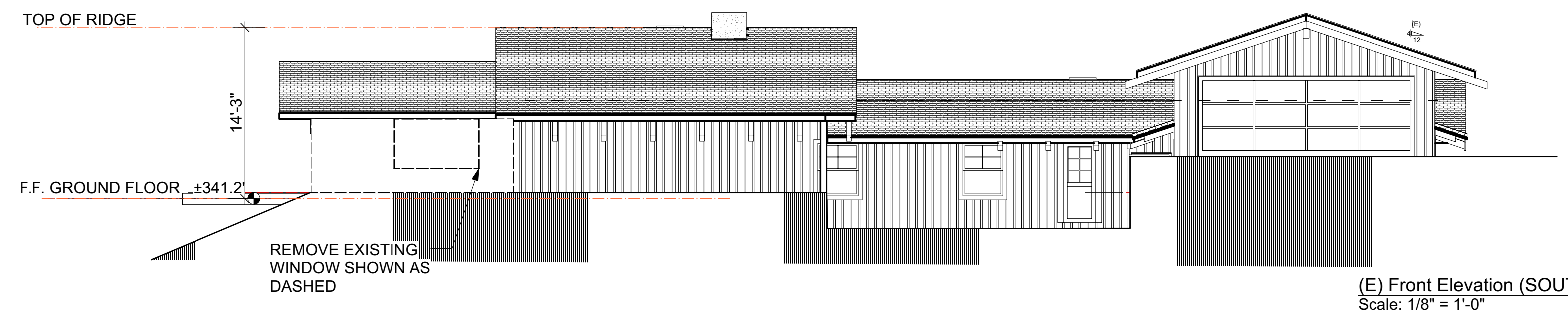
Sheet Title	Existing House Floorplan
Sheet No.	EC1



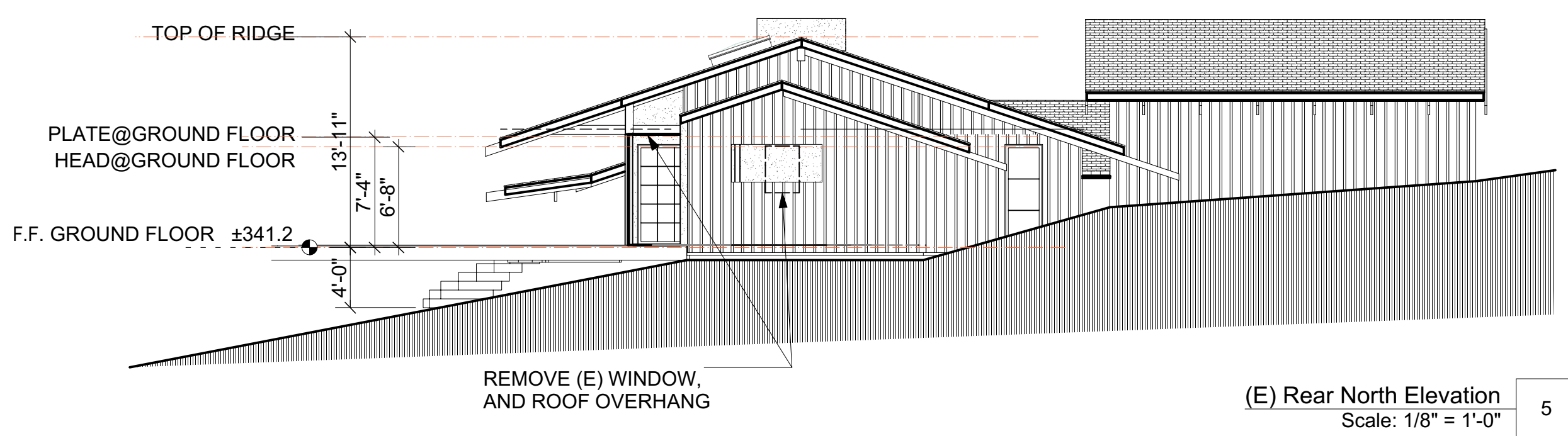
EXISTING FLOOR PLAN
Scale: 1/8" = 1'-0" 1



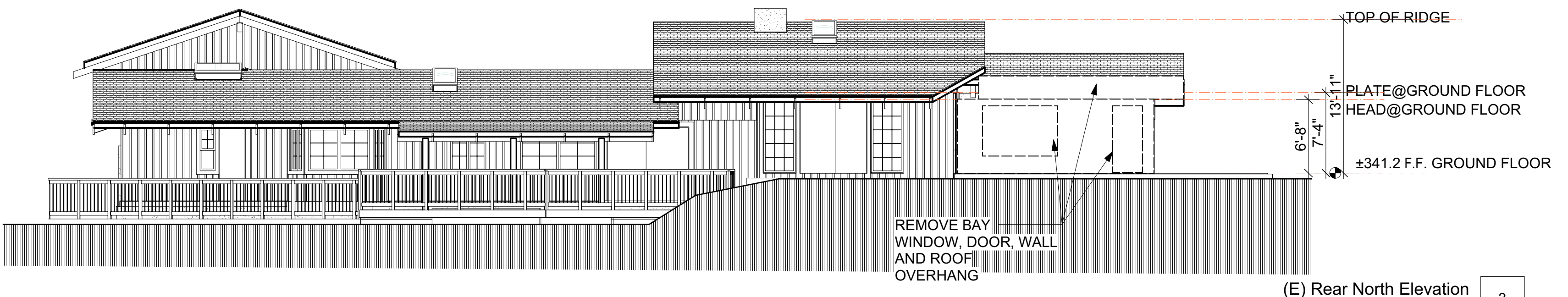
(E) East Elevation
Scale: 1/8" = 1'-0" 4



(E) Front Elevation (SOUTH)
Scale: 1/8" = 1'-0" 2



(E) Rear North Elevation
Scale: 1/8" = 1'-0" 5



(E) Rear North Elevation
Scale: 1/8" = 1'-0" 3

Charon Residence

444 Fir Lane
Los Altos, CA 94024



ID	LATIN NAME	COMMON NAME	DBH	TPZ	NOTES
44	Quercus agrifolia	Coast live Oak	12.2		to remain
45	Quercus agrifolia	Coast live Oak	10.9		to remain
46	Quercus agrifolia	Coast live Oak	12		to remain
47	Quercus agrifolia	Coast live Oak	14.5		TO REMOVE
48	Quercus agrifolia	Coast live Oak	18		to remain
49	Quercus agrifolia	Coast live Oak	17.1		to remain
50	Quercus agrifolia	Coast live Oak	6.5		to remain
51	Pittosporum	Pittosporum undulatum	8.6		to remain
52	Quercus agrifolia	Coast live Oak	26.9		TO REMOVE
53	Quercus Lobata	Valley Oak	8		to remain
54	Sequoia sempervirens	Redwood	6		to remain
55	Quercus agrifolia	Coast live Oak	23.2		to remain

PARTIAL TREE CHART
- SEE ARBORIST REPORT -
ALL TREES TO REMAIN EXCEPT #47 AND #52

(N) TREE PROTECTIONS FENCING SEE ARBORIST REPORT

(N) EVERGREEN LANDSCAPE SCREENING "SILVER SHEEN" 15 GAL PITTIPOSPORUM TENUIFOLIUM SILVERSHEEN 5'-6" WILL GROW 12 TO 15 FT TALL UP TO 20 FT AT MATURITY GROWTH RATE: .75 MTR PER YEAR

DAYLIGHT PLANE REFERENCE POINT 332'

(E) TREE TO BE REMOVED SEE ARBORIST REPORT

NEW AC CONDENSER UNIT BRYANT 180B (2 - 5 Ton) EVOLUTION 20 AIR CONDITIONER WITH PURON REFRIGERANT WITH 66 DBA RATING OR SIMILAR, SOUND RATING TO COMPLY WITH CITY OF LOS ALTOS REQUIREMENTS.

(E) 200 AMP ELECTRIC METER WITH OVERHEAD ELECTRICAL LINE TO UTILITY POLE ON STREET. VERIFY IF AN ELECTRIC PANEL UPGRADE IS NECESSARY

(E) TREE TO BE REMOVED SEE ARBORIST REPORT

(E) UTILITY EASEMENT, SEE CIVIL SURVEY

(N) TREE PROTECTIONS FENCING SEE ARBORIST REPORT

(E) WATER METER

(E) POWER POLE

DESIGN REVIEW PACKAGE

Date	05/25/2021
Rev	Rev 1 04/06/2021

Sheet Title	Proposed Site Plan
Sheet No.	A1.1

Charon Residence

444 Fir Lane
Los Altos, CA 94024

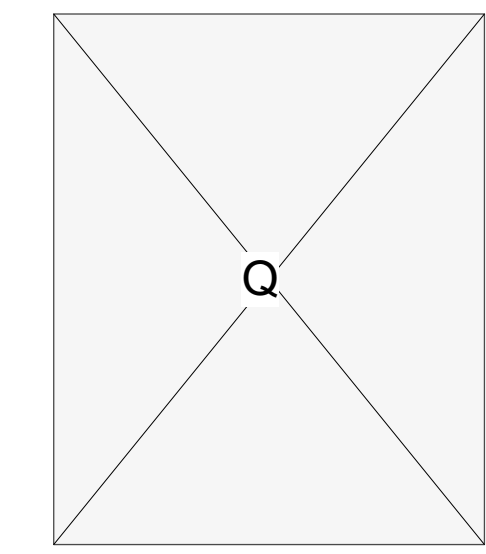


DESIGN REVIEW PACKAGE

Date	02/12/2021
Rev	

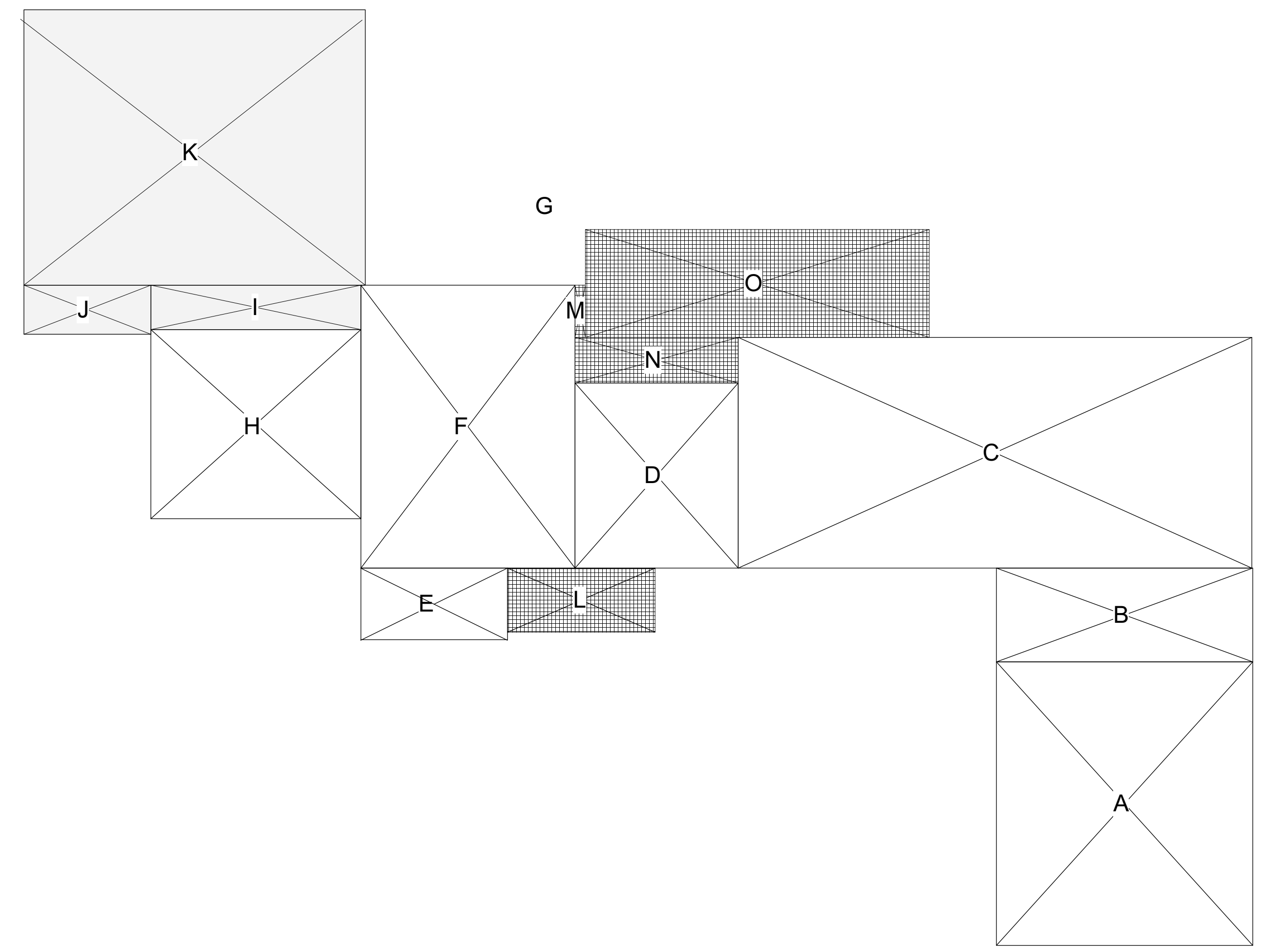
Sheet Title	Floor Area Calc's
Sheet No.	A1.2

SUMMARY TABLE		
Section	Dimensions	Area
(E) First Floor		
A - Garage	21'-10" X 24'-2"	527 SF
B	21'-10" X 8'-0"	175 SF
C	43'-10" X 19'-8"	862 SF
D	13'-11" X 15'-9"	219 SF
E	12'-6" X 6'-1"	76 SF
F	18'-3" X 24'-1"	439 SF
H	17'-11" X 16'-2"	290 SF
I	17'-11" X 3'-9"	67 SF
J	10'-10" X 4'-2"	45 SF
K	29'-0" X 23'-6"	682 SF
First Floor Area		3,382 SF
(E) Pool House		
R	11'-10" x 11'	130 SF
S	11'-10" x 11'	130 SF
(E) Shed		
U	10'-2" x 4'-3"	43 SF
Proposed Second Floor		
Q	17'-11" X 22'-1"	396 SF
TOTAL FLOOR AREA		4,081 SF
(E) Covered Porch		
L	12'-7" X 5'-6"	69 SF
M	0'-10" X 4'-5"	4 SF
N	13'-11" X 3'-11"	55 SF
O	29'-4" X 9'-2"	268 SF
P	11'-10" x 8'-5"	100 SF
Covered Porch		496 SF
TOTAL LOT COVERAGE		4,181 SF

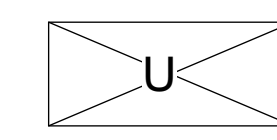
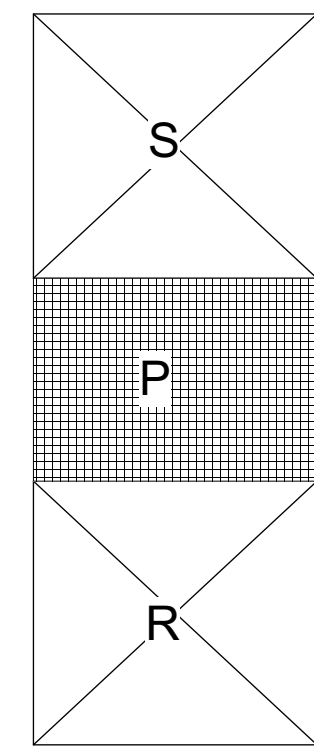
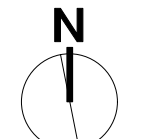


SECOND FLOOR AREA
Scale: 1/8" = 1'-0" 1

FLOOR AREA CALCULATION TABLE 3



GROUND FLOOR AREA
Scale: 1/8" = 1'-0" 2

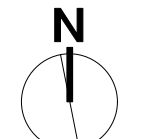


Charon Residence

444 Fir Lane
Los Altos, CA 94024



- (N) WALLS
- (E) WALLS TO REMAIN
- (E) WALLS TO REMAIN



PROPOSED GROUND FLOOR PLAN.
Scale: 1/4" = 1'-0"

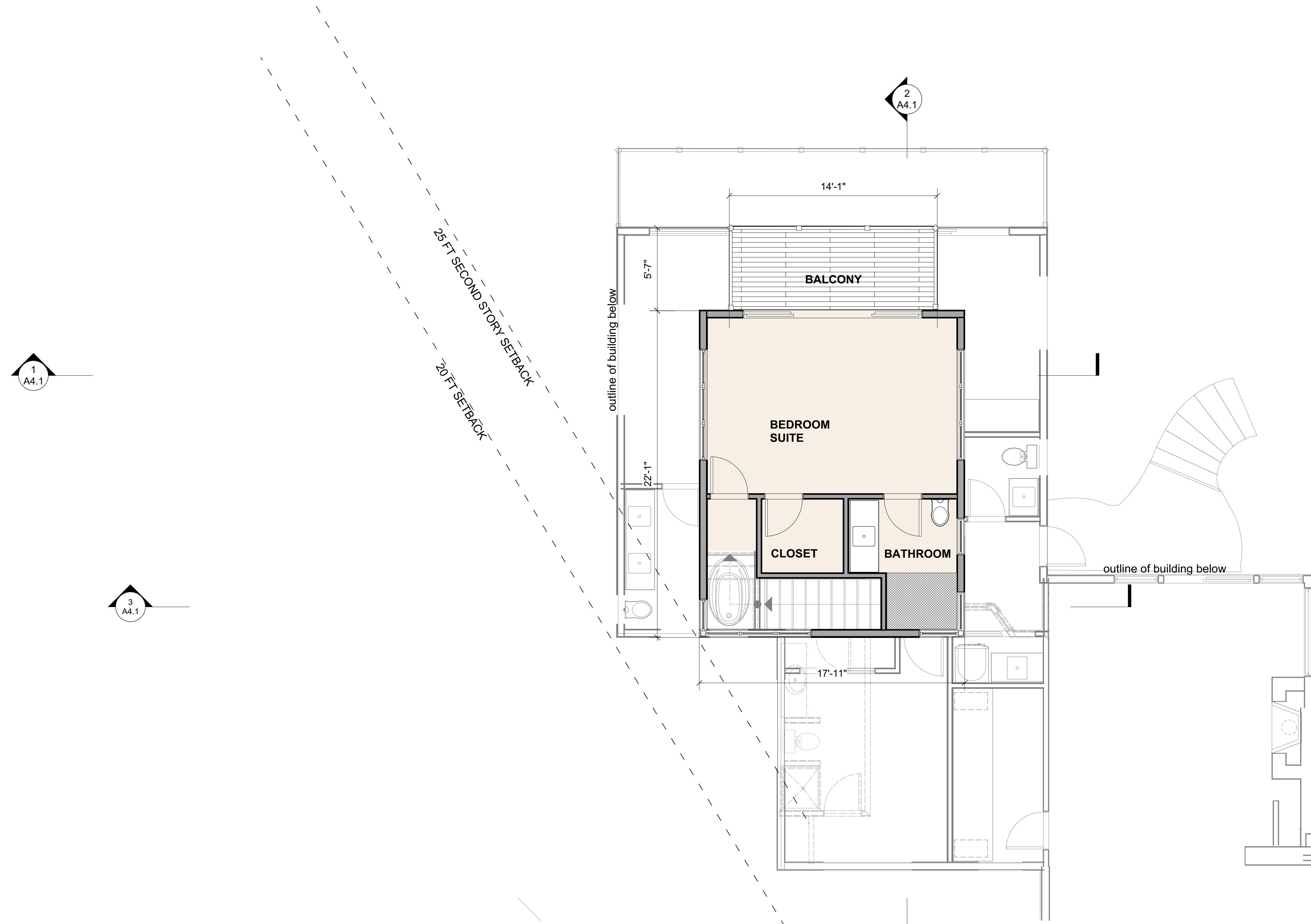
DESIGN REVIEW PACKAGE

Date	02/12/2021
Rev	

Sheet Title	Proposed Ground Floor Plan
Sheet No.	A2.1

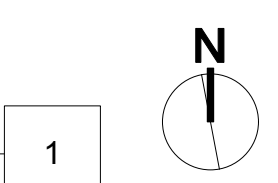
Charon Residence

444 Fir Lane
Los Altos, CA 94024



- (N) WALLS
- (E) WALLS TO REMAIN
- (E) WALLS TO REMAIN

PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



DESIGN REVIEW PACKAGE

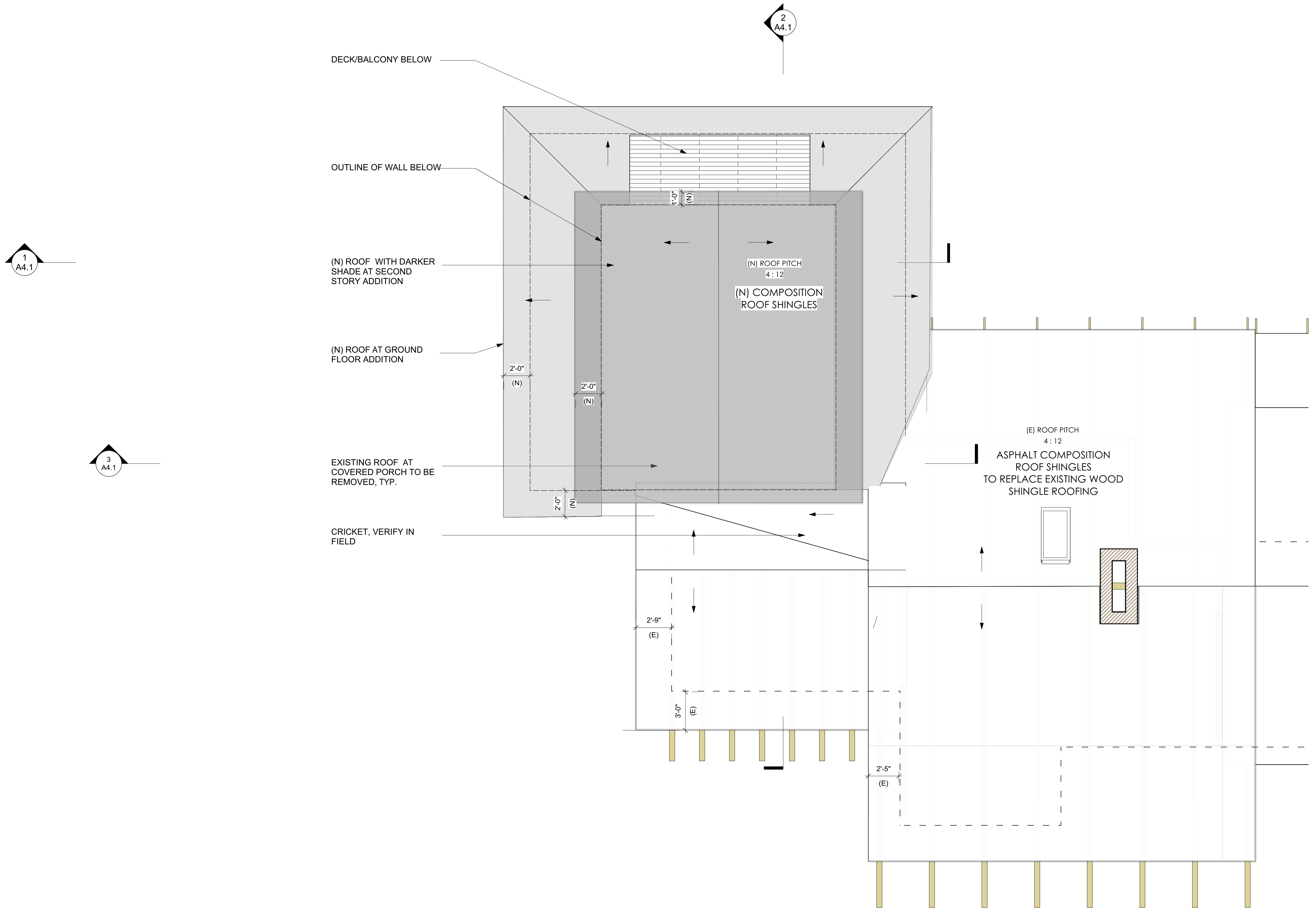
Date	02/12/2021
Rev	

Sheet Title
**Proposed
Second Floor
Plan**

Sheet No.
A2.2

Charon Residence

444 Fir Lane
Los Altos, CA 94024



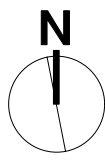
1
A4.1

2
A4.1

3
A4.1

PROPOSED ROOF PLAN
Scale: 1/4" = 1'-0"

1



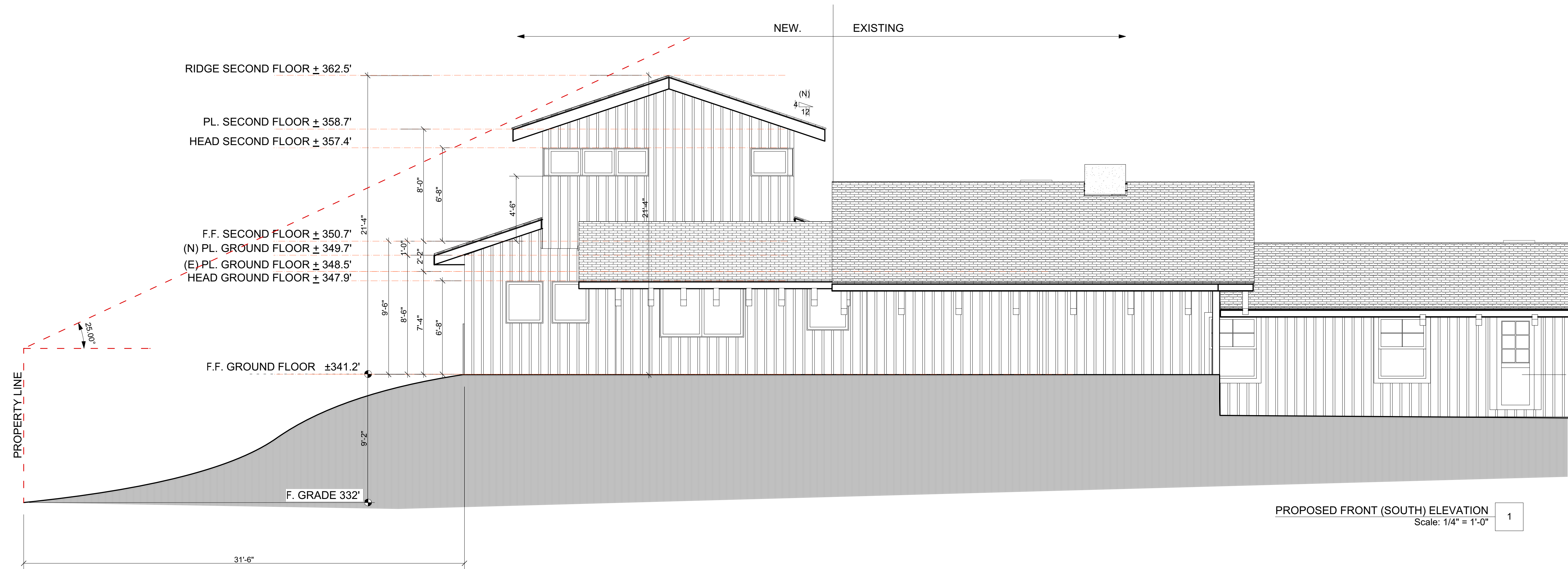
DESIGN REVIEW PACKAGE

Date	02/12/2021
Rev	

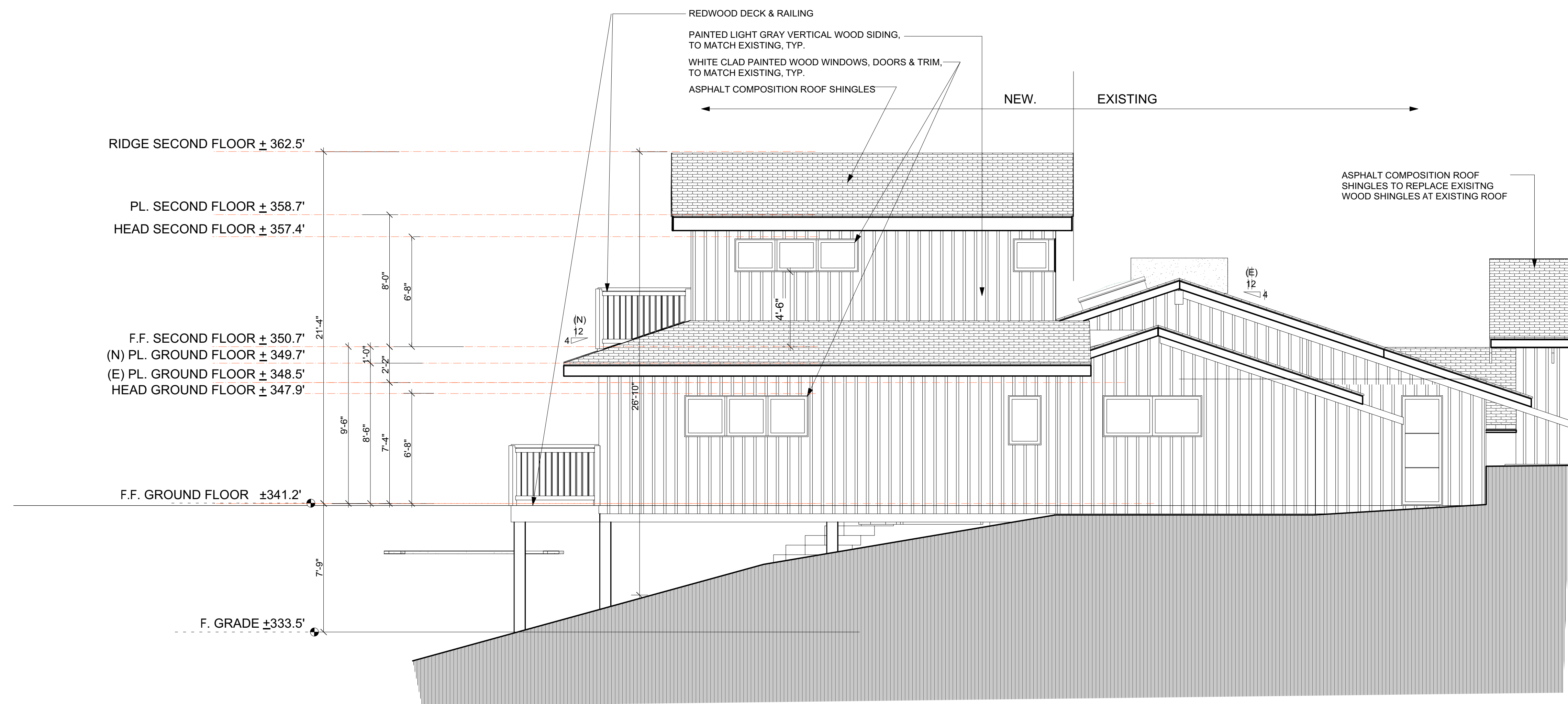
Sheet Title	Proposed Roof plan
Sheet No.	A2.3

Charon Residence

444 Fir Lane
Los Altos, CA 94024



PROPOSED FRONT (SOUTH) ELEVATION
Scale: 1/4" = 1'-0" 1



PROPOSED SIDE (WEST) ELEVATION
Scale: 1/4" = 1'-0" 2



DESIGN REVIEW PACKAGE

Date	02/12/2021
Rev	Rev 1 04/06/2021

Sheet Title
Proposed
Exterior
Elevations

Sheet No.
A3.1

Charon Residence

444 Fir Lane
Los Altos, CA 94024

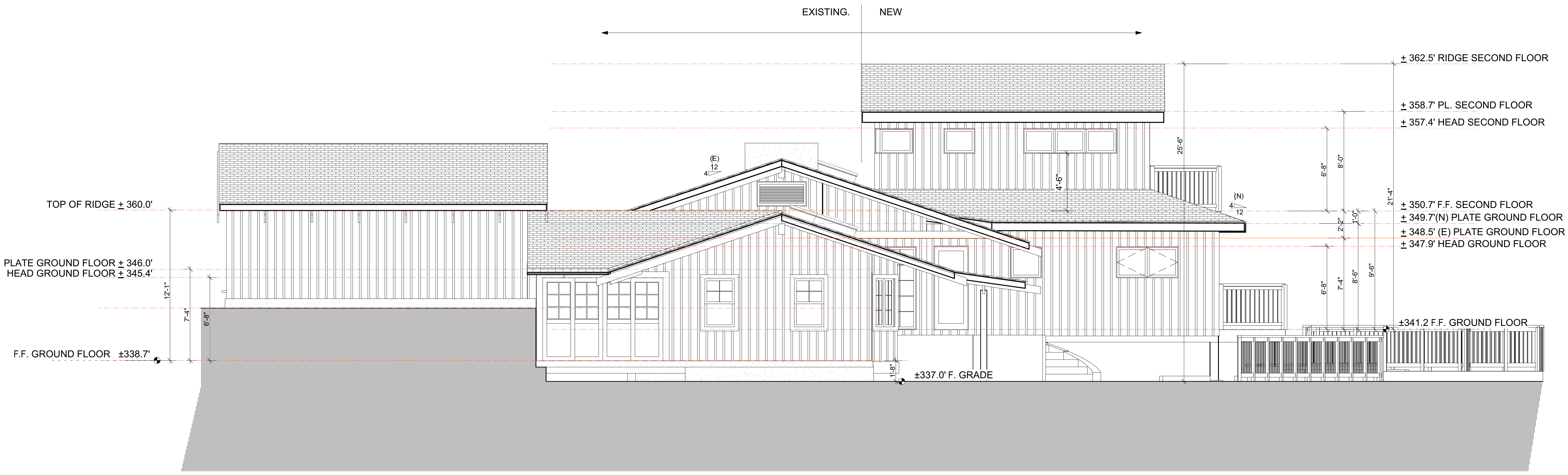


DESIGN REVIEW PACKAGE

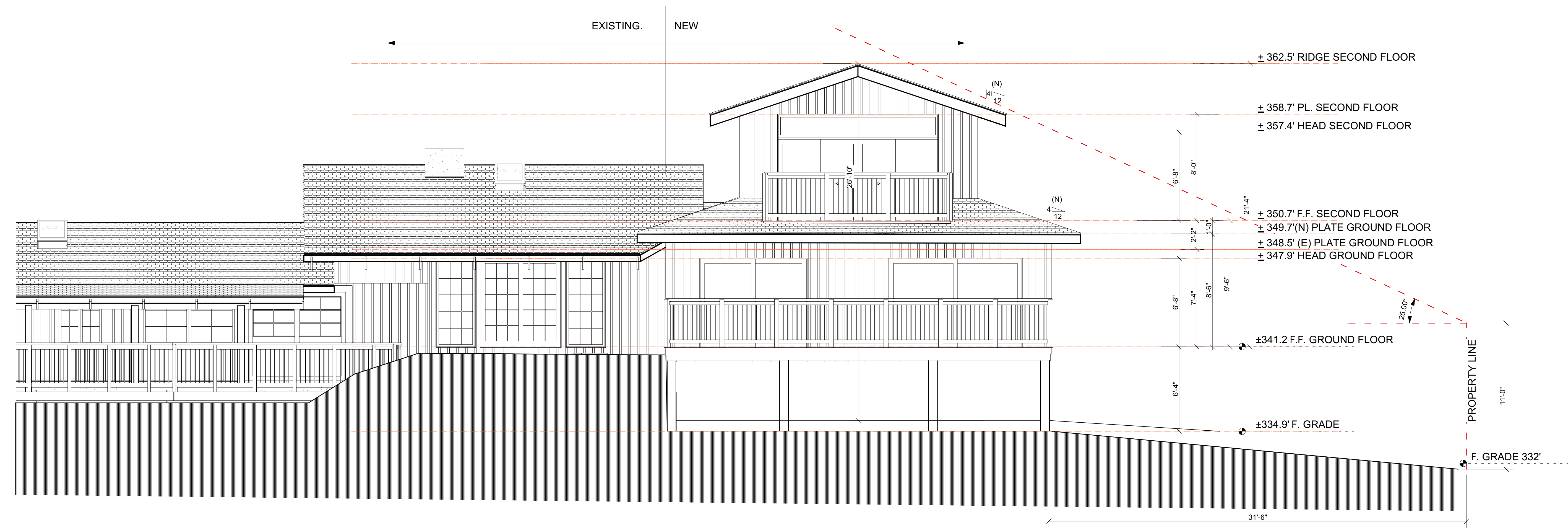
Date	02/12/2021
Rev	Rev 1 04/06/2021

Sheet Title
Proposed Exterior Elevations

Sheet No.
A3.2



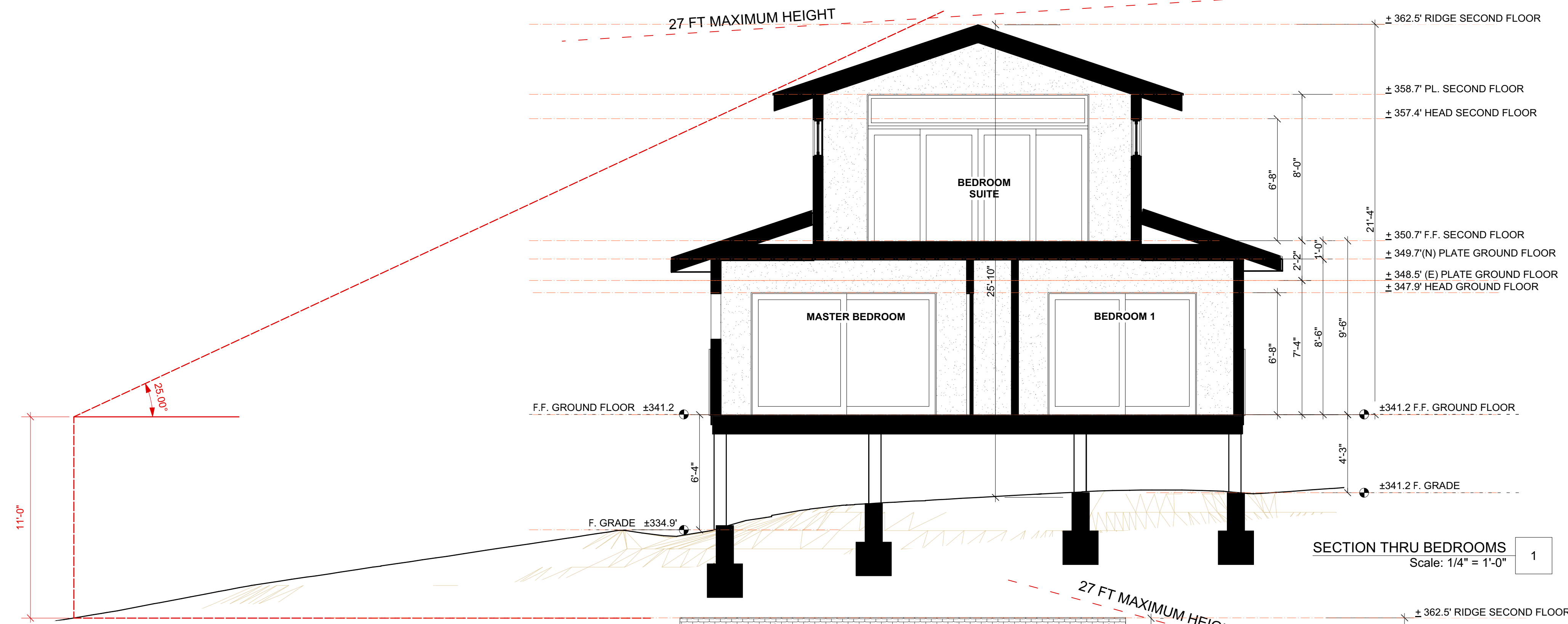
PROPOSED SIDE (East) Elevation
Scale: 1/4" = 1'-0" 1



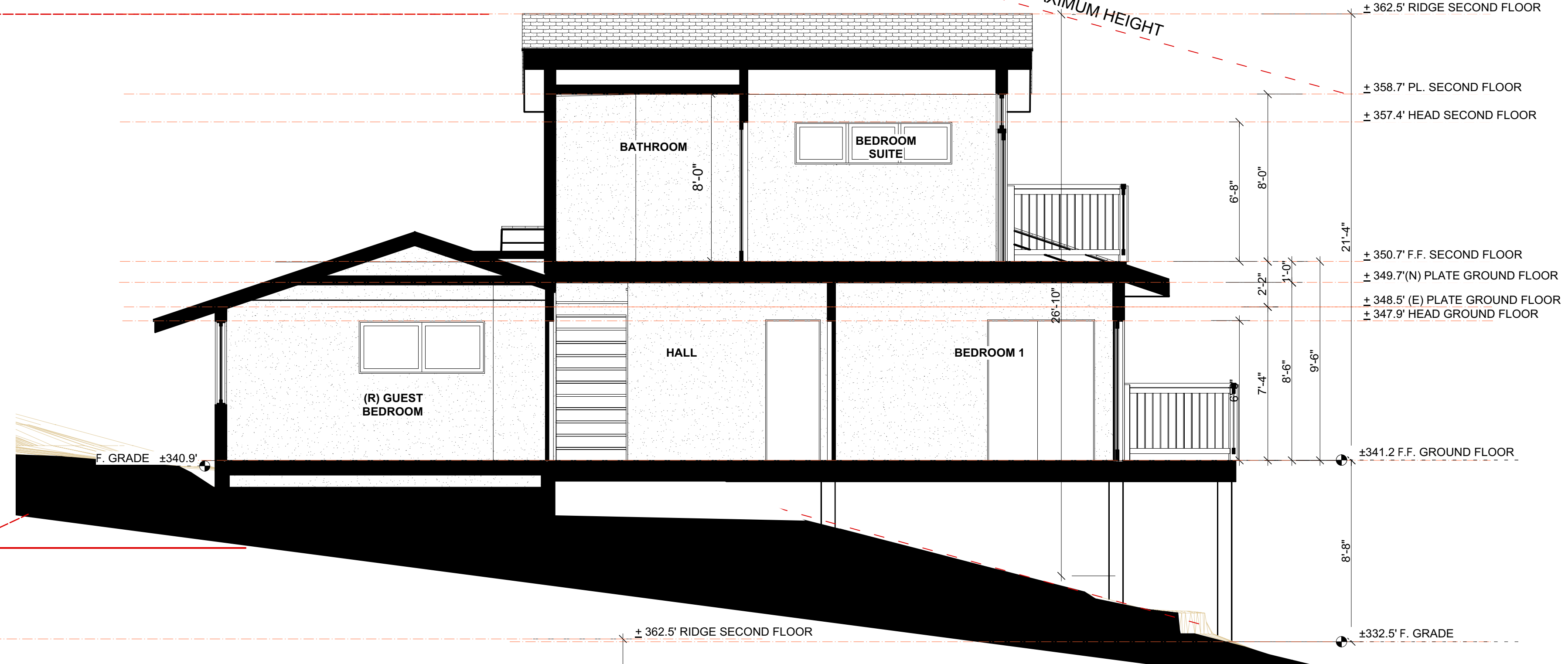
PROPOSED REAR (North) Elevation
Scale: 1/4" = 1'-0" 2

Charon Residence

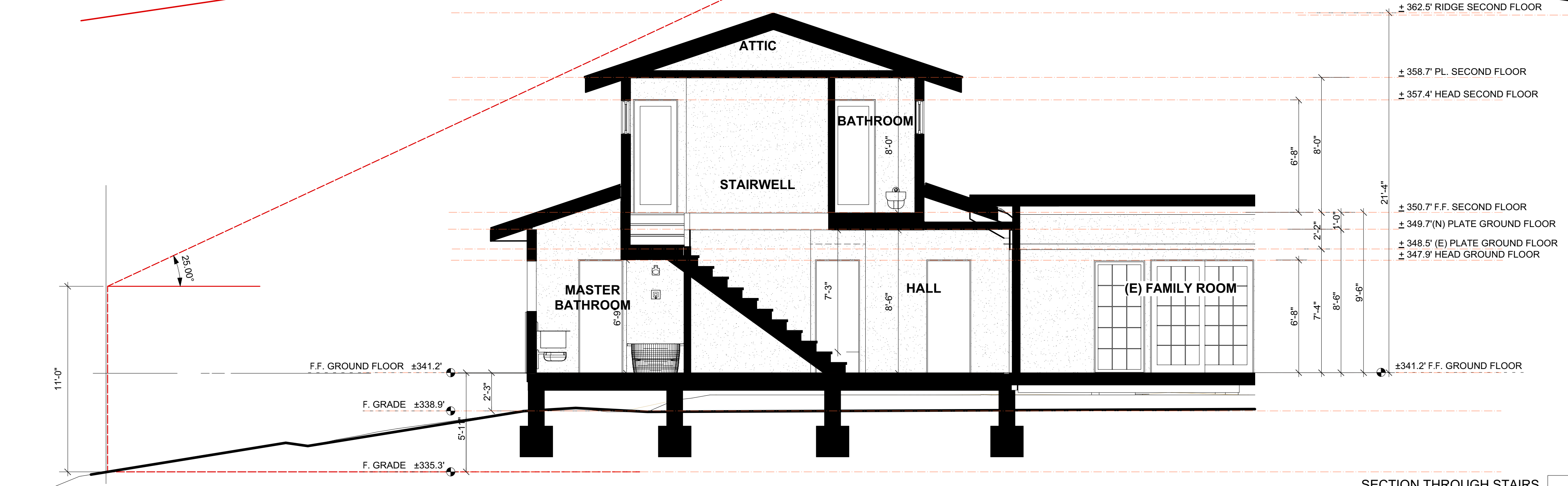
444 Fir Lane
Los Altos, CA 94024



SECTION THRU BEDROOMS
Scale: 1/4" = 1'-0" 1



SECTION THRU BALCONIES
Scale: 1/4" = 1'-0" 2



SECTION THROUGH STAIRS
Scale: 1/4" = 1'-0" 3

DESIGN REVIEW PACKAGE

Date	02/12/2021
Rev	Rev 1 04/06/2021

Sheet Title	Proposed Building Sections
Sheet No.	A4.1

Charon Residence

444 Fir Lane
Los Altos, CA 94024

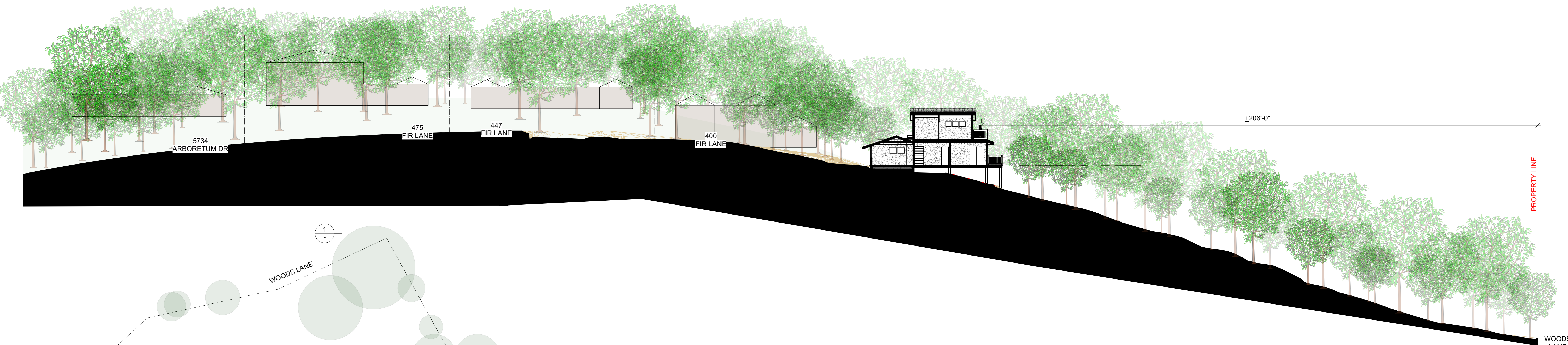


DESIGN REVIEW PACKAGE

Date	02/12/2021
Rev	Rev 1 04/06/2021

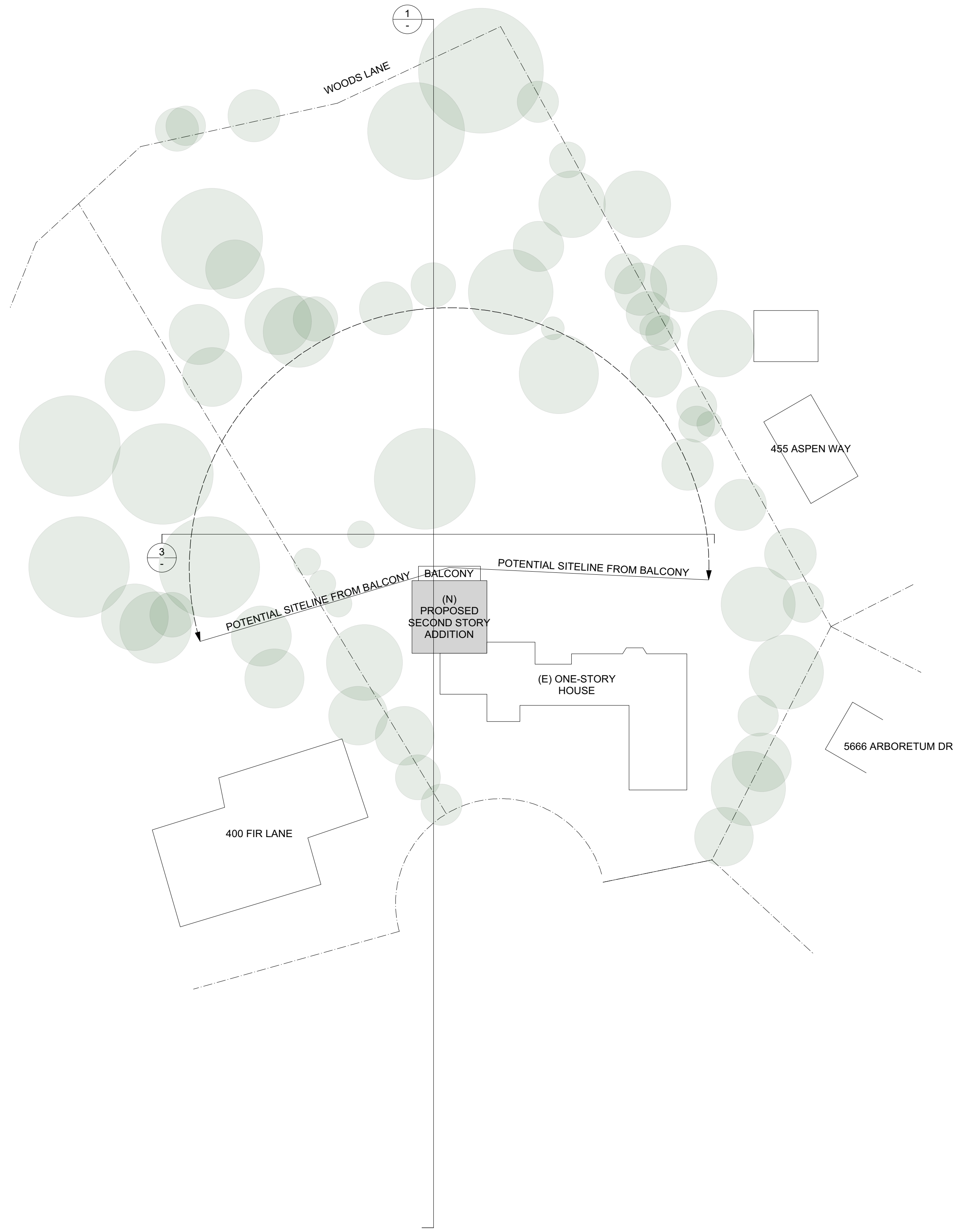
Sheet Title
Site Section + Streetscape

Sheet No.
A4.2



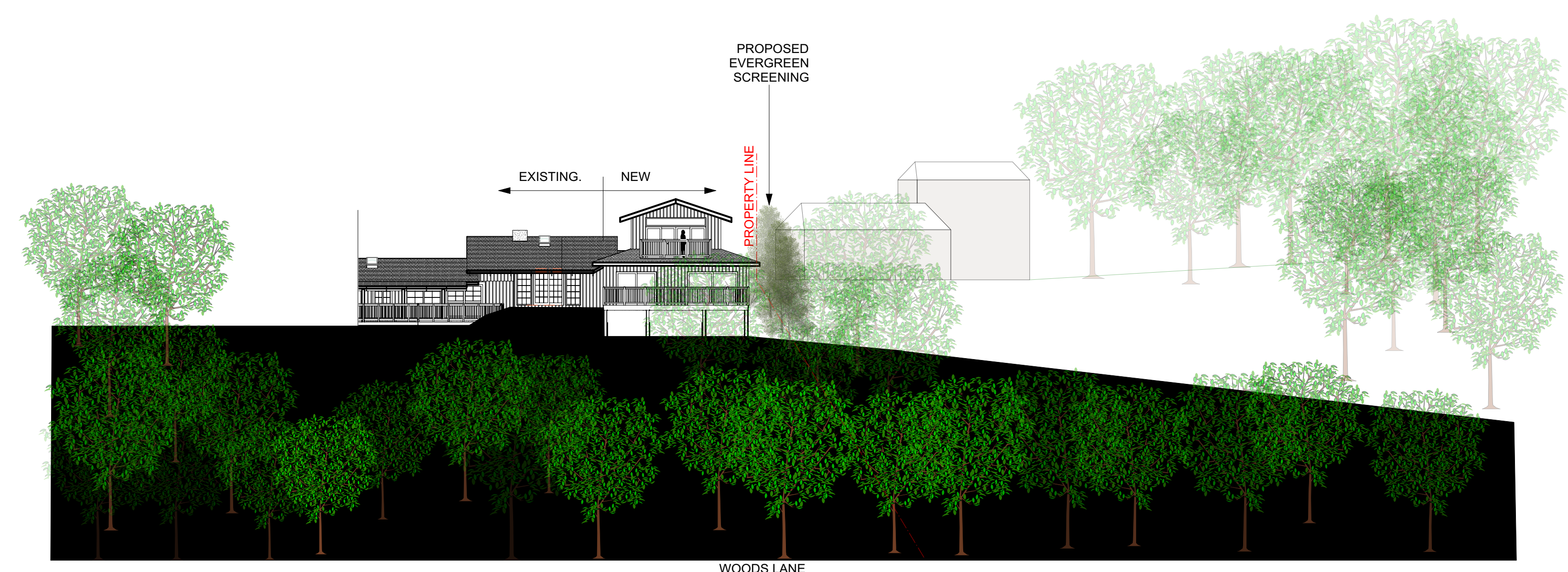
SITE SECTION/STREETSCAPE
Scale: 1:220

1



SITE MAP
NTS

2



PROPOSED REAR (North) ELEVATION W/ NEIGHBORING STRUCTURE
Scale: 1:220

3



360 design studio
ARCHITECTURE
1491 BEN ROE DRIVE
LOS ALTOS, CA 94024
phone 650.360.2905
info@360designstudio.net

Charon Residence

444 Fir Lane
Los Altos, CA 94024



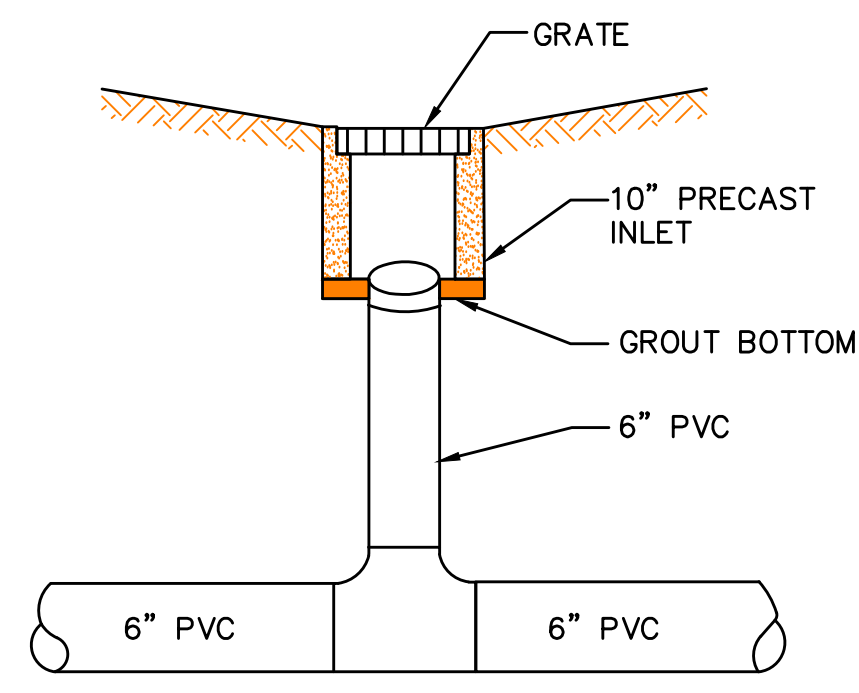
DESIGN REVIEW PACKAGE

Date	02/12/2021
Rev	

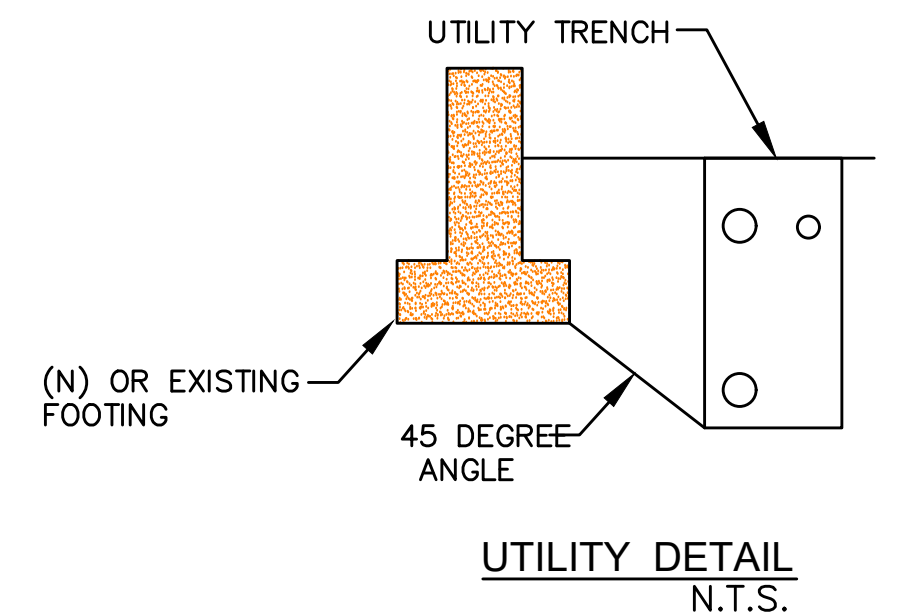
Sheet Title	3D Views
Sheet No.	A5

GRADING AND DRAINAGE CONSTRUCTION NOTES:

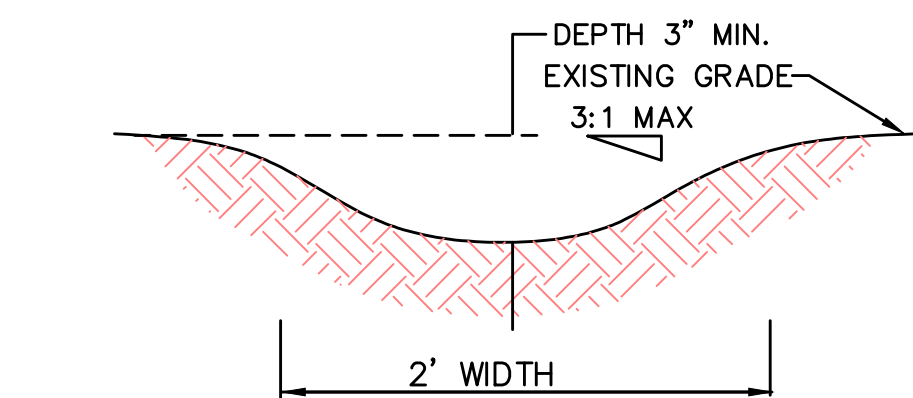
- 1 TIE HOUSE/ADU ROOF DOWNSPOUTS WITH 4" PVC (SDR-35) @ S=0.5% MIN.
- 2 DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND SLOPE 5% FOR AT LEAST 10 FEET, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
- 3 APPROXIMATE LOCATION OF 4" PERFORATED PIPE @ S=1% MIN. FOOTING DRAIN. SEE DETAIL ON C-4.
- 4 6" PVC (SDR-35) @ S=0.5% MIN.
- 5 APPROXIMATE LOCATION OF FOOTING DRAIN CLEAN-OUT- TYP. (SEE DETAIL).
- 6 4" PVC (SDR-35) @ S=0.5% MIN.
- 7 (N) EARTH SWALE.



AREA DRAIN DETAIL
N.T.S.



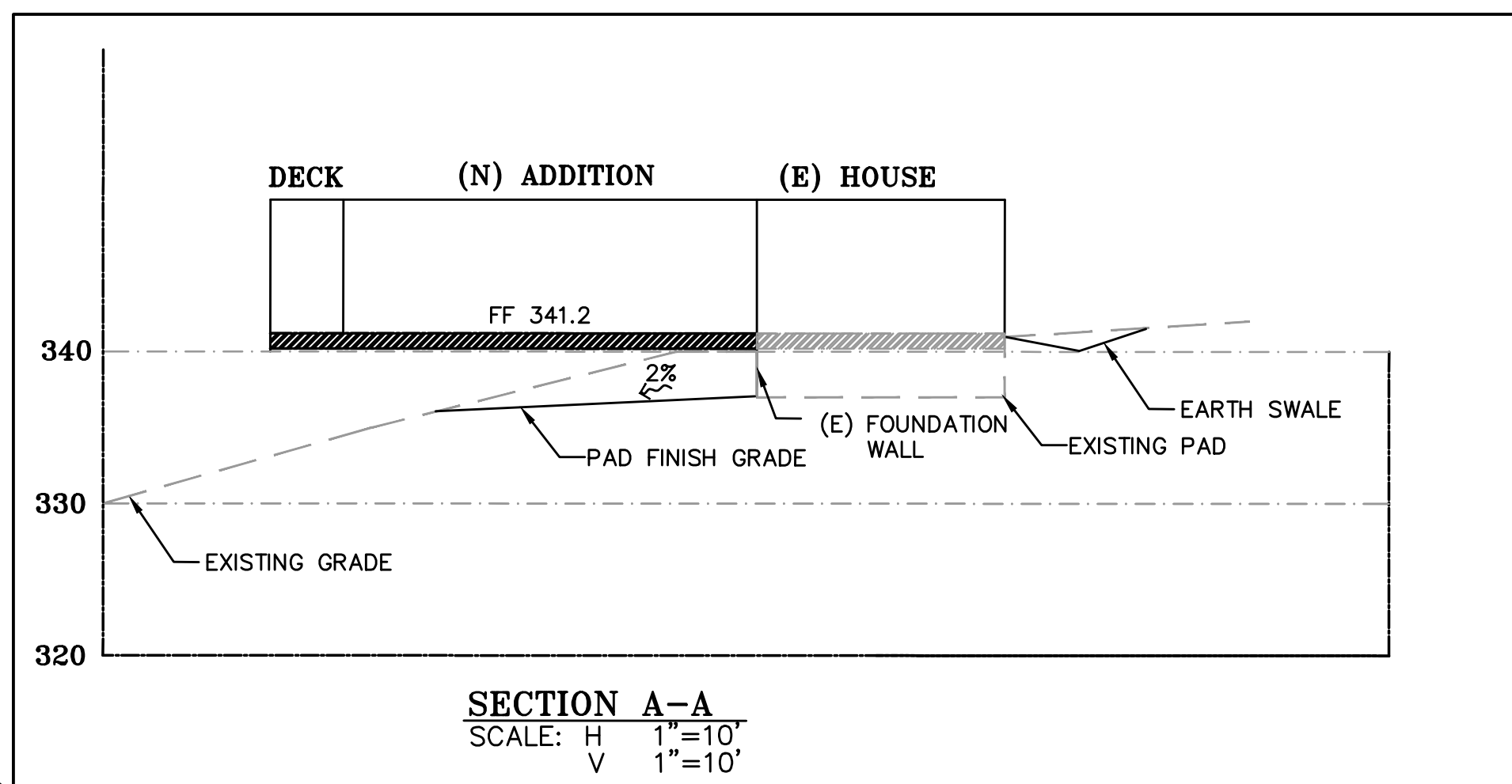
UTILITY DETAIL
N.T.S.



EARTH SWALE DETAIL
N.T.S.

MAINTENANCE NOTES

1. OWNER IS RESPONSIBLE FOR MAINTAINING ALL INLETS, RETENTION SYSTEM AND INFILTRATION DEVICE FROM TRASH, DEBRIS & SEDIMENTS.
2. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.



SECTION A-A
SCALE: H 1"=10'
V 1"=10'

DRAINAGE NOTES:

- 1 AD RIM 342.0±
INV 340.0±
- 2 AD RIM 341.0±
INV 339.0±
- 3 AD RIM 341.0±
INV 339.2±
- 4 AD RIM 339.4±
INV 337.0±

LEGEND:

AREA DRAIN
(CHRISTY BOX V-1)
OR EQUAL



NIR ENGINEERING
SERVICES CO.

555 WEBSTERIDGE DRIVE
SAN JOSE, CALIFORNIA 95128
(408) 348-7883

CALIFORNIA

44 FIR LANE

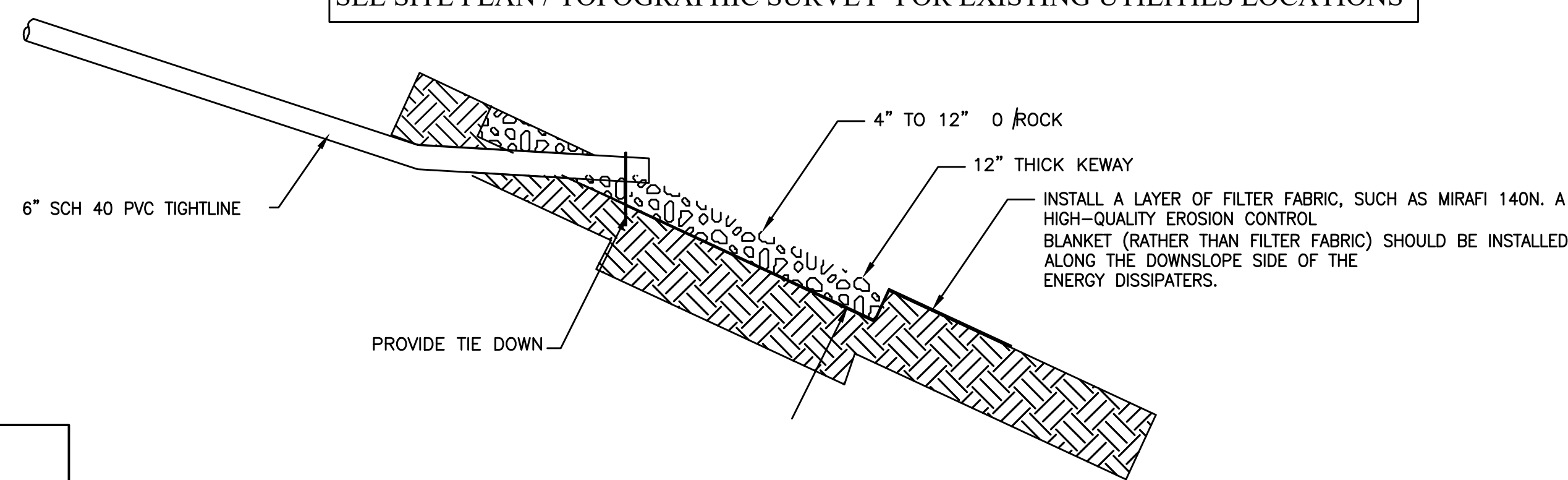
LOS ALTOS

SANTA CLARA COUNTY

MINOR GRADING
AND
DRAINAGE PLAN

TOPOGRAPHIC SURVEY PREPARED BY CARNES & EKPARIAN INC.

SEE SITE PLAN / TOPOGRAPHIC SURVEY FOR EXISTING UTILITIES LOCATIONS



NOTE: ENDS OF SURFACE DRAINAGE DISCHARGE PIPE SHOULD NOT BE CAPPED. PERIODIC MAINTENANCE IS REQUIRED TO KEEP DISCHARGE FREE FROM BLOCKAGE.

ENERGY DISSIPATOR DETAIL

N.T.S.

SHEET INDEX

GRADING AND DRAINAGE PLAN	C-1
EROSION CONTROL PLAN	C-2

ABBREVIATION

AD	AREA DRAIN
CO	CLEANOUT
(E)	EXISTING
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SLAB
INV	INVERT
(N)	NEW
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
RDS	ROOF DOWNSPOUT
CB	CATCH BASIN

DESCRIPTION

PROPERTY LINE
CENTERLINE
SANITARY SEWER
STORM DRAIN LINE
DRAINAGE FLOW
REMOVE TREE

LEGEND

---	PROPERTY LINE
---	CENTERLINE
---	SANITARY SEWER
---	STORM DRAIN LINE
---	DRAINAGE FLOW
✕	REMOVE TREE

NOTE:

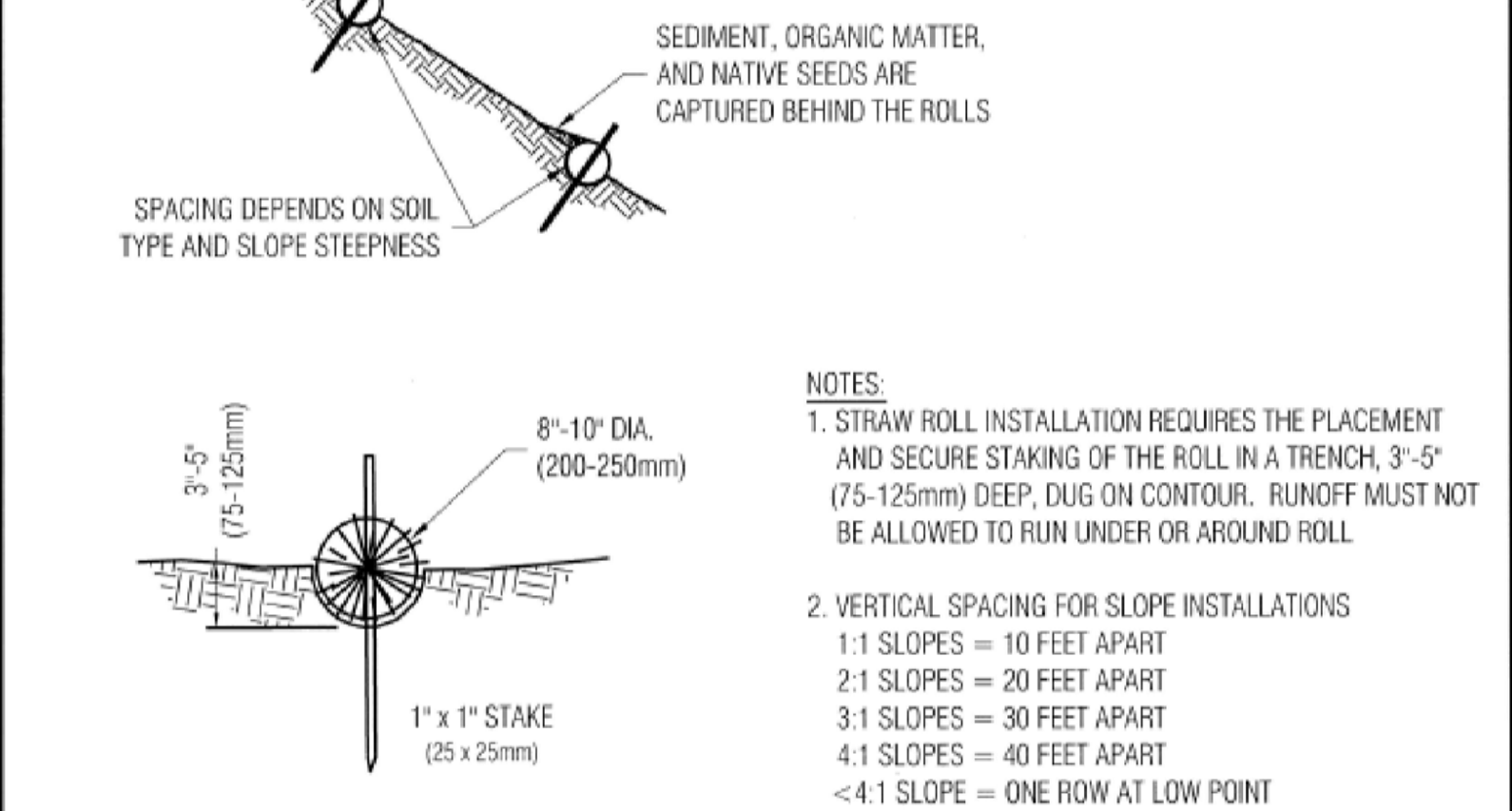
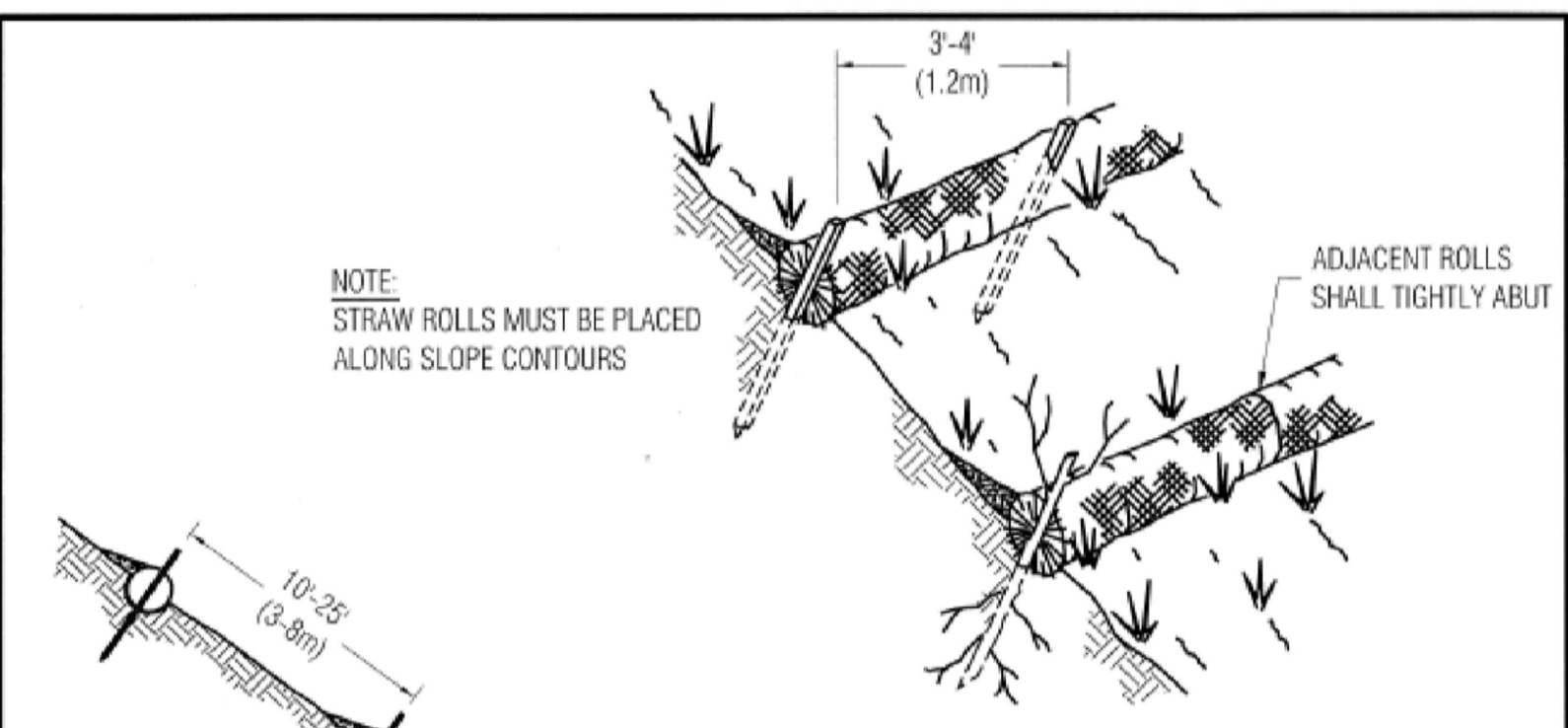
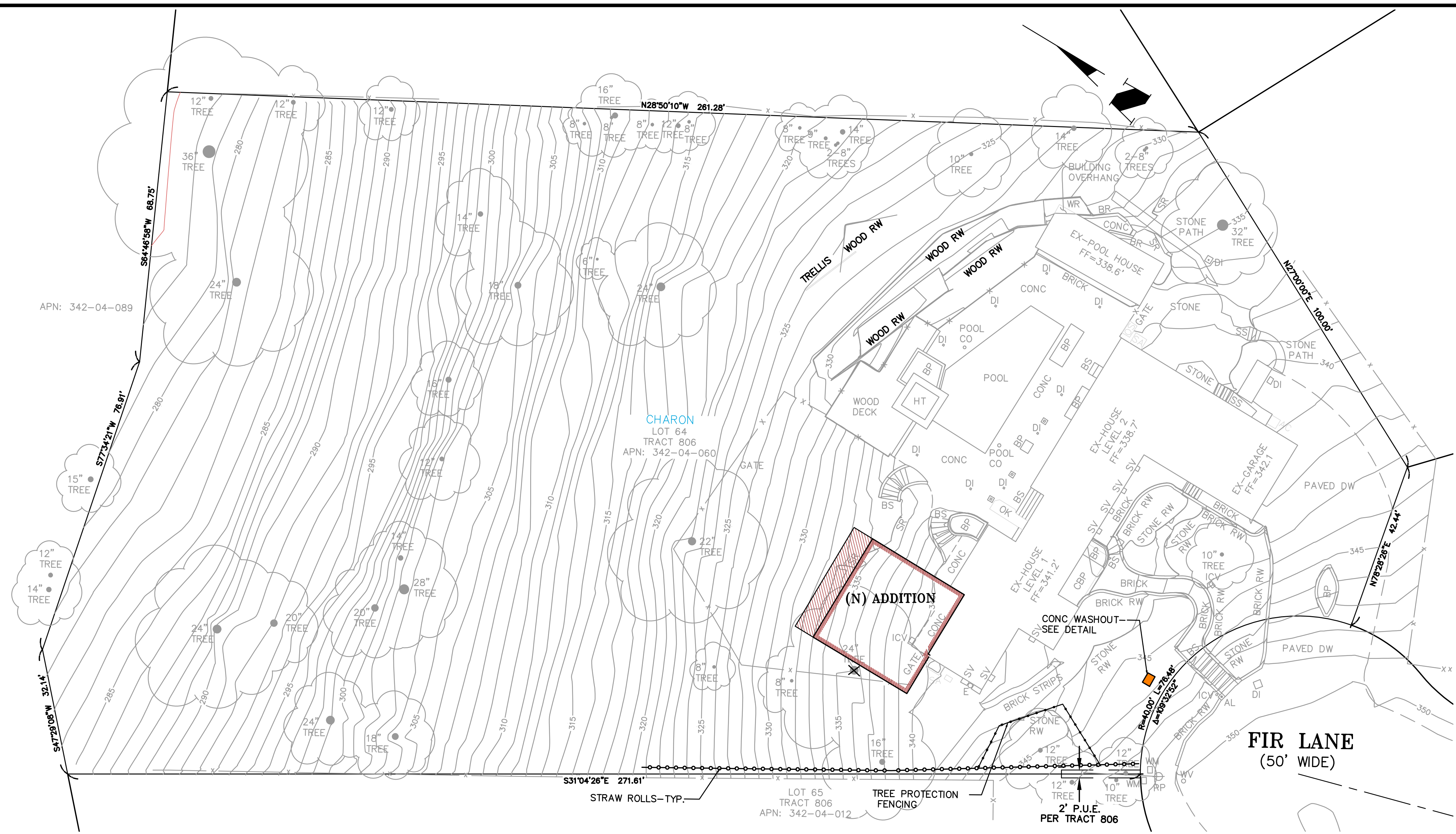
THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE CITY OF LOS ALTOS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

APPROXIMATE CUT REQUIRED	65± CY
FILL REQUIRED	0± CY

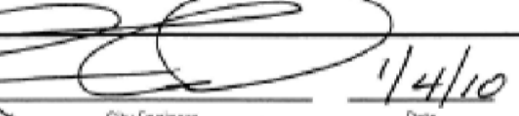
REVISIONS	DATE
JOB NO:	
DATE:	2-8-2021
SCALE:	1"=10'
DRAWN BY:	NR
SHEET NO:	C-1
OF 2 SHEETS	

EROSION AND SEDIMENT CONTROL NOTES:

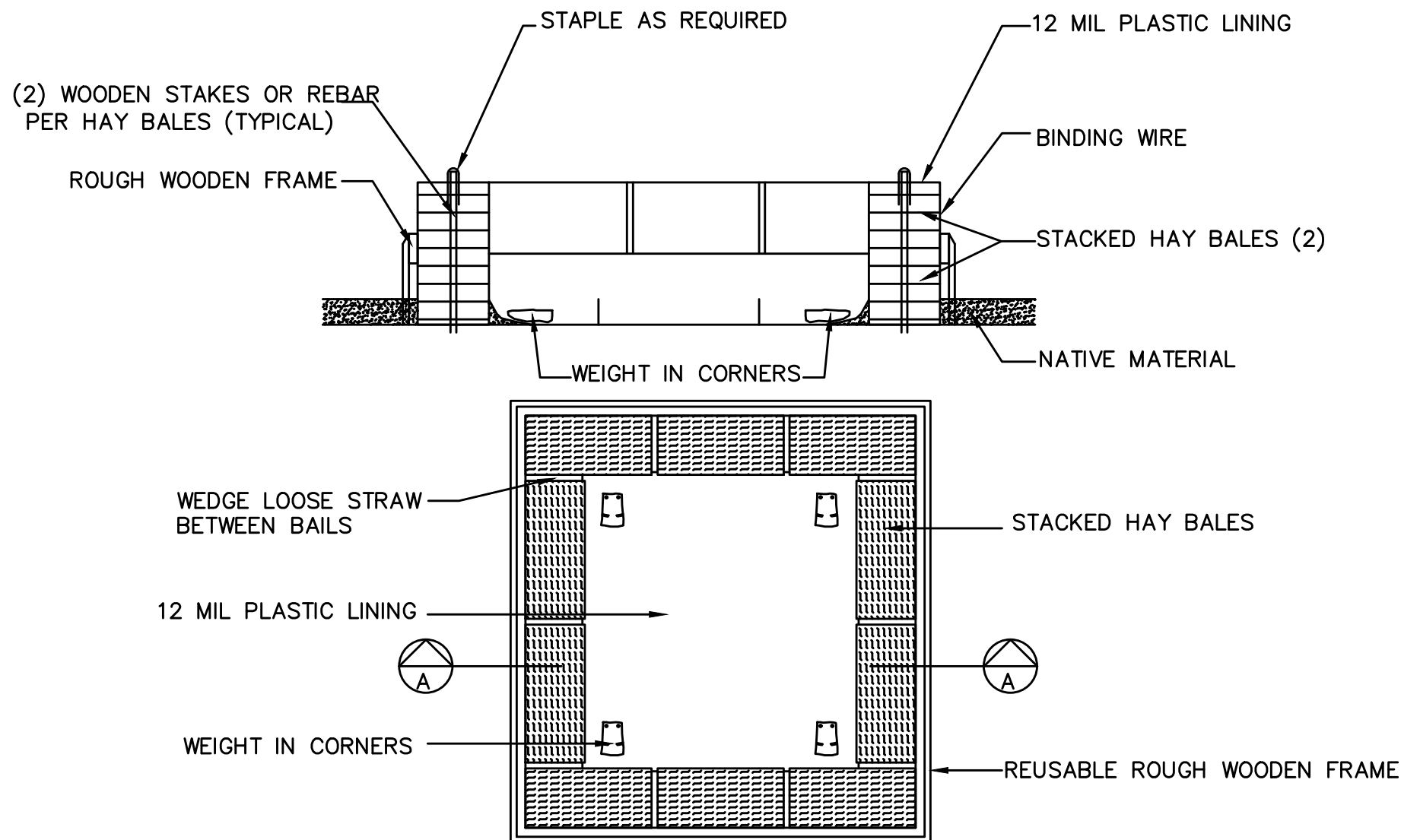
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN CONFORMANCE WITH THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT AND AS REQUIRED BY THE STATE OF CALIFORNIA WATER RESOURCES CONTROL BOARD ORDER R2-2003-0021 AND NPDES PERMIT NO. CAS 0029831.
- THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
- IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLAIN WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
- NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG RIGHT-OF-WAY).



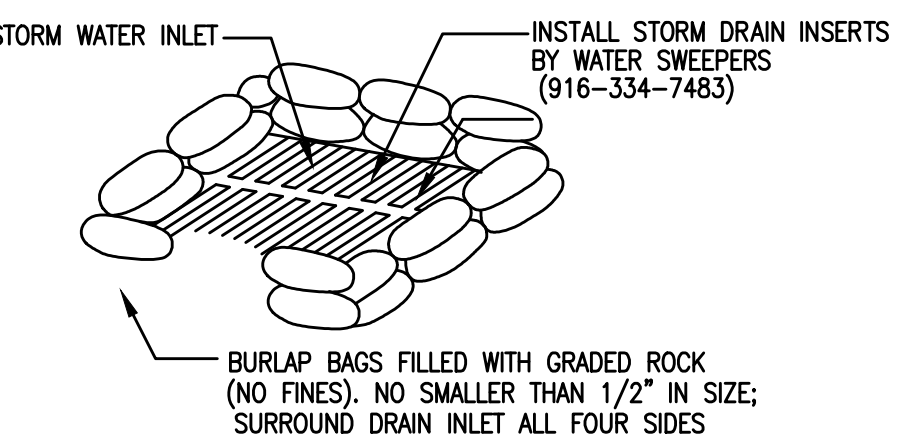
- NOTES:**
- STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3'-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
 - VERTICAL SPACING FOR SLOPE INSTALLATIONS
 - 1:1 SLOPES = 10 FEET APART
 - 2:1 SLOPES = 20 FEET APART
 - 3:1 SLOPES = 30 FEET APART
 - 4:1 SLOPES = 40 FEET APART
 - <4:1 SLOPE = ONE ROW AT LOW POINT
 - REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

Approved:  1/4/10
City Engineer Date

REVISION		ENGINEERING DIVISION	
Description	Date		
		STRAW ROLLS	EC-4



TEMPORARY CONCRETE WASHOUT FACILITY (ABOVE GRADE)
NTS



- NOTES:**
- THICKNESS OF FILLED BAGS WHEN LAID SHALL NOT EXCEED 4".
 - ENSURE THERE ARE NO GAPS BETWEEN THE BAGS.
 - REMOVE ACCUMULATED SILT, AND DEBRIS BEFORE IT EXCEEDS 2" THICK ON THE SIDES.
 - INSPECT INLET PROTECTION DAILY DURING EXTENDED RAINFALL PERIODS AND BEFORE AND AFTER EACH RAIN EVENT.

BURLAP SACK DRAIN INLET (D.I.) SEDIMENT FILTER DETAIL
NTS



NNR ENGINEERING
SERVICES CO.
555 WEBSTER DRIVE
LOS ALTOS, CALIFORNIA 94022
(408) 346-7000

44 FIR LANE
LOS ALTOS
SANTA CLARA COUNTY
CALIFORNIA

EROSION CONTROL PLAN

REVISIONS	DATE

JOB NO:
DATE: 2-8-2021
SCALE: 1" = 10'
DRAWN BY: NR
SHEET NO:

LOT 61
TRACT 806
APN: 342-04-008

PORTION LOT 6
TRACT 806
APN: 342-04-007

LOT 62
TRACT 806
APN: 342-04-009

LOT 63
TRACT 806
APN: 342-04-059

LOT 65
TRACT 806
APN: 342-04-012

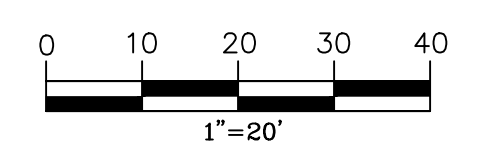
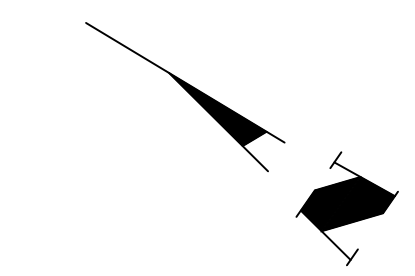
LOS ALTOS AVERAGE SLOPE CALCULATIONS

CHARON PROPERTY - APN: 342-04-060

$$S = \frac{0.0023 \times 1 \times L}{A} \Rightarrow S = \frac{0.0023 \times 1 \times 12,990.85}{1.149 \text{ ACRES}}$$

S = 26.004
S = AVERAGE SLOPE = 26.0%

I = CONTOUR INTERVAL IN FEET = 1 FT.
 L = COMBINED LENGTH OF CONTOUR LINES = 12990.85 FT.
 A = GROSS AREA IN ACRES OF THE PARCEL = 1.149 ACRES



LEGEND

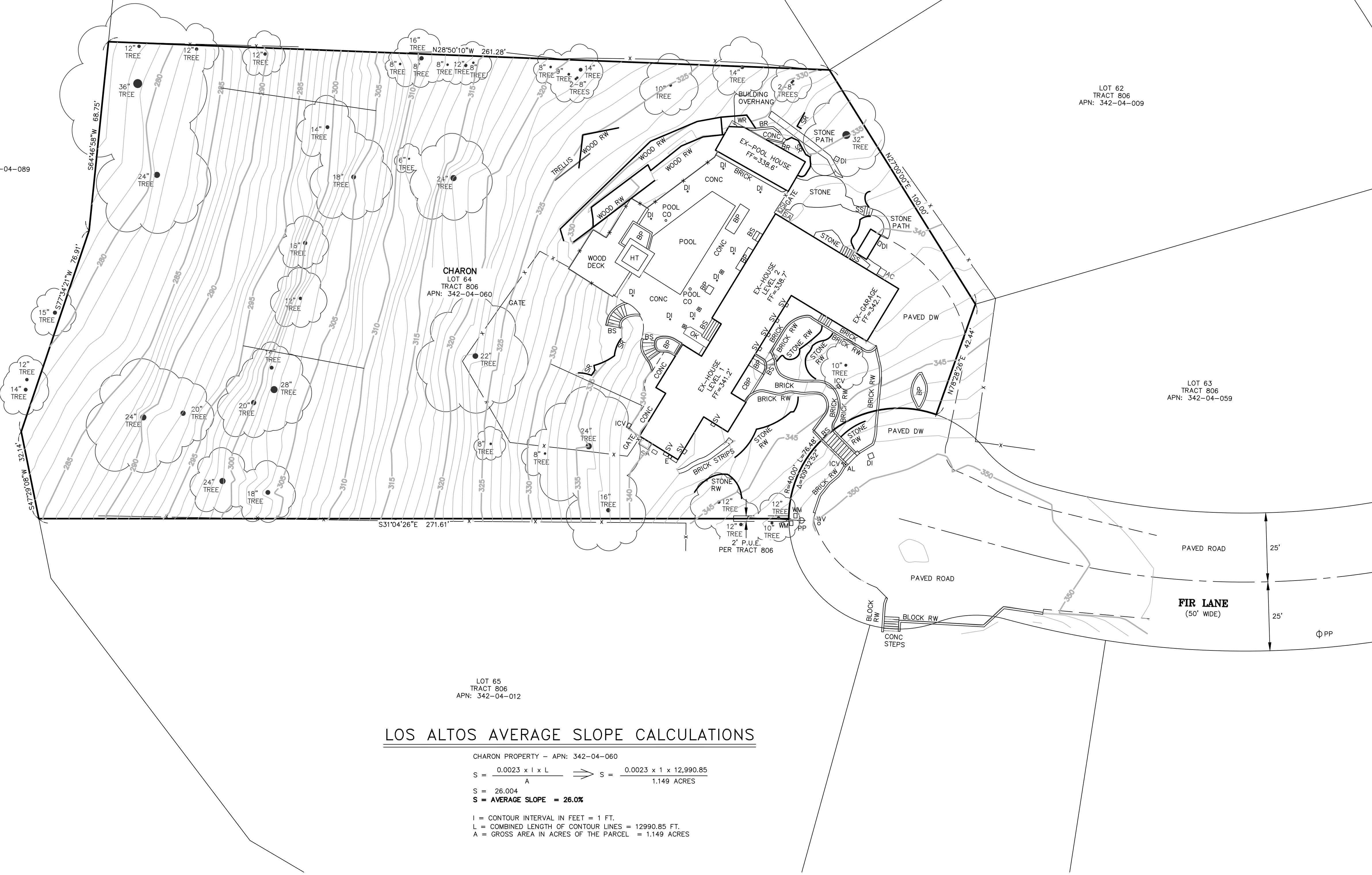
	PROPERTY BOUNDARY
	LOT LINE
	CENTER LINE
	EASEMENT LINE
	PAVEMENT
	CONCRETE/LIP OF GUTTER
	FENCE
	FLOW LINE
	TIELINE

ABBREVIATIONS

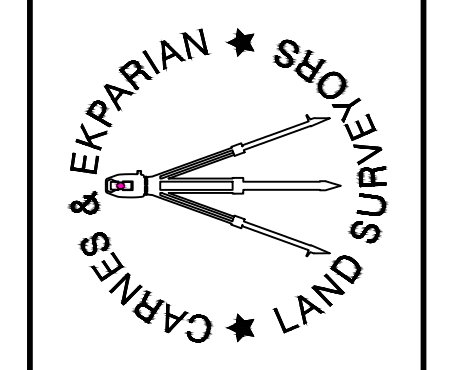
AC	AIR CONDITIONER UNIT
AL	AREA LIGHT
BP	BRICK PLANTER
BR	BLOCK RETAINING WALL
BS	BRICK STEPS
CBP	COVERED BRICK PORCH
CH	CHIMNEY
CP	COVERED PORCH
DI	DRAIN INLET
DL	DRIP LINE
DW	DRIVE WAY
E	ELECTRICAL METER
FF	FINISH FLOOR
FH	FIRE HYDRANT
G	GAS METER
ICV	IRRIGATION CONTROL VALVE
OK	OUTDOOR KITCHEN
OS	OUTDOOR SHOWER
PP	POWER POLE
R.O.W.	RIGHT OF WAY
SA	SUBFLOOR ACCESS
SR	STONE RETAINING WALL
SS	STONE STEPS
SSCO	SANITARY SEWER CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
SV	SUBFLOOR VENT
TP	TELEPHONE POLE
WM	WATER METER
WR	WOOD RETAINING WALL
WV	WATER VALVE

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP, IF SHOWN, ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP, IF SHOWN, ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



Carnes & Ekparian, Inc.
 LAND SURVEYORS
 9505 SUGAR BABE DRIVE GILROY, CA 95020
 T: (408) 847-2013 F: (408) 846-7248
 EMAIL: OFFICE@CE-PLS.COM



No.	DATE	REVISION

**TOPOGRAPHIC MAP
 FOR MARK CHARON
 444 FIR LANE
 TOWN OF LOS ALTOS, CALIF.**

SHEET	DATE :	08-12-20
1	SCALE :	1"=20'
OF	DRAWN BY :	T.W.
1	PROJ. MANAGER :	G.C.
Job No. 2077		
DWG: CHARON		