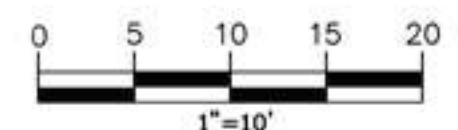
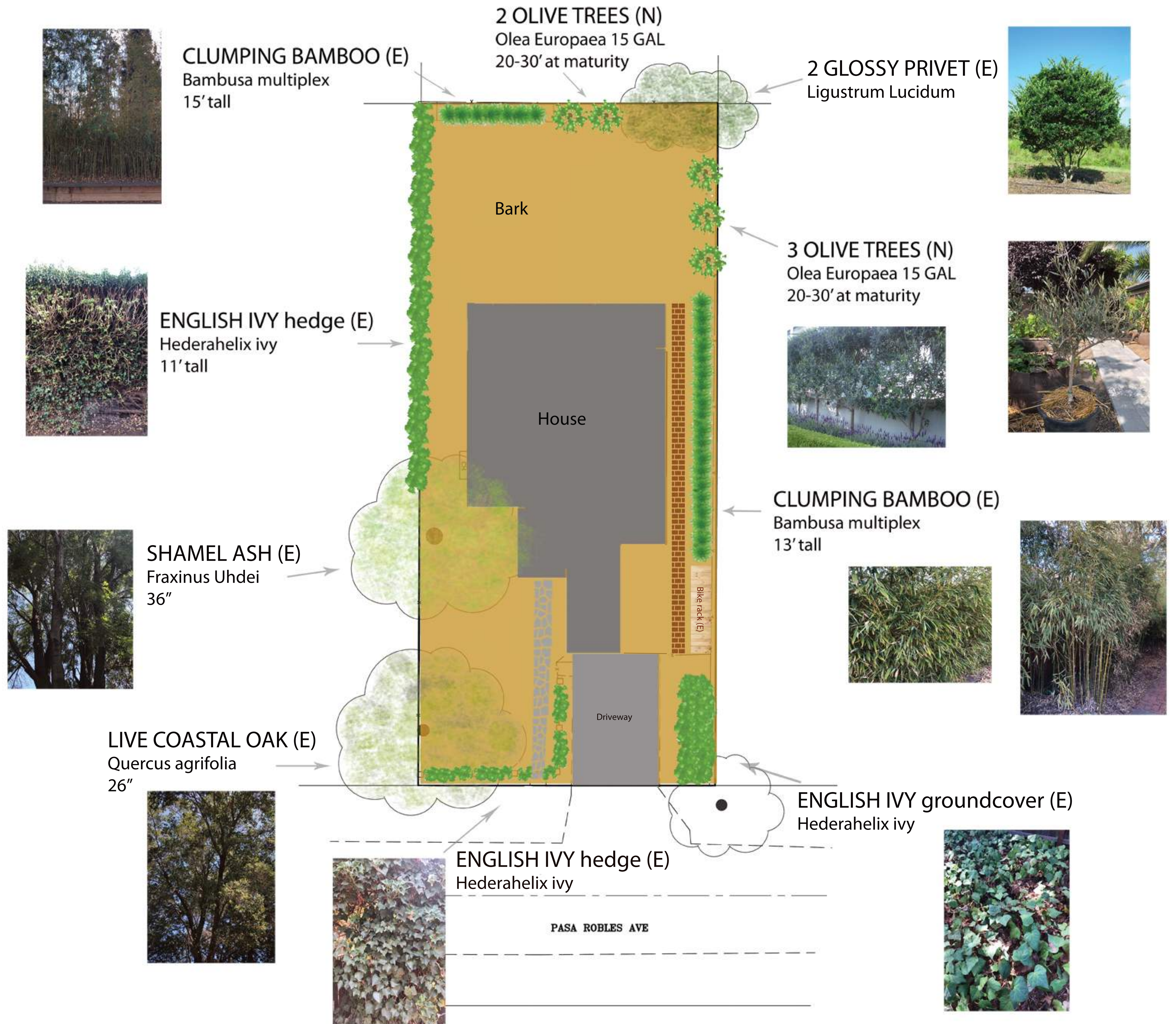




# Landscape Plan

110 Pasa Robles Ave, Los Altos, CA 94022

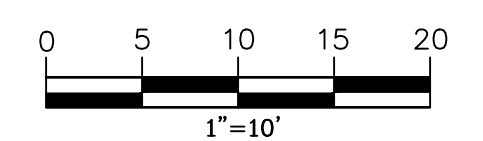
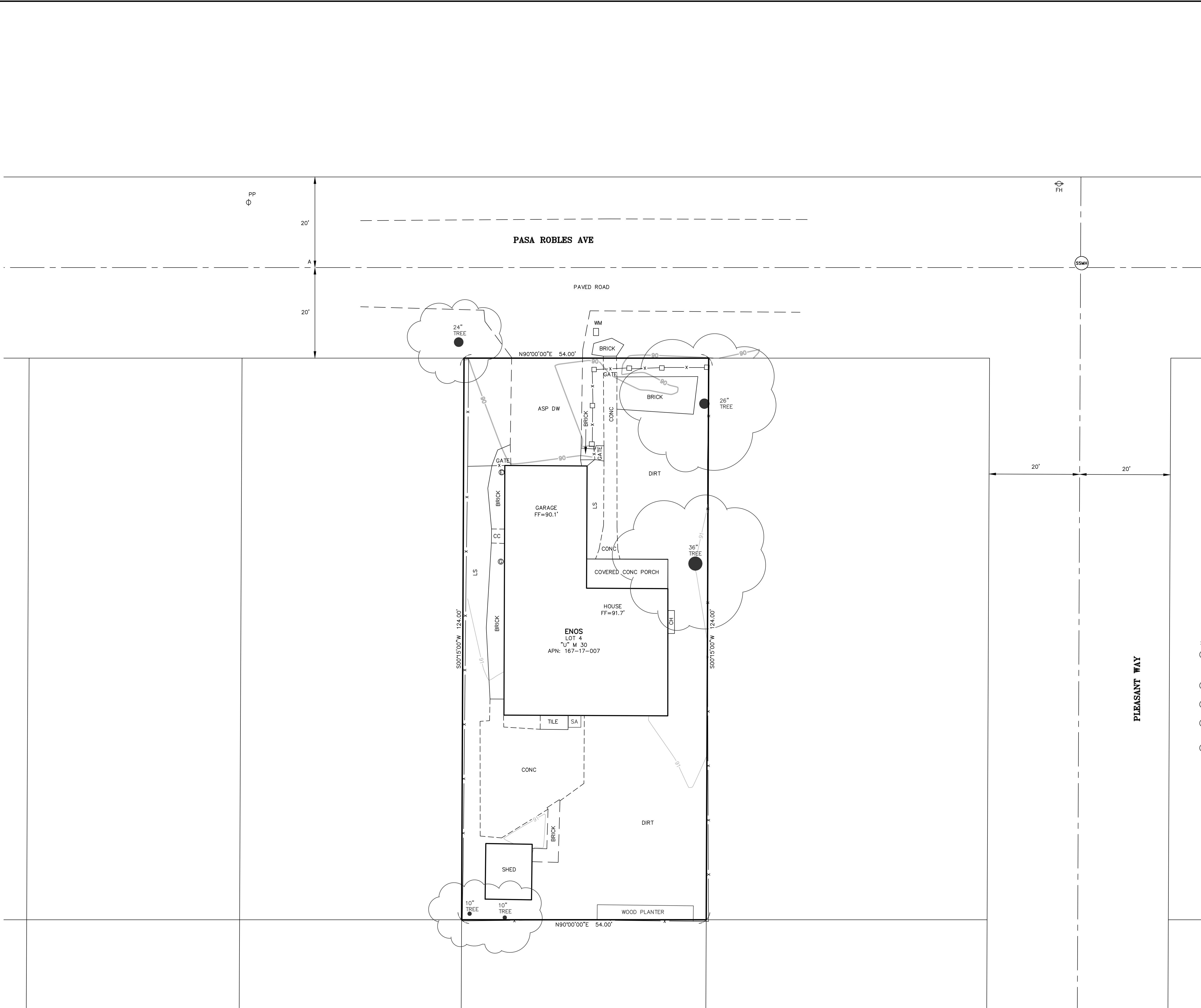
Original landscape being preserved, with the addition of 5 olive trees, bark, and new pavers.



## LEGEND

—	PROPERTY BOUNDARY
—	LOT LINE
—	CENTER LINE
—	EASEMENT LINE
—	PAVEMENT
—	CONCRETE/LIP OF GUTTER
x	FENCE
—	FLOW LINE
□	BRICK PILLAR

**INSTALLATION SPECIFICATIONS:**  
 \*\* OLIVE TREES TO BE PLANTED 8' APART  
 \*\* GROUND TO BE COVERED WITH BARK



**LEGEND**

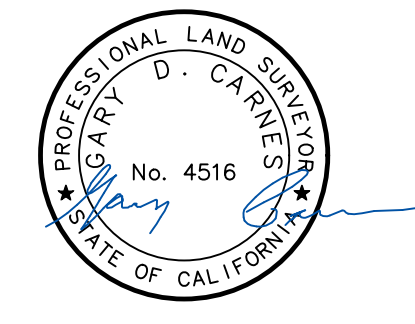
---	PROPERTY BOUNDARY
---	LOT LINE
---	CENTER LINE
---	EASEMENT LINE
---	PAVEMENT
---	CONCRETE/LIP OF GUTTER
x	FENCE
---	FLOW LINE
□	BRICK PILLAR

**ABBREVIATIONS**

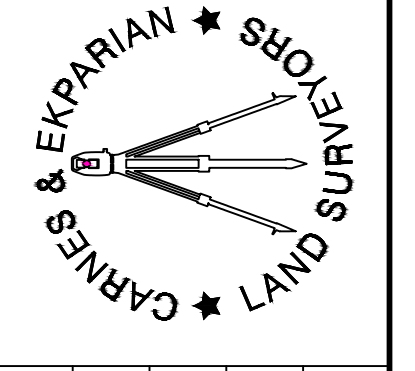
AC	AIR CONDITIONER UNIT
CC	COVERED CONC
CH	CHIMNEY
CP	COVERED PORCH
DI	DRAIN INLET
DL	DRIP LINE
DW	DRIVE WAY
E	ELECTRICAL METER
FF	FINISH FLOOR
FH	FIRE HYDRANT
G	GAS METER
ICV	IRRIGATION CONTROL VALVE
LS	LANDSCAPING
PP	POWER POLE
R.O.W.	RIGHT OF WAY
SA	SUBFLOOR ACCESS
SSCO	SANITARY SEWER CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
TP	TELEPHONE POLE
WM	WATER METER
WV	WATER VALVE

**NOTES**

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR, EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP, IF SHOWN, ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP, IF SHOWN, ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



**Carnes & Ekparian, Inc.**  
 LAND SURVEYORS  
 9505 SUGAR BABE DRIVE GILROY, CA 95020  
 T: (408) 847-2013 F: (408) 846-7248  
 EMAIL: OFFICE@CE-PLS.COM



REVISION	No.	DATE

**TOPOGRAPHIC MAP**  
**FOR SAMANTHA & JASON ENOS**  
**110 PASA ROBLES**  
**CITY OF LOS ALTOS, CA.**

SHEET	DATE :	7-27-20
1	SCALE :	1"=10'
OF	DRAWN BY :	T.W.
1	PROJ. MANAGER :	D.E.
Job No. 2009		
DWG: ENOS		

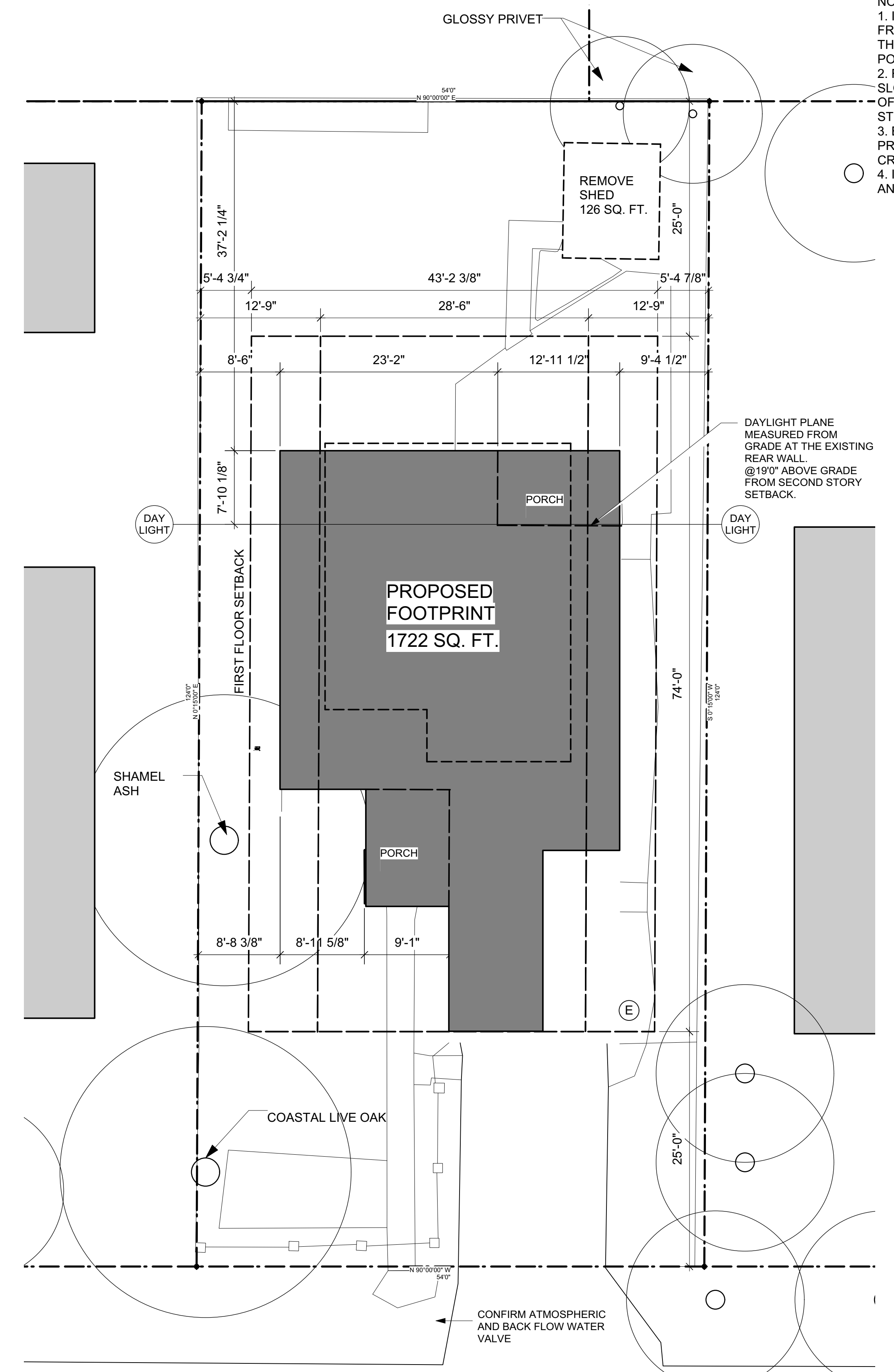
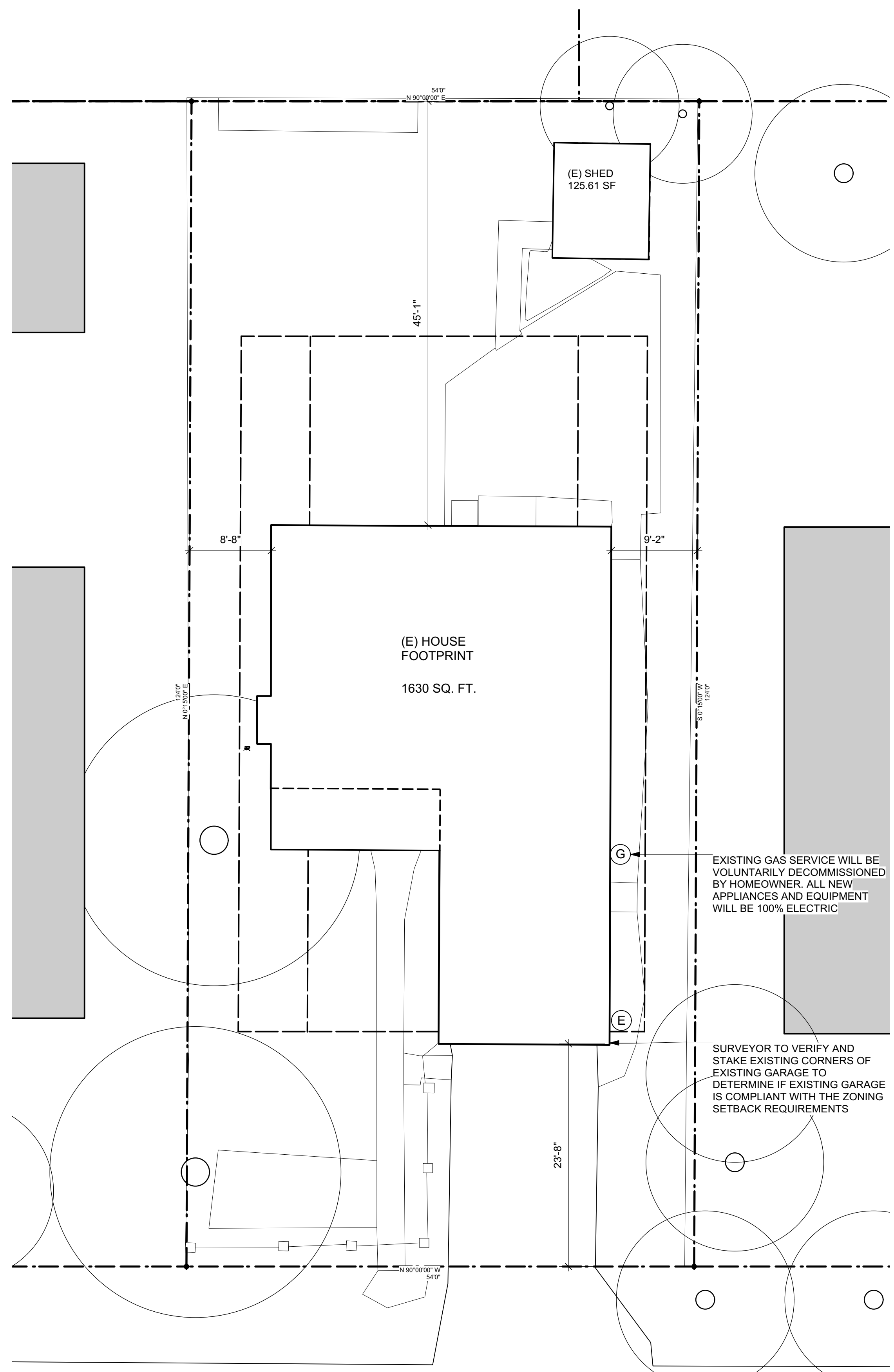
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DEC. 10, 2020

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REVISED, RE-USED OR DISCLOSED WITHOUT THE WRITTEN  
CONSENT OF THE ARCHITECT.

- NOTES:
1. IT IS RECOMMENDED TO HAVE THE SIDE AND FRONT YARD PROPERTY LINES ESTABLISHED THROUGH A SURVEY PRIOR TO FORMING ANY PORTION OF THE FOUNDATION.
  2. FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION AT A MINIMUM OF 5% FOR AT LEAST 10 FEET FROM THE STRUCTURE, PER CBC 1804.4.
  3. EAVE PROJECTIONS OF >2' AND <5' FROM THE PROPERTY LINE SHALL BE 1 HR FIRE RATED PER CRC R302 & TABLE R302.1(1).
  4. IF THERE ARE ANY DISCREPANCIES, STOP WORK AND CONTACT THE ARCHITECT IMMEDIATELY.



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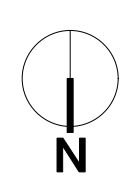
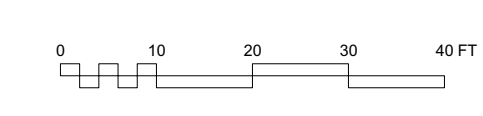
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NEIGHBORHOOD CONTEXT PLAN  
Scale: 1" = 20'-0"

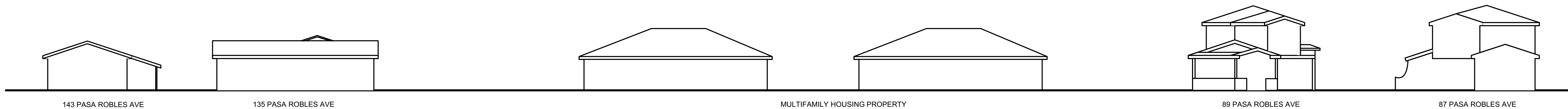


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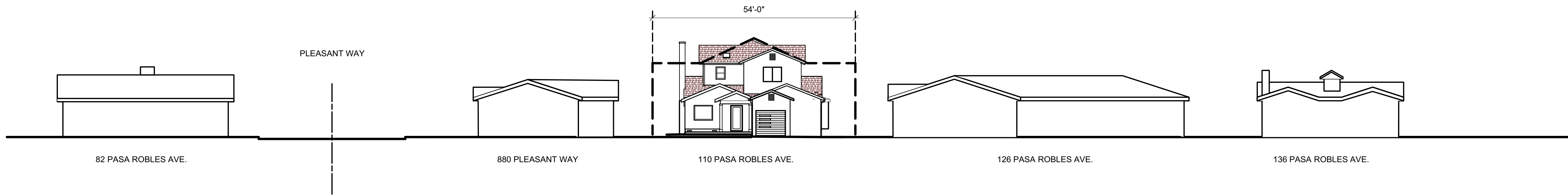
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4 ACROSS THE STREET VIEW  
Scale: 1/16" = 1'-0"



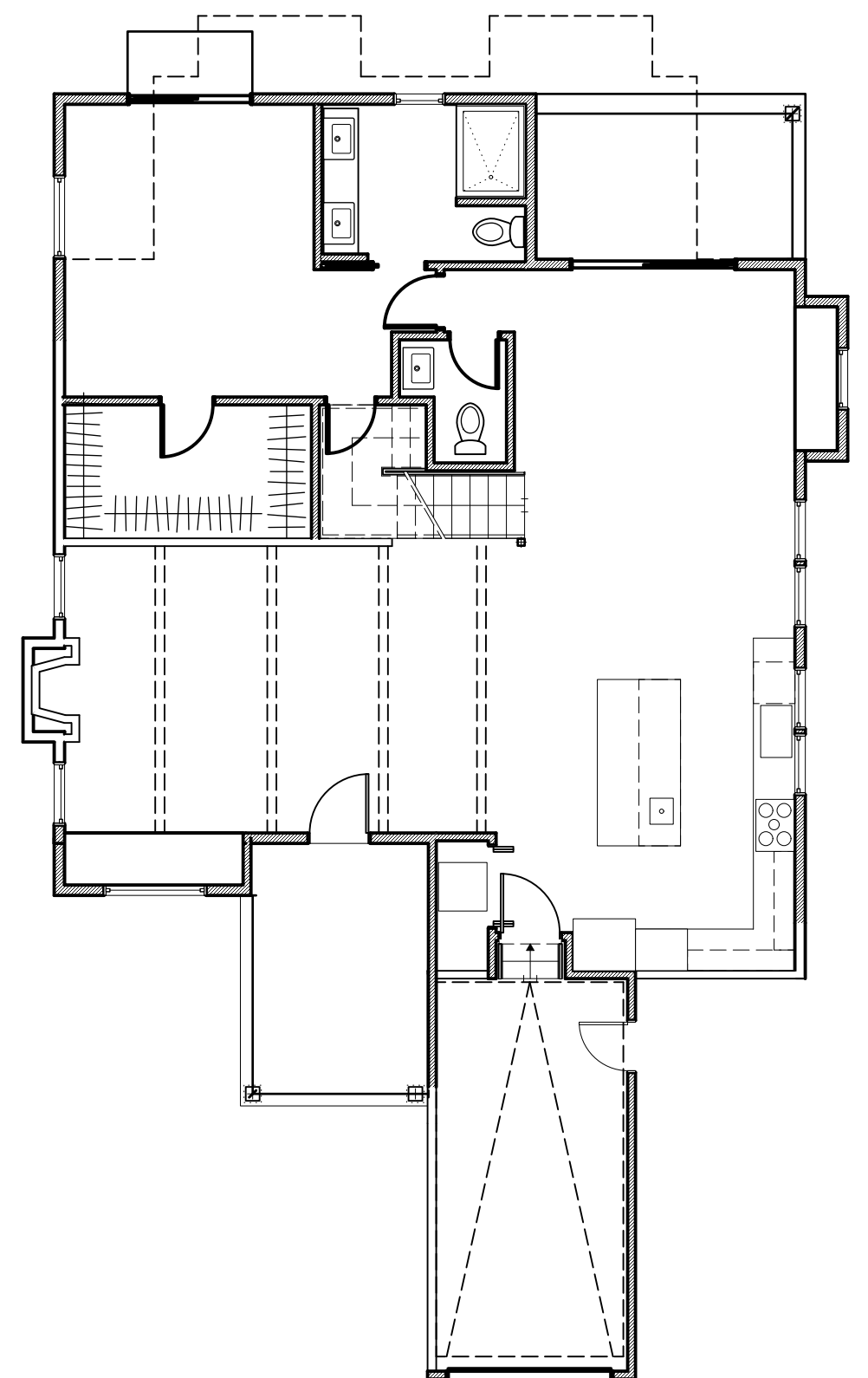
3 PROPOSED PROJECT SIDE OF STREET  
Scale: 1/16" = 1'-0"



PROPOSED NORTH/FRONT ELEVATION  
Scale: 1/8" = 1'-0"



STREET MAP  
Scale: 1" = 50'-0"  
0 10 20 30 40 FT



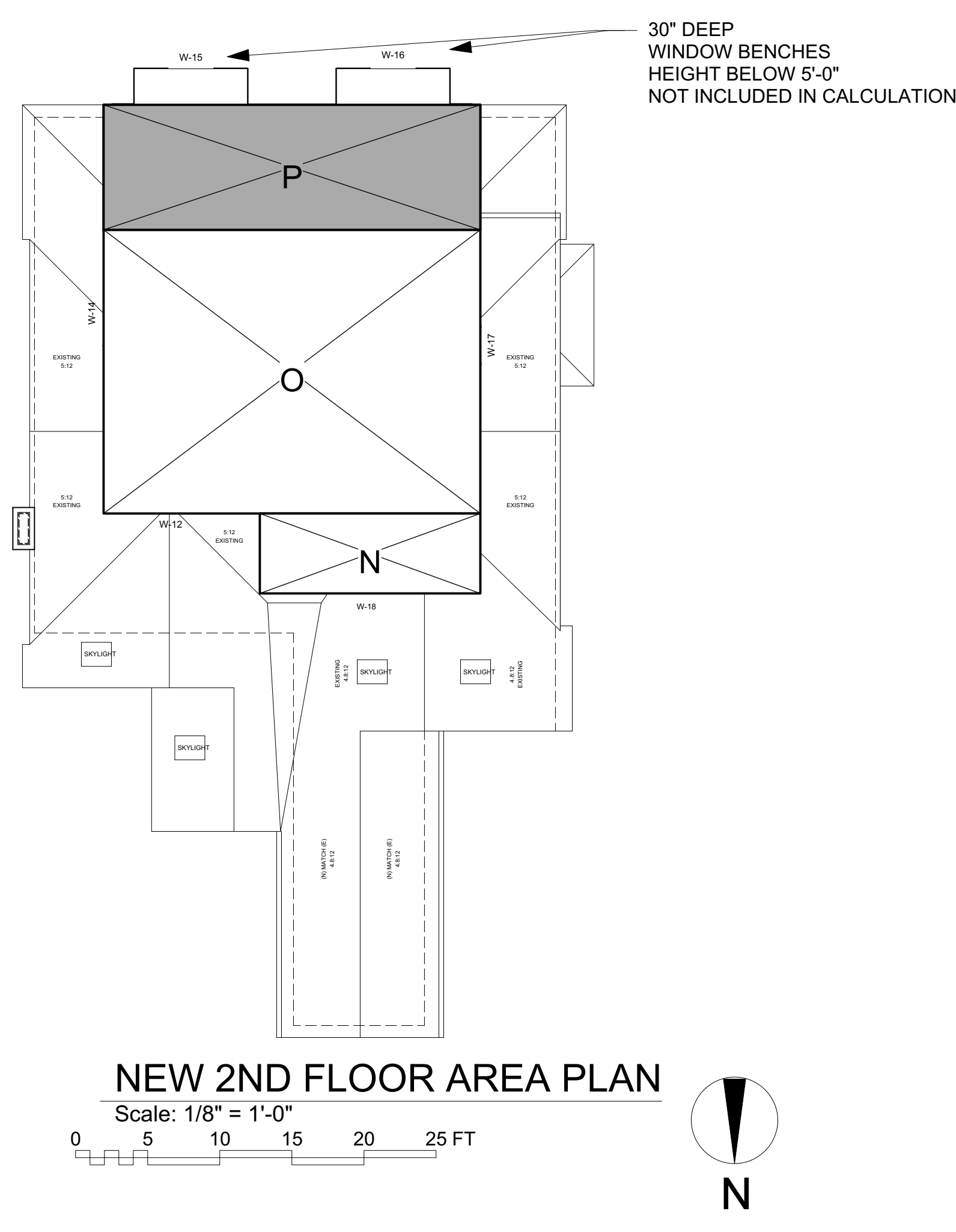
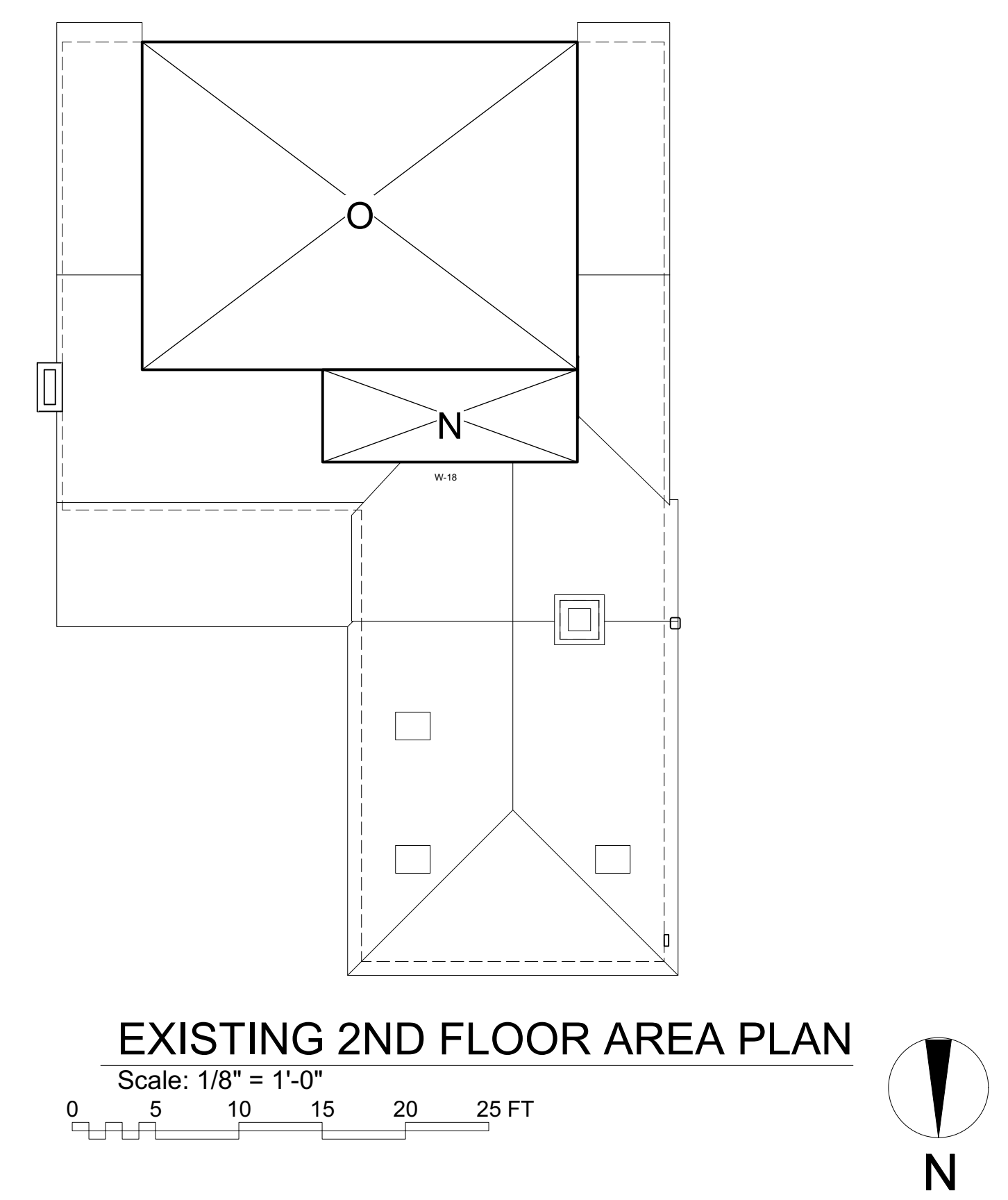
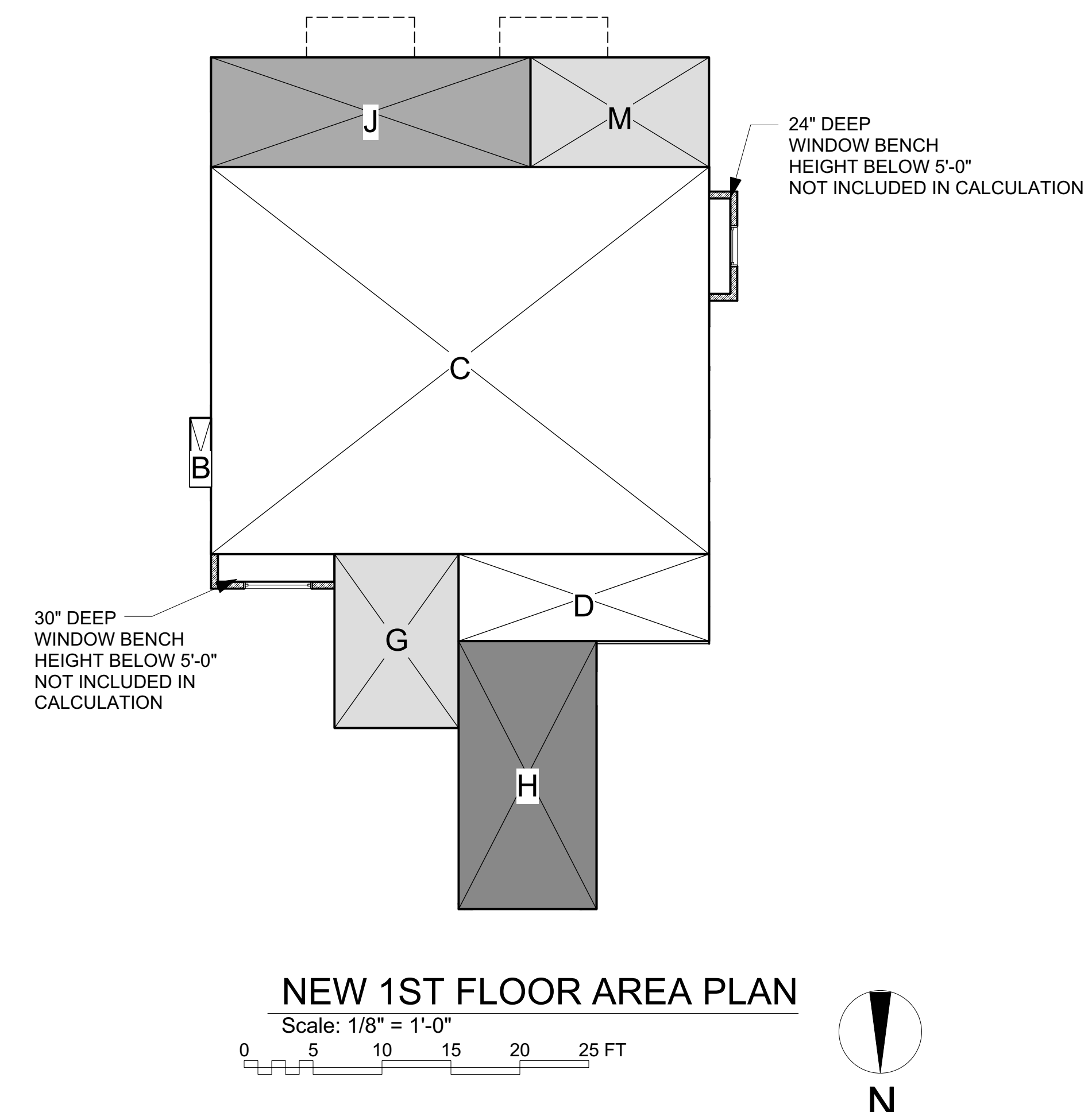
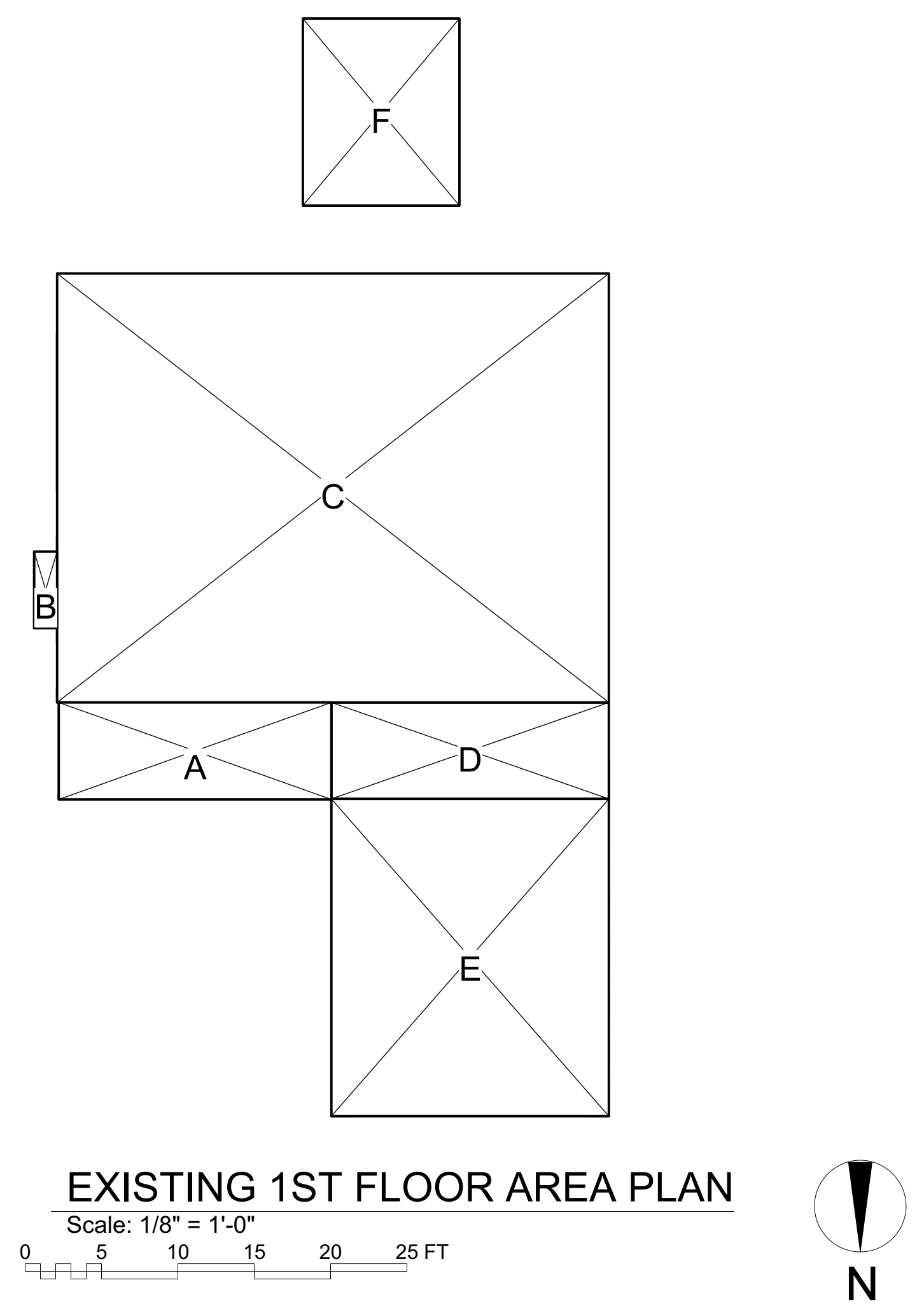
PROPOSED 1ST FLOOR PLAN  
Scale: 1/8" = 1'-0"

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SECTION	DIMENSIONS	AREA
A	6'-4" X 17'-10"	113.34 S.F.
B	1'-6" X 5'-0"	7.5 S.F.
C	28'-1" X 36'-1"	1,014.51 S.F.
D	6'-4" X 18'-2"	114.68 S.F.
E	18'-2" X 20'-9"	377.34 S.F.
F	10'-3" X 12'-3"	125.61 S.F.
<b>EXISTING FIRST FLOOR COVERAGE SUBTOTAL</b>		<b>1,752.97 S.F.</b>
<b>EXISTING NET FIRST FLOOR COVERAGE SUBTOTAL (DEDUCT A+E)</b>		<b>1,262.30 S.F.</b>
G	9'-0" X 12'-7"	113.62 S.F.
H (REDUCED GARAGE)	10'-0" X 19'-5"	194.38 S.F.
I (REMOVED)	2'-6" X 9'-0"	22.38 S.F.
J	8'-0" X 23'-2"	184.24 S.F.
K (REMOVED)	10'-8" X 11'-9"	125.38 S.F.
L (REMOVED)	2'-4" X 13'-0"	30.76 S.F.
M	6'-6" X 13'-0"	84.79 S.F.
<b>PROPOSED FIRST FLOOR COVERAGE SUBTOTAL</b>		<b>590.36 S.F.</b>
<b>TOTAL PROPOSED LOT COVERAGE</b>		<b>1,850.13 S.F.</b>
<b>B+C+D+G+H+J+M=</b>		
<b>SUBTRACT A+F FOR REMOVAL OF EXISTING PORCH + SHED</b>		
N	19'-8" X 26'-1"	513.79 S.F.
O	5'-6" X 15'-3"	84.74 S.F.
<b>EXISTING SECOND FLOOR AREA SUBTOTAL</b>		<b>598.58 S.F.</b>
P	8'-8" X 26'-1"	226.42 S.F.
<b>TOTAL PROPOSED FLOOR AREA</b>		<b>2,332.81 S.F.</b>
<b>C+D+H+J+N+O+P</b>		
<b>MAXIMUM TARGET FLOOR AREA</b>		<b>2,343.54 S.F.</b>
<b>ALLOWABLE FLOOR AREA DIFFERENCE</b>		<b>-10.73 S.F.</b>



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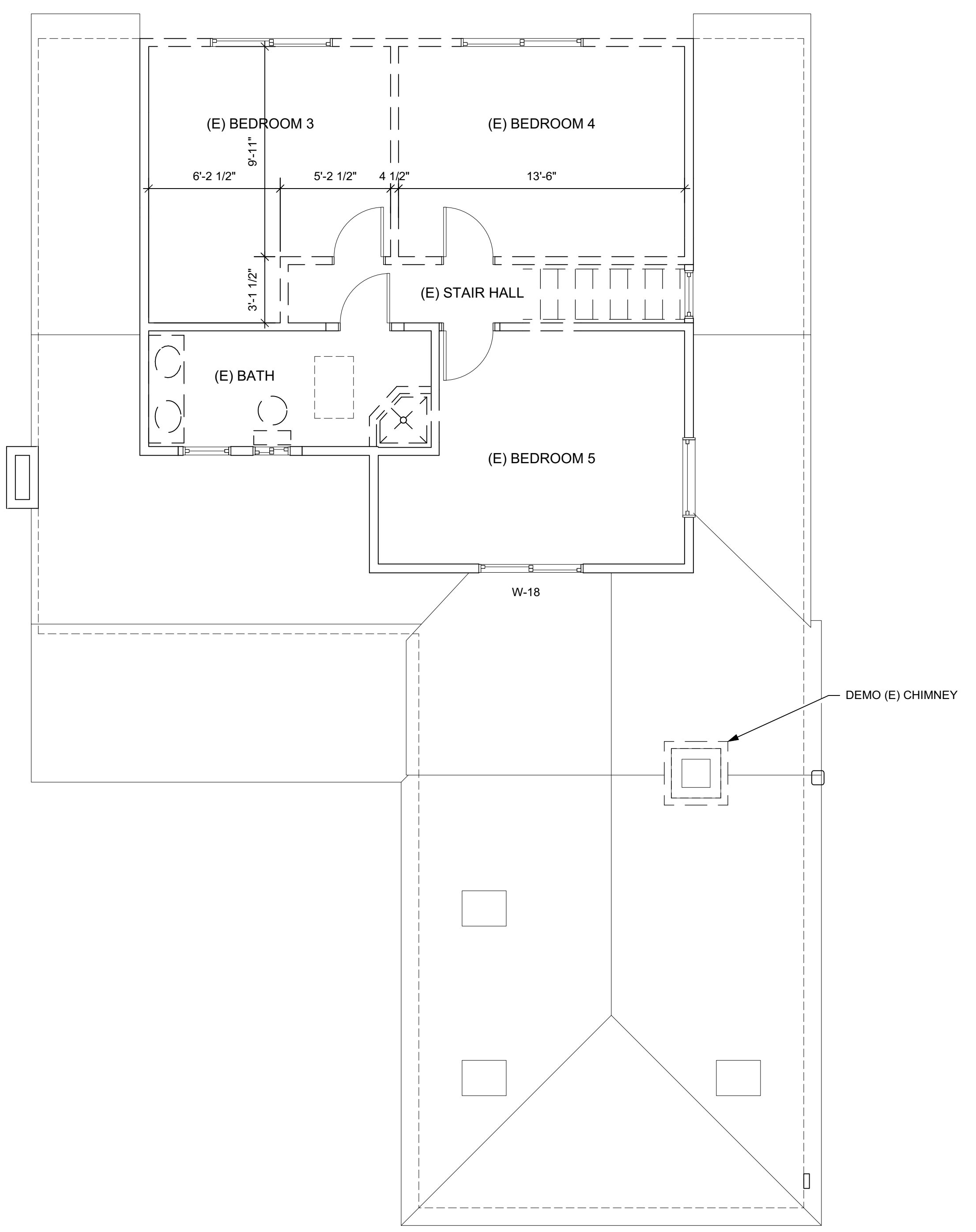
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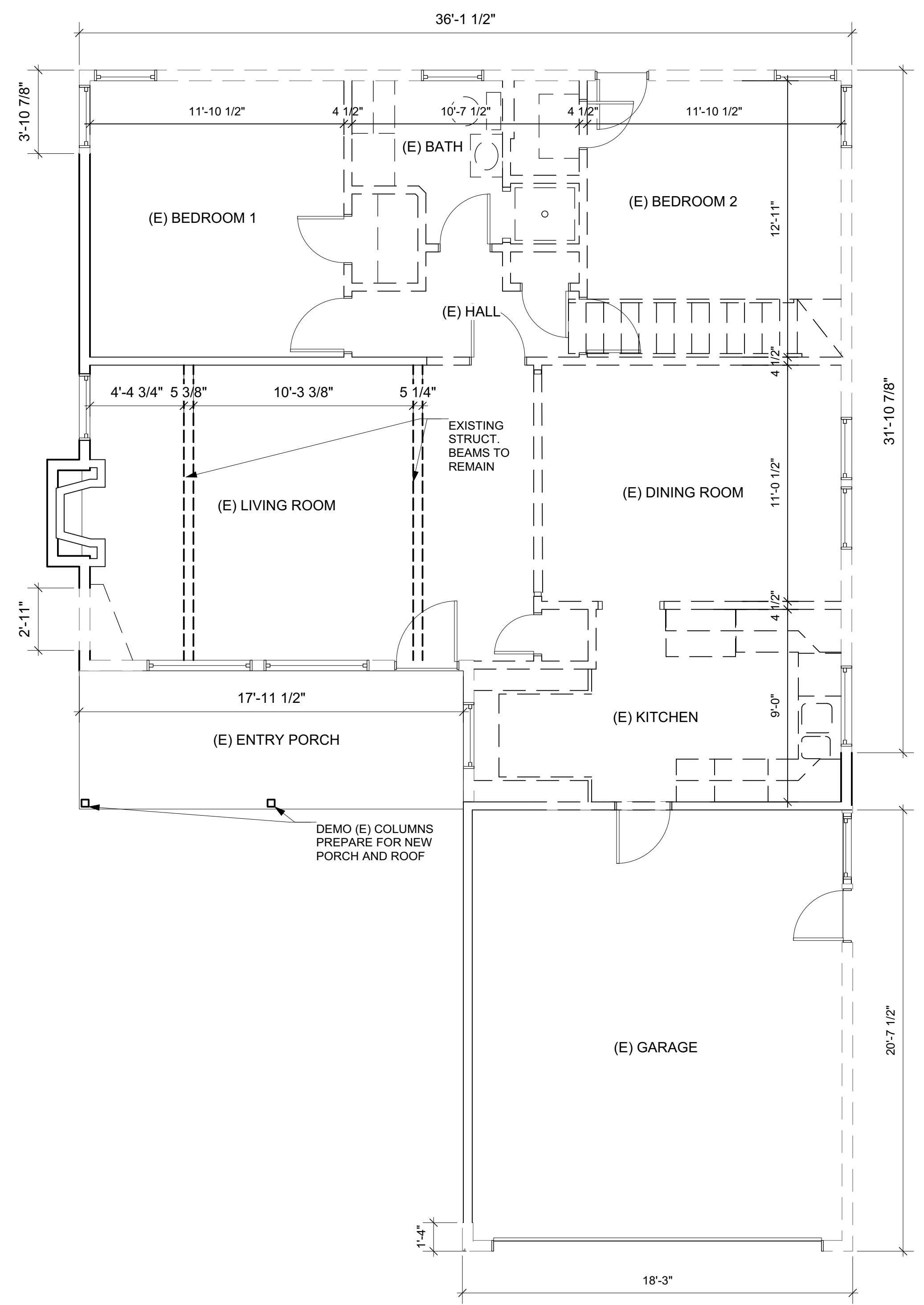
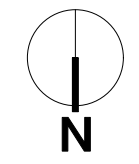
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**LEGEND**

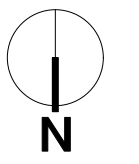
	EXISTING WALLS TO BE REMOVED
	EXISTING WALLS TO REMAIN
	NEW WALLS - 2x6 STUD WALLS AT ALL EXTERIOR AND PLUMBING WALLS - 2x4 STUD WALLS AT INTERIOR
	ALL DIMENSIONS ARE FACE OF FINISH
	LOCATION OF NEW 6"x14" VENTS
(N)	NEW
(E)	EXISTING
(R)	REPLACE



**EXISTING & DEMOLITION 2ND FLOOR PLAN**  
Scale: 1/4" = 1'-0"



**EXISTING & DEMOLITION 1ST FLOOR PLAN**  
Scale: 1/4" = 1'-0"





### Window and Skylight Schedule

Mark	Nominal Size		Rough Opening		Sash Operation	Mfr	Model No.	Comments
	Unit Width	Unit Height	R.O. Width	R.O. Height				
01	5'-0"	4'-0"	5'-1"	4'-11 5/8"	Fixed Glass	MARVIN	UCAP 6060	TEMP.
02	3'-0"	5'-0"	3'-1"	4'-11 5/8"	Double Hung	MARVIN	UCA 3660 E	N/A
03	3'-2"	5'-4"	3'-2 1/2"	5'-4 1/2"	Double Hung	MARVIN	UCA 3660 E	N/A
04	4'-0"	2'-0"	4'-1"	1'-11 5/8"	Awning	MARVIN	UAWN 4824	N/A
05	2'-6"	4'-0"	2'-7"	4'-11 5/8"	Double Hung	MARVIN	UCA 3060 E	TEMP.
07	3'-0"	3'-0"	3'-1"	2'-11 5/8"	Double Hung	MARVIN	UCA 3636	TEMP.
08	3'-0"	4'-6"	3'-1"	4'-5 5/8"	Double Hung	MARVIN	UCA 3654 E	N/A
09	3'-0"	4'-6"	3'-1"	4'-5 5/8"	Double Hung	MARVIN	UCA 3654 E	N/A
10	3'-0"	3'-0"	3'-1"	2'-11 5/8"	Double Hung	MARVIN	UCA 3636	N/A
11	3'-0"	3'-0"	3'-1"	2'-11 5/8"	Double Hung	MARVIN	UCA 3636	N/A
12	2'-6"	3'-4"	2'-7"	3'-3 5/8"	Double Hung	MARVIN	UCA 3040	TEMP.
14	4'-8"	1'-6"	4'-9"	1'-5 5/8"	Awning	MARVIN	UCAP 5618	N/A
15	3'-4"	4'-6"	3'-5"	4'-11 5/8"	Double Hung	MARVIN	UCA 4060 E	TEMP. EGRESS
16	3'-4"	4'-6"	3'-5"	4'-11 5/8"	Double Hung	MARVIN	UCA 4060 E	TEMP. EGRESS
17	2'-6"	4'-0"	2'-7"	3'-11 5/8"	Double Hung	MARVIN	UCA 30 48 E	N/A
18	5'-0"	4'-0"	4'-11 1/4"	4'-0 1/2"	Horizontal Slider	MARVIN	UCA 5040 E	EGRESS
19	23 1/4"	23 7/16"	22 1/2"	22 15/16"	Skylight	VELUX	D26	FIXED
20	23 1/4"	46 1/4"	22 1/2"	45 3/4"	Skylight	VELUX	D06	FIXED
21	23 1/4"	46 1/4"	22 1/2"	45 3/4"	Skylight	VELUX	D06	FIXED
22	23 1/4"	23 7/16"	22 1/2"	22 15/16"	Skylight	VELUX	D26	FIXED
23	23 1/4"	46 1/4"	22 1/2"	45 3/4"	Skylight	VELUX	D06	FIXED
24	23 1/4"	23 7/16"	22 1/2"	22 15/16"	Skylight	VELUX	D26	FIXED
25	23 1/4"	23 7/16"	22 1/2"	22 15/16"	Skylight	VELUX	D26	FIXED
26	23 1/4"	23 7/16"	22 1/2"	22 15/16"	Skylight	VELUX	D26	FIXED
27	23 1/4"	23 7/16"	22 1/2"	22 15/16"	Skylight	VELUX	D26	FIXED
28	21 1/2"	27 3/8"	21"	27 7/8"	Skylight	VELUX	C01	SOLAR FRESH AIR EXISTING
29								EXISTING
30								EXISTING

### Door Schedule

Mark	Nominal Size			Rough Opening		Door Operation	Slab Style	Mfr	Model No.	Comments
	Leaf Width	Leaf Height	Thickness	R.O. Width	R.O. Height					
01	3'-0"	6'-8"	1 1/2"			Swing Simple	Glass	N/A	N/A	N/A
01	3'-0"	6'-8"	1 1/2"			Swing Simple	Glass	N/A	N/A	N/A
02	6'-0"	8'-0"	1 1/2"	6'-1 5/8"	8'-0"	Slider	Glass	MARVIN	ULTIMATE 6080	TEMP. EGRESS
03	8'-0"	8'-0"	1 1/2"	8'-1 5/8"	8'-0"	Slider	Glass	MARVIN	ULTIMATE 8080	TEMP. EGRESS
04	2'-6"	6'-8"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
06	4'-0"	6'-8"	1 1/2"			Bi-fold Bi-part	Solid	N/A	N/A	N/A
07	2'-8"	6'-8"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
08	2'-6"	3'-0"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
09	2'-8"	6'-8"	1 1/2"			Pocket Simple	Solid	N/A	N/A	N/A
11	2'-8"	6'-8"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
12	2'-6"	6'-8"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
13	2'-6"	6'-8"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
13	1'-6"	6'-8"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
14	2'-8"	6'-8"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
15	4'-0"	6'-8"	1 1/2"			Bi-fold Bi-part	Solid	N/A	N/A	N/A
16	4'-0"	6'-8"	1 1/2"			Bi-fold Bi-part	Solid	N/A	N/A	N/A
16	2'-8"	6'-8"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
17	2'-8"	6'-8"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
18	4'-0"	6'-8"	1 1/2"			Bi-fold Bi-part	Solid	N/A	N/A	N/A
19	2'-6"	6'-8"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A
20	2'-6"	3'-0"	1 1/2"			Swing Simple	Solid	N/A	N/A	N/A

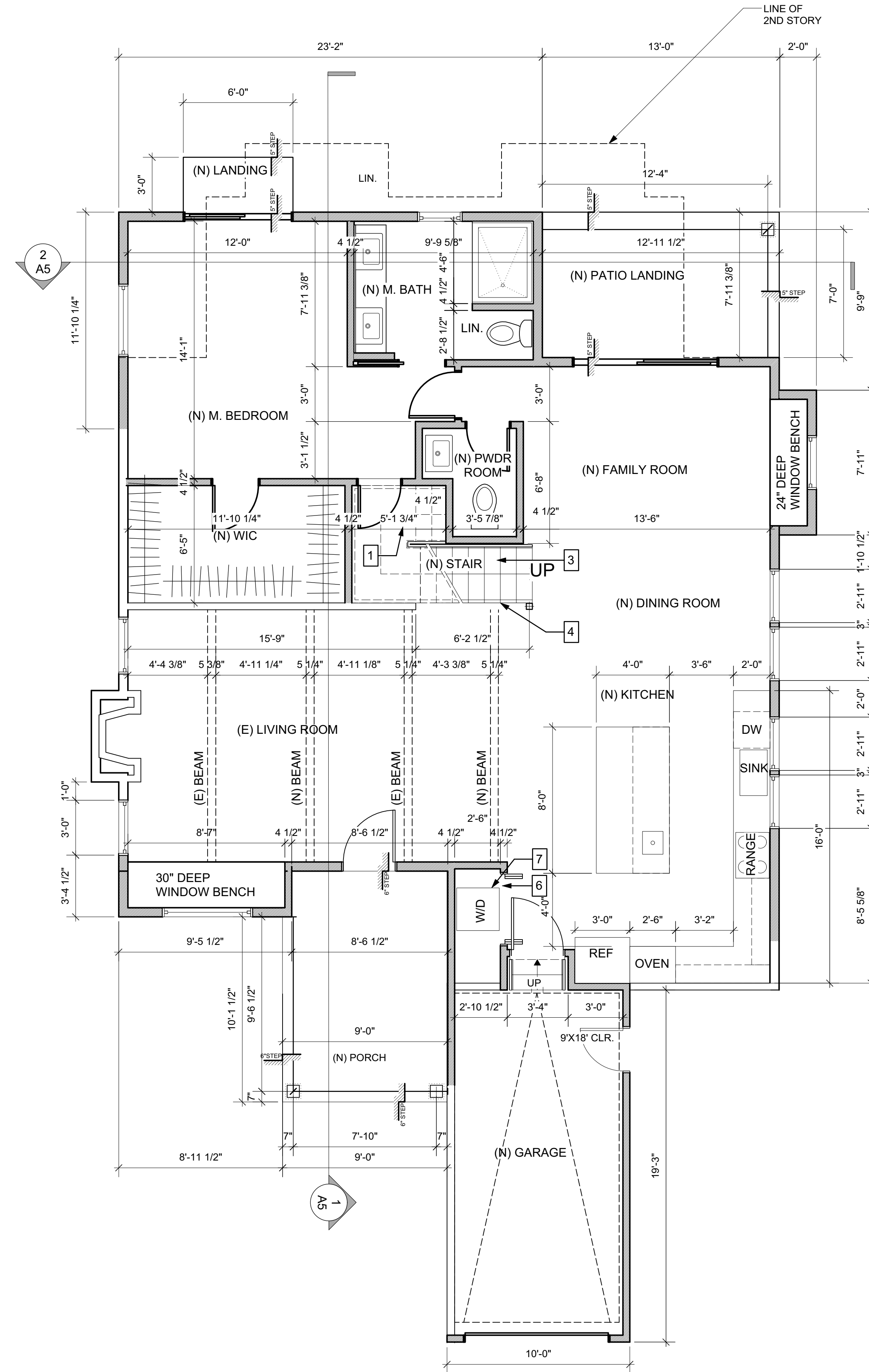
### LEGEND

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- NEW WALLS
- 2x6 STUD WALLS AT ALL EXTERIOR AND PLUMBING WALLS
- 2x4 STUD WALLS AT INTERIOR
- ALL DIMENSIONS ARE FACE OF FINISH
- LOCATION OF NEW 6"x14" VENTS
- (N) NEW
- (E) EXISTING
- (R) REPLACE

- NOTES:
1. VERIFY ALL DIMENSIONS IN THE FIELD. IF DIMENSIONS DO NOT MATCH THOSE ON PLANS, CONTACT THE ARCHITECT.
  2. IF ANY CONFLICT ARISES BETWEEN THE ARCHITECT'S AND THE STRUCTURAL ENGINEER'S DRAWINGS, STOP WORK AND CONTACT THE ARCHITECT FIRST.

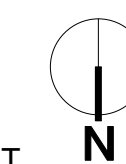
### KEY NOTES

1. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD PER CRC R302.7
2. N/A
3. 10 1/2" EQUAL TREADS, 7-1/2" EQUAL RISERS AT STAIRS. PROVIDE 1" EQUAL NOSINGS. SEE ALSO DETAIL 14/A7.0. MAX RISE = 7 3/4". MIN. RUN = 10" FROM NOSING TO NOSING. INFORM ARCHITECT OF DISCREPANCIES IMMEDIATELY.
4. HANDRAILS TO BE LOCATED BETWEEN 34" MIN. AND 38" MAX FROM PLANE PARALLEL TO LINE AT FACE OF TREADS. SEE ALSO DETAIL 16/A7.0. RETURN HANDRAILS TO THE WALL OR TERMINATE AT NEWEL POST.
5. N/A
6. VENTILATION FOR MECHANICAL CLOTHES DRYERS SHALL BE VENTED TO THE OUTSIDE AND COMPLY WITH CITY OF SAN JOSE DIVISION DIRECTIVE M-001
7. LAUNDRY TRAY PER CPC TABLE 422.1



### PROPOSED 1ST FLOOR PLAN

Scale: 1/4" = 1'-0"



### ENOS RESIDENCE

110 PASA ROBLES  
LOS ALTOS, CA 94022

(N) FIRST FLOOR PLAN

NOT FOR CONSTRUCTION

DEC. 10, 2020

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LOS ALTOS, CA 94032  
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DEC. 10, 2020

**J. KRETSCHMER ARCHITECT**  
101 OLD BLOSSOM HILL ROAD  
LOS ALTOS, CA 94032  
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MEMBER AMERICAN INSTITUTE OF ARCHITECTS

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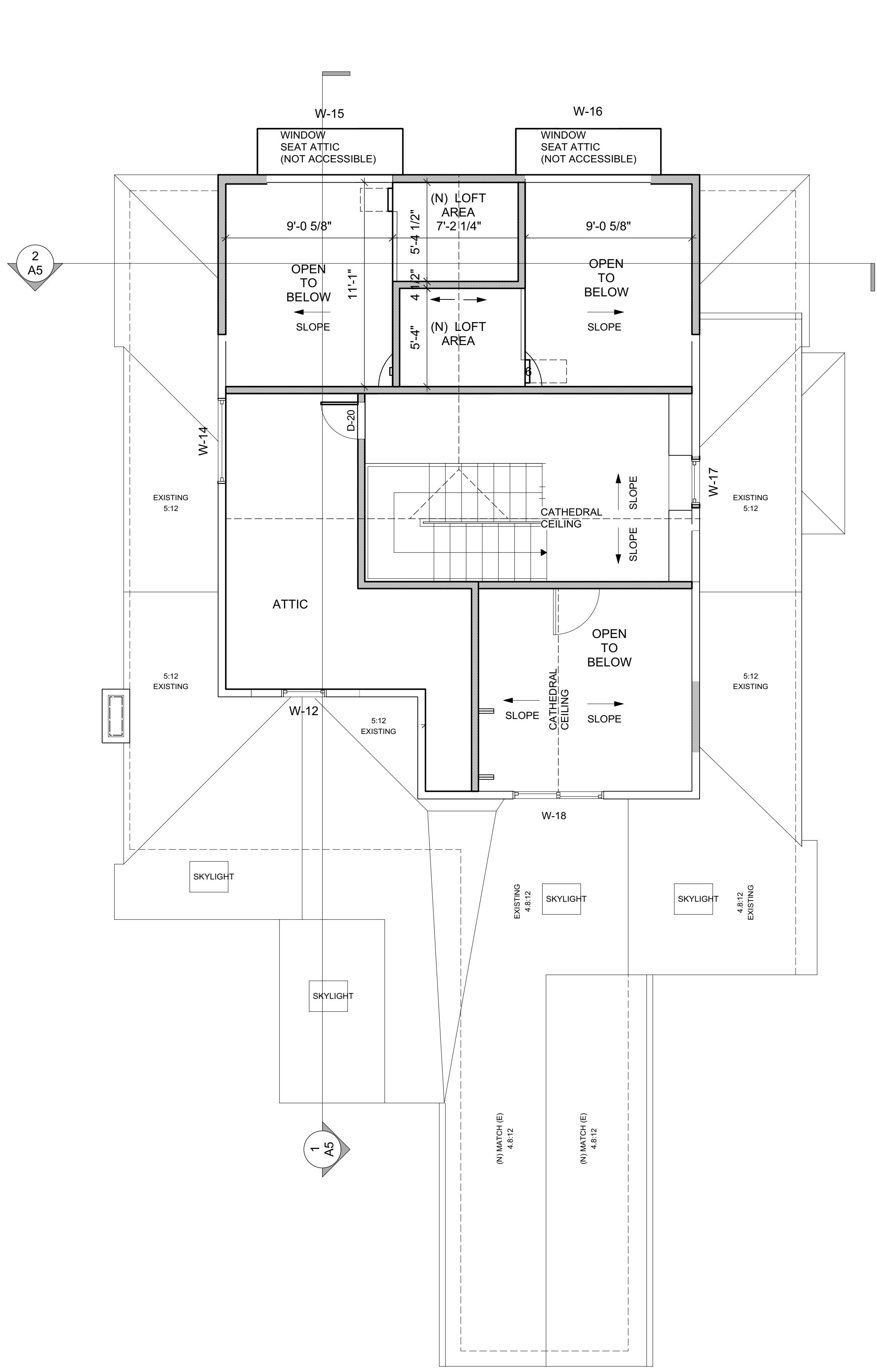
**LEGEND**

- EXISTING WALLS TO BE REMOVED
- EXISTING WALLS TO REMAIN
- NEW WALLS  
- 2x6 STUD WALLS AT ALL EXTERIOR AND PLUMBING WALLS  
- 2x4 STUD WALLS AT INTERIOR
- ALL DIMENSIONS ARE FACE OF FINISH
- LOCATION OF NEW 6"x14" VENTS
- (N) NEW
- (E) EXISTING
- (R) REPLACE

- NOTES:**
1. VERIFY ALL DIMENSIONS IN THE FIELD. IF DIMENSIONS DO NOT MATCH THOSE ON PLANS, CONTACT THE ARCHITECT.
  2. IF ANY CONFLICT ARISES BETWEEN THE ARCHITECT'S AND THE STRUCTURAL ENGINEER'S DRAWINGS, STOP WORK AND CONTACT THE ARCHITECT FIRST.

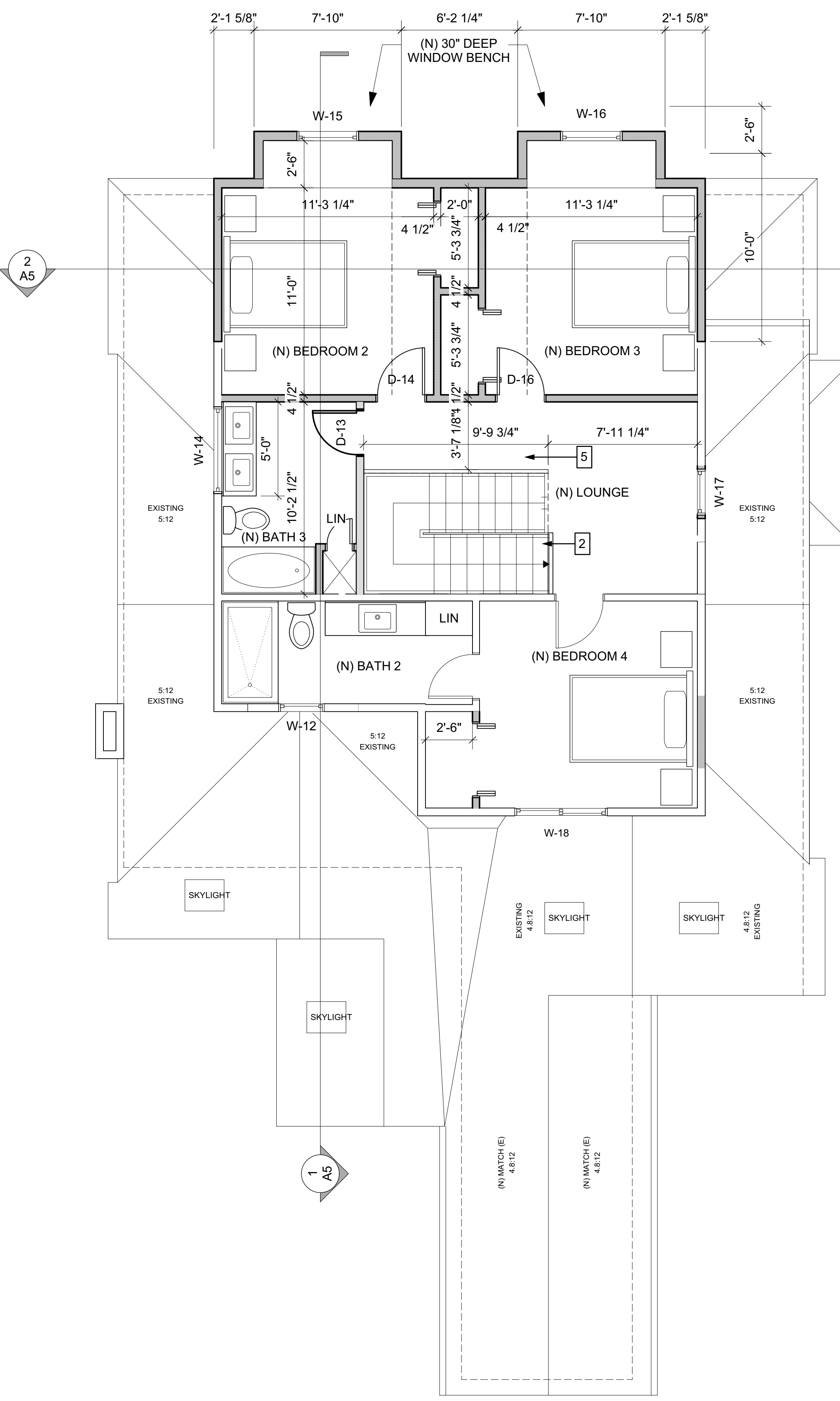
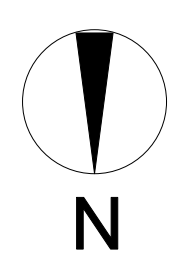
**KEY NOTES**

1. N/A
2. MINIMUM HEADROOM CLEARANCE TO BE 6'-8". SEE SECTIONS SHEET A5.0
3. N/A
4. N/A
5. GUARDS: REQUIRED GUARDS AT OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES, AND LANDINGS SHALL BE NOT LESS THAN 42" IN HEIGHT. WHERE THE TOP OF THE GUARD SERVE AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38" AS MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. CRC R312.2



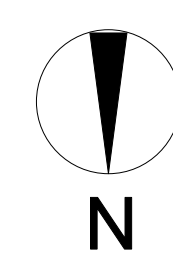
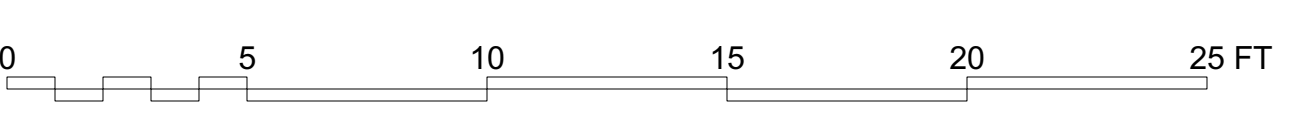
**PROPOSED ATTIC / LOFT PLAN**

Scale: 1/4" = 1'-0"



**PROPOSED 2ND FLOOR PLAN**

Scale: 1/4" = 1'-0"



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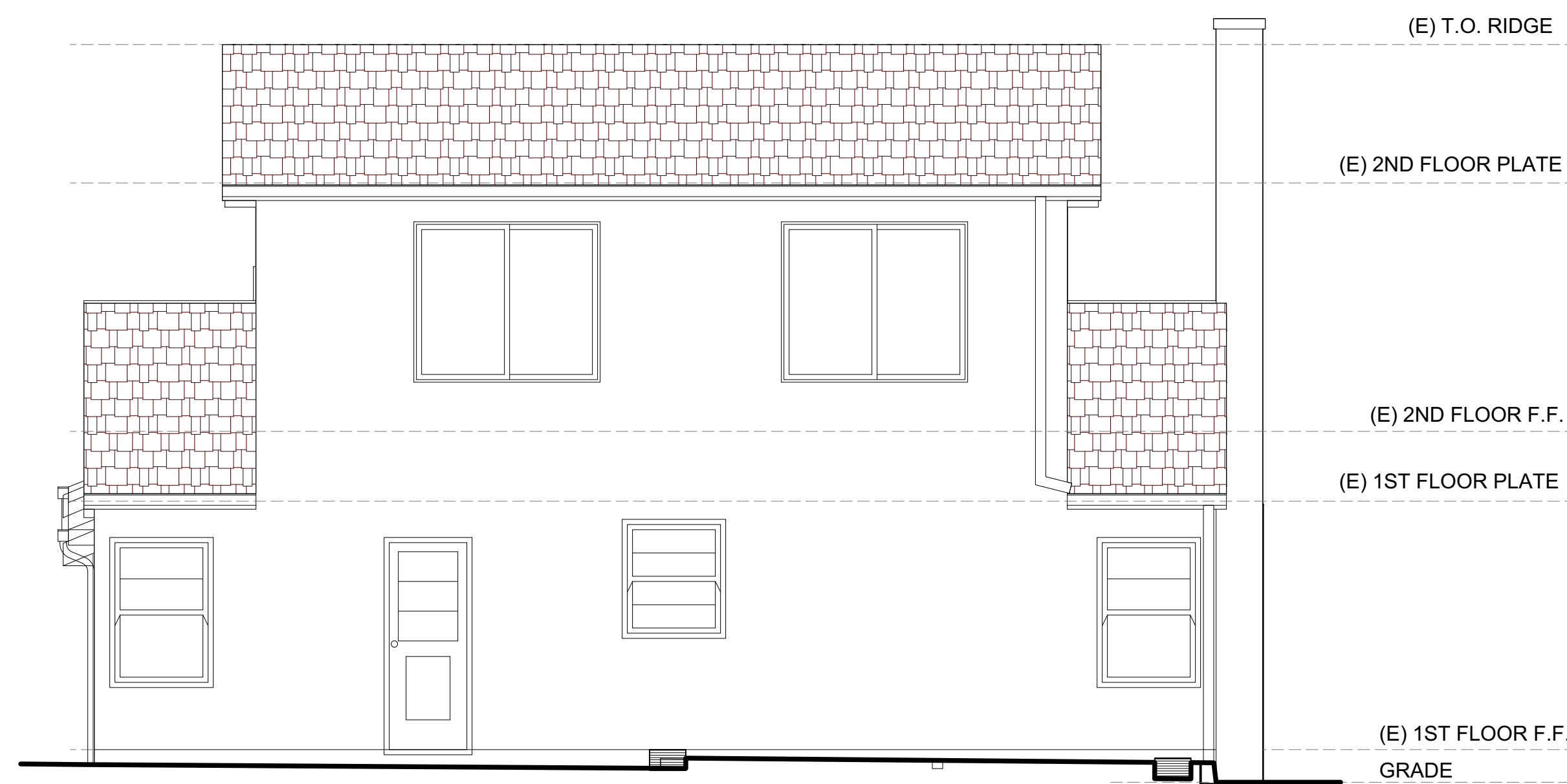
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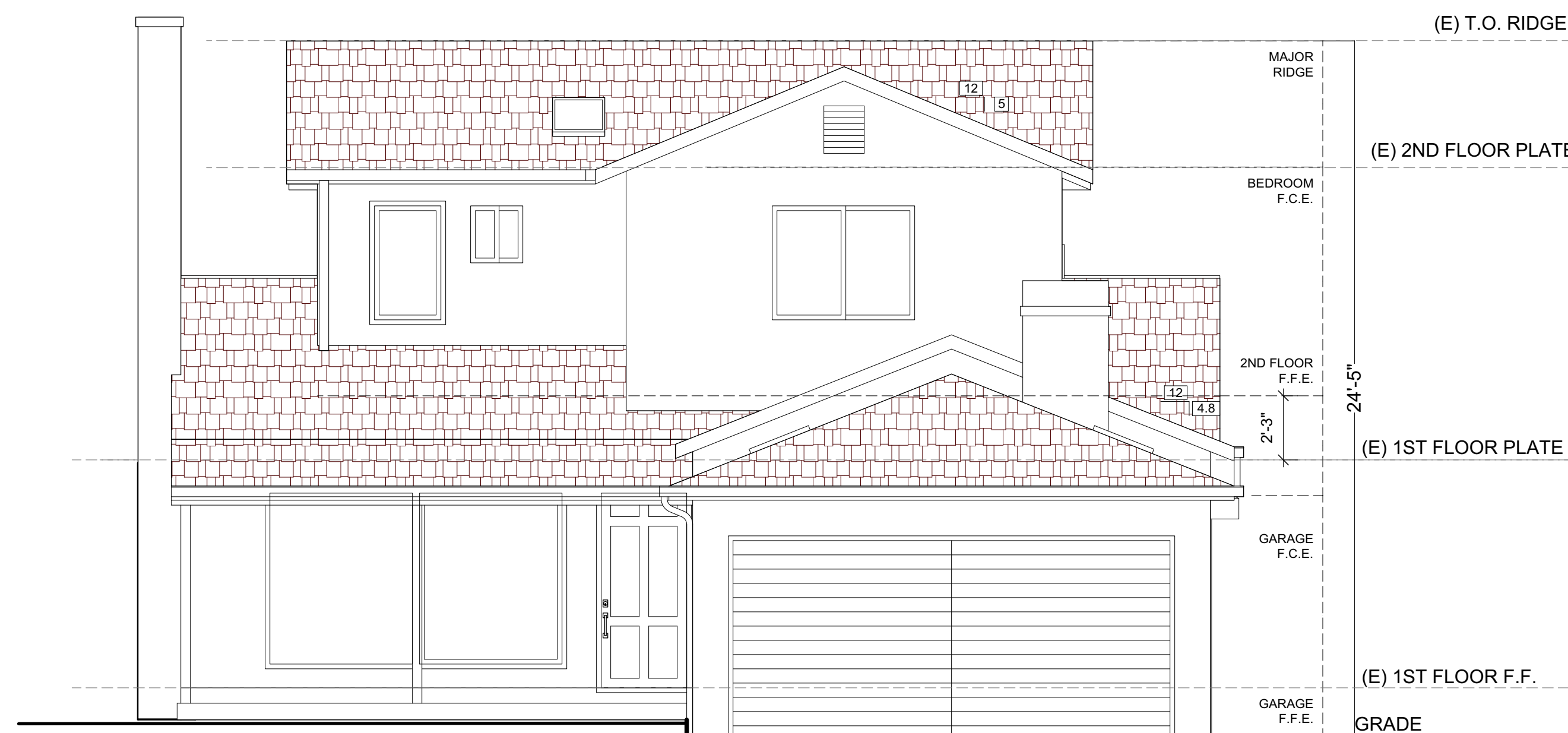
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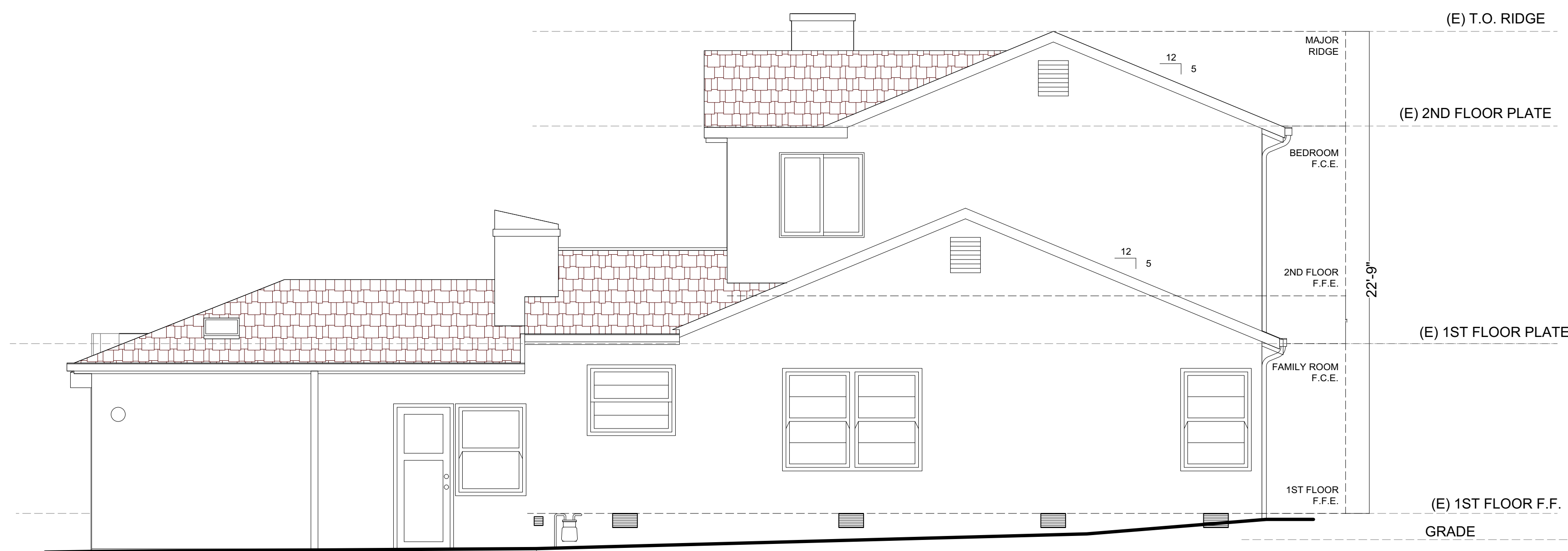
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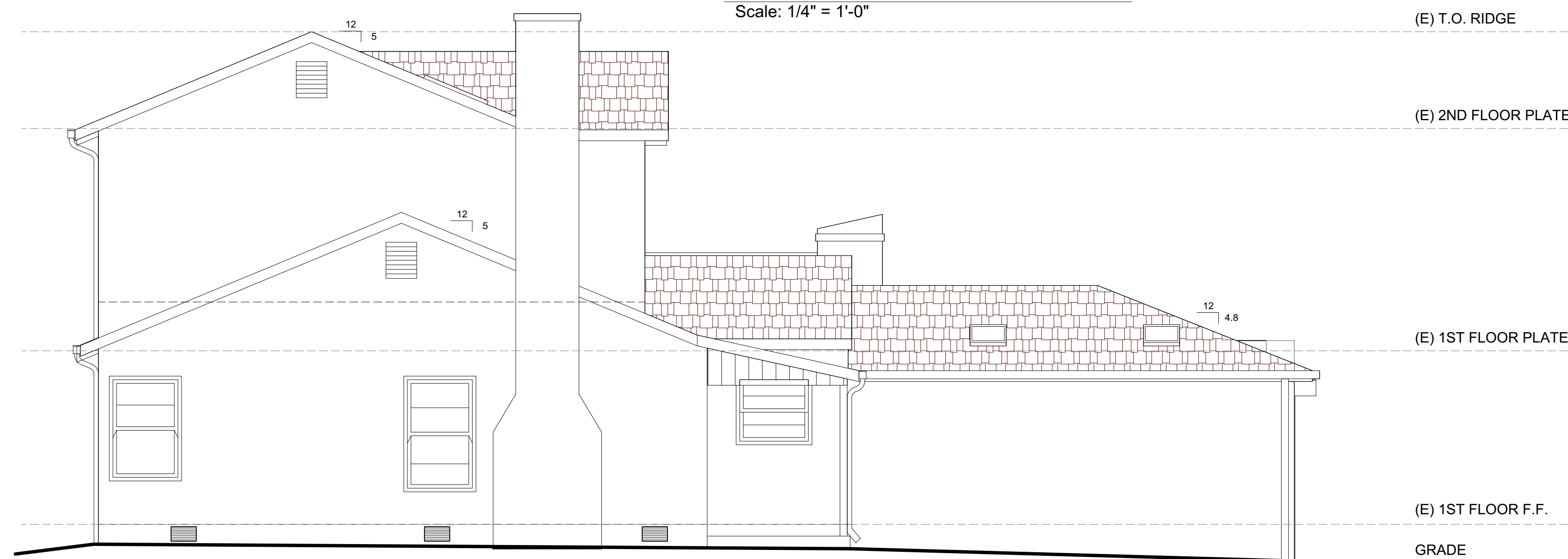
**EXISTING SOUTH ELEVATION**  
Scale: 1/4" = 1'-0"



**EXISTING NORTH/FRONT ELEVATION**  
Scale: 1/4" = 1'-0"



**EXISTING WEST ELEVATION**  
Scale: 1/4" = 1'-0"



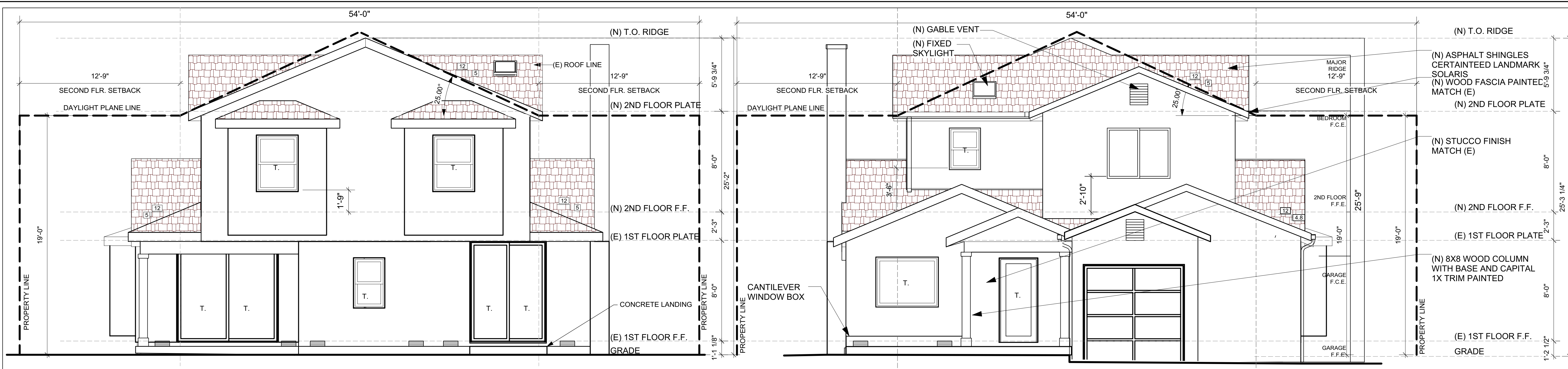
**EXISTING EAST ELEVATION**  
Scale: 1/4" = 1'-0"

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**NOTES:**  
1. PROVIDE UNDERFLOOR VENTILATION PER CRC SEC R408.  
2. PROVIDE ATTIC VENTILATION PER CRC SEC 806.2  
3. ALL EGRESS WINDOWS, PER CRC R310 ARE TO HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., MINIMUM NET CLEAR OPENING (OR 5 SQ. FT. MIN. FOR GRADE FLOOR) WITH HEIGHT OF 24" AND A MINIMUM NET CLEAR OPENING WIDTH OF 20". THE BOTTOM OF THE CLEAR OPENING MUST NOT BE MORE THAN 44" ABOVE THE FLOOR.  
4. PROVIDE SPLASH BLOCKS AWAY FROM HOUSE AT EACH DOWN SPOUT.

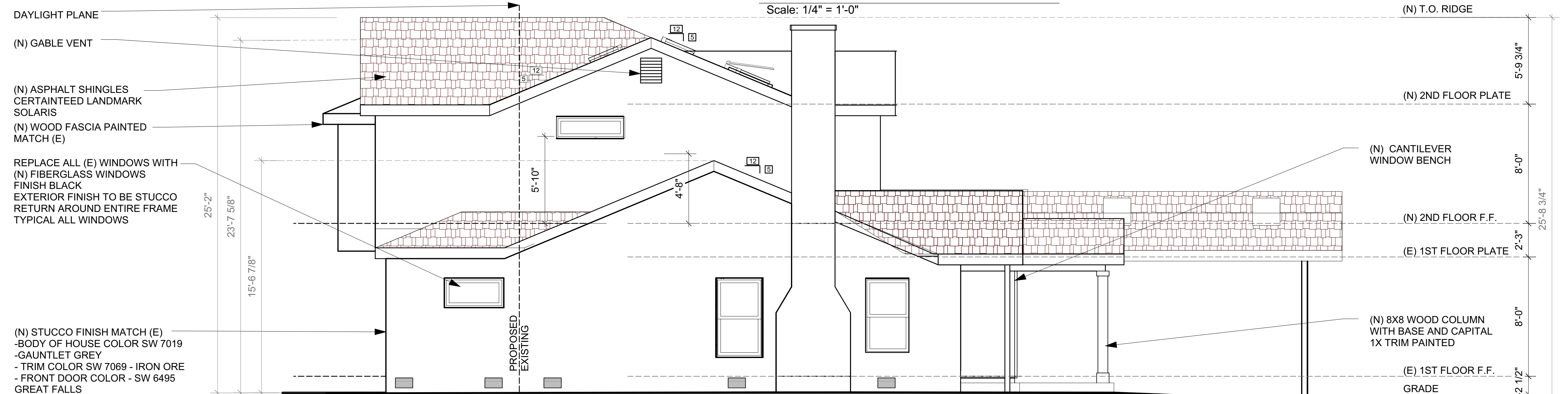
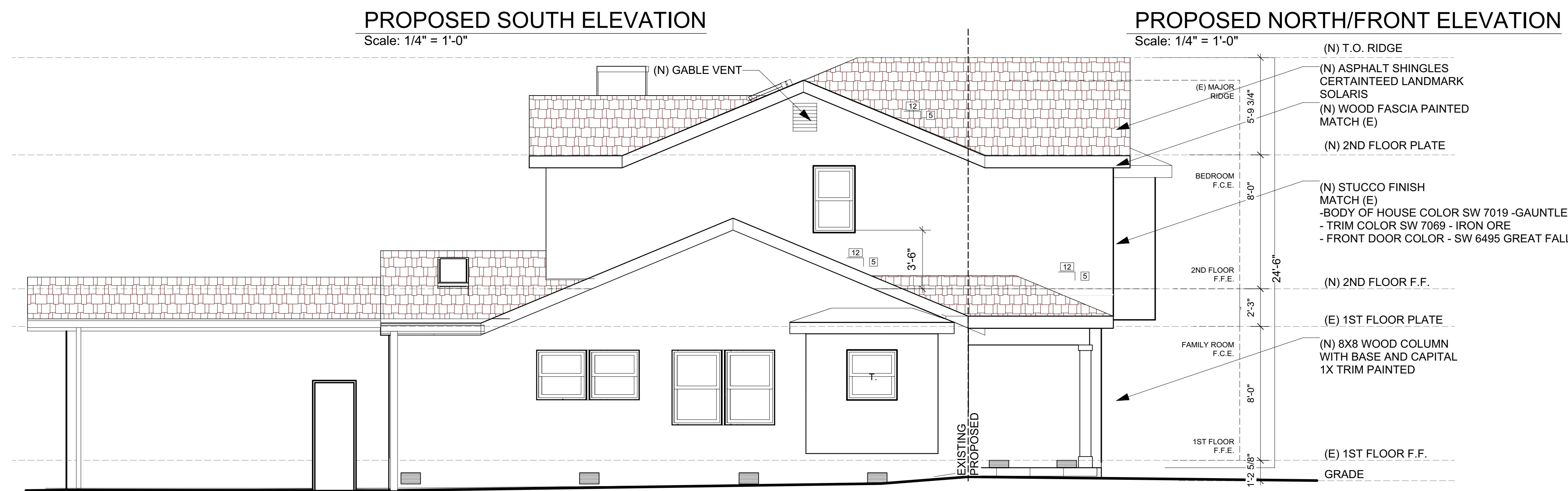
**UNDERFLOOR VENTILATION CALCS:**  
VENTILATED UNDERFLOOR AREA = (E) 1599 S.F.  
(N) 285 S.F.  
(NOTE: NO CRAWL SPACE @ CONC. SLAB FOUND.)

**REQUIRED VENTILATION @ 1/150**  
(E) 1599/150 = 10.66 S.F.  
(N) 285 /1500 = 0.19 S.F.  
(NEW UNDERFLOOR AREA TO BE COVERED WITH A CLASS 1 VAPOR RETARDER, THE REQ. VENTILATION IS REDUCED TO 1/1500)

10.66 S.F. + 0.19 S.F. = 10.85 S.F.  
**PROVIDE 10.85 SQ. FT. OF VENTS.**

**FOR 10.85 SQ. FT. USE 6"X14" VENTS THAT PROVIDE 63 SQ. IN. OF NFV 63 SQ. IN. = .44 SQ. FT.**

10.85/.44 = 24.66 PROVIDE 25 VENTS  
(CONTRACTOR TO VERIFY EXISTING VENTS & INFORM ARCHITECT OF DISCREPANCIES IMMEDIATELY)



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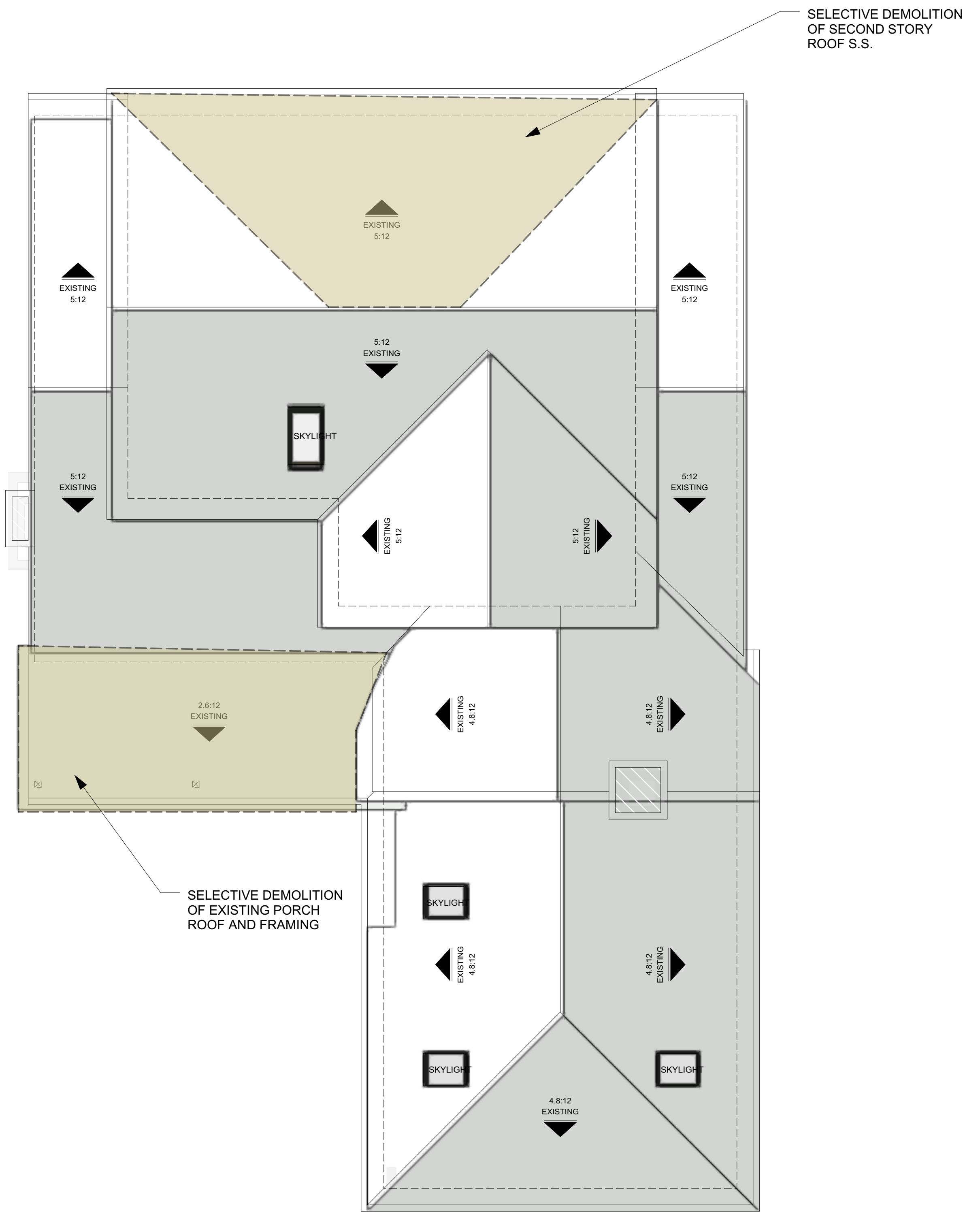
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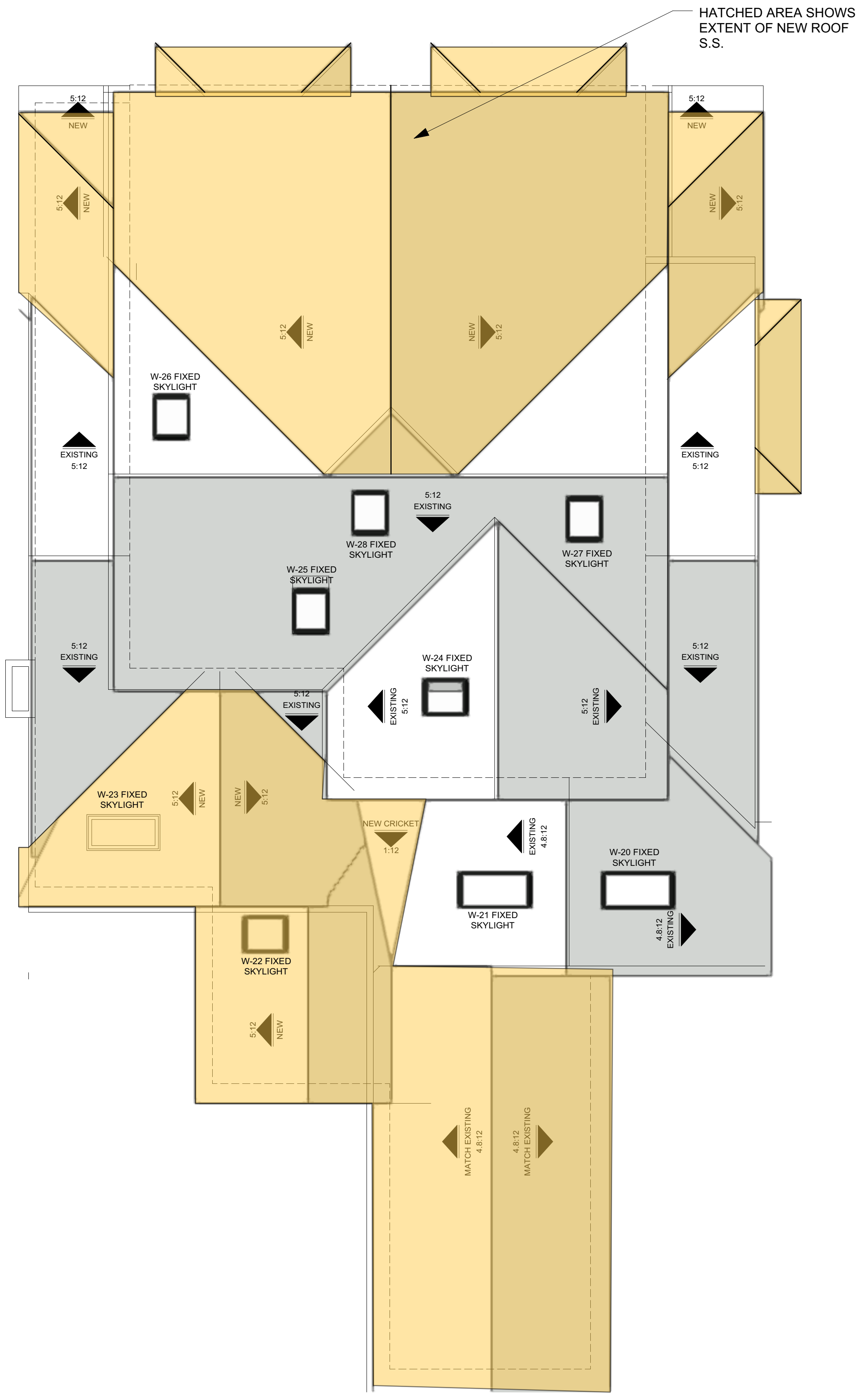
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**LEGEND**

- EXISTING ROOF TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW ROOF CONSTRUCTION  
SEE STRUCTURAL DETAILS FOR FRAMING SIZES
- (N) NEW
- (E) EXISTING
- (R) REPLACE



**EXISTING ROOF PLAN**  
Scale: 1/4" = 1'-0"

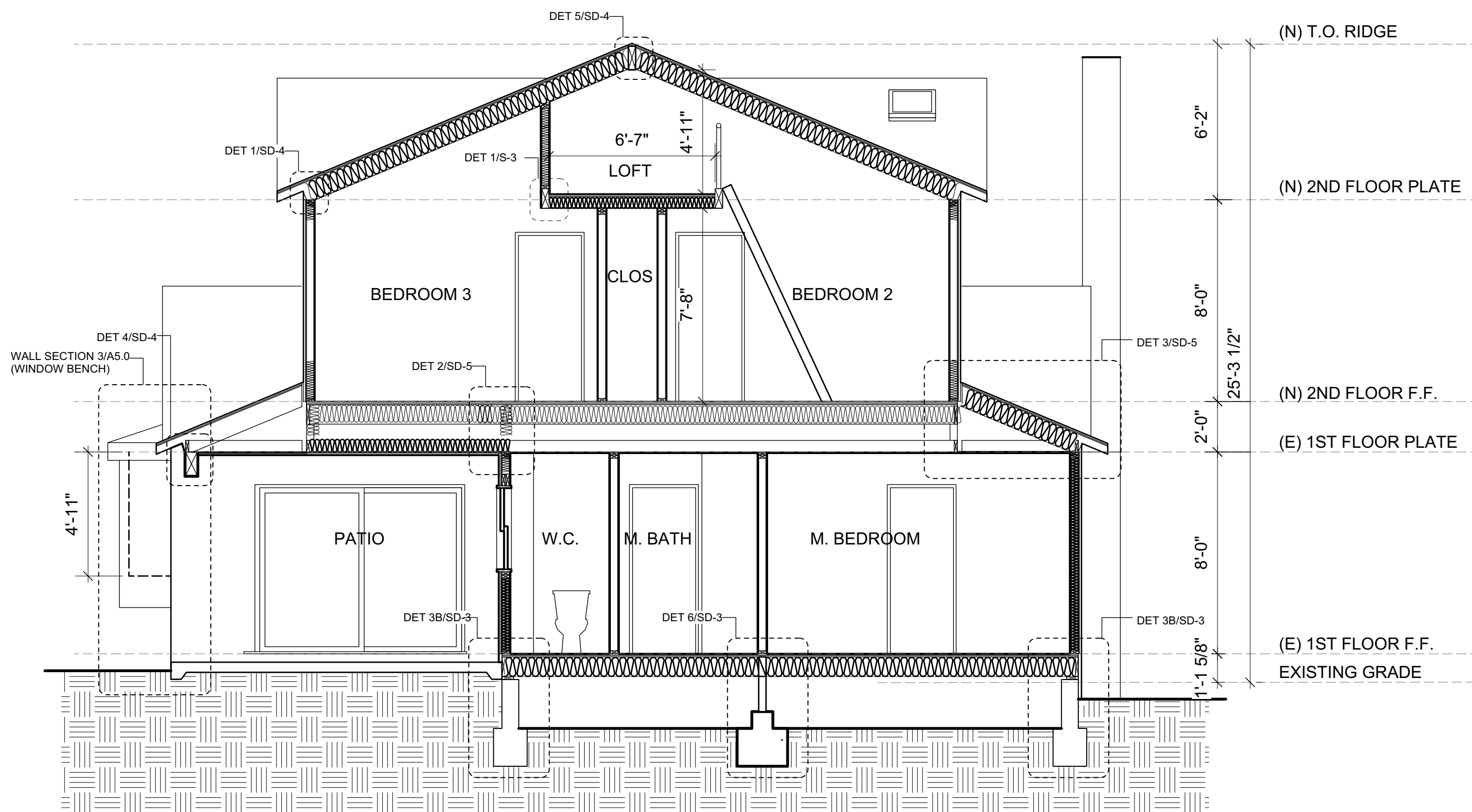


**PROPOSED ROOF PLAN**  
Scale: 1/4" = 1'-0"

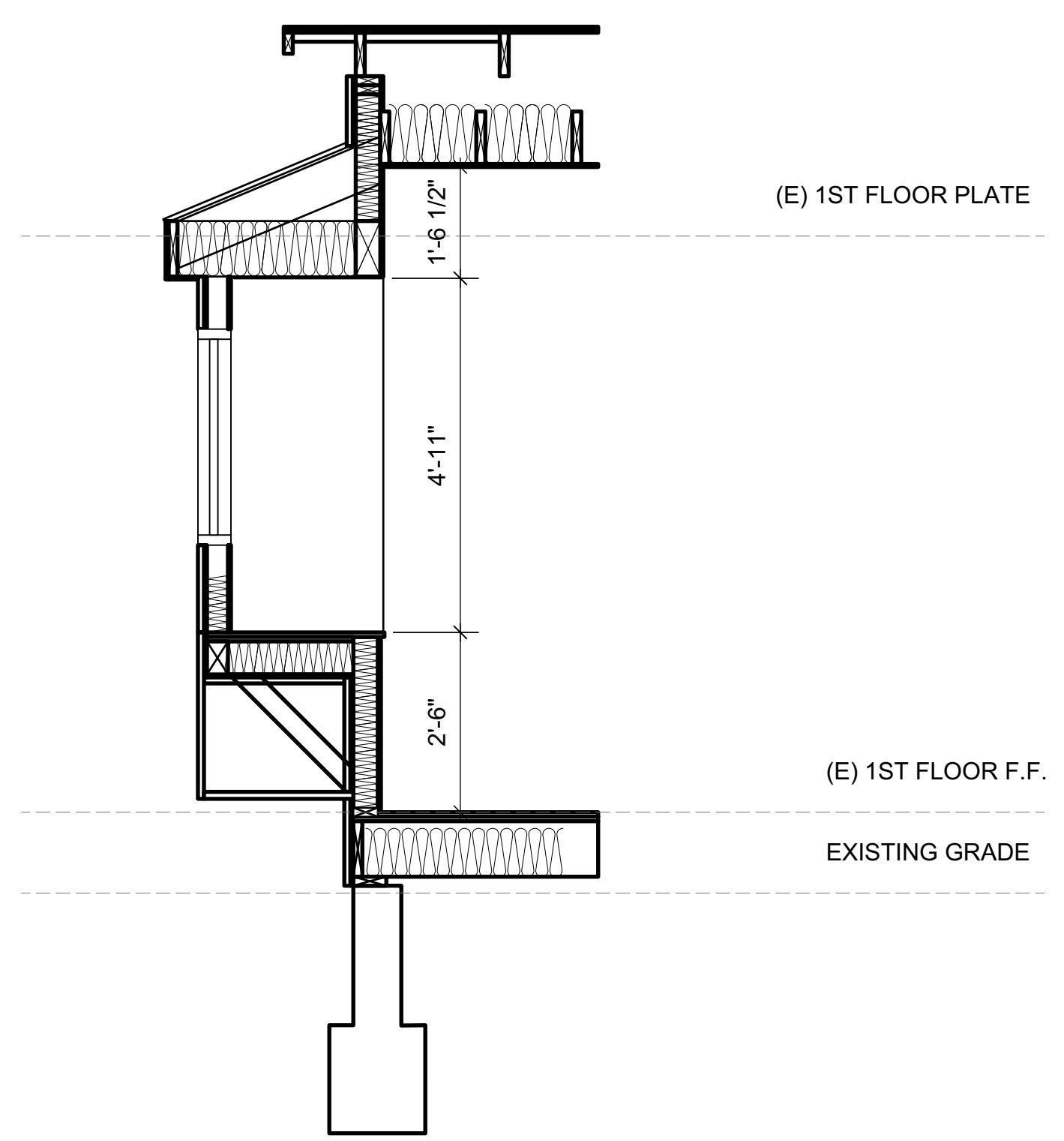


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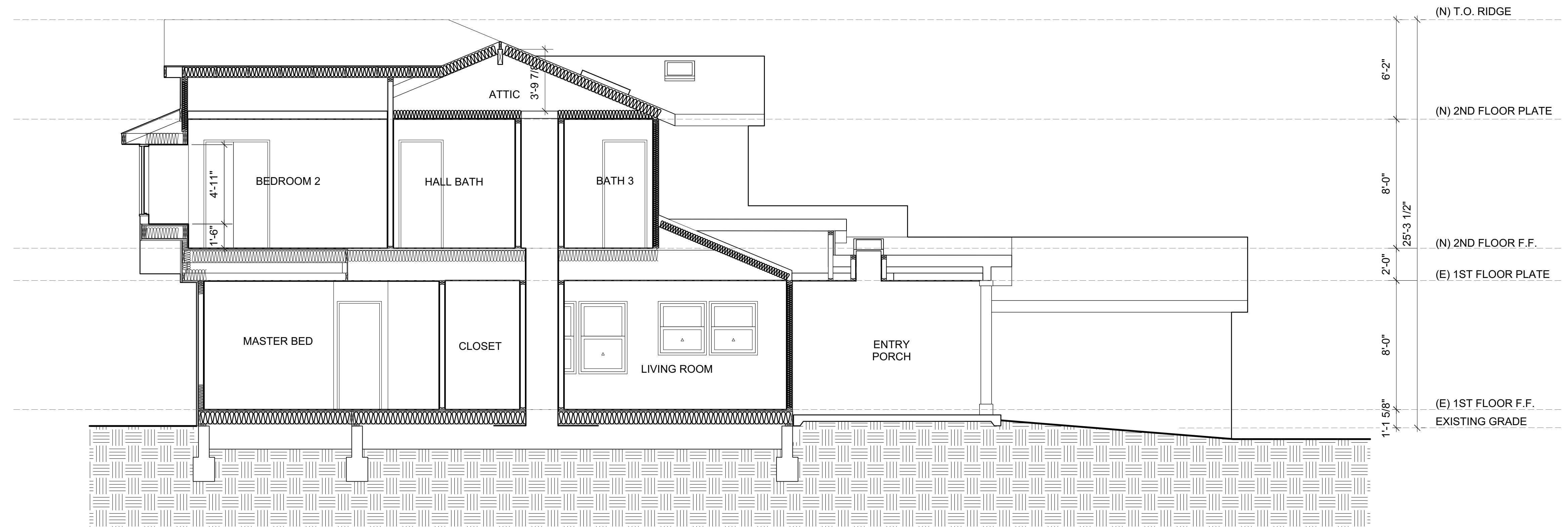
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SECTION 2  
Scale: 1/4" = 1'-0"



SECTION THROUGH WINDOW BOX AT FAMILY ROOM  
Scale: 1/2" = 1'-0"



SECTION 1  
Scale: 1/4" = 1'-0"