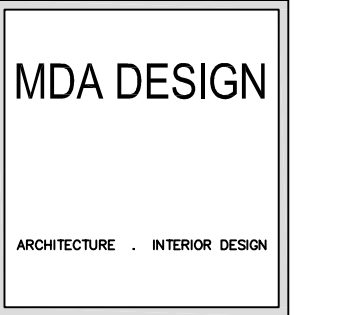


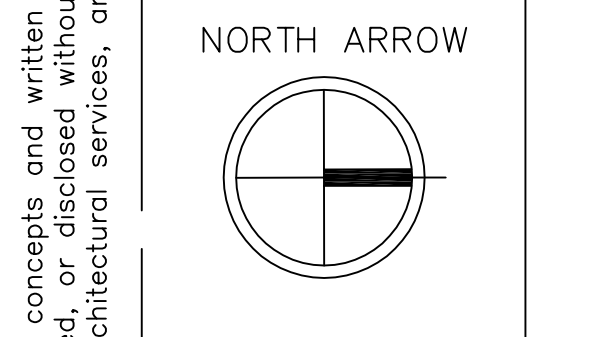
1170 PAYNE DRIVE  
NEW 2-STORY SINGLE FAMILY RESIDENCE WITH  
ATTACHED ACCESSORY DWELLING UNIT



ADDRESS  
908 BAINES STREET  
E. PALO ALTO, CA 94303

WEBSITE  
mda-projects.com  
EMAIL  
mdadesign1992@gmail.com  
MOBILE  
650-353-0273

PROPERTY ADDRESS
1170 PAYNE DRIVE LOS ALTOS, CA. 94024
PROPERTY OWNERS
PAYNE LLC 804 FIELDING DRIVE PALO ALTO, CA 94303
ASSESSOR PARCEL NO.
193-38-019
REVISIONS BY:
REVISIONS NO.: BY:
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DATE 10-21-20
JOB NO.
SCALE: AS NOTED
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CHECKED BY:
APPLIES TO ALL PLANS



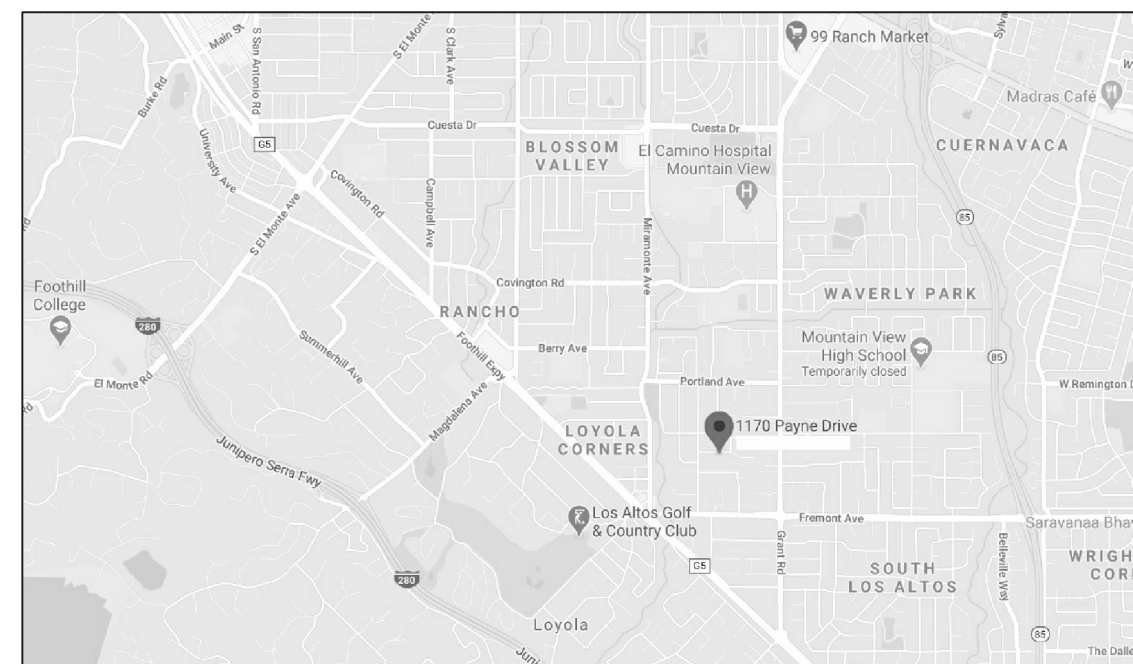
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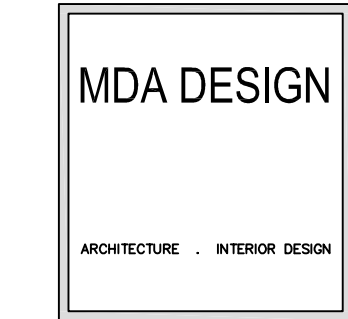
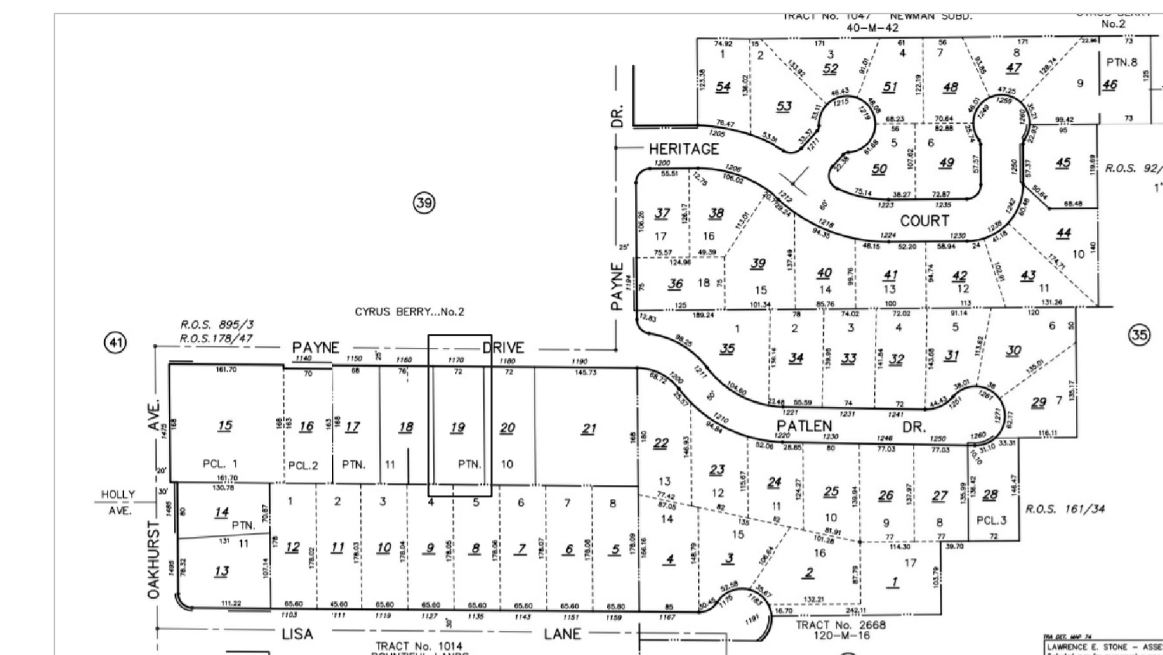
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CONSULTANTS:		SHEET INDEX:						
CIVIL ENGINEER:	T-24 AND MECHANICAL ENGINEER:	ARCHITECTURAL SHEETS:			LANDSCAPE SHEETS:		CIVIL ENGINEERING SHEETS:	
ED WU WEC AND ASSOCIATES 2625 MIDDLEFIELD RD., #658 PALO ALTO, CA 94306 650-823-6466	MUFEED ALSHAKHORI BALANCE COMFORT 5459 W. MISSION AVENUE, FRESNO, CA 93722 (559) 421-8814 mufeed@balancedcomfort.com	A-0.0	TITLE PAGE AND SHEET INDEX	L1.00	LANDSCAPE PLAN	C-0	TOPOGRAPHIC SURVEY	
		A-1.0	PROJECT DATA	L2.00	LANDSCAPE PLANTING PLAN	C-1	GRADING AND DRAINAGE PLAN	
		A-2.1	SITE PLAN / DEMOLITION PLAN	L3.00	LANDSCAPE WELO PLAN	C-2	EROSION CONTROL PLAN	
		A-2.2	SITE DEVELOPMENT PLAN	L3.01	LANDSCAPE WELO CALCULATION FORMS	C-3	DETAILS	
		A-2.3	ARBORIST REPORT	L4.00	LANDSCAPE IRRIGATION PLAN			
		A-2.4	SITE CONTEXTUAL PLAN					
		A-2.5	SITE ELEVATIONS					
		A-2.6	SITE ELEVATIONS					
		A-3.1	PROPOSED FIRST FLOOR PLAN					
		A-3.2	PROPOSED SECOND FL PLAN AND FIRST FL ROOF PLAN					
		A-3.3	PROPOSED SECOND FL ROOF PLAN AND DETAILS					
		A-4.1	PROPOSED FRONT/ NORTH ELEVATION AND DETAILS					
		A-4.2	PROPOSED RIGHT SIDE/ WEST AND GEN. NOTES					
		A-4.3	PROPOSED REAR/ SOUTH ELEVATION AND DETAILS					
		A-4.4	BUILDING SECTIONS A-A					
		A-4.5	BUILDING SECTIONS B-B AND C-C					
		A-5.1	ARCHITECTURAL DETAILS					
		A-6.1	AREA CALCULATIONS					
		A-6.2	AREA CALCULATIONS					

**AREA MAP**



**VICINITY MAP**



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**SCOPE OF WORK:**

DEMOLITION OF AN EXISTING 1,769 SQUARE FEET ONE STORY RESIDENCE AND THE CONSTRUCTION OF A NEW 3959 TWO STORY RESIDENTIAL STRUCTURE WITH ATTACHED ATTACHED ADU UNIT LOCATED AT THE REAR SIDE OF THE PROPERTY.

CODE COMPLIANCE:	PROJECT SITE INFORMATION:	BUILDING DATA SUMMARY:
CITY OF LOS ALTOS MUNICIPAL CODE 2019 CA. RESIDENTIAL CODE 2019 CA. BUILDING CODE 2019 CA. ELECTRICAL CODE 2019 CA. MECHANICAL CODE 2019 CA. PLUMBING CODE 2019 CA. ENERGY EFFICIENCY STANDARDS 2019 CA. GREEN BUILDING STANDARDS CODES 2019 CA. FIRE CODE	PROJECT ADDRESS: 1170 PAYNE DRIVE LOS ALTOS, CA 94024  OWNER'S NAME(S): PAYNE LLC CONTACT PERSON: ZACK HOU CONTACT NUMBER: (650) 213-6512 A.P.N.: 193-38-019	ZONING DISTRICT: R1-10 SINGLE FAMILY DISTRICT SPRINKLER SYSTEM: DEFERRED SUBMITTAL TYPE OF CONSTRUCTION: V-B LOT AREA: 12,094.0 SQUARE FEET NUMBER OF STORIES: ONE BUILDING OCCUPANCY GROUP: R3/U FLOOD ZONE: NO

**ZONING COMPLIANCE**

	EXISTING	PROPOSED	ALLOWED/REQUIRED
<b>LOT COVERAGE:</b> Land area covered by all structures that are over 6 feet in height	1,769.29 square feet ( 14.6% )	2,992.91 square feet ( 25% )	3,628.80 square feet (30% )
<b>FLOOR AREA:</b> Measured to the outside surfaces of exterior walls	1,769.29 square feet ( 14.6% )	3958.0 square feet ( 32.7% )	3,850 + 109 = 3,959.0 square feet (32.8%)
<b>SETBACKS: * narrow lot*</b>			
Front	29'-4"	25'-0" / 36'-7 1/2"	25'-0" / 32'- 1/2"
Rear	69'-9"	46'-5" / 74'-8"	25'-0" / 32'- 1/2"
Right side (1st/ 2nd)	18'-5"	7'-2" / 19'-1"	7'-2" (10% of lot width/not less than 5 feet/ 14'-8 "
Left side (1st / 2nd)	7'-2"	7'-9" / 21'-2"	7'-2" (10% of lot width/not less than 5 feet/ 14'-8 "
<b>HEIGHT:</b>		25'-10"	27'-0"

**SQUARE FOOTAGE BREAKDOWN**

	EXISTING	CHANGE IN	TOTAL PROPOSED
<b>HABITABLE LIVING AREA:</b> Includes habitable basement areas	1,448.0 square feet	2,068.0 square feet	3,516.0 square feet
<b>NON-HABITABLE AREA:</b> Does not include covered porches or open structures	321.0 square feet	120.0 square feet	441.0 square feet

**LOT CALCULATIONS**

NET LOT AREA:	square feet		
FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed 50%	FRONT YARD AREA = 1,800.0 SF HARDSCAPE : 581.0 Square feet ( .32%)		
LANDSCAPING BREAKDOWN:	EXISTING	PROPOSED	
	Total hardscape area (existing and proposed):sq.ft.	3,366.47	3,667.74
	Existing softscape ( new or replaced landscaping) area: sq.ft.	8,727.53	1,685.41
	New softscape (new or replaced landscaping) area: sq.ft.		6,740.85
Sum of all three should equal the site's net lot area	12,094.00	12,094.00	

**PROPERTY ADDRESS**

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LOS ALTOS, CA.  
94024

**PROPERTY OWNERS**

PAYNE LLC  
804 FIELDING DRIVE  
PALO ALTO, CA  
94303

**ASSESSOR PARCEL NO.**

193-38-019

**REVISIONS BY:**

REVISIONS NO.: BY:

△	

DATE 10-21-20

JOB NO.

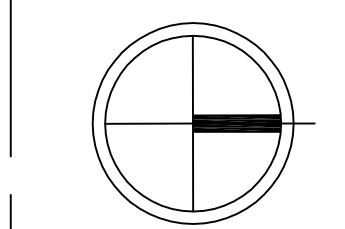
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**NORTH ARROW**



**CONTENT:**

PROJECT DATA

**SHEET NUMBER**

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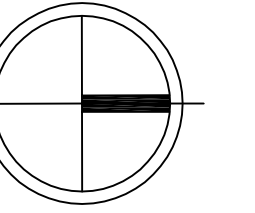
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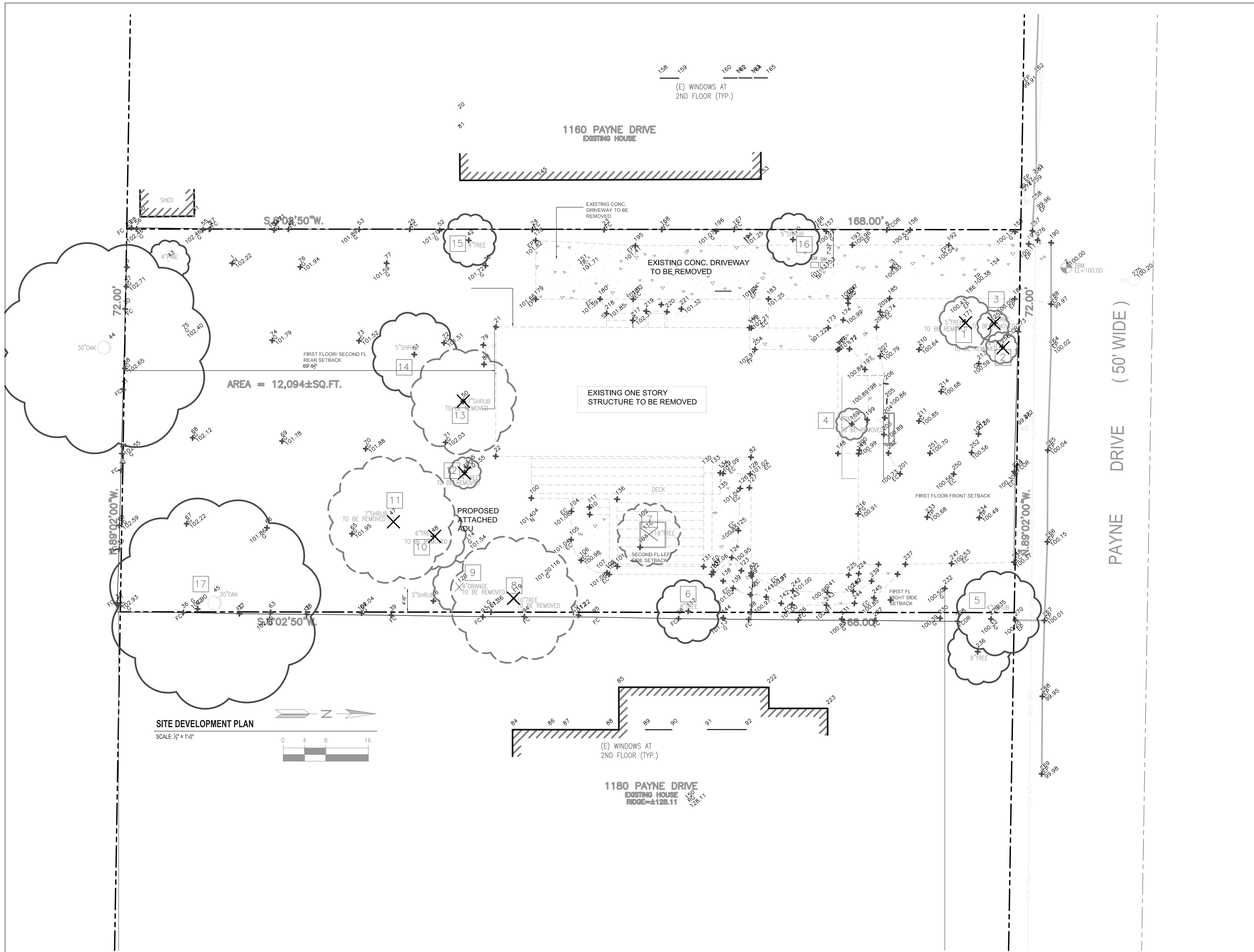
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SITE PLAN/ DEMO  
PLAN

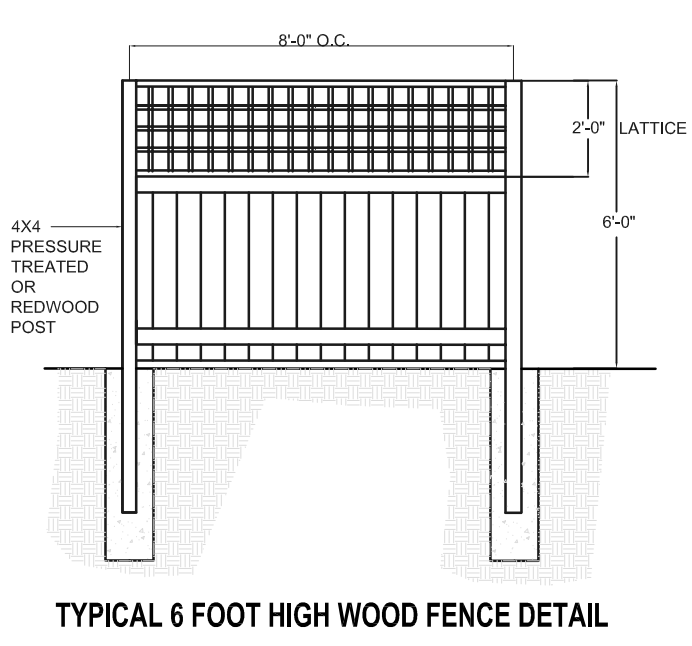
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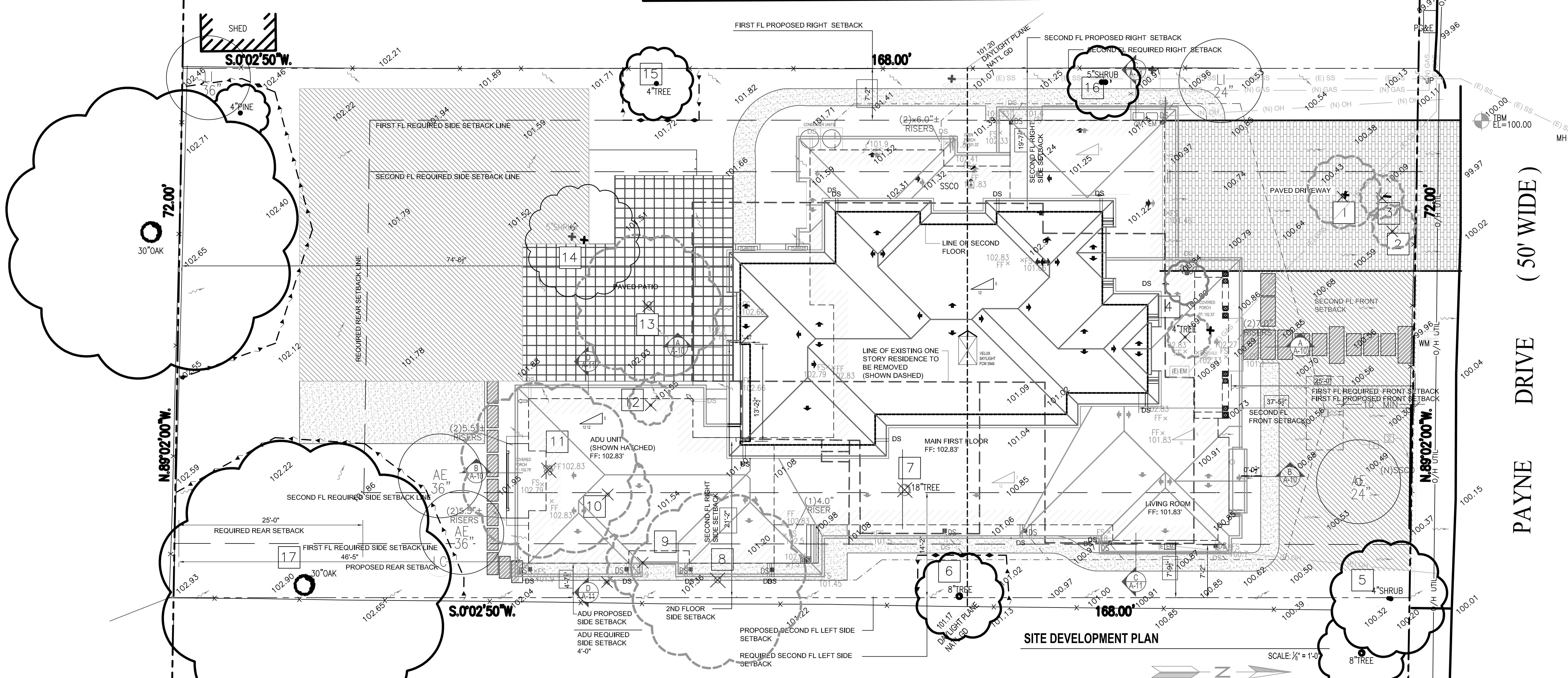
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1160 PAYNE DRIVE  
EXISTING HOUSE

LIST OF TREES/ BUSH

NO.	TREE/BUSH IDENTIFICATION	SIZE	TO REMAIN	TO BE REMOVED	TO BE REPLACED
1	CRAPE MYRTLE	5"		X	X
2	CRAPE MYRTLE	4"		X	X
3	JAPANESE MAPLE	4"		X	X
4	JAPANESE MAPLE	4"		X	X
5	PITOSPORUM	4"		X	X
6	FIRETHORN	8"		X	X
7	MULBERRY	18"		X	X
8	SILK TREE	10"		X	X
9	ORANGE	4"		X	X
10	APRICOT	6"		X	X
11	PRIVET	7"		X	X
12	APRICOT	4"		X	X
13	PRIVET	7"		X	X
14	JACARANDA	5"		X	X
15	APRICOT	4"		X	X
16	PRIVET	5"		X	X
17	COAST LIVE OAK	30"		X	X



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94024

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ASSESSOR PARCEL NO.

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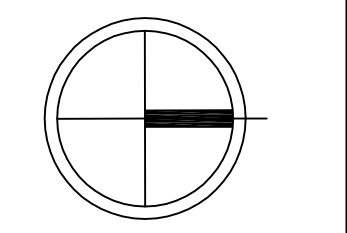
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NORTH ARROW



CONTENT:

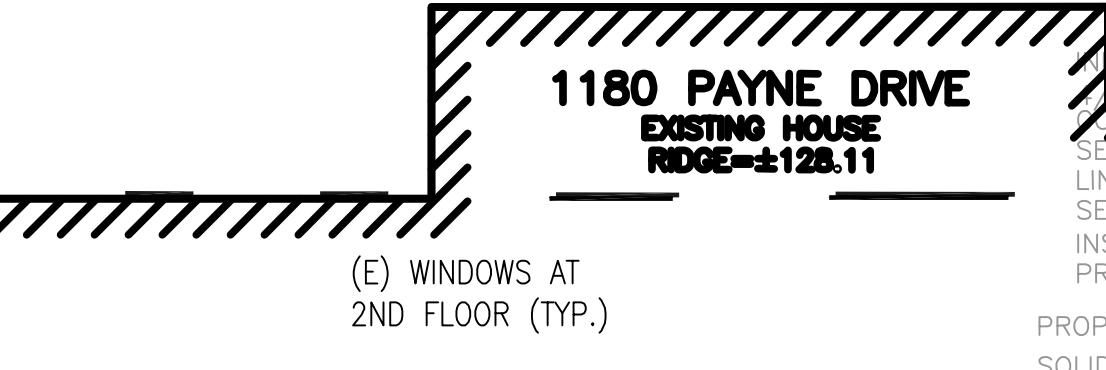
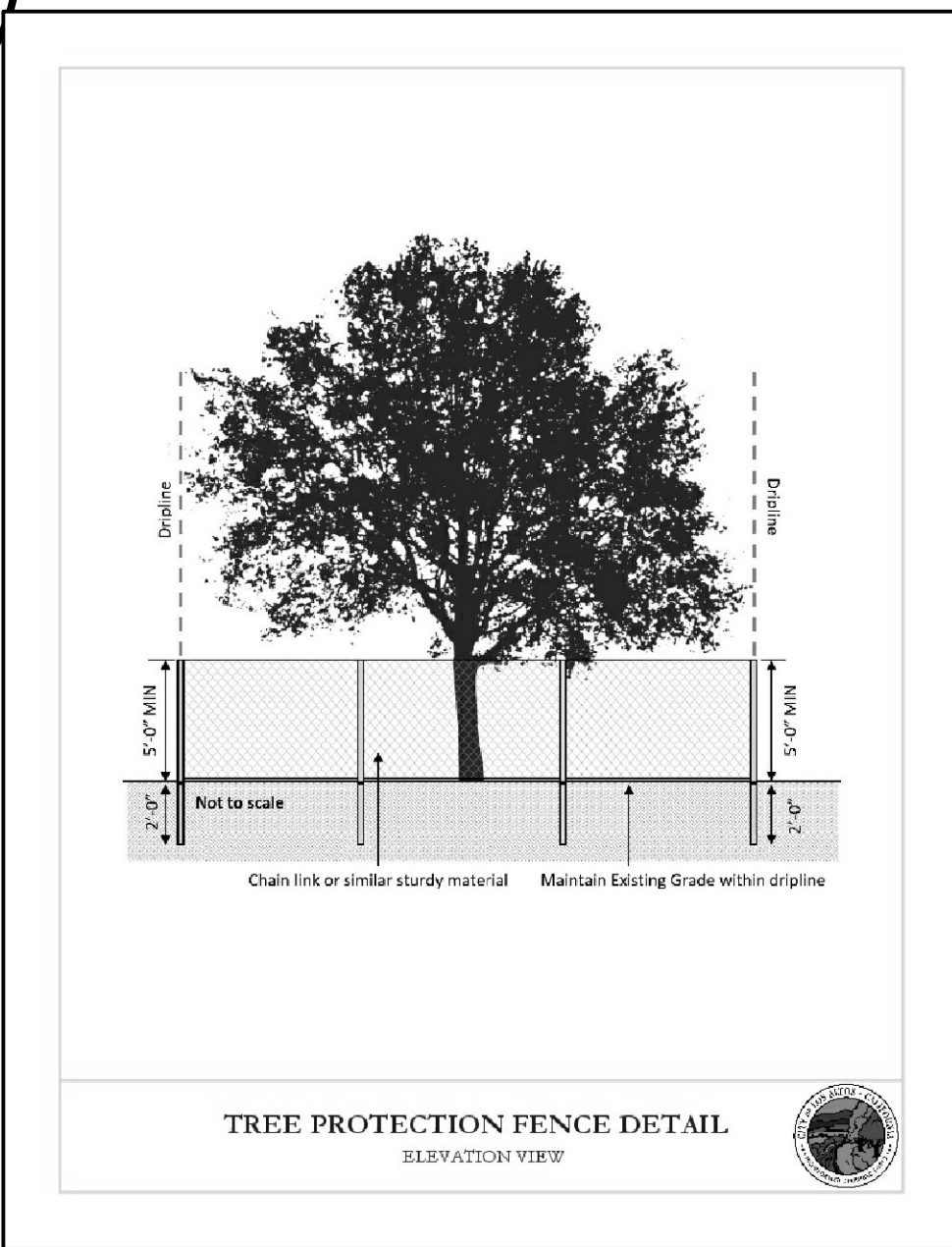
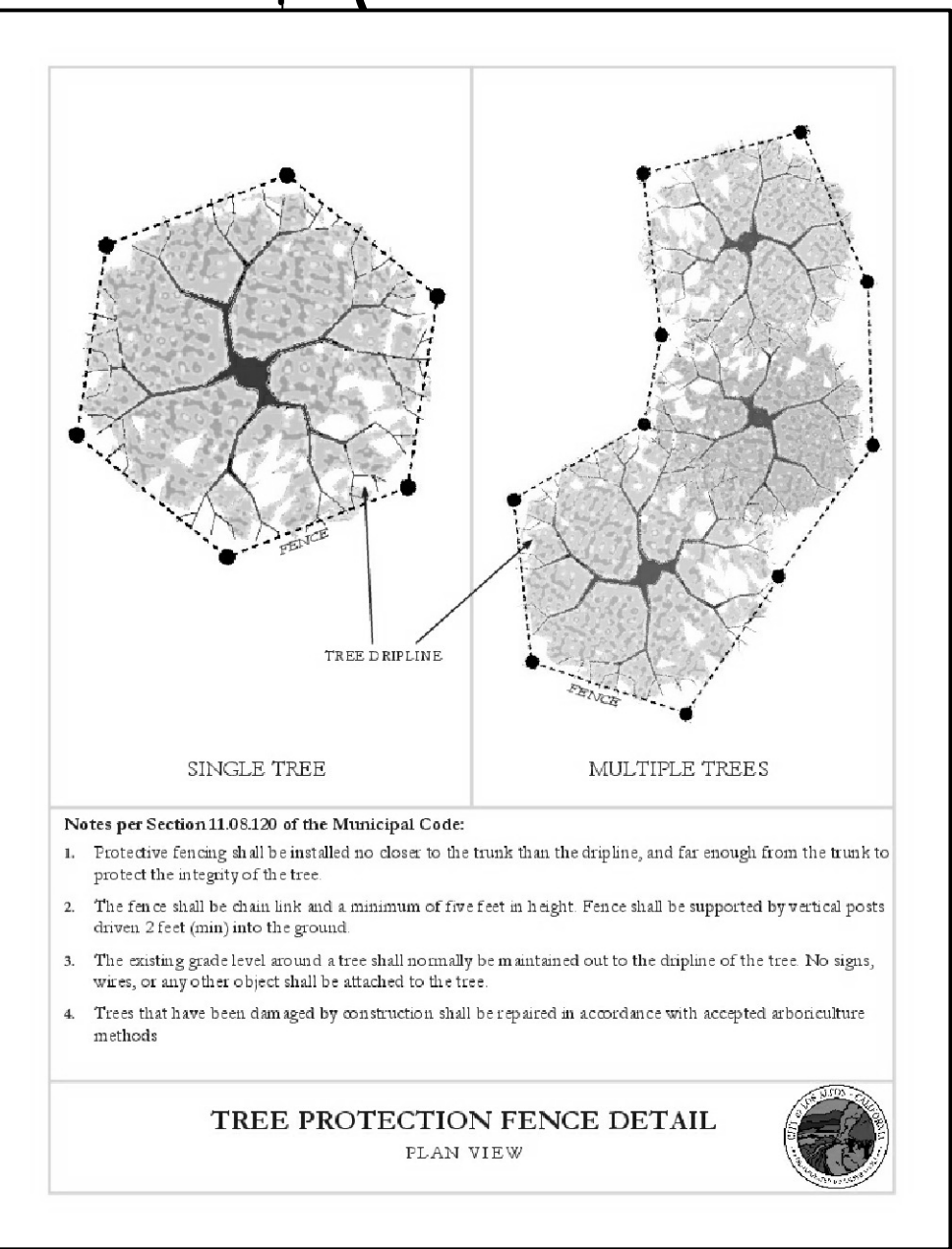
SITE DEVELOPMENT PLAN

SHEET NUMBER

A-2.2

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LEGEND:

				EXISTING GAS LINE	(E) GAS
				NEW GAS LINE	(N) GAS
				EXISTING SANITARY SEWER (NOTE: SAME LOCATION FOR NEW SS LINE)	(E) SS
				EXISTING OVERHEAD ELECTRICAL LINE	(E) OH
				NEW OVERHEAD ELECTRICAL LINE	(N) OH

TREE LEGEND:

(E) TREE TO REMAIN    (E) TREE TO BE REMOVED    PROPOSED NEW TREE

GENERAL NOTE:  
REFER TO ARBORIST REPORT FOR RECOMMENDED TREE PROTECTION PLAN:  
1. LANDSCAPE BARRIER ZONE  
2. INSPECTIONS  
3. ROOT CUTTING AND GRADING  
4. TRENCHING AND EXCAVATION  
5. IRRIGATION  
6. TREES #1, 2, 3, 7 AND 13 SHALL BE REPLACED- SEE TABLE

**Kiely Arborist Services LLC**  
 Certified Arborist WE#0476A  
 P.O. Box 6187  
 San Mateo, CA 94403  
 650-525-1464

September 9<sup>th</sup>, 2020

Mimny Abad  
 MDA DESIGN

Site: 1170 Payne Drive, Los Altos, CA

Dear Ms. Abad,

As requested on Tuesday, September 1<sup>st</sup>, 2020, I visited the above site for the purpose of inspecting and commenting on the trees. A new home is planned for this site and as required by the City of Los Altos a survey of the trees and a tree protection plan will be included. Site plan A.3 dated 8/30/20 was reviewed for writing this report.

**Method:**

The significant trees on this site were located on a map provided by you. Each tree was given an identification number. This number was inscribed on a metal foil tag and nailed to the trees at eye level. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). Each tree was put into a health class using the following rating system:

- F- Very Poor
- D- Poor
- C- Fair
- B- Good
- A- Excellent

The height of each tree was estimated and the spread was paced off. Lastly, a comments section is provided.

**Survey Key:**

- DBH-Diameter at breast height (54" above grade)
- CON- Condition rating (1-100)
- HT/SP- Tree height/ canopy spread
- \*Indicates neighbor's trees
- P-Indicates protected tree by city ordinance

Tree#	Species	DBH	CON	HT/SP	Comments
1R	Crape myrtle <i>(Lagerstroemia sp.)</i>	5.1	C	10/6	Fair vigor, fair form, topped in past.
2R	Crape myrtle <i>(Lagerstroemia sp.)</i>	4.2	C	8/5	Fair vigor, fair form, topped in past.
3R	Japanese maple <i>(Acer palmatum)</i>	4.0	B	3/5	Fair vigor, fair form.
4R	Japanese maple <i>(Acer palmatum)</i>	6.0@base	C	12/6	Fair to poor vigor, fair form, too close to existing building.
5	Pittosporum <i>(Pittosporum undulatum)</i>	6.0@base	B	10/8	Fair vigor, fair form.
6	Firethorn <i>(Pyracantha sp.)</i>	8.0@base	C	12/8	Fair vigor, fair form, topped in past.
7P/R	Mulberry <i>(Morus alba)</i>	18.2	D	14/12	Fair vigor, poor form, repeatedly topped in past.
8R	Silk tree <i>(Albizia julibrissin)</i>	10.5	C	20/25	Fair vigor, fair form, short lived species.
9R	Orange <i>(Citrus sp.)</i>	4.2	D	8/8	Fair to poor vigor, fair form, in decline.
10R	Apricot <i>(Prunus armentaca)</i>	6.1	D	10/8	Poor vigor, poor form, in decline.
11R	Privet <i>(Ligustrum japonicum)</i>	7.4	D	15/12	Poor vigor, poor form, in decline, close to home.
12R	Apricot <i>(Prunus armentaca)</i>	4.0	D	8/8	Poor vigor, poor form, in decline.
13R	Privet <i>(Ligustrum japonicum)</i>	7.5	D	15/10	Fair to poor vigor, poor form, multi leader, chlorosis.
14	Jacaranda <i>(Jacaranda mimosifolia)</i>	5.6	C	12/12	Fair vigor, fair form, codominant at grade.

Tree#	Species	DBH	CON	HT/SP	Comments
15	Apricot <i>(Prunus armentaca)</i>	4.6	C	8/8	Fair vigor, fair form, fertilize rec.
16	Privet <i>(Ligustrum japonicum)</i>	5.6	C	15/10	Fair vigor, fair form, chlorosis. Recommended to fertilize.
17P	Coast live oak <i>(Quercus agrifolia)</i>	30.2	B	40/35	Good vigor, fair form.

P-indicates a protected tree R-Indicates proposed tree removal

**Site observations:**

The existing landscape is in fair condition. The site is flat with no obvious slope. The only protected trees surveyed are mulberry tree #7 and oak tree #17



**Trees proposed for removal:**  
 Trees #1-4 and #8-13 are nonprotected trees proposed for removal. These trees need to be removed to facilitate the proposed construction. The only protected tree on site proposed to be removed is mulberry tree #7. The mulberry tree is in poor condition due to being radically topped in the past. Topping trees weakens tree roots, promotes decay and entry points for disease and insects, and raises risk of future limb failure as new growth does not develop properly branch to trunk unions. This tree is recommended for removal regardless of the proposed work on site as it is a hazardous tree.

Showing topped mulberry tree #7

**Summary:**

The remaining trees to be retained are in fair to good condition. Fertilizing trees with a C rating to be retained in Spring of 2020 will help to improve the vigor of the trees. No work is proposed near the large oak tree on site to be retained; therefore, no impacts are expected. The following tree protection plan will help to ensure the future health and survival of the retained trees on site.

1170 Payne /9/9/20 (4)

**Tree Protection Plan:**

**Tree Protection Zones**  
 Tree protection zones should be installed and maintained throughout the entire length of the project. Prior to the commencement of any Development Project, a chain link fence shall be installed at the drip line (canopy spread) of any protected tree which will or will not be affected by the construction. Non-protected trees to be retained shall also be protected in the same way. The drip line shall not be altered in any way so as to increase the encroachment of the construction. When work is to take place underneath a trees dripline, fencing must be placed as close as possible to the tree proposed work. If an area of access is needed underneath a trees canopy, the area shall be protected by a landscape barrier. Fencing for the protection zones should be 6-foot-tall metal chain link type supported by 2 inch metal poles pounded into the ground by no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Excavation, grading, soil deposits, drainage and leveling is prohibited within the tree protection zones without the project arborist consent. No wires, signs or ropes shall be attached to the protected trees on site. Utility services and irrigation lines shall all be placed outside of the tree protection zones when possible. When access is needed and tree protection fencing restricts access a landscape barrier shall be installed to protected the non-protected root zone.

**Landscape Barrier zone**

If for any reason a smaller tree protection zone is needed for access, a landscape barrier consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where tree protection fencing is required. The landscape barrier will help to reduce compaction to the unprotected root zone.

**Inspections**

The site arborist will need to verify that tree protection fencing has been installed before the start of construction. The site arborist must inspect the site anytime excavation work is to take place underneath a protected trees dripline. It is the contractor's responsibility to contact the site arborist if excavation work is to take place underneath the protected trees on site. Kiely Arborist Services can be reached at kkarbor0476@yahoo.com or by phone at (650) 515-9783 (Kevin), or (650) 532-4418 (David).

**Root Cutting and Grading**

If for any reason roots are to be cut, they shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist. The site arborist must first give consent if roots over 2 inches in diameter are to be cut. Roots may or may not need to be saved within foundation material.

1170 Payne /9/9/20 (5)

**Trenching and Excavation**

Trenching for foundation, irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible and if possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

**Irrigation**

Normal irrigation shall be maintained on this site at all times. The imported trees will require normal irrigation. On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April - November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation. Native oak trees shall not be irrigated unless directed by the project arborist.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kiely  
 Certified Arborist WE#0476A *Kevin Kiely*

1170 Payne /9/9/20 (6)

**Kiely Arborist Services**  
 P.O. Box 6187  
 San Mateo, CA 94403  
 650-515-9783

**ARBORIST DISCLOSURE STATEMENT**

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like a medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

*Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risks is to eliminate all trees.*

Arborist: *Kevin Kiely*  
 Kevin R. Kiely

Date: September 9<sup>th</sup>, 2020

**MDA DESIGN**

ARCHITECTURE . INTERIOR DESIGN

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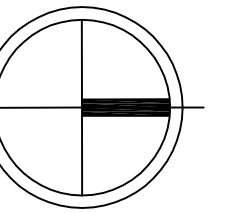
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APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

ARBORIST  
 REPORT

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**A-2.3**

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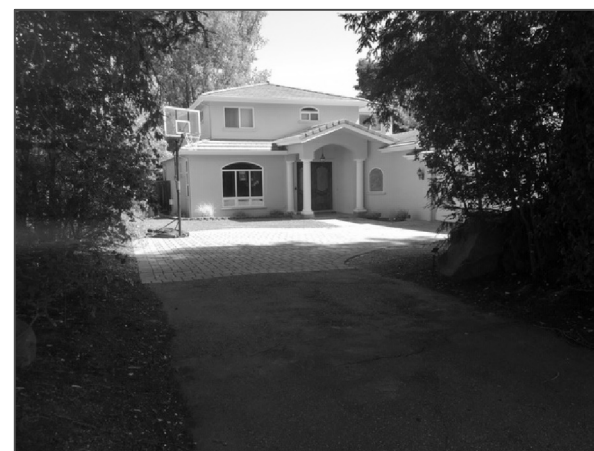
1131 PAYNE DRIVE  
ONE STORY  
ARCH STYLE: MEDITERRANEAN  
MATERIALS:  
WALL: STUCCO AND STONE TRIMS  
ROOF: CONCRETE TILE  
DRIVEWAY: PERMEABLE STONE  
GARAGE LOCATION: FRONT



1141 PAYNE DRIVE  
ONE STORY  
ARCH STYLE: EICHLER  
MATERIALS:  
WALL: STUCCO AND WOOD SIDING  
ROOF: TAR AND GRAVEL  
DRIVEWAY: PERMEABLE STONE  
GARAGE LOCATION: FRONT



1151 PAYNE DRIVE  
TWO STORY  
ARCH STYLE: AMERICAN CRAFTSMAN  
WALL: WOOD SIDING  
ROOF: COMPOSITION SHINGLE  
DRIVEWAY: CONCRETE  
GARAGE LOCATION: FRONT



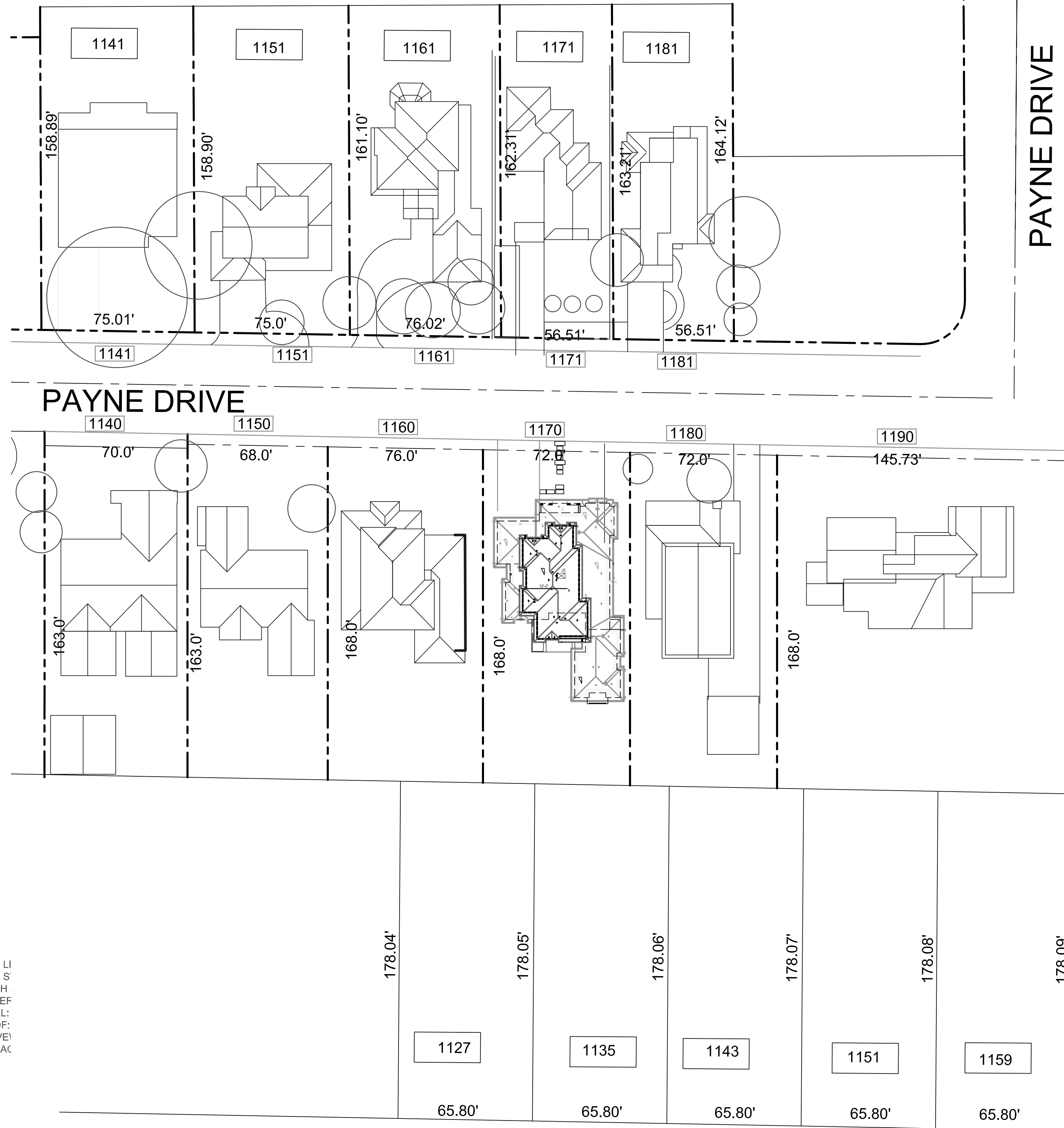
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TWO STORY  
ARCH STYLE: MODERN COLONIAL  
WALL: STUCCO  
ROOF: CONCRETE TILE  
DRIVEWAY: CONCRETE  
GARAGE LOCATION: FRONT/ SIDE ACCESS



1171 PAYNE DRIVE  
ONE STORY  
ARCH STYLE: AMERICAN CRAFTSMAN  
WALL: WOOD SIDING  
ROOF: COMPOSITION SHINGLE  
DRIVEWAY: PERMEABLE STONE  
GARAGE LOCATION: REAR (RECESSED)

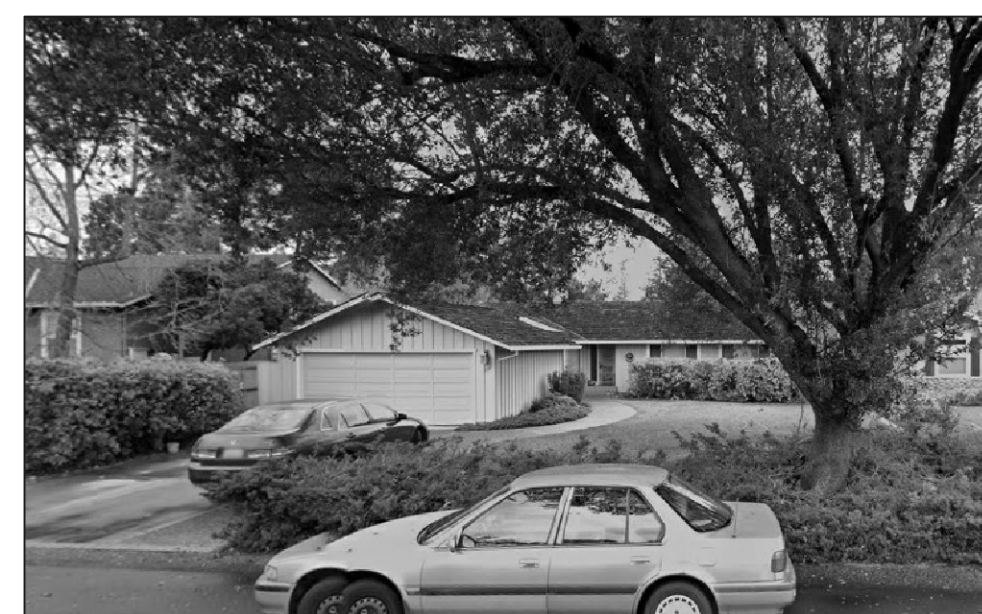


1181 PAYNE DRIVE  
TWO STORY  
ARCH STYLE: MEDITERRANEAN  
WALL: STUCCO  
ROOF: CLAY TILE  
DRIVEWAY: CONCRETE  
GARAGE LOCATION: FRONT



**SITE CONTEXTUAL PLAN**

SCALE: 1/8" = 1'-0"



1127 LISA LANE  
ONE STORY  
ARCH STYLE: BUNGALOW  
MATERIALS:  
WALL: WD SIDING/ BOARD & BATTEN  
ROOF: COMPOSITION SHINGLE  
DRIVEWAY: CONCRETE  
GARAGE LOCATION: FRONT



1135 LISA LANE  
ONE STORY  
ARCH STYLE: BUNGALOW  
MATERIALS:  
WALL: STUCCO/ STONE VENEER  
ROOF: COMPOSITION SHINGLE  
DRIVEWAY: PERMEABLE STONE  
GARAGE LOCATION: FRONT



1190 PAYNE DRIVE  
TWO STORY  
ARCH STYLE: FARMHOUSE  
WALL: BOARD AND BATTEN  
ROOF: METAL  
DRIVEWAY: CONCRETE  
GARAGE LOCATION: FRONT



1180 PAYNE DRIVE  
TWO STORY  
ARCH STYLE: FARMHOUSE  
WALL: SHINGLE/ STONE VENEER  
ROOF: COMPOSITION SHINGLE  
DRIVEWAY: CONCRETE  
GARAGE LOCATION: REAR (RECESSED)



1160 PAYNE DRIVE  
TWO STORY  
ARCH STYLE: MODERN  
MATERIALS:  
WALL: STUCCO  
ROOF: COMPOSITION SHINGLE  
DRIVEWAY: CONCRETE  
GARAGE LOCATION: FRONT



1150 PAYNE DRIVE  
ONE STORY  
ARCH STYLE: AMERICAN CRAFTSMAN  
MATERIALS:  
WALL: WOOD SIDING/ BOARD AND BATTEN  
ROOF: COMPOSITION SHINGLE  
DRIVEWAY: CONCRETE  
GARAGE LOCATION: FRONT/SIDE ACCESS



1140 PAYNE DRIVE  
ONE STORY  
ARCH STYLE: RANCH  
MATERIALS:  
WALL: WOOD SIDING/ BOARD AND BATTEN  
ROOF: COMPOSITION SHINGLE  
DRIVEWAY: CONCRETE  
GARAGE LOCATION: REAR

MDA DESIGN

ARCHITECTURE . INTERIOR DESIGN

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PROPERTY ADDRESS  
1170 PAYNE DRIVE  
LOS ALTOS, CA  
94024

PROPERTY OWNERS  
PAYNE LLC  
804 FIELDING DRIVE  
PALO ALTO, CA  
94303

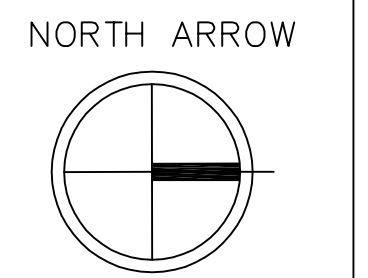
ASSESSOR PARCEL NO.  
193-38-019

REVISIONS BY:  
REVISIONS NO: BY:

DATE	10-21-20
JOB NO.	
SCALE:	AS NOTED
DRAWN BY:	MA
CHECKED BY:	

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:  
SITE CONTEXTUAL PLAN

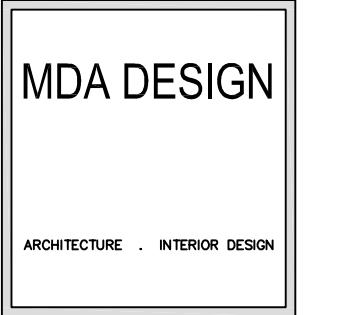
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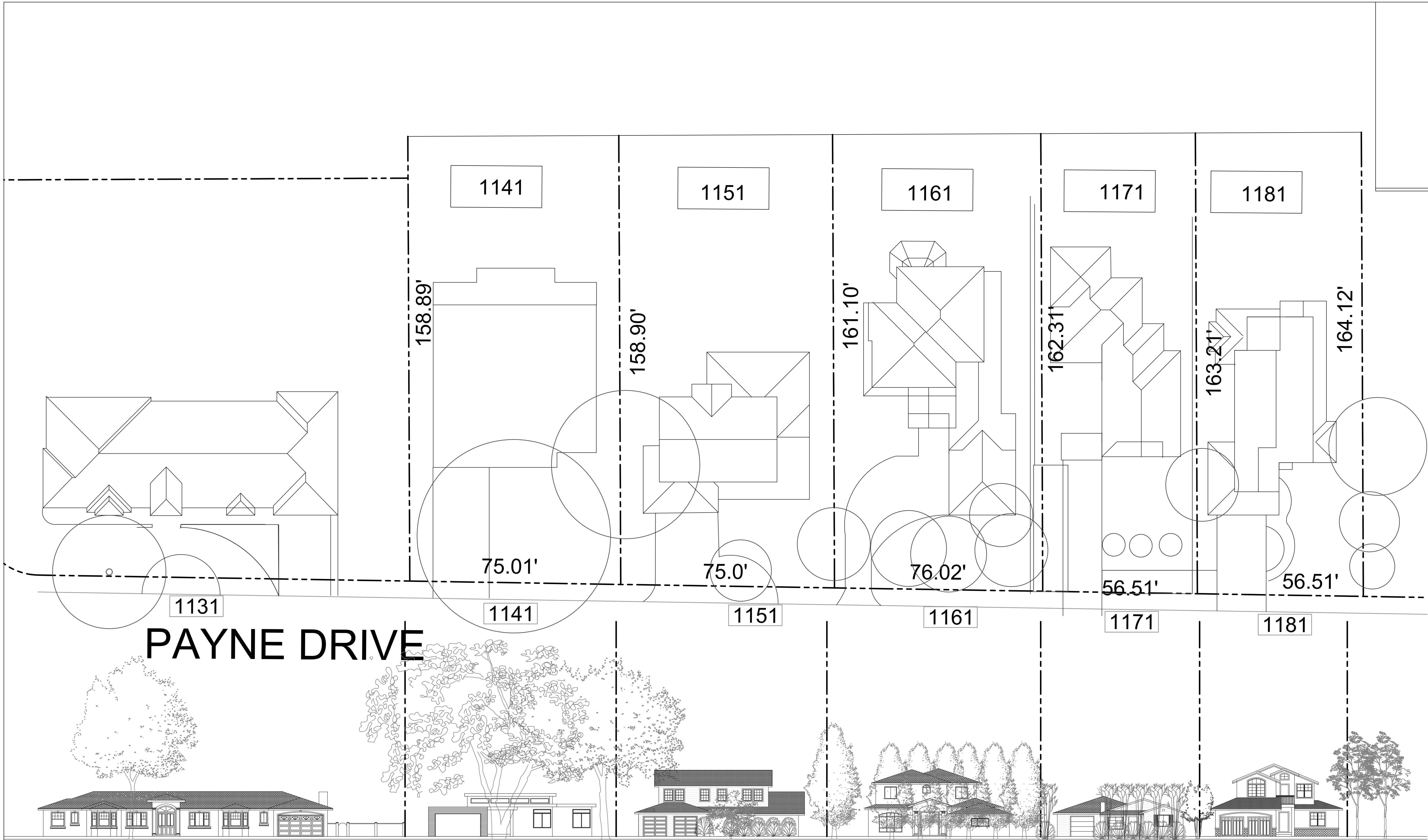
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# PAYNE DRIVE

## SITE ELEVATIONS

SCALE:  
1/8" = 1'-0"

### PROPERTY ADDRESS

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LOS ALTOS, CA.  
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### PROPERTY OWNERS

PAYNE LLC  
804 FIELDING DRIVE  
PALO ALTO, CA  
94303

### ASSESSOR PARCEL NO.

193-38-019

### REVISIONS BY:

REVISIONS NO.: BY:

DATE 10-21-20

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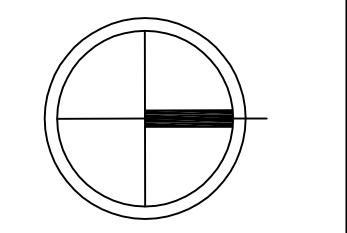
SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

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### NORTH ARROW



### CONTENT:

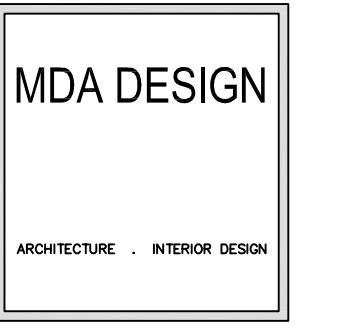
SITE ELEVATIONS

### SHEET NUMBER

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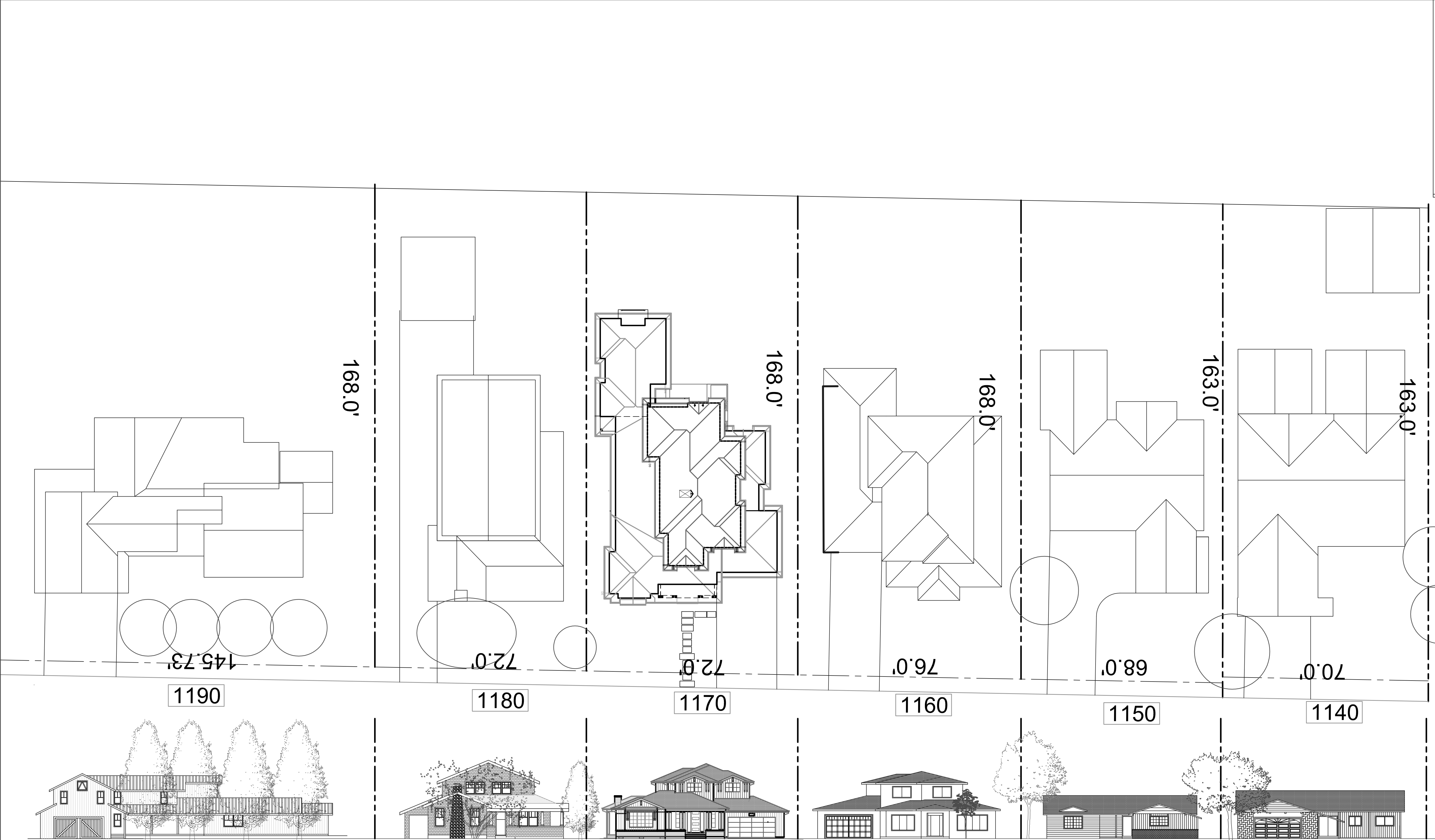


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PROPERTY ADDRESS

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94024

PROPERTY OWNERS

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804 FIELDING DRIVE  
PALO ALTO, CA  
94303

ASSESSOR PARCEL NO.

193-38-019

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REVISIONS NO: BY:

DATE 10-21-20

JOB NO.

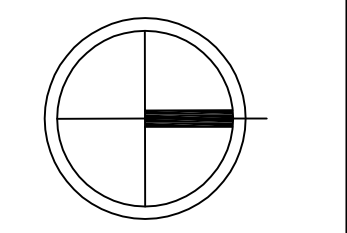
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CONTENT:

SITE ELEVATIONS

SHEET NUMBER

A-2.6

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PROPERTY ADDRESS

1170 PAYNE DRIVE  
LOS ALTOS, CA  
94024

PROPERTY OWNERS

PAYNE LLC  
804 FIELDING DRIVE  
PALO ALTO, CA  
94303

ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

NO.	DATE	BY

DATE 10-21-20

JOB NO.

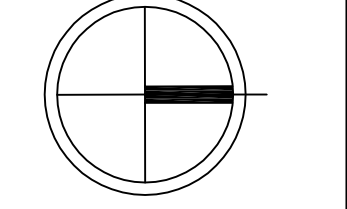
SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



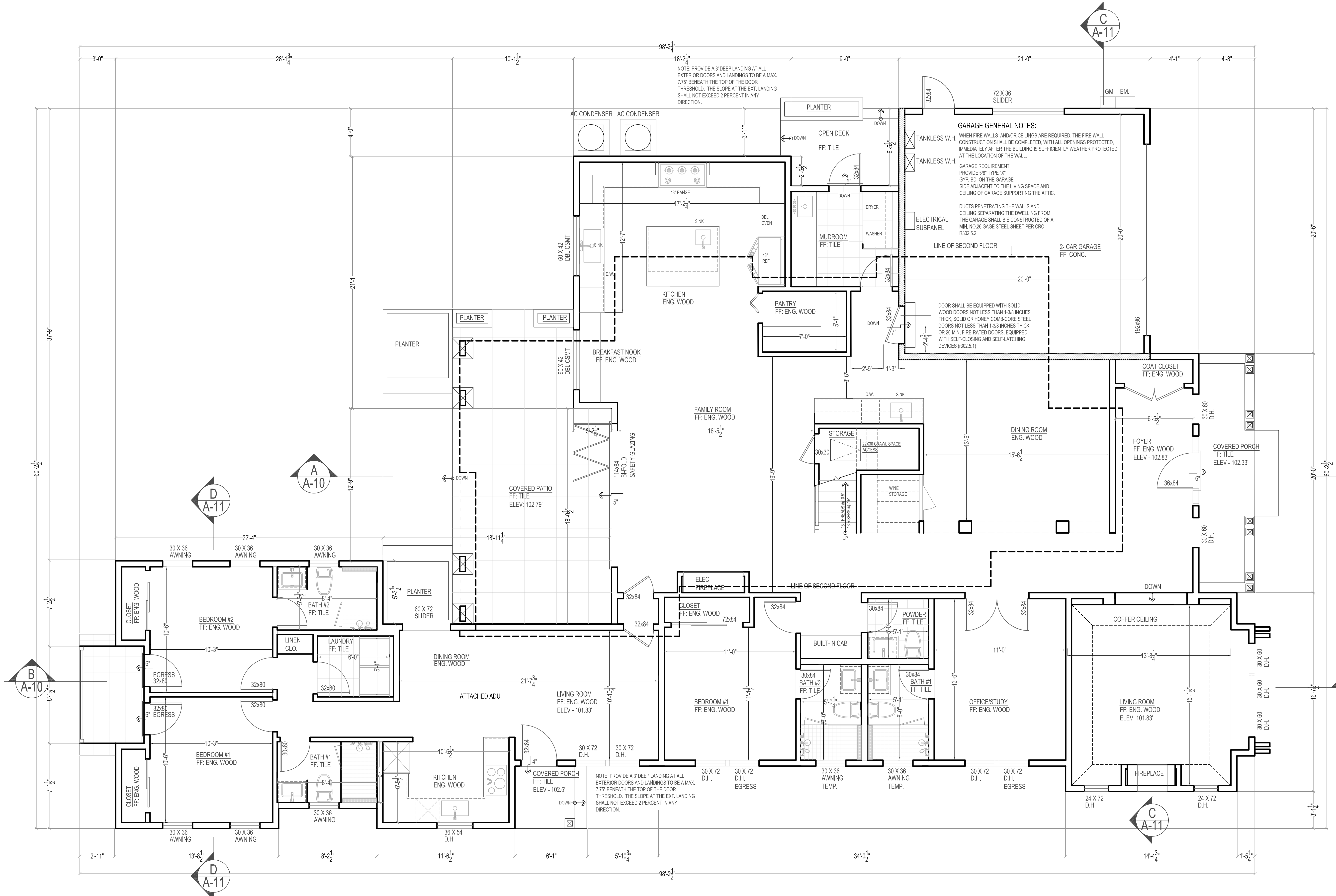
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FIRST FLOOR PLAN

SHEET NUMBER

**A-3.1**

APPROVAL STAMP



**FIRST FLOOR PLAN**

SCALE: 1/2" = 1'-0"

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**GENERAL NOTES:**  
**PLUMBING REQUIREMENTS:**  
**Tub/Shower Requirements**

- The mixing valve in a shower (including over a tub) shall be pressure balancing set at a maximum 120° F. The water filter valve in bathtubs/pools shall have a temperature limiting device set at a maximum of 120° F. The water heater thermostat cannot be used to meet these provisions. (CPC 408.3, 409.4)
- New or reconfigured shower stalls shall be a minimum finished interior of 1.024 square inches, be capable of encompassing a 30 inch diameter circle. Any doors shall swing out of the enclosure have a clear opening of 22 inches minimum. (CPC 408.5, 408.6)
- Shower stalls and bathtubs with shower heads installed, shall have walls finished with a nonabsorbent surface for a minimum of 6 feet above the floor. (CPC 1209 and CRC 8307.2)
- Hydro-massage tubs (i.e. Jacuzzi tubs) shall have access to the motor, be supplied by a GFCI protected dedicated circuit, and be listed by a recognized testing agency (i.e. UL). All metal cables, fittings, piping, or other metal surfaces, within 5 feet of the inside wall of the Hydromassage tub shall be properly bonded. Hydro-massage tubs shall be bonded with a minimum #8 AWG bare copper wire and the bonding shall be accessible. (CEC 680.70)
- Underlayment material used as backers for wall tile or solid surface material in tub and shower enclosures shall be either glass mat/fiber-reinforced gypsum backing panels (i.e. DensShield, Dens Armor Plus), non-asbestos fiber-cement/fiber mat back board (i.e. Hardbacker, cement board). All material shall be installed in accordance with the manufacturer's recommendations. Water-resistant gypsum board (i.e. purple board) may be used when attached directly to studs, overlaid with minimum Grade B building paper and wire lath. The lath shall be attached to the wire lath. (CPC 2509 and CRC 8702.4)
- Shower floors shall be lined with an approved shower pan or an on-site built watertight approved lining (i.e. hot mop). On-site built shower linings shall extend a minimum of 3 inches vertically up the wall and shall be sloped 1/4" per foot to weep holes. (CPC 408.7)
- When a curb is provided at a shower, it shall be a minimum of 1 inch above the shower floor and between 2 inches and 9 inches above the top of the drain. A watertight nailing flange that extends a minimum of 1 inch high shall be installed where the shower floor meets the vertical surface of the shower compartment. The finished floor of the shower compartment shall be uniformly sloped between 1/4" and 1/2" per foot towards the drain. (CPC 408.5)

Where a curb is not provided at the shower compartment, the entire bathroom shall be considered a wet location. The flooring in the entire bathroom shall comply with the water proofing Rev. 11-2019 requirements described above for shower floors (previous bullet) and all lighting fixtures shall be approved for wet locations.

If installing a tub next to an existing fire rated wall (i.e. between apartment units or townhomes, etc.) the integrity of the fire rated wall construction shall be maintained (i.e. fire-backing shall be installed in the wall void per R302.11 and R302.11.1 of the CRC and shall be constructed per CRC 302 Fire-Resistant Construction. Continuity of such fire-resistanted walls shall be per R302.2.3 of the CRC, i.e., continuity of protection shall be full height from floor to ceiling, etc.)

Lavatory sinks require a minimum of 24 inches front clearance [CPC 402.5].  
 Showers require a minimum 2 inch drain and trap [CPC Table 702.1]

All piping 1/2 inch or more in diameter and all hot water pipes associated with the recirculation system up to be insulated with min. 1 inch thick insulation. Existing inaccessible piping does not require insulation [CNC 150.0(2)]

Newly installed plumbing fixtures shall be water-conserving in compliance with the California Plumbing Code and Green Building Standards. All existing plumbing fixtures not included in the scope of new work shall be replaced if necessary to comply with SB407 Plumbing Fixtures Replacement requirements.

Water Efficient Plumbing Fixtures (CalGreen 301.1.1, 4.303)  
 All plumbing fixtures (based on water efficiency) throughout the house shall meet the following table:

Plumbing Fixture	Fixture Required	Water-Conserving Plumbing
Water Closet (Toilet)	1.28 gallons/flush	Flush (maximum flow-rates)
Showerhead	1.8 gallons/minute at 80 psi	
Faucet - Bathroom	1.2 gallons/minute at 80 psi	
Faucet - Kitchen	1.8 gallons/minute at 60 psi (average)	

Smoke and Carbon Monoxide Alarms (CBC 907.2.10, CRC 314 and 315)  
 Smoke alarms shall be installed on the ceiling or wall (between 4" and 12" of the ceiling) in all sleeping rooms, each area/hallway adjacent to sleeping rooms, each story of the building, and in any basement. Smoke alarms shall be replaced 10 years after the date of manufacture listed on the alarm (if no date is listed the alarm shall be replaced). Newly installed smoke alarms shall have a 10-year battery.  
 Carbon monoxide (CO) alarms shall be installed on the ceiling or wall (above the door header) in each area/hallway adjacent to sleeping rooms, each occupiable story, and within a bedroom if the bedroom or attached bathroom contains a fuel-burning appliance. CO alarms are not required if there is no fuelburning appliance or fireplace in the house and where the garage is detached from the house.

**Tempered Glazing (CBC 2408.4, 2403.1 and CRC 308.1, R308.4)**  
 Tempered glazing shall be installed in the locations listed below. Tempered glazing shall be permanently identified by a manufacturer marking that is permanently applied and cannot be removed without being destroyed (e.g. sand blasted, acid etched, ceramic fired, laser etched, or embossed).

- Within a portion of wall enclosing a tub/shower where the bottom exposed edge of the glazing is less than 60 inches above the standing surface and drain inlet.
- Within 60 inches of a tub/shower where the glazing is less than 60 inches above the walking surface.
- Glazing within 24 inches of either side of the door in the plane of the door in a closed position.
- Glazing on the hinge-side of an in-swinging door that is installed perpendicular to a door in a closed position and within 24 inches of the door.

**MECHANICAL REQUIREMENTS:**  
 Mechanical ventilation is required in all bathrooms with tubs or showers. The fan must move a minimum 50 CFM of air and be separately switched from the lighting. Fans that operate continuously can be 20 CFM. The duct must terminate on the exterior not less than 3 feet from the openings into the building [CNC 502.2.1].  
 Baths with no tub or shower (half baths) do not require mechanical ventilation if they are provided with a window at least 3 sq.ft., half of which is operable [CRC R303.3]

**Water Closet Requirements**

- The water closet shall have a clearance of 30 inches wide (15 inches on center) and 24 inches in front. (CPC 402.5)
- Where the water closet (or other plumbing fixture) comes into contact with the wall or floor, the joint shall be caulked and sealed to be watertight. (CPC 402.2)

**LAUNDRY REQUIREMENTS:**  
**PLUMBING REQUIREMENTS:**  
 Clothes washer standpipes must be 2-inch diameter. The weir of the trap must be roughed in 6-18 inches above the floor; the standpipe must be a minimum of 18 and a maximum of 30 inches above the trap [CPC 804.1]

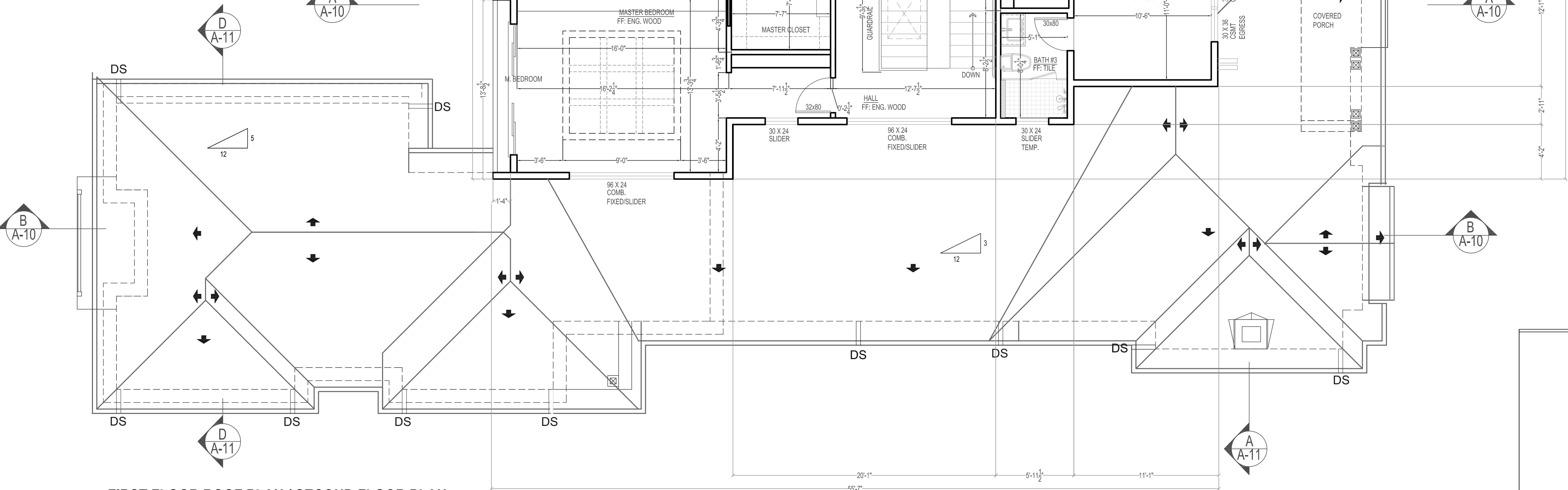
**MECHANICAL REQUIREMENTS:**  
 CLOTHES DRYERS IN CLOSETS REQUIRE A MINIMUM OF 100 SQ. IN. OF MAKEUP AIR, WHICH CAN BE SUPPLIED BY LOUVERS OR UNDERCUTTING THE DOOR [CNC 504.4.1].  
 Dryer ducts must be smooth-walled metal 1 inch diameter and not more than 14 feet in length, with an allowance of 2.90 degree bend in excess of 2 [CNC 504.4.2.1]

Ducts may not pass through plenums or be shared with other systems or vents. They cannot be connected with acres that penetrate the duct interior [cnc 504.4]

Dryer ducts must terminate on the building exterior in a backdraft damper. Screens or louvers cannot be installed [CNC 504.4]

Flexible transition ducts (connectors) between the dryer and the metal duct are allowed in lengths up to 6 feet and cannot be concealed within construction [CNC 504.4.2.2 exception]. They must be UL listed and labeled (L&I) as dryer transition ducts, and cannot be plastic.

**FIRE PROTECTION NOTES:**  
 Smoke and Carbon Monoxide Alarms (CBC 907.2.10, CRC 314 and 315)  
 Smoke alarms shall be installed on the ceiling or wall (between 4" and 12" of the ceiling) in all sleeping rooms, each area/hallway adjacent to sleeping rooms, each story of the building, and in any basement. Smoke alarms shall be replaced 10 years after the date of manufacture listed on the alarm (if no date is listed the alarm shall be replaced). Newly installed smoke alarms shall have a 10-year battery.  
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**FIRST FLOOR ROOF PLAN / SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



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 1170 PAYNE DRIVE  
 LOS ALTOS, CA  
 94024

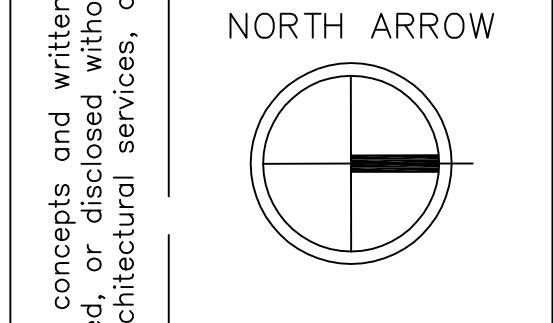
PROPERTY OWNERS  
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 804 FIELDING DRIVE  
 PALO ALTO, CA  
 94303

ASSESSOR PARCEL NO.  
 193-38-019

REVISIONS BY:  
 REVISIONS NO.: BY:


DATE 10-21-20  
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 CHECKED BY:

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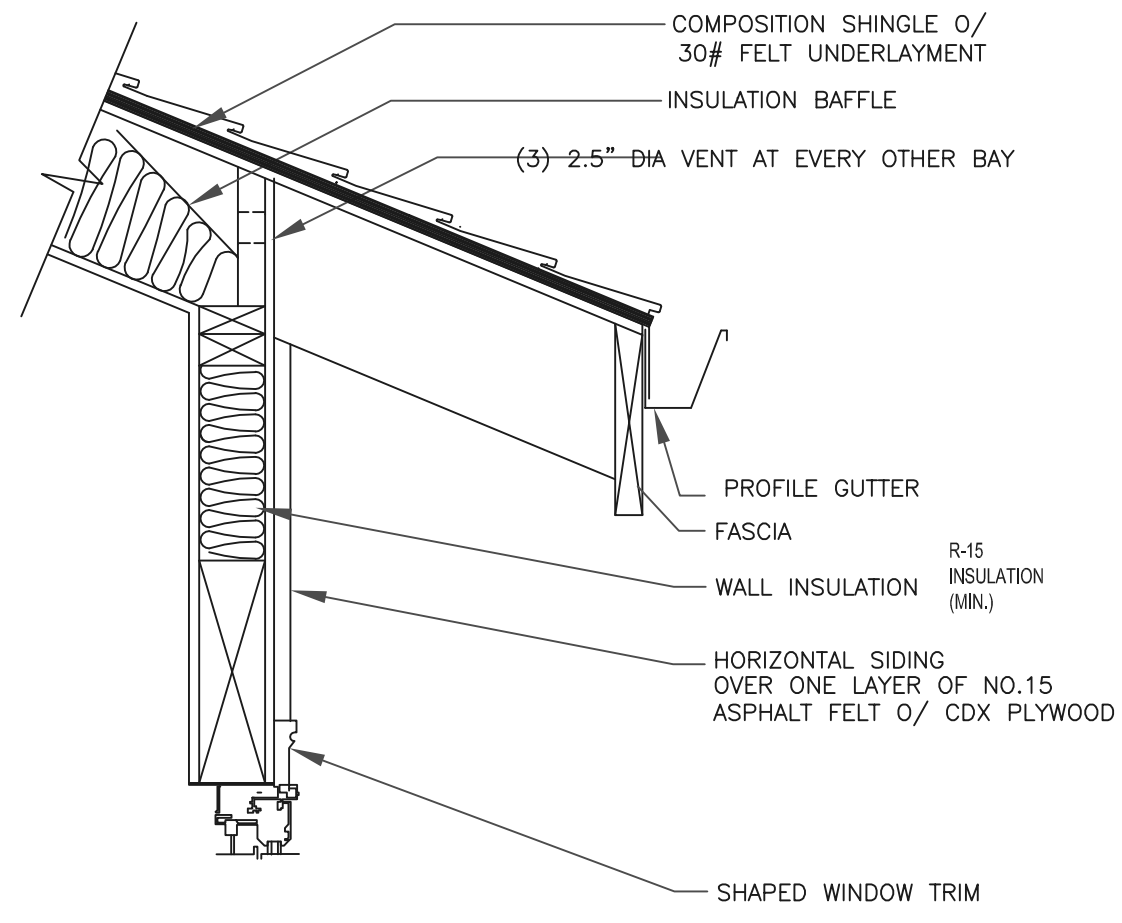
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**FIRST FL ROOF PLAN AND SECOND FLOOR PLAN**

SHEET NUMBER

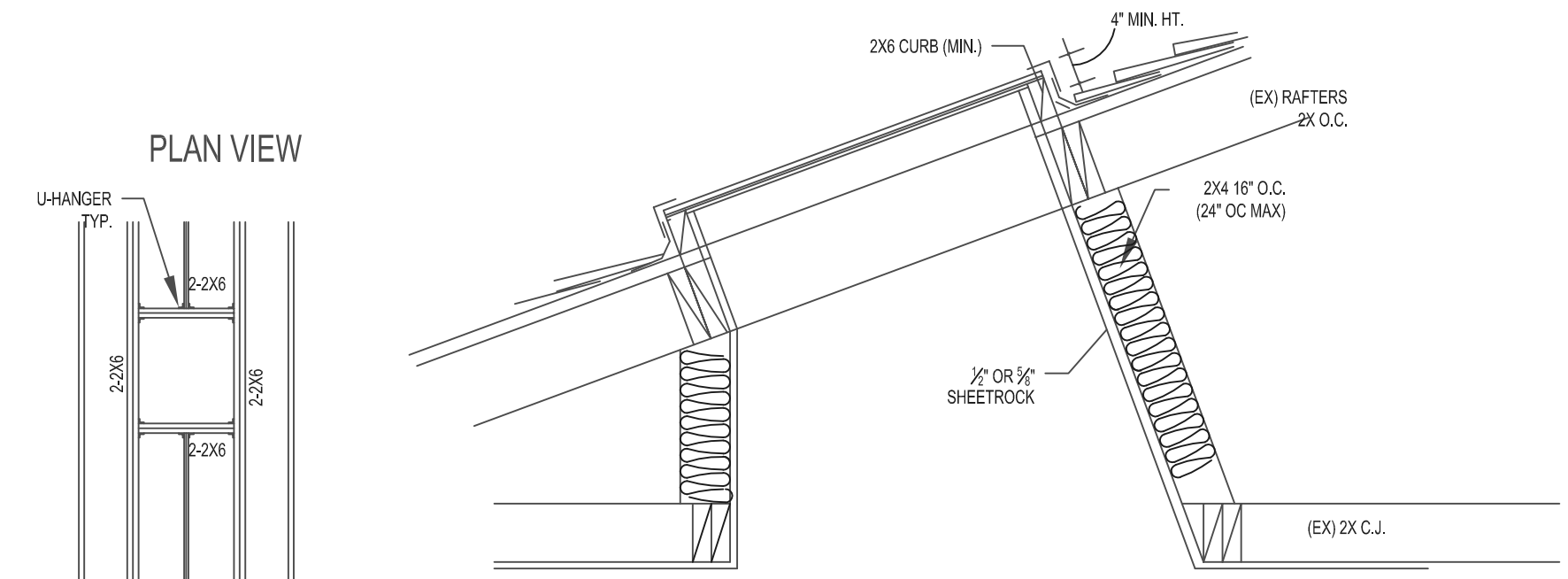
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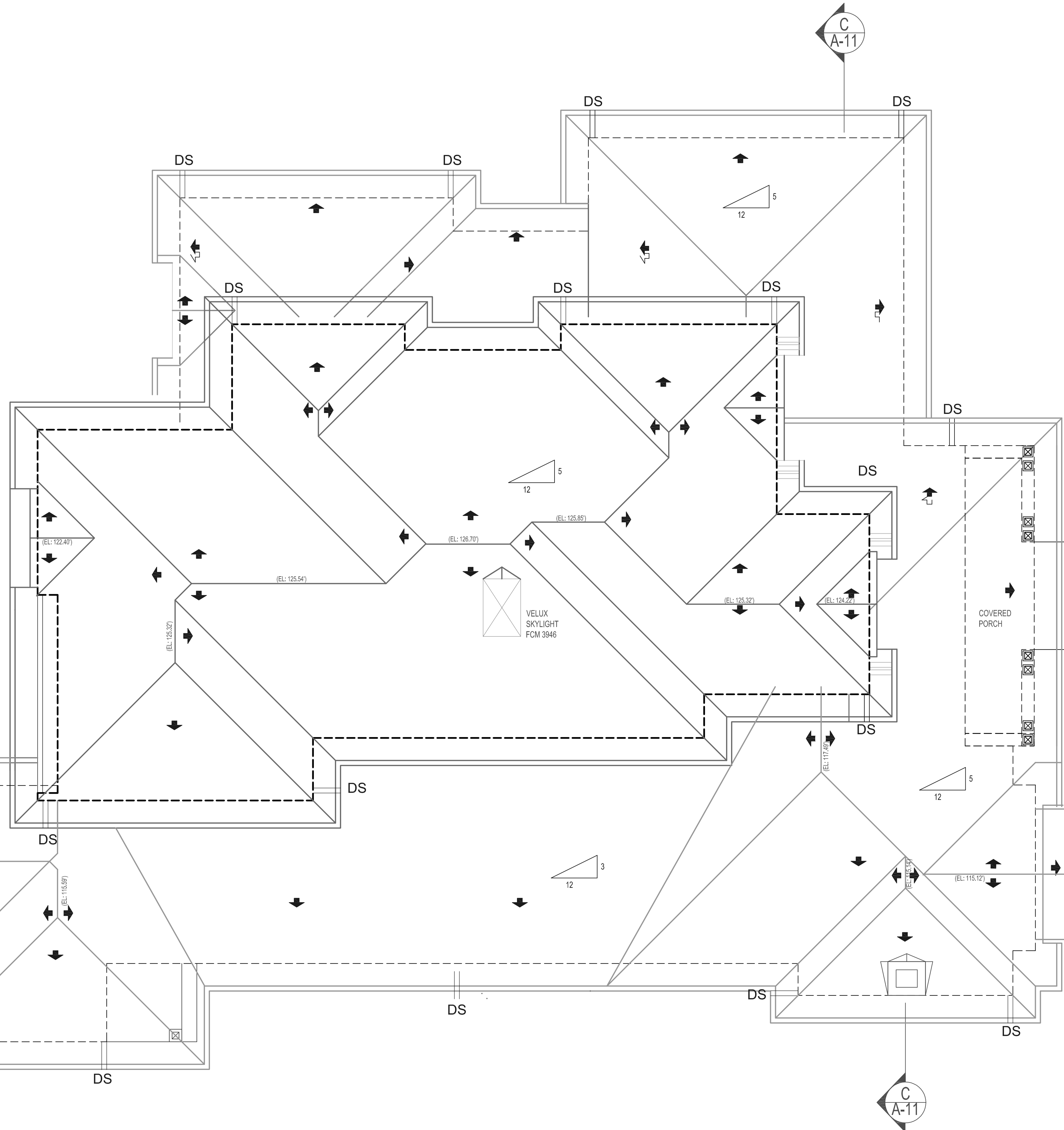
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1 TYP. ROOF EAVE DETAIL N.T.S.

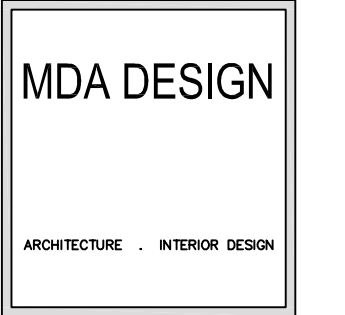


2 SKYLIGHT DETAIL N.T.S.



**FIRST FLOOR ROOF PLAN / SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



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PROPERTY OWNERS  
PAYNE LLC  
804 FIELDING DRIVE  
PALO ALTO, CA  
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REVISIONS NO.: BY:  
DATE 10-21-20  
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SCALE: AS NOTED  
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SECOND FL ROOF PLAN  
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PROPERTY OWNERS

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94303

ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

REVISIONS NO.: BY:

DATE 10-21-20

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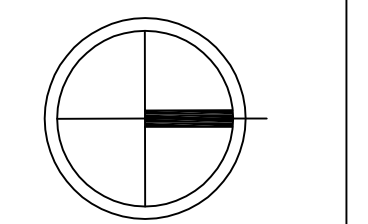
SCALE: AS NOTED

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NORTH ARROW



CONTENT:

FRONT-NORTH  
ELEVATION

DETAILS

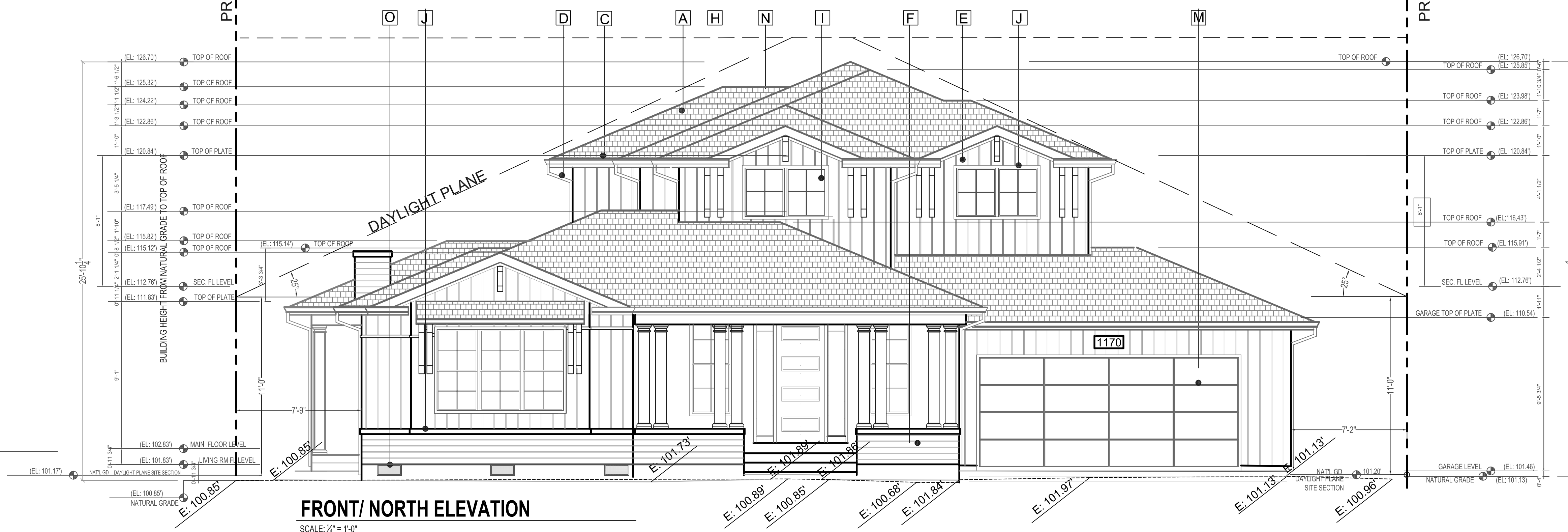
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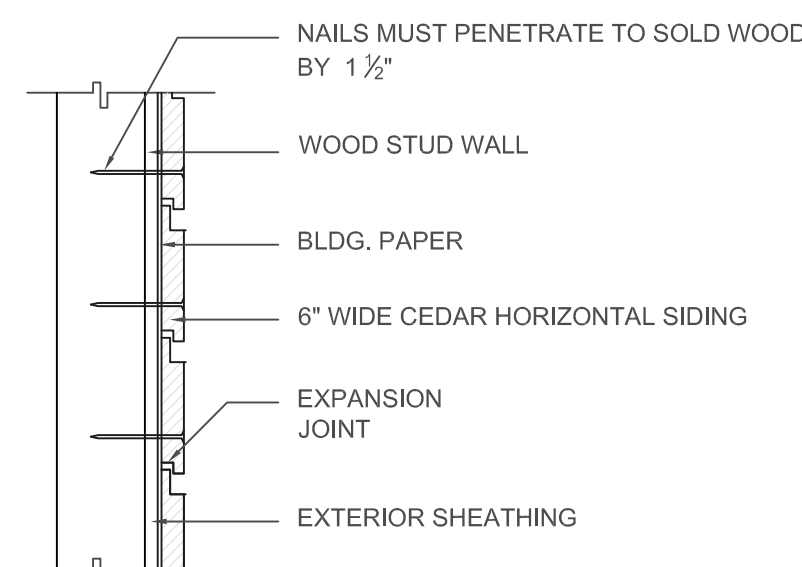
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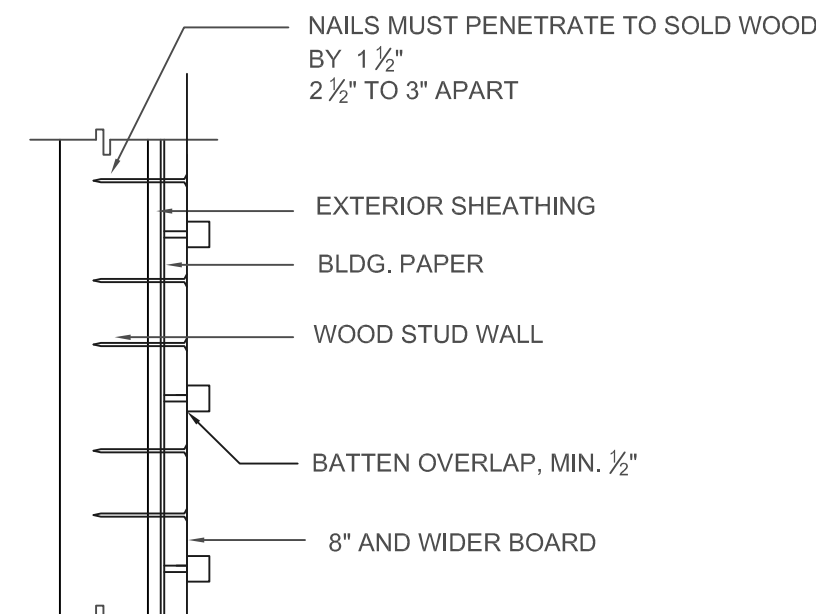
27'-0" MAXIMUM ALLOWED BUILDING HEIGHT



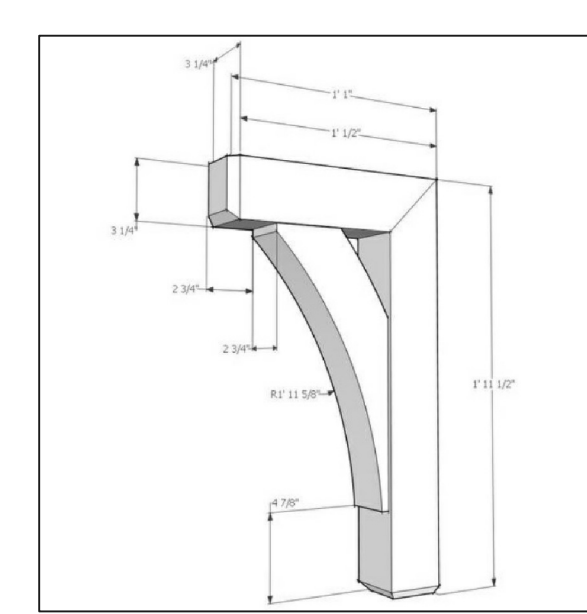
ELEVATION NOTES				LEGEND FOR GRADING:	
<p><b>A</b> ROOF MATERIAL: CLASS "A" ROOF COMPOSITION SHINGLE PER CODE AND MANUFACTURER REQUIREMENTS AND INSTALLATION INSTRUCTIONS. TYPICAL 5:12 PITCH UNLESS OTHERWISE NOTED. ROOF OVERHANG: 1'-6" TYPICAL, U.N.O.</p> <p><b>B</b> ROOF VENTILATION: PROVIDE ROOF/ATTIC VENT 1:150 SQ.FT. OR ROOF AREA AT EAVE AREA (OR 1:300 SQ.FT. AT TOP AND BOTTOM OF ROOF AREA). SEE ROOF PLAN ON SHEET A-6 FOR ROOF VENT CALCULATION</p> <p><b>C</b> GUTTER: 4" 26 GA G.I. PROFILE CUTTER OVER 2X4 SPRUCE FASCIA BOARD.</p>	<p><b>D</b> DOWNSPOUT: 2X4 RECTANGLE SHAPE, PAINTED ALUMINUM</p> <p><b>E</b> EXTERIOR WALL-1: PAINTED BOARD AND BATTEN</p> <p><b>F</b> EXTERIOR WALL-2: PAINTED HORIZONTAL WOOD SIDING</p> <p><b>G</b> EXTERIOR WALL-3: STONE VENEER, COLOR AND FINISH T.B.D.</p> <p><b>H</b> BRACKETS: PAINTED WOOD</p>	<p><b>I</b> WINDOWS: DOUBLE PANE, VINYL CLAD BY MILGUARD OR SIM. FRAME COLOR: TBD EGRESS WINDOW SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR, CBC SECTION 1026</p> <p>NOTE: OBSCURED GLAZING SHALL BE PERMANENT IN NATURE AND SHALL REMAIN FOR THE LIFE OF THE STRUCTURE. OBSCURE GLAZING IS EITHER DECORATIVE GLAZING THAT DOES NOT ALLOW VIEWS THOUGH PLACED INTO THE WINDOW FRAME OR ACID ETCHED OR SIMILAR PERMANENT ALTERATION OF THE GLASS. FILMS OR LIKE ADDITIONS TO CLEAR GLASS ARE NOT PERMITTED WHERE OBSCURE GLAZING IS SHOWN. OBSCURE GLAZING SHALL NOT BE ALTERED IN THE FUTURE AND SHALL BE REPLACED WITH LIKE MATERIALS IF DAMAGED. WINDOWS WITH OBSCURE GLAZING WILL BE IDENTIFIED AS "OG (OBSCURE GLAZING)</p>	<p><b>J</b> WINDOW AND DOOR TRIM: 2.5" PAINTED WOOD. COLOR T.B.D.</p> <p><b>K</b> ENTRY DOOR: PAINTED FIBER GLASS DOORS. GLAZING TO BE TEMPERED</p> <p><b>L</b> EXTERIOR PATIO DOOR: VINYL CLAD WITH SAFETY GLAZING</p> <p><b>M</b> GARAGE DOOR: PAINTED FIBERGLASS ROLL UP DOOR WITH GLAZING</p> <p><b>N</b> SKYLIGHT: FIXED CURBED SKYLIGHT BY VELLUX OR EQUAL</p>	<p><b>O</b> CRAWL SPACE VENT: 8 X 16 VENT WITH SCREEN</p> <p><b>P</b> RAILING: PAINTED WROUGH IRON</p> <p><b>Q</b> PATIO DOOR: VINYL CLAD WITH SAFETY GLAZING</p>	<p>NEW GRADE</p> <p>(N) GRADE</p> <p>(E) GRADE</p> <p>EXISTING GRADE</p>



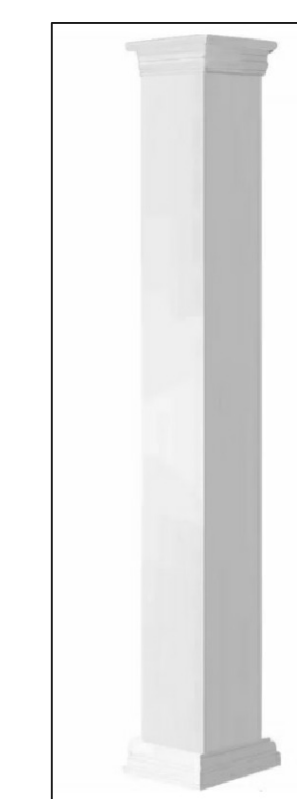
3 HORIZONTAL WOOD SIDING N.T.S.



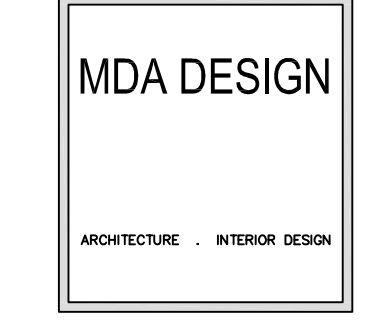
4 BOARD AND BATTEN N.T.S.



5 DECORATIVE WOOD BRACKETS N.T.S.



6 SQUARE FIBERGLASS COLUMN N.T.S.



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REVISIONS NO: BY:

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JOB NO.

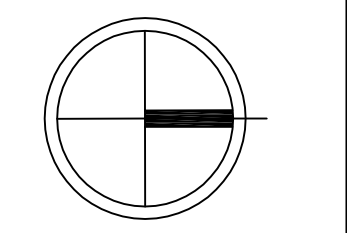
SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

RIGHT SIDE/  
WEST ELEVATION

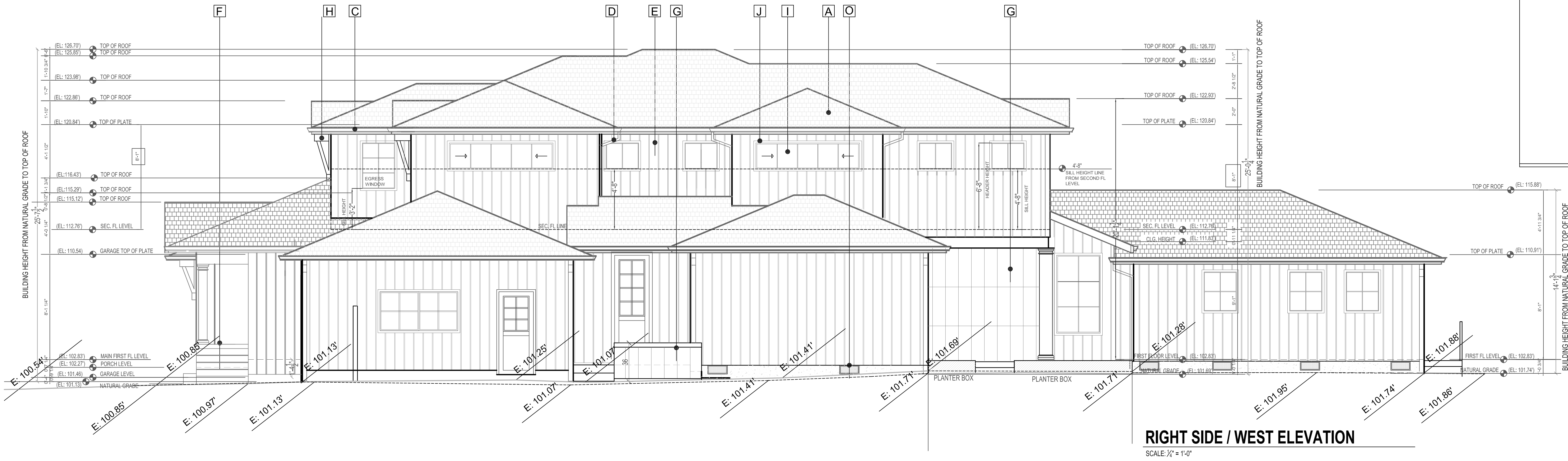
REAR/ SOUTH  
ELEVATION

SHEET NUMBER

A-4.2

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APPROVAL STAMP



**RIGHT SIDE / WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- A** ROOF MATERIAL- CLASS "A" ROOF COMPOSITION SHINGLE PER CODE AND MANUFACTURER REQUIREMENTS AND INSTALLATION INSTRUCTIONS. TYPICAL 5:12 PITCH UNLESS OTHERWISE NOTED. ROOF OVERHANG: 1'-6" TYPICAL, U.N.O.
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- C** GUTTER: 4" 26 GA G.I. PROFILE CUTTER OVER 2X4 SPRUCE FASCIA BOARD.

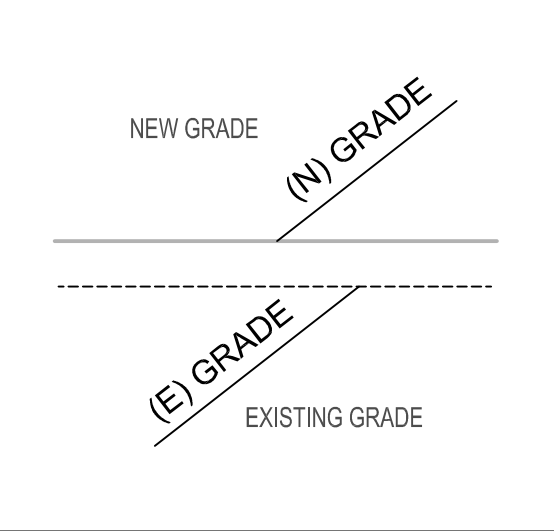
- D** DOWNSPOUT: 2X4 RECTANGLE SHAPE, PAINTED ALUMINUM
- E** EXTERIOR WALL-1: PAINTED BOARD AND BATTEN
- F** EXTERIOR WALL-2: PAINTED HORIZONTAL WOOD SIDING
- G** EXTERIOR WALL-3: STONE VENEER, COLOR AND FINISH T.B.D.
- H** BRACKETS: PAINTED WOOD

- I** WINDOWS: DOUBLE PANE, VINYL CLAD BY MILGUARD OR SIM. FRAME COLOR: TBD. EGRESS WINDOW SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR. CBC SECTION 1026. NOTE: OBSCURED GLAZING SHALL BE PERMANENT IN NATURE AND SHALL REMAIN FOR THE LIFE OF THE STRUCTURE. OBSCURE GLAZING IS EITHER DECORATIVE GLAZING THAT DOES NOT ALLOW VIEWS THOUGH PLACED INTO THE WINDOW FRAME OR ACID ETCHED OR SIMILAR PERMANENT ALTERATION OF THE GLASS. FILMS OR LIKE ADDITIONS TO CLEAR GLASS ARE NOT PERMITTED WHERE OBSCURE GLAZING IS SHOWN. OBSCURE GLAZING SHALL NOT BE ALTERED IN THE FUTURE AND SHALL BE REPLACED WITH LIKE MATERIALS IF DAMAGED. WINDOWS WITH OBSCURE GLAZING WILL BE IDENTIFIED AS \*OG (OBSCURE GLAZING)

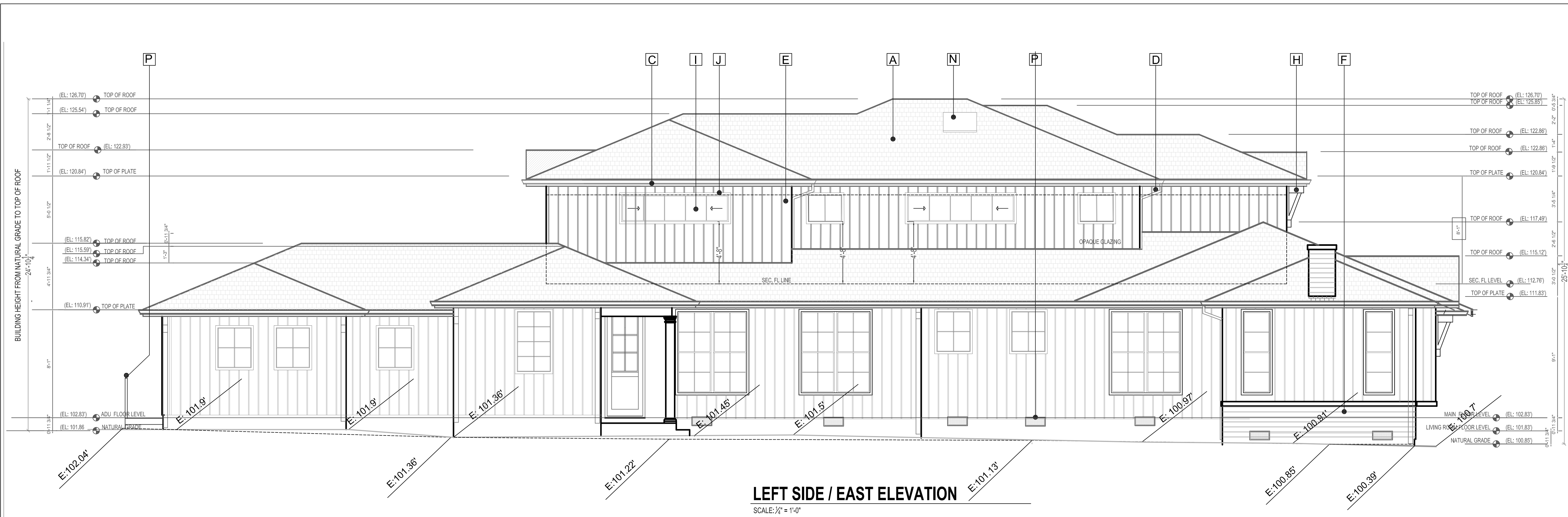
- J** WINDOW AND DOOR TRIM: 2.5" PAINTED WOOD. COLOR T.B.D.
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- O** CRAWL SPACE VENT: 8 X 16 VENT WITH SCREEN
- P** RAILING: PAINTED WROUGH IRON
- Q** PATIO DOOR: VINYL CLAD WITH SAFETY GLAZING

LEGEND FOR GRADING:



**REAR / SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT SIDE / EAST ELEVATION**

SCALE: 1/2" = 1'-0"



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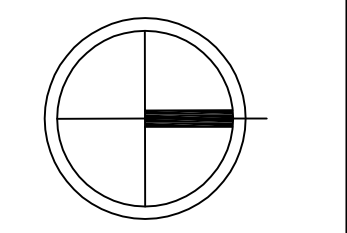
SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

LEFT SIDE/ EAST  
ELEVATION

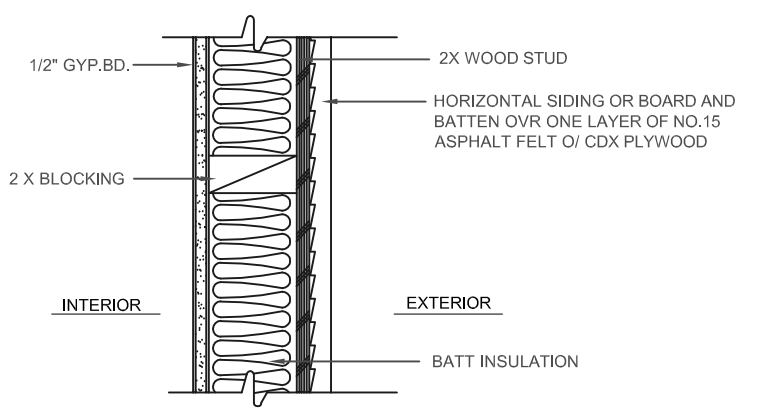
DETAILS

SHEET NUMBER

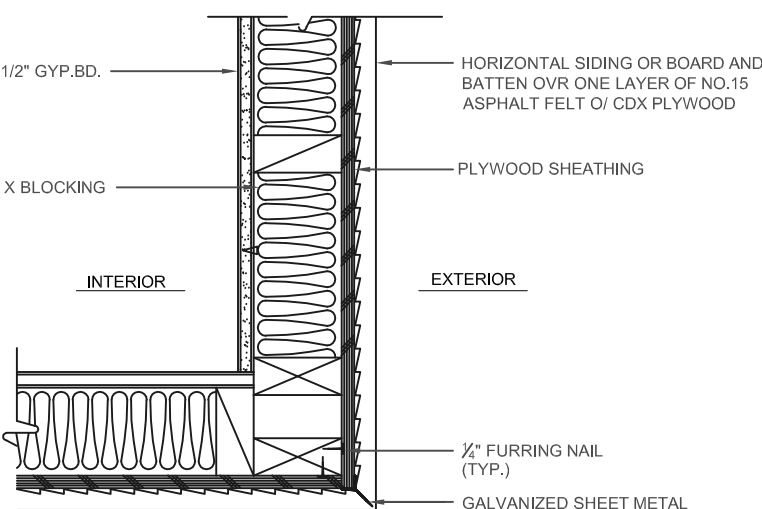
**A-4.3**

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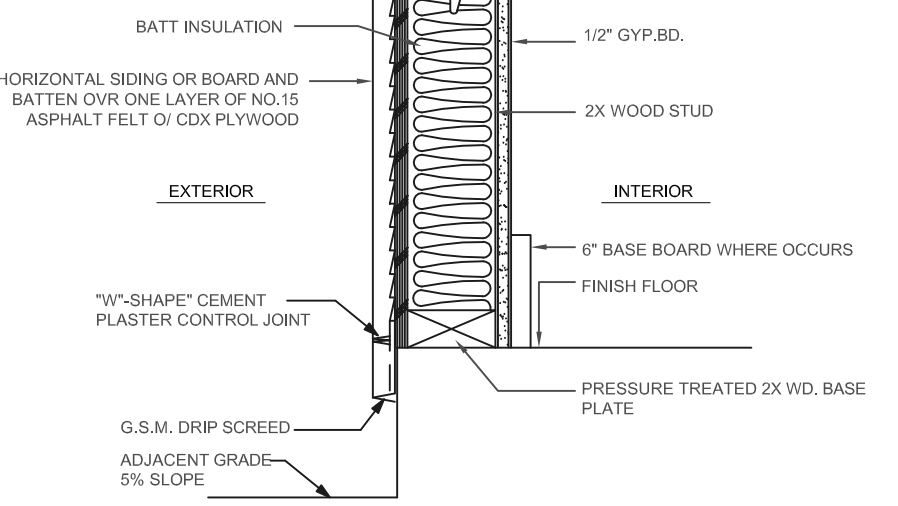
APPROVAL STAMP



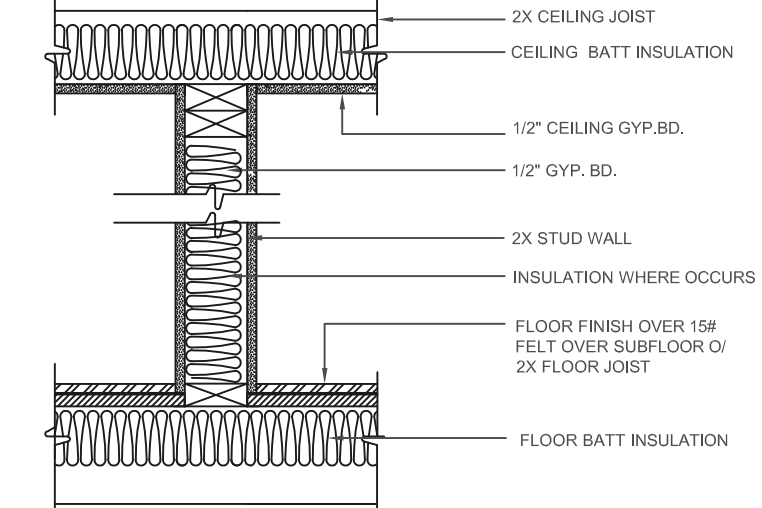
**7** EXTERIOR WALL DETAIL N.T.S.



**8** EXTERIOR WALL DETAIL N.T.S.

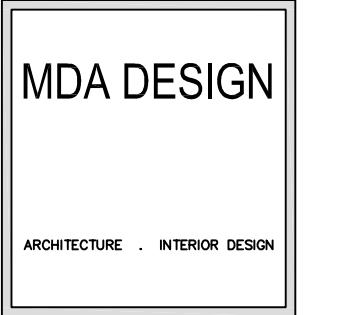


**9** EXTERIOR WALL DETAIL N.T.S.



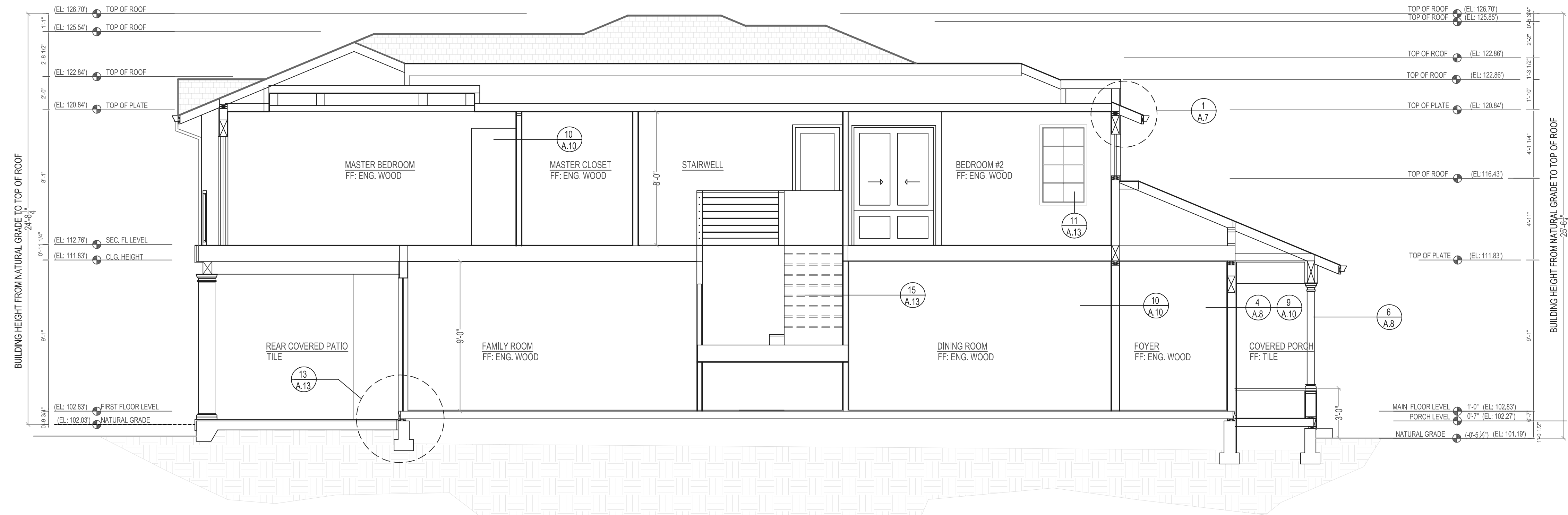
**10** INTERIOR WALL DETAIL N.T.S.





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**BUILDING SECTION A-A**

SCALE: 1/2" = 1'-0"



**BUILDING SECTION B-B**

SCALE: 1/2" = 1'-0"

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804 FIELDING DRIVE  
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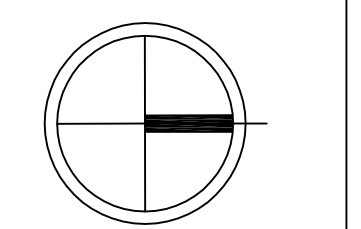
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CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

BLDG SECTION  
A-A

BLDG SECTION  
B-B

DETAILS

SHEET NUMBER

**A-4.4**

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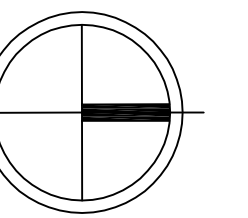
SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

BLDG SECTION  
C-C

BLDG SECTION  
D-D

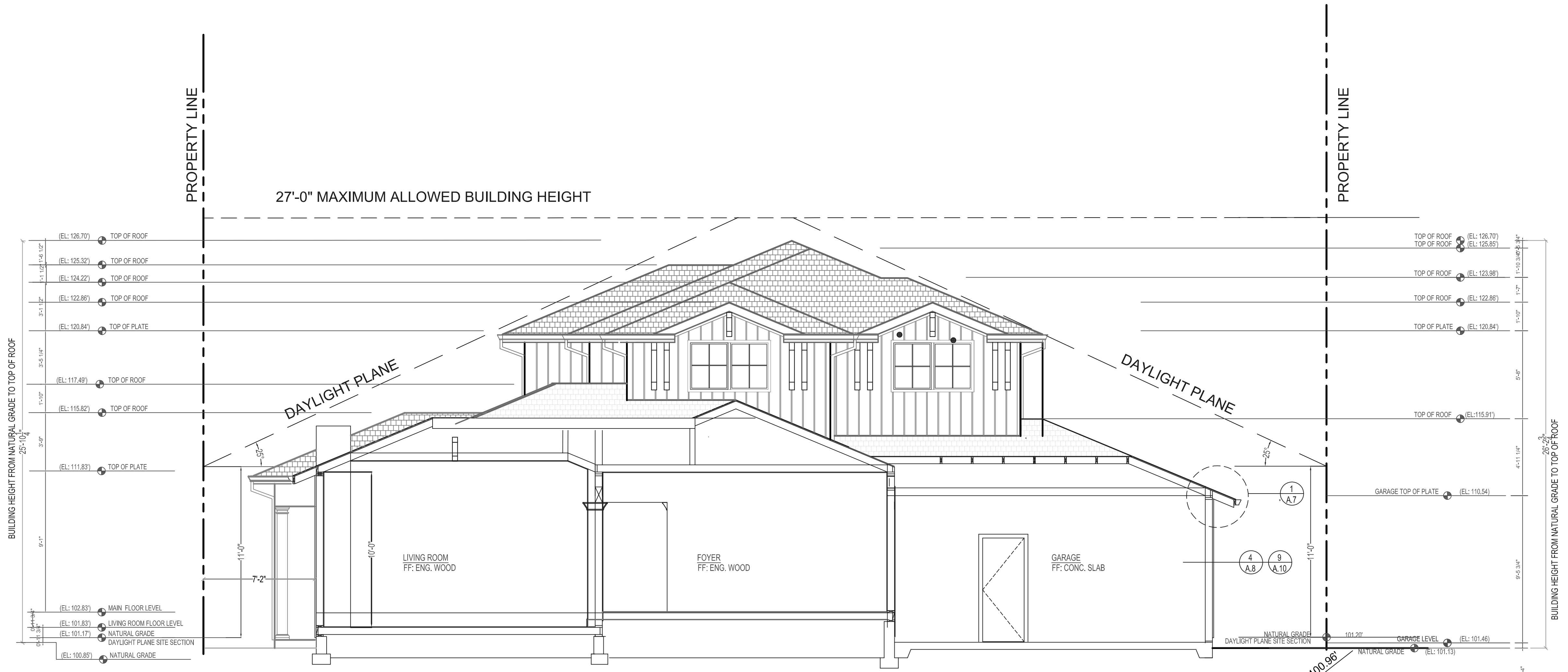
DETAILS

SHEET NUMBER

A-4.5

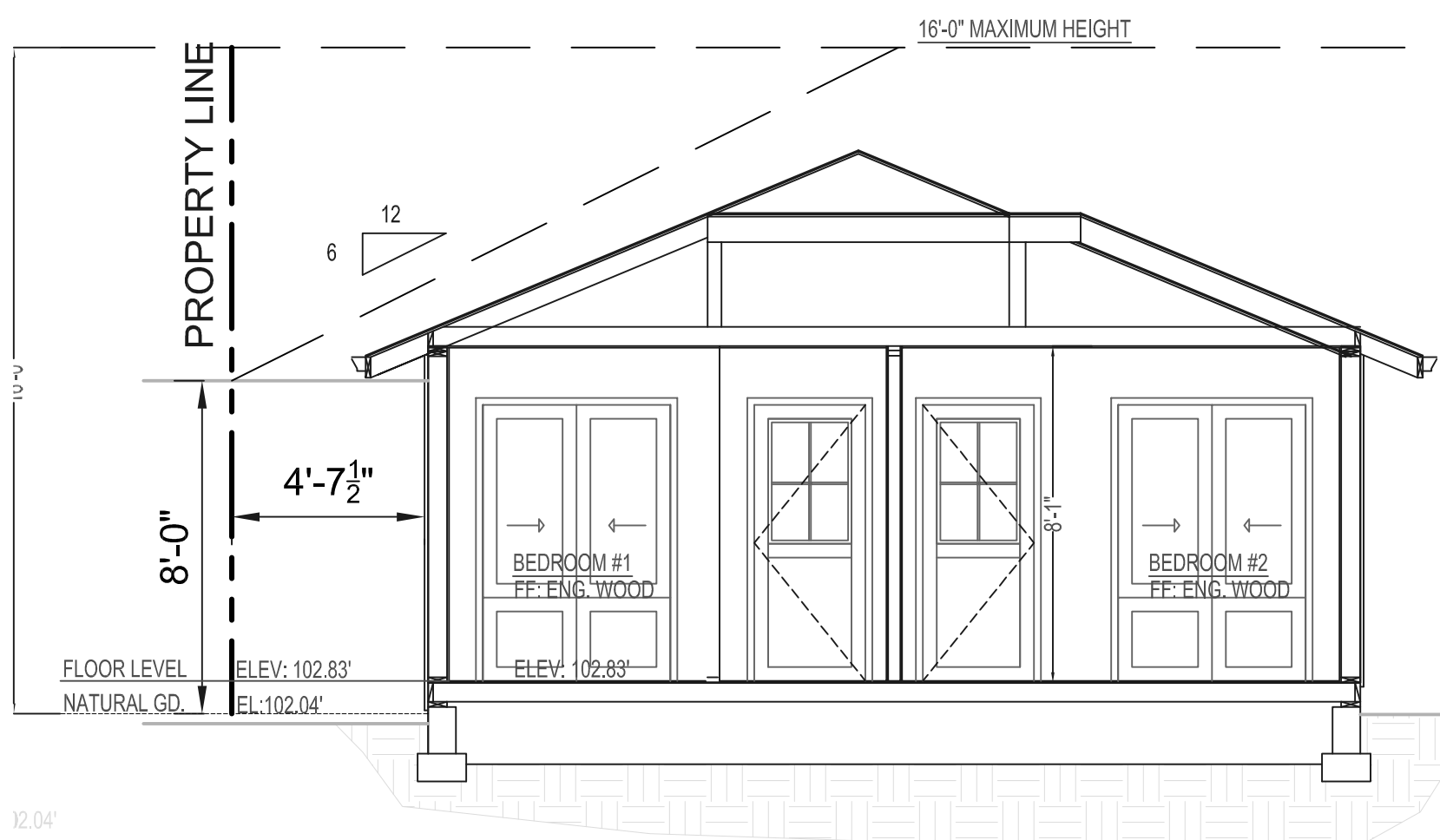
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**BUILDING SECTION C-C**

SCALE: 1/2" = 1'-0"



**BUILDING SECTION D-D**

**ADU DAYLIGHT PLANE**

SCALE: 1/2" = 1'-0"

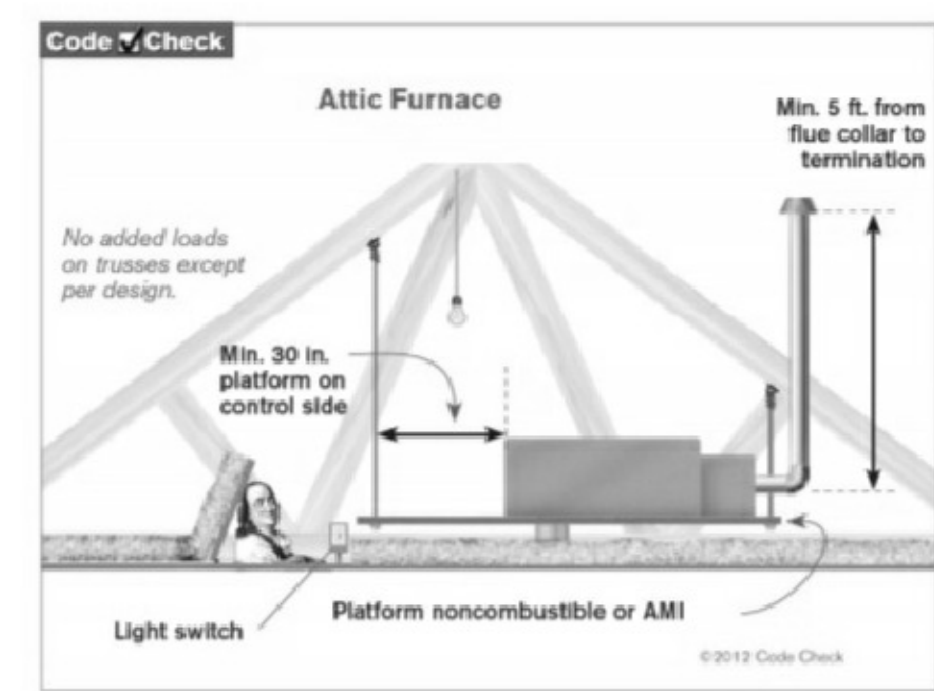
**ATTIC FURNACE**  
**2016 CALIFORNIA MECHANICAL CODE**  
SECTIONS 904.10 THROUGH 904.10

The following are general requirements for an attic furnace based on the 2016 CA Mechanical Code. This handout is intended to provide only general information, for further information contact the Building & Safety Division.

**CMC Section 304.4 Appliances in Attics and Under-Floor Spaces.**

An attic or under-floor space in which an appliance is installed shall be accessible through an opening and passageway not less than the largest component of the applicant, and not less than 22 inches by 30 inches (559 mm by 762 mm).

**304.4.1 Length of Passageway.**  
Where the height of the passageway is less than 6 feet (1829 mm), the distance from the passageway access to the appliance shall not exceed 20 feet (6096 mm) measured along the center line of the passageway. [NFPA 54:9.5.1.1]



**304.2 Width of Passageway.**  
The passageway shall be unobstructed and shall have solid flooring not less than 24 inches (610 mm) wide from the entrance opening to the appliance. [NFPA 54:9.5.1.2]

**304.4.3 Work Platform.**  
A level working platform or grade surface not less than 30 inches (762 mm) by 30 inches (762 mm) shall be provided in front of the service side of the appliance. [NFPA 54:9.5.2]

**Exception:** A working platform need not be provided where the furnace is capable of being serviced from the required access opening. The furnace service side shall not exceed 12 inches (305 mm) from the access opening.

**304.4.4 Lighting and Convenience Outlet.**  
A permanent 120-volt receptacle outlet and lighting fixture shall be installed near the appliance. The switch controlling the lighting fixture shall be located at the entrance to the passageway. [NFPA 54:9.5.3]

**904.10 Furnace (Upright and Horizontal).**  
Upright furnaces shall be permitted to be installed in an attic, furred, or under-floor space exceeding 5 feet (1524 mm) in height, provided the required listings and furnace and duct clearances are observed. Horizontal furnaces shall be permitted to be installed in an attic, furred, or under-floor space, provided the required listings and furnace and duct clearances are observed.

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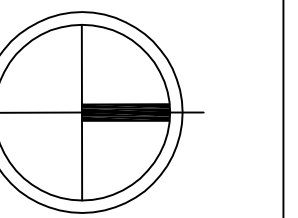
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CONTENT:

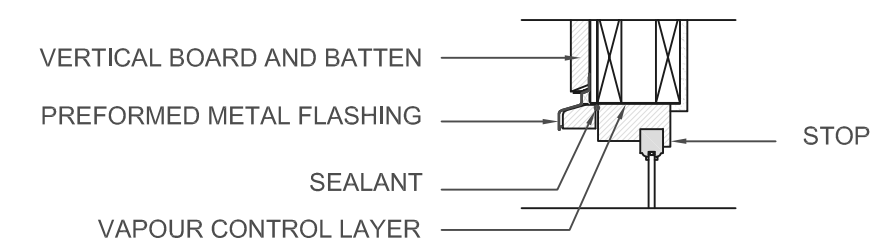
DETAILS

SHEET NUMBER

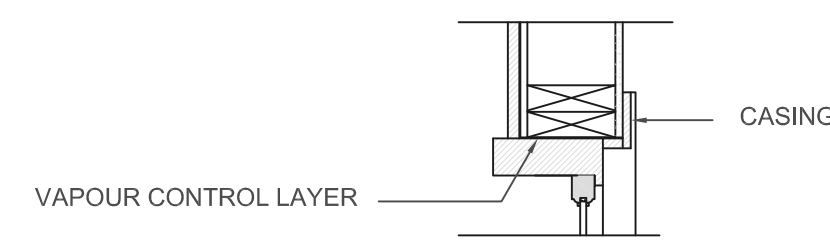
A-5.1

APPROVAL STAMP

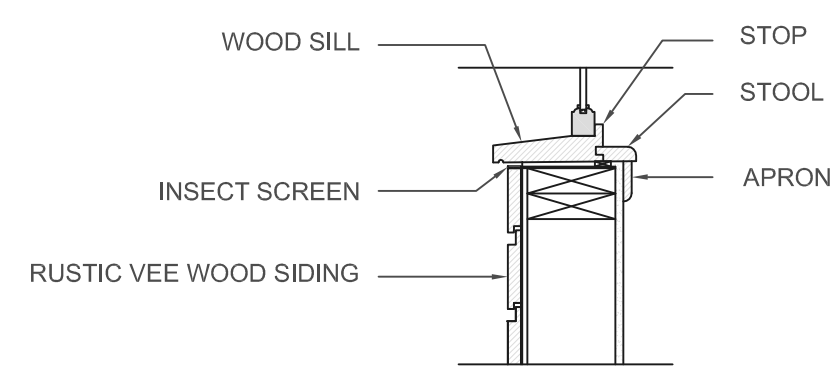
HEAD DETAIL SECTION



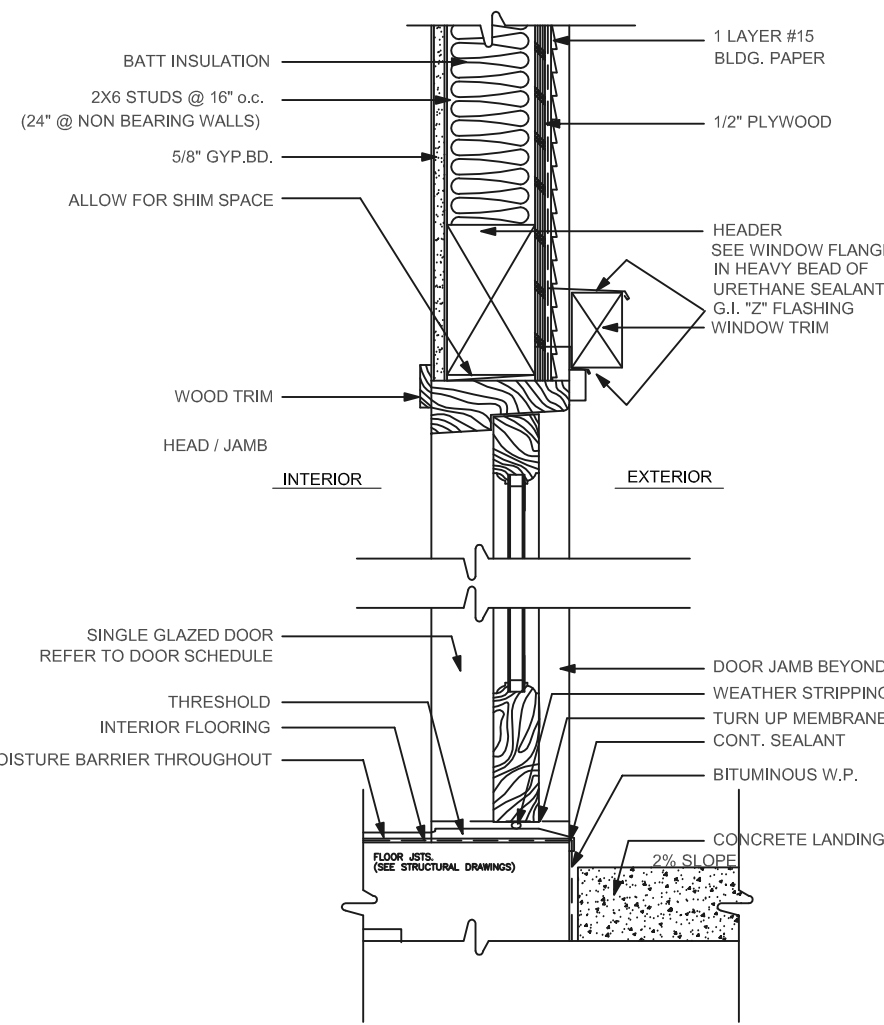
JAMB DETAIL PLAN



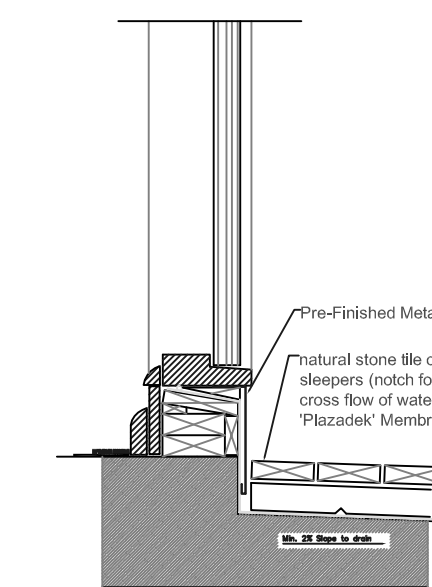
SILL DETAIL SECTION



11 WINDOW SECTION DETAIL N.T.S.



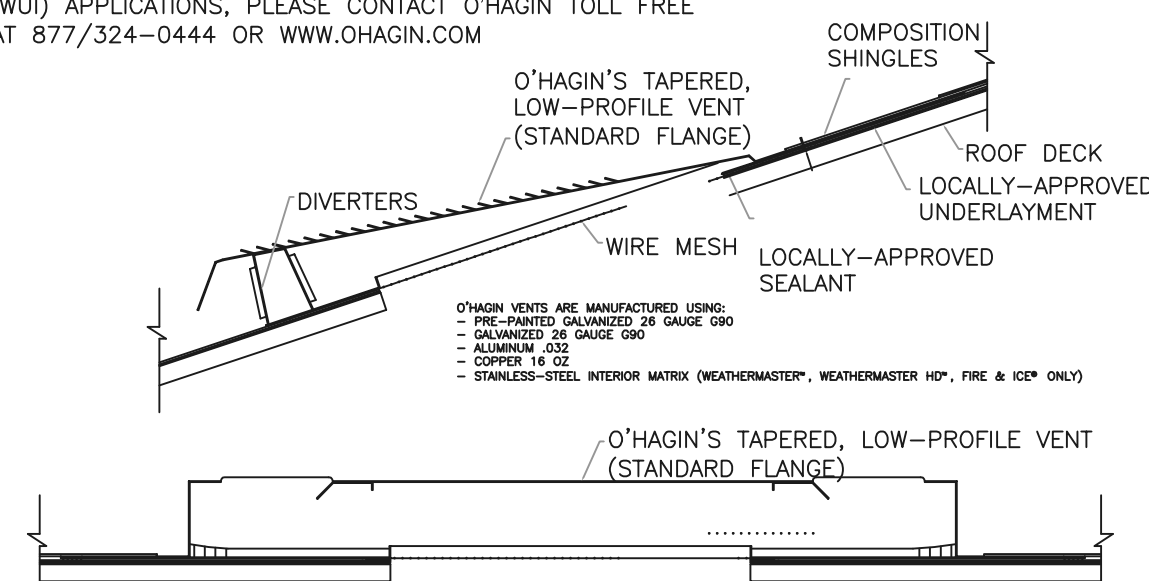
12 EXTERIOR DOOR DETAIL N.T.S.



13 FLASHING DETAIL @ THRESHOLD N.T.S.

O'HAGIN VENT SECTIONS

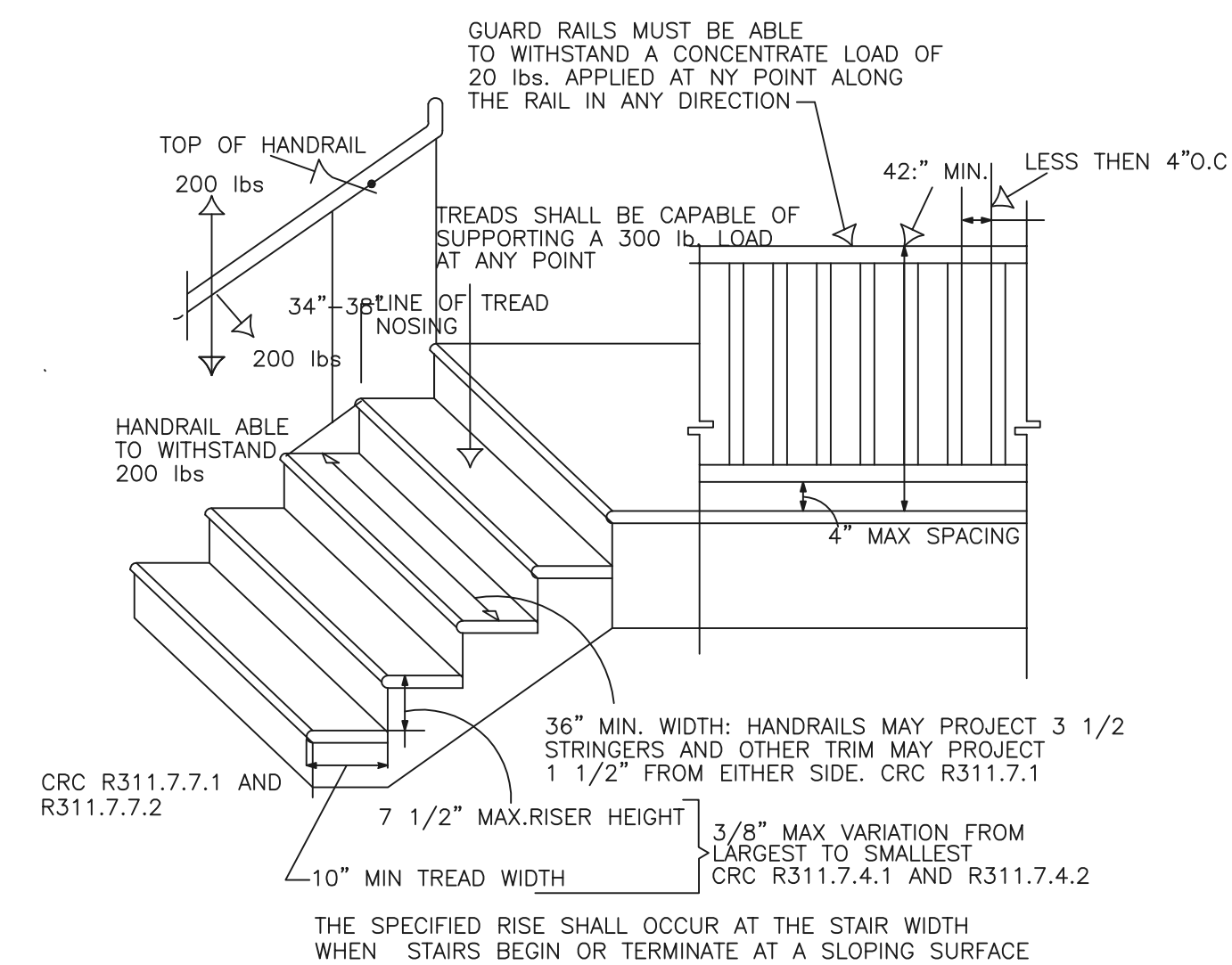
FOR COORDINATING ROOF TILE MANUFACTURERS, INSTALLATION INSTRUCTIONS, TECHNICAL BULLETINS & SPECIFIC INFORMATION REGARDING RAIN, SNOW, HIGH-VELOCITY WIND OR WILDLAND URBAN INTERFACE (WUI) APPLICATIONS, PLEASE CONTACT O'HAGIN TOLL FREE AT 877/524-0444 OR WWW.OHAGIN.COM



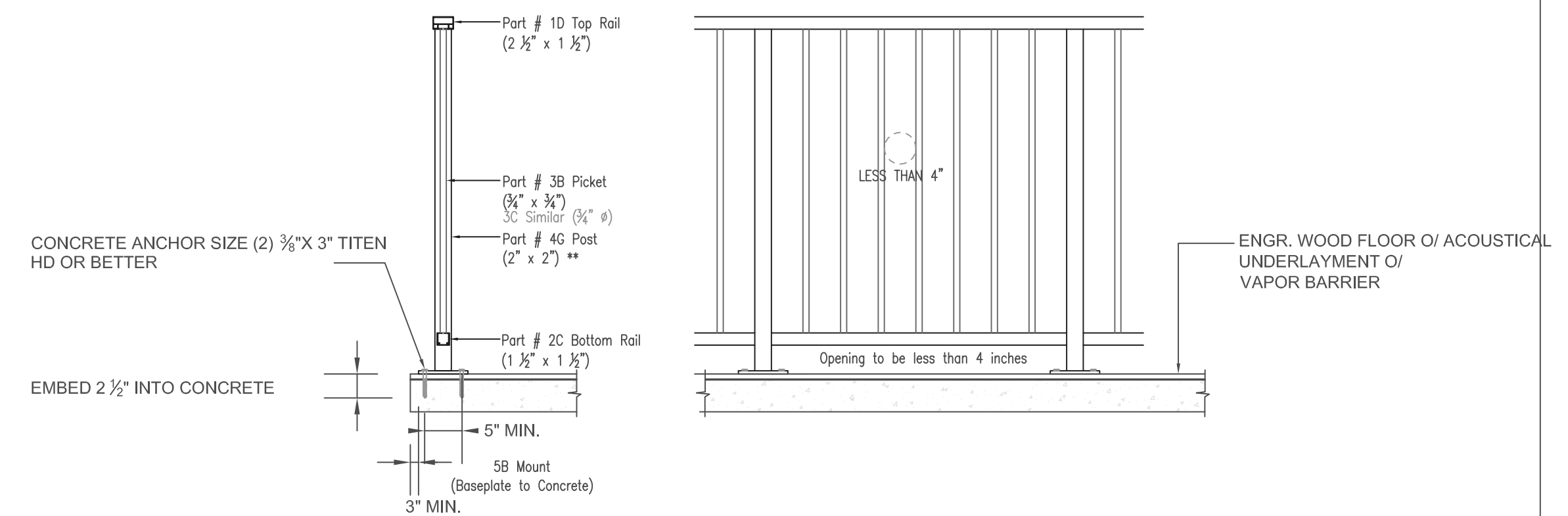
TAPERED, LOW-PROFILE VENT FOR COMPOSITION SHINGLE ROOFS  
76 SQ. IN NFVA / 2019 ICC-ES LEGACY REPORT: SBCCI-9650A

14 LOW PROFILE ROOF VENT N.T.S.

THE TOP OF THE HANDRAIL SHALL BE PLACED NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE THE NOSING OF THE TREAD AND LANDINGS. HANDRAIL SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT AND SHALL BE RETURNED OR HAVE ROUNDED TERMINATION OR BEND.



15 INTERIOR STAIR DETAIL N.T.S.



16 GUARDRAIL DETAIL N.T.S.

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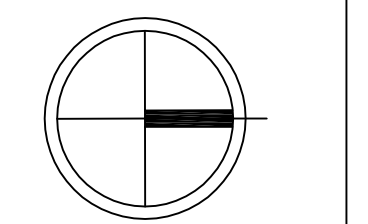
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CONTENT:

FIRST FLOOR  
AREA  
CALCULATIONS

SHEET NUMBER

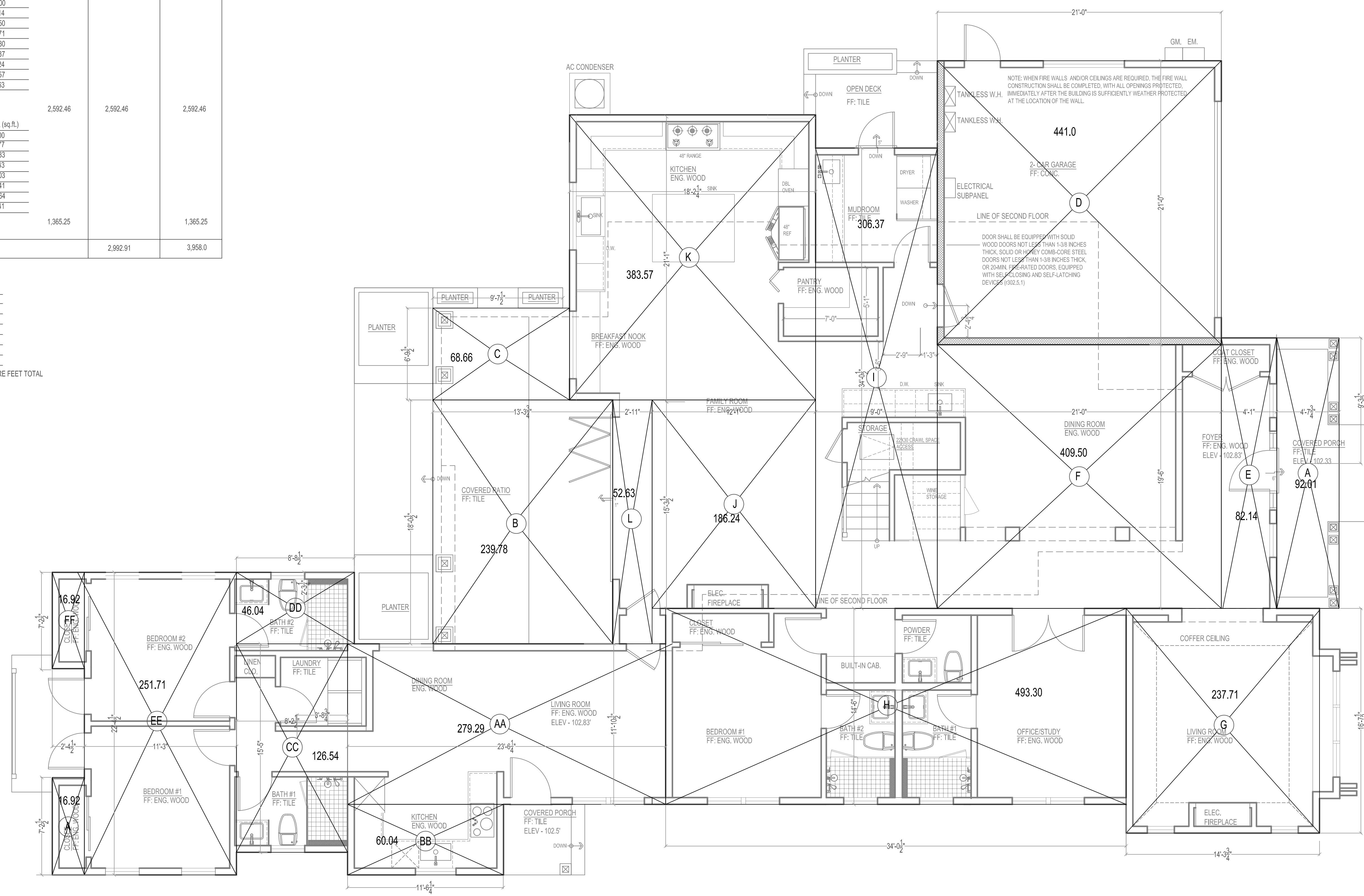
A-6.1

APPROVAL STAMP

FIRST FLOOR COVERED PORCH:			TOTAL AREA	LOT COVERAGE	FLOOR AREA
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)			
A	4'-7 1/2" x 20'-0"	92.01	400.45	400.45	400.45
B	13'-3 1/2" x 18'-0 1/2"	239.78			
C	9'-7 1/2" x 6'-9 1/2"	68.66			
FIRST FLOOR			2,592.46	2,592.46	2,592.46
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)			
D (GARAGE)	21'-0" x 21'-0"	441.00			
E	4'-1" x 20'-0"	82.14			
F	21'-0" x 19'-6"	409.50			
G	16'-7 1/2" x 14'-3 1/2"	237.71			
H	14'-6" x 34'-0 1/2"	493.30			
I	9'-0" x 34'-0 1/2"	306.37			
J	12'-1" x 15'-3 1/2"	186.24			
K	18'-2 1/2" x 21'-1"	383.57			
L	2'-11" x 18'-0 1/2"	52.63			
SECOND FLOOR			1,365.25	1,365.25	1,365.25
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)			
M	11'-0" x 12'-0"	132.00			
N	14'-4 1/2" x 12'-8"	181.77			
O	9'-6 1/2" x 5'-4 1/2"	51.33			
P	10'-4 1/2" x 16'-4"	169.43			
Q	9'-6 1/2" x 23'-10"	227.03			
R	18'-0 1/2" x 11'-6"	207.41			
S	17'-0" x 13'-8 1/2"	267.64			
T	12'-11 1/2" x 11'-0"	142.41			
<b>TOTAL AREA</b>			<b>1,365.25</b>	<b>2,992.91</b>	<b>3,958.0</b>

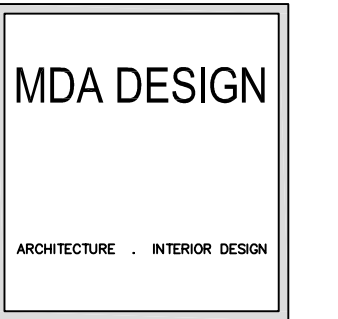
ACCESSORY DWELLING UNIT		
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)
AA	11'-10 1/2" x 22'-6 1/2"	267.44
BB	5'-2 1/2" x 11'-6"	60.04
CC	8'-2 1/2" x 15'-5"	126.54
DD	5'-3 1/2" x 8'-8 1/2"	46.04
EE	11'-9" x 22'-4 1/2"	262.90
FF	2'-4 1/2" x 7'-2 1/2"	16.92
GG	2'-4 1/2" x 7'-2 1/2"	16.92

796.08 SQUARE FEET TOTAL



FIRST FLOOR AREA CALCULATIONS

SCALE: 1/4" = 1'-0"



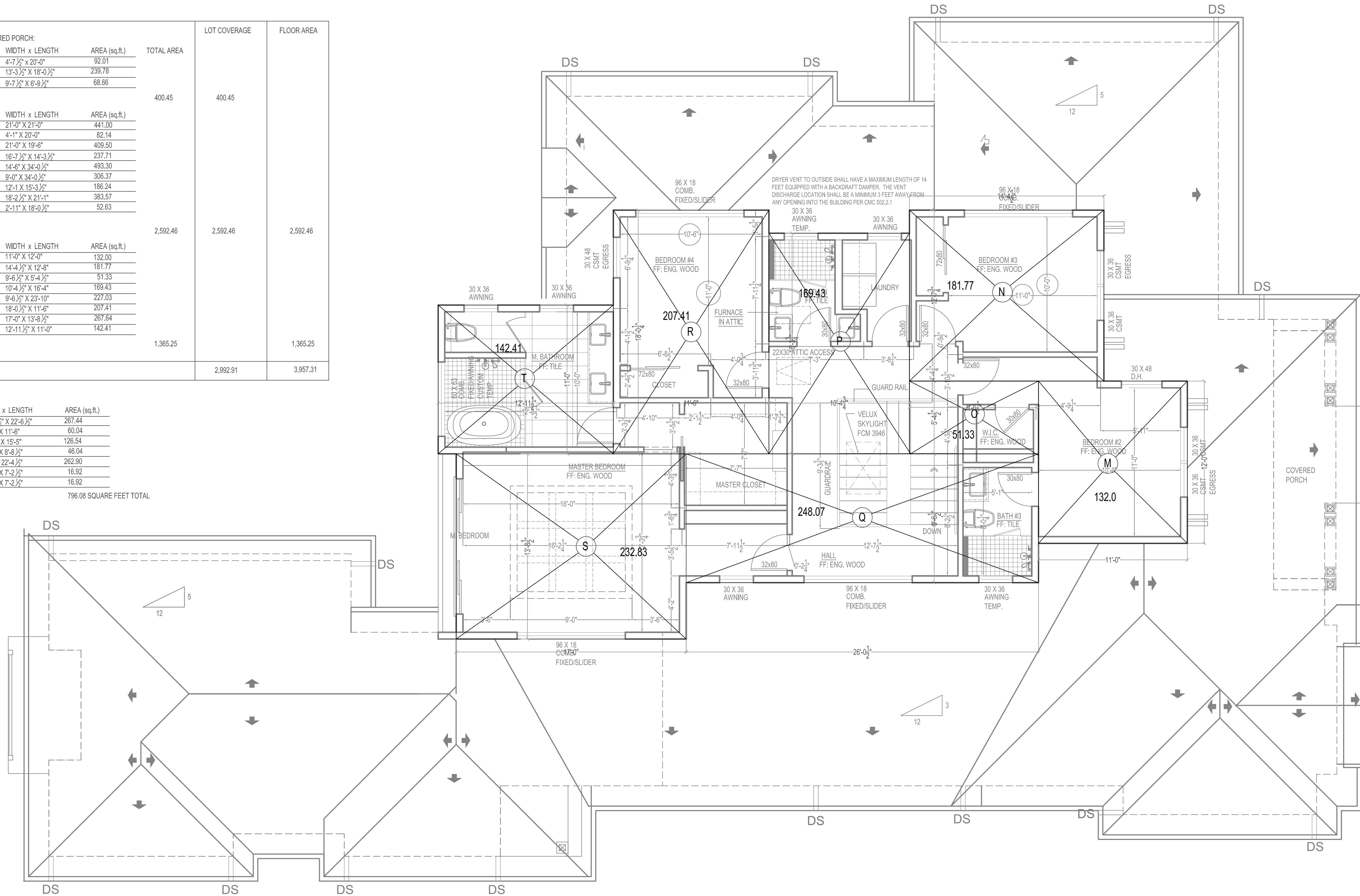
ADDRESS  
908 BANES STREET  
E. PALO ALTO, CA 94303

WEBSITE  
mda-projects.com  
EMAIL  
mdadesign1992@gmail.com  
MOBILE  
650-353-0273

FIRST FLOOR COVERED PORCH:			TOTAL AREA	LOT COVERAGE	FLOOR AREA
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)			
A	4'-7 1/2" X 20'-0"	92.01	400.45	400.45	400.45
B	13'-3 1/2" X 18'-0 1/2"	239.78			
C	9'-7 1/2" X 6'-9 1/2"	68.66			
FIRST FLOOR					
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)	2,592.46	2,592.46	2,592.46
D (GARAGE)	21'-0" X 21'-0"	441.00			
E	4'-1" X 20'-0"	82.14			
F	21'-0" X 19'-6"	409.50			
G	16'-7 1/2" X 14'-3 1/2"	237.71			
H	14'-6" X 34'-0 1/2"	493.30			
I	9'-0" X 34'-0 1/2"	306.37			
J	12'-1" X 15'-3 1/2"	186.24			
K	18'-2 1/2" X 21'-1"	383.57			
L	2'-11" X 18'-0 1/2"	52.63			
SECOND FLOOR					
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)			
M	11'-0" X 12'-0"	132.00			
N	14'-4 1/2" X 12'-8"	181.77			
O	9'-6 1/2" X 5'-4 1/2"	51.33			
P	10'-4 1/2" X 16'-4"	169.43			
Q	9'-6 1/2" X 23'-10"	227.03			
R	18'-0 1/2" X 11'-6"	207.41			
S	17'-0" X 13'-8 1/2"	267.84			
T	12'-11 1/2" X 11'-0"	142.41			
TOTAL AREA			2,992.91	3,957.31	

ACCESSORY DWELLING UNIT		
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)
AA	11'-10 1/2" X 22'-6 1/2"	267.44
BB	5'-2 1/2" X 11'-6"	60.04
CC	8'-2 1/2" X 15'-5"	126.54
DD	5'-3 1/2" X 8'-8 1/2"	46.04
EE	11'-9" X 22'-4 1/2"	262.90
FF	2'-4 1/2" X 7'-2 1/2"	16.92
GG	2'-4 1/2" X 7'-2 1/2"	16.92

796.08 SQUARE FEET TOTAL



**SECOND FLOOR AREA CALCULATIONS**

SCALE: 1/2" = 1'-0"

PROPERTY ADDRESS

1170 PAYNE DRIVE  
LOS ALTOS, CA  
94024

PROPERTY OWNERS

PAYNE LLC  
804 FIELDING DRIVE  
PALO ALTO, CA  
94303

ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

REVISIONS NO.: BY:

DATE 10-21-20

JOB NO.

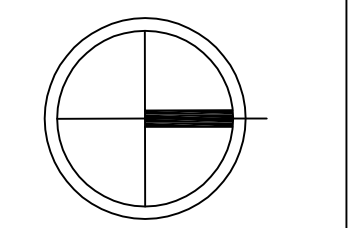
SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

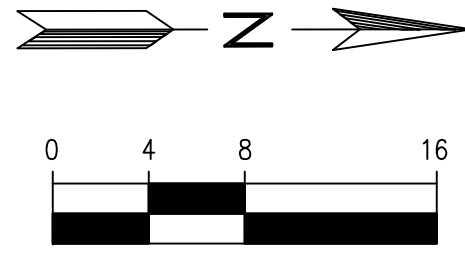
SECOND FLOOR  
AREA  
CALCULATIONS

SHEET NUMBER

**A-6.2**

APPROVAL STAMP

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(E) WINDOWS AT 2ND FLOOR (TYP.)

1160 PAYNE DRIVE  
EXISTING HOUSE



AREA = 12,094±SQ.FT.

1170 PAYNE DRIVE  
EXISTING HOUSE  
FF = ±102.91

DECK

(E) WINDOWS AT 2ND FLOOR (TYP.)

1180 PAYNE DRIVE  
EXISTING HOUSE  
RIDGE=±128.11

**LEGEND:**

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PROPERTY CORNER
- RM RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOP OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

**BASIS OF BEARINGS:**

THE BEARING, S89°02'00"E, OF THE CENTER LINE OF PAYNE DRIVE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 895 OF MAPS AT PAGE 3, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATION:**

TBM ELEV=100.00 (ASSUMED)

**UTILITY NOTE:**

UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

**NOTE:**

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

**NEW RESIDENCE**

1170 PAYNE DRIVE  
LOS ALTOS, CA  
APN: 193-38-019



2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

DATE: APRIL 6, 2020  
SCALE: 1/8"=1'-0"  
DRAWN: BG  
JOB: 10078

SHEET TITLE:

**TOPOGRAPHIC SURVEY**

SHEET NO.

**C.0**

# NEW RESIDENCE

1170 PAYNE DRIVE  
LOS ALTOS, CA  
APN: 193-38-019

**W E C**  
& ASSOCIATES

2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

DATE: AUG 16, 2020  
SCALE: AS SHOWN  
DRAWN: J  
JOB: 10078

## GRADING & DRAINAGE PLAN

SHEET NO.

# C.1

**EARTHWORK QUANTITIES:**

CUT(OUTSIDE BLDG FOOTPRINT)	10 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	135 C.Y.
FILL	15 C.Y.
BALANCE	130 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL EST. 4

**LEGEND**

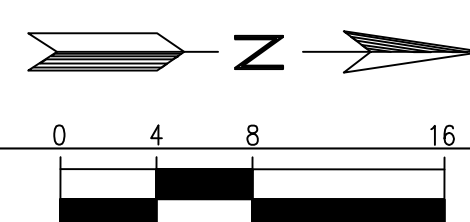
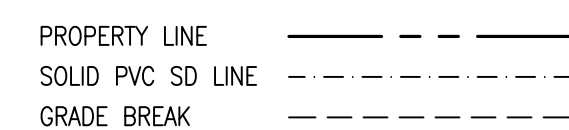
AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	PKG	PARKING
DS	DOWNSPOUT	POC	POINT OF CONNECTION
DWY	DRIVEWAY	RET	RETAINING WALL
(E)	EXISTING WALL	RIM	RIM ELEVATION
EG	EXISTING GRADING	S	SLOPE
EM	ELECTRICAL METER	SD	STORM DRAIN LINE
EP	EDGE OF PAVEMENT	SDCO	STORM DRAIN CLEANOUT
FC	FACE OF CURB ELEV.	SDFM	STORM DRAIN FORCED MAIN
FD	FRENCH DRAIN	SS	SANITARY SEWER
FF	FINISH FLOOR ELEVATION	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GROUND ELEV.	TW	TOP OF WALL ELEVATION
FL	FLOW LINE ELEVATION	TYP	TYPICAL
FM	FORCE MAIN LINE	W	DOMESTIC WATER LINE
FP	FINISHED PAVEMENT	WM	WATER METER
FS	FINISH SURFACE ELEV.		
FW	FIRE WATER LINE		

SS	SANITARY SEWER	SL	STREET LIGHT
E	ELECTRIC	IRR	IRRIGATION
TV	TV/CABLE TV	X	FENCE
FS	FIRE SERVICE	JT	JOINT TRENCH
W	DOMESTIC WATER SERVICE	O/H	OVERHEAD WIRES
T	TELEPHONE	× 16.07	(E) SPOT ELEVATION
G	NATURAL GAS	× 16.07	(N) SPOT ELEVATION
FM	FORCE MAIN		

DS SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG. DOWNSPOUT

LEGEND 5

- 1 INFILTRATION DEVICE, 5'X10', 3' DEEP, SEE 4/C.3
- 2 CONTRACTOR TO FIELD VERIFY EXISTING SEWER LINE LOCATION AND INSTALL SEWER LINE BETWEEN BUILDING AND EXISTING SEWER LATERAL. NEW SSCO, IF TO BE INSTALLED, SHALL BE WITHIN 5' FROM PROPERTY LINE.



ABBREVIATION 3

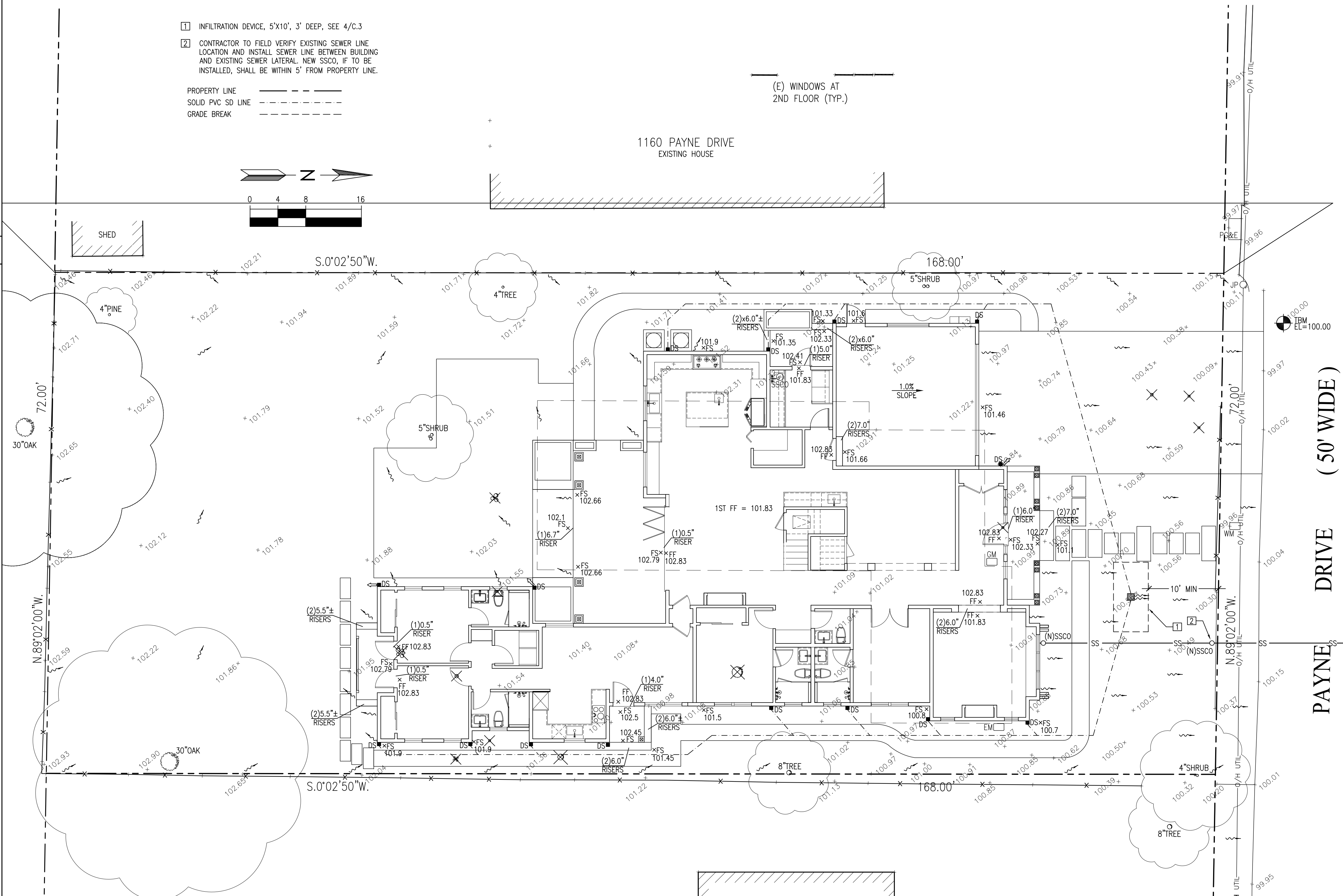
**GRADING AND DRAINAGE NOTES:**

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
- THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
- UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
- CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

**UTILITY NOTES:**

- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL GRAVITY SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION. ALL WORK FOR GRAVITY SYSTEMS SHALL BEGIN AT THE 1. DOWNSTREAM CONNECTION POINT. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION. ELBOWS AND TEE SHOULD BE AVOIDED.
- CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS.
- A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
- A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE (5) FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

GENERAL NOTES 2



GRADING AND DRAINAGE PLAN SCALE: 1/8"=1'-0" 1

**EROSION CONTROL AND BEST MANAGEMENT PRACTICE:**

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

- 1 MAINTAIN STABILIZED CONSTRUCTION AREA. SEE DETAIL 2/C.3
- 2 MAINTAIN FIBER ROLL FOR EROSION CONTROL. SEE DETAIL 1/C.3
- 3 DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
- 4 PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
- 5 CONCRETE WASHOUT AREA, SEE DETAIL 3/C.3
- 6 USE (DON'T OVERUSE) WATER FOR DUST CONTROL.
- 7 SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOIST BEFORE GRADING ACTIVITIES.
- 8 DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER. CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.

**NEW RESIDENCE**

1170 PAYNE DRIVE  
LOS ALTOS, CA  
APN: 193-38-019

**W E C & ASSOCIATES**

2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

**LICENSE STAMPS AND SIGNATURE**



**ISSUED**

No.	Description	Date

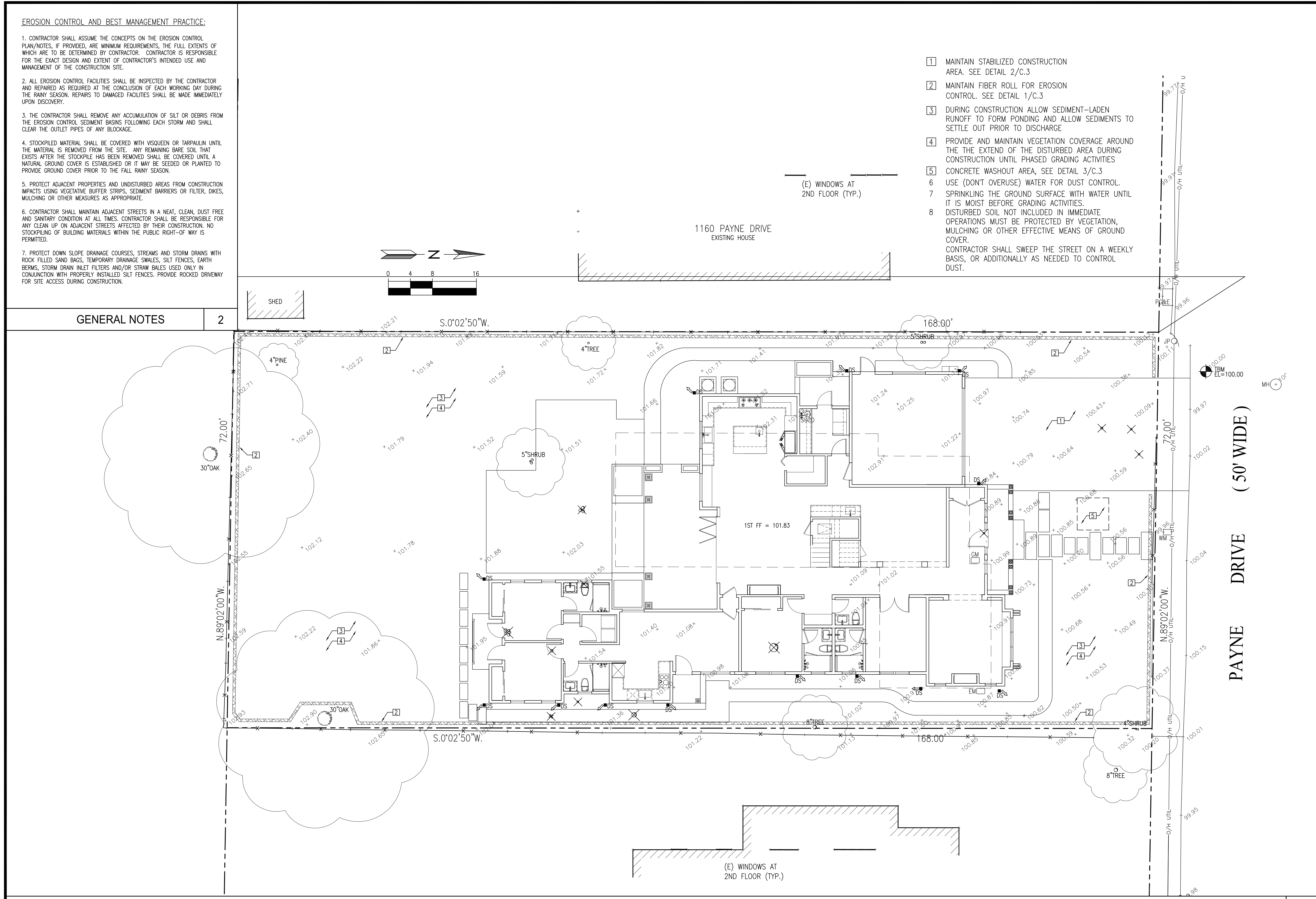
DATE: AUG 16, 2020  
SCALE: AS SHOWN  
DRAWN: J  
JOB: 10078

**SHEET TITLE:**

**EROSION CONTROL PLAN**

**SHEET NO.**

**C.2**



**GENERAL NOTES**

2

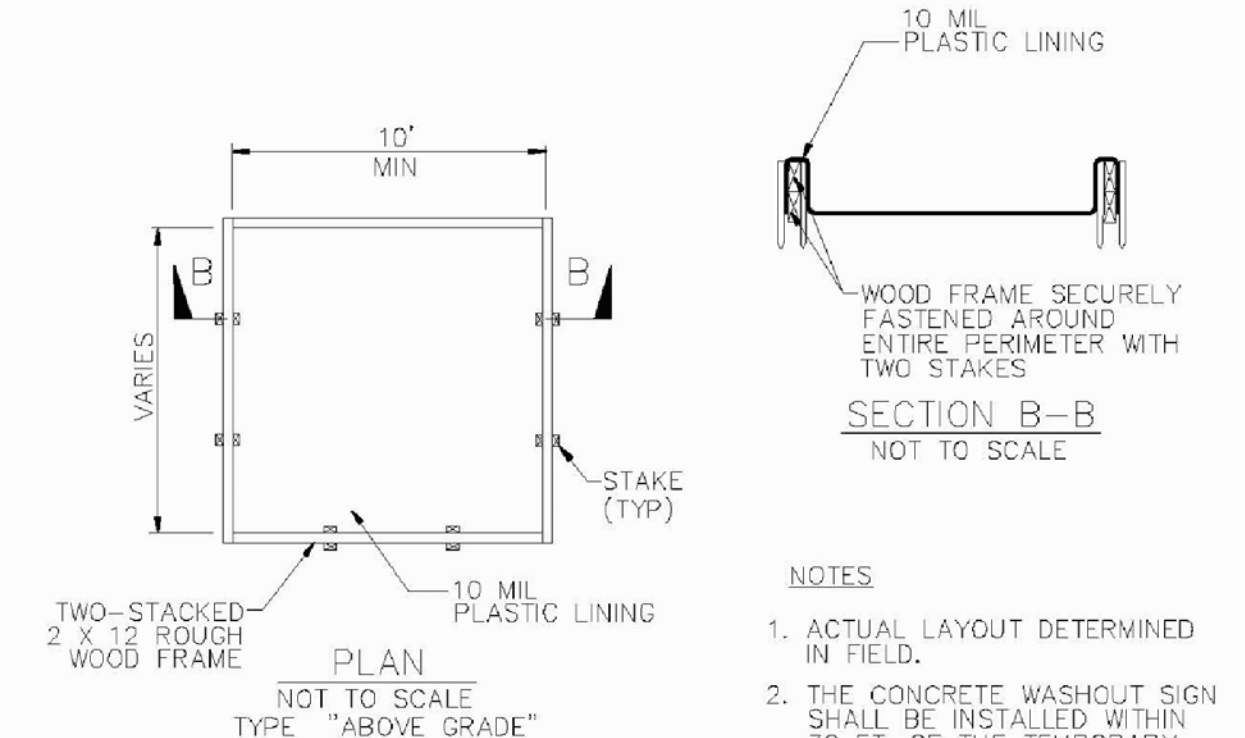
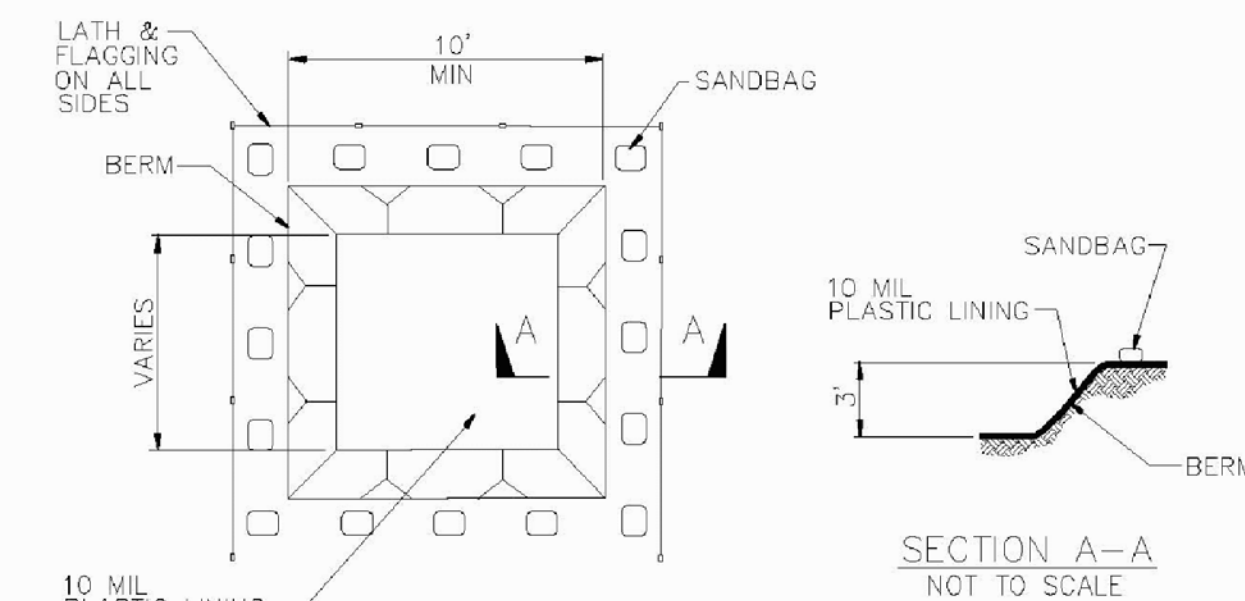


**NEW RESIDENCE**

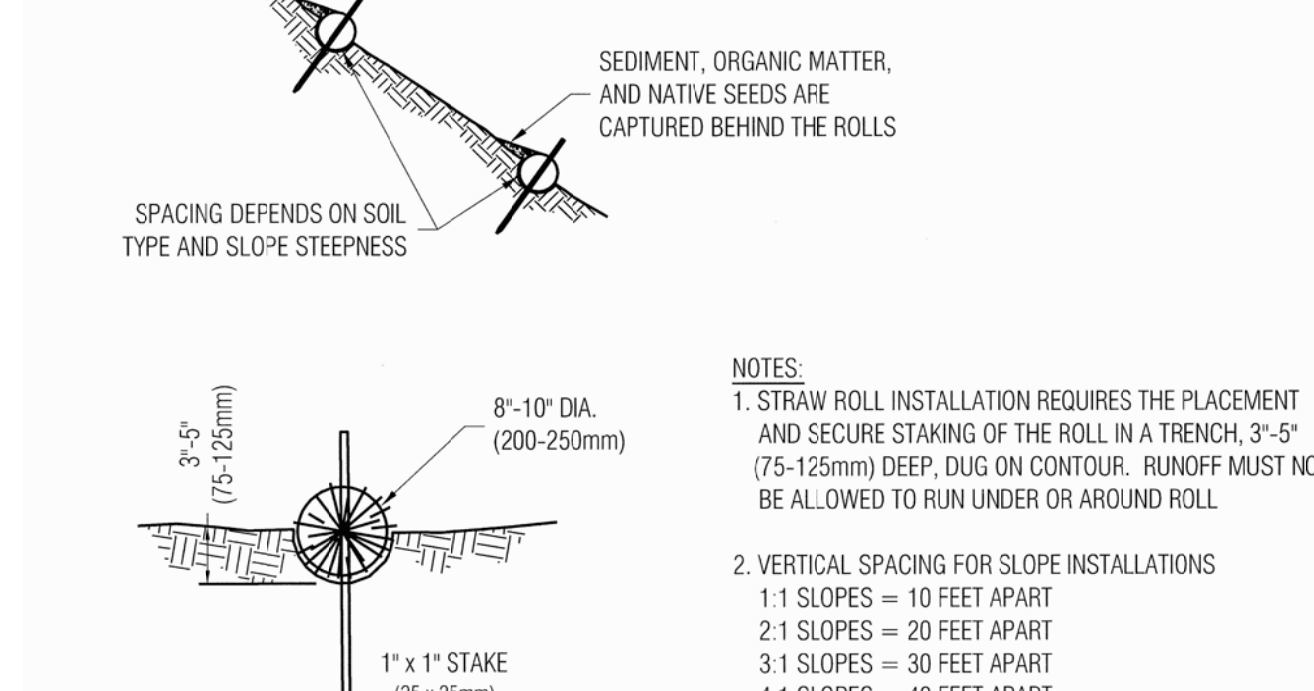
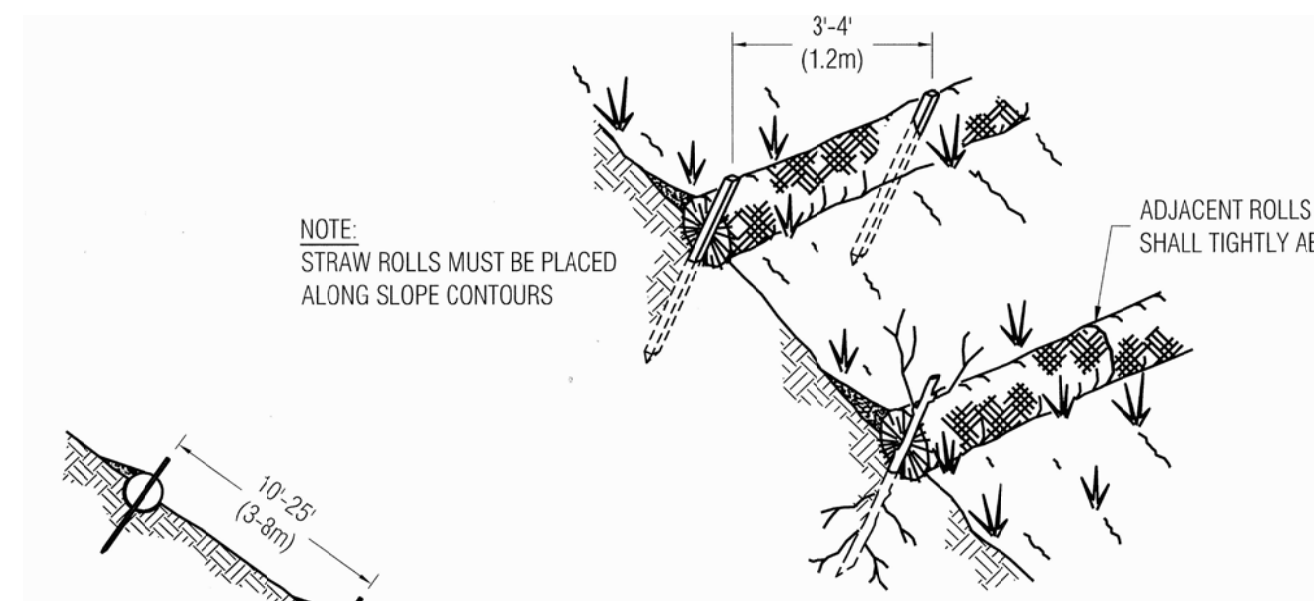
1170 PAYNE DRIVE  
LOS ALTOS, CA  
APN: 193-38-019

**W E C**  
& ASSOCIATES

2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294



- NOTES**
1. ACTUAL LAYOUT DETERMINED IN FIELD.
  2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



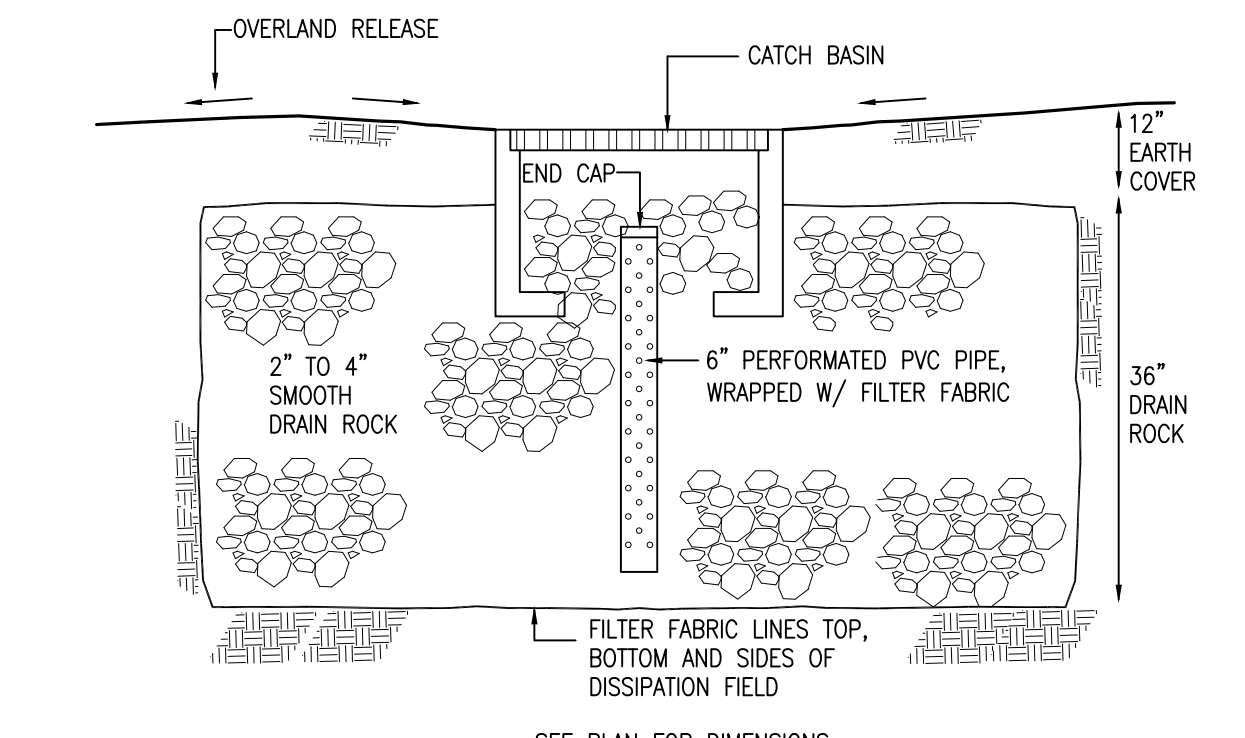
- NOTES:**
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3'-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
  2. VERTICAL SPACING FOR SLOPE INSTALLATIONS
    - 1:1 SLOPES = 10 FEET APART
    - 2:1 SLOPES = 20 FEET APART
    - 3:1 SLOPES = 30 FEET APART
    - 4:1 SLOPES = 40 FEET APART
    - <4:1 SLOPE = ONE ROW AT LOW POINT
  3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

Approved: Date: 1/4/10  
City Engineer

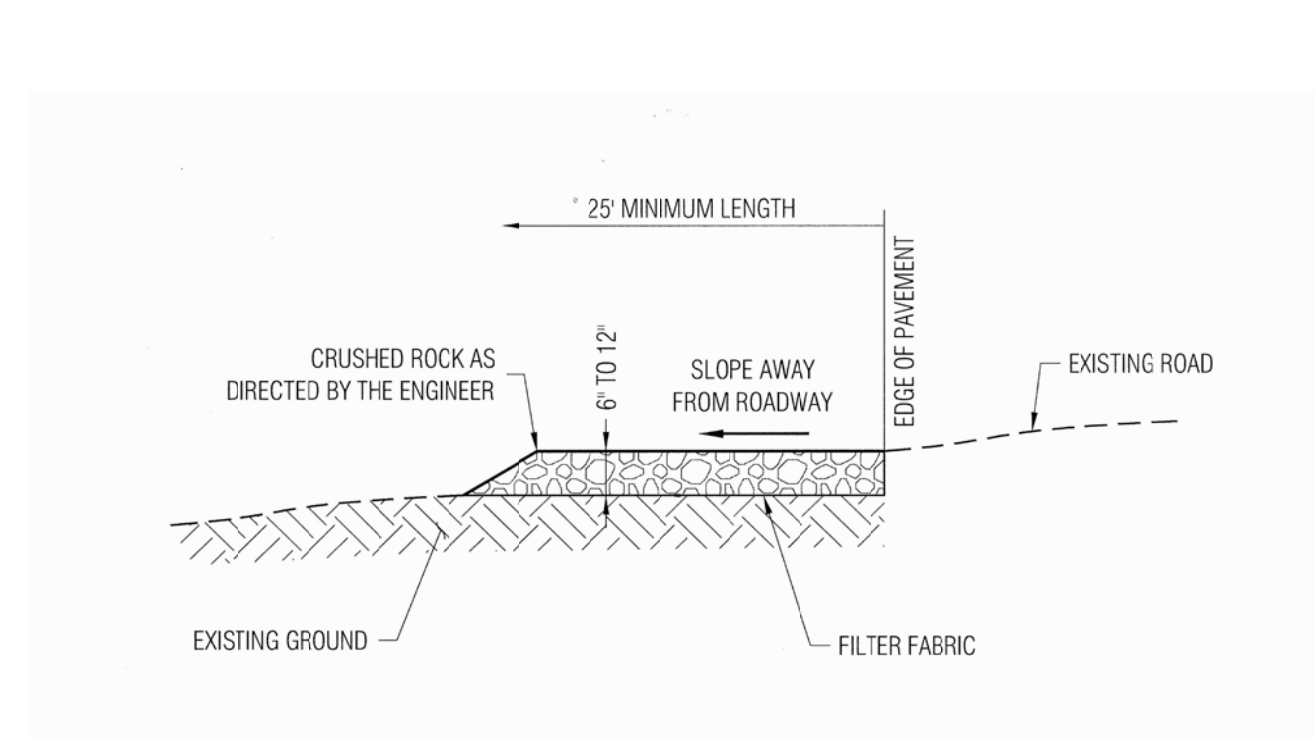
REVISION		ENGINEERING DIVISION	
Description	Date		
		<b>STRAW ROLLS</b>	<b>EC-4</b>

**CONCRETE WASHOUT AREA** 3

**FIBER ROLL DETAIL** 1



**INFILTRATION DEVICE** N.T.S. 4



- NOTES:**
1. PROVIDE A FANDED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
  2. INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH.

Approved: Date: 1/4/10  
City Engineer

REVISION		ENGINEERING DIVISION	
Description	Date		
		<b>STABILIZED CONSTRUCTION SITE ENTRANCE</b>	<b>EC-2</b>

**STABILIZED CONSTRUCTION ENTRANCE** 2

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

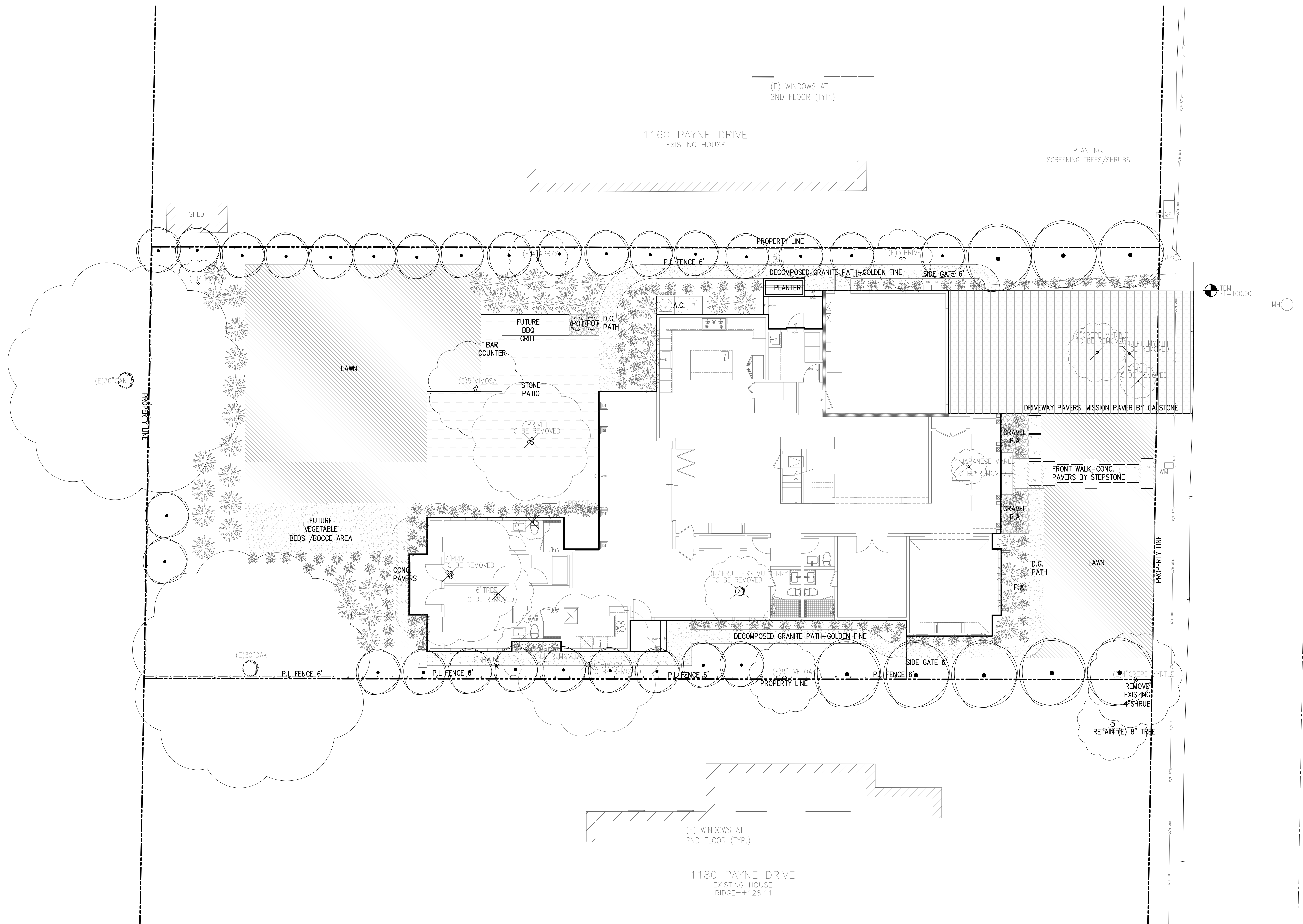
DATE: AUG 16, 2020  
SCALE: AS SHOWN  
DRAWN: J  
JOB: 10078

SHEET TITLE:

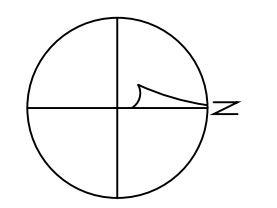
**DETAILS**

SHEET NO.

**C.3**



1 LANDSCAPE CONCEPT PLAN  
SCALE: 1/8" = 1'-0"



Lagerstroemia 'Indica'  
COMMON NAME: Crape Myrtle  
HEIGHT: 6 FEET-25 FEET  
WIDTH: 6 FEET -20 FEET  
GROWTH RATE: 2-3 FEET/YEAR



Prunus caroliniana 'Compacta'  
COMMON NAME: Carolina Laurel Cherry  
HEIGHT: 12-15 FEET  
WIDTH: 12-15 FEET  
GROWTH RATE: 3-6 FEET/YEAR



Citrus Meyer  
COMMON NAME: MEYER LEMON  
HEIGHT: 6-10 FEET  
WIDTH: 4-8 FEET  
GROWTH RATE: 2-4 FEET/YEAR



Borinda fungosa 'Maroon'  
COMMON NAME  
HEIGHT: 10 FEET-15 FEET  
WIDTH: Clumping  
GROWTH RATE: 6-9 FEET/YEAR



Lagerstroemia 'Indica'  
COMMON NAME: Crape Myrtle  
HEIGHT: 6 FEET-25 FEET  
WIDTH: 6 FEET -20 FEET  
GROWTH RATE: 2-3 FEET/YEAR



Pittosporum tenuifolium  
COMMON NAME: Kohuhu  
HEIGHT: 15 FEET-25 FEET  
WIDTH: 10 FEET -15 FEET  
GROWTH RATE: 4-6 FEET/YEAR



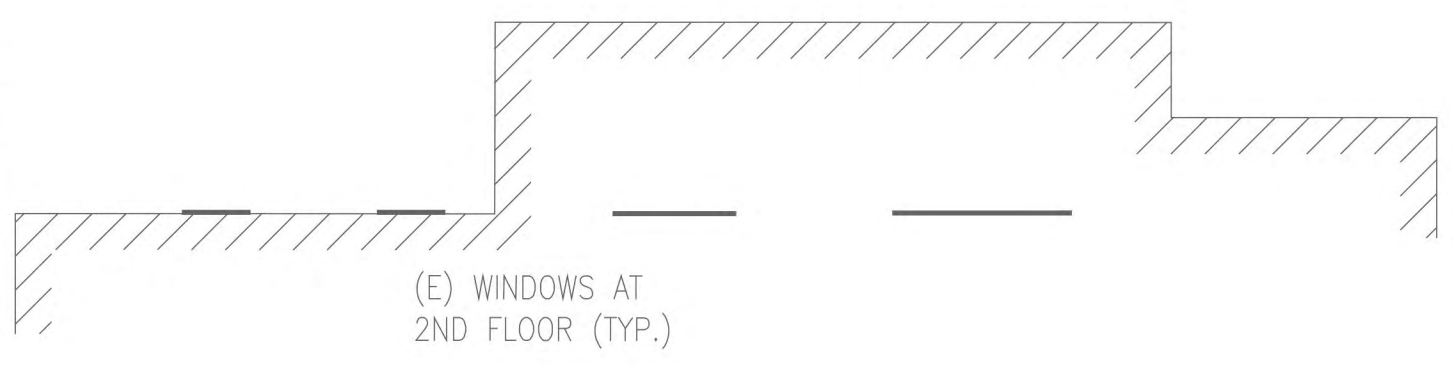
Lophomyrtus x ralphii 'Kathryn'  
COMMON NAME: New Zealand Myrtle  
HEIGHT: 8-10 FEET  
WIDTH: 12-15 FEET  
GROWTH RATE: 2-3 FEET/YEAR



Lagerstroemia 'Indica'  
COMMON NAME: Crape Myrtle  
HEIGHT: 6 FEET-25 FEET  
WIDTH: 6 FEET -20 FEET  
GROWTH RATE: 2-3 FEET/YEAR



Pittosporum tenuifolium  
COMMON NAME: Kohuhu  
HEIGHT: 15 FEET-25 FEET  
WIDTH: 10 FEET -15 FEET  
GROWTH RATE: 4-6 FEET/YEAR

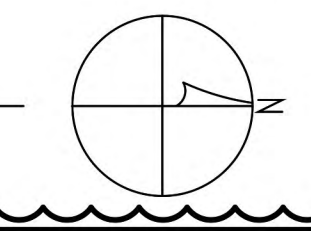


1180 PAYNE DRIVE  
EXISTING HOUSE  
RIDGE=±128.11

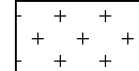
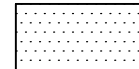


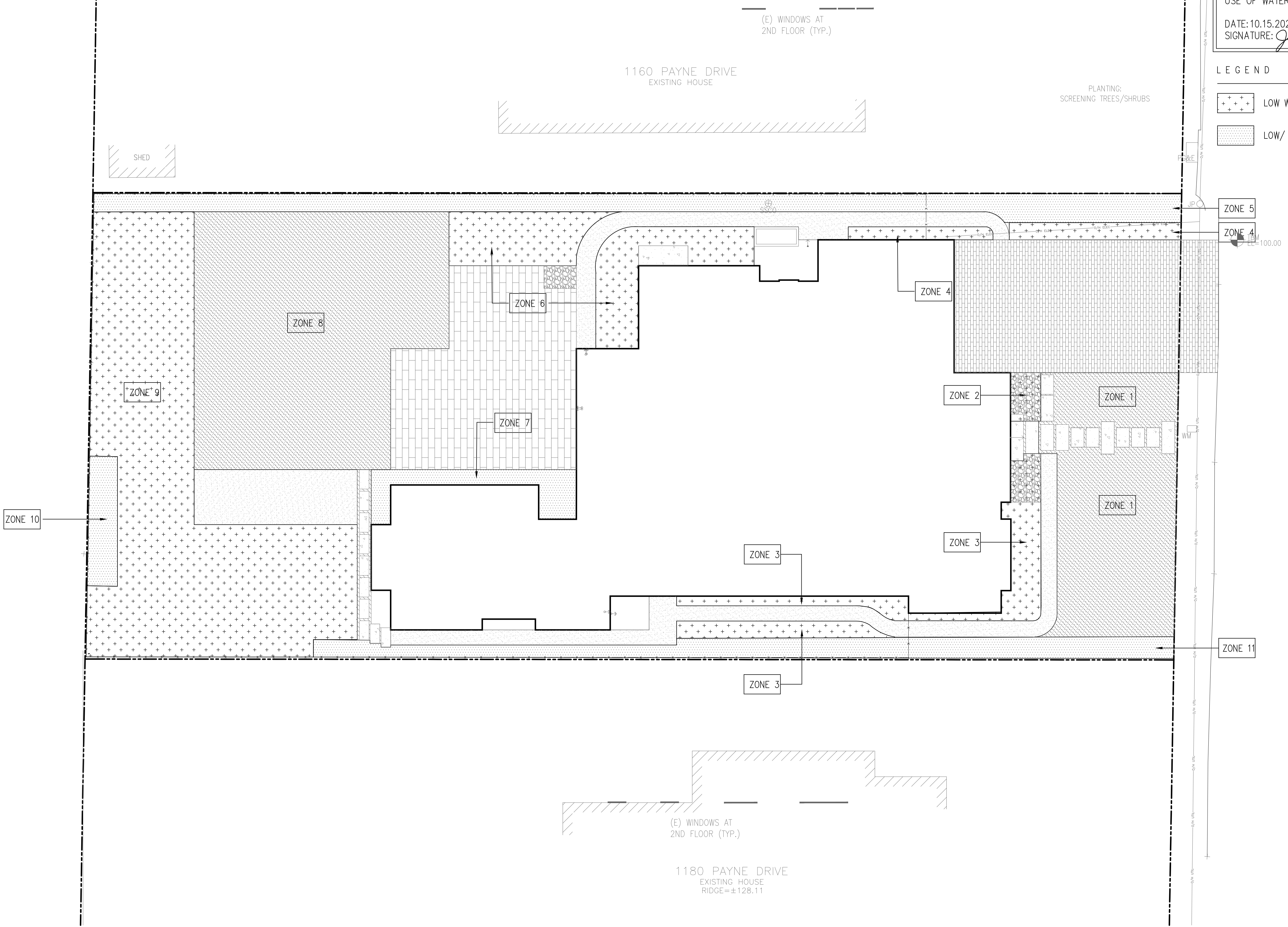
Acer Palmatum 'Emperor'  
COMMON NAME: Japanese maple  
HEIGHT: 12-15 FEET  
WIDTH: 12-15 FEET  
GROWTH RATE: 2-4 FEET/YEAR

LEGEND	SIZE (G)	AMOUNT	WATER
(E) EXISTING TREE/SHRUB TO REMAIN			
(X) EXISTING TREE/SHRUB TO BE REMOVE			
<b>TREES</b>			
(AE) Acer Palmatum 'Emperor' 24"	24" box	1	MW
(AE) Acer Palmatum 'Emperor' 36"	36" BOX	2	MW
(U) Lagerstroemia indica 24"	24" box	1	MW
(U) Lagerstroemia indica 36"	36" box	1	MW
(CM) Citrus Meyerii	15	1	MW
(BM) Borinda Fungosa 'Maroon'	15	10	MW
(PC) Prunus Caroliniana 'Compacta'	5	11	LW
(PP) Pittosporum 'Irene Patterson'	5	6	MW
(PT) Pittosporum Tenuifolium	5	25	MW
<b>SHRUBS AND GRASS</b>			
(AB) Anigozanthos 'Big Red'	5	6	LW
(AF) Aloe Fosteri	1	3	LW
(AH) Anigozanthos 'Harmony'	5	2	LW
(BH) Bulbine Frutescens 'Hallmark'	1	6	LW
(CA) Cestrum Aurantiacum	5	6	MW
(CD) Carex Divulsa	1	31	LW
(CF) Calamagrostis 'Karl Foerster'	1	10	MW
(CS) Cotyledon 'Silver Peak'	1	4	LW
(DC) Deschampsia Cespitosa 'Goldgenhange'	1	3	LW
(EP) Erica Carnea 'Springwood Pink'	1	4	LW
(GB) Grevillea 'Rosmarinifolia'	5	11	LW
(GA) Geranium 'Biokovo'	1	8	LW
(HC) Hemerocallis 'Cranberry Eyes'	1	8	LW
(LC) Leymus Condensatus 'Canyon Prince'	1	17	LW
(LK) Lophomyrtus x Ralphii 'Kathryn'	5	4	MW
(LM) Lavandula 'Angustifolia Munstead'	1	6	LW
(LP) Lavender Provence	1	30	LW
(FM) Polystichum Munitum	1	4	MW
	1 G	134	
	5 G	71	
	15 G	11	
	24" BOX	2	
	36" BOX	3	
	TOTAL	221	



MWELo COMPLIANCE NOTE:  
 I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT  
 LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT  
 USE OF WATER IN THE LANDSCAPE DESIGN PLAN.  
 DATE: 10.15.2020  
 SIGNATURE: *Jennifer Li*

LEGEND  
 LOW WATER USAGE  
 LOW/ MEDIUM WATER USAGE



LANDSCAPE  
WELO PLAN

JOB  
PAYNE RES

LANDSCAPE  
WELO  
PLAN

DESIGNER  
JENNIFER LI

PAYNE RESIDENCE  
1170 PAYNE DR. LOS ALTOS, CA94024

DATE  
08.07.2020  
REV #1 10.15.20

SCALE  
1/8" = 1'-0"

L3.00

1 LANDSCAPE WELO PLAN  
SCALE: 1/8" = 1'-0"

California Water Efficient Landscape Worksheet								
Reference Evapotranspiration (ET <sub>a</sub> )	43			Project Type	Residential		0.55	
Hydrozone # / Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>	
<b>Regular Landscape Areas</b>								
HZ1	0.5	DRIP	0.75	0.67	706.33	471	12554	
HZ2	0.2	DRIP	0.81	0.25	34.91	9	230	
HZ3	0.2	DRIP	0.81	0.25	287.09	71	1890	
HZ4	0.2	DRIP	0.81	0.25	114.79	28	756	
HZ5	0.5	DRIP	0.81	0.62	515.93	318	8491	
HZ6	0.2	DRIP	0.81	0.25	400.91	99	2639	
HZ7	0.5	DRIP	0.81	0.62	124.24	77	2045	
HZ8	0.5	DRIP	0.75	0.67	1396.81	931	24826	
HZ9	0.2	DRIP	0.81	0.25	1511.34	373	9949	
HZ10	0.5	DRIP	0.81	0.62	89.13	55	1467	
HZ11	0.5	DRIP	0.81	0.62	402.34	248	6621	
					<b>Totals</b>	<b>5584</b>	<b>2681</b>	<b>71466</b>

Special Landscape Areas								
				1		0	0	
				1		0	0	
				1		0	0	
				1		0	0	
					<b>Totals</b>	<b>0</b>	<b>0</b>	<b>0</b>

**ETWU Total** 71466  
**Maximum Allowed Water Allowance (MAWA)<sup>e</sup>** 72831

Hydrozone Category	PF-Plant Factor	Hydrozone Category	PF-Plant Factor
Very Low Water Use	0.0 - 0.1	Very Low Water Use	0.0 - 0.1
Low Water Use*	0.1 - 0.3	Low Water Use*	0.1 - 0.3
Moderate Water Use	0.4 - 0.6	Moderate Water Use	0.4 - 0.6
High Water Use	0.7 - 1.0	High Water Use	0.7 - 1.0
		0.45 Non-Residential	
		0.55 Residential	
		0.81 Drip	
		0.75 Overhead	

Irrigation Method	IE- Irrigation Efficiency
Overhead Spray	0.75
Drip	0.81

- <sup>a</sup> Hydrozone # / Planting Description e.g.  
 1.) Front lawn  
 2.) Low water use planting  
 3.) Medium water use planting
- <sup>b</sup> Irrigation Method  
 1.) Overhead Spray  
 2.) Drip

- <sup>c</sup> Irrigation Efficiency  
 1.) 0.75 for Overhead Spray  
 2.) 0.81 for Drip

<sup>d</sup> ETWU (Annual Gallons Required) =  
 Eto x 0.62 x ETAF x Area  
 Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year

<sup>e</sup> MAWA (Annual Gallons Allowed) =  
 (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
 Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year, LA is the total regular landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential areas and 0.45 for non-residential areas

ETAF Calculations	
Total ETAF x Area	3980
Total Area	8135
Average ETAF	0.49
All Landscape Areas	
Total ETAF x Area	996
Total Area	2060
Average ETAF	0.48

MWELO COMPLIANCE NOTE:  
 I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.  
 DATE: 10.15.2020  
 SIGNATURE: *Jennifer Li*

LANDSCAPE  
 WELO  
 CALCULATION  
 FORMS

JOB  
 PAYNE RES

LANDSCAPE  
 WELO  
 CALCULATION  
 FORMS

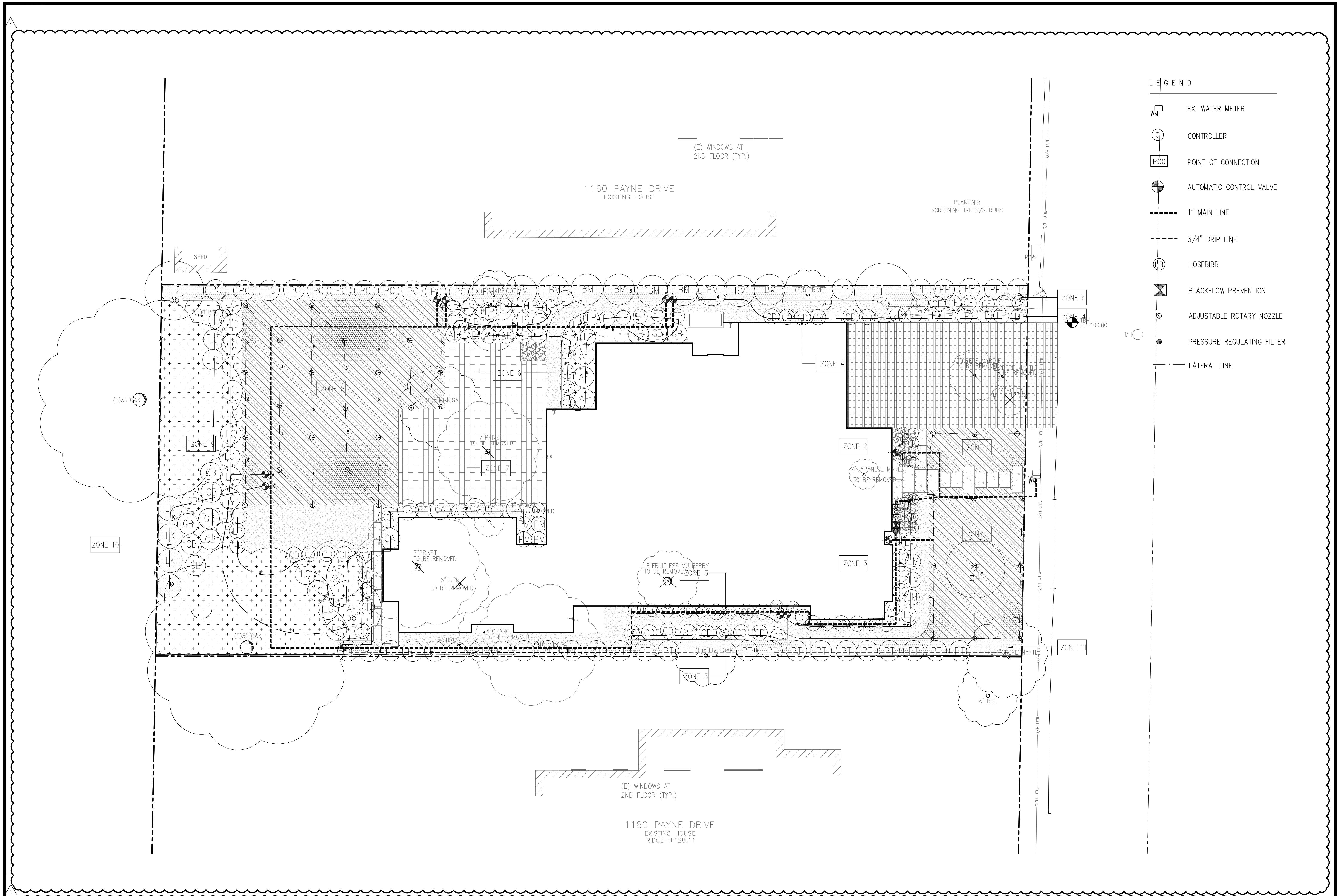
DESIGNER  
 JENNIFER LI

PAYNE RESIDENCE  
 1170 PAYNE DR. LOS ALTOS, CA94024

DATE  
 08.07.2020  
 REV #1 10.15.20

SCALE  
 AS SHOWN

13.01



- LEGEND
- EX. WATER METER
  - CONTROLLER
  - POINT OF CONNECTION
  - AUTOMATIC CONTROL VALVE
  - 1" MAIN LINE
  - 3/4" DRIP LINE
  - HOSEBIBB
  - BLACKFLOW PREVENTION
  - ADJUSTABLE ROTARY NOZZLE
  - PRESSURE REGULATING FILTER
  - LATERAL LINE

LANDSCAPE IRRIGATION PLAN

JOB PAYNE RES

LANDSCAPE IRRIGATION PLAN

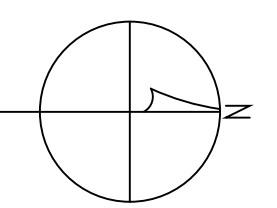
DESIGNER JENNIFER LI

PAYNE RESIDENCE  
1170 PAYNE DR. LOS ALTOS, CA94024

DATE 08.10.2020  
REV #1 10.15.20

SCALE 1/8" = 1'-0"  
L4.00

1 LANDSCAPE CONCEPTUAL PLAN  
SCALE: 1/8" = 1'-0"



**1170 PAYNE DRIVE MATERIAL BOARD:**

ROOF: STATELINE ROYAL SLATE BY GAF ROOFING

WINDOW: ULTRA SERIES BY MILGUARD

FRAME COLOR: BLACK



PATIO DOOR: ULTRA SERIES BY MILGUARD OR EQUAL

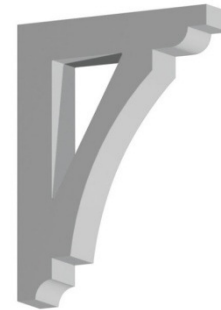
DECORATIVE POST

DECORATIVE BRACKET

FRAME COLOR: BLACK

NON-TAPERED SQUARE POST BY EKENA OR EQUAL

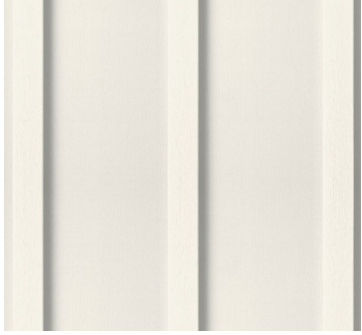
ARCHITECTURAL DEPOT



WALL-1 :

CEDAR WOOD BOARD AND BATTEN

MIN. 8" WIDE



WALL-2:

CEDAR HORIZONTAL WOOD SIDING

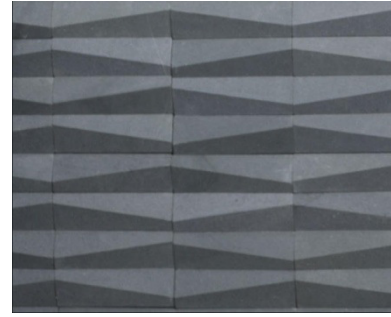
MIN. 6" WIDE



WALL-3:

ARCHITONIC - DUNES

SANDSTONE CLADDING BY ISLAND STONE



PORCH FLOOR AND PLANTER FINISH:

DEEP GRAY NATURE BY PORCELANOSA

PORCELAIN TILE OR EQUAL



STEPPING STONE:

CONCRETE PAVER

BY STEPPING STONE



DRIVEWAY PAVER:

MISSION PAVER - BLACK AN GREY

BY CALSTONE

