

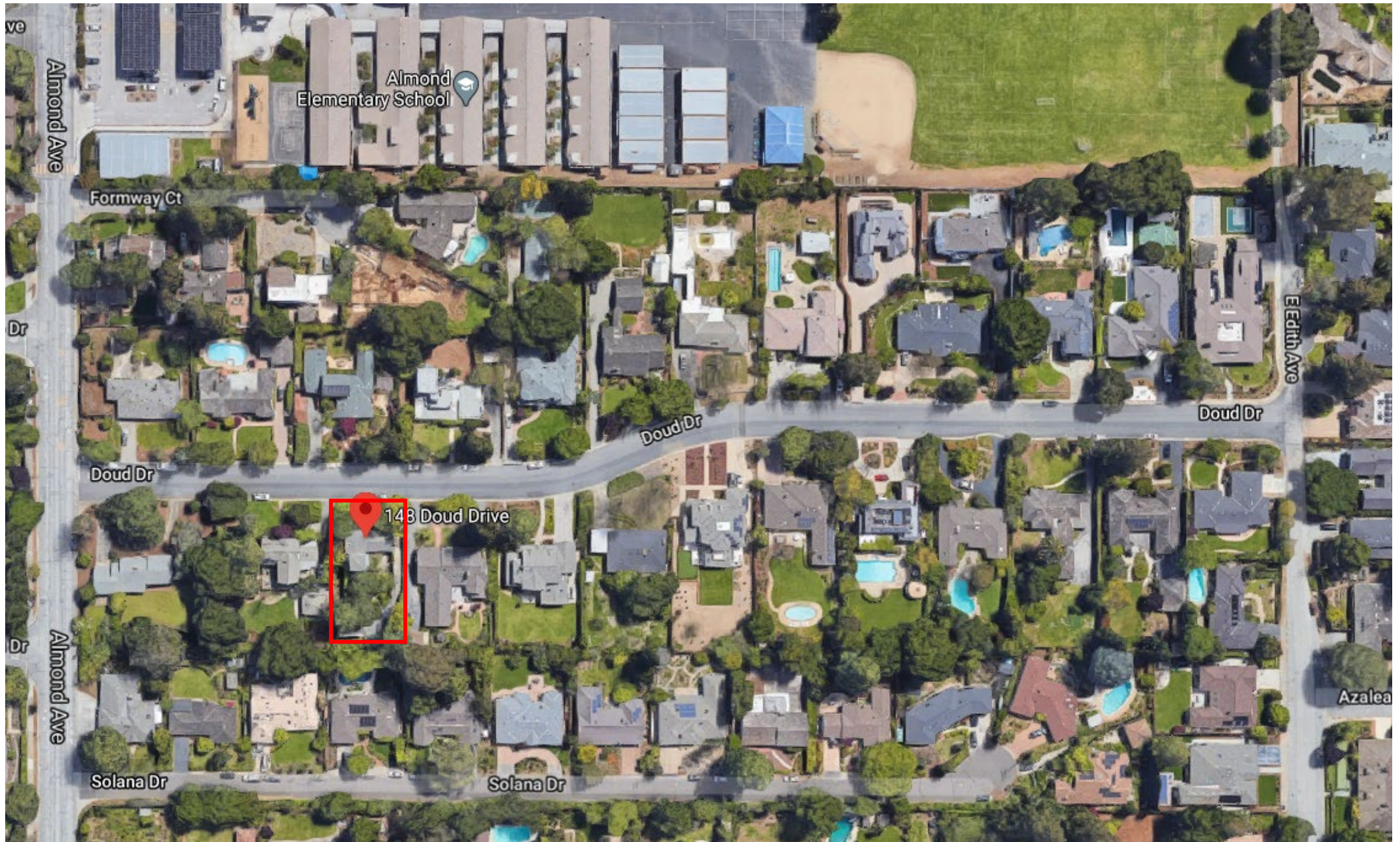
148 Doud Drive

SC20-0012

Wednesday, November 4, 2020
7:00 pm









164 DOUD DRIVE
(2-STORY RESIDENCE)



456 ALMOND AVENUE (1-STORY RESIDENCE)



185 DOUD DRIVE (1-STORY RESIDENCE)



161 SOLANA DRIVE (1-STORY RESIDENCE)



147 SOLANA DRIVE (1-STORY RESIDENCE)



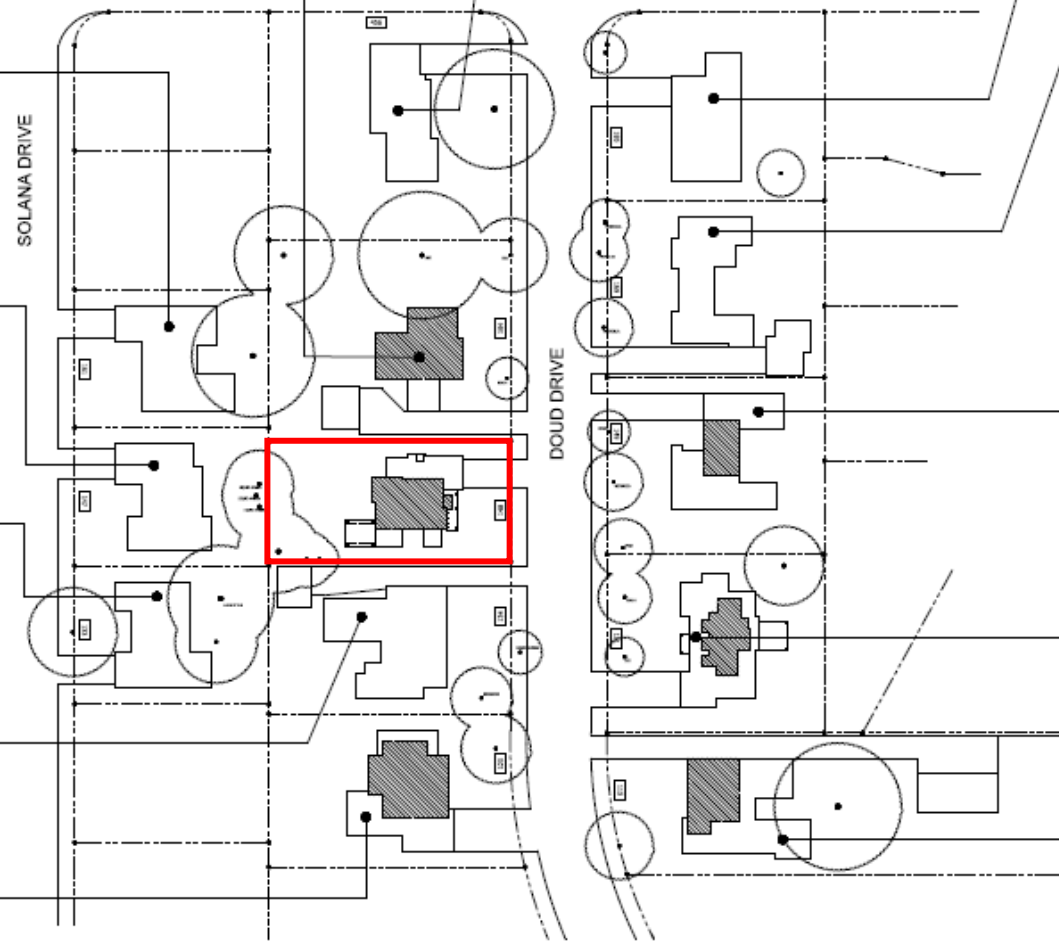
133 SOLANA DRIVE (1-STORY RESIDENCE)



134 DOUD DRIVE (1-STORY RESIDENCE)



120 DOUD DRIVE (2-STORY RESIDENCE)



169 DOUD DRIVE (1-STORY RESIDENCE)



149 DOUD DRIVE (2-STORY RESIDENCE)



121 DOUD DRIVE (NEW RESIDENCE)



115 DOUD DRIVE (2-STORY RESIDENCE)

NEIGHBORHOOD - AERIAL MAP

1" = 40'-0"



120 DOUD DRIVE



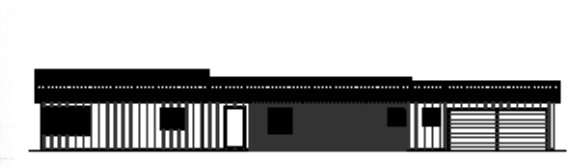
134 DOUD DRIVE



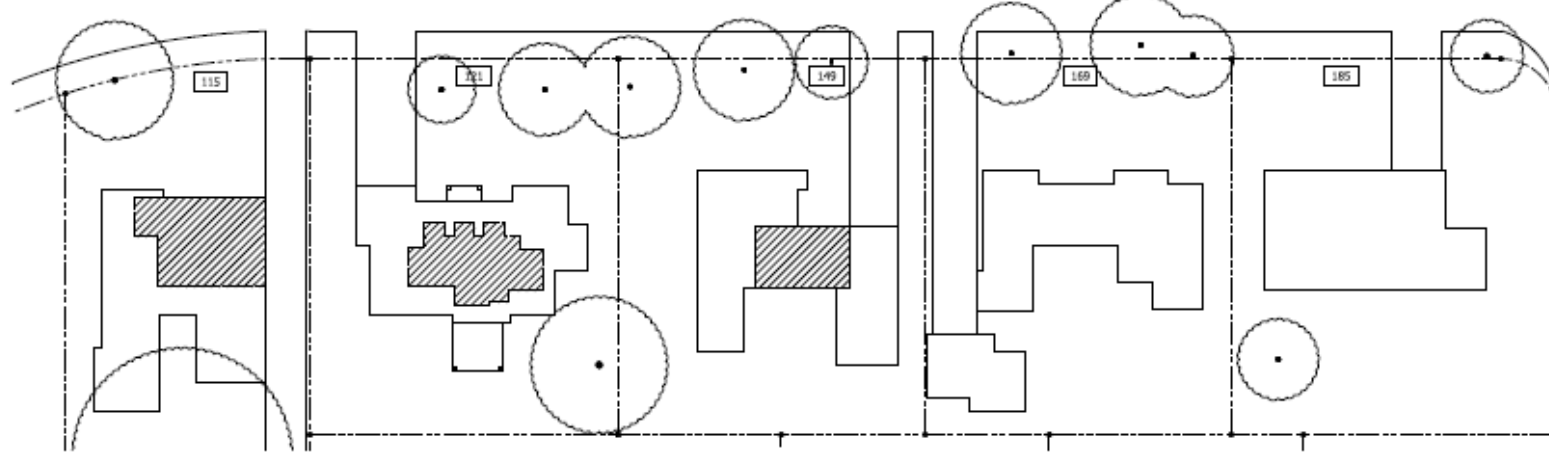
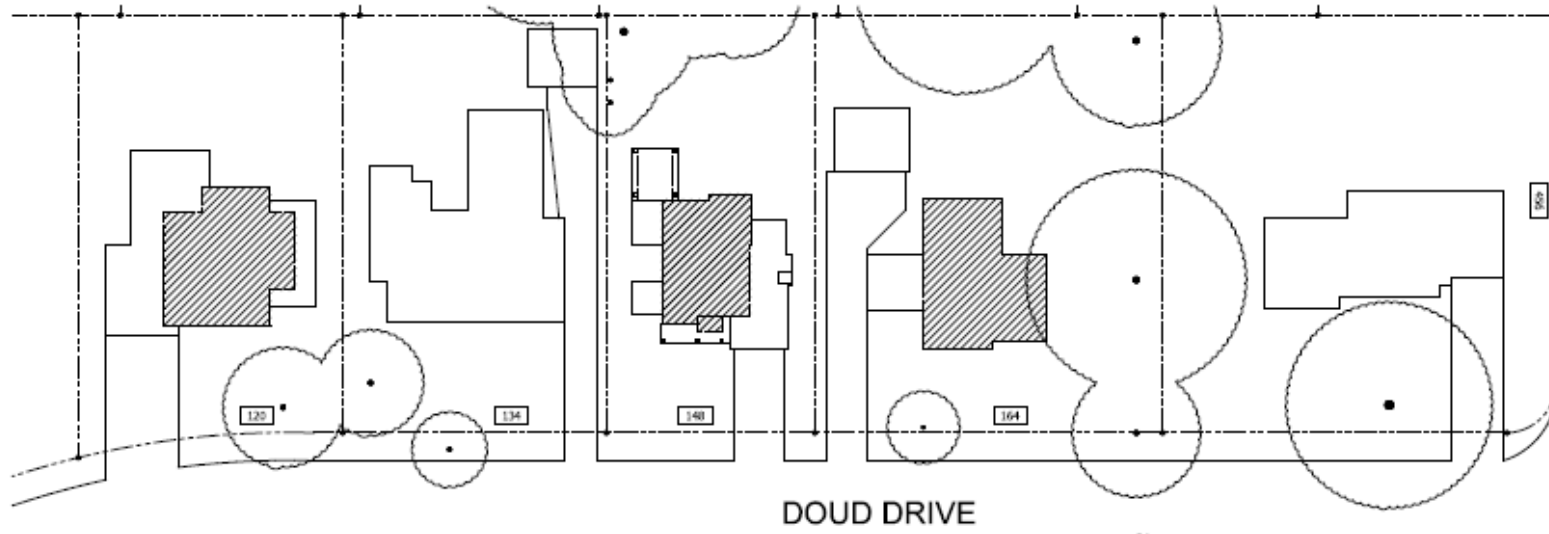
148 DOUD DRIVE



164 DOUD DRIVE



456 ALMOND AVENUE



115 DOUD DRIVE



121 DOUD DRIVE



149 DOUD DRIVE



169 DOUD DRIVE



185 DOUD DRIVE

TREE SCHEDULE		REMOVE	
NO.	TYPE	YES	NO
1	17' B ASH	✓	
2	4' B BIRCH	✓	
3	17' B BIRCH	✓	
4	11' B BIRCH	✓	
5	4' B SOUTHERN MANCINI	✓	
6	13' 2" - 4' B GATONASTER	✓	
7	6' 2" B GATONASTER	✓	
8	15' B BIRCH	✓	
9	17' B BIRCH	✓	
10	12' B CEDAR	✓	
11	17' B JAPANESE MAPLE	✓	
12	3' B CEDAR	✓	
13	15' B BIRCH	✓	
14	On Rear Neighbor's Property (See Aerial Report)		
15	2' B CEDAR	✓	
16	14' B CAMPHOR	✓	
17	12' B CAMPHOR	✓	
18	17' B FIG	✓	
19	1' - 1/2" OLIVE CLUMP	✓	
20	4' B MULBERRY	✓	
21	22 NEW STREET TREES (Species Not Yet Selected)		

TABULATIONS

PROPOSED RESIDENCE

MAIN FLOOR	1,955.32	SQ. FT.
UPPER FLOOR	1,485.62	SQ. FT.
GARAGE	455.55	SQ. FT.
TOTAL	3,874.49	SQ. FT.

COVERED PORCHES & PATIOS

	484.74	SQ. FT.
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EXISTING RESIDENCE

MAIN FLOOR	1,491.62	SQ. FT.
UPPER FLOOR	787.55	SQ. FT.
TOWER (3rd FLOOR)	253.34	SQ. FT.
DETACHED GARAGE	485.12	SQ. FT.
TOTAL	3,017.63	SQ. FT.

EXISTING COVERAGE

	2,011.63	SQ. FT.
--	----------	---------

	EXISTING	ADDITION / REMOVAL	PROPOSED	ALLOWED / REGULATED
LOT COVERAGE (Land area covered by all structures that are over 6 feet in height)	2,011.63 sq. ft. (77.86 %)	-2,815.63 sq. ft. (-2,847.21 sq. ft.)	2,947.21 sq. ft. (28.14 %)	3,937.50 sq. ft. (35.00 %)
FLOOR AREA				
Area Floor	1,491.62 sq. ft.	0 sq. ft.	1,955.32 sq. ft.	3,446.94 sq. ft.
Upper Floor	787.55 sq. ft.	0 sq. ft.	1,485.62 sq. ft.	2,273.17 sq. ft.
Overall Garage	485.12 sq. ft.	0 sq. ft.	455.55 sq. ft.	940.67 sq. ft.
Total	3,017.63 sq. ft. (28.63 %)	0 sq. ft.	3,874.49 sq. ft.	4,660.78 sq. ft.
SETBACKS:				
Front	20'-0"	NA	20'-0"	20'-0"
Rear	80'-1"	NA	47'-0"	20'-0"
Right Side (1st / 2nd / 3rd Side (1st / 2nd / 3rd))	7'-0" / 13'-0" / 10'-0" / 14'-0"	NA	6'-0" / 12'-0" / 17'-0" / 13'-0"	7'-0" / 15'-0" / 7'-0" / 13'-0"
Height	30'-0" (Highest Point of Structure)	NA	20'-0" (Highest Point of Structure)	27'-0"

CONSULTANT DIRECTORY

SURVEYOR	DOUG ASSOCIATES SURVEYING - ROGER DOUGIE 2082 CHANNING CIRCLE PENN VALLEY, CA 93924 (360) 932-9212
SOILS ENGINEER	NA
CIVIL ENGINEER	GREEN CIVIL ENGINEERING INC. - HOA-CHONG LEE 180 S. NICHOLS STREET, STE. # 300 SAN MARCO, CA 94943 (855) 988-5837
STRUCTURAL ENGINEER	T.B.D.
ENERGY CONSULTANT	T.B.D.
LANDSCAPE ARCHITECT	T.B.D.

SITE PLAN NOTES

- 1 DRAINWAY: INVERTS PER OWNER'S SPECIFICATIONS
- 2 FLATWORK: INVERTS PER OWNER'S SPECIFICATIONS
- 3 GRADING: REFER TO CIVIL DRAWINGS FOR INFORMATION
- 4 DRAINAGE: REFER TO CIVIL DRAWINGS FOR INFORMATION
- 5 STORM DRAINAGE: REFER TO CIVIL DRAWINGS FOR INFORMATION
- 6 SEWER LATERAL: IN LATERAL FOR CIVIL DRAWINGS (REFER TO CIVIL PLANS FOR INFORMATION)
- 7 GAS & SLIC SERVICE: IN GAS SERVICE AS PER PLAN
IN 400 AMP SERVICE AS PER PLAN
- 8 SETBACKS: AS PER PLAN
- 9 TREES: PROTECT (E) TREES w/ CHAINLINK FENCING. ALL TREE PROTECTION FENCING SHALL BE DOWN IN A MINIMUM OF 1765 FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. TWO NEW STREET TREES PROVIDED BY OWNER (AS PER PLAN)
- 10 FINICES: IN FINICES AS PER PLAN
- 11 LANDSCAPE: (E) TREES TO BE REMOVED AS PER TREE SCHEDULE

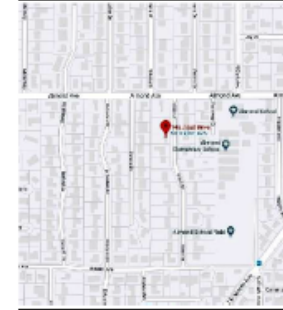
GENERAL NOTES

- A1 VERIFICATION: CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
- A2 DIMENSIONS: DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
- A3 DISCREPANCIES: MINOR DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY
- A4 CONTRACT DOCUMENTS: CONSTRUCTION DOCUMENTS TO PORT DATE, JOB COPY, VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY

PROPERTY DESCRIPTION

OWNER	TYNDALL STREET TOWNHOMES, LLC
ADDRESS	148 DOUD DRIVE LOS ALTOS, CA 94022
PARCEL	170-30-032
ACREAGE	0.258
ZONING	R1-10
OCCUPANCY	R-3U
CONSTRUCTION	V-B
TYPE	CONSTRUCTION OF A NEW 2-STORY RESIDENCE WITH ATTACHED GARAGE

VICINITY MAP

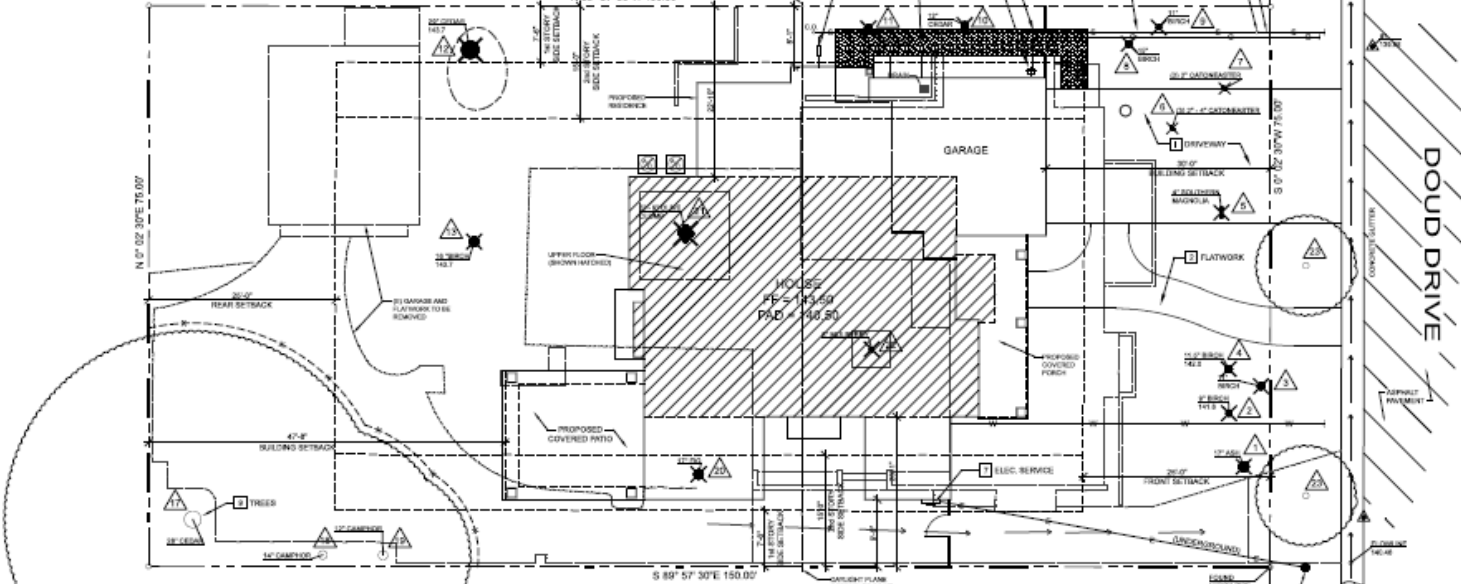


SHEET INDEX

ARCHITECTURAL SHEETS	
A1.0	SITE PLAN
A1.1	FLOOR AREA DIAGRAM
A1.2	NEIGHBORHOOD AERIAL MAP
A1.3	NEIGHBORHOOD STREETSCAPE
A2.0	PROPOSED MAIN FLOOR PLAN
A2.1	PROPOSED UPPER FLOOR PLAN
A3.0	PROPOSED EXTERIOR ELEVATIONS - FRONT & REAR
A3.1	PROPOSED EXTERIOR ELEVATIONS - LEFT & RIGHT
A3.2	PROPOSED ROOF PLAN
A4.1	CROSS SECTIONS A - A & B - B ARCHITECTURAL DETAILS
CIVIL SHEETS	
C1	GRADING AND DRAINAGE PLAN
LANDSCAPE PLANS	
L1	MASTER PLANTING PLAN (COLORED)
L1.1	MASTER PLANTING PLAN (DETAILED & NOTED)
L1.2	PHOTODUPLICATION
T-1	TOPOGRAPHIC SURVEY

PER COMMENTS

1. REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS, WATER SUPPLY AND MAY INCLUDE SPECIFIC ADDITIONAL REQUIREMENTS AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSIDERED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH APPLICABLE MODEL CODES. PRIOR TO PERFORMING ANY WORK, THE APPLICANT SHALL MAKE APPLICATION TO AND RECEIVE FROM THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.
2. FIRE-SPRINKLER SYSTEMS REQUIRED: AN AUTOMATIC RESIDENTIAL FIRE-SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS AS FOLLOWS TO BE CERTIFIED SUBMITTALS.
3. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLY SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY LINE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR.
4. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROXIMATE ADDRESS NUMBERS, BUILDING NUMBERS OR APPROXIMATE BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (CFC SEC. 501.1)
5. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 23 AND OUR STANDARD DETAIL AND SPECIFICATIONS S1 - 1.



LOT CALCULATIONS	
NET LOT AREA:	11,260.00 square feet (2.60 ac)
FRONT YARD LANDSCAPE AREA: (Percentage area in the front yard setback shall not exceed 50%.)	915.47 square feet (8.12 %)
LANDSCAPING BREAKDOWN:	Total landscape area: 3,172.86 sq. ft. New landscape area: 7,087.14 sq. ft.

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: (Includes habitable basement areas)	2,532.51 sq. ft.	-2,532.51 sq. ft. + 3,416.94 sq. ft.	3,416.94 sq. ft.
NON-HABITABLE AREA: (Does not include covered porches or open structures)	485.12 sq. ft.	-485.12 sq. ft. + 485.55 sq. ft.	485.55 sq. ft.

COVERAGE & F.A.R.

SITE PLAN	11,256.00	SQ. FT. = 0.258 AC.
GVY ALLOWANCE:	3,937.50	SQ. FT. = 35.00 %
EXISTING	2,011.63	SQ. FT. = 17.86 %
PROPOSED	2,947.21	SQ. FT. = 26.19 %
HAR ALLOWANCE:	3,878.50	SQ. FT. = 34.44 %
EXISTING	3,017.63	SQ. FT. = 26.82 %
PROPOSED	3,874.49	SQ. FT. = 34.43 %

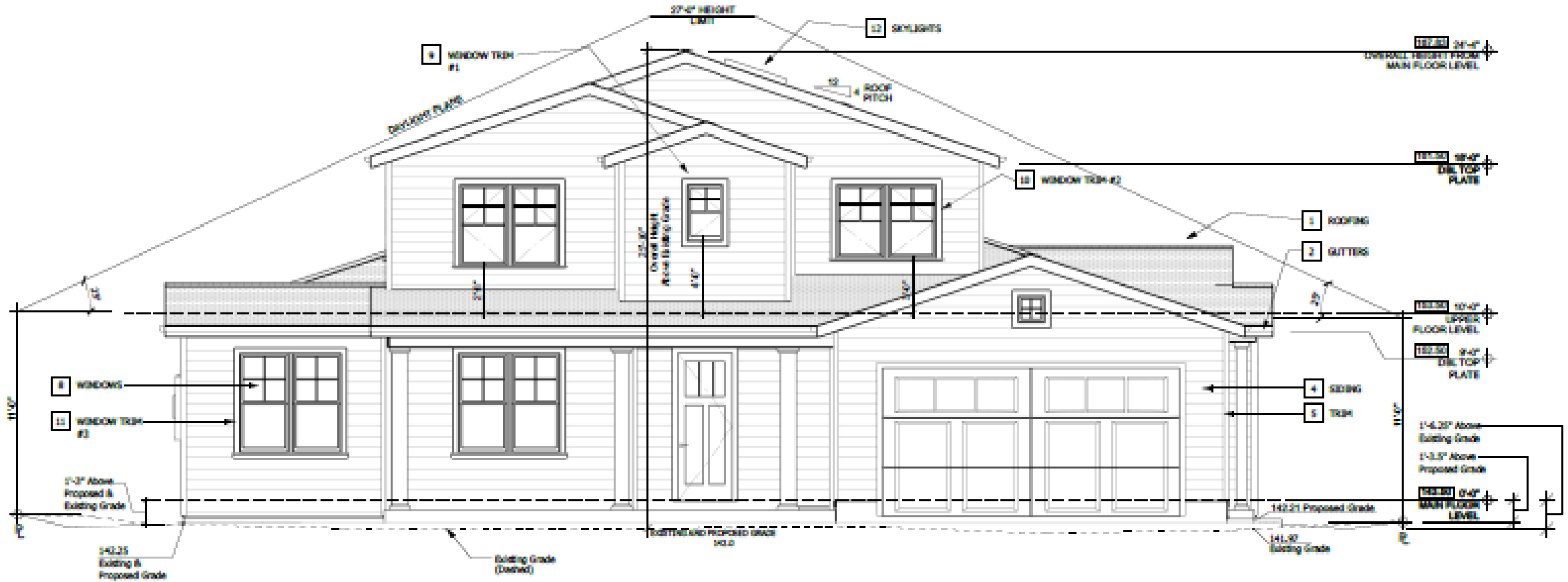
APPLICABLE CODES

THIS PROJECT SHALL COMPLY AS REQUIRED WITH THE:

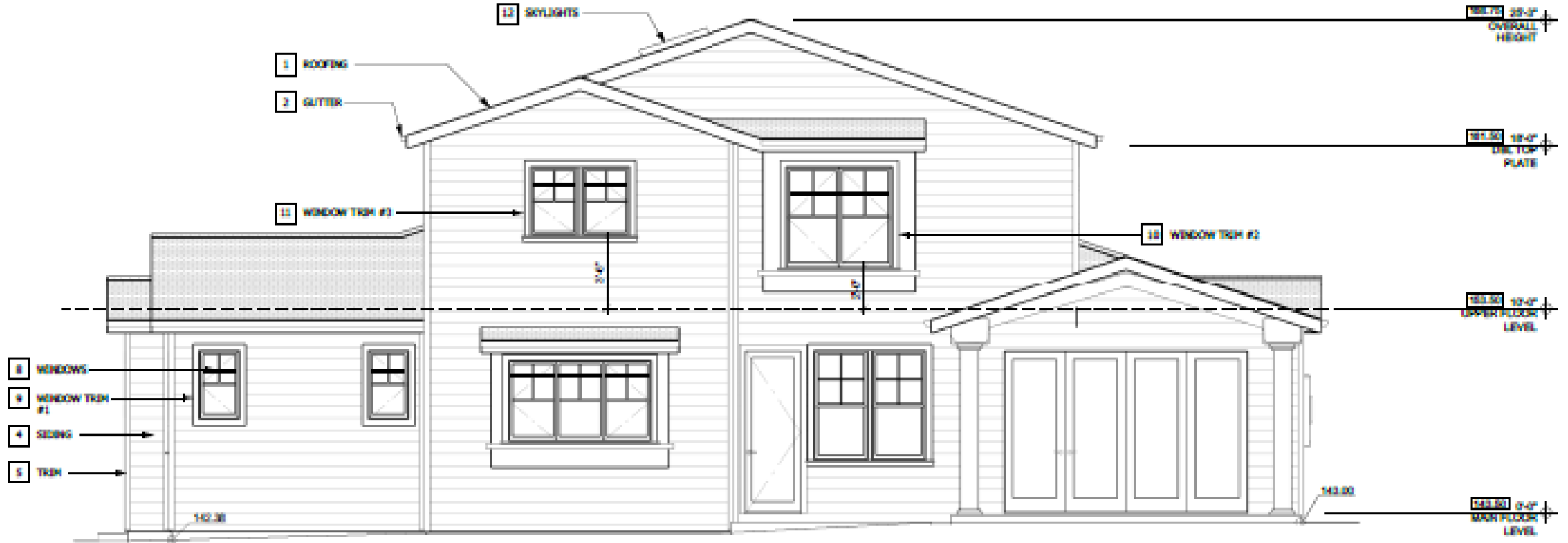
- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING

SITE PLAN

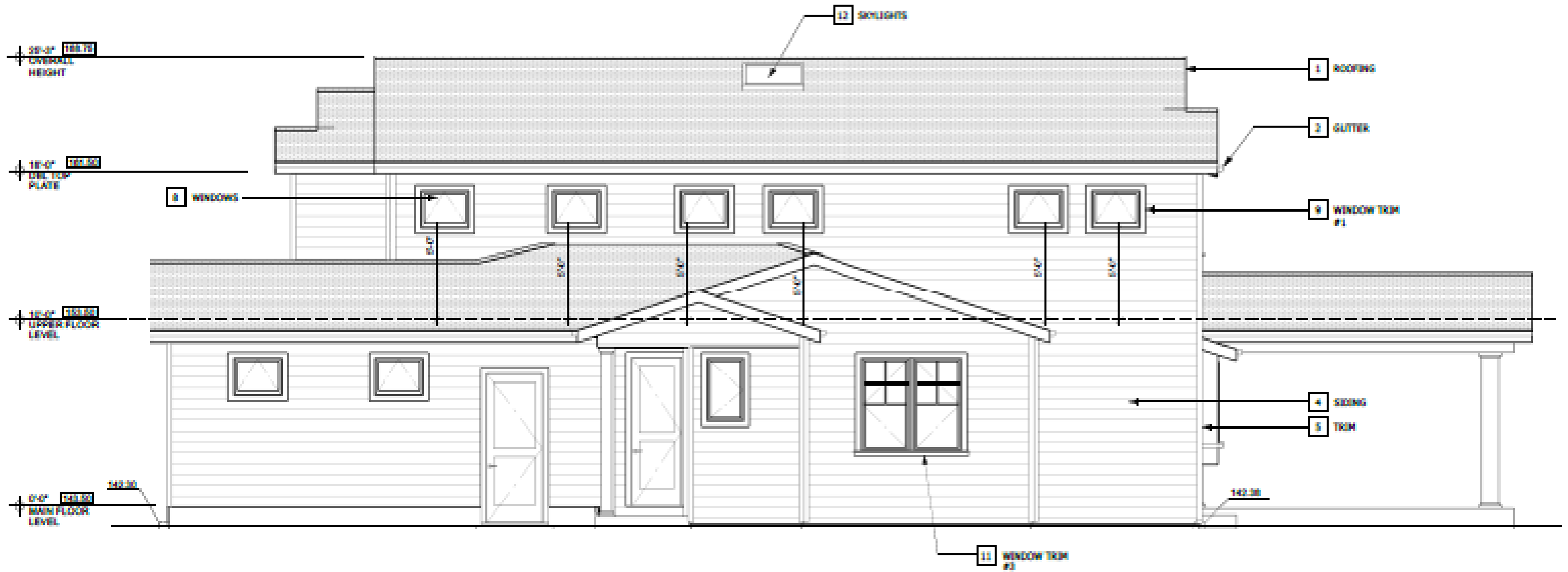
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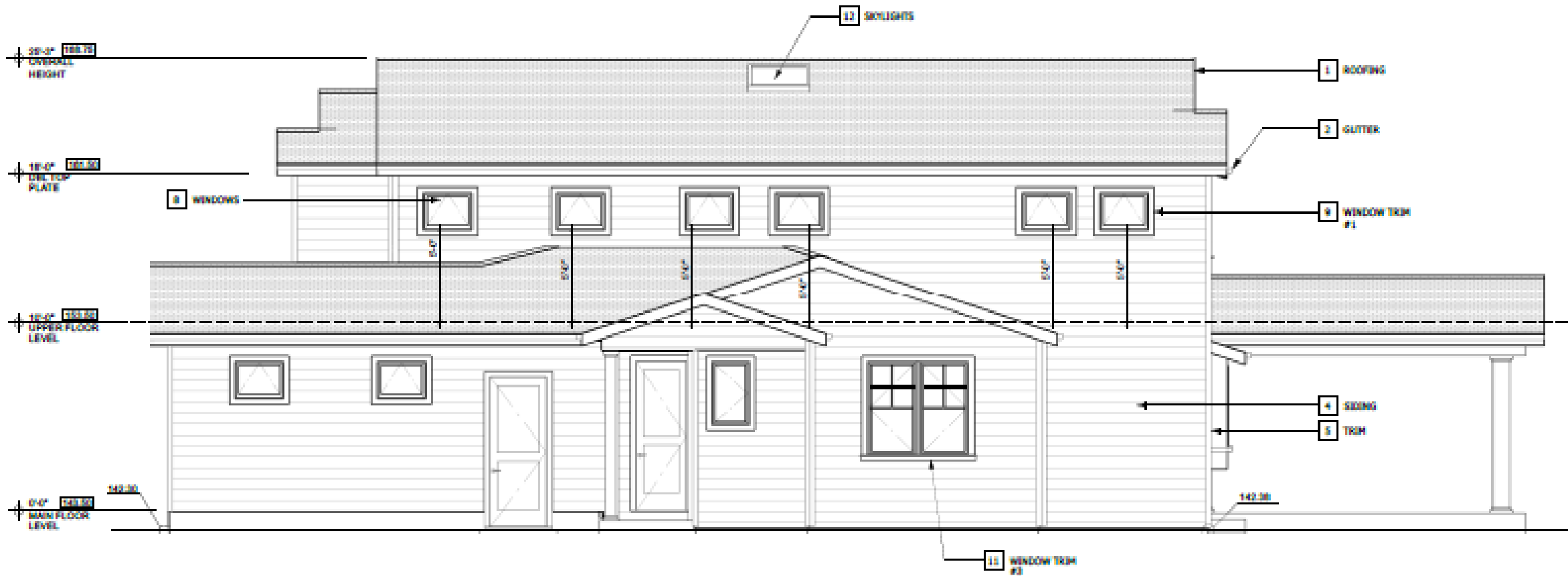
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION

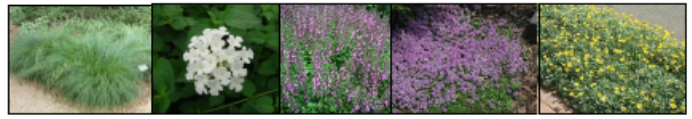


RIGHT ELEVATION

PLANT LEGEND AND NOTES

Symbol	Species	Size	Water	WUCOLS
	Carex albas / Barbula Sedge @ 36" ac 3' x 3' medium growth	1 gallon low	3	
	Lantana White @ 24" ac 2' x 3' bush growth	1 gallon low	3	
	Teucrium Prostrata @ 24" ac 1' x 3' medium growth	1 gallon low	3	
	Thymus Purple Carpet / Thymus @ 12" ac 3' x 2' medium growth	1 gallon low	3	
	Gazania autumn yellow @ 24" ac 15" x 3' medium growth	1 gallon low	3	
A	Cotinus Golden Spirit / Smoke Tree 7' x 6' slow growth	5 gallon low	3	
B	Chondropetalum tomentosum / Cape Bush 3' x 4' medium growth	5 gallon low	3	
C	Loropetalum White 4' x 3' medium growth	5 gallon low	3	
D	Diosma Green Pansy / Pansam 2' x 2' slow growth	5 gallon low	3	
E	Maqui Laurel	15 gallon up		
F	Diosma virens / Farnesio L-4 3' x 3' medium growth	5 gallon low	3	
G	Podocarpus laevis 10' x 20' medium growth	15 gallon low	3	
H	Caryopteris integrifolia Tiny Tower / Caryopteris 2' x 10' slow growth	15 gallon low	3	
T1	Lagerstroemia white multi trunk / Crepe Myrtle 8' x 8' medium growth	24" low low	3	
T2	Pistacia chinensis Keith Dwarf / Chinese Pistache 30' x 30' medium growth	24" low low	3	
T3	Podocarpus nectar / Yew Pine 30' x 20' medium growth	15 gallon med	3	

- 1) Verify all plants and tree removals prior to construction.
- 2) Confirm that all tree preservation resources are in place prior to construction.
- 3) Soil shall be thoroughly broken up and prepared prior to planting, especially compacted areas due to construction.
- 4) Landscape contractor shall be responsible for resulting in a soil sample to Waggoner Analytical or equal lab for analysis and recommendations for soil amendments prior to planting.
- 5) Incorporate 4 cu ft compost per 1000 sq. ft. into native soil.
- 6) Spread 2" of weed chip mulch (Pinechip or equal) at all newly planted areas.
- 7) Owner to work with architect to the rear of the property to provide screens acceptable and compatible with existing trees.
- 8) I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them for the efficient use of water in the landscape design.
 - Over 75% of the proposed plant material are low water need or have a WUCOLS rating of 3 or lower.
 - No trees to be removed in this design.
 - Irrigation application methods shall be through the use of pressure compensating drip emitters.
 - The irrigation controller shall be weather-based with a rain sensor.



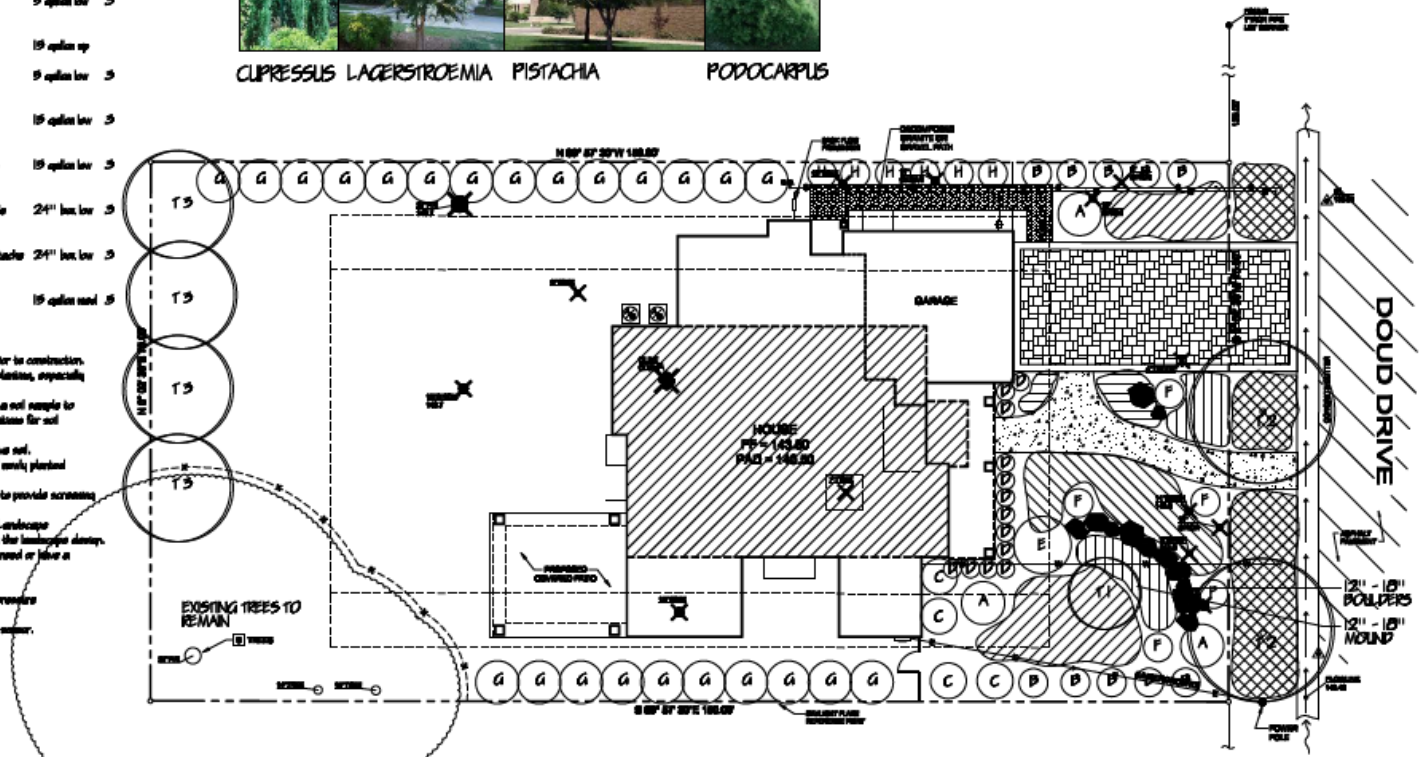
CAREX LANTANA TEUCRIMUM THYMUS GAZANIA



COTINUS CHONDROPETALUM LOROPETALUM BUXUS LEMON DIETS PITOSPORUM



CLIPRESSUS LAGERSTROEMIA PISTACHIA PODOCARPUS



MASTER/ PLANTING PLAN
1/8" = 1'-0"

W. Jeffrey Heid
Landscape Architect
C-2299
6179 Orinda Drive
San Jose, California 95129
tel. 408 991-9207
www.wjeffreyheid.com

OWNERSHIP AND USE OF DRAWINGS
No copies, reproduction or other third parties for the project shall be made without the express written consent of the designer. This plan is to be used only for the project for which it was prepared and is not to be used on any other project. Reproduction or distribution for any other purpose without the express written consent of the designer is prohibited. The Project is not to be construed as a contract. It is the responsibility of the client to obtain all necessary permits, approvals and other necessary actions for the project.

REVISED 8/ 21/ 20
REVISED 10/ 8/ 20
REVISED 10/ 27/ 20



POLTRACK RESIDENCE

for:
ALICE HANLADEN AND
LES POLTRACK
1485 DOLBY DRIVE
LOS ALTO, CA 94022

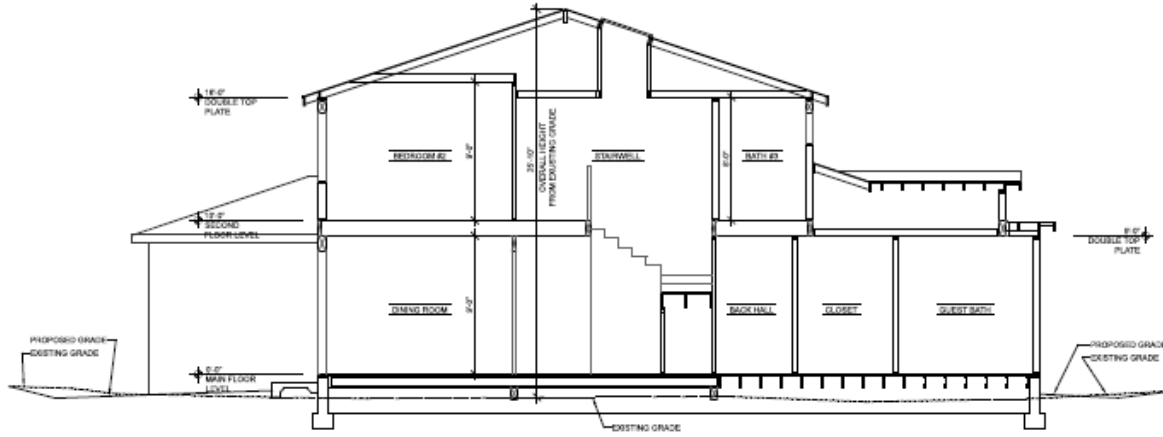
MASTER/ PLANTING PLAN

date: 8/ 18/ 20
scale: NOTED
drawn by: WJH
job no: 30297
sheet: 1

of sheets

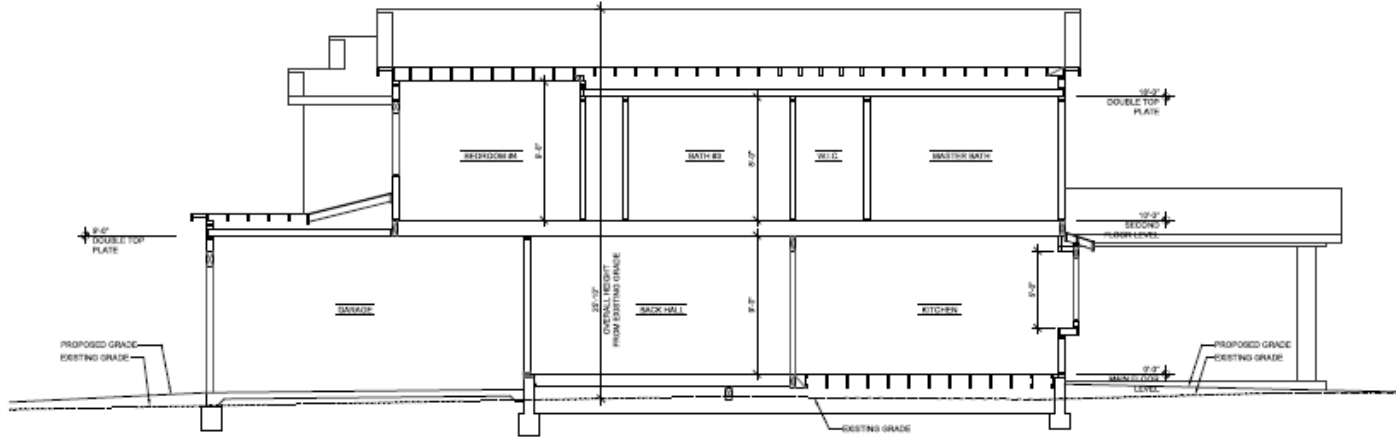
THE END

(Back-Up Slides Available Behind the Red Slide)



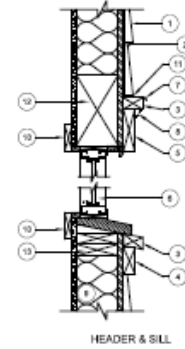
CROSS SECTION A - A

1/4" = 1'-0"



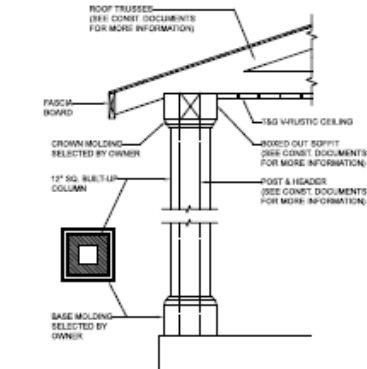
SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) OR 30# UNDERLAYMENT (SEE SHEATHING SCHEDULE) FOR TYPE OF SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) OR BOTH (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE) SIZE & SPACING, TYPICAL U.O.N.
- 2 CEILING & ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE) SIZE & SPACING) w/ SHEETROCK, TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) OR 2 LAYERS CLASS 17' BUILDING PAPER OR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) OR 2x4 STUDS @ 16" c. (2x6 STUDS @ MAIN PLUMBING WALLS) w/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE w/ SHEET ROCK @ INSIDE FACE, TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 STUDS @ 16" c. (2x6 STUDS @ MAIN PLUMBING WALLS) w/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE w/ SHEET ROCK BOTH SIDES, TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) OF FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE) SIZE & SPACING, TYPICAL U.O.N.
- 6 FLOOR w/ CEILING FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) OF FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE) SIZE & SPACING) w/ SHEET ROCK, TYPICAL U.O.N.
- 7 GARAGE SLAB



LEGEND	
(1)	HARD FLANK SIDING
(2)	BRISTLEBACKED WATER-PROOF MEMBRANE
(3)	2 x 3 GAP OR SILL
(4)	2 x 4 APRON
(5)	2 x 8 TRIM
(6)	WINDOW - INSTALL PER MFG SPECIFICATIONS
(7)	FLASHING
(8)	CROWN MOULDING SELECTED BY OWNER
(9)	INSULATION
(10)	INTERIOR MOULDING SELECTED BY OWNER
(11)	BACKER ROD & SEALANT
(12)	HEADER
(13)	SILL SILL
(14)	2 x 4 TRIM

WINDOW DETAIL



PORCH COLUMN DETAIL

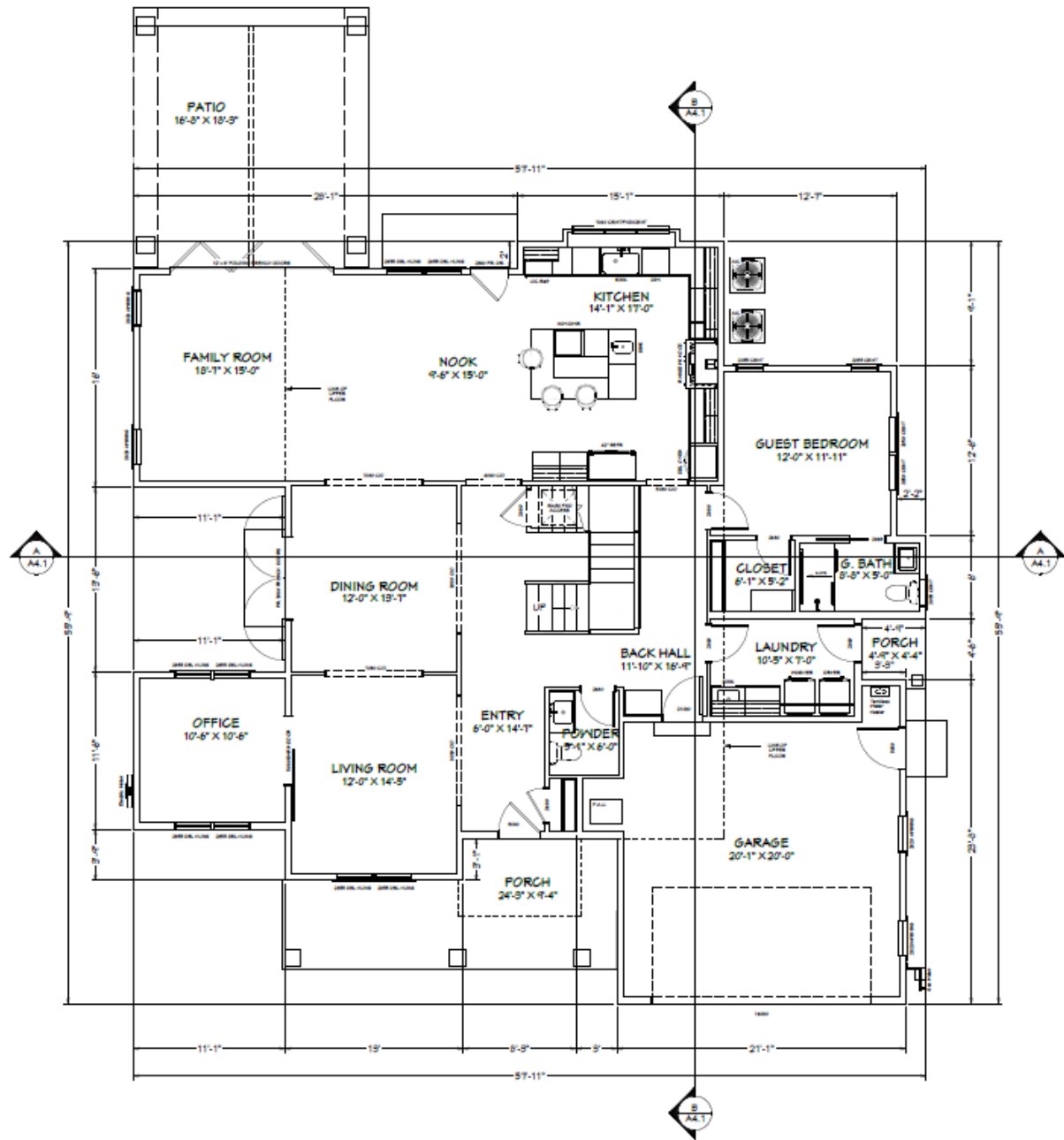
#	NOTE
01-01-01	ADMITTED FOR REVIEW

JOB SITE ADDRESS
 148 DOLUD DRIVE
 LOS ALTOS, CA 94022

CLIENT (JOB No. 22004)
 TYNDALL STREET TOWNHOMES, LLC
 MAILING ADDRESS
 STREET ADDRESS, CITY, STATE, ZIP
 PHONE No.

CHAPMAN
 DESIGN
 ASSOCIATES
 620 S. EL MONTE AVENUE
 LOS ALTOS, CA 94022 (650) 941-1880

SHEET
 A4.1



GENERAL NOTES

- 1 ADDRESS EXISTING TO REMAIN
- 2 GARAGE COMMON WALL GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER 2019 CRC SEC. 2002.388. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- 3 STAIRWAYS DESIGN SHALL CONFORM TO SEC. R311.7 CRC 2019. USABLE SPACE UNDER STAIRS TO BE 1 HR. RATED CONSTRUCTION. 8'-0" MIN. HEADROOM CLEARANCE FROM TREAD NOSING TO SOFFIT ABOVE. STYLE AND FINISH PER OWNER SPECIFICATIONS.
- 4 GUARDRAILS DESIGN SHALL CONFORM TO SEC. R312.3 CRC 2019. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE BALUST AT 34" ON HIGH.
- 5 STAIR TREADS & HANDRAILS DESIGN SHALL CONFORM TO SEC. R311.7.7 & R311.7.8 CRC 2019. STYLE AND FINISH PER OWNER SPECIFICATIONS.
- 6 FIREPLACE EXISTING TO REMAIN
- 7 TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R308.4 CRC 2019.
- 8 FIRE BLOCKS PROVIDE FIRE BLOCKING (WHERE REQUIRED) IN ALL AREAS DESCRIBED, OUTLINED & DEFINED IN SEC. R302 CRC 2019.
- 9 WATER CLOSETS EXISTING TO REMAIN
- 10 SHOWERS EXISTING TO REMAIN
- 11 WATER CONSERVING FIXTURES ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2019 CPC) SHALL CONFORM TO SECS. 401.3 & 402, 2019 CPC.

LEGEND

- ◊ WINDOW SEE "WINDOW SCHEDULE" ON SHEET (A-1) FOR FURTHER SPECIFICATIONS
- ⊕ DOOR SEE "DOOR SCHEDULE" ON SHEET (A-1) FOR FURTHER SPECIFICATIONS

NO.	REVISION	DATE

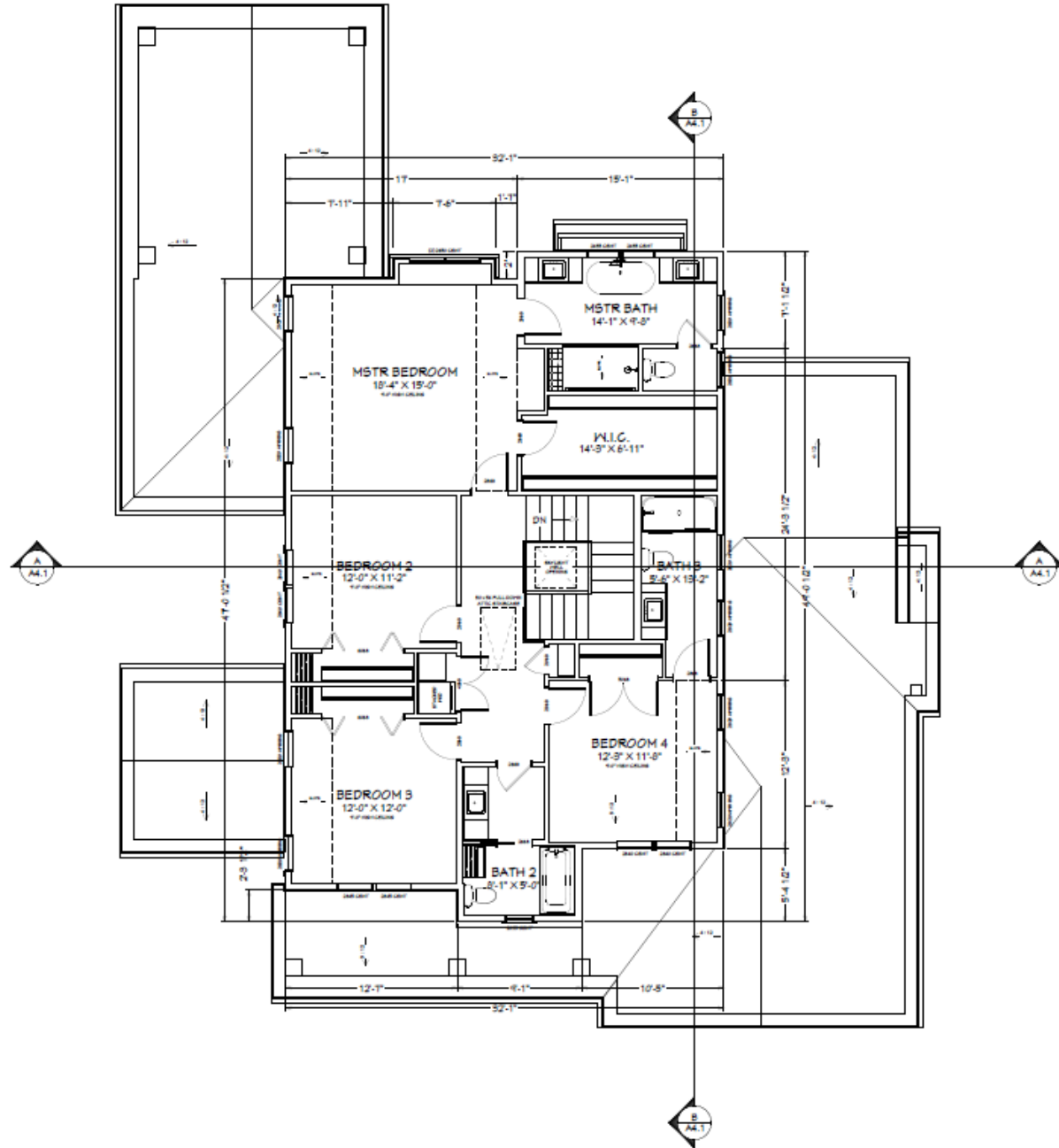
JOB SITE ADDRESS
 148 DOLUD DRIVE
 LOS ALTOS, CA 94022

CLIENT (JOB No. 22004)
 TYNDALL STREET TOWNHOMES, LLC
 MAILING ADDRESS
 STREET ADDRESS, CITY, STATE, ZIP
 PHONE NO.

CHAPMAN DESIGN ASSOCIATES
 600 S. EL MONTE AVENUE
 LOS ALAMOS, CA 94022 (650) 941-0930

SHEET
 A2.0

Navigation bar with icons for pan, zoom, and other functions. Includes a zoom level indicator showing 32.8%.



PROPOSED UPPER FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- 1 EGRESS EXISTING TO REMAIN
- 2 GARAGE COMMON WALL GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF MIN. 1/2" GYPSUM BOARD (5/8" MIN. @ ATTIC) APPLIED TO THE GARAGE SIDE PER 2019 CRC SEC. 4002.5(B). DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR SOLID HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK & SHALL BE SELF-CLOSING & SELF-LATCHING
- 3 STAIRWAYS DESIGN SHALL CONFORM TO SEC. R011.7 CRC 2019. USABLE SPACE UNDER STAIR TO BE 1 IN. RAISED CONSTRUCTION, 6" MIN. HEADROOM CLEARANCE FROM TREAD NOBING TO SOFFIT ABOVE. STYLE AND FINISH PER OWNER SPECIFICATIONS
- 4 GUARDRAILS DESIGN SHALL CONFORM TO SEC. R012.3 CRC 2019. GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIR LANDINGS AT 42" HIGH, WITH INTERMEDIATE RAILS AT 36" OR HIGHER
- 5 STAIR TREADS & HANDRAILS DESIGN SHALL CONFORM TO SEC. R011.7.7 & R011.7.8 CRC 2019. STYLE AND FINISH PER OWNER SPECIFICATIONS
- 6 FIREPLACE EXISTING TO REMAIN
- 7 TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS AT HAZARDOUS LOCATIONS PER SEC. R008.4 CRC 2019
- 8 FIRE BLOCKS PROVIDE FIRE BLOCKING (WHERE REQUIRED) IN ALL AREAS DESCRIBED, OUTLINED & DEFINED IN SEC. R302 CRC 2019
- 9 WATER CLOSETS EXISTING TO REMAIN
- 10 SHOWERS EXISTING TO REMAIN
- 11 WATER CONSERVING FIXTURES ALL (N) PLUMBING FIXTURES (AS OUTLINED IN SEC. 402, 2019 CPC) SHALL CONFORM TO SECS. 402.3 & 402, 2019 CPC

LEGEND

- ◊ WINDOW SEE "WINDOW SCHEDULE" ON SHEET (A-) FOR FURTHER SPECIFICATIONS
- ◻ DOOR SEE "DOOR SCHEDULE" ON SHEET (A-) FOR FURTHER SPECIFICATIONS

NO.	REVISION	DATE

NO.	REVISION	DATE

CLIENT (JOB No. 22004)
TYNDALL STREET TOWNHOMES, LLC
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SHEET
A2.1