

PROJECT INFORMATION

PROJECT ADDRESS: 1060 GOLDEN WAY LOS ALTOS, CA 94024
APN: 18910013

BUILDING ZONING: R1-10
 BUILDING OCCUPANCY GROUP: R-3/U
 TYPE OF CONSTRUCTION: VB
 YEAR BUILT: 1954
 NUMBER OF DWELLING UNITS: 1
 STORIES: 2
 BASEMENT: NO
 COVERED PARKING SPACES: 2
 UNCOVERED PARKING SPACES: 3
 LOT SIZE: 10,745 SQ.FT.

FLOOR AREA RATIO (FAR) 35% MAX= 3,760.75 SQ.FT

FLOOR AREA BREAKDOWN

EXISTING FLOOR AREA
 (E) FIRST FLOOR HABITABLE SPACE = 1,744.37 SQ.FT.
 (E) SECOND FLOOR HABITABLE SPACE = 342.45 SQ.FT.
 (E) GARAGE 390.53 SQ.FT.
 TOTAL EXISTING FLOOR AREA = 2,477.34 SQ.FT.

PROPOSED ADDITION
 FIRST FLOOR 449.24 SQ.FT
 SECOND FLOOR 733.24 SQ.FT
 GARAGE 96.27 SQ.FT.
 TOTAL PROPOSED LOOR AREA= 3,759.86 < 3,760.75 = OK

STRUCTURE COVERAGE MAX.: 30% NET= 3,760.75 SQ.FT.

(E) LOT COVERAGE 1,963.02 SQ.FT.
 PROPOSED LOT COVERAGE= 3,219.34 SQ.FT. (29.96%) < 3,760.75=OK

*LAMC 14.06.060 ALLOWS STRUCTURES UNDER 30% OF COVERAGE TO BE DEVELOPED WITH A SECOND STORY IN ZONE R1-10

SCOPE OF WORK:

INTERIOR REMODEL/ ADDITION & FACADE RE-DESIGN:

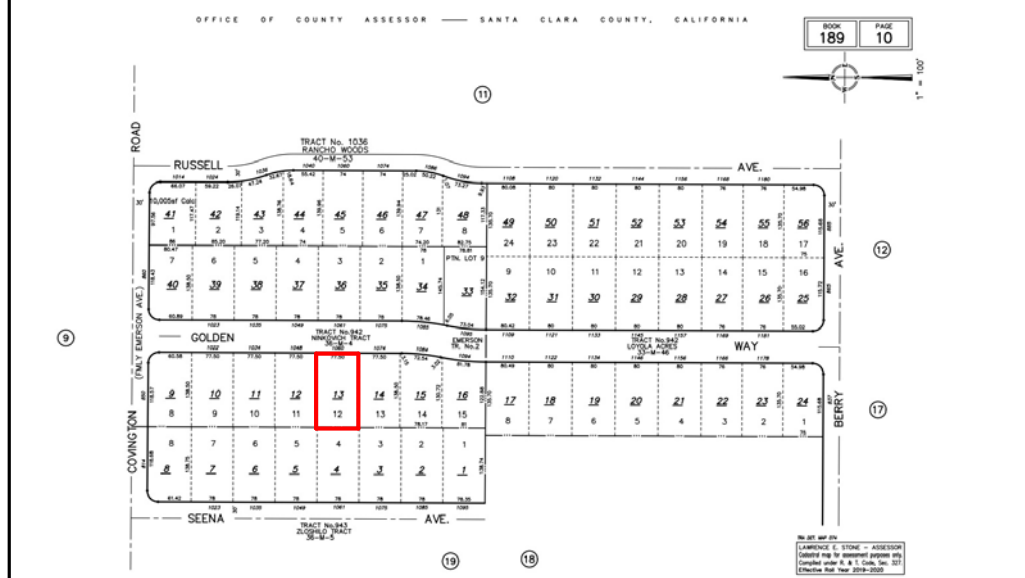
- FIRST AND SECOND FLOOR ADDITION AND REMODEL
- REMOVAL OF (E) LEGAL NON CONFORMING SECOND FLOOR
- REMOVAL OF EXISTING WOOD BURNING FIREPLACE.
- KITCHEN REMODEL
- (N) GAS FIREPLACE IN LIVING ROOM
- ELECTRICAL AND LIGHTING UPDATES THROUGHOUT
- (N) WOOD DECK IN BACKYARD
- (N) PERGOLA
- (N) BUILT-IN BBQ IN BACKYARD
- (N) POOL IN BACKYARD
- ELECTRICAL METER UPGRADE TO 400 AMP

APPLICABLE CODES:

1. ALL WORK DESCRIBED HEREIN SHALL COMPLY WITH THE LATEST BUILDING CONSTRUCTION CODES AS ADOPTED OR AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF LOS ALTOS

CALIFORNIA RESIDENTIAL CODE 2016
 CALIFORNIA BUILDING CODE 2016
 CALIFORNIA MECHANICAL CODE 2016
 CALIFORNIA PLUMBING CODE 2016
 CALIFORNIA ELECTRICAL CODE 2016
 TITLE 24 ENERGY REGULATIONS 2016
 CALIFORNIA FIRE CODE 2016 (CFC)
 CALIFORNIA GREEN BUILDING STANDARDS CODE 2016 (CGC)
 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS (CBES)
 CITY OF LOS ALTOS MUNICIPAL CODE

1 PROJECT INFORMATION



2 PARCEL AND VICINITY MAPS NOT TO SCALE

PROJECT OWNER: Oren Naim And Elinor Wahrmann
 1060 Golden Way
 Los Altos, CA 94024
 orennaim@gmail.com

PROJECT DESIGNER: BEKOM DESIGN, INC.
 1969 Stevens Creek Blvd.
 Cupertino, CA 95014
 info@bekomdesign.com
 p. 408.203.4686
 www.bekomdesign.com

SURVEYOR: Ken Wilson
 Wilson Land Surveys Inc.
 805.703.0273

ARBORIST: Kevin R. Kiely
 Kiely Arborist Services
 Certified Arborist WE#0476A
 P.O. Box 6187
 San Mateo, CA 94403
 650.515.9763

3 PROJECT DIRECTORY

SHEET INDEX		
SHEET #	SHEET #	SHEET NAME
1	A-0.0	COVER SHEET
2	SU-1	SITE SURVEY
3	A-0.4	FLOOR AREA DIAGRAM
4	A-0.5	NEIGHBORHOOD CONTEXT MAP/ RENDER/ MATERIAL BOARD
5	A-0.5.1	NEIGHBORHOOD STREETSCAPE ELEVATION & 3D VIEW
6	A-0.6	NEIGHBORHOOD COMPATIBILITY
7	A-0.7	EXISTING AND PROPOSED LANDSCAPE PLANS
8	A-0.8	ARBORIST REPORT
9	A-1.0	EXISTING FIRST FLOOR PLANS
10	A-1.1	EXISTING SECOND FLOOR PLAN
11	A-1.2	FIRST FLOOR DEMOLITION PLAN
12	A-1.3	SECOND FLOOR DEMOLITION PLAN
13	A-1.4	PROPOSED FIRST FLOOR PLAN
14	A-1.5	PROPOSED SECOND FLOOR PLAN
15	A-2.0	EXISTING AND DEMOLITION ROOF PLAN
16	A-2.1	PROPOSED ROOF PLAN
17	A-3.0	EXISTING & PROPOSED ELEVATIONS
18	A-3.1	EXISTING & PROPOSED ELEVATIONS
19	A-3.2	EXISTING & PROPOSED ELEVATIONS
20	A-3.3	EXISTING & PROPOSED ELEVATIONS
21	A-4.0	SECTIONS
22	A-4.1	SECTIONS
23	A-8.4	SPECIFICATIONS

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	1,963.02 square feet (18.26 %)	3,219.34 square feet (29.96 %)	3,223.5 square feet (30 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 2,134.6 sq ft 2nd Flr: 342.45 sq ft Total: 2,477.34 sq ft (23 %)	1st Flr: 2,684.17 sq ft 2nd Flr: 1,075.86 sq ft Total: 3,759.86 sq ft (34.96 %)	3,760.75 square feet (35 %)
SETBACKS:			
Front	24'-10 1/4" feet	25 feet	25 feet
Rear	56'-4 3/4" feet	54'-8 3/4" feet	25 feet
Right side (1st/2nd)	9'-11 3/4" feet/15'3" feet	7'-10 1/2" feet/ 20'-10 1/2" feet	7'9" feet/15'3" feet
Left side (1st/2nd)	10'-5" feet/15'3" feet	7'-10" feet/ 23'-2" feet	7'9" feet/15'3" feet
HEIGHT:	20'8" feet	25'7" feet	27 feet

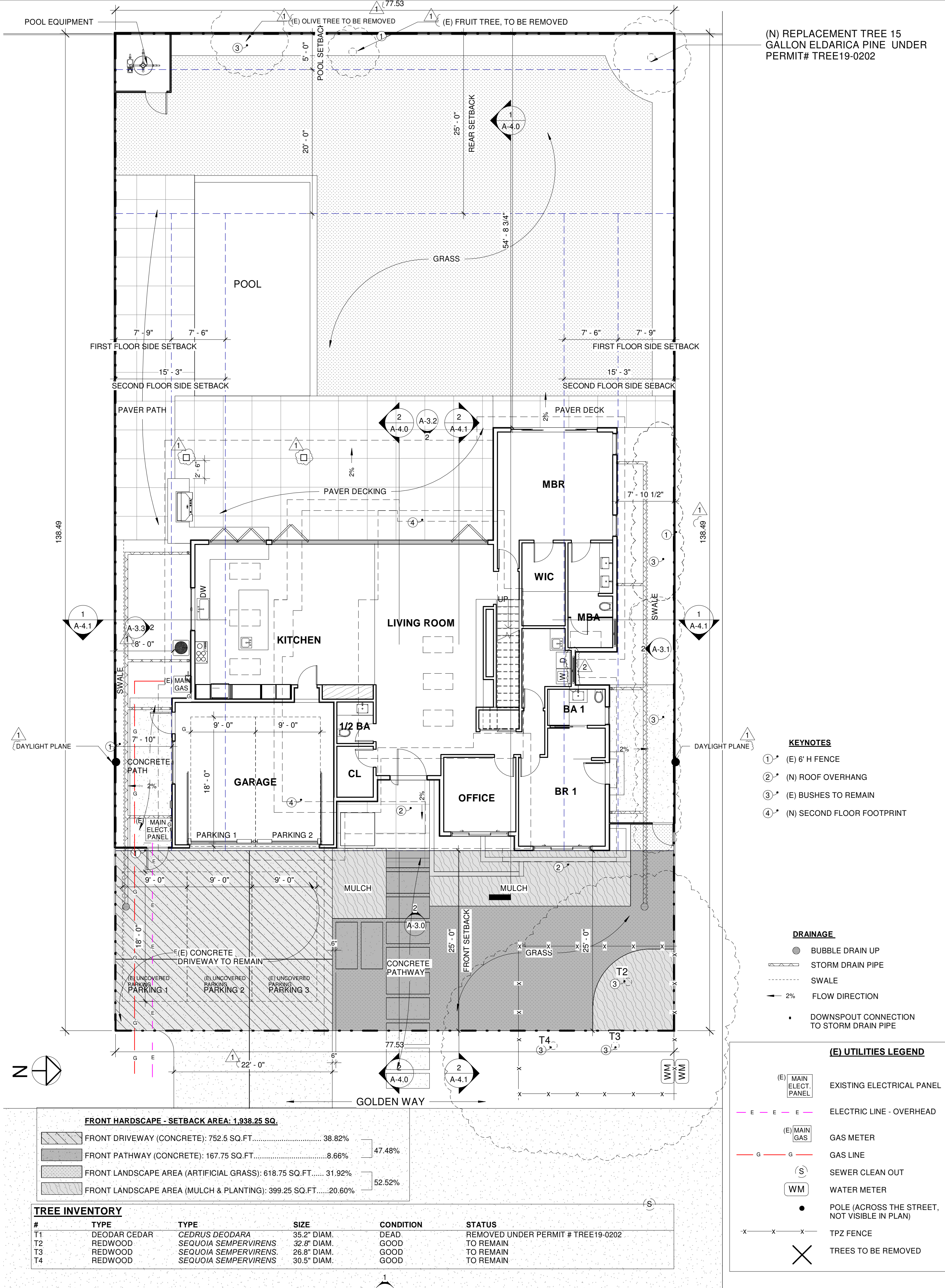
SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2,088.81 square feet	2,118.85 square feet	3,273.06 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	390.53 square feet	96.27 square feet	486.80 square feet

LOT CALCULATIONS

NET LOT AREA:	10,745 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	820.25 square feet (47.41%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 8,055.66 sq ft Existing softscape (undisturbed) area: 456.66 sq ft New softscape (new or replaced landscaping) area: 4,232.73 sq ft <i>Sum of all three should equal the site's net lot area</i>

4 ZONING COMPLIANCE



(N) REPLACEMENT TREE 15 GALLON ELDERICA PINE UNDER PERMIT# TREE19-0202

- KEYNOTES**
- (E) 6' H FENCE
 - (N) ROOF OVERHANG
 - (E) BUSHES TO REMAIN
 - (N) SECOND FLOOR FOOTPRINT

- DRAINAGE**
- BUBBLE DRAIN UP
 - STORM DRAIN PIPE
 - SWALE
 - 2% FLOW DIRECTION
 - DOWNSPOUT CONNECTION TO STORM DRAIN PIPE

- (E) UTILITIES LEGEND**
- (E) MAIN ELECT. PANEL
 - E E E E ELECTRIC LINE - OVERHEAD
 - (E) MAIN GAS
 - G METER GAS METER
 - G GAS LINE
 - (S) SEWER CLEAN OUT
 - WM WATER METER
 - POLE (ACROSS THE STREET, NOT VISIBLE IN PLAN)
 - TPZ FENCE
 - TREES TO BE REMOVED

FRONT HARDSCAPE - SETBACK AREA: 1,938.25 SQ.

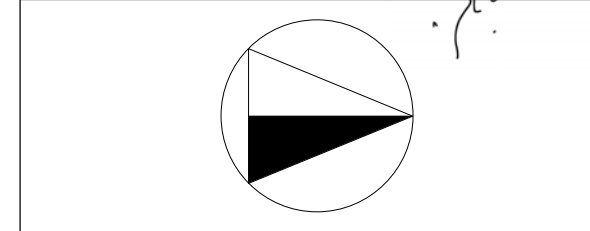
FRONT DRIVEWAY (CONCRETE): 752.5 SQ.FT.....	38.82%
FRONT PATHWAY (CONCRETE): 167.75 SQ.FT.....	8.66%
FRONT LANDSCAPE AREA (ARTIFICIAL GRASS): 618.75 SQ.FT.....	31.92%
FRONT LANDSCAPE AREA (MULCH & PLANTING): 399.25 SQ.FT.....	20.60%
TOTAL	47.48%

TREE INVENTORY

#	TYPE	TYPE	SIZE	CONDITION	STATUS
T1	DEODAR CEDAR	CEDRUS DEODARA	35.2" DIAM.	DEAD	REMOVED UNDER PERMIT # TREE19-0202
T2	REDWOOD	SEQUOIA SEMPERVIRENS	32.8" DIAM.	GOOD	TO REMAIN
T3	REDWOOD	SEQUOIA SEMPERVIRENS	26.8" DIAM.	GOOD	TO REMAIN
T4	REDWOOD	SEQUOIA SEMPERVIRENS	30.5" DIAM.	GOOD	TO REMAIN

1060 GOLDEN WAY
LOS ALTOS, CA 94024

ADDITION AND REMODEL
 OWNER: OREN NAIM AND ELINOR WAHRMANN



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 E-MAIL: INFO@BEKOMDESIGN.COM
 Tel: 408.203.4686
 / 408.726.0017

ISSUANCES

No.	Description	Date
1	PLANNING SUBMITTAL	12.11.2019
1	PLAN CHECK COMMENTS #1	02.13.2020
2	REVISION 1	02.13.2020

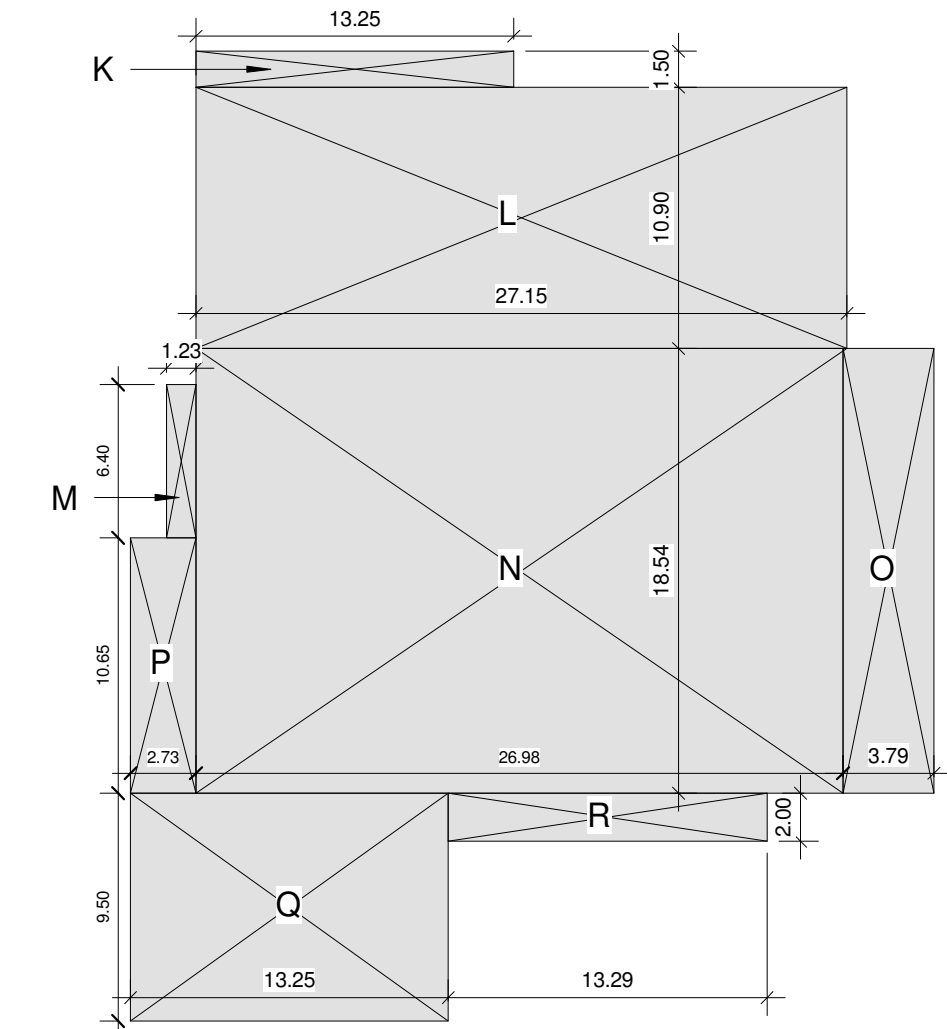
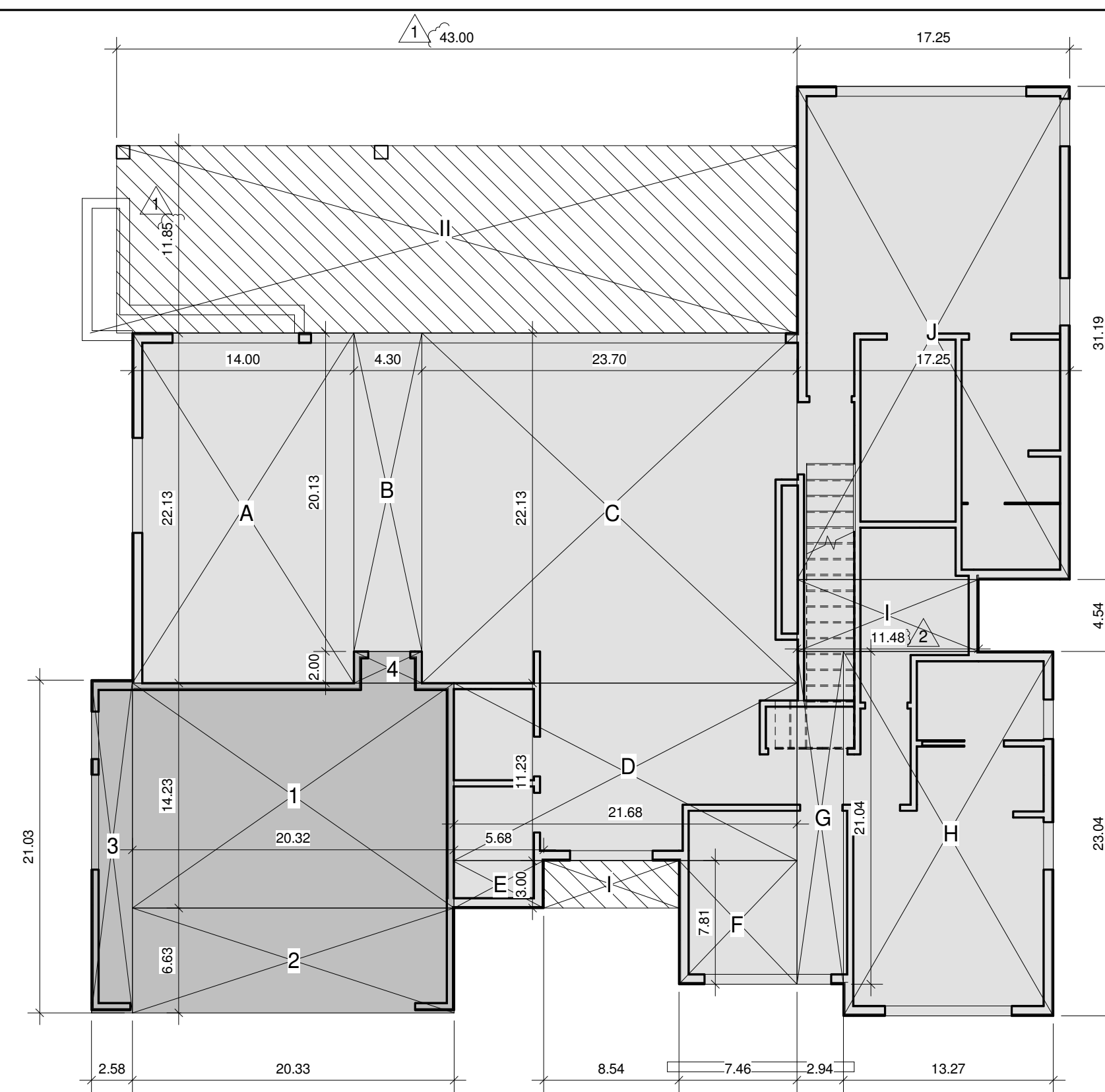
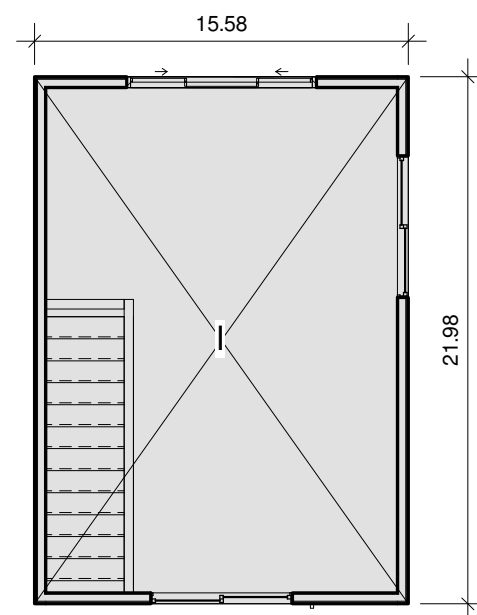
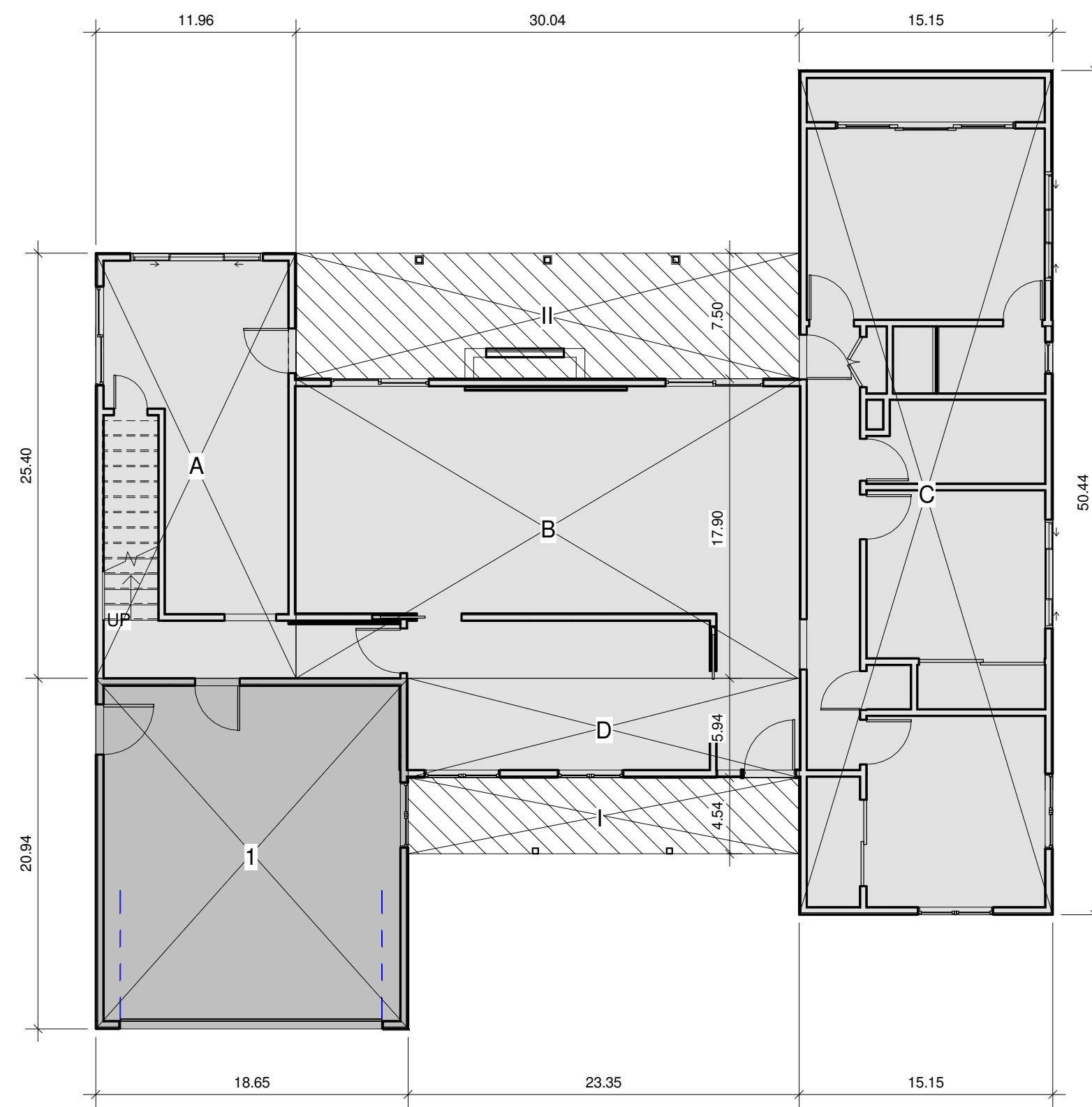
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COVER SHEET

Drawing Scale: As indicated

Job No. SCHEMATIC DESIGN

A-0.0



1 EXISTING FLOOR AREA DIAGRAM
1/8" = 1'-0"

2 EXISTING SECOND FLOOR AREA DIAGRAM
1/8" = 1'-0"

3 PROPOSED FLOOR AREA DIAGRAM
1/8" = 1'-0"

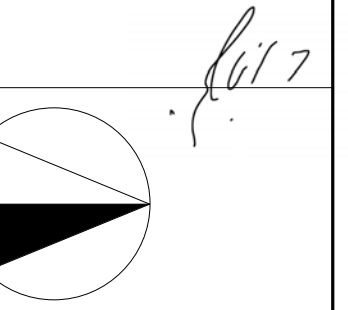
4 PROPOSED SECOND FLOOR AREA DIAGRAM
1/8" = 1'-0"

BUILDING AREA SQUARE FOOTAGE BREAKDOWN				
EXISTING				
FIRST FLOOR				
A	11.96	25.40	303.78	SF
B	30.04	17.90	537.72	SF
C	15.15	50.44	764.17	SF
D	23.35	5.94	138.70	SF
			1744.37	
SECOND FLOOR				
I	15.58	21.98	342.45	SF
TOTAL EXISTING HABITABLE SPACE			2086.81	SF
GARAGE				
1	18.65	20.94	390.53	SF
TOTAL EXISTING GARAGE			390.53	SF
TOTAL EXISTING FLOOR AREA			2477.34	SF
COVERED PORCH				
I	23.35	4.54	106.01	SF
II	30.04	7.50	112.65	SF
TOTAL EXISTING COVERED PORCH			218.66	SF
TOTAL BUILDING COVERAGE			1963.02	SF

BUILDING AREA SQUARE FOOTAGE BREAKDOWN				
PROPOSED				
				TOTAL SF
FIRST FLOOR				
A	14.00	22.13	309.82	SF
B	4.30	20.13	86.56	SF
C	23.70	22.13	524.48	SF
D	21.68	11.23	243.47	SF
E	5.68	3.00	17.04	SF
F	7.46	7.81	58.26	SF
G	2.94	21.04	61.86	SF
H	13.27	23.04	305.74	SF
I	11.48	4.54	52.12	SF
J	17.25	31.19	538.03	SF
			2197.37	
SECOND FLOOR				
K	13.25	1.50	19.88	SF
L	27.15	10.90	295.94	SF
M	1.23	6.40	7.87	SF
N	26.98	18.54	500.21	SF
O	3.79	18.54	70.27	SF
P	2.73	10.65	29.07	SF
Q	13.25	9.50	125.88	SF
R	13.29	2.00	26.58	SF
			1075.69	
TOTAL PROPOSED HABITABLE SPACE			3273.06	SF
GARAGE				
1	20.32	14.23	289.15	SF
2	20.33	6.63	134.79	SF
3	2.58	21.03	54.26	SF
4	4.30	2.00	8.60	SF
TOTAL GARAGE			486.80	SF
TOTAL PROPOSED FLOOR AREA			3759.86	SF
COVERED PORCH				
I	8.54	3.00	25.62	SF
II	43.00	11.85	509.55	SF
TOTAL COVERED PORCH			535.17	SF
TOTAL BUILDING COVERAGE			3219.34	SF

**1060 GOLDEN WAY
LOS ALTOS, CA 94024**

ADDITION AND REMODEL
OWNER: OREN NAIM AND ELINOR WAHRMANN



**BEKOM
DESIGN**

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Checked By: _____ Checker

**FLOOR AREA
DIAGRAM**

Drawing Scale: 1/8" = 1'-0"

Job No. SCHEMATIC DESIGN



3 GOLDEN WAY RENDER
NOT TO SCALE



WINDOWS-
ALUMINUM CLAD
BLACK



SCONCE-
DESIGN CLASSICS
CYLINDER SCONCE
BLACK



STACKED STONE
MSI- GRAY OAK ED
HONED



LIGHT GREY SMOOTH
STUCCO-
GRAY SCREEN
SW 7071



FASCIA-
PAINTED REDWOOD
BLACK



ENTRY DOOR-
PIVOT DOOR COMPANY-SYDNEY
STAINED ESPRESSO



GARAGE DOOR-
CLOPAY AVANTE
BLACK- FROSTED GLASS



ROOFING-
GAF TOMBERLINE
AMERICAN HD
CHARCOAL

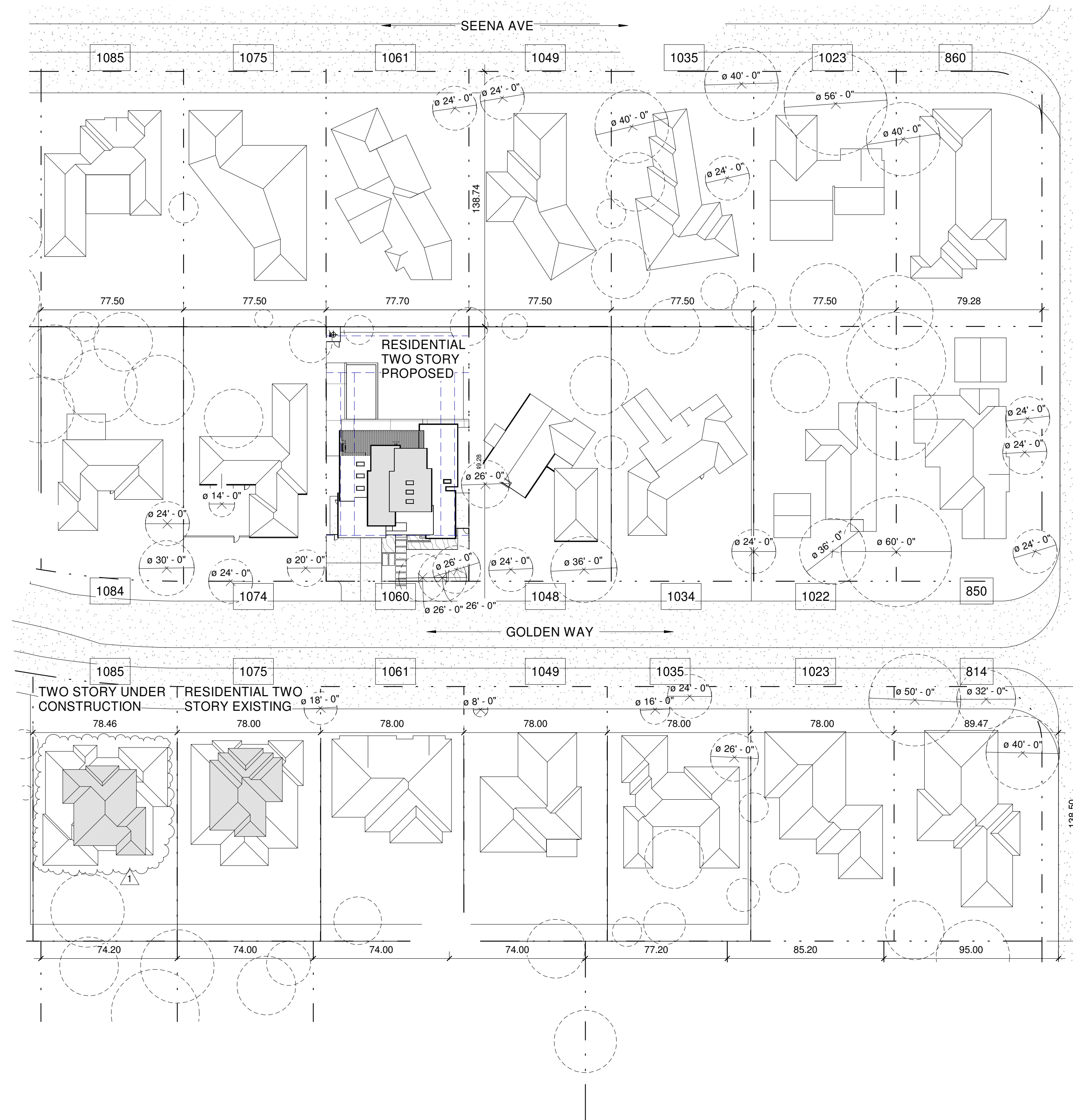


RECTANGULAR ALUMINUM
DOWNSPOUTS

1060 GOLDEN WAY- EXTERIOR MATERIAL BOARD



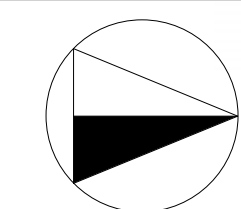
2 MATERIAL BOARD
NOT TO SCALE



1 NEIGHBORHOOD CONTEXT MAP
1" = 40'-0"

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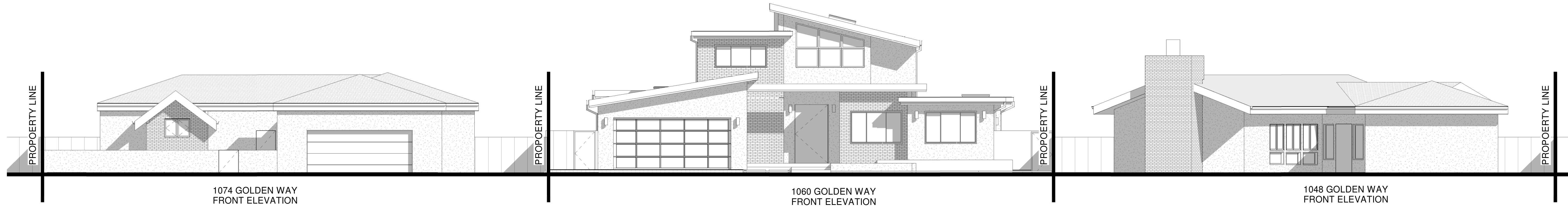
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NEIGHBORHOOD
CONTEXT MAP/
RENDER/
MATERIAL
BOARD

Drawing Scale: As indicated

Job No. SCHEMATIC DESIGN

A-0.5

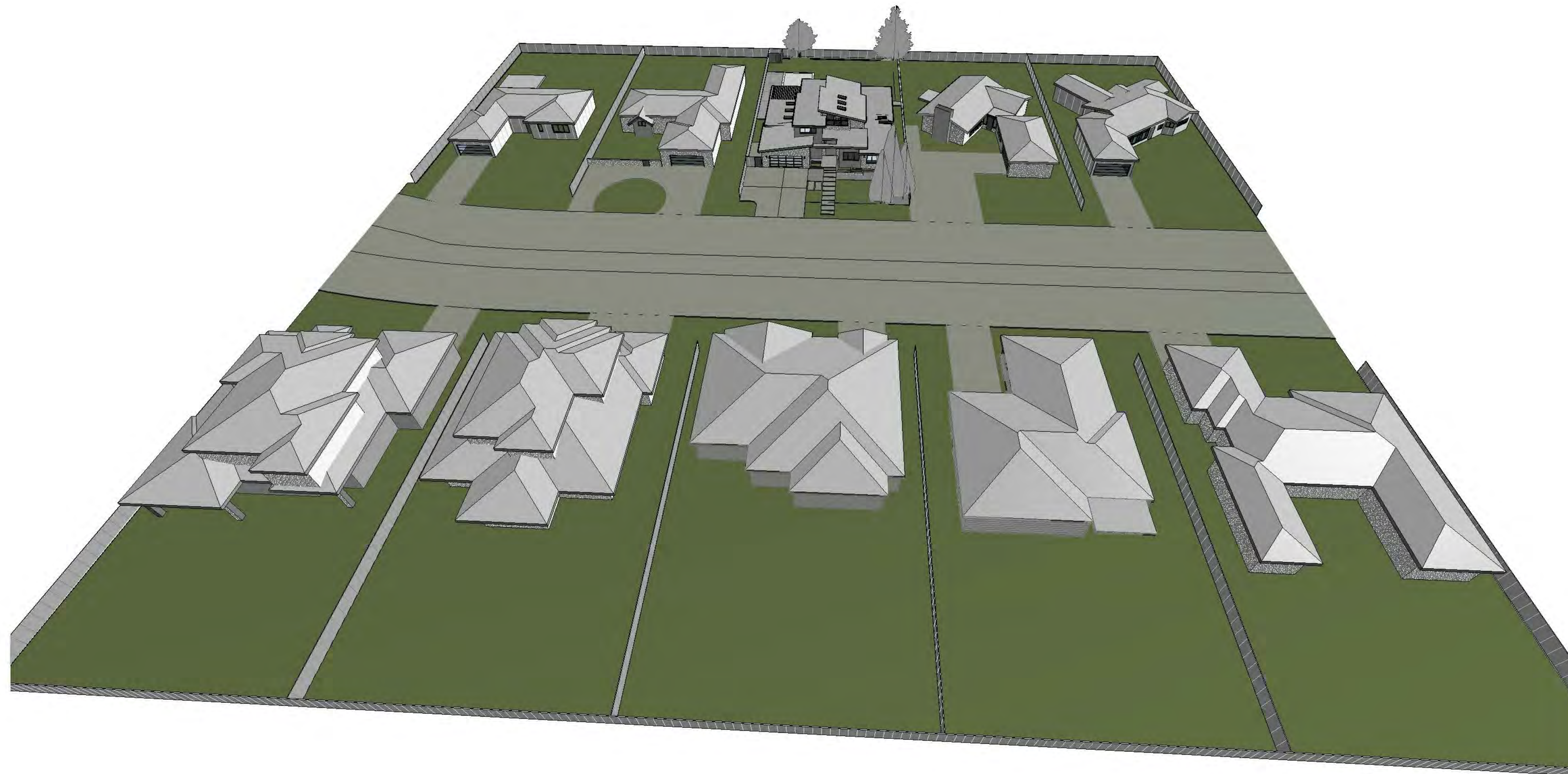


1074 GOLDEN WAY
FRONT ELEVATION

1060 GOLDEN WAY
FRONT ELEVATION

1048 GOLDEN WAY
FRONT ELEVATION

1 STREETScape ELEVATION
1/8" = 1'-0"



2 STREETScape 3D VIEW
NOT TO SCALE

1060 GOLDEN WAY
LOS ALTOS, CA 94024

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OWNER: OREN NAIM AND ELINOR WAHRMANN

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NEIGHBORHOOD
STREETScape
ELEVATION & 3D
VIEW

Drawing Scale: As indicated

Job No. SCHEMATIC DESIGN

A-0.5.1

COVINGTON ROAD

860

850

814



1023



1035



1049



1061



1075



1085

GOLDEN WAY

1022

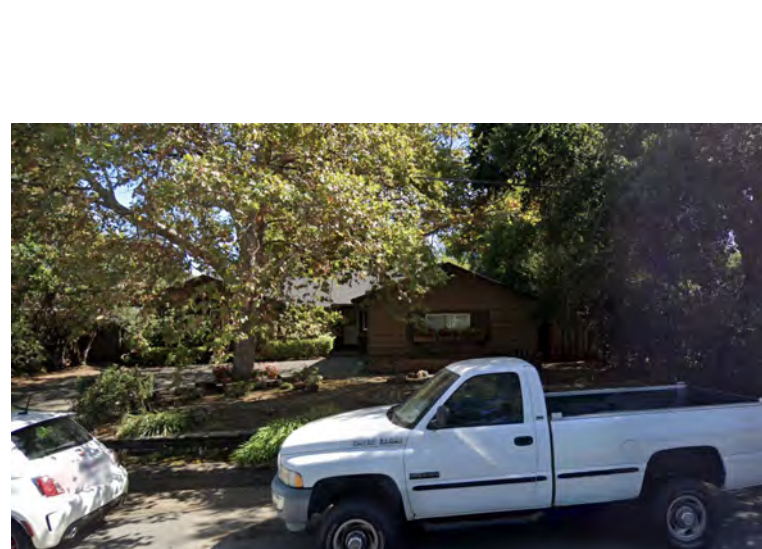
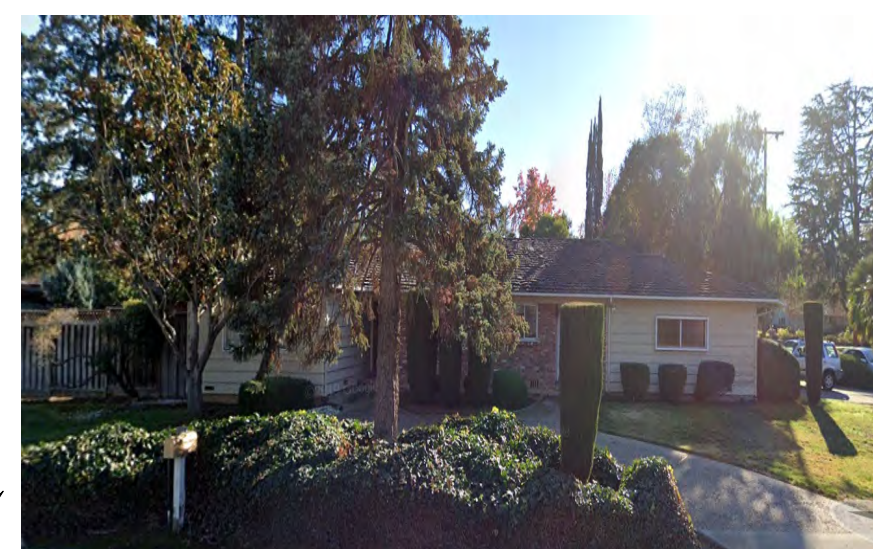
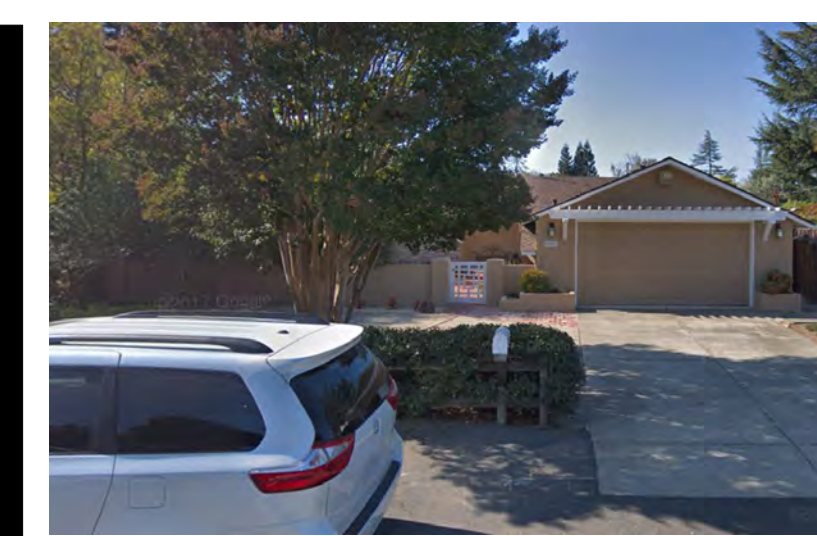
1034

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1084



1023

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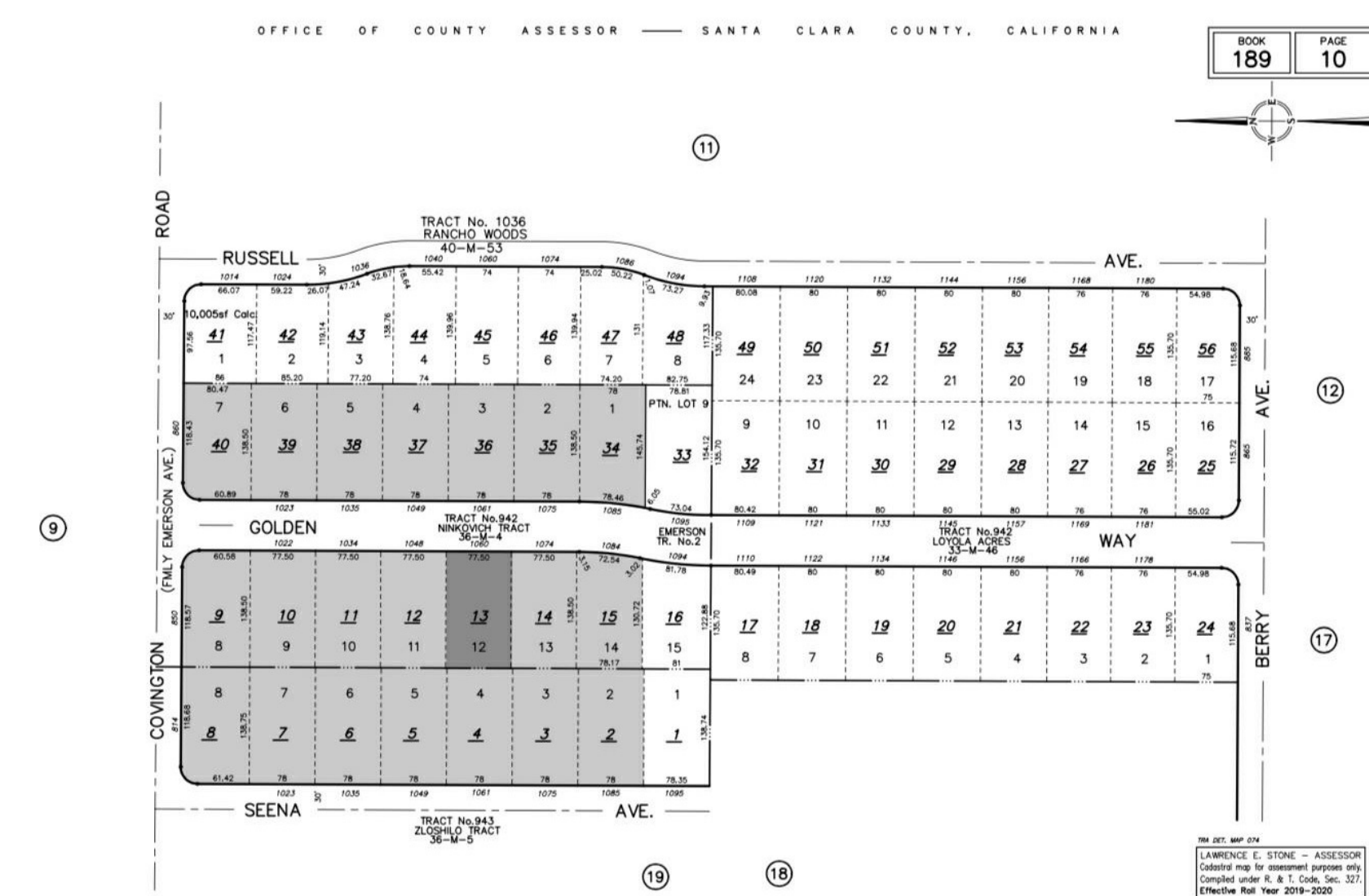
1049

1061

1075

1085

SEENA AVE



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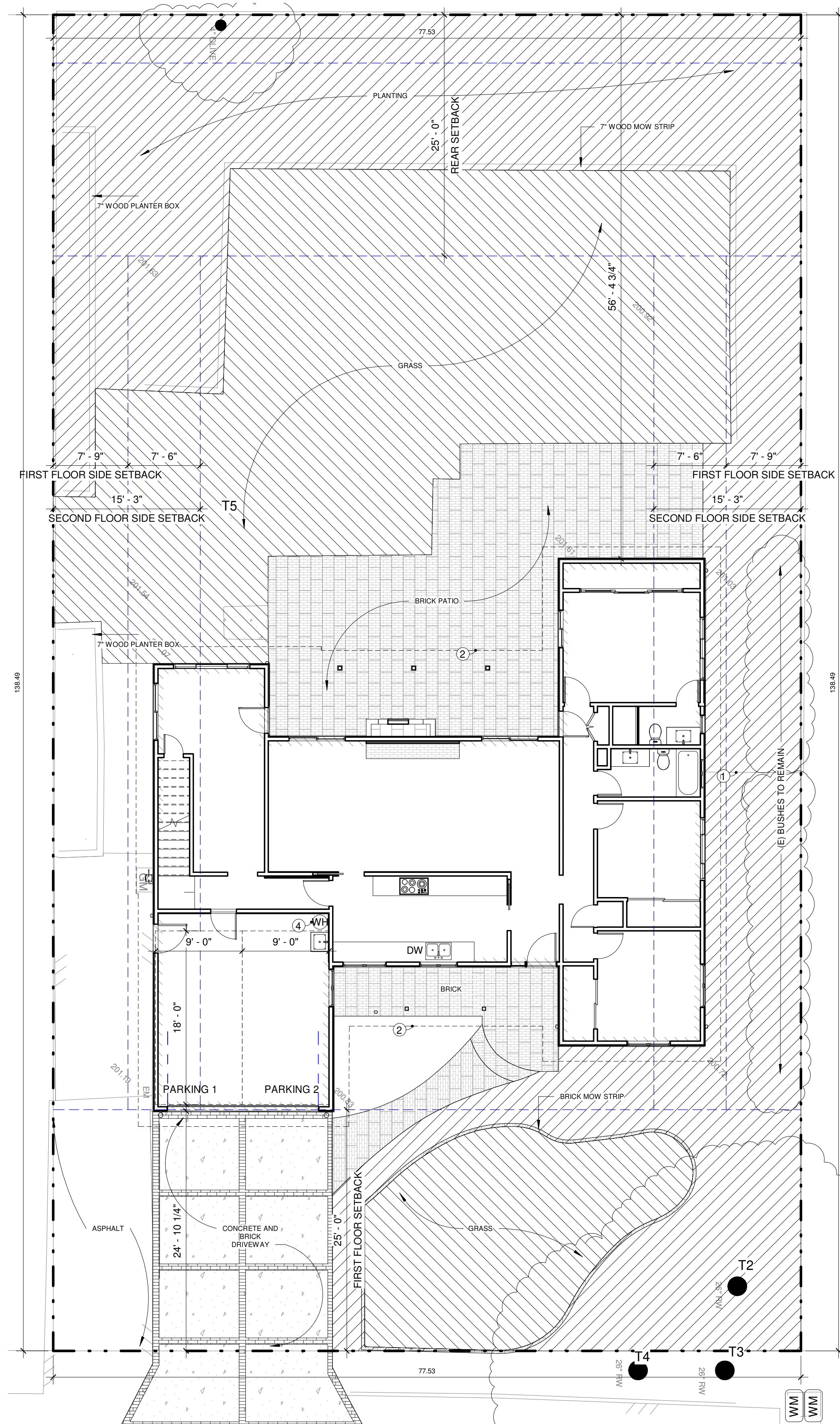
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NEIGHBORHOOD COMPATIBILITY

Drawing Scale: 1/4" = 1'-0"

Job No. SCHEMATIC DESIGN

A-0.6



1 EXISTING SITE PLAN
1/8" = 1'-0"



1 DWARF WHITE CREPE MYRTLE 'LAGERSTROEMIA INDICA'
Moderate growing; reaches 6 to 7 ft. tall and wide



2 SPANISH LAVENDER 'LAVANDULA STOECHAS'
Moderate growing; reaches 30 in. tall, 24 in. wide



3 Dietes Bicolor
Fast growing; 3 to 4 feet high and 3 feet wide



4 ARTIFICIAL GRASS



5 GOLDEN CREEPING JENNY 'L' SYMACHIA NUMMULARIA 'AUREA'
Fast growing; reaches 2 to 4 in. tall, spreading 12 to 18 in. wide



6 PIGEON POINT DWARF COYOTE BUSH 'BACCHARIS PILULARIS'
Slow growing; reaches 1 to 2 ft. tall, spreading 6 to 8 ft wide



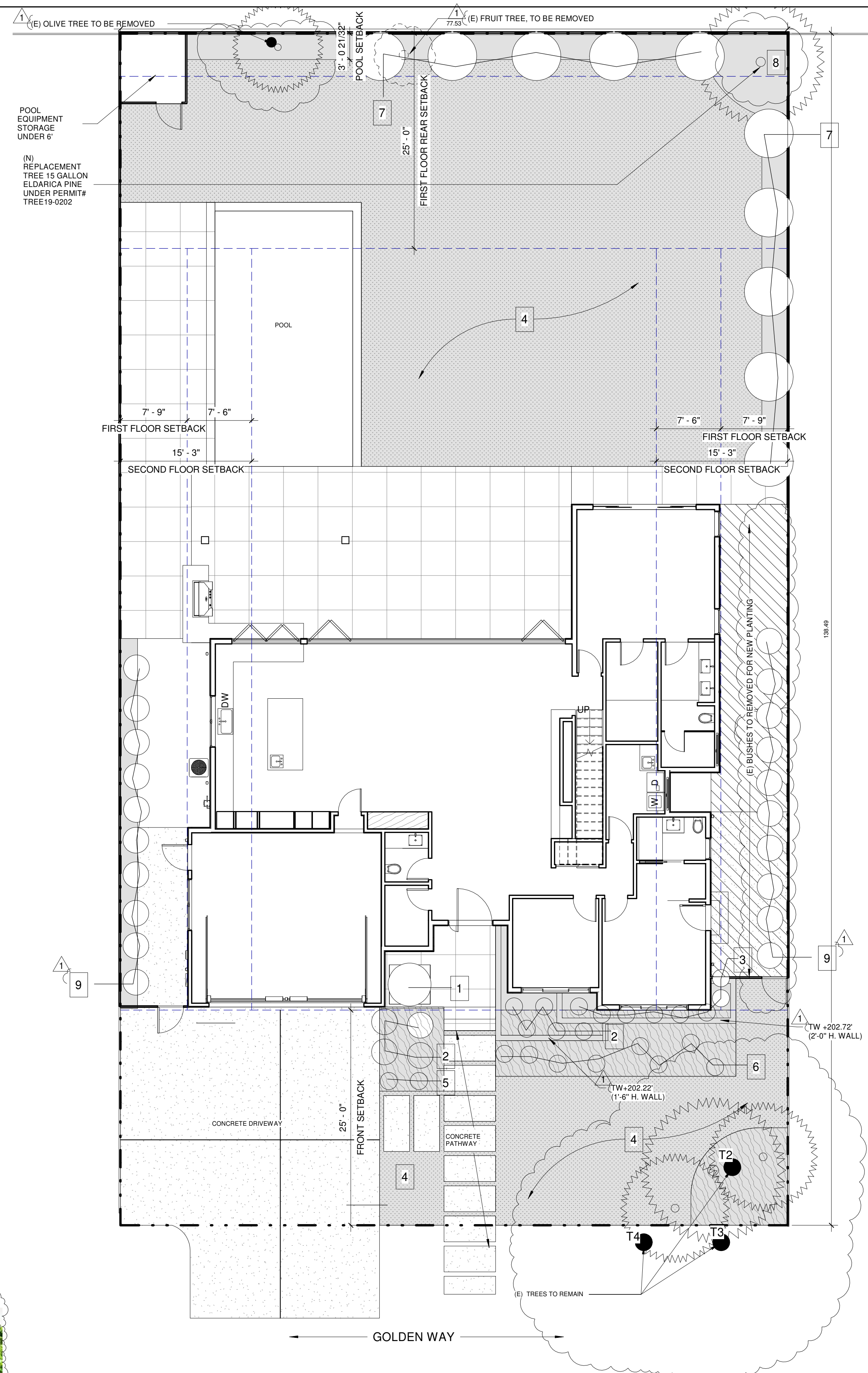
7 Sweet Bay (*Laurus nobilis*)
Slow growing; reaches 12 to 15 ft. tall and wide; taller if grown as a single-trunk tree



8 ELДАРICA PINE
Fast growing; 30 to 50 feet tall and 15 to 25 feet wide



9 SKIP CHERRY LAUREL (*Prunus laurocerasus* 'Schipkaensis')
Fast growing; 10 to 18 feet tall and 5 to 7 feet wide



UNDISTURBED LANDSCAPE AREA
NEW LANDSCAPE

TREE INVENTORY

#	TYPE	SIZE	CONDITION	STATUS
T1	DECODAR CEDAR	35.2' DIAM.	DEAD	REMOVED UNDER PERMIT # TREE19-0202
T2	REDWOOD	32.8' DIAM.	GOOD	TO REMAIN
T3	REDWOOD	26.8' DIAM.	GOOD	TO REMAIN
T4	REDWOOD	30.5' DIAM.	GOOD	TO REMAIN

2 PROPOSED SITE PLAN / LANDSCAPE
1/8" = 1'-0"

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LOS ALTOS, CA 94024

ADDITION AND REMODEL
OWNER: OREN NAIM AND ELINOR WAHRMANN

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EXISTING AND PROPOSED LANDSCAPE PLANS

Drawing Scale: As indicated
Job No. SCHEMATIC DESIGN

Kielty Arborist Services
 Certified Arborist WE#0476A
 P.O. Box 6187
 San Mateo, CA 94403
 650-515-9783

November 11, 2019

Oren Naim
 orennaim@gmail.com

Site: 1060 Golden, Los Altos, CA

Dear Mr. Naim,

As requested on Tuesday, October 29, 2019, I visited the above site for the purpose of inspecting and commenting on the trees. A new home addition and landscape is being designed for this site and your concern as to the future health and safety of the trees has prompted this visit.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a map provided by you. The trees were then measured for diameter at 48 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition rating is based on 50 percent vitality and 50 percent form, using the following scale.

1 - 29	Very Poor
30 - 49	Poor
50 - 69	Fair
70 - 89	Good
90 - 100	Excellent

The height of the trees were measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

1060 Golden/11/11/19 (2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Deodar cedar (<i>Cedrus deodara</i>)	35.2	0	55/50	Dead, oak root fungus.
2	Redwood (<i>Sequoia sempervirens</i>)	32.8	70	65/35	Good vigor, fair form, group of 3.
3	Redwood (<i>Sequoia sempervirens</i>)	26.8	70	65/35	Good vigor, fair form, group of 3.
4	Redwood (<i>Sequoia sempervirens</i>)	30.5	70	65/35	Good vigor, fair form, group of 3. Eastern corner.
5	Monterey pine (<i>Pinus radiata</i>)	4.5	45	15/20	Good vigor, poor form, topped.
6	Yucca (<i>Yucca spp</i>)	11.2	55	20/15	Fair vigor, fair form, near property line.

Summary:

The trees on site are a mix of non-native (exotics) trees. The trees are in poor-fair condition with one dead tree and no excellent trees. No neighboring trees will be affected by the proposed construction.

Deodar cedar #1 is dead. Oak root fungus is most likely the cause of the trees death. The tree should be removed as it will soon become a hazard. The redwood in the eastern corner of the lot are in fair condition and should not be affected by the proposed construction. The small pine #5 is a poor species that has already been topped. The small tree should be removed or kept to its small size. The following tree protection plan will help to reduce impacts on any retained trees.

Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6 foot metal chain link fencing supported by metal poles or stakes pounded into the ground. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be as close to the dripline as possible still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones.

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend fertilizing or irrigation if root cutting is significant. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

1060 Golden/11/11/19 (3)

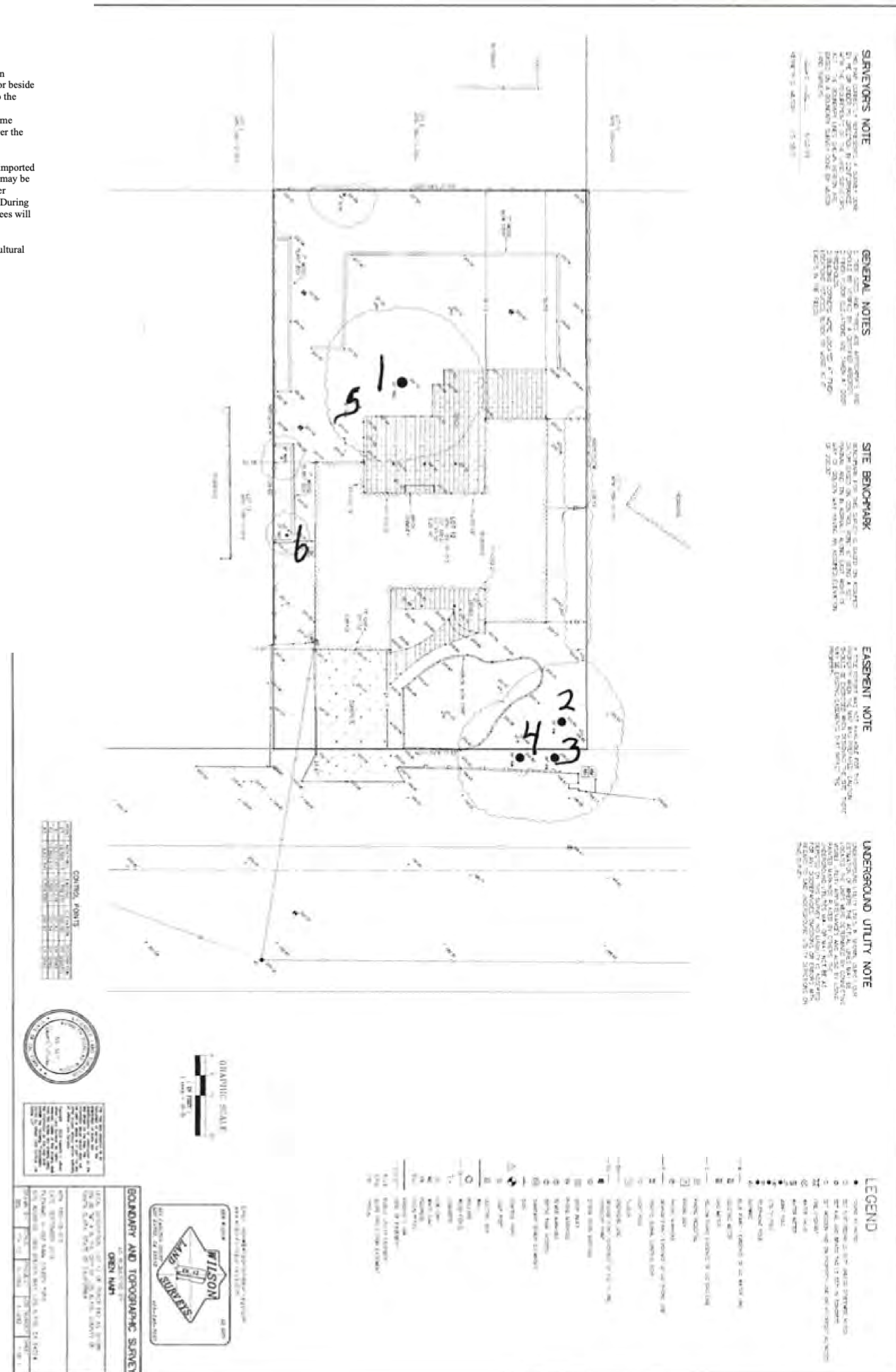
Trenching for irrigation, electrical, drainage or any other reason should be hand dug when beneath the driplines of protected trees. Hand digging and carefully laying pipes below or beside protected roots will dramatically reduce root loss of desired trees thus reducing trauma to the entire tree. Trenches should be backfilled as soon as possible with native material and compacted to near its original level. Trenches that must be left exposed for a period of time should also be covered with layers of burlap or straw wattle and kept moist. Plywood over the top of the trench will also help protect exposed roots below.

Normal irrigation should be maintained throughout the entire length of the project. The imported trees on this site will require irrigation during the warm season months. Some irrigation may be required during the winter months depending on the seasonal rainfall. During the summer months the trees on this site should receive heavy flood type irrigation 2 times a month. During the fall and winter 1 time a month should suffice. Mulching the root zone of protected trees will help the soil retain moisture, thus reducing water consumption.

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
 Certified Arborist WE#0476A



SERVER'S NOTE
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GENERAL NOTES
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ALTOS ORDINANCES AND THE CALIFORNIA BUILDING CODE.

SITE BENCHMARK
 1. THE BENCHMARK IS LOCATED AT THE CORNER OF THE LOT AND IS IDENTIFIED BY A METAL PIN.

EASEMENT NOTE
 1. THERE IS AN EASEMENT FOR UTILITY LINES ACROSS THE PROPERTY AS SHOWN ON THE PLAN.

UNDERGROUND UTILITY NOTE
 1. THE LOCATION OF ALL UNDERGROUND UTILITIES IS AS SHOWN ON THE PLAN.

1060 GOLDEN WAY
LOS ALTOS, CA 94024
 ADDITION AND REMODEL
 OWNER: OREN NAIM AND ELINOR WAHRMANN

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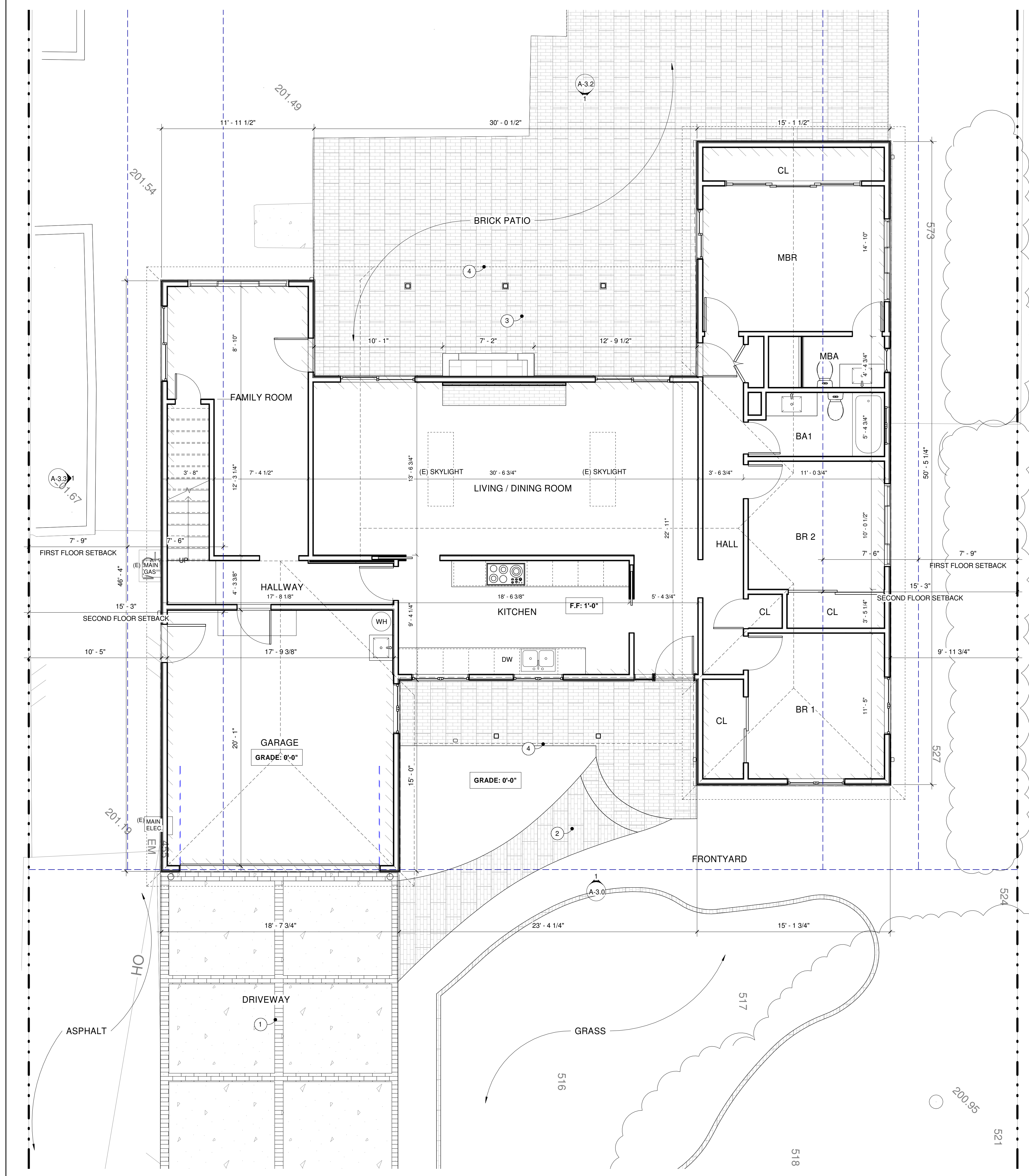
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ARBORIST REPORT

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A-0.8



KEYNOTES

- ① (E) CONCRETE BRICK AND ASPHALT DRIVEWAY
- ② BRICK PATHWAY
- ③ COVERED PORCH: BRICK PAVERS
- ④ ROOF OVERHANG
- ⑤ (E) ASPHALT SHINGLE ROOF

**1060 GOLDEN WAY
LOS ALTOS, CA 94024**

ADDITION AND REMODEL
OWNER: OREN NAIM AND ELINOR WAHRMANN

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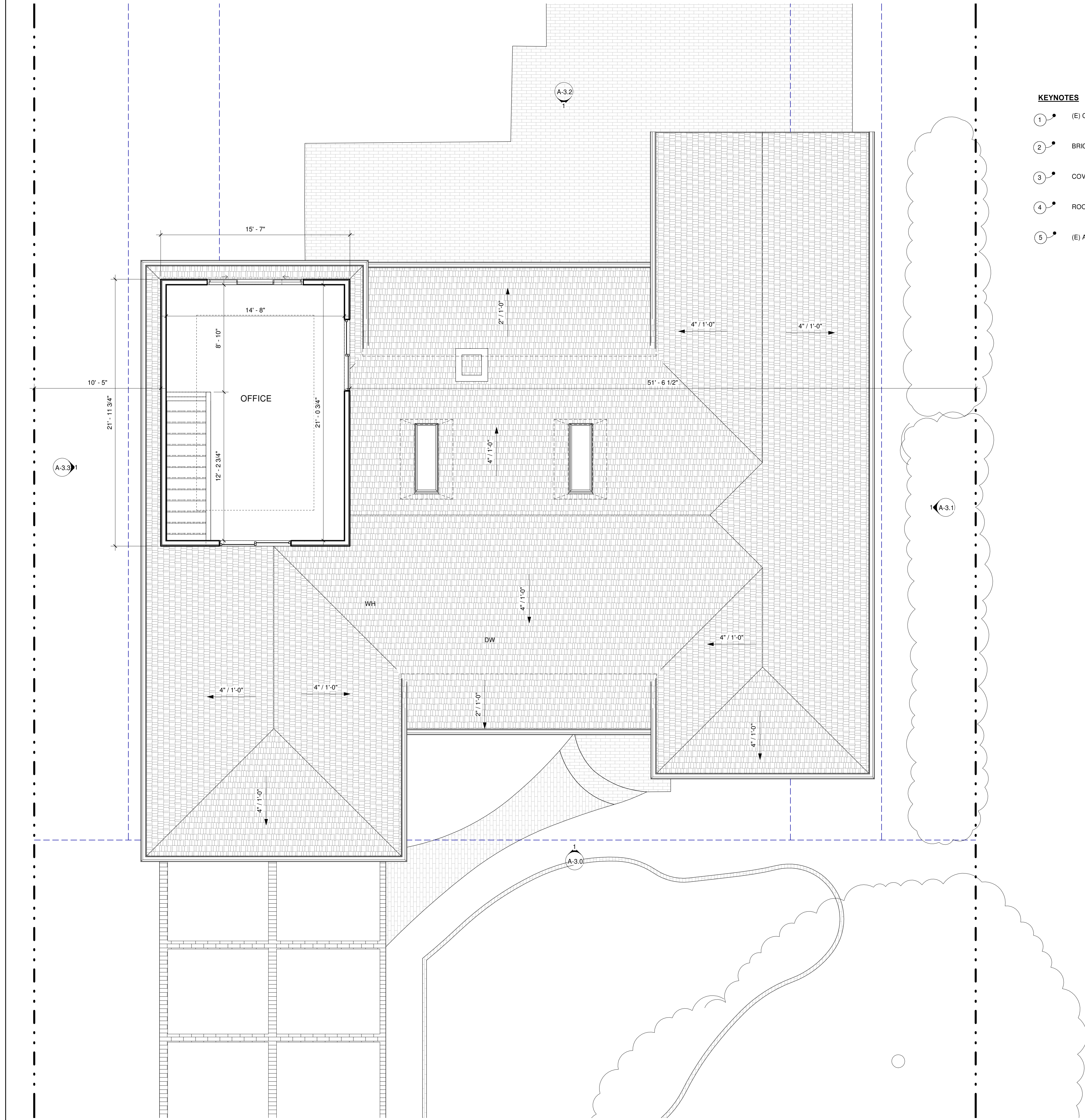
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EXISTING FIRST FLOOR PLANS

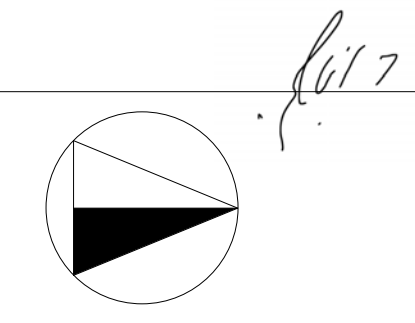
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Job No. SCHEMATIC DESIGN

A-1.0



- KEYNOTES**
- ① (E) CONCRETE BRICK AND ASPHALT DRIVEWAY
 - ② BRICK PATHWAY
 - ③ COVERED PORCH: BRICK PAVERS
 - ④ ROOF OVERHANG
 - ⑤ (E) ASPHALT SHINGLE ROOF

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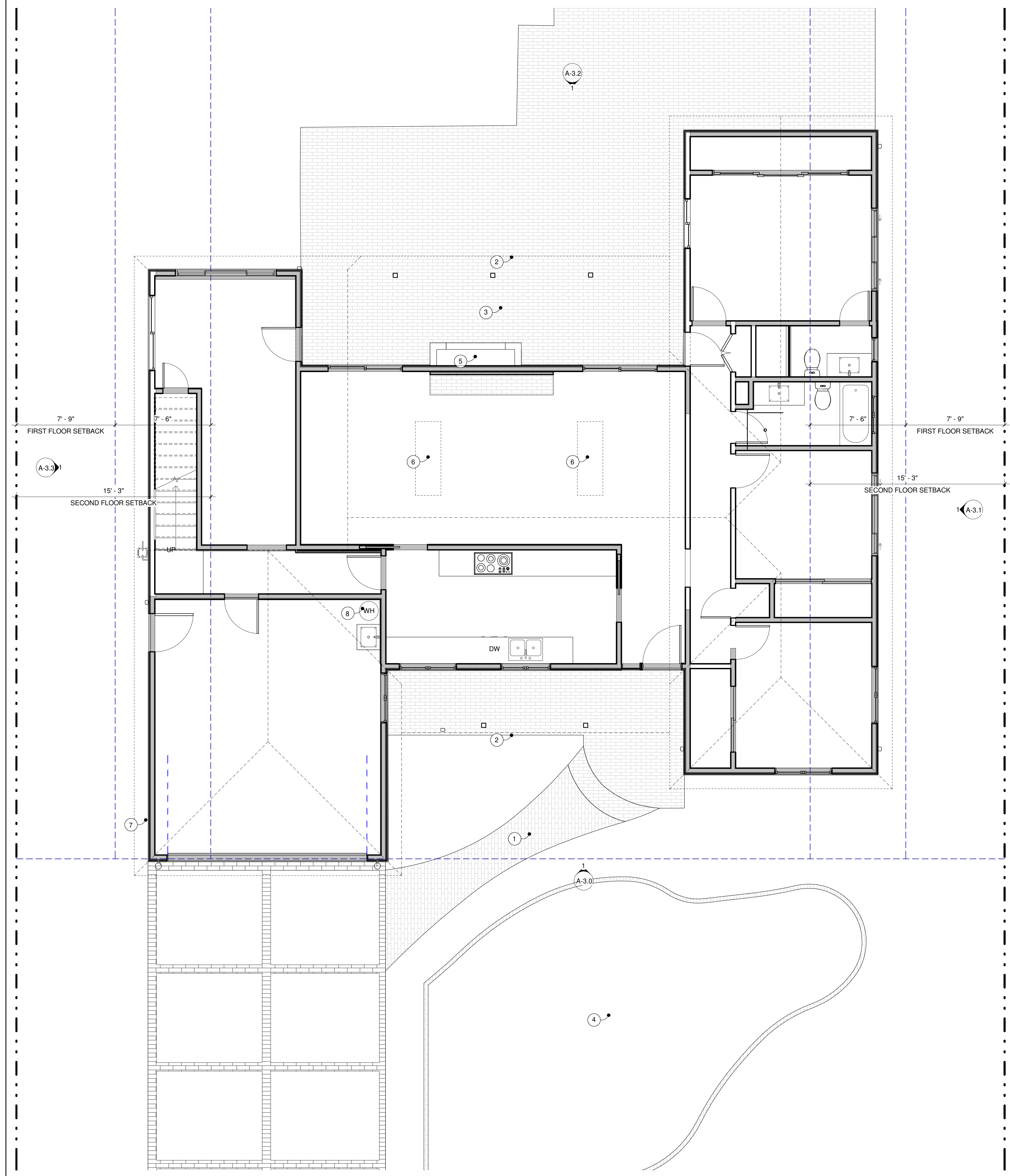
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**EXISTING
 SECOND FLOOR
 PLAN**

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WALL LEGEND

-  EXISTING WALLS TO REMAIN
-  EXISTING WALLS TO BE REMOVED

KEYNOTES

- ① (E) PATHWAYS TO BE REMOVED
- ② (E) ROOF OVERHANG
- ③ COVERED PORCH: BRICK PAVERS TO BE REMOVED
- ④ (E) ROOF TO BE REMOVED
- ⑤ (E) WOOD BURNING FIREPLACE TO BE REMOVED
- ⑥ (E) SKYLIGHTS TO BE REMOVED
- ⑦ (E) ELECTRIC PANEL TO BE RE-LOCATED

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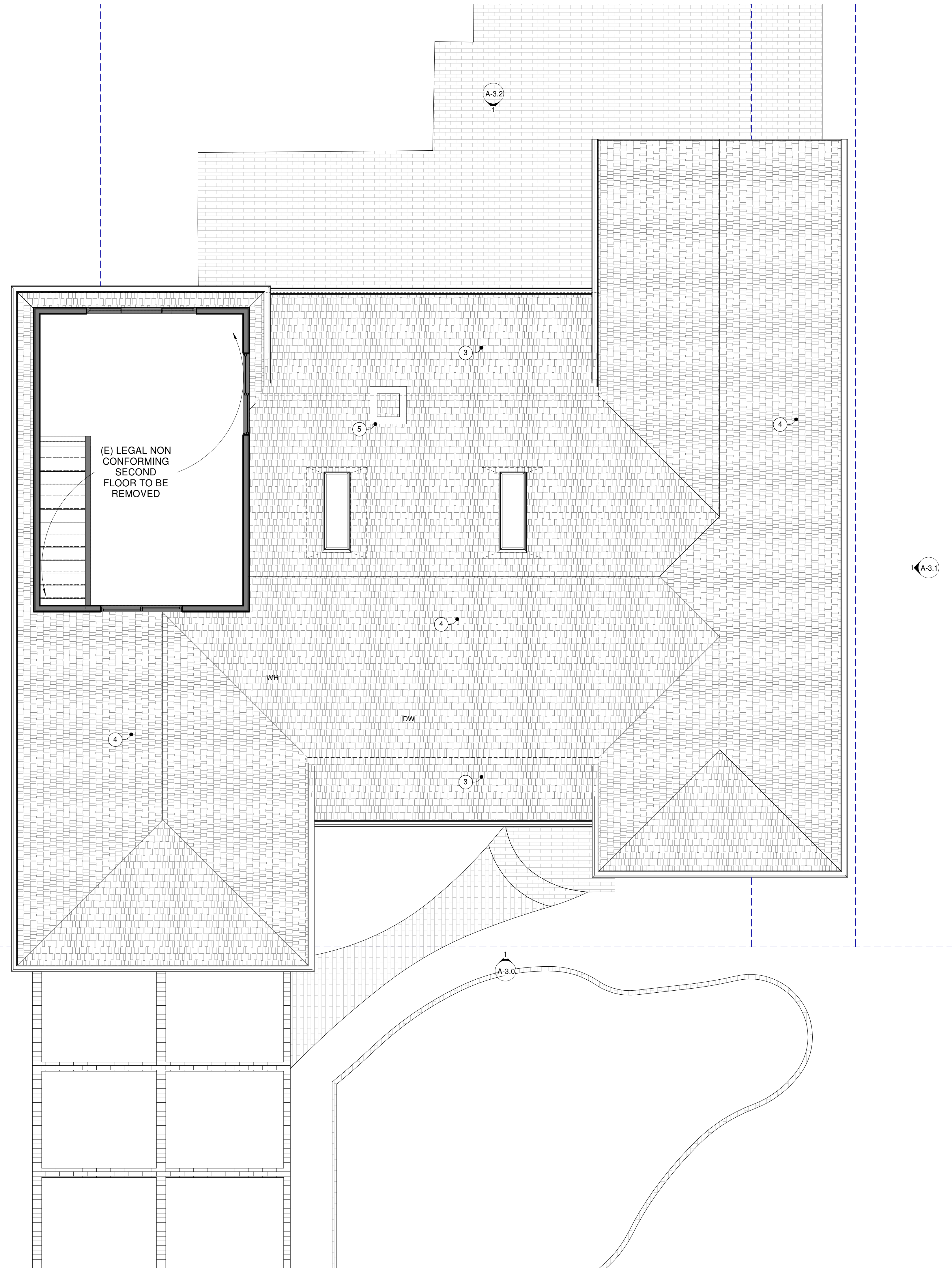
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**FIRST FLOOR
DEMOLITION
PLAN**

Drawing Scale: 1/4" = 1'-0"

Job No. SCHEMATIC DESIGN

A-1.2



WALL LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED

KEYNOTES

- ① (E) PATHWAYS TO BE REMOVED
- ② (E) ROOF OVERHANG
- ③ COVERED PORCH: BRICK PAVERS TO BE REMOVED
- ④ (E) ROOF TO BE REMOVED
- ⑤ (E) WOOD BURNING FIREPLACE TO BE REMOVED
- ⑥ (E) SKYLIGHTS TO BE REMOVED
- ⑦ (E) ELECTRIC PANEL TO BE RE-LOCATED

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LOS ALTOS, CA 94024**

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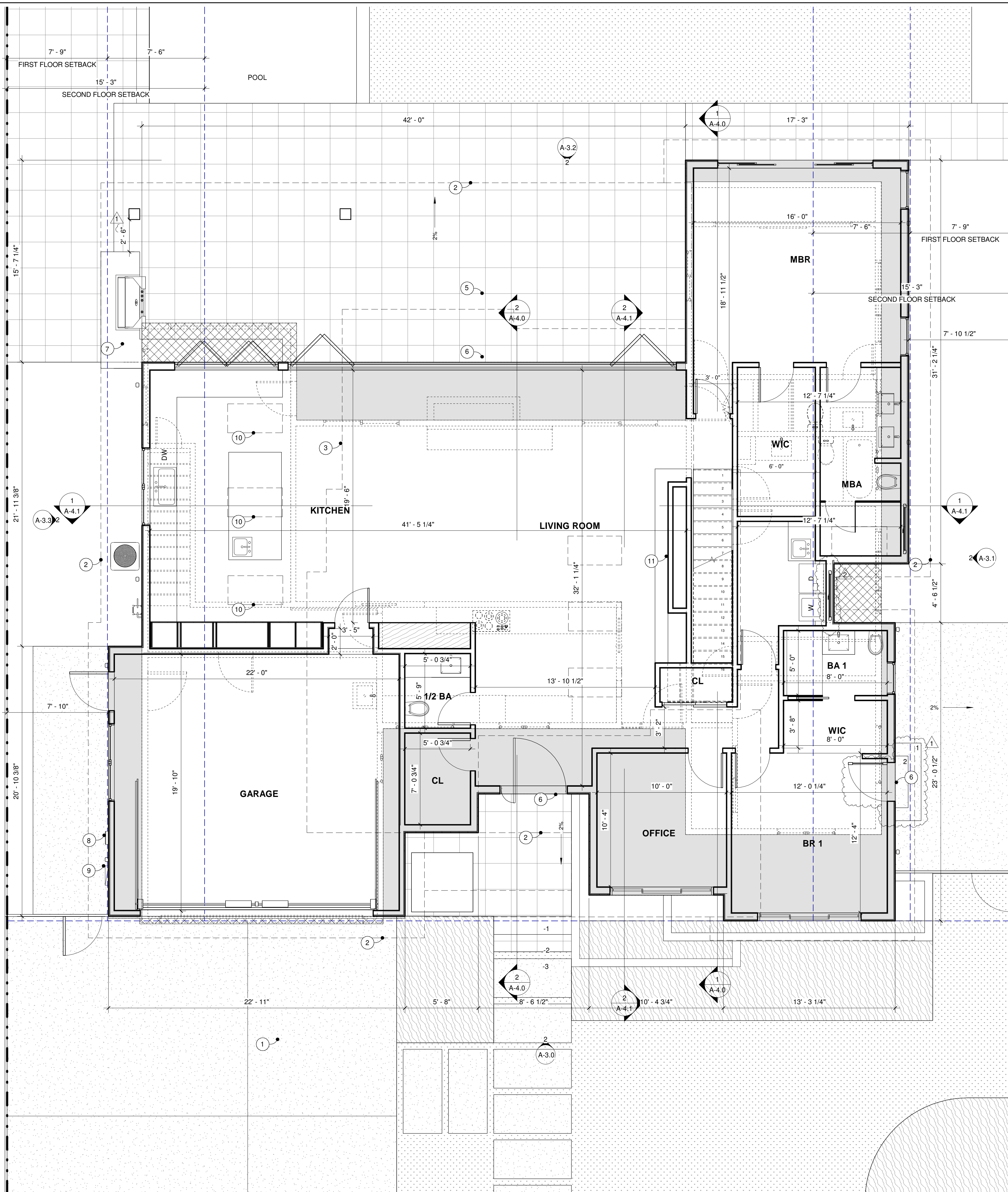
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**SECOND FLOOR
DEMOLITION
PLAN**

Drawing Scale: 1/4" = 1'-0"

Job No. SCHEMATIC DESIGN

A-1.3



WALL LEGEND

- EXISTING WALLS TO REMAIN
- NEW WALLS
- EXISTING WALLS TO BE REMOVED
- NEW SQ. FT. ADDED
- EXISTING SQ. FT. REMOVED

KEYNOTES

- 1 (E) ASPHALT, BRICK AND CONCRETE DRIVEWAY TO BE REPLACED WITH CONCRETE
- 2 ROOF OVERHANG AT FIRST FLOOR
- 3 SECOND FLOOR FOOTPRINT ABOVE
- 4 FIRST FLOOR FOOTPRINT BELOW
- 5 TILED PATIO
- 6 EXTERIOR LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE DOOR THRESHOLD, CBC R311.3.2
- 7 (N) BUILT IN BBQ AREA
- 8 (N) TANKLESS WATER HEATER
- 9 (E) ELECTRICAL PANEL TO BE RELOCATED TO NEW WALL
- 10 SKYLIGHTS
- 11 (N) GAS FIREPLACE

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LOS ALTOS, CA 94024

ADDITION AND REMODEL
 OWNER: OREN NAIM AND ELINOR WAHRMANN

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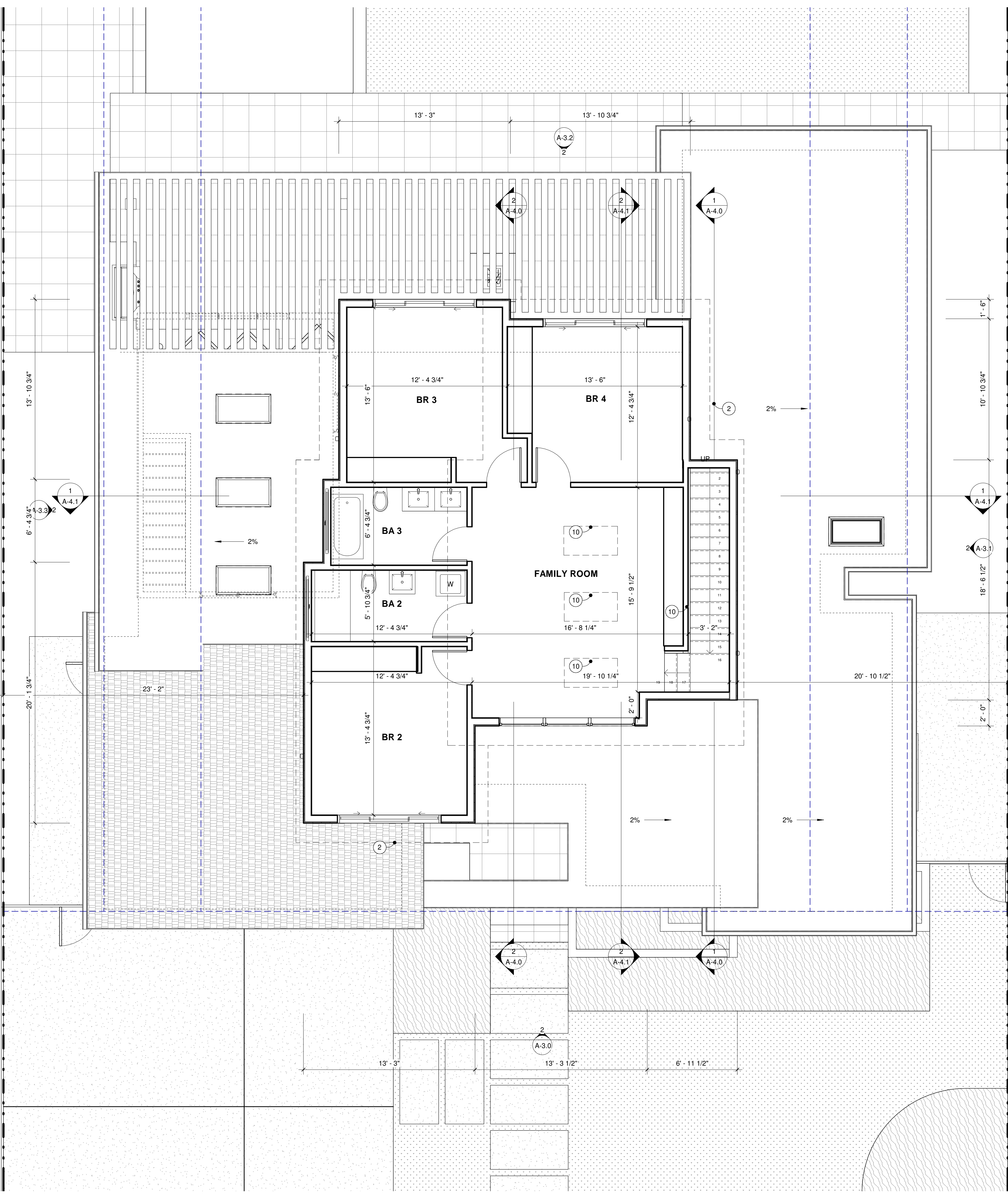
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**PROPOSED
 FIRST FLOOR
 PLAN**

Drawing Scale: 1/4" = 1'-0"

Job No. SCHEMATIC DESIGN

A-1.4



WALL LEGEND

- EXISTING WALLS TO REMAIN
- ▨ NEW WALLS
- - - - - EXISTING WALLS TO BE REMOVED
- ▨ NEW FIRST FLOOR SQ. FT. ADDED
- ▨ EXISTING FIRST FLOOR SQ. FT. REMOVED

KEYNOTES

- 1 (E) ASPHALT, BRICK AND CONCRETE DRIVEWAY TO BE REPLACED WITH CONCRETE
- 2 ROOF OVERHANG
- 3 SECOND FLOOR FOOTPRINT ABOVE
- 4 FIRST FLOOR FOOTPRINT BELOW
- 5 TILED PATIO
- 6 EXTERIOR LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE DOOR THRESHOLD. CBC R311.3.2
- 7 (N) BUILT IN BBQ AREA
- 8 (N) TANKLESS WATER HEATER
- 9 (E) ELECTRICAL PANEL TO BE RELOCATED TO NEW WALL
- 10 SKYLIGHTS
- 11 (N) GAS FIREPLACE

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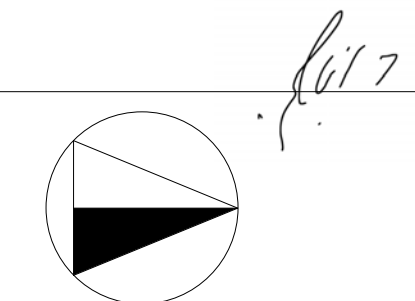
PROPOSED SECOND FLOOR PLAN

Drawing Scale: 1/4" = 1'-0"
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**EXISTING AND DEMOLITION
ROOF PLAN**

Drawing Scale: 1/4" = 1'-0"

Job No. SCHEMATIC DESIGN

A-2.0

ROOF LEGEND

- (E) BATHROOM FAN TERMINATION CAP
- (E) WHOLE HOUSE FAN TERMINATION CAP
- PLUMBING VENT
- FIREPLACE VENT CAP
- DOWNSPOUT
- FURNACE VENT

KEYNOTES

- ① HOUSE FOOTPRINT
- ② (E) SKYLIGHTS
- ③ (E) COVERED PATIO

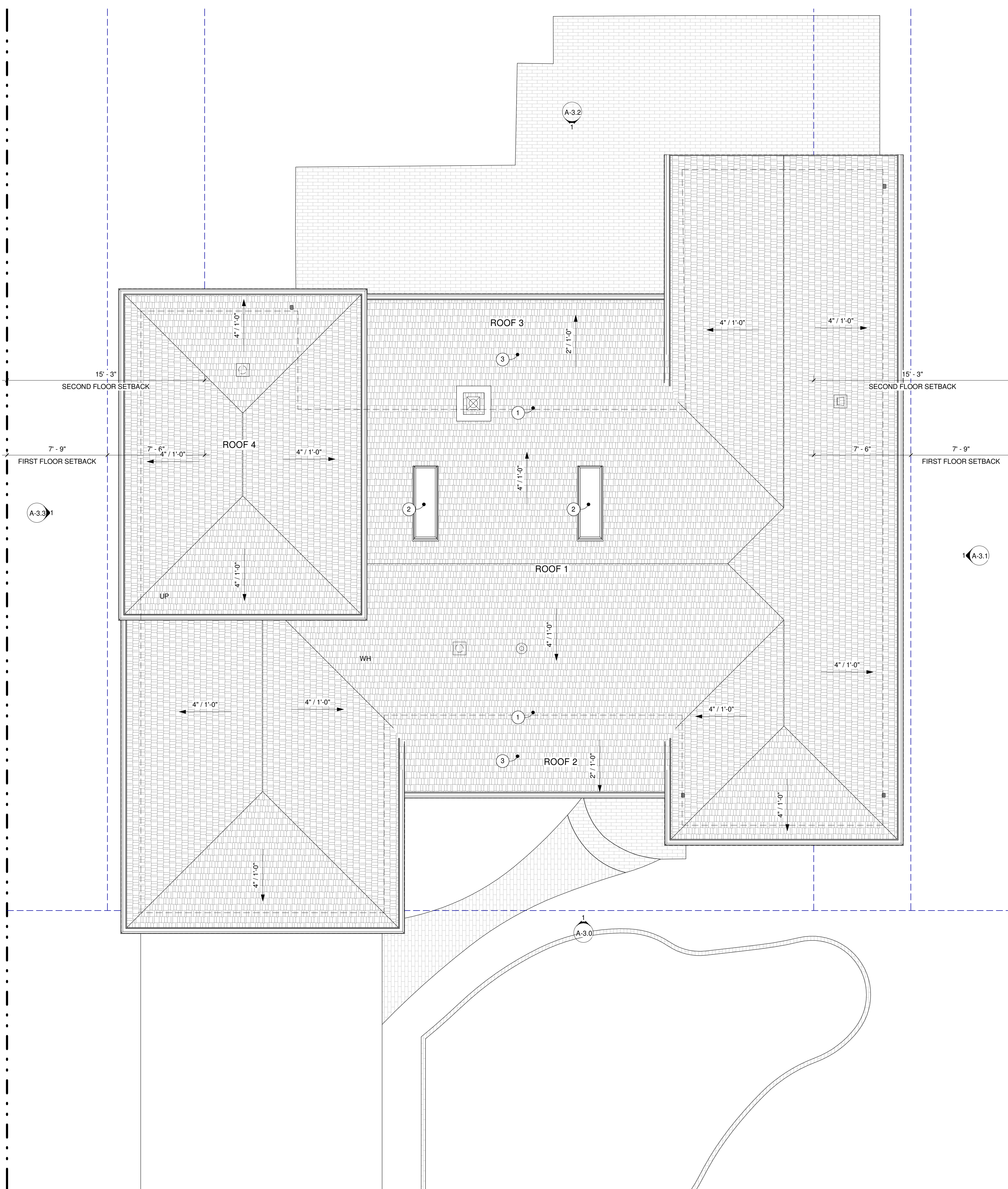
ROOF AREAS:

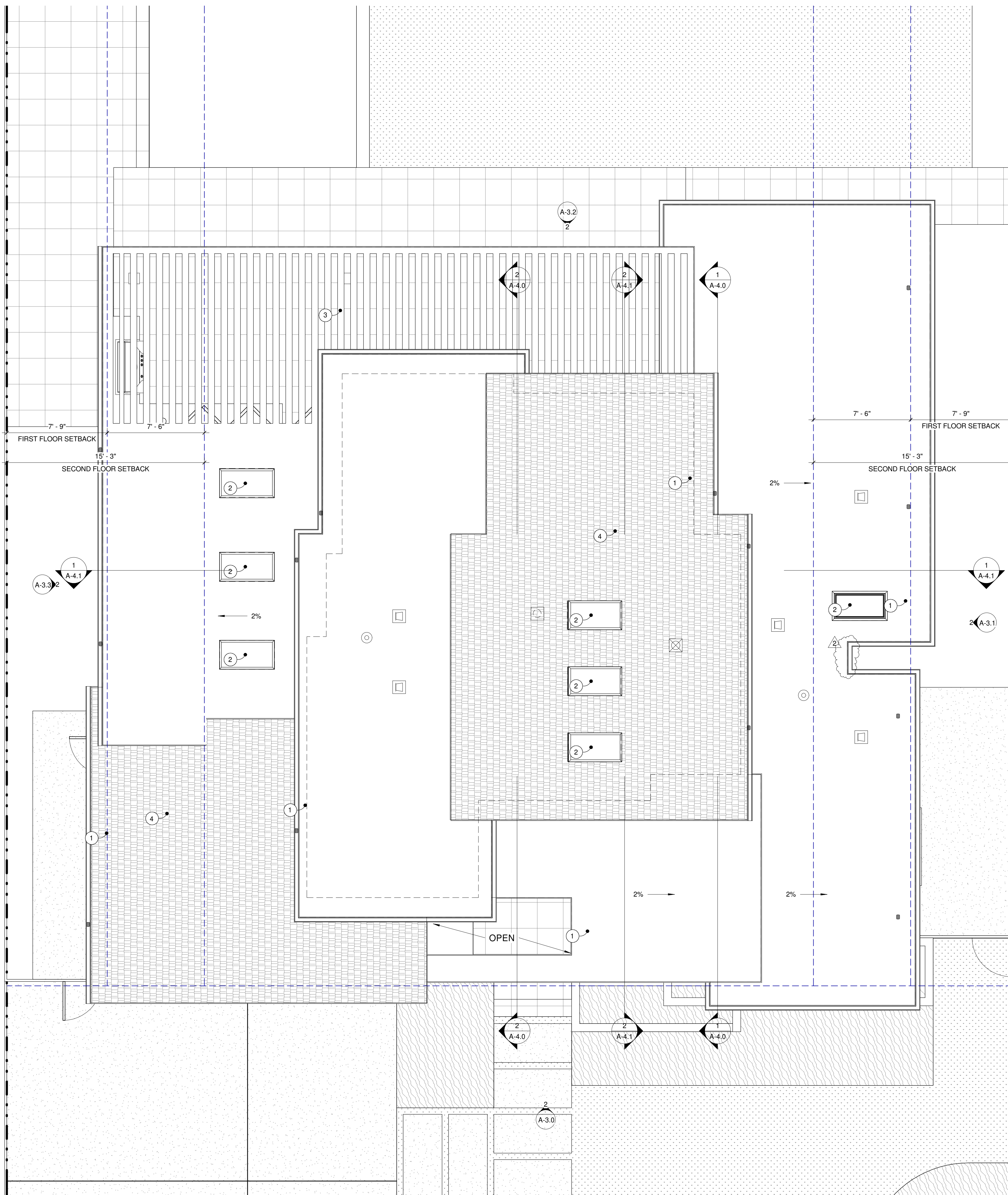
**TOTAL ROOF AREA (INCLUDING OVERHANG):
2,571 SQ. FT.**

TOTAL ROOF TO REMAIN	0 SQ. FT.
----------------------	-----------

ROOFS TO BE REMOVED

ROOF 1	2,222.78 SQ. FT.
ROOF 2:	135.20 SQ. FT.
ROOF 3:	257.44 SQ.FT
ROOF 4:	474.12 SQ.FT
TOTAL:	3,089.54 SQ. FT.
	(100%)





ROOF LEGEND

- BATHROOM FAN TERMINATION CAP
- WHOLE HOUSE FAN TERMINATION CAP
- PLUMBING VENT
- FIREPLACE VENT CAP
- DOWNSPOUT
- FURNACE VENT

KEYNOTES

- ① SECOND FLOOR FOOTPRINT
- ② (N) SKYLIGHTS
- ③ SEMI OPEN PERGOLA
- ④ ASPHALT SHINGLE ROOF

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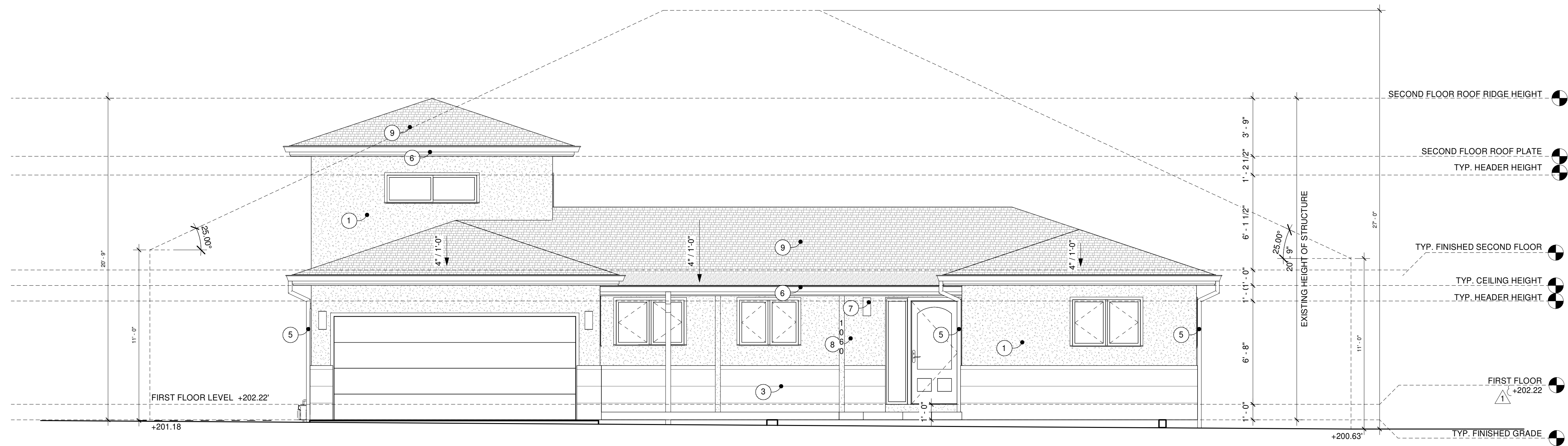
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PROPOSED ROOF PLAN

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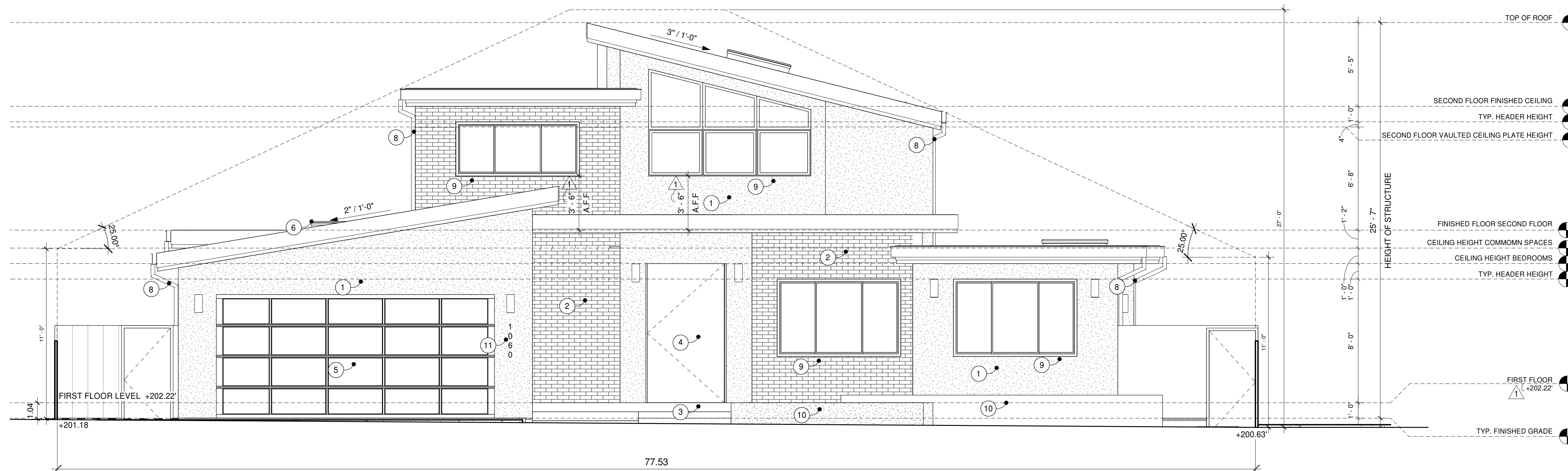
A-2.1



KEYNOTES

- 1 STUCCO
- 2 (E) CRAWL SPACE VENT
- 3 (E) SIDING
- 4 (E) SKYLIGHT
- 5 (E) DOWNSPOUTS
- 6 GUTTERS
- 7 EXTERIOR LIGHT
- 8 (E) HOUSE NUMBER LOCATION
- 9 (E) ASPHALT SHINGLES

1 EXISTING EAST ELEVATION AND DAYLIGHT PLANE
1/4" = 1'-0"



KEYNOTES

- 1 SMOOTH STUCCO
- 2 STACKED STONE
- 3 EXTERIOR LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7.75' BELOW THE TOP OF THE DOOR THRESHOLD. 2016 CRC R311.3.2
- 4 PIVOT FRONT DOOR
- 5 GARAGE DOOR
- 6 SKYLIGHTS
- 7 GUTTERS
- 8 DOWNSPOUTS
- 9 TRIMLESS DOORS AND WINDOWS
- 10 PLANTERS
- 11 BUILDING ADDRESS NUMBER, LOCATED ON FRONT / STREET FACING EXTERIOR GARAGE WALL. NUMBERS SHALL BE METAL, BLACK FINISH CONTRASTING AGAINST HOUSE COLOR AND SHALL BE MINIMUM 4" HIGH WITH A MIN. STROKE WIDTH OF .5" CFC SECTION 505.1

2 PROPOSED EAST ELEVATION AND DAYLIGHT PLANE
1/4" = 1'-0"

**1060 GOLDEN WAY
LOS ALTOS, CA 94024**

ADDITION AND REMODEL
OWNER: OREN NAIM AND ELINOR WAHRMANN



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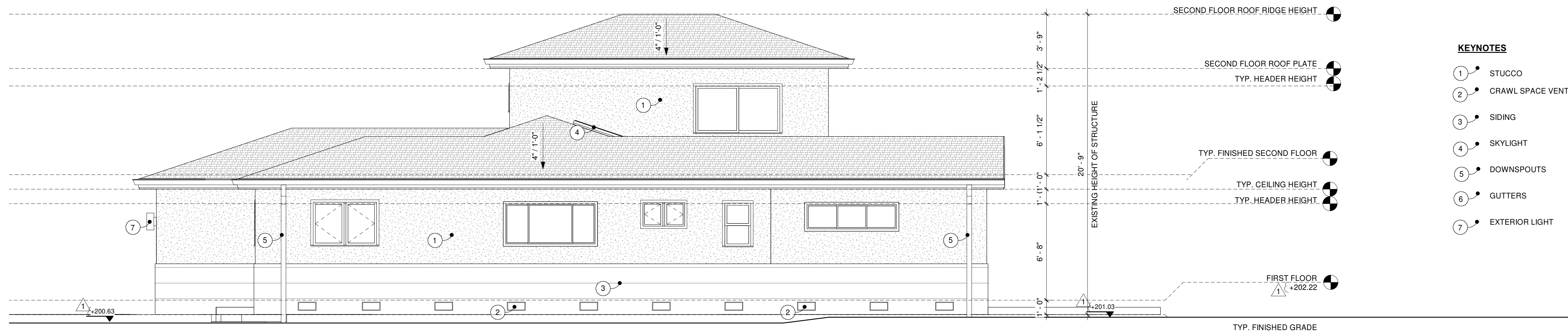
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EXISTING & PROPOSED ELEVATIONS

Drawing Scale: 1/4" = 1'-0"

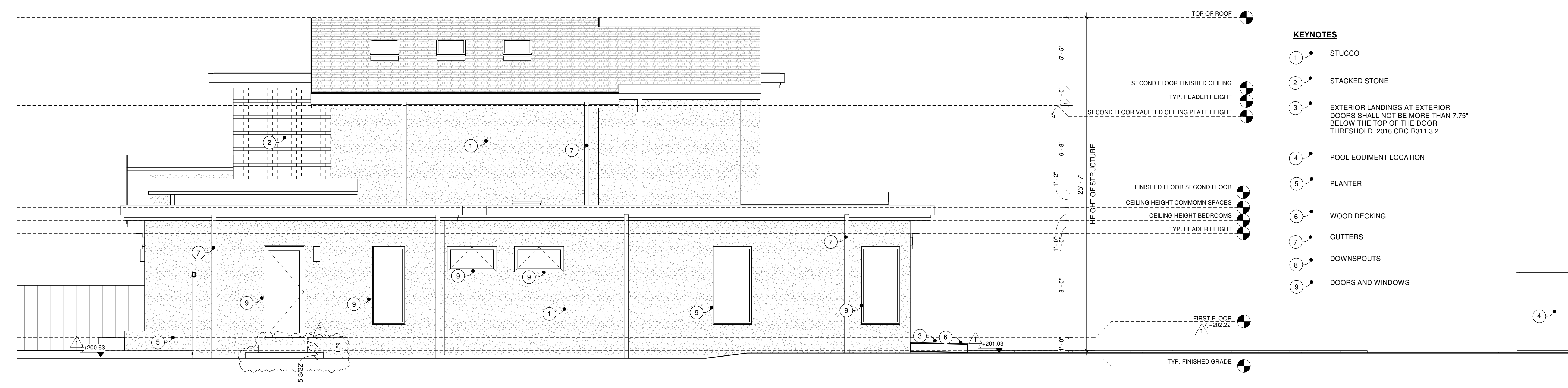
Job No. SCHEMATIC DESIGN

A-3.0



- KEYNOTES**
- ① STUCCO
 - ② CRAWL SPACE VENT
 - ③ SIDING
 - ④ SKYLIGHT
 - ⑤ DOWNSPOUTS
 - ⑥ GUTTERS
 - ⑦ EXTERIOR LIGHT

1 EXISTING NORTH ELEVATION
1/4" = 1'-0"



- KEYNOTES**
- ① STUCCO
 - ② STACKED STONE
 - ③ EXTERIOR LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE DOOR THRESHOLD. 2016 CRC R311.3.2
 - ④ POOL EQUIPMENT LOCATION
 - ⑤ PLANTER
 - ⑥ WOOD DECKING
 - ⑦ GUTTERS
 - ⑧ DOWNSPOUTS
 - ⑨ DOORS AND WINDOWS

2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

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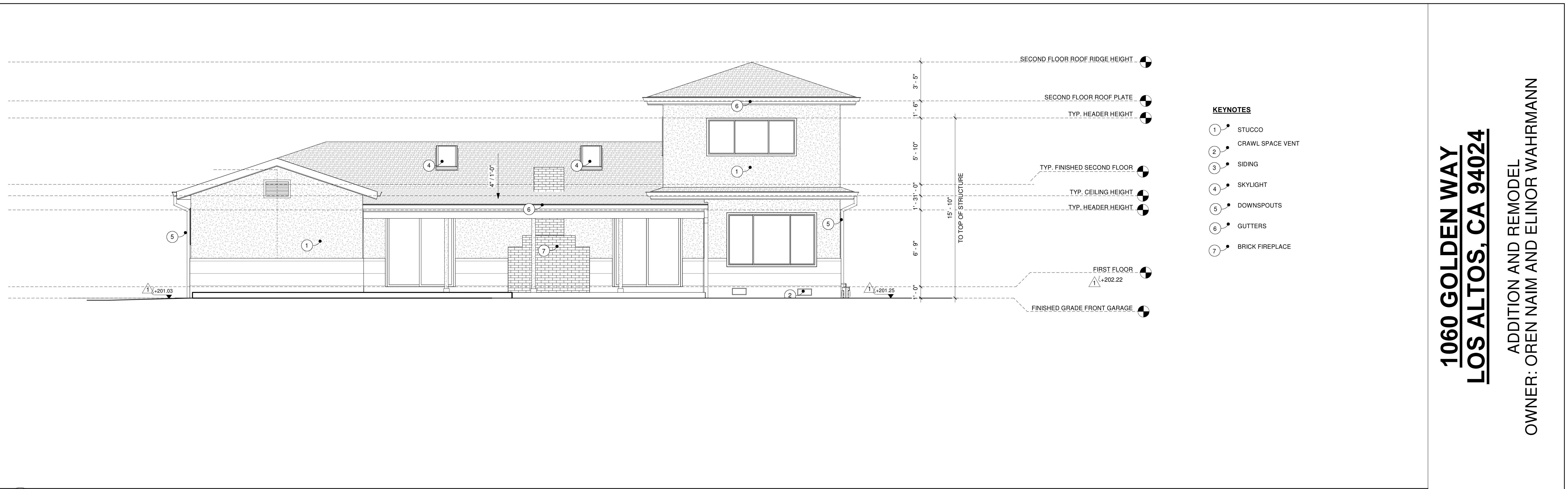
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EXISTING & PROPOSED ELEVATIONS

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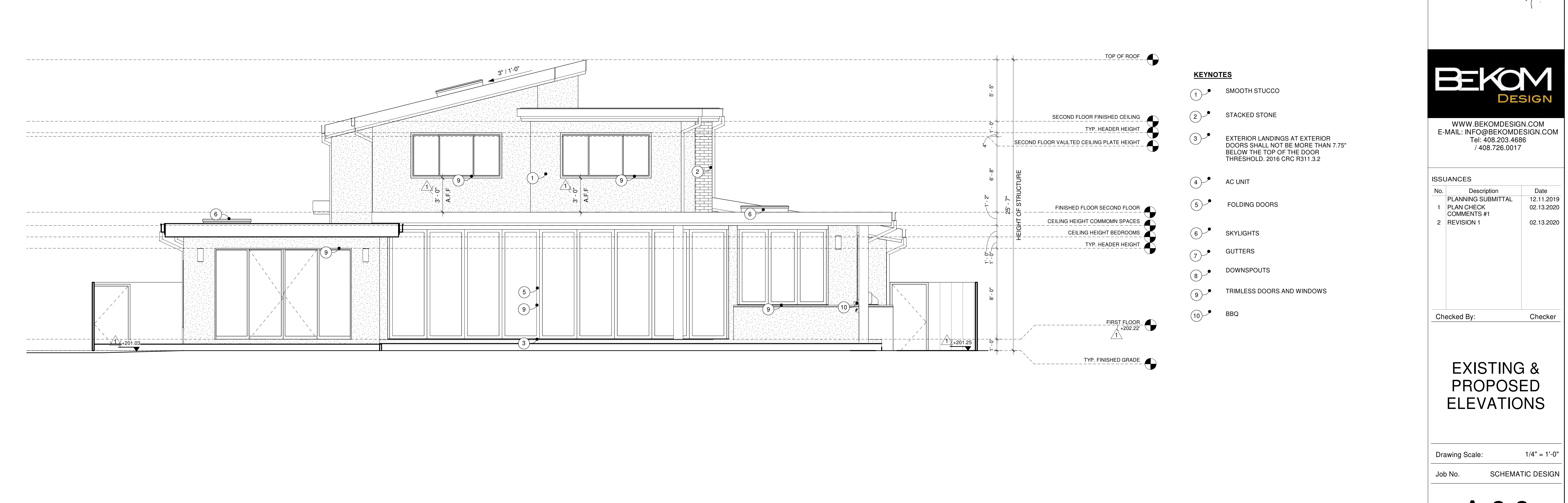


1 EXISTING WEST ELEVATION
1/4" = 1'-0"

1060 GOLDEN WAY
LOS ALTOS, CA 94024

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OWNER: OREN NAIM AND ELINOR WAHRMANN

- KEYNOTES**
- 1 STUCCO
 - 2 CRAWL SPACE VENT
 - 3 SIDING
 - 4 SKYLIGHT
 - 5 DOWNSPOUTS
 - 6 GUTTERS
 - 7 BRICK FIREPLACE



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"

- KEYNOTES**
- 1 SMOOTH STUCCO
 - 2 STACKED STONE
 - 3 EXTERIOR LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE DOOR THRESHOLD. 2016 CRC R311.3.2
 - 4 AC UNIT
 - 5 FOLDING DOORS
 - 6 SKYLIGHTS
 - 7 GUTTERS
 - 8 DOWNSPOUTS
 - 9 TRIMLESS DOORS AND WINDOWS
 - 10 BBQ



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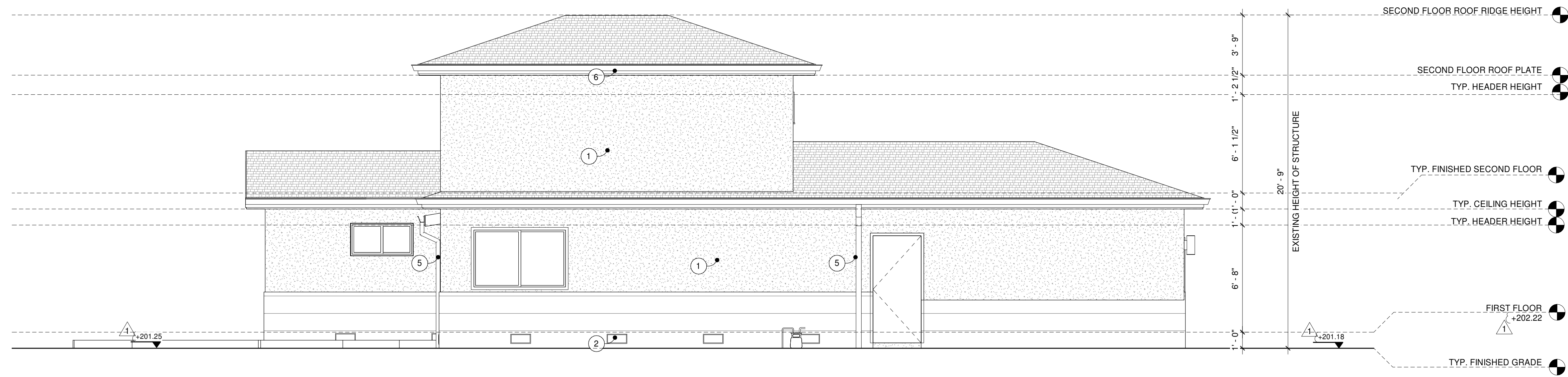
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EXISTING & PROPOSED ELEVATIONS

Drawing Scale: 1/4" = 1'-0"

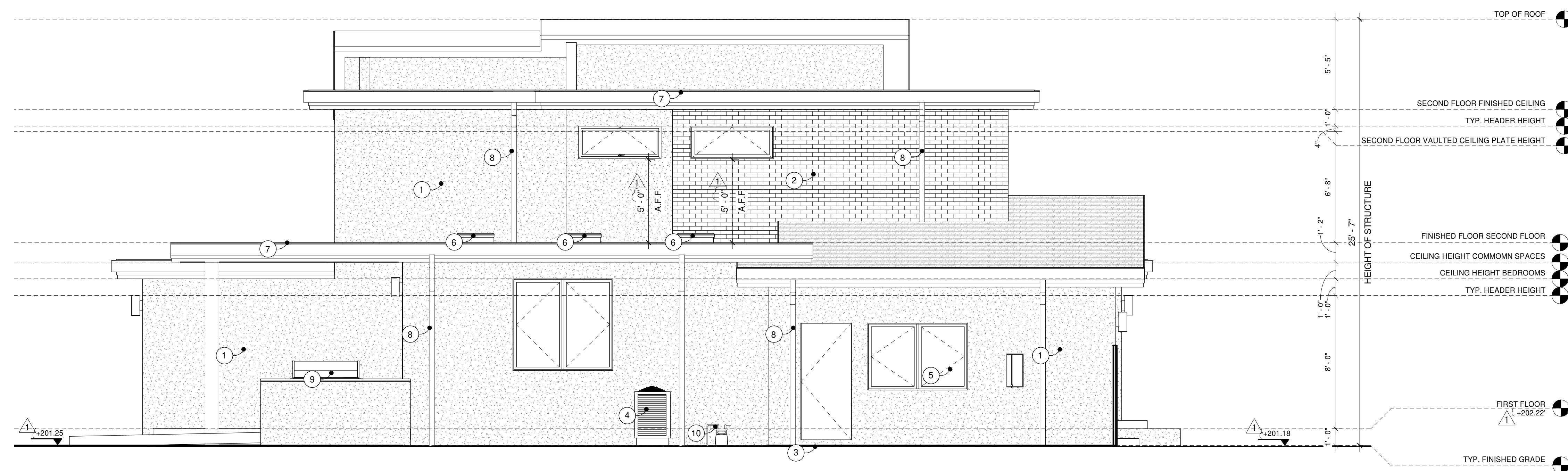
Job No. SCHEMATIC DESIGN

A-3.2



- KEYNOTES**
- 1 STUCCO
 - 2 CRAWL SPACE VENT
 - 3 SIDING
 - 4 SKYLIGHT
 - 5 DOWNSPOUTS
 - 6 GUTTERS
 - 7 EXTERIOR LIGHT

1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



- KEYNOTES**
- 1 STUCCO
 - 2 STACKED STONE
 - 3 EXTERIOR LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE DOOR THRESHOLD. 2016 CRC R311.3.2
 - 4 AC UNIT ON 3" CONCRETE PAD
 - 5 TANKLESS WATERHEATER
 - 6 SKYLIGHTS
 - 7 GUTTERS
 - 8 DOWNSPOUTS
 - 9 BBQ
 - 10 (E) GAS METER

2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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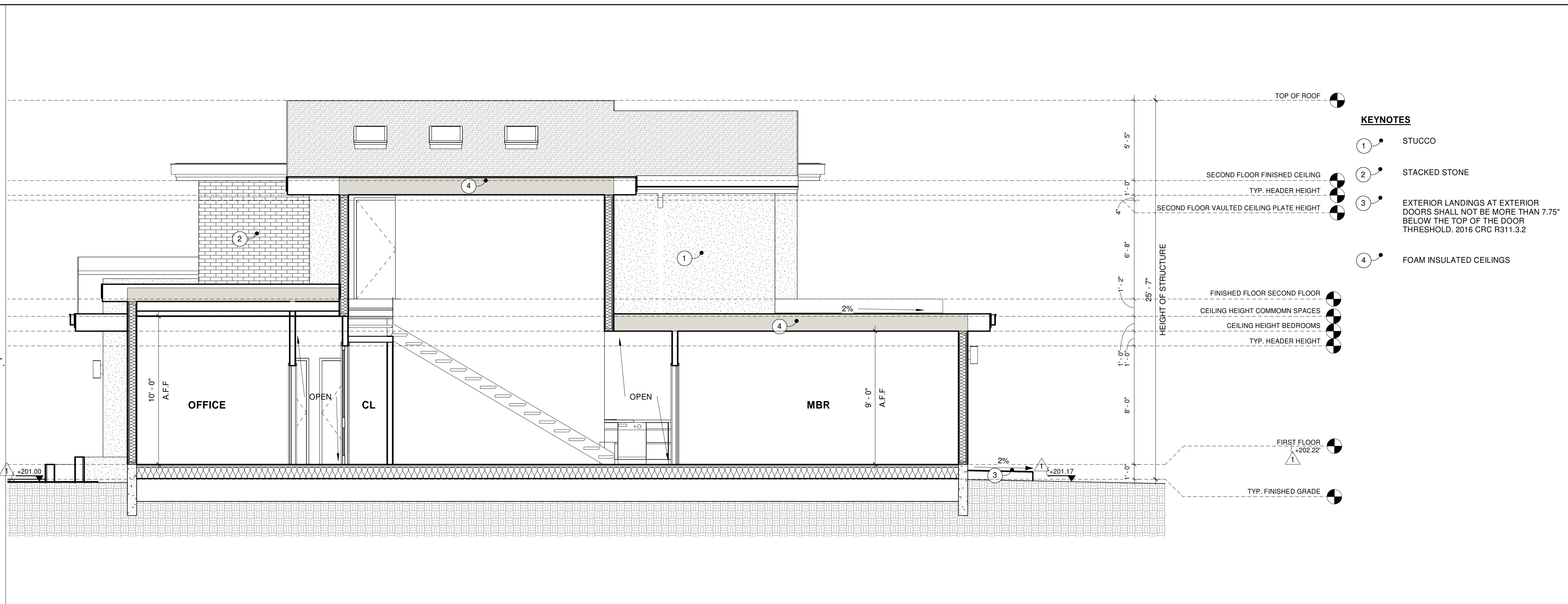
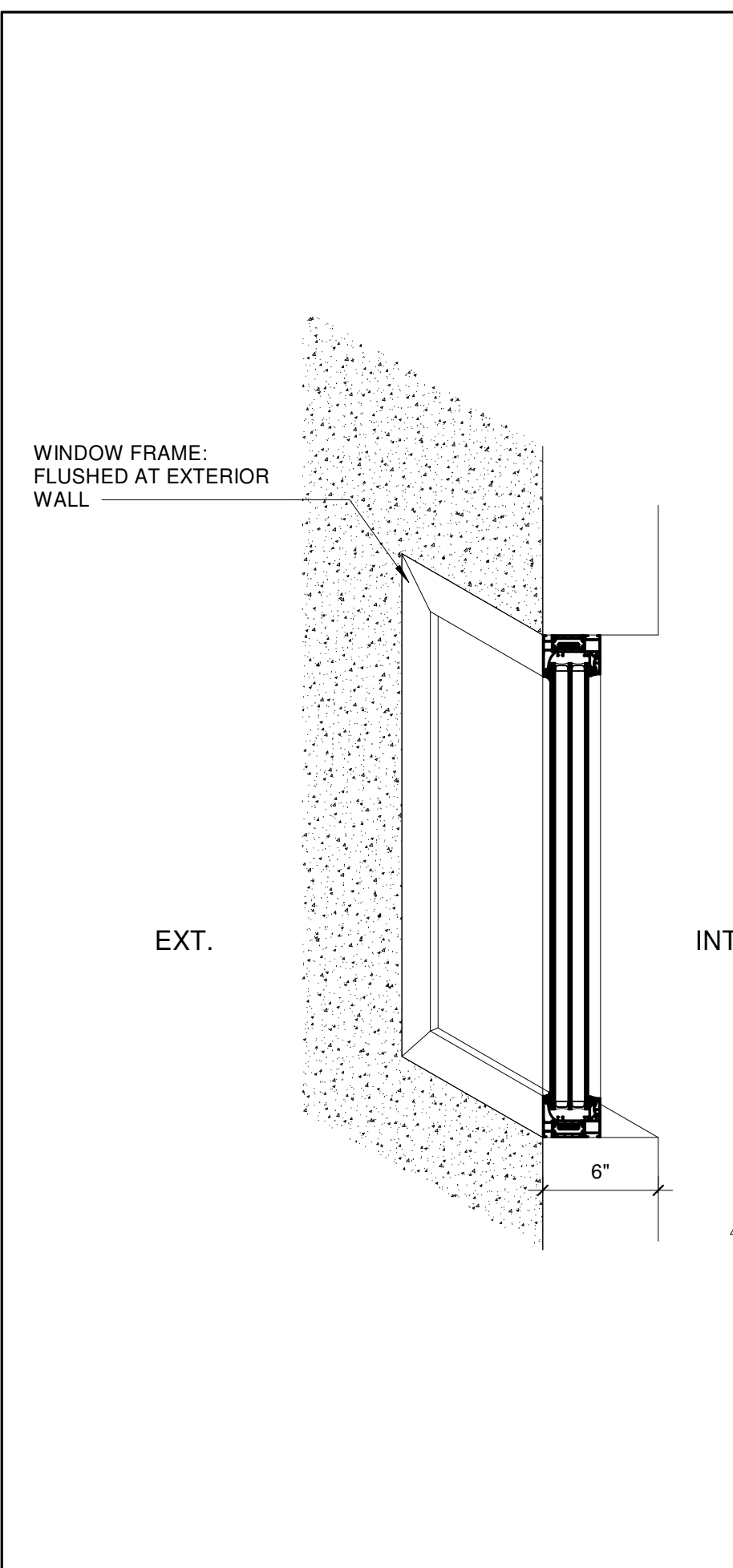
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EXISTING & PROPOSED ELEVATIONS

Drawing Scale: 1/4" = 1'-0"
Job No. SCHEMATIC DESIGN

A-3.3



- KEYNOTES**
- 1 STUCCO
 - 2 STACKED STONE
 - 3 EXTERIOR LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE DOOR THRESHOLD. 2016 CRC R311.3.2
 - 4 FOAM INSULATED CEILINGS

3 TYP. TRIMLESS WINDOWS AND DOORS
1 1/2" = 1'-0"

1 SECTION- AA
1/4" = 1'-0"

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 ADDITION AND REMODEL
 OWNER: OREN NAIM AND ELINOR WAHRMANN

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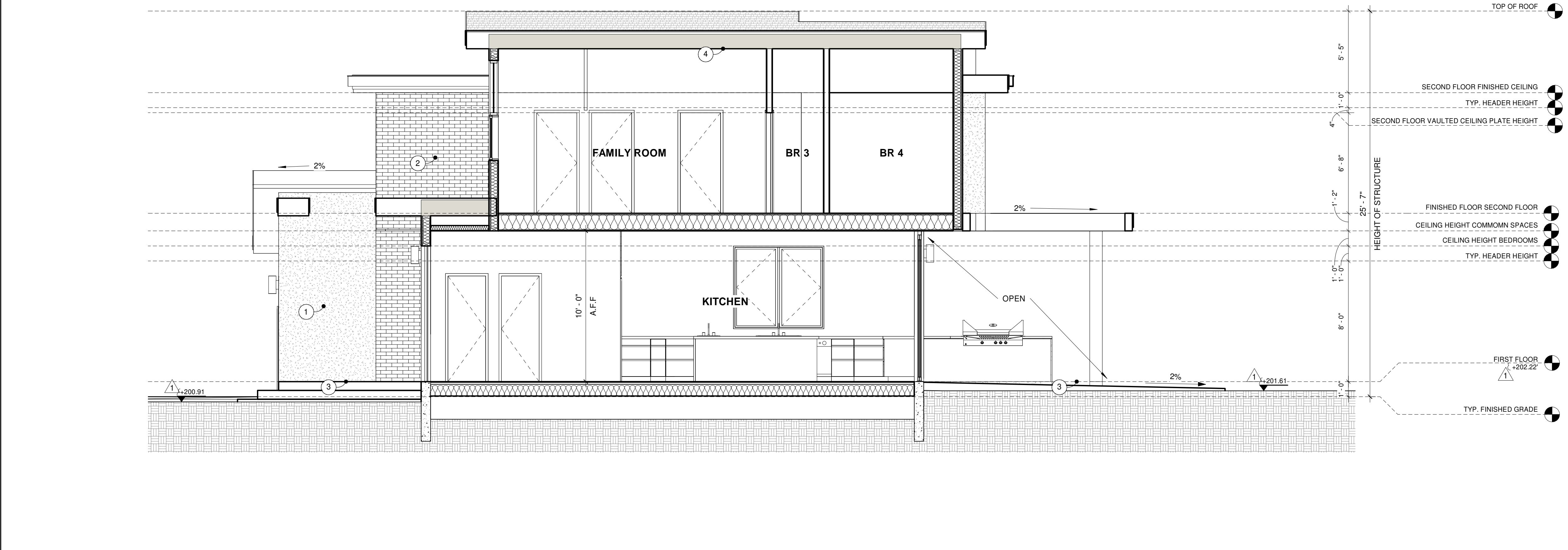
No.	Description	Date
1	PLANNING SUBMITTAL	12.11.2019
1	PLAN CHECK COMMENTS #1	02.13.2020
2	REVISION 1	02.13.2020

Checked By: _____ Checker

SECTIONS

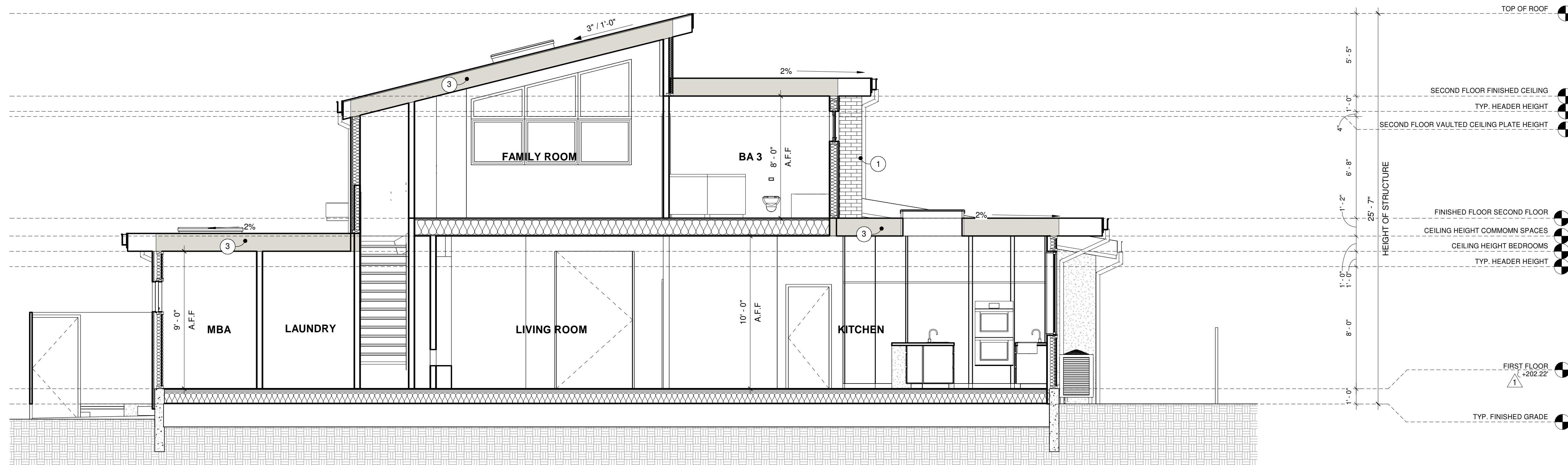
Drawing Scale: As indicated
 Job No. SCHEMATIC DESIGN

A-4.0



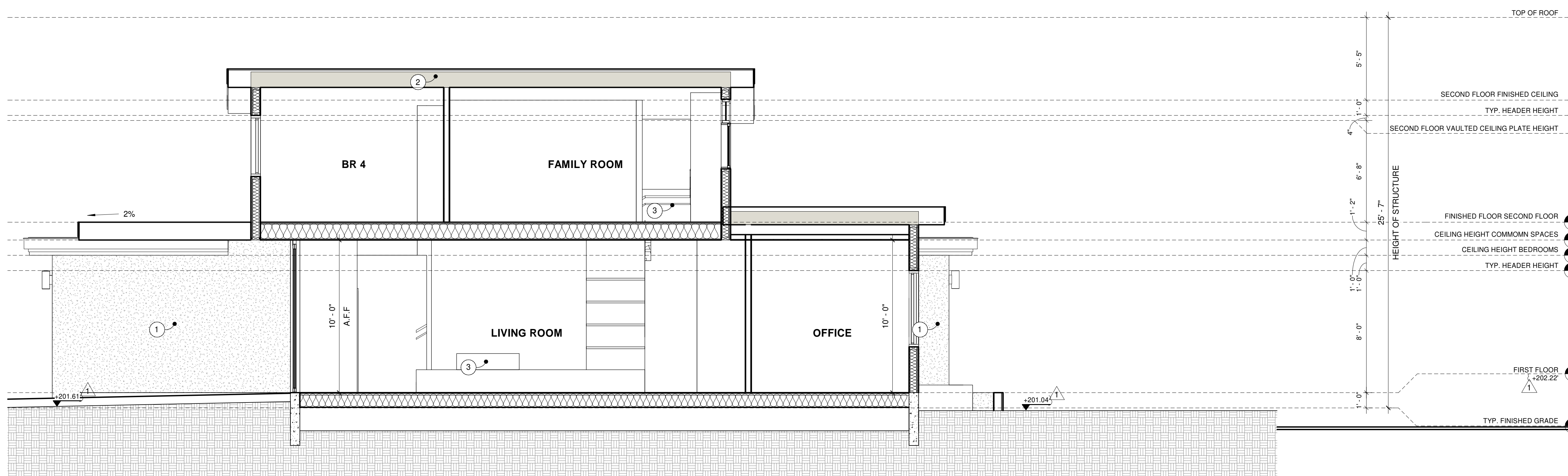
- KEYNOTES**
- 1 STUCCO
 - 2 STACKED STONE
 - 3 EXTERIOR LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE DOOR THRESHOLD. 2016 CRC R311.3.2
 - 4 FOAM INSULATED CEILINGS

2 SECTION- BB
1/4" = 1'-0"



- KEYNOTES**
- ① STUCCO
 - ② STACKED STONE
 - ③ FOAM INSULATED CEILINGS

1 SECTION- CC
1/4" = 1'-0"



- KEYNOTES**
- ① STUCCO
 - ② FOAM INSULATED CEILINGS
 - ③ (N) GAS FIREPLACE

2 SECTION- DD
1/4" = 1'-0"

**1060 GOLDEN WAY
LOS ALTOS, CA 94024**

ADDITION AND REMODEL
OWNER: OREN NAIM AND ELINOR WAHRMANN

**BEKOM
DESIGN**

WWW.BEKOMDESIGN.COM
E-MAIL: INFO@BEKOMDESIGN.COM
Tel: 408.203.4686
/ 408.726.0017

ISSUANCES

No.	Description	Date
1	PLANNING SUBMITTAL	12.11.2019
1	PLAN CHECK COMMENTS #1	02.13.2020
2	REVISION 1	02.13.2020

Checked By: _____ Checker

SECTIONS

Drawing Scale: 1/4" = 1'-0"

Job No. SCHEMATIC DESIGN

A-4.1

CITYMULTI Model: PUMY-P60NKMU (-BS) **MITSUBISHI ELECTRIC**

Job Name: _____
 Schedule Reference: _____ Date: _____

OUTDOOR VRF SYSTEM FEATURES

- Single-phase outdoor unit with variable refrigerant flow (VRF) zoning technology
- Inverter-driven (variable speed) compressor
- Total refrigerant piping length of 492' (150 m)
- Connects up to 12 indoor units
- Uses CITY MULTI indoor units and Controls Network

UNIT OPTION

- Standard Model.....PUMY-P60NKMU
- Sea Coast (BS) Model.....PUMY-P60NKMU-BS

OPTIONAL PARTS

- Joint Kit.....for details see Pipe Accessories Submittal
- Header Kit.....for details see Pipe Accessories Submittal
- Air Outlet Guide (One Piece)*.....PAC-SH96SG-E
- Wind Baffle (One Piece)*.....WB-PA3
- Drain Pan.....PAC-SH97DP-E
- Drain Socket.....PAC-SH71DS-E
- *PUMY requires two outlet guides and wind baffles for installation.

Specifications	Model Name
Unit Type	PUMY-P60NKMU (-BS)
Nominal Cooling Capacity (208/230V)	Btu/h 60,000
Nominal Heating Capacity (208/230V)	Btu/h 66,000
Operating Temperature Range	Cooling (Outdoor) ¹ 23° F ~ 115° F (-5° ~ +46° C) DB Heating (Outdoor) 4° F ~ +59° F (20° ~ +15° C) WB
External Dimensions (H x W x D)	In./mm 52-11/16 x 41-5/16 x 13 (1316) / 1,338 x 1050 x 330 (+30)
External Finish	Precoated Galvanized-steel Sheets
Net Weight	Lbs./kg 313 / 142
Electrical Power Requirements	Voltage, Phase, Hertz 208 / 230V, 1-phase, 60Hz
Minimum Circuit Ampacity (MCA)	A 35
Recommended Fuse/Breaker Size	A 40
Maximum Fuse Size	A 42
Piping Diameter (Flared) (In./mm)	Liquid (High Pressure) 3/8 / 9.52 Gas (Low Pressure) 3/4 / 19.05
Indoor Unit	Total Capacity 50 to 130% of Outdoor Unit Capacity Model / Quantity P06 to P72 / 1 to 12
Sound Pressure Levels	dB(A) 58/59
Fan	Propeller Fan x 2
Airflow Rate	CFM 4,940
Compressor Operating Range	Cooling 38% to 100% Heating 29% to 100%
Compressor Type x Quantity	INVERTER-driven Scroll Hermetic x 1
Compressor Motor Output	kW 3.0
Refrigerant	R410A
Lubricant	FV50S
High-pressure Protection Device	High Pressure Switch
Compressor / Fan Protection Device	Compressor Thermo / Overcurrent Detection
Inverter Protection Device	Overheat / Voltage Protection
AHRI Ratings	EER 11.3 / 12.5 SEER 16.5 / 16.7 COP 3.70 / 3.14
Ducted (06 + 06 + 06 + 18 + 24)	
Non-Ducted (24 + 24 + 06 + 06)	
Blue Fin Anti-corrosion Protection:	Cellulose- and polyurethane-resin coating treatment applied to condenser coil that protects it from air contaminants; 2µm thick, Salt Spray Test Method - no unusual rust development to 960 hours.

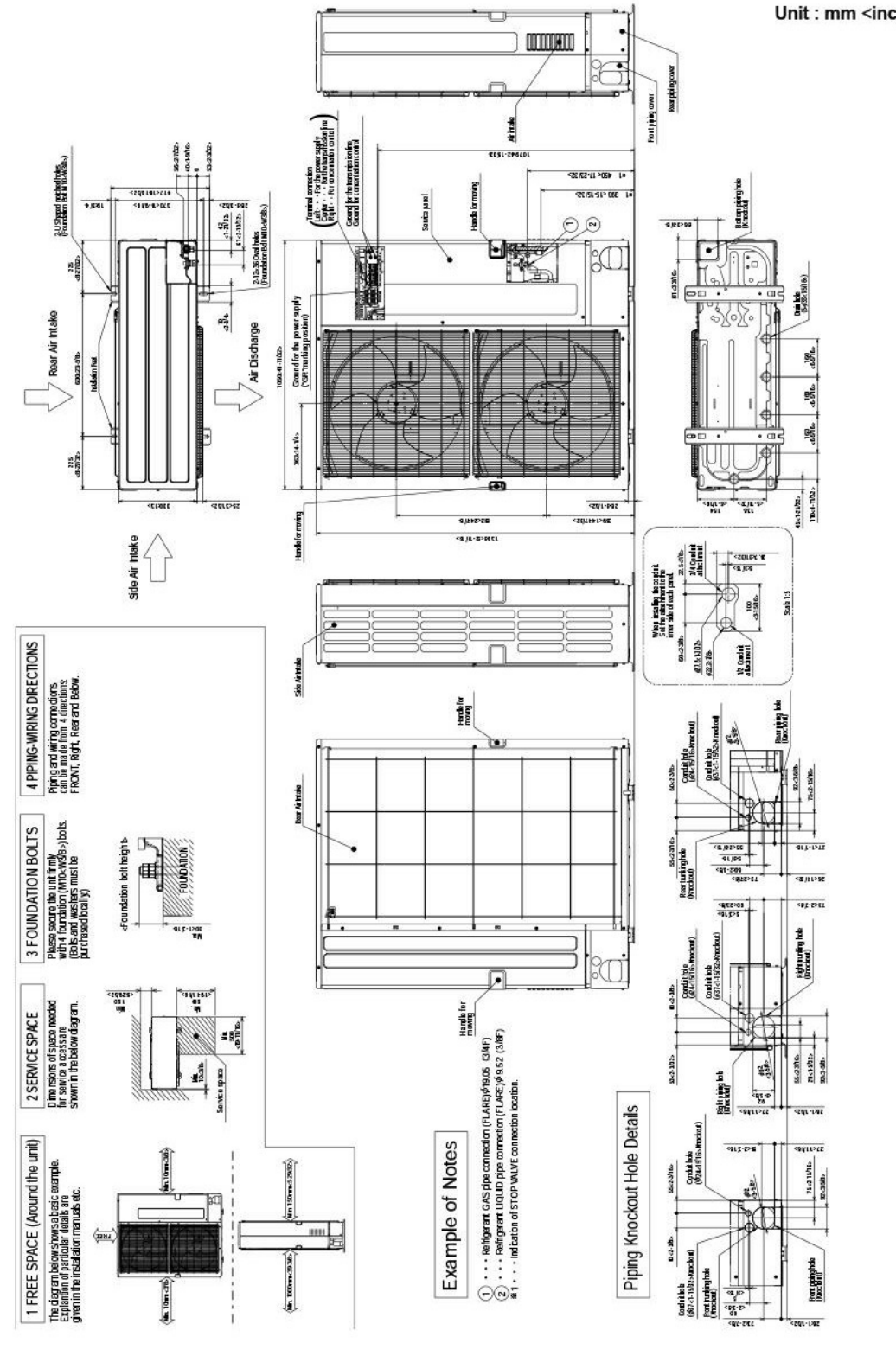
NOTES:
¹ If PKF-Y-P0608 indoor units are connected, then range is 50° F ~ 115° F (10° C ~ 46° C).

SEACOAST PROTECTION

- External Panel Base, External Front Panel, Pillar: Alloyed galvanized-steel sheets with thermoset polyester-resin coating on internal and external surfaces
- Compressor Cover: Galvanized-aluminum sheets with thermoset polyester-resin coating on internal and external surfaces
- Electrical Parts Box: Galvanized-aluminum sheets with thermoset polyester-resin coating on external surface
- Fan Motor Support: Galvanized-steel sheets with thermoset polyester-resin coating on internal and external surfaces
- Printed Circuit Board: Epoxy resin with polyurethane-coating on external surface

Specifications are subject to change without notice.
 © 2015 Mitsubishi Electric US, Inc.

Model: PUMY-P60NKMU (-BS) - DIMENSIONS

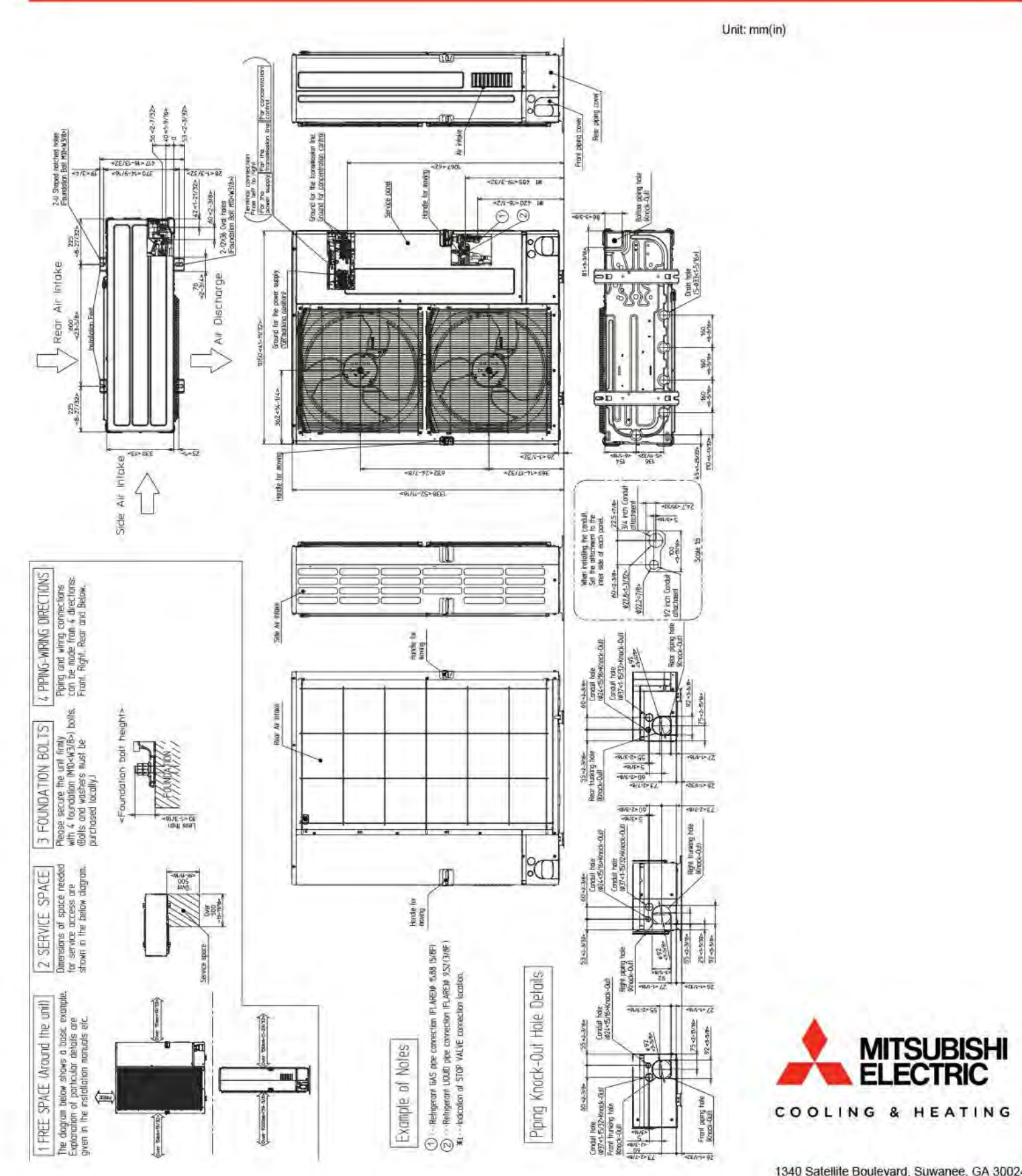


AHRI CERTIFIED **INVERTER** **410** **MITSUBISHI ELECTRIC** **COOLING & HEATING**

1340 Satellite Boulevard
 Suwanee, GA 30024
 Toll Free: 800-433-4622
 www.mehvac.com

FORM# PUMY-P60NKMU (-BS) -201504
 Specifications are subject to change without notice.
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DIMENSIONS: PUMY-HP36NKMU



MITSUBISHI ELECTRIC **COOLING & HEATING**

1340 Satellite Boulevard, Suwanee, GA 30024
 Toll Free: 800-433-4622 www.mehvac.com

AHRI CERTIFIED **INVERTER** **Ki**

FORM# PUMY-HP36NKMU -201902
 Specifications are subject to change without notice. © 2019 Mitsubishi Electric Trane HVAC US LLC

SPECIFICATIONS: PUMY-HP36NKMU

Nominal Cooling Capacity (208/230V) ¹	Btu/h	36,000
Nominal Heating Capacity (208/230V) ²	Btu/h	42,000
Operating Temperature Range	Cooling (Outdoor) 5° to 115° F (-15 to +46° C) DB ^{3,4} Heating (Outdoor) -13° to +59° F (25° to +15° C) WB	
External Dimensions (H x W x D)	In./mm	52-11/16 x 41-11/32 x 13+1 / 1,338 x 1050 x 330+25
Net Weight	Lbs./kg	273 / 124
External Finish		Galvanized sheets (+power coating for -BS type) \leqMUNSELL 3Y 7.8/1.1 ⁵
Electrical Power Requirements	Voltage, Phase, Hertz	208/230V, 1-Phase, 60Hz
Minimum Circuit Ampacity (MCA)	A	36
Maximum Overcurrent Protection (MOP)	A	44
Recommended Fuse Size	A	40
Short-circuit Current Rating (SCCR)	kA	5
Piping Diameter (Flare) In./mm	Liquid (High Pressure) 3/8 (9.52) Flare Gas (Low Pressure) 5/8 (15.88) Flare	
Indoor Unit	Total Capacity	50-130% of outdoor unit capacity
	Model / Quantity	P05-P36 / 1-9
Fan Type x Quantity		Propeller fan x 2
Fan Motor Output	kW	0.074 + 0.074 (two fan motors)
Airflow Rate	CFM	3,885
Compressor Operating Range	Cooling	29% to 100%
	Heating	17% to 100%
Compressor Type x Quantity		INVERTER-driven Scroll Hermetic x 1
Compressor Motor Output	kW	2.8
Sound Pressure Level	Cooling	49
	Heating	53
Refrigerant		R410A, (10 lbs + 9 oz) (4.8kg)
Lubricant		FV50S (2.3 liters)
Protection Devices	High Pressure	High pressure sensor, High pressure switch 601 psi (4.15 MPa)
	Inverter Circuit	Over-heat protection, Over-current protection
	Compressor	Discharge thermo protection, Over-current protection
AHRI Ratings (Ducted / Non-Ducted)	EER	12.6 / 15.0
	SEER	18.3 / 22.3
	COP	3.7 / 4.0
	HSPF	11.7 / 12.0

Notes:
¹Cooling | Indoor: 81° F (27° C) DB / 66° F (19° C) WB, Outdoor: 95° F (35° C) DB
²Heating | Indoor: 68° F (20° C) DB, Outdoor: 45° F (7° C) DB / 43° F (6° C) WB
³When using Wind Baffles [WB-PA3], the minimum operating range is 5° F. Without Wind Baffles, the minimum operating range is 23° F.
⁴When connecting PKF-Y-P0608/P08N8MU/PFFY-P06/08/12N2MU or PFFY-P06/08/12NRMU indoor units, the minimum operating range is 50° F.
⁵When connecting PKF-Y-P0608/P08N8MU/PFFY-P06/08/12N2MU indoor units, the minimum operating range is 50° F.

Specifications are subject to change without notice. © 2019 Mitsubishi Electric Trane HVAC US LLC

CITYMULTI MODEL: PUMY-HP36NKMU **MITSUBISHI ELECTRIC**

Job Name: _____
 System Reference: _____ Date: _____

OUTDOOR VRF SYSTEM



- FEATURES**
- Connects up to 9 indoor units
 - Single-phase outdoor unit with Variable Refrigerant Flow Zoning (VRF) technology
 - Service accessible through both a front and side panel
 - Up to 964 ft. of total pipe length
 - Drape pan heater standard
 - 100% heating capacity at 5° F
 - 78% heating capacity at -13° F utilizing flash injection technology
 - ENERGY STAR[®] certified units¹

- ACCESSORIES**
- Joint Kit (for details see Pipe Accessories Submittal)
 - Header Kit (for details see Pipe Accessories Submittal)
 - Air Outlet Guide (One Piece)² (PAC-SH96SG-E)
 - Front Wind Baffle (One Piece)² (WB-PA3)
 - Drain Pan (PAC-SH97DP-E)
 - Drain Socket (PAC-SG61DS-E)
 - Air Deflector Vertical (ADV-1)

¹ENERGY STAR products are third-party certified by an EPA-recognized Certification Body
²PUMY requires two outlet guides and wind baffles for installation.

Specifications are subject to change without notice. © 2019 Mitsubishi Electric Trane HVAC US LLC

Sound Rating (Decibels)	Distance to Property Line
64	6 feet
66	8 feet
68	11 feet
70	14 feet
72	18 feet
74	22 feet

Required setbacks per Planning Division calculations for locating air conditioning units in order to meet the Noise Control Ordinance limit of 50 dBA at the property line.

1060 GOLDEN WAY
 LOS ALTOS, CA 94024

ADDITION AND REMODEL
 OWNER: OREN NAIM AND ELINOR WAHRMANN



WWW.BEKOMDESIGN.COM
 E-MAIL: INFO@BEKOMDESIGN.COM
 Tel: 408.203.4686
 / 408.726.0017

ISSUANCES

No.	Description	Date
1	PLANNING SUBMITTAL	12.11.2019
1	PLAN CHECK COMMENTS #1	02.13.2020
2	REVISION 1	02.13.2020

Checked By: _____ Checker

SPECIFICATIONS

Drawing Scale: NOT TO SCALE

Job No. SCHEMATIC DESIGN

A-8.4

SURVEYOR'S NOTE

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

Kenneth D. Wilson 9/12/19
KENNETH D. WILSON LS 5571

GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).

SITE BENCHMARK

BENCHMARK FOR THIS SURVEY IS BASED ON ASSUMED DATUM BASED ON CONTROL POINT 67 BEING A SET MAGNAIL AND TIN IN ASPHALT ALONG EAST RIGHT OF WAY OF GOLDEN WAY HAVING AN ASSUMED ELEVATION OF 200.00'.

EASEMENT NOTE

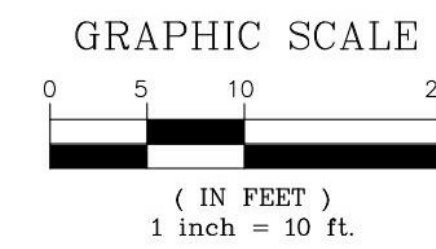
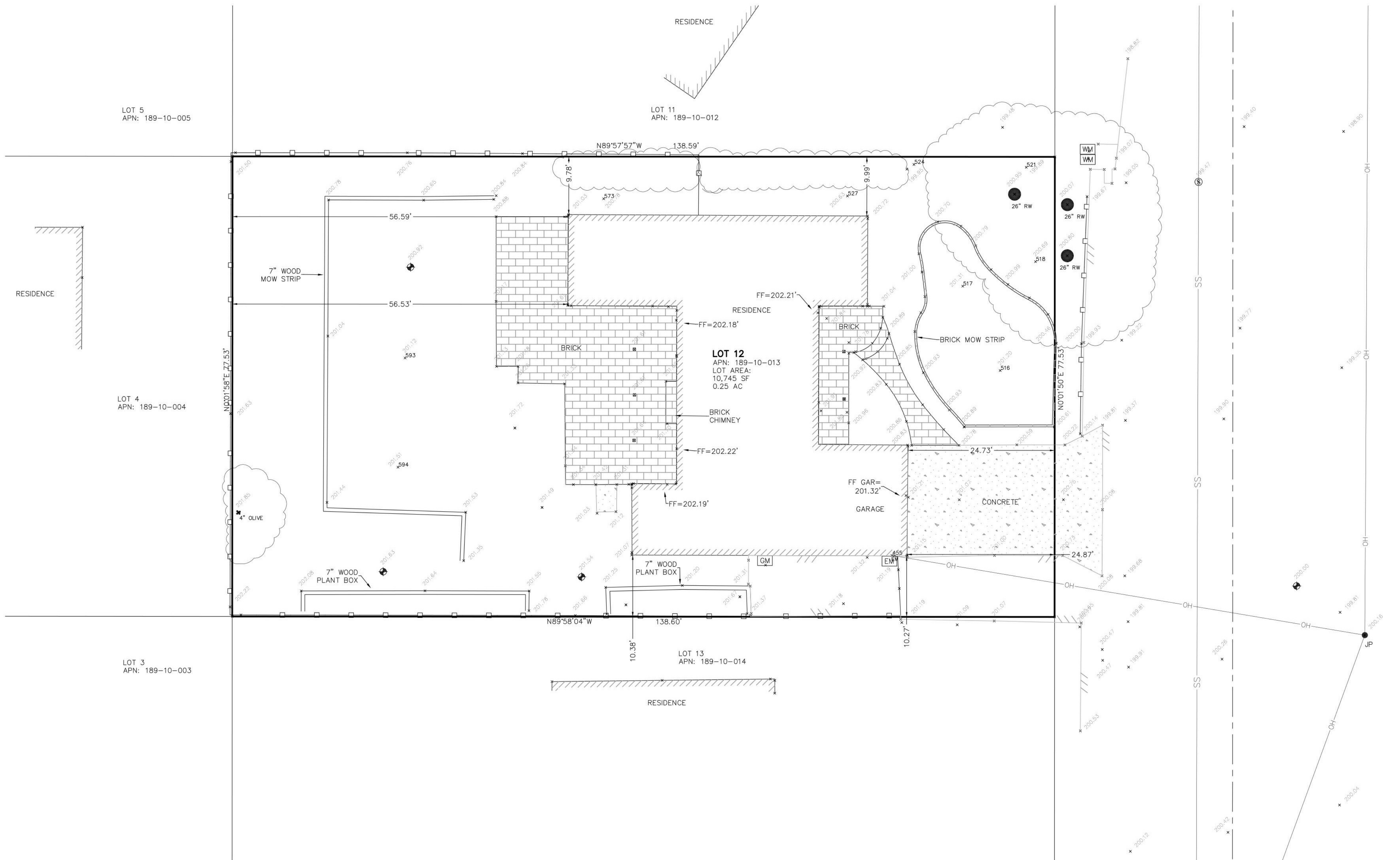
A TITLE REPORT WAS NOT AVAILABLE FOR THIS PROPERTY WHEN THE MAP WAS PREPARED. CAUTION SHOULD BE EXERCISED WHEN DESIGNING THE SITE. THERE MAY BE EXISTING EASEMENTS THAT IMPACT THE PROPERTY.

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

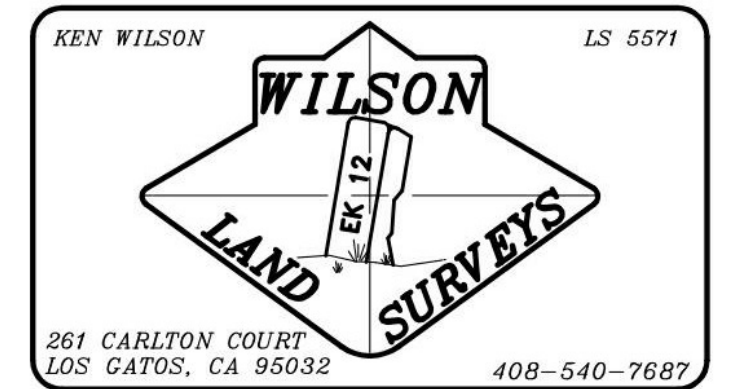
LEGEND

- FOUND AS NOTED
- SET 5/8" REBAR LS 5571 UNLESS OTHERWISE NOTED
- SET NAIL AND BRASS TAG LS 5571 IN CONCRETE
- SET WOODEN HUB ON PROPERTY LINE OR AT OFFSET AS NOTED
- ⊕ FIRE HYDRANT
- ⊗ WATER VALVE
- ⊠ WATER METER
- ⊞ JOINT POLE
- ⊟ UTILITY POLE
- ⊠ TELEPHONE POLE
- ⊞ GUYWIRE
- W — BLUE PAINT— EVIDENCE OF UG WATER LINE
- ⊠ ELECTRIC METER
- ⊠ GAS METER
- G — YELLOW PAINT, EVIDENCE OF UG GAS LINE
- ⊠ PHONE PEDESTAL
- ⊠ PHONE BOX
- ⊠ PHONE MANHOLE
- P — ORANGE PAINT, EVIDENCE OF UG PHONE LINE
- ⊠ TRAFFIC SIGNAL CONTROL BOX
- ⊠ LIGHT POLE
- ⊠ TV BOX
- OH — OVERHEAD LINE
- TV — ORANGE PAINT, EVIDENCE OF UG TV LINE
- ⊠ HANDICAP RAMP
- ⊠ STORM DRAIN MANHOLE
- ⊠ DROP INLET
- ⊠ PHONE MANHOLE
- ⊠ SEWER MANHOLE
- ⊠ SEPTIC TANK ACCESS
- ⊠ SANITARY SEWER CLEANOUT
- ⊠ SIGN
- ⊠ CONTROL POINT
- ⊠ LAMP POST
- ⊠ ELECTRIC BOX
- ⊠ WALL
- ⊠ BOLLARD
- ⊠ WOOD FENCE
- ⊠ CONCRETE
- LO LIVE OAK
- WO WHITE OAK
- RW REDWOOD
- EUC EUCALYPTUS
- — PROPERTY LINE
- — EDGE OF PAVEMENT
- — P.U.E. PUBLIC UTILITY EASEMENT
- — S.P.E. SLOPE PROTECTION EASEMENT
- TYP. TYPICAL



SU-1

Email: ken@wilsonlandsurveys.com
www.wilsonlandsurveys.com



NOTE

WE WERE INFORMED BY THE CLIENT THAT FOUR TREES WERE REMOVED DUE TO DISEASE. THE INFORMATION SHOWN ON THIS MAP REFLECTS THAT ADJUSTMENT. DATE OF REVISION IS DEC 10, 2019.

BOUNDARY AND TOPOGRAPHIC SURVEY

AS REQUESTED BY:	
OREN NAIM	
LEGAL DESCRIPTION: LOT 12 OF TRACT 942 AS SHOWN ON 36 "M" 4 IN THE CITY OF LOS ALTOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA	
APN: 189-10-013	DATE: SEPTEMBER 2019
FILENAME: K-092 NAIM GOLDEN TOPO	SITE ADDRESS: 1060 GOLDEN WAY, LOS ALTOS, CA 94024
DRAWN BY: BEL	SCALE: 1" = 10'
PROJECT: K-092	JOB NUMBER: K-092
SHEET: 1 OF 1	

CONTROL POINTS

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
67	19,568.113	10,709.231	200.00	CP MAGNIN
81	19,570.517	10,555.278	201.63	CP SPIKE
82	19,569.639	10,588.717	201.54	CP SPIKE
83	19,621.841	10,559.899	200.92	CP SPIKE



This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on the map. The information shown herein shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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