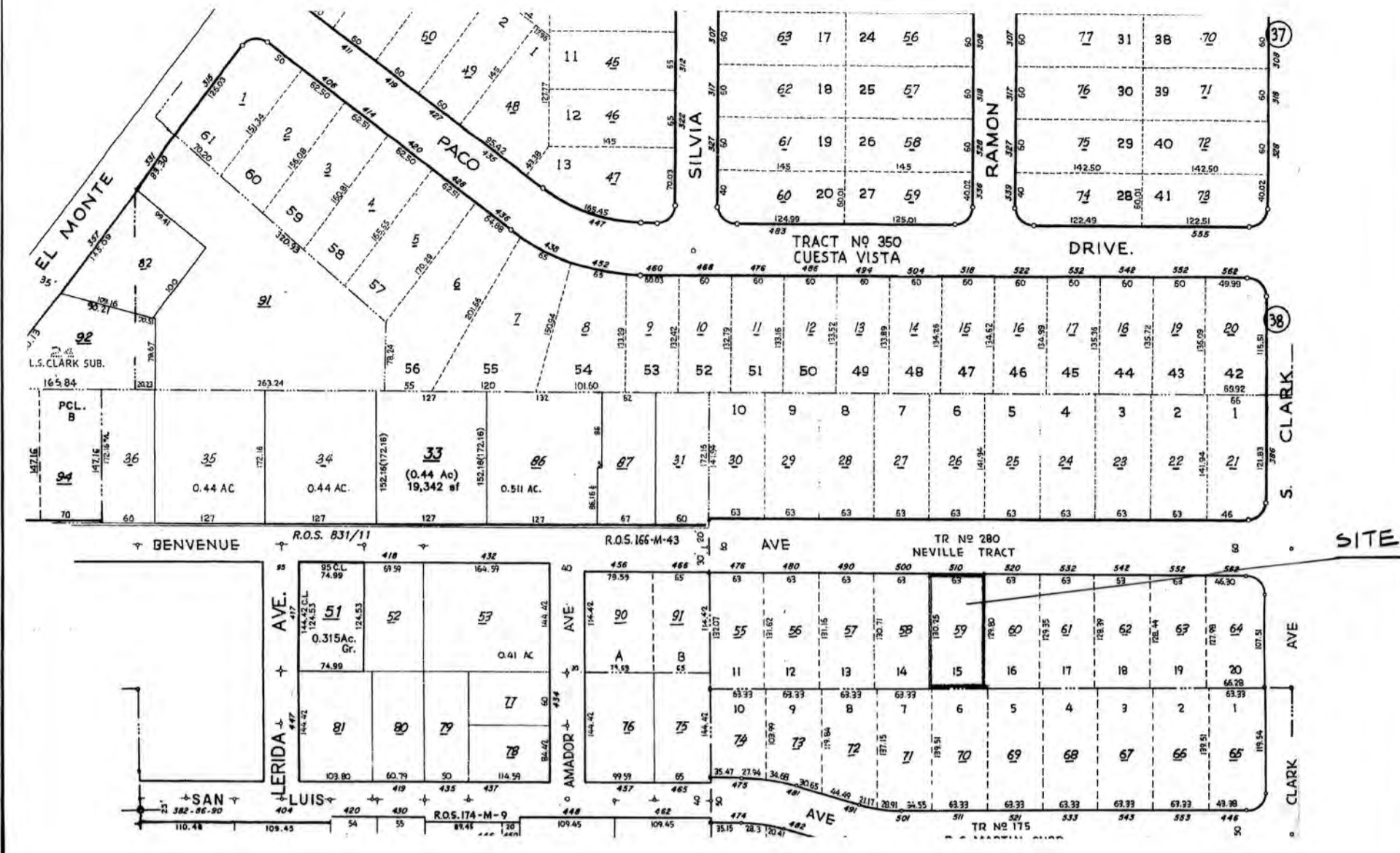


AREA MAP
N.T.S.



LOCAL MAP
N.T.S.

CURRENT ADOPTED CODES

- 2016 CALIFORNIA BUILDING CODE:
- Part 1 California Administrative Code
 - Part 2 California Building Code, Vols 1&2
 - Part 3 California Electrical Code
 - Part 4 California Mechanical Code
 - Part 5 California Plumbing Code
 - Part 6 California Energy Code
 - Part 8 California Historical Building Code
 - Part 9 California Fire Code
 - Part 10 California Mechanical Code
 - Part 11 California Green Building Stds Code
 - Part 12 California Referenced Standards Code

UPDATED:

- 2015 Int'l Code for Property Maintenance
- 2015 International Existing Building Code, Ch. 9,14, & Appendices A1, A2, A3, A4, A5

PROJECT DATA:

ADDRESS: 510 Benvenue Ave.
Los Altos, CA 94024

APN: 189-52059

ZONING: R1-10

EXISTING USE: Single-Family

PROPOSED USE: Single-Family

LOT SIZE: 8191.0 sq. ft.

CONSTRUCTION TYPE: V-B

OCCUPANCY:
Dwelling R-3
Detached garage U

TOTAL CONDITIONED FLOOR AREA: 4198.0 sq. ft.

PROJECT DESCRIPTION:

NEW DWELLING WITH NEW DETACHED GARAGE.

SHEET INDEX

- T-1 Title Sheet, Project Data, Conditions of Approval
- T-2 (E) Dwelling Floor Plan, FAR and Coverage Calculations
- T-3 (E) Dwelling Elevations
- T-4 New FAR and Coverage Calcs, 1st & 2nd story Diagrams
- T-5 Basement Floor Area Calculations & Diagram
- T-6 Neighborhood Contact Map
- T-7 Neighborhood Trees & Driveways
- T-8 Neighborhood Compatibility Work Sheet Photos
- L-1 Site Plan
- L-2 Landscaping Plan
- L-3 Topographic & Boundary Survey
- C1.0 Grading & Drainage Plan
- C2.0 Utility Plan
- C3.0 Stormwater Control Plan
- A-1 First Floor Plan
- A-2 Second Floor Plan
- A-3 Basement Floor Plan
- A-4 Roof Plan
- A-5 Building Section "A" & "D"
- A-6 Building Section "B"
- A-7 Building Section "C"
- A-8 Front Elevation
- A-9 Rear Elevation
- A-10 Left Elevation
- A-11 Right Elevation
- A-12 Detached Garage: Plans, Elevations, Building Sections

DIRECTORY :

OWNER: Mr. & Mrs. Jay Garg
1347 American Way
Menlo Park, CA 94025
P: 650.862.8508

ARCHITECT: Summers & Novick
430 Monterey Ave. 5A
Los Gatos, CA 95030
P: 408.656.3948
P: 408.348.3809
galina.novick@gmail.com
bavarchitect@verizon.net

LAND SURVEYOR : DMG Engineering, Inc.
30 Oakvue Court
Pleasant Hill, CA 94523
P: 925.787.0463

CIVIL ENGINEER: Ramsey Civil Engineering, Inc.
2905 Kristie Ct
Santa Cruz, CA 95065
P: 831.462.2905
David@ramseyce.com

Project Summary Tables

	ZONING COMPLIANCE		
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2217.0 square feet (27. %)	2179.4 square feet (26.6 %)	2457.3 square feet (30. %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 2157.0 sq ft 2nd Flr: _____ sq ft Total: 2157.0 sq ft (26. %)	1st Flr: 1790.8 sq ft 2nd Flr: 1071.2 sq ft Total: 2862.0 sq ft (34.9 %)	2866.8 square feet (35. %)
SETBACKS:			
Front	25.0 feet	26.5 feet	25.0 feet
Rear	47.2 feet	43.5 feet	23.0 feet
Right side (1 st /2 nd)	9.7 feet/ - feet	14.4 feet/14.4 feet	6.3 feet/13.8 feet
Left side (1 st /2 nd)	10.8 feet/ - feet	11.5 feet/14.0 feet	6.3 feet/13.8 feet
HEIGHT:	18.0 feet	22.9 feet	27.0 feet

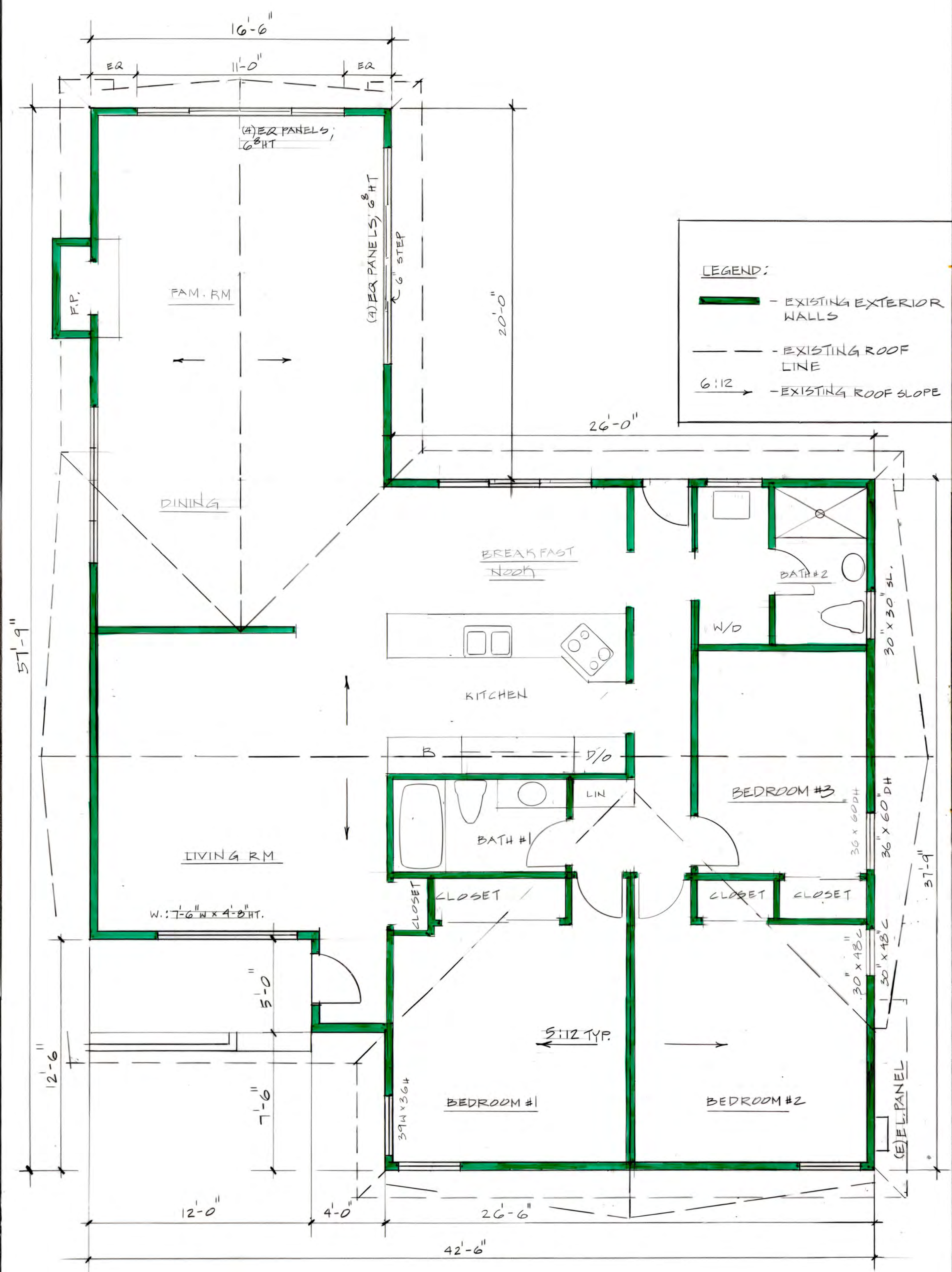
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	1754.5 square feet	-2443.5 square feet	4205.1 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	402.5 square feet	-193.5 square feet	209.0 square feet

LOT CALCULATIONS	
NET LOT AREA:	8191.0 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	574.0 square feet (36 %)
LANDSCAPING BREAKDOWN:	
Total hardscape area (existing and proposed):	4271.0 sq ft
Existing softscape (undisturbed) area:	720.0 sq ft
New softscape (new or replaced landscaping) area:	3200.0 sq ft
<i>Sum of all three should equal the site's net lot area</i>	

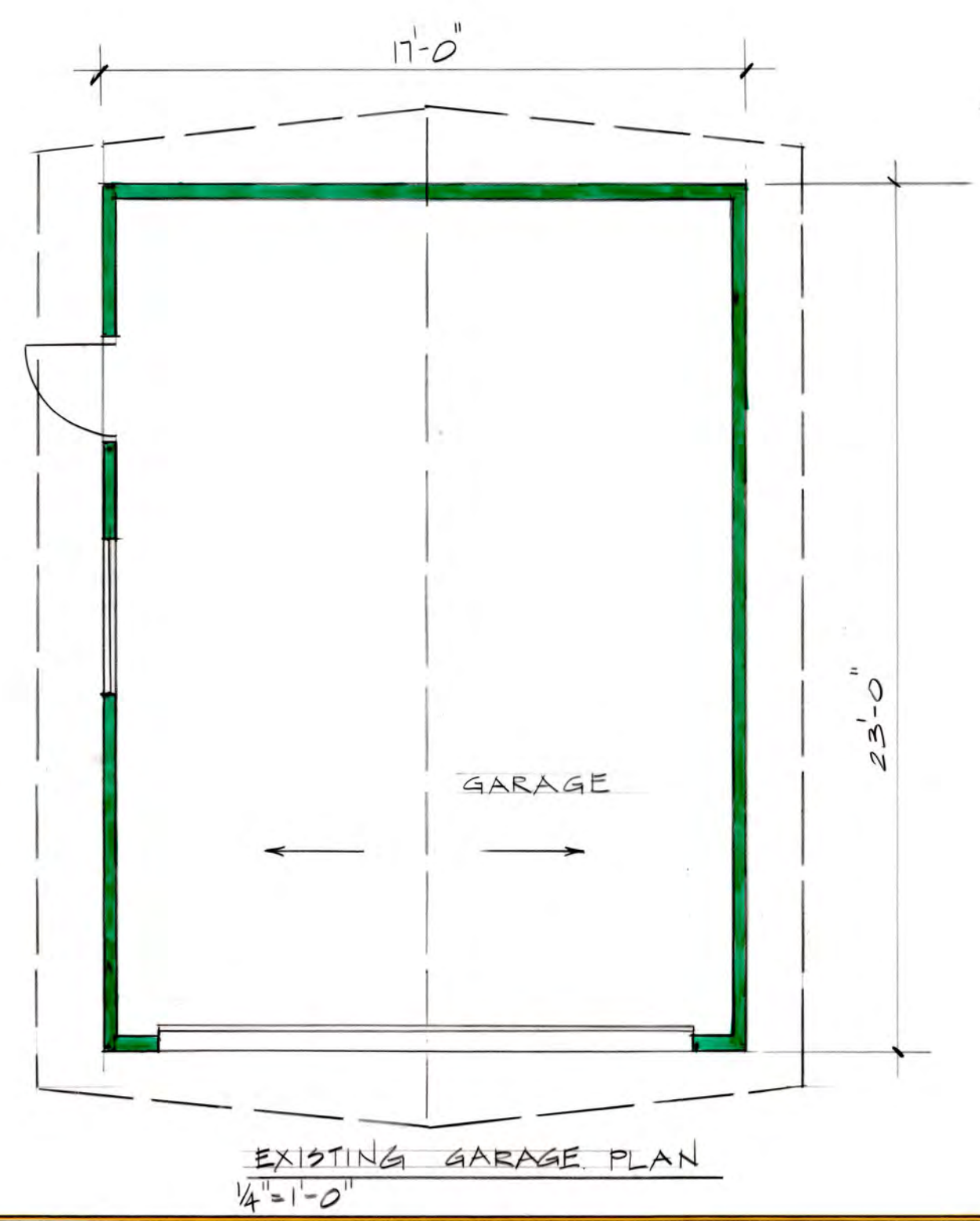
All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE
△	10-15-19
△	11-20-19

Approved:
Date: 6-20-19
Scale: NOTED
Drawn: GN
Job:
Sheet: T-1



EXISTING DWELLING FLOOR PLAN: 3BR / 2BATH
 1/4" = 1'-0"



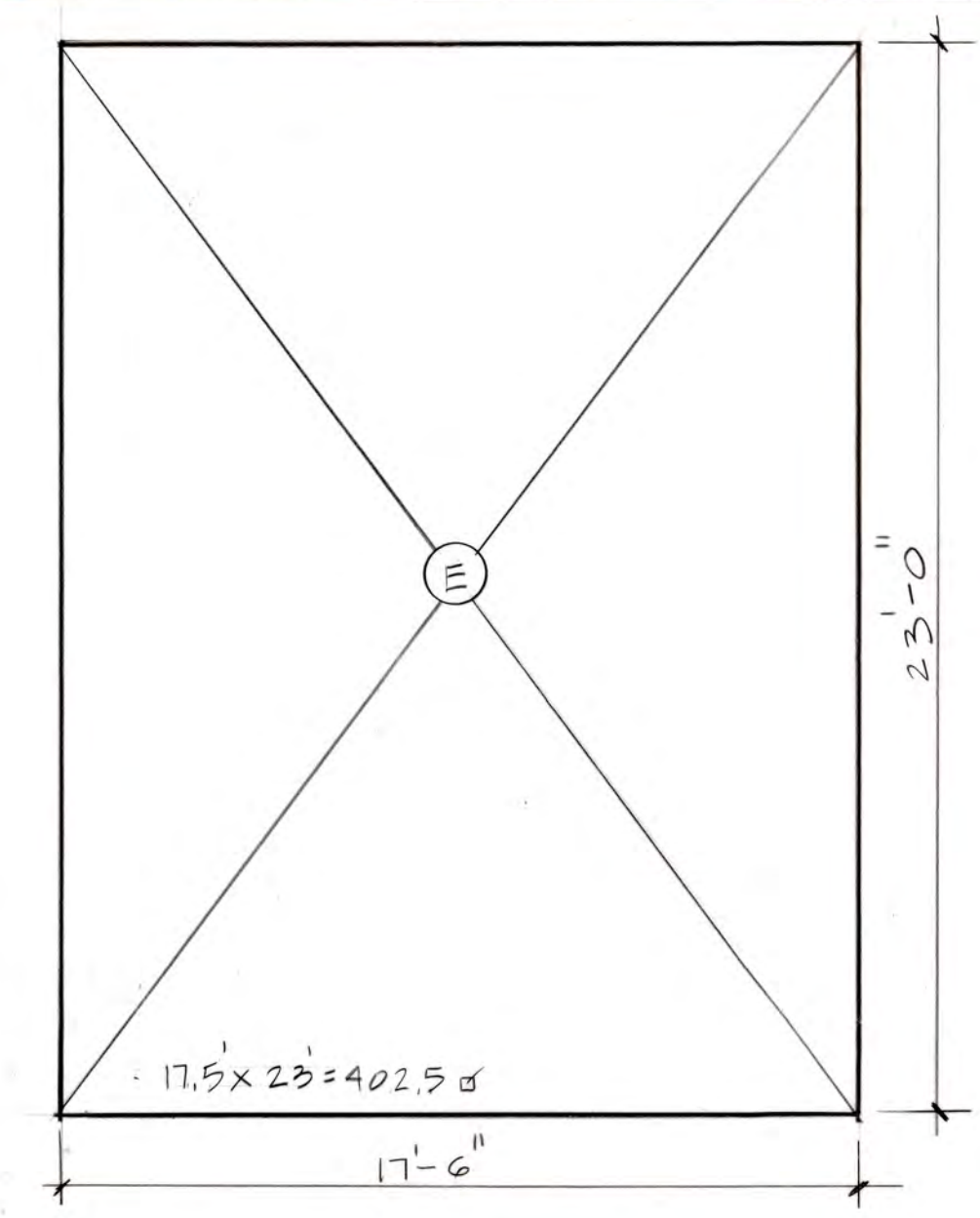
EXISTING GARAGE PLAN
 1/4" = 1'-0"

FLOOR AREA & COVERAGE CALCULATIONS

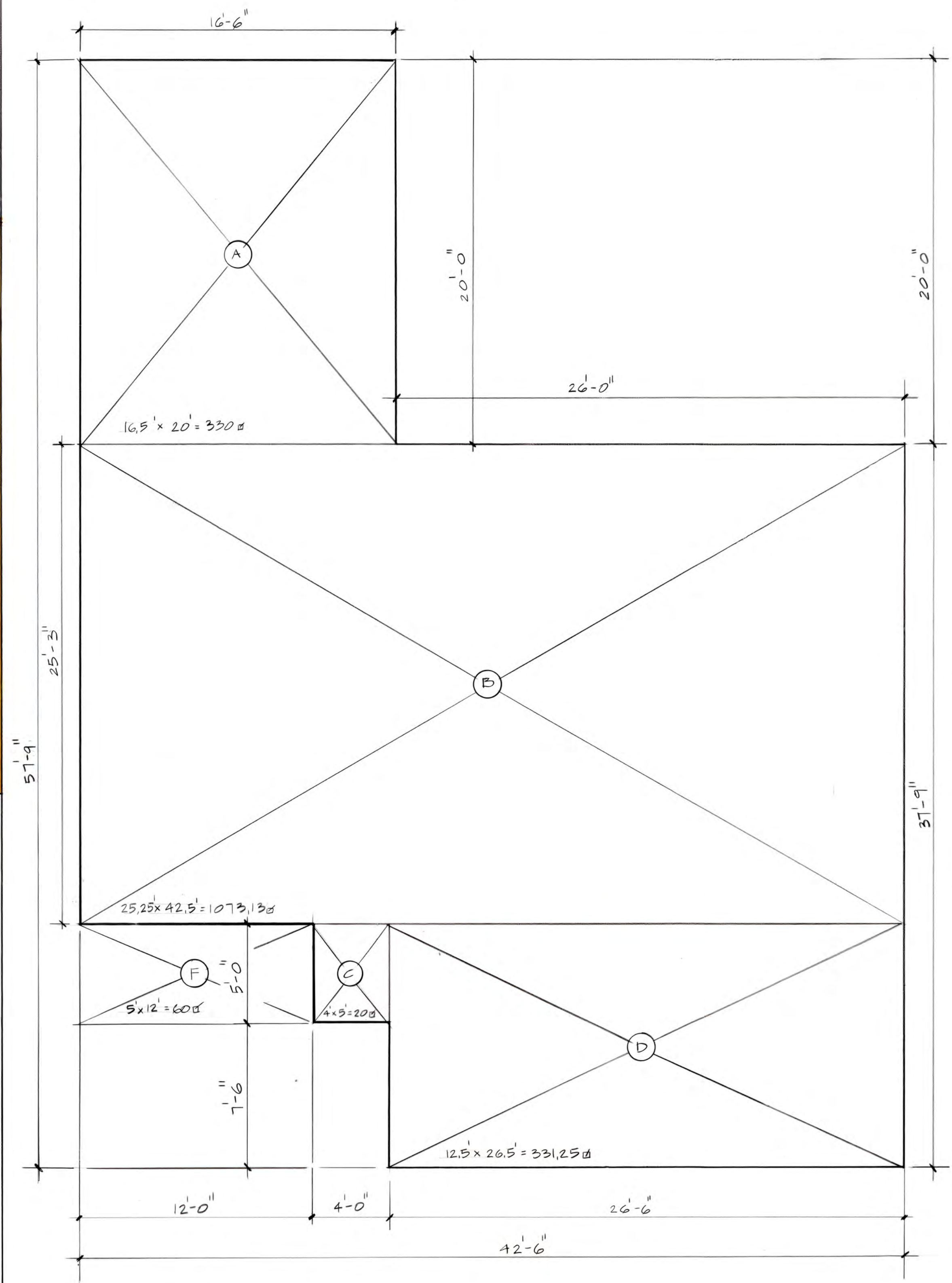
SECTION	DIMENSIONS	AREA
(A)	16.5' x 20'	330.0 sq FT
(B)	22.5' x 42.5'	1073.25 sq FT
(C)	4' x 5'	20.0 sq FT
(D)	12.5' x 26.5'	331.25 sq FT
(E)	17.5' x 23'	402.5 sq FT
TOTAL FLOOR AREA		2157.0 sq FT

SECTION	DIMENSIONS	AREA
(F)	5' x 12'	60.0 sq FT
TOTAL LOT COVERAGE		2217.0 sq FT

HABITABLE AREA: 1754.5 sq FT (2157.0 sq FT - 402.5 sq FT)



EXISTING GARAGE AREA CALC.
 1/4" = 1'-0"



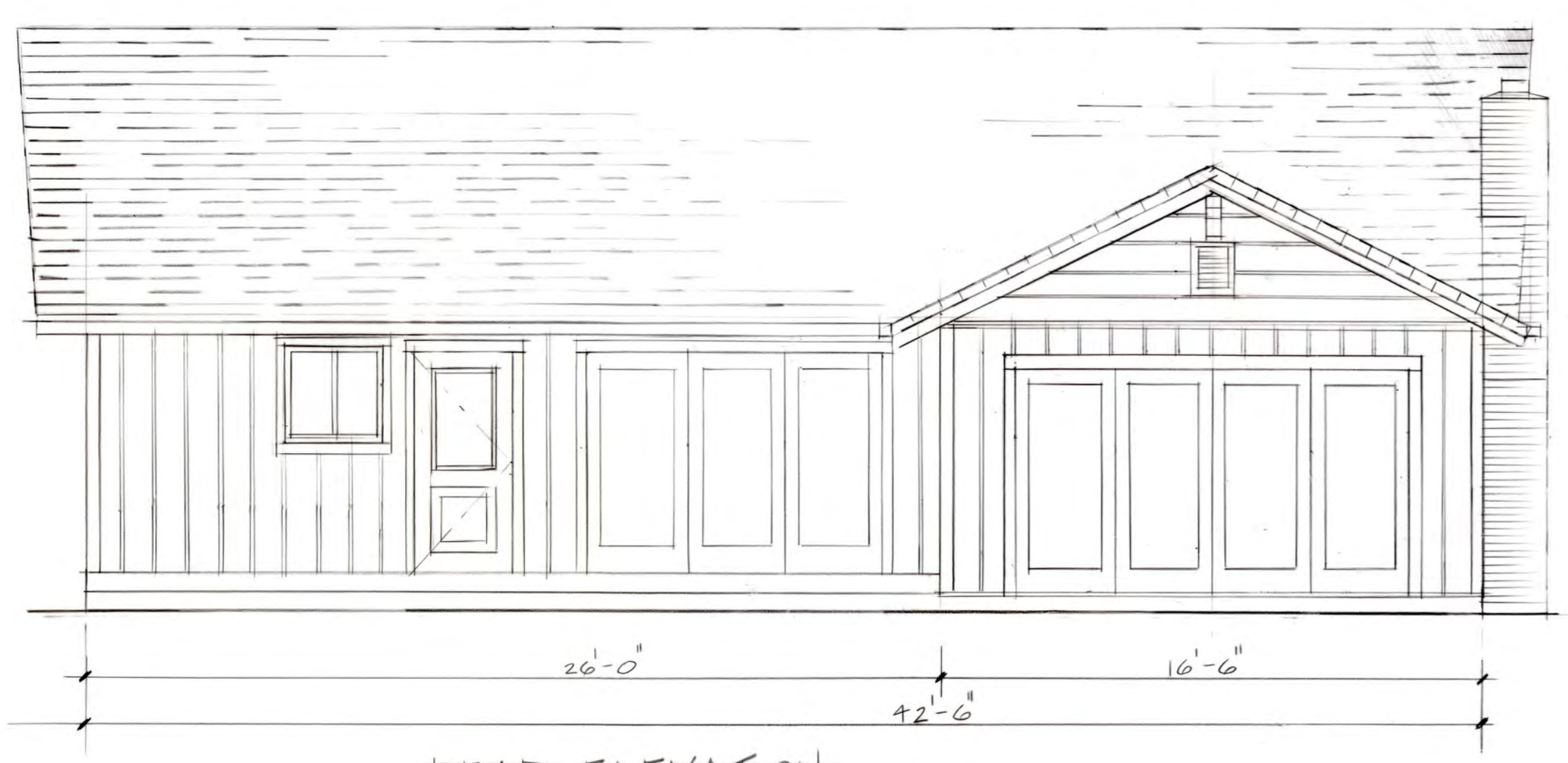
EXISTING FLR AREA & LOT COVERAGE CALCULATIONS
 1/4" = 1'-0"

All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

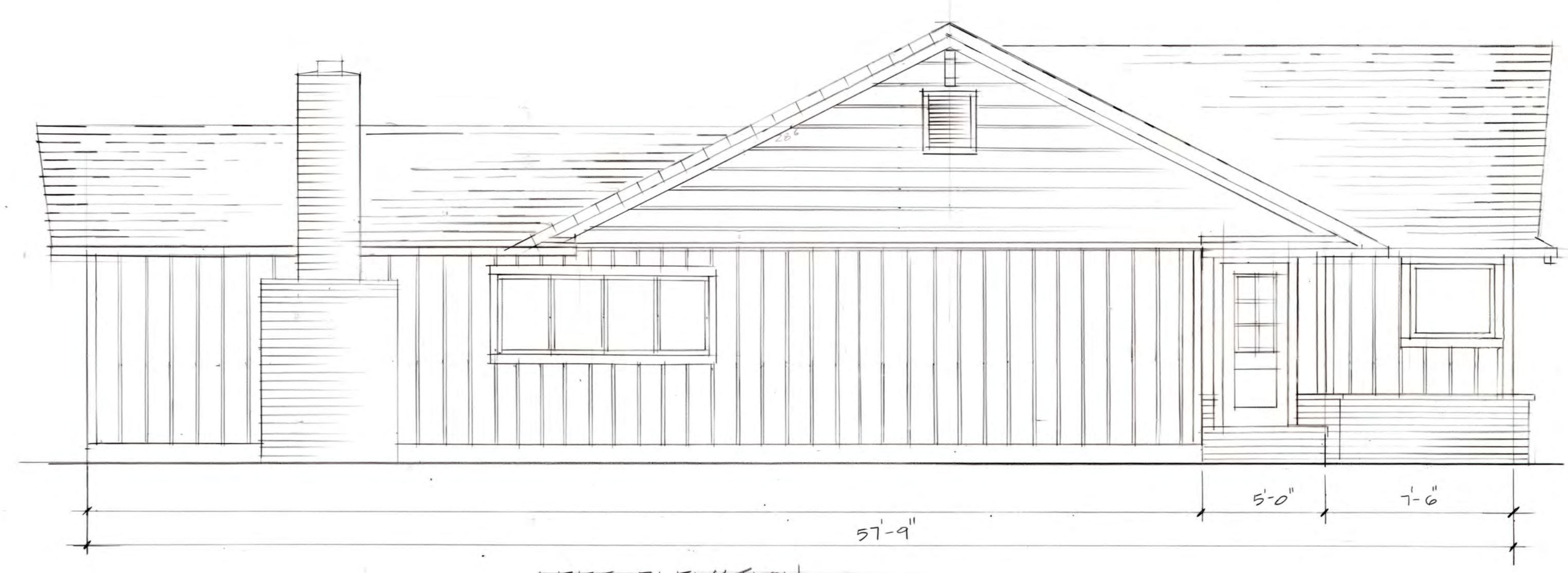
REV.	DATE

Approved:
 Date: 6-20-19
 Scale: NOTED
 Drawn: GN
 Job:
 Sheet: **T-2**

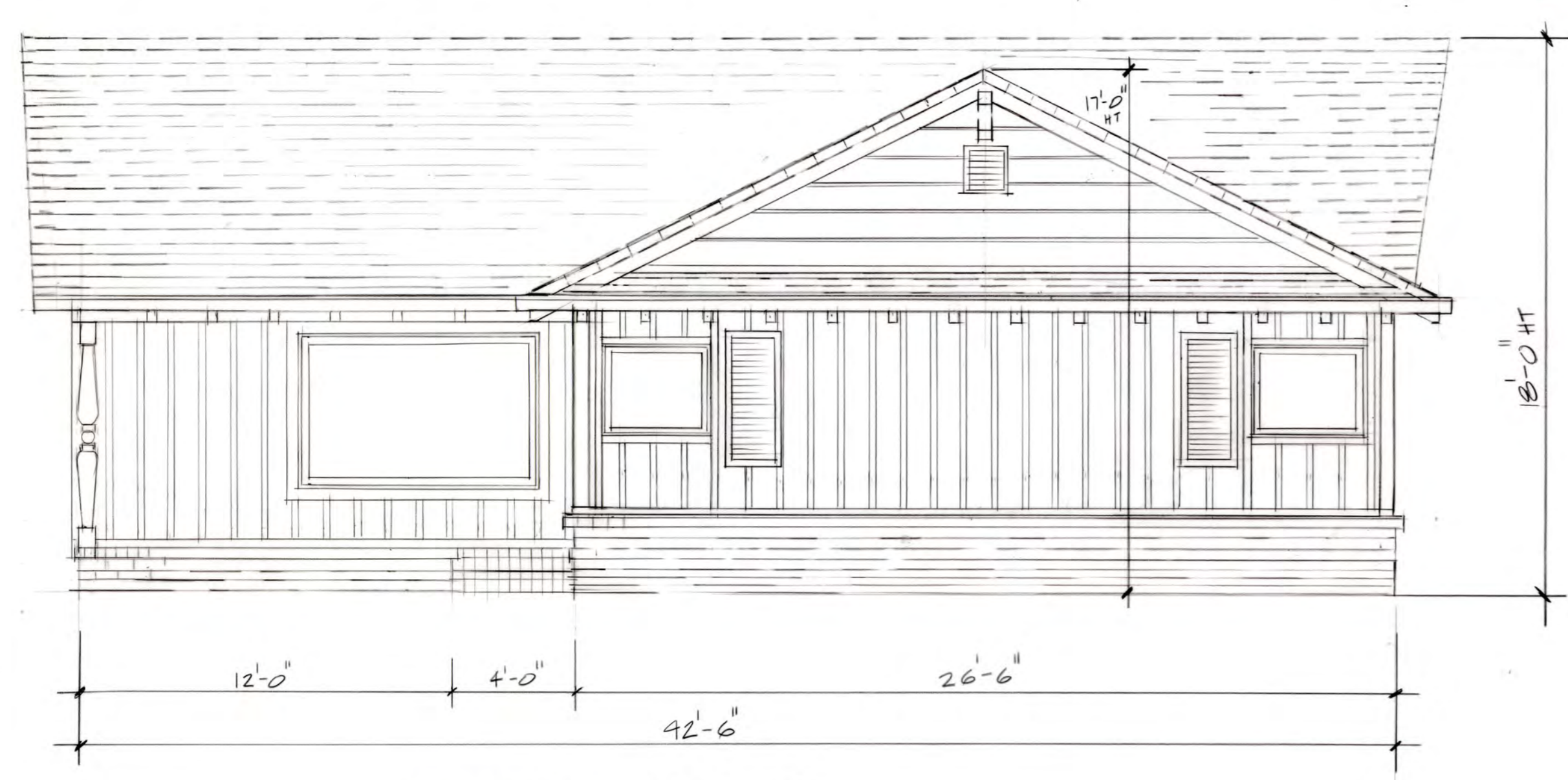
510 BEN VENUE
 LOS ALTOS, CA 94024



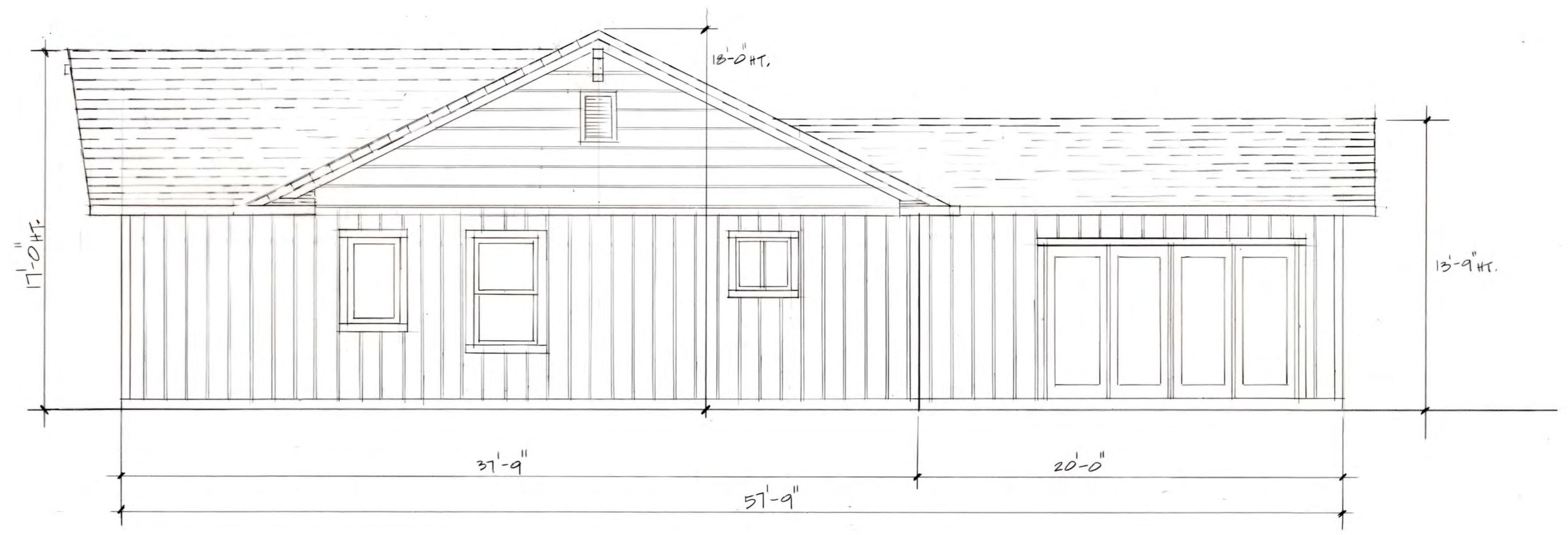
REAR ELEVATION
 1/4" = 1'-0"



LEFT ELEVATION
 1/4" = 1'-0"



FRONT ELEVATION
 1/4" = 1'-0"



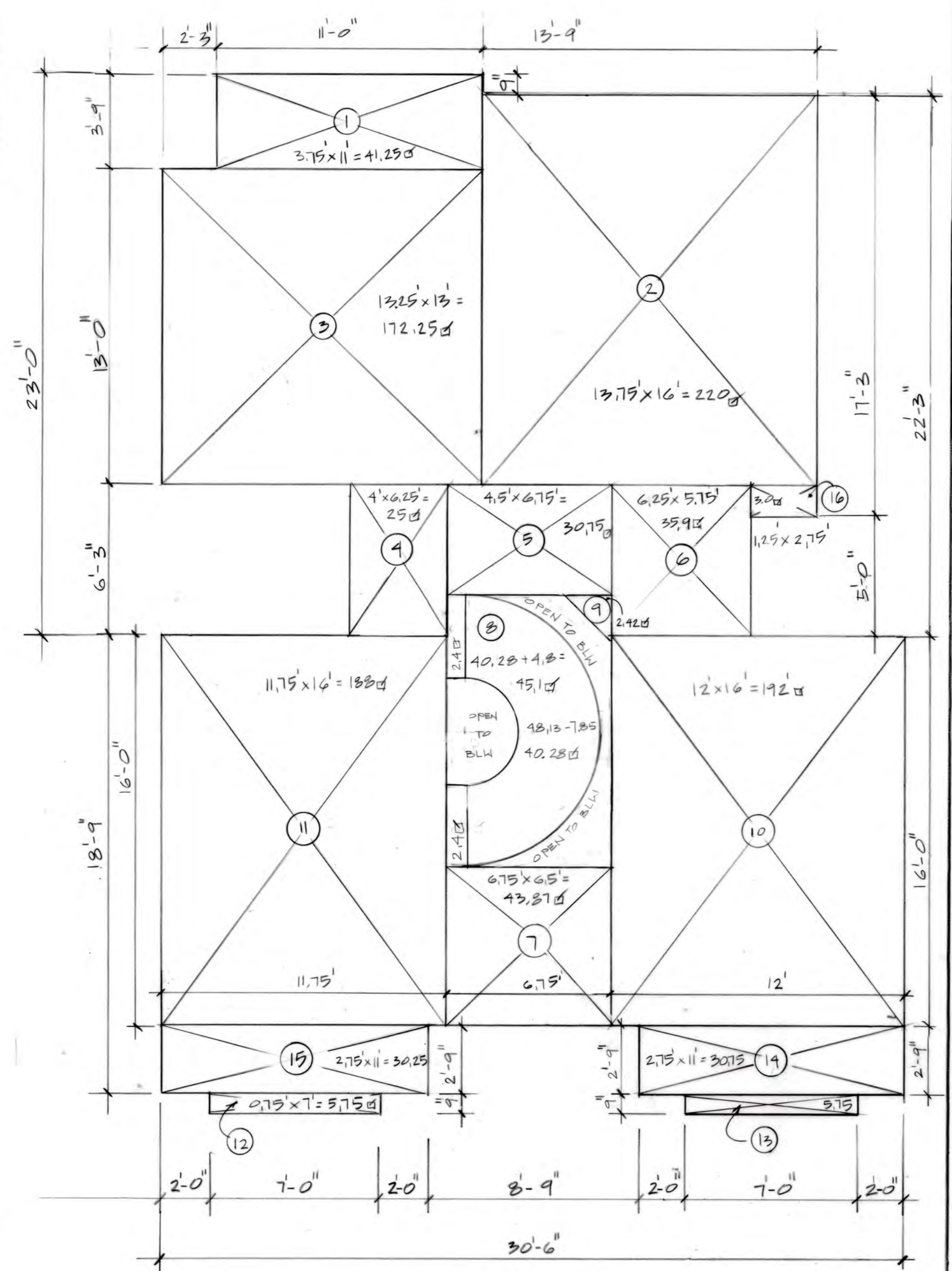
RIGHT ELEVATION
 1/4" = 1'-0"

All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE

Approved: _____
 Date: 6-20-19
 Scale: NOTED
 Drawn: GN
 Job: _____
 Sheet: T-3

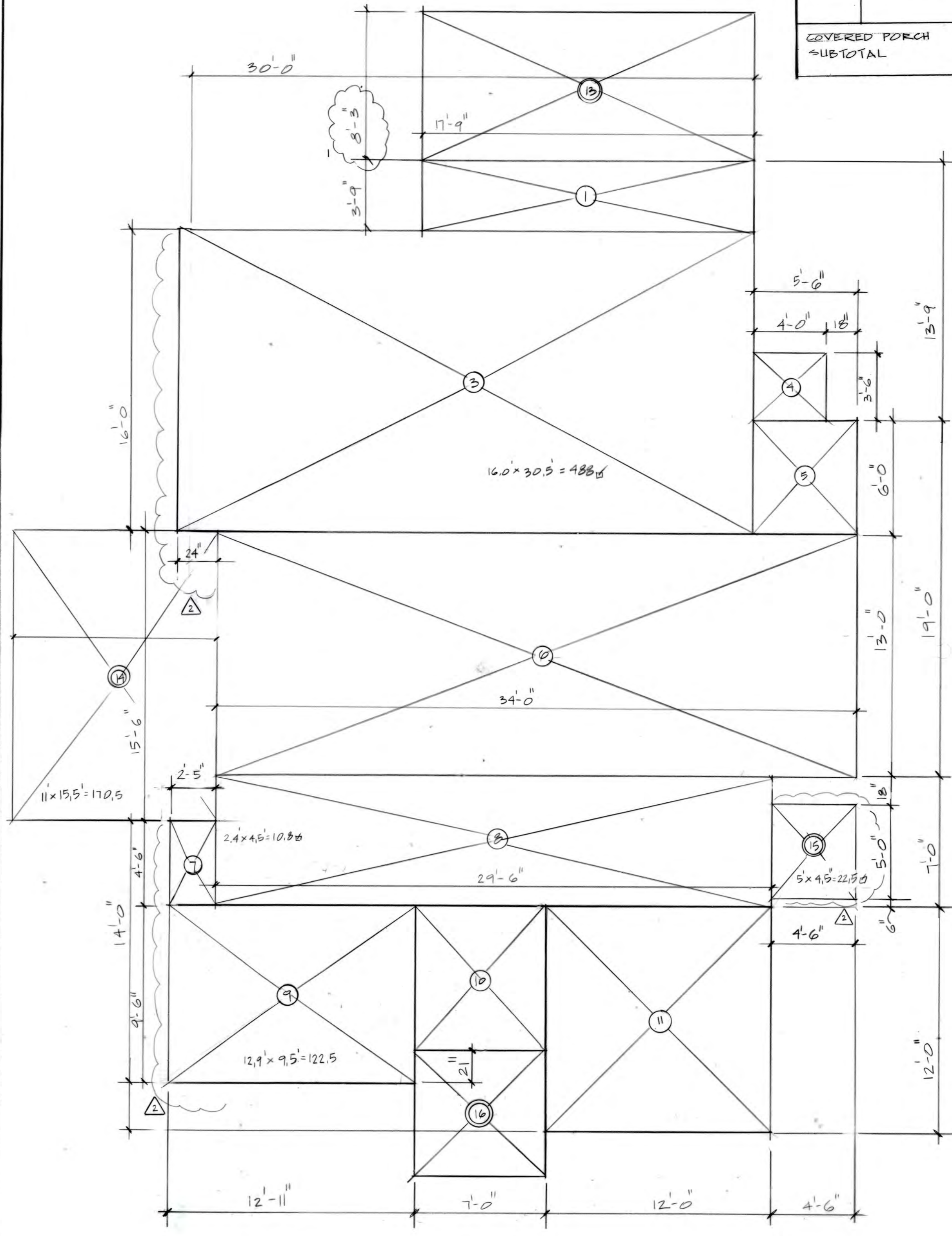
SECOND FLR		
SECTION	DIMENSIONS	AREA
1	5.75' x 11'	41.25
2	13.75' x 16'	220.0
3	13.25' x 13'	172.25
4	4.0' x 6.25'	25.0
5	4.5' x 6.75'	30.37
6	6.25' x 5.75'	35.9
7	6.75' x 6.5'	43.87
8	40.28' x 4.8'	45.1
9	(2.0' x 2.0') : 2	2.0
10	12' x 16'	192.0
11	11.75' x 16'	188.0
12	2.75' x 7'	5.25
13	2.75' x 7'	5.25
14	2.75' x 11'	30.25
15	2.75' x 11'	30.25
16	1.25' x 2.75'	3.4
SECOND STORY SUBTOTAL		1071.2



SECOND FLOOR PLAN
1/4" = 1'-0"

COVERED PORCH		
SECTION	DIMENSIONS	AREA
13	8.25' x 17.75'	146.4
14	11.0' x 15.5'	170.5
15	4.5' x 5.0'	22.5
16	6.75' x 7.0'	47.25
COVERED PORCH SUBTOTAL		386.4

1ST FLR		
SECTION	DIMENSIONS	AREA
1	3.75' x 17.75'	67.0
2	N/A	
3	16.0' x 30.0'	480.0
4	3.5' x 4.0'	14.0
5	6.0' x 5.5'	33.0
6	34.0' x 13.0'	442.0
7	2.4' x 4.5'	10.8
8	29.5' x 7.0'	206.5
9	9.5' x 12.9'	122.5
10	7.75' x 7.0'	54.0
11	12.0' x 12.0'	144.0
FIRST STORY SUBTOTAL		1581.8



FIRST STORY
1/4" = 1'-0"

MAX. LOT COVERAGE CALCULATIONS	
8,191.0 x 0.3	2457.30

MAX. FLOOR AREA CALCULATIONS	
8,191.0 x 0.35	2,866.85

FLOOR AREA CALCULATIONS	
FIRST STORY SUBTOTAL	1581.8
SECOND STORY SUBTOTAL	1071.2
GARAGE SUBTOTAL (11' x 19')	209.0
TOTAL FLOOR AREA	2862.0

LOT COVERAGE CALCULATIONS	
FIRST STORY SUBTOTAL	1581.8
COVERED PORCH SUBTOTAL	389.4
GARAGE	209.0
TOTAL LOT COVERAGE	2179.4

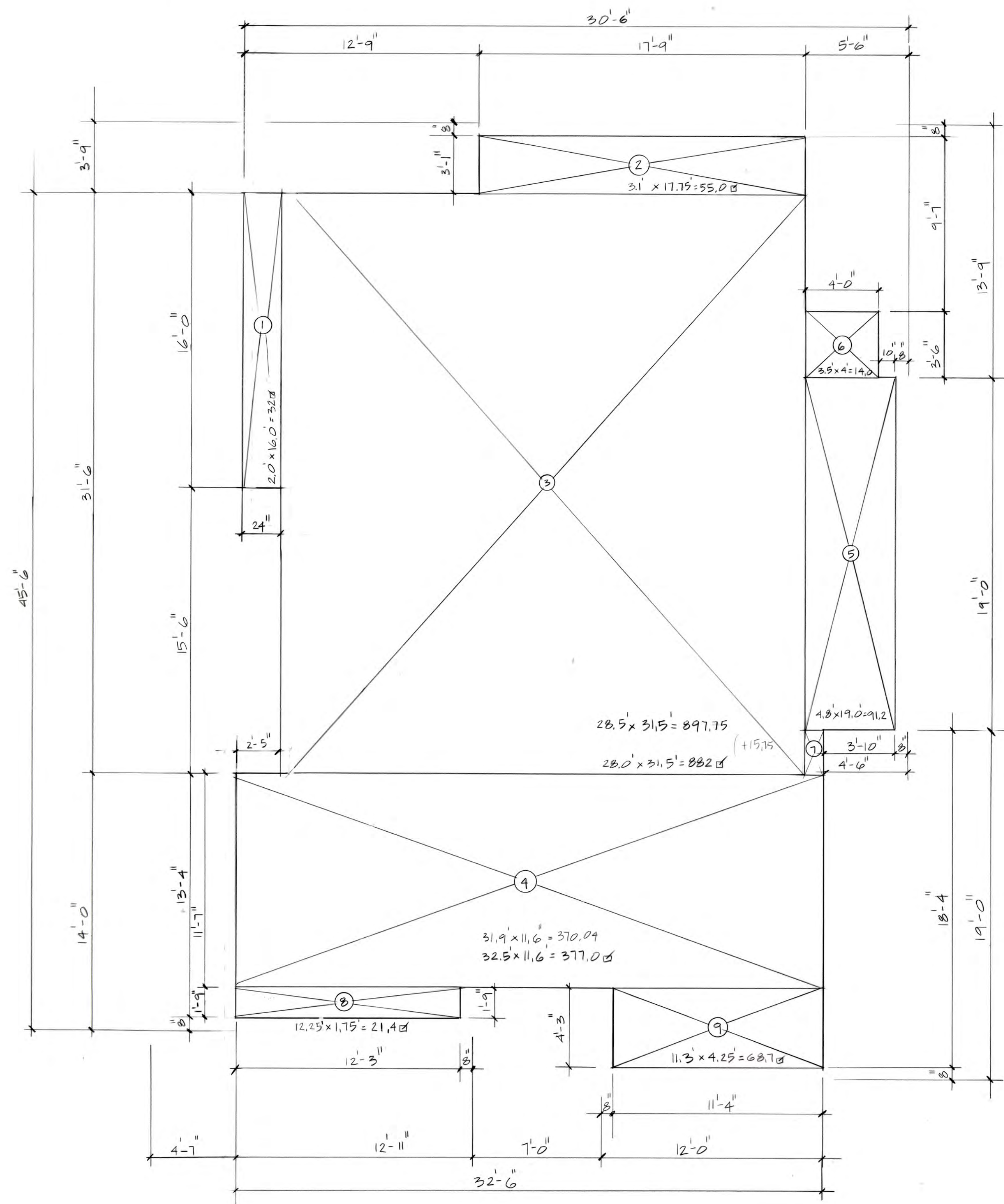
All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE
1	11-20-19

Approved:
Date: 11-20-19
Scale: NOTED
Drawn: GN
Job:
Sheet: T-1

ADD 7.75' x 7.0' TO FLOOR PLAN

1581.8 + 389.4 + 209.0 = 2179.2
2179.2 / 8191.0 = 26.6%



BASEMENT FLR		
SECTION	DIMENSIONS	AREA
①	2.0' x 16.0'	32.0
②	3.1' x 17.75'	55.0
③	28.5' x 31.5'	897.75
④	32.5' x 11.6'	377.0
⑤	4.8' x 19.0'	91.2
⑥	3.5' x 4.0'	14.0
⑦	2.5' x 1.0'	2.5
⑧	12.25' x 1.75'	21.4
⑨	11.3' x 4.25'	48.1
BASEMENT SUBTOTAL		1552.75



SHEETNOTES:

Labels on this drawing correlate with Sheets T-7, T-8, and the Neighborhood Compatibility Worksheet, Page 6.

- | | | |
|--|--|--|
| (A) 493 Benvenue Ave.
Los Altos, CA 94024 | (F) 490 Benvenue Ave.
Los Altos, CA 94024 | (J) 491 San Lous Ave.
Los Altos, CA 94024 |
| (B) 501 Benvenue Ave.
Los Altos, CA 4024 | (G) 500 Benvenue Ave.
Los Altos, CA 4024 | (K) 501 San Louis Ave.
Los Altos, CA 4024 |
| (C) 511 Benvenue Ave.
Los Altos, CA 4024 | (H) 520 Benvenue Ave.
Los Altos, CA 4024 | (L) 511 San Louis Ave.
Los Altos, CA 4024 |
| (D) 521 Benvenue Ave.
Los Altos, CA 4024 | (I) 532 Benvenue Ave.
Los Altos, CA 4024 | (M) 521 San Lous Ave.
Los Altos, CA 4024 |
| (E) 531 Benvenue Ave.
Los Altos, CA 4024 | | (N) 533 San Lous Ave.
Los Altos, CA 4024 |



DRAWINGS PROVIDED BY:
SUMMERS & NOVICK
430 Monterey Ave.
Los Gatos, CA 95030
408.395.3877
SummersAndNovick.com

REVISION TABLE	
#	DATE

DATE:

SCALE:
None

SHEET:



Neighborhood Trees & Driveways
N.T.S.

SHEETNOTES:
Labels on this drawing correlate with Sheets T-6, T-8, and the Neighborhood Compatibility Worksheet, Page 6.

SUMMERS & NOVICK

- ARCHITECTURE
- LANDSCAPE DESIGN
- PLANNING
- STRUCTURAL DESIGN

Neighborhood
Trees &
Driveways

Garg Residence
510 Benvenue Ave.
Los Altos, California 95024



DRAWINGS PROVIDED BY:
SUMMERS & NOVICK
430 Monterey Ave.
Los Gatos, CA 95030
408.395.3877
SummersAndNovick.com

REVISION TABLE	
#	DATE

DATE:

SCALE:
None

SHEET:

T-7



A 493 Benvenue Ave.
Los Altos, CA 94024



B 501 Benvenue Ave.
Los Altos, CA 94024



C 511 Benvenue Ave.
Los Altos, CA 94024



D 521 Benvenue Ave.
Los Altos, CA 94024



E 531 Benvenue Ave.
Los Altos, CA 94024



F 490 Benvenue Ave.
Los Altos, CA 94024



G 500 Benvenue Ave.
Los Altos, CA 94024

SHEETNOTES:

PHOTOS on this drawing correlate with Sheets T-6, T-7, and the Neighborhood Compatibility Worksheet, Page 6.



H 520 Benvenue Ave.
Los Altos, CA 94024



I 532 Benvenue Ave.
Los Altos, CA 94024



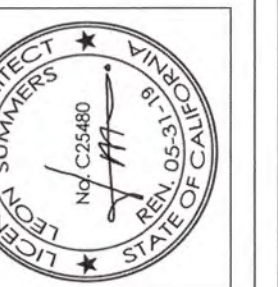
L 511 San Luis Ave.
Los Altos, CA 94024

SUMMERS & NOVICK

- ARCHITECTURE
- LANDSCAPE DESIGN
- PLANNING
- STRUCTURAL DESIGN

Neighborhood
Compatibility
Worksheet
Photos

Garg Residence
510 Benvenue Ave.
Los Altos, California 95024



DRAWINGS PROVIDED BY:
SUMMERS & NOVICK
430 Monterey Ave.
Los Gatos, CA 95030
408.395.3877
SummersAndNovick.com

REVISION TABLE	
#	DATE

DATE:

SCALE:

SHEET:

T-8

EXISTING TREES TABLE

Note:
 1. Tree table below indicates tree size/diameter measured 48" Above natural grade.
 2. Tree numbers in the table are indicated per Tree Inventory, Assessment and Protection report Prepared by Monarch Consulting Arborists, October 13, 2019.

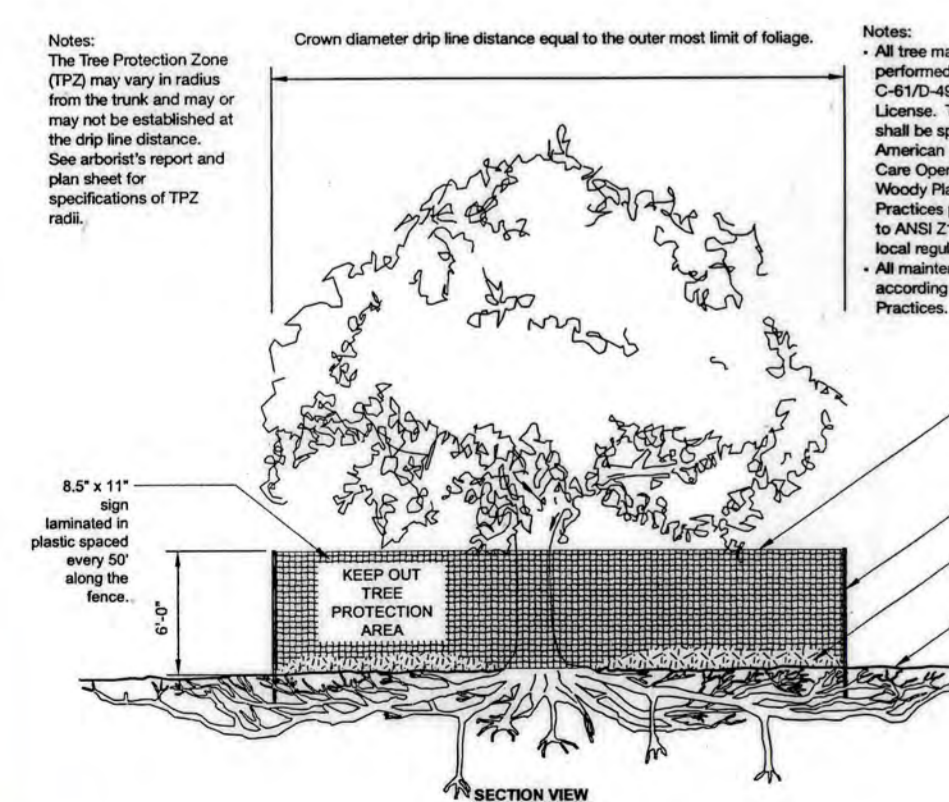
Number	species	to be retained	to be removed
677	Ulmus parvifolia / Chinese elm 22"	"	"
678	Pittosporum undulatum / Victorian box Cluster 7", 7", 6"	"	"
676	Palm 6"	"	"
681	Afrocarpus gracilior/ Fern pine 4", 4"	"	"
675	Maytenus boaria / Mayten tree 4", 4"	"	"
679	Quercus agrifolia / Coast live oak 24"	"	"
680	Quercus agrifolia / Coast live oak 32"	"	"

AREA BREAKDOWN

TOTAL LOT AREA			
TOTAL LOT AREA	8,191 SF		
HARDSCAPE AREA SF			
DESCRIPTION	EXISTING	+/-	PROPOSED
Dwelling footprint, covered porches, light wells, retaining walls	2,207	676	2,883
Concrete walk ways, concrete driveways	2,418	<2,418>	0
Permeable pavers walk ways, driveways	0	1,388	1,388
TOTAL HARDSCAPE	4,625	<354>	4,271
SOFTSCAPE AREA			
DESCRIPTION	EXISTING	+/-	PROPOSED
Vegetated area including mulched area	3,566	354	3,920

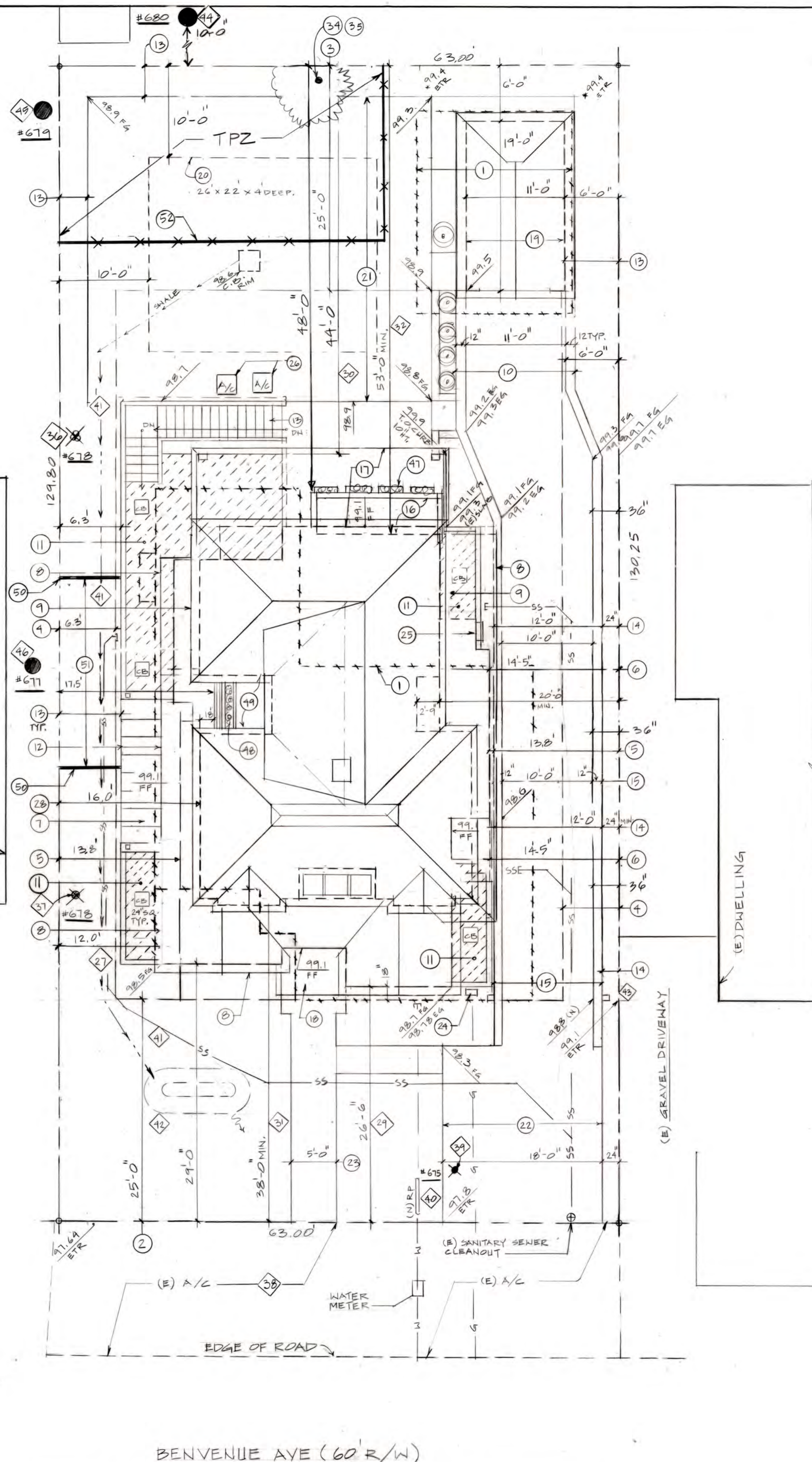
LEGEND:

- 1ST FLR EXTERIOR WALLS
- - - 2ND FLR EXTERIOR WALLS
- ROOF LINE
- /// LIGHT WELL / BLW GRADE
- EXISTING DWELLING & EXISTING DETACHED GARAGE EXTERIOR WALLS



(S-X) TREE PROTECTION

UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE UNLESS INDICATED OTHERWISE.



BENVENUE AVE (60' R/W)

SITE PLAN; TREE PROTECTION PLAN
 1/8" = 1'-0"

Table 6: Tree Inventory and Assessment Summary

Tree Species	Quantity	Trunk Diameter (in)	Height (ft)	Canopy Spread (ft)	Condition	Quality	Value
Mayten (Maytenus boaria)	675	4, 4	10	15	Poor	Poor	High
palm (Chamerops humilis)	676	7	10	12	Good	Poor	High
Chinese elm (Ulmus parvifolia)	677	22	55	45	Fair	N/A	Moderate
Victorian box (Pittosporum undulatum)	678	7, 7, 6	25	20	Fair	Poor	High
coast live oak (Quercus agrifolia)	679	24	45	40	Good	N/A	Moderate - Low
coast live oak (Quercus agrifolia)	680	32	45	40	Good	N/A	Low
fern pine (Afrocarpus gracilior)	681	4, 4	20	10	Poor	Poor	Low

11.08.120 - Tree protection during construction.

Protected trees designated for preservation shall be protected during development of a property by compliance with the following, which may be modified by the planning director:

- Protective fencing shall be installed no closer to the trunk than the drip line, and far enough from the trunk to protect the integrity of the tree. The fence shall be a minimum of four feet in height and shall be set securely in place. The fence shall be of a sturdy but open material (i.e., chainlink), to allow visibility to the trunk for inspections and safety. There shall be no storage of any kind within the protective fencing.
- The existing grade level around a tree shall normally be maintained out to the dripline of the tree. Alternate grade levels may be approved by the planning director.
- Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a tree (the root system generally extends to the outermost edges of the branches).
- Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
- No signs, wires, or any other object shall be attached to the tree.

(Ord. 07-314 § 2 (part); prior code § 10.2.26513)

Pre-Construction Meeting with the Project Arborist

Tree protection locations should be marked before any fencing contractor arrives.

Prior to beginning work, all contractors involved with the project should attend a pre construction meeting with the project arborist to review the tree protection guidelines. Access routes, storage areas, and work procedures will be discussed.

Tree Protection Zones and Fence Specifications

Tree protection fence should be established prior to the arrival of construction equipment or materials on site. Fence should be comprised of six-foot high chain link fence mounted on eight-foot tall, 1 7/8-inch diameter galvanized posts, driven 24 inches into the ground and spaced no more than 10 feet apart. Once established, the fence must remain undisturbed and be maintained throughout the construction process until final inspection.

The fence should be maintained throughout the site during the construction period and should be inspected periodically for damage and proper functions. Fence should be repaired, as necessary, to provide a physical barrier from construction activities.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Restrictions Within the Tree Protection Zone

No storage of construction materials, debris, or excess soil will be allowed within the Tree Protection Zone. Spoils from the trenching shall not be placed within the tree protection zone either temporarily or permanently. Construction personnel and equipment shall be routed outside the tree protection zones.

Root Pruning

Root pruning shall be supervised by the project arborist. When roots over two inches in diameter are encountered they should be pruned by hand with loppers, hand saw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

Timing

If the construction is to occur during the summer months supplemental watering and bark beetle treatments should be applied to help ensure survival during and after construction.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree pruning should be specified in writing according to ANSI A-300A pruning standards and adhere to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk-through.

Tree Protection Signs

All sections of fencing should be clearly marked with signs stating that all areas within the fencing are Tree Protection Zones and that disturbance is prohibited. Text on the signs should be in both English and Spanish (Appendix E).

SITE PLAN NOTES.

- NOTES: Alphabetical sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the plan.
- COORDINATION: Contractor shall coordinate this drawing with other contract documents.
- HARDSCAPE SURFACES: Use pervious pavers at hardscape pedestrian applications: rear porch, entry porch, walk ways 2 3/8" thick, 6"x 9" Quarry Collection by CalStone. Use pervious pavers at parking and driveway area: 3 1/8" thick, 6"x 9" Quarry Collection by CalStone.

- Replace existing one story dwelling and two-car detached Garage with new two story dwelling and one-car detached garage.
- Required Front Setback 25 ft.
- Required Rear Setback 25 ft.
- Required Interior Side Setback First Story 6.3 ft.
- Required Interior Side Setback Second Story 13.8 ft.
- 14'-5" proposed Interior First Story and Second Story setback at West property line.
- 8.5 ft x 15.5 ft Landing at Dining Room folding door with arbor above.
- First story roof line.
- Second story roof line.
- 13 ft wide garage access: 11 ft pervious pavers driveway with 12" gravel strip at each side, see details and specifications: Sheet C-1 Grading and Drainage Plan.
- Light well at basement below: hatching indicates 75% or more of light well area open to above, see area calculations: Sheet A-3 Basement Plan notes #8 and #7.
- Arbor above landing.
- Continuous evergreen trees/shrubs screening plants, see details and Specifications Sheet L-1 Landscaping Plan.
- Continuous planting strip at 12 ft wide garage access driveway see details and Specifications Sheet L-1 Landscaping Plan.
- 12 ft wide garage access: 10 ft pervious pavers driveway with 12" gravel strip at each side, see details and specifications: Sheet C-1 Grading and Drainage Plan.
- Second floor balcony.
- Rear porch.
- Front porch, entry door.
- One car detached garage.
- Gravel basin below, see details and specifications: Sheet C-1 Grading and Drainage Plan.
- 35 ft x 39 ft playground with bark chips.
- 16 ft x 20 ft parking: pervious pavers, use 3 1/8" thick, 6"x 9" Quarry Collection by CalStone.
- Walk way to front door: pervious pavers.
- Gas meter.
- 400 A New Electrical panel and meter.
- A/C unit.
- 12'-0" proposed Interior First Story setback at East property line.
- 16.0 ft proposed Interior Second Story setback at East property line.
- 26.5 ft proposed First Story Front Setback.
- 44.0 ft proposed First Story Rear Setback.
- 38.0 ft proposed Second Story Front Setback.
- 52.0 ft proposed Second Story Rear Setback.
- Existing tree to remain: Afrocarpus gracilior/ Fern pine, tree # 681 per Existing Trees Table.
- See Existing Tree Table; Tree Inventory & Assessment Summary typical for all existing trees.
- Remove existing deformed tree # 678: Pittosporum undulatum / Victorian box per Existing Tree Table.
- Remove existing tree #676: Chamerops humilis/palm 7" per Existing Tree Table.
- Area outside of the property line.
- Remove existing tree #675: Maytenus boaria / Mayten tree.
- New RP (Reduced Pressure) assembly per Calwater requirements See details and specifications: Sheet C-2 Utility Plan.
- Vegetated swale per Grading and Drainage Plan Sht C-1.
- 5 ft x 12 ft vegetated depression per Grading and Drainage Plan Sht C-1.
- 6 ft ht. R.W. fence w/ 18" ht open lattice: 7.5 ft total ht. located at the entire perimeter at property line outside of the Front Yard Set Back.
- Existing tree on neighbors property to remain: Quercus agrifolia / Coast live oak #680 per Existing Tree Table.
- Existing tree on neighbors property to remain: Quercus agrifolia / Coast live oak #679 per Existing Tree Table
- Existing tree on neighbors property to remain: Ulmus parvifolia / Chinese Elm 22" #677 per Existing Tree table: see Sheet L-1 Landscaping Plan.
- Planter at South balcony at 2nd floor.
- Planter at East balcony at 2nd floor.
- East balcony.
- End of Trenching Zone.
- Monitor Trenching Zone: Use pneumatic excavating tools such as an Airspade or Hydrovac or hand trench for the sewer near Chinese elm #677 inside the Trenching Zone.
- Protect Tree Protection Zone (TPZ) with tree protection fence.

ARCHITECTURE • PLANNING • LANDSCAPE DESIGN
SUMMERS & NOVICK
 430 MONTEREY AVE, LOS GATOS, CA 408.395.8877

510 BENVENUE AVE
 LOS ALTOS, CA 94024

All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE
1	10-19-19
2	11-20-19

Approved:
 Date: 6-20-19
 Scale: NOTED
 Drawn: GN
 Job:
 Sheet:
L-1

EVERGREEN TREES/SHRUBS FOR SCREENING

Arbutus 'Marina' multi trunk
 Marina Strawberry tree
 Evergreen, drought tolerant.
 Occasional water tolerant.
 Full sun to partial shade.
 Pink and white flowers in late fall and winter most showy, red and yellow edible berries stay on the tree for a long time.
 Tolerant of oak root fungus
 Low water use, PF: 0.1 to 0.3,
 Growth rate: up to 2' per year,
 Expected growth: 40' height, 25' width.
 15 gallon min. planting size.

Prunus ilicifolia ssp. ilicifolia
 Holly-leaved Cherry
 Evergreen, drought tolerant,
 Occasional water tolerant.
 Full sun to partial shade.
 Fairly rapid growth once established, can be pruned to be tree-like.
 Can be clipped to formal hedge.
 Tolerant of wind and oak root fungus.
 Low water use, PF: 0.1 to 0.3,
 Growth rate: up to 18" per year,
 Expected growth: 20' height, 10' width.
 15 gallon min. planting size.

Mirica californica also Morella californica
 Pacific Wax Myrtle
 Evergreen, drought tolerant,
 Occasional water tolerant.
 Full sun to partial shade.
 Fairly rapid growth once established.
 Can be pruned to be tree like or clipped to formal hedge.
 Moderate water use, PF: 0.3 to 0.5
 Growth rate: up to 2' per year,
 Expected growth: 20' height, 10' width.
 15 gallon min. planting size.

Heteromeles arbutifolia
 Toyon
 Evergreen, drought tolerant,
 Occasional water tolerant.
 Full sun to partial shade.
 Fairly rapid growth once established
 Small white flowers in dense bunches in summer attract butterflies, berry-like fruit, bright red stay on the tree till Christmas
 Low water use, PF: 0.1 to 0.3,
 Growth rate: up to 2' per year,
 Expected growth: up to 20' height, 8' width.
 15 gallon min. planting size.

Ceanothus cuneatus
 Buck Brush
 Evergreen, very drought tolerant.
 Occasional water tolerant.
 Full sun.
 Fairly rapid growth once established
 Flowers vary from blue to white in March-May, fragrant and showy.
 Can be pruned to be tree like.
 Low water use, PF: 0.1 to 0.3,
 Growth rate: up to 2' per year,
 Expected growth: up to 12' height, 8' width.
 15 gallon min. planting size

Rhamnus californica also Frangula californica
 Coffee Berry
 Evergreen, very drought tolerant.
 Occasional water tolerant.
 Full sun to partial shade.
 Dense and easy to prune.
 Prized for its fruit. Easy to grow.
 Low water use, PF: 0.1 to 0.3,
 Growth rate: up to 18" per year,
 Expected growth: up to 15' height, 8' width.
 15 gallon min. planting size

Sambucus nigra ssp. Caerulea
 Blue Elderberry, Western Elderberry.
 Semi-deciduous, drought tolerant.
 Occasional water tolerant.
 Full sun to partial shade.
 Cream yellow flowers in spring.
 Prized for its fruit. Easy to grow
 Low water use, PF: 0.1 to 0.3,
 Growth rate: up to 30" per year,
 Expected growth: up to 15' height, 8' width.
 15 gallon min. planting size

EVERGREEN SHRUBS /GROUND COVERS

Ribes viburnifolium
 Catalina perfume, evergreen currant
 Ground cover for dry shade.
 Drought tolerant. Glossy leaves with spicy fragrance. From late winter to early spring maroon flowers on arching branches.
 Low water use PF 0.1-0.3
 2' -3' ht.

Ribes speciosum
 Fuchsia Flowering Gooseberry
 Suitable for full shade with no summer water. Very attractive winter look: fuchsia like red flowers that bloom all winter glossy green leaves.
 Low water use PF 0.1-0.3
 6' x 6' ht.

Ceanothus thyrsiflorus var. repens 'Luis Edmunds'
 Wild Lilac.
 Full sun, drought-tolerant, summer water tolerant. Blooms in spring (Feb.-April)
 Low water use PF 0.1-0.3
 4' x 12' ht.

Rosa californica 'Elsie'
 California Wild Rose
 Full sun or shade
 Bloom: spring and summer.
 Low water use PF 0.1-0.3
 6' x 6' ht.

PERENNIALS

Sisyrinchium bellum
 California Blue-eyed grass-iris
 Sun or shade, drought tolerant
 Occasional summer water tolerant.
 Purple and blue flowers.
 Blooming time: March to July.
 Very low water use PF 0.0- 0.1

Fragaria vesca californica
 Wood strawberry
 Excellent ground cover for dry to damp shady areas
 Moderate water use P.F. 0.3- 0.5

Eschscholzia californica
 California Poppy
 Bloom : spring through summer
 Cut back in fall, full sun to part shade, water tolerant
 Low water use PF: 0.1-0.3

Zauschneria californica Mexicana
 Common California Fuchsia
 Tolerant of wind and oak root fungus.
 Cut back in winter.
 Low water use PF: 0.1-0.3

Heuchera micrantha
 Coral bells
 Light shade, drought tolerant
 Grows well below oaks
 Moderate water use P.F. 0.3- 0.5

VINES/GROUND COVERS

Lonicera hispidula
 California honeysuckle
 Full sun or shade
 Bloom: spring and summer.
 Low water use PF 0.1-0.3
 Vine: ht vary

SHEET NOTES : LANDSCAPING PLAN

- A. NOTES: Alphabetical sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the plan.
- B. COORDINATION: Contractor shall coordinate this drawing with other contract documents.
- C. All plants specified in the project are California native plants. Native to coast ranges around and near Los Altos area.
- Playground with bark chips, 6" deep layer.
 - Gravel basin below, see Grading and Drainage Plan Sht C-1.
 - At all hardscape pedestrians applications: rear porch, entry porch, walk ways use pervious pavers 2 3/8" thick, 6" x 9" Quarry Collection by CalStone.
 - 12 ft wide garage access: 10 ft pervious pavers driveway with 12" gravel strip at each side, use 3 1/8" thick, 6" x 9" Quarry Collection by CalStone.
 - Light wells at basement.
 - Stairway to basement.
 - 5 ft x 12 ft vegetated depression per Grading and Drainage Plan Sht C-1. Use fragaria californica /woodland strawberry at the bottom, use a wild flower mixture at the perimeter; lupinus nanus/sky lupine, eschscholzia californica/california poppy, sidaea malvaeflora/checkerbloom.
 - Use 5" w x 12" ht x 4 ft planter box.
 - Install tree protection fencing 5' min. ht. around existing tree #3 at drip line
 - Vegetated swale per Grading and Drainage Plan Sht C-1. Use fragaria californica /woodland strawberry at the lower swale points: install 1/2" gallon plants 2 ft on center. Install a wild flower mixture on swale slopes at each side of woodland strawberry: Use 1/2" gallon plants: lupinus nanus/sky lupine, eschscholzia californica/california poppy, sidaea malvaeflora/checkerbloom

AREA BREAKDOWN

TOTAL LOT AREA		8,191 SF	
HARDSCAPE AREA SF			
DESCRIPTION	EXISTING	+/-	PROPOSED
Dwelling footprint, covered porches, light wells, retaining walls	2,207	676	2,883
Concrete walk ways, concrete driveways	2,418	<2,418>	0
Permeable pavers walk ways, driveways	0	1,388	1,388
TOTAL HARDSCAPE	4,625	<354>	4,271
SOFTSCAPE AREA			
DESCRIPTION	EXISTING	+/-	PROPOSED
Vegetated area including mulched area	3,566	354	3,920

EXISTING TREES TABLE

Note:
 1. Tree table below indicates tree size/diameter measured 48" Above natural grade.
 2. Tree numbers in the table are indicated per Tree Inventory, Assessment and Protection report Prepared by Monarch Consulting Arborists, October 13, 2019.

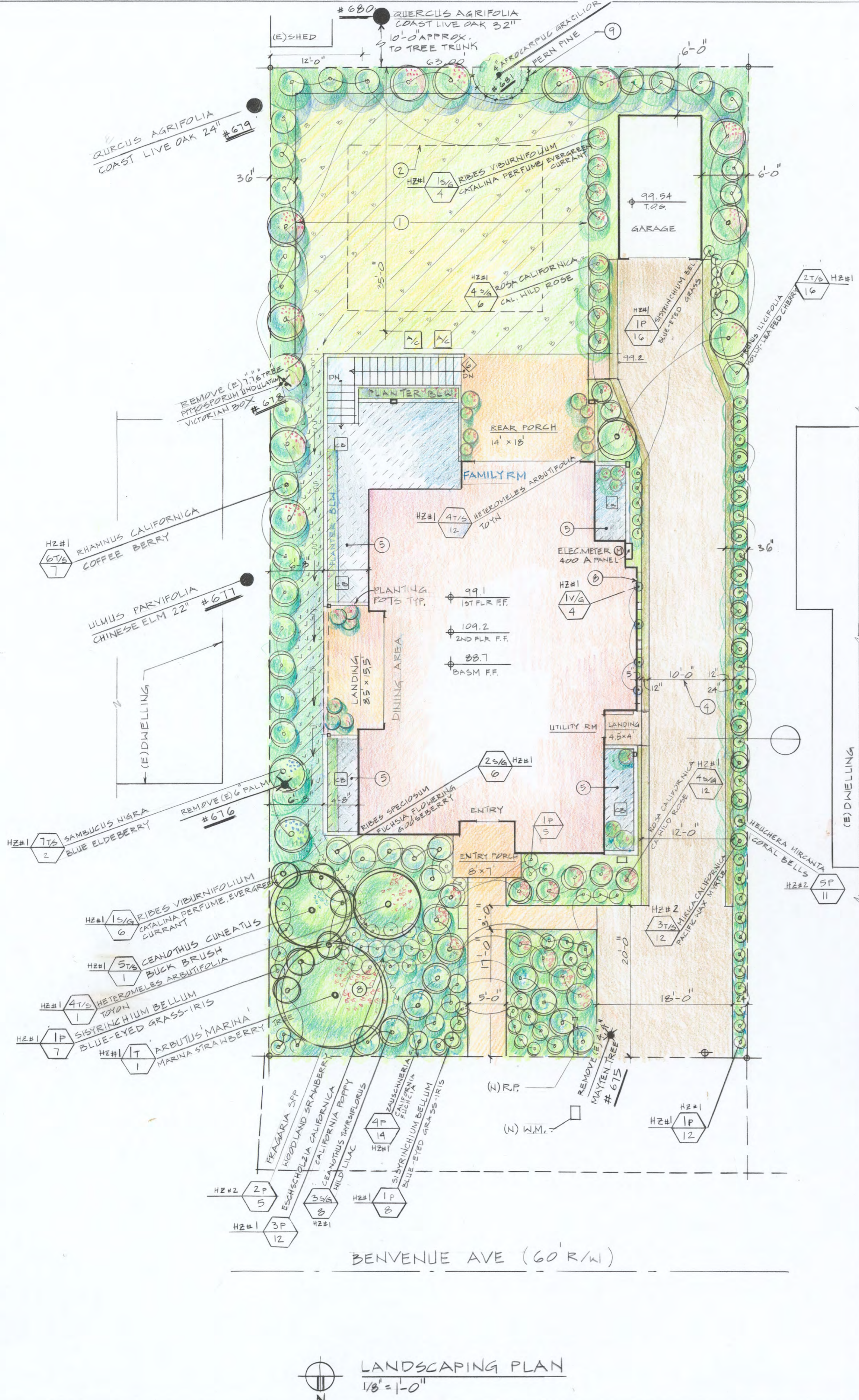
Number	species	to be retained	to be removed
677	Ulmus parvifolia / Chinese elm 22"	"	"
678	Pittosporum undulatum / Victorian box Cluster 7', 7', 6"	"	"
676	Palm 6"	"	"
681	Afrocarpus gracilior/ Fern pine 4", 4"	"	"
675	Maytenus boaria / Mayten tree 4", 4"	"	"
679	Quercus agrifolia / Coast live oak 24"	"	"
680	Quercus agrifolia / Coast live oak 32"	"	"

WATER EFFICIENT LANDSCAPE DESIGN STATEMENT

Plants specified in the project are California native plants. Predominantly native to coast ranges around and near Los Altos area. Total Landscape Area is 3,210.0 sq. ft. 3,000.0 sq. ft. Landscape Area is occupied by Hydrozone #1 dedicated for low water use plants with PF (Plant Factor) 0.1-0.3 210.0 sq. ft. Landscape Area is occupied by Hydrozone #2 dedicated for moderate water use plants with PF (Plant Factor) 0.3-0.5 ETAF (evapotranspiration adjustment factor) for residential projects should not exceed 0.55 Average ETAF (evapotranspiration adjustment factor) used in this design is 0.37 MAWA (maximum allowed water allowance) for the Landscaped Area is calculated to be 47,068.23; ETWU (estimated total water use) is 33,738.23. Landscaping of this project exceeds min. requirements of WELO (Water Efficient Landscape Ordinance), it is calculated to use 70% of MAWA

REV.	DATE
1	10-15-19

Approved: _____
 Date: 6-20-19
 Scale: NOTED
 Drawn: GN
 Job: _____
 Sheet: L-2

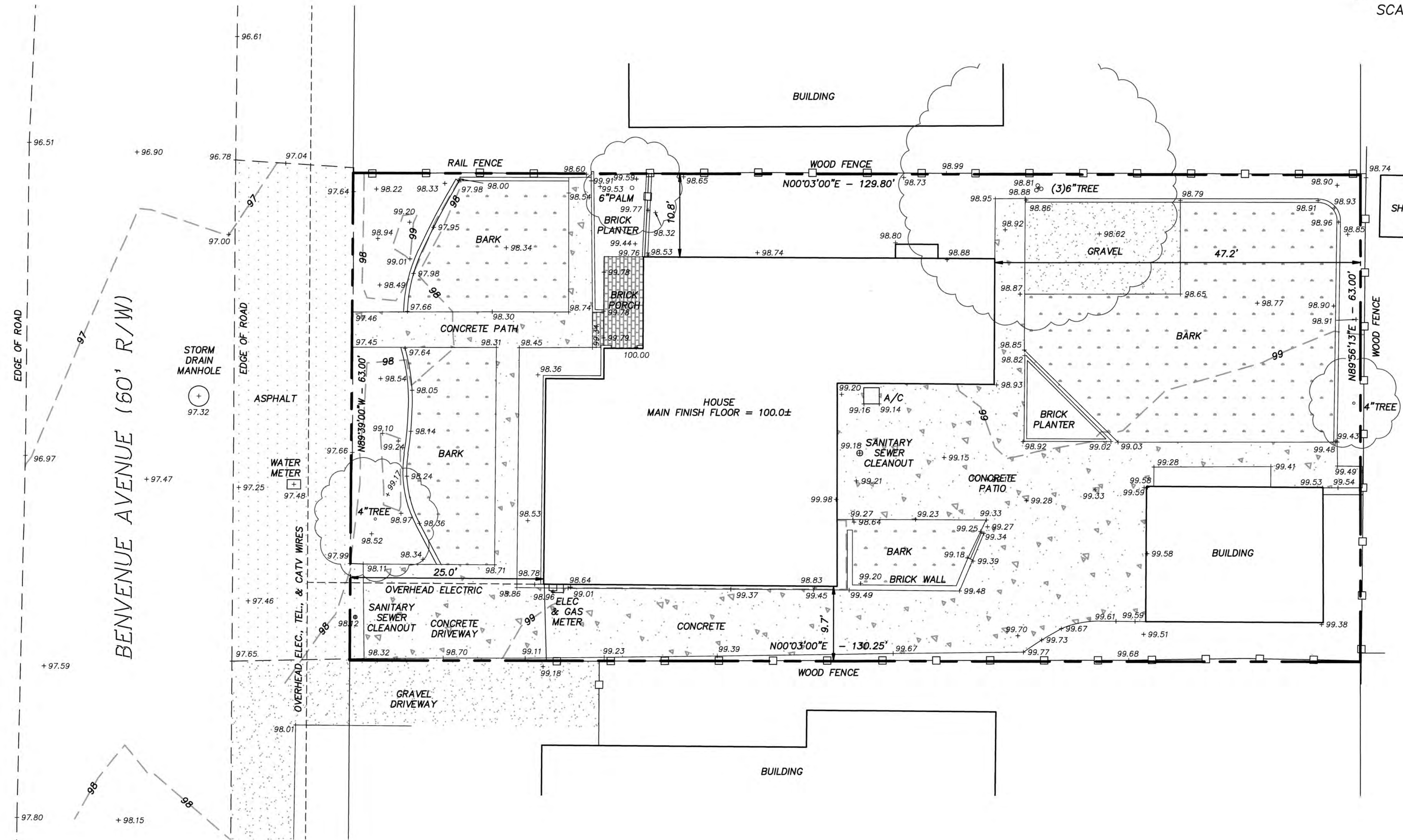
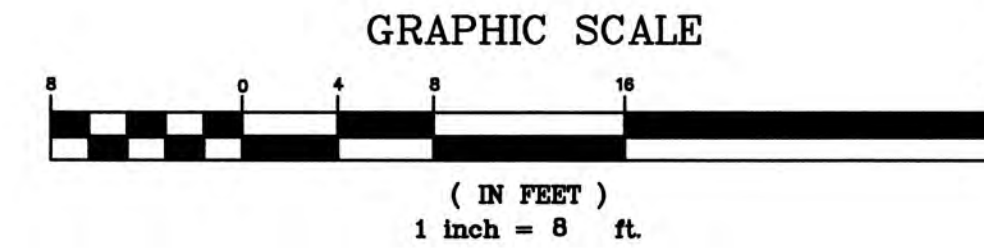


LANDSCAPING PLAN
 1/8" = 1'-0"

TOPOGRAPHIC AND BOUNDARY SURVEY

510 BENVENUE AVENUE
CITY OF LOS ALTOS

SANTA CLARA COUNTY - CALIFORNIA
SCALE: 1 INCH = 8 FEET MAY 2018



LEGAL DESCRIPTION

LOT 15, AS SHOWN ON THE MAP ENTITLED, "TRACT NO. 280 NEVILLE TRACT", WHICH MAP WAS FILED FOR RECORD ON APRIL 8, 1946, IN BOOK 8 OF MAPS, AT PAGE 48, SANTA CLARA COUNTY RECORDS.

APN: 189-52-059

LOT AREA:

8,191± SQUARE FEET

NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- BASIS OF ELEVATION: ELEVATIONS SHOWN ARE BASED UPON AN ASSUMED DATUM. FINISH FLOOR OF HOUSE TAKEN AS 100.0 FEET.
- 1' CONTOUR INTERVAL.

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC AND BOUNDARY SURVEY MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST OF:

DAVID REIDY IN: APRIL 2018

I HEREBY STATE THAT THE TOPOGRAPHY AND BOUNDARIES SHOWN ON THIS MAP IS BASED UPON A SURVEY MADE BY ME, DYLAN M. GONSALVES, PLS 8475

THIS 24TH DAY OF APRIL, 2018

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

Dylan M. Gonsalves
DYLAN M. GONSALVES

9-25-2019
DATE



DMG ENGINEERING, Inc.

30 OAKVUE COURT
PLEASANT HILL, CA 94523
PHONE: (925) 787-0463
FAX: (925) 287-8503

DMG ENGINEERING, Inc.
RESTRICTED ENGINEERING DRAWINGS
The information, plans, designs, notes and arrangements shown on this drawing are confidential and may not be reproduced in whole or in part without the expressed written permission of DMG ENGINEERING, Inc. Drawings noted as Preliminary/schematic and/or concept contain information that is conceptual subject to verification by the engineer. No reliance should be placed on the accuracy of conceptual information or information supplied by others.

NO.	DATE	REVISIONS DESCRIPTION	BY

TOPOGRAPHIC AND BOUNDARY SURVEY
510 BENVENUE AVENUE
CITY OF LOS ALTOS
SANTA CLARA COUNTY - CALIFORNIA
SCALE: 1" = 8'
MAY 2018

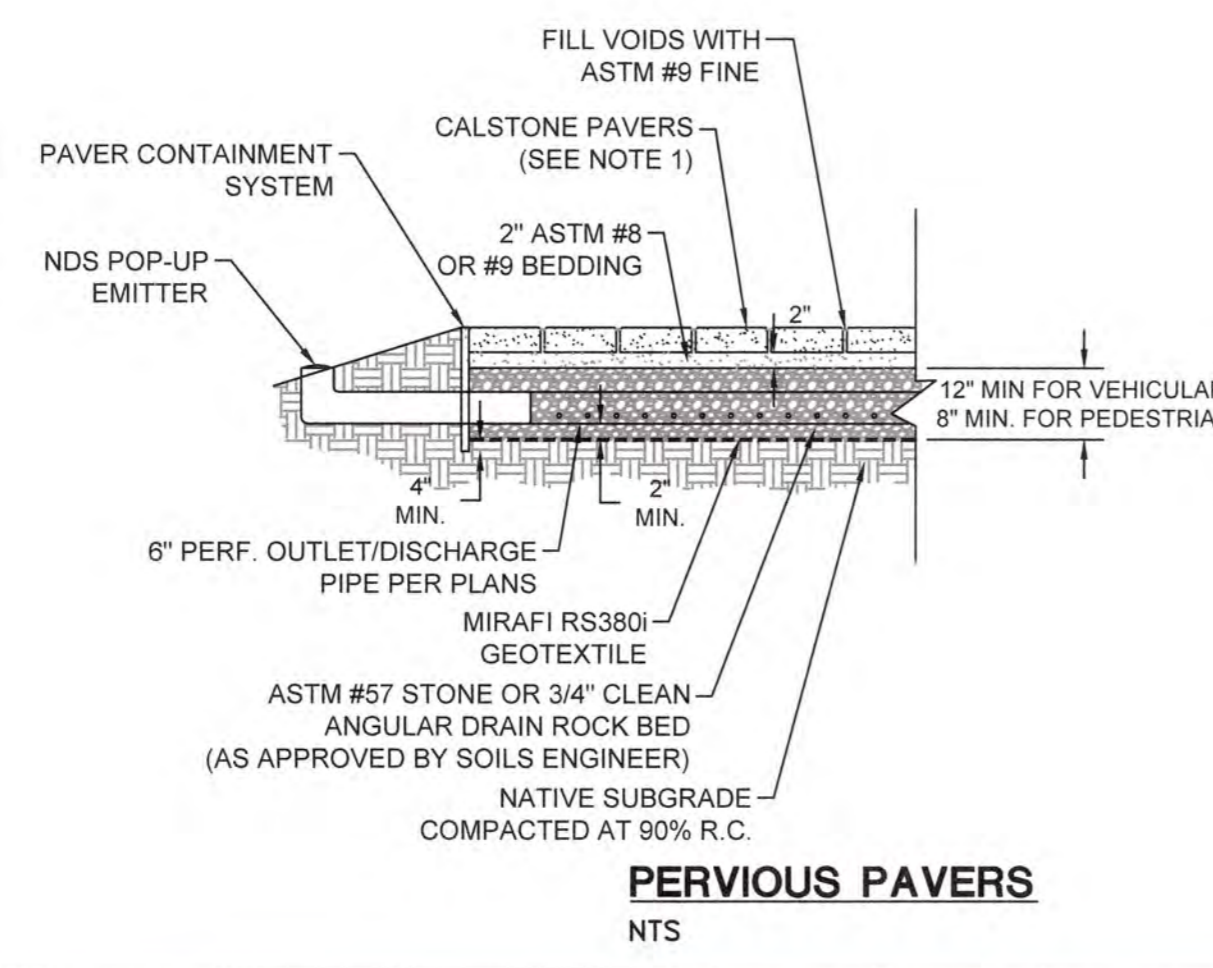
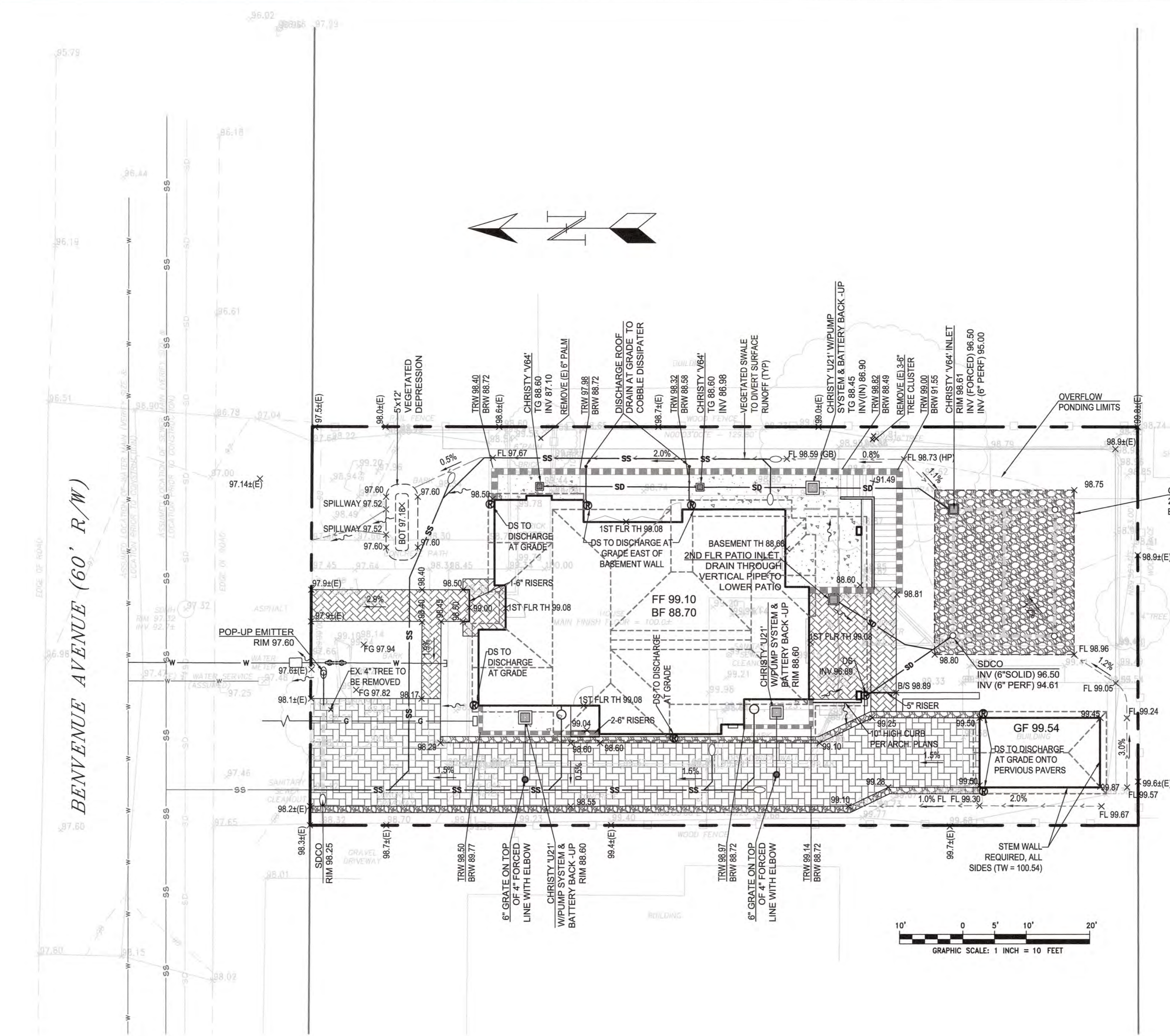
SHEET **1-3**
OF 1 SHEETS
ORIG.DWG: 5-3-2018
REV.DWG: **9-25-2019**
JOB: 18-68

ABBREVIATIONS

AB	AGGREGATE BASE
BF	BASEMENT FLOOR
BFP	BACKFLOW PREVENTER
BSW	FINISHED GRADE AT BOTTOM OF RETAINING WALL
CB	CATCH BASIN
CI	CURB INLET
CIP	CAST IRON PIPE
CL	CENTERLINE
CO	CLEANOUT
CONC	CONCRETE
COTG	CLEANOUT TO GRADE
DIP	DUCTILE IRON PIPE
DS	DOWNSPOUT
DTL	DETAIL
DWG	DRAWING
DWY	DRIVEWAY
E	EAST, ELECTRICAL
EG	EXISTING GROUND
EP	EDGE OF PAVEMENT
(E)	EXISTING
FC	FACE OF CURB
FG	FINISH GRADE
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
FNC	FENCE
FT	FOOT/FEET
FW	FIRE WATER
G	GAS
GB	GRADE BREAK
GF	GARAGE FLOOR
HT	HEIGHT
HDPE	HIGH-DENSITY POLYETHYLENE
HP	HIGH POINT
INT	INTERSECTION
INV	INVERT
IRR	IRRIGATION
JB	JUNCTION BOX
JT	JOINT TRENCH
L	LANDING
LF	LINEAR FOOT
LUP	LIP OF GUTTER
LOG	LIMIT OF GRADING
LP	LOW POINT
MH	MANHOLE
N	NORTH
NE	NORTHEAST
NW	NORTHWEST
OH	OVERHEAD
PCC	PORTLAND CEMENT CONCRETE
PP	POWER POLE
PL	PROPERTY LINE
PV	PAVEMENT
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
ROW	RIGHT-OF-WAY
S	SOUTH, SLOPE
SD	STORM DRAIN
SE	SOUTHEAST
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
STA	STATION
STD	STANDARD
SW	SIDEWALK, SOUTHWEST
T	TELEPHONE
TC	TOP OF CURB
TH	THRESHOLD (FG IMMEDIATELY OUTSIDE DOOR)
TRW	FINISHED GRADE AT TOP OF RETAINING WALL
W	WEST, WATER
WM	WATER METER
WW	WATER VALVE

LEGEND

---	PROPERTY LINE
- - - -	PROPERTY LINE - ADJACENT
- - - -	BUILDING SETBACK
—●—●—●—	FENCE
→	FLOW DIRECTION
■	CATCH BASIN
○	CLEANOUT STRUCTURE
⊕	FIRE HYDRANT
⊙	MANHOLE STRUCTURE
□	WATER METER
⊗	WATER VALVE
⊖	ROOF DOWNSPOUT
—E—	ELECTRICAL LINE
—FW—	FIRE WATER LINE
—G—	GAS LINE
—JT—	JOINT TRENCH LINE
—OH—	OVERHEAD LINE
—RW—	RECYCLED WATER LINE
—SD—	STORM DRAIN LINE
—SS—	SANITARY SEWER LINE
—W—	WATER LINE
- - - -	SWALE



- NOTE:**
- CONCRETE PAVERS SHALL BE CALSTONE 6"x6" QUARRY STONE PAVERS WITH THE FOLLOWING SPECIFICATIONS:
 -3 1/8" THICKNESS IN VEHICULAR APPLICATION
 -2 3/8" THICKNESS IN PEDESTRIAN APPLICATION
 -4.1% OPEN AREA (GAP SPACING)
 -JOINT MATERIAL CONFORMING TO ASTM D448
 -190 INCH PER HOUR INITIAL INFILTRATION RATE
 - ALTERNATE PAVEMENT SYSTEMS MAY BE USED BUT ARE SUBJECT TO REVIEW & APPROVAL BY THE PROJECT CIVIL ENGINEER, SOILS ENGINEER & APPROPRIATE STORMWATER REVIEW AGENCY. ALTERNATE SYSTEM MUST MEET THE ABOVE PERFORMANCE SPECIFICATIONS.
 - SUBDRAIN NOT REQUIRED FOR PEDESTRIAN APPLICATIONS.



VICINITY MAP
N.T.S.

- NOTES:**
- ALL EXISTING IMPROVEMENTS SHALL BE DEMOLISHED AND REMOVED.
 - EXISTING WATER SERVICE SHALL BE REPLACED WITH A 1" MINIMUM SERVICE LINE AND METER. FIRE SPRINKLER CONTRACTOR TO PREPARE SERVICE PLAN FOR WATER SERVICE ROUTING AT BUILDING PERMIT PHASE.
 - MAINTAIN EXISTING SEWER CLEANOUT AT PROPERTY LINE.
 - MAINTAIN GOOD NEIGHBOR FENCE ALONG PROPERTY LINES. IF DAMAGED REPAIR OR REPLACE AS NECESSARY.
 - ALL COMPACTION AND GRADING SHALL BE PERFORMED UNDER THE STRICT SUPERVISION OF A GEOTECHNICAL ENGINEER.
 - CONTRACTOR TO VERIFY WITH THE GEOTECHNICAL REPORT AND ANY SUBSEQUENT ADDENDUM LETTERS FOR FINAL THICKNESS OF THE BUILDING PAD PRIOR TO CONSTRUCTION.
 - GROUND IMMEDIATELY ADJACENT TO BUILDING SHALL BE A MINIMUM OF 8" BELOW FINISHED FLOOR AND SLOPE AWAY FROM FOUNDATION AT A MINIMUM OF 5%, IN LANDSCAPED AREAS, AND 2% FOR HARDSCAPE, PER 2016 CDC 18.04.4.
 - PERVIOUS PAVEMENT STRUCTURAL SECTION IS SUBJECT TO CHANGE UPON RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION DOCUMENT PHASE. TRENCH LOCATION WITHIN PERVIOUS AREA IS NECESSARY FOR STORMWATER MITIGATION PURPOSES.
 - ALL WALKING SURFACES AND DRIVEWAYS AT GROUND LEVEL SHALL BE CONSTRUCTED OF PAVERS.
 - STORM PUMP SYSTEM SHOULD BE LIBERTY STORMCELL SYSTEM WITH STORMCELL EMERGENCY PUMP & BATTERY BACKUP, OR APPROVED ALTERNATIVE. ALTERNATIVE SYSTEM SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO INSTALLATION.

HATCH LEGEND

	PERVIOUS PAVERS-DRIVEWAY SEE DTL ON SHT C1.0
	PERVIOUS PAVERS-WALKWAY/PATIO SEE DTL ON SHT C1.0
	CONCRETE
	GRAVEL

SURVEY

SURVEY FOR THIS PROJECT PROVIDED BY DMG ENGINEERING, INC. JOB 18-68, DATED 05-03-18

BENCHMARK

BENCHMARK FOR THIS SURVEY IS BASED ON AN ASSUMED DATUM. FINISH FLOOR OF EXISTING HOUSE TAKEN AS 100.0 FEET.

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
C1.0	GRADING AND DRAINAGE PLAN
C2.0	UTILITY PLAN
C3.0	STORMWATER CONTROL PLAN



RAMSEY
CIVIL ENGINEERING, INC.

CIVIL ENGINEERING
LAND PLANNING
PROJECT MANAGEMENT
CONSTRUCTION SUPPORT
QSD AND QSP SERVICES

2905 KRISTIE COURT
SANTA CRUZ, CA 95065
TEL (831) 462-2905
www.ramseycivilengineering.com

REGISTERED PROFESSIONAL ENGINEER
DAVID RAMSEY
NO. C73735
CIVIL
STATE OF CALIFORNIA

10/15/19 DATE

DAVID RAMSEY
RCE# 73735

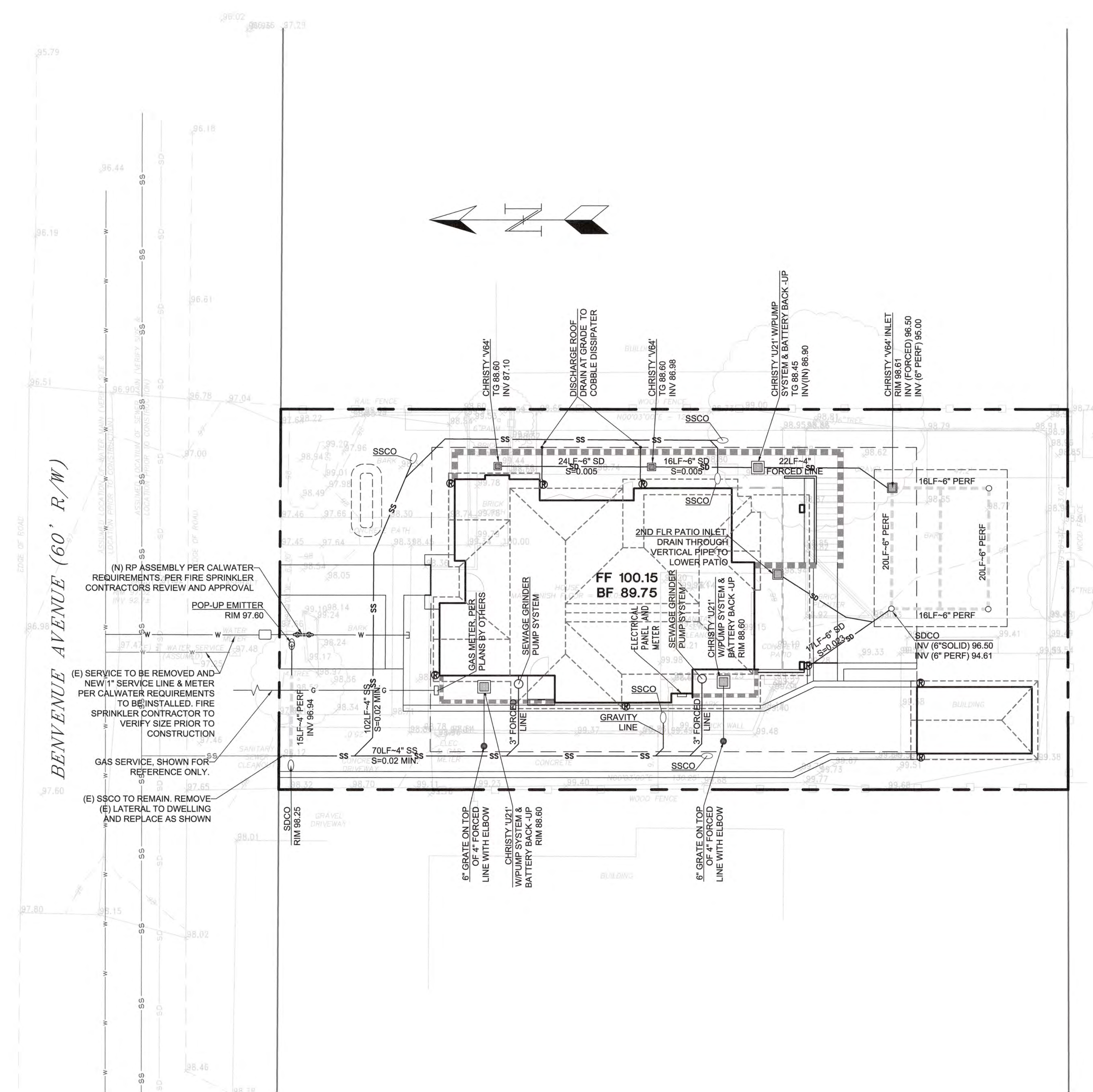
APN# 189-52-059
PLAN TYPE:
SINGLE FAMILY HOME

GRADING AND DRAINAGE PLAN
GARG RESIDENCE
510 BENVENUE AVENUE, LOS ALTOS, CA

REVISION BLOCK	DATE	DESCRIPTION
1	10/15/19	PLANNING REVISIONS
2		
3		
4		
5		
6		
7		
8		
9		
10		

DRAWN BY: DMR
DESIGNED BY: DMR
DATE: 06/04/19
SCALE: AS NOTED
PROJECT NO: 19-014
SHEET:

C1.0



(N) RP ASSEMBLY PER CALWATER REQUIREMENTS. PER FIRE SPRINKLER CONTRACTORS REVIEW AND APPROVAL

POP-UP EMITTER RIM 97.60

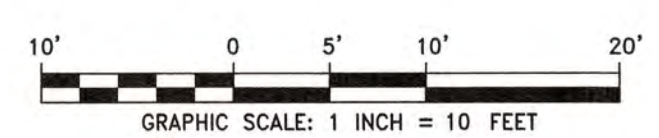
(E) SERVICE TO BE REMOVED AND NEW 1" SERVICE LINE & METER PER CALWATER REQUIREMENTS TO BE INSTALLED. FIRE SPRINKLER CONTRACTOR TO VERIFY SIZE PRIOR TO CONSTRUCTION

GAS SERVICE, SHOWN FOR REFERENCE ONLY.

(E) SSCO TO REMAIN. REMOVE (E) LATERAL TO DWELLING AND REPLACE AS SHOWN

NOTES:

1. EXISTING WATER SERVICE TO MAIN SHALL BE REPLACED WITH A 1" MINIMUM SERVICE. FIRE AND DOMESTIC SERVICES TO HOUSE SHALL BE SERVED OFF 1" LINE PER CAL WATER REQUIREMENTS
2. WATER SYSTEM REDUCED PRESSURE PRINCIPLE ASSEMBLY (RP) BACKFLOW DEVICE PER CALWATER APPROVED LIST. RP DEVICE TO BE VERIFIED BY FIRE SPRINKLER CONTRACTOR PRIOR TO INSTALLATION AND MAY BE SUBSTITUTED FOR A PASSIVE PURGE SYSTEM BASED ON FIRE SPRINKLER CONTRACTORS RECOMMENDATIONS AND WATER FLOW CALCULATIONS.
3. SEWER PUMPS TO INCLUDE A GRINDER UNIT.
4. STORM PUMPS, TO BE DUAL PUMP SYSTEMS, WITH SECOND PUMP BEING AN EMERGENCY PUMP WITH BATTERY BACK-UP.
5. ELECTRIC AND GAS SERVICES/METERS SHOWN FOR REFERENCE ONLY AND SHALL BE DESIGNED BY OTHERS IN CONSTRUCTION DOCUMENT PHASE.
6. EXISTING SEWER MAIN INVERTS TO BE VERIFIED PRIOR TO CONSTRUCTION. 2% MIN. SLOPE ON SEWER LATERALS SHALL BE MAINTAINED. IF CONFLICTS ARISE, ENGINEER SHALL BE NOTIFIED.
7. ALL CLEANOUTS, STORM AND SEWER, SHALL BE TO GRADE, WITH A 6" MIN RISER AND LID, FOR MAINTENANCE PURPOSES.



RAMSEY
CIVIL ENGINEERING INC.

CIVIL ENGINEERING
LAND PLANNING
PROJECT MANAGEMENT
CONSTRUCTION SUPPORT
QSD AND QSP SERVICES

2905 KRISTIE COURT
SANTA CRUZ, CA 95065
TEL (831) 462-2905
www.ramseycivilengineering.com

NOT FOR CONSTRUCTION

PROFESSIONAL ENGINEER
DAVID RAMSEY
NO. C73735
CIVIL
STATE OF CALIFORNIA

10/15/19
DATE

DAVID RAMSEY
RCE# 73735

APN# 189-52-059

PLAN TYPE:
SINGLE FAMILY HOME

UTILITY PLAN
GARG RESIDENCE
510 BENVENUE AVENUE, LOS ALTOS, CA

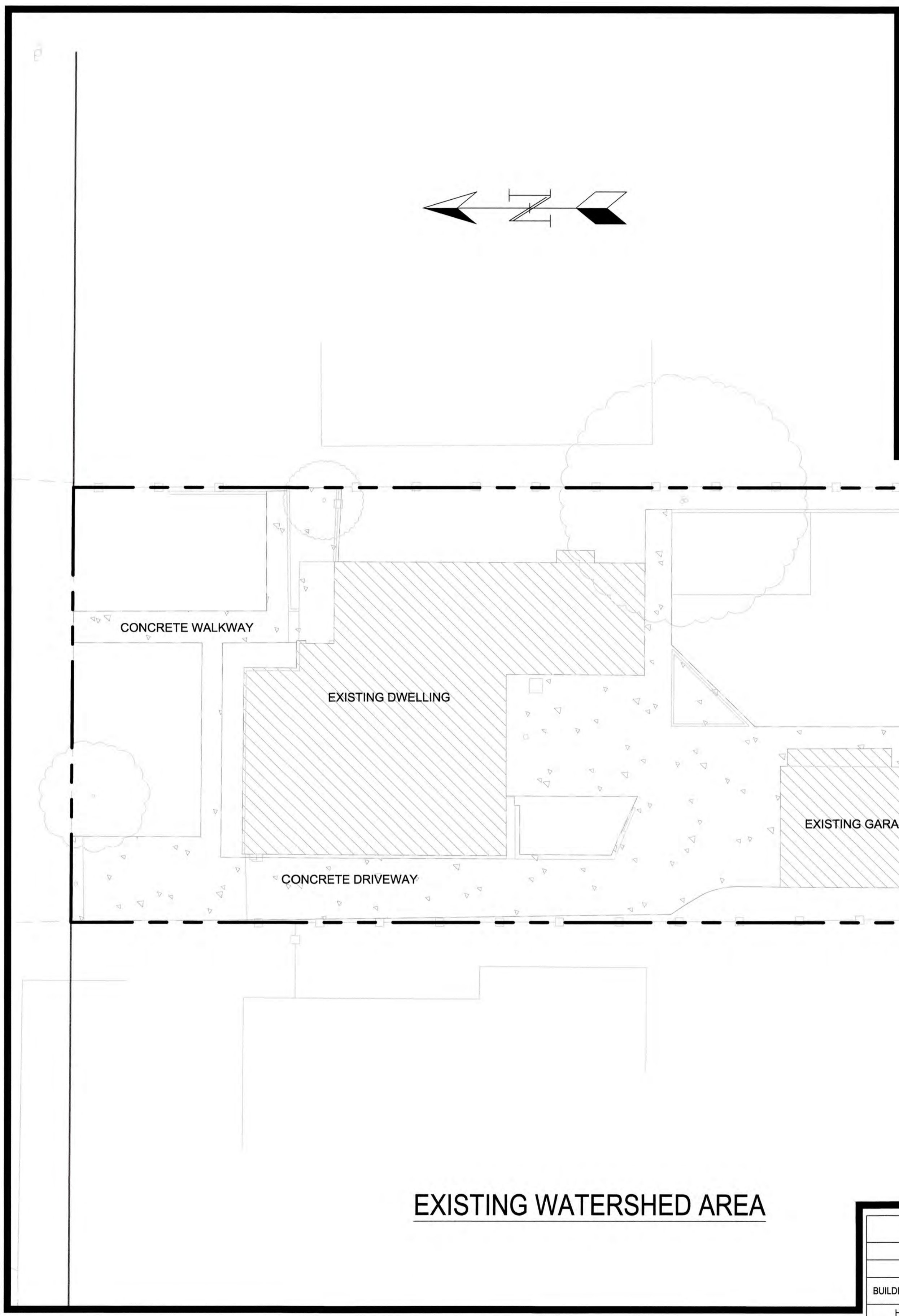
REVISION BLOCK	NUMBER	BY	DESCRIPTION	DATE
1	DMR	DMR	PLANNING REVISIONS	10/15/19

DRAWN BY: DMR
DESIGNED BY: DMR
DATE: 06/04/19
SCALE: AS NOTED
PROJECT NO: 19-014
SHEET:
C2.0

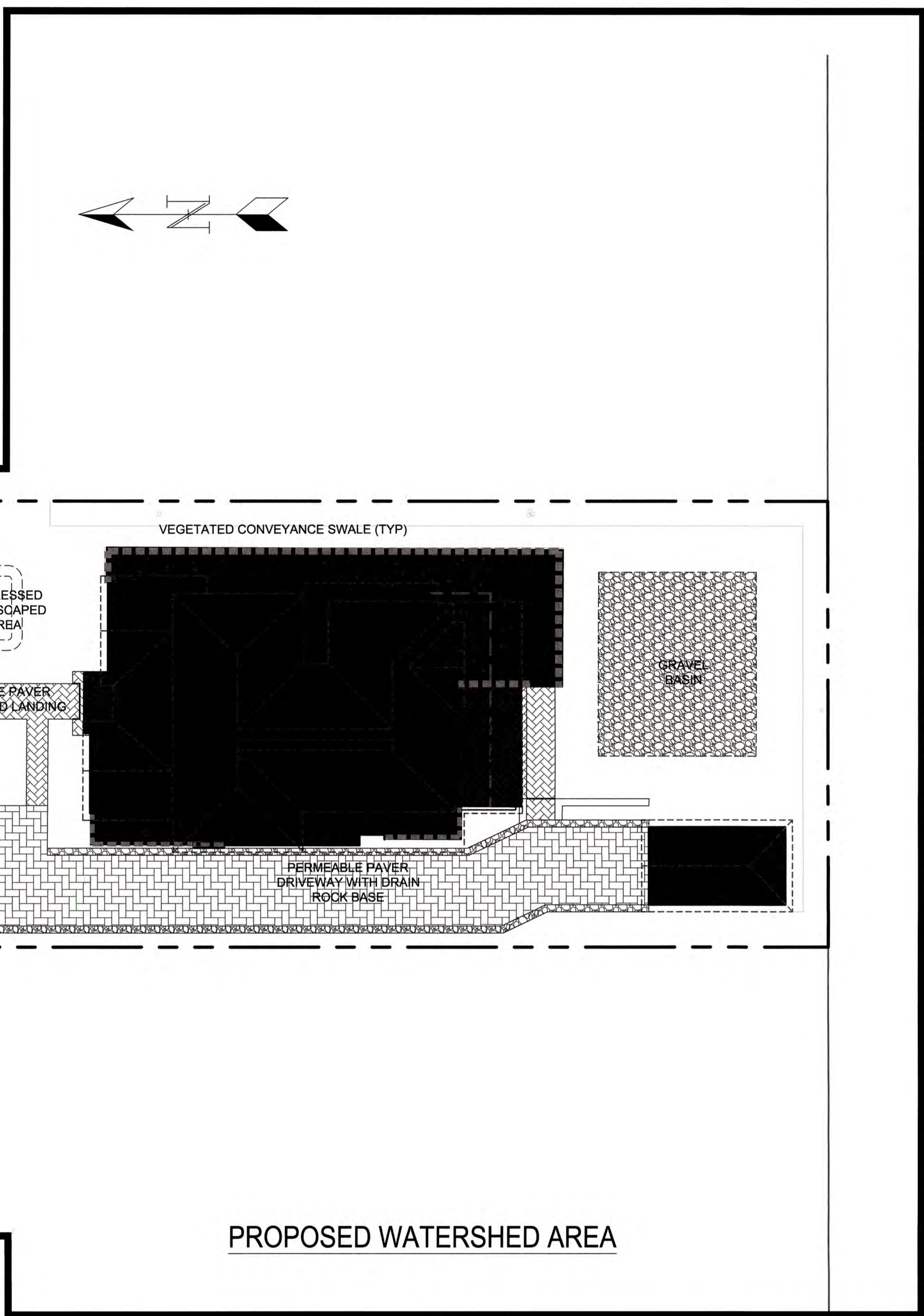
REVISION BLOCK	NUMBER	DATE	DESCRIPTION
1	DMR	10/15/19	PLANNING REVISIONS

HATCH LEGEND

- PERVIOUS PAVERS-DRIVEWAY
SEE DTL ON SHT C1.0
- PERVIOUS PAVERS-WALKWAY/PATIO
SEE DTL ON SHT C1.0
- PROPOSED STRUCTURAL ROOF
AREA, INCLUDING LIGHT WELLS
- CONCRETE
- GRAVEL
- EXISTING STRUCTURE AREA



EXISTING WATERSHED AREA



PROPOSED WATERSHED AREA

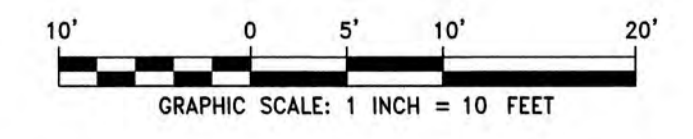
AREA BREAKDOWN

TOTAL AREA	8,191± SF	
	EXISTING	PROPOSED
BUILDING/IMPERVIOUS AREA	2,207 SF	2,883 SF
HARDSCAPE AREA	2,418 SF	0 SF
PERMEABLE PAVER AREA	0 SF	1,388 SF
VEGETATED AREA INCLUDING GRAVEL BASIN WITH MULCH ON TOP	3,566 SF	3,920 SF
TOTAL IMPERVIOUS AREA*	4,625 SF	3,577 SF

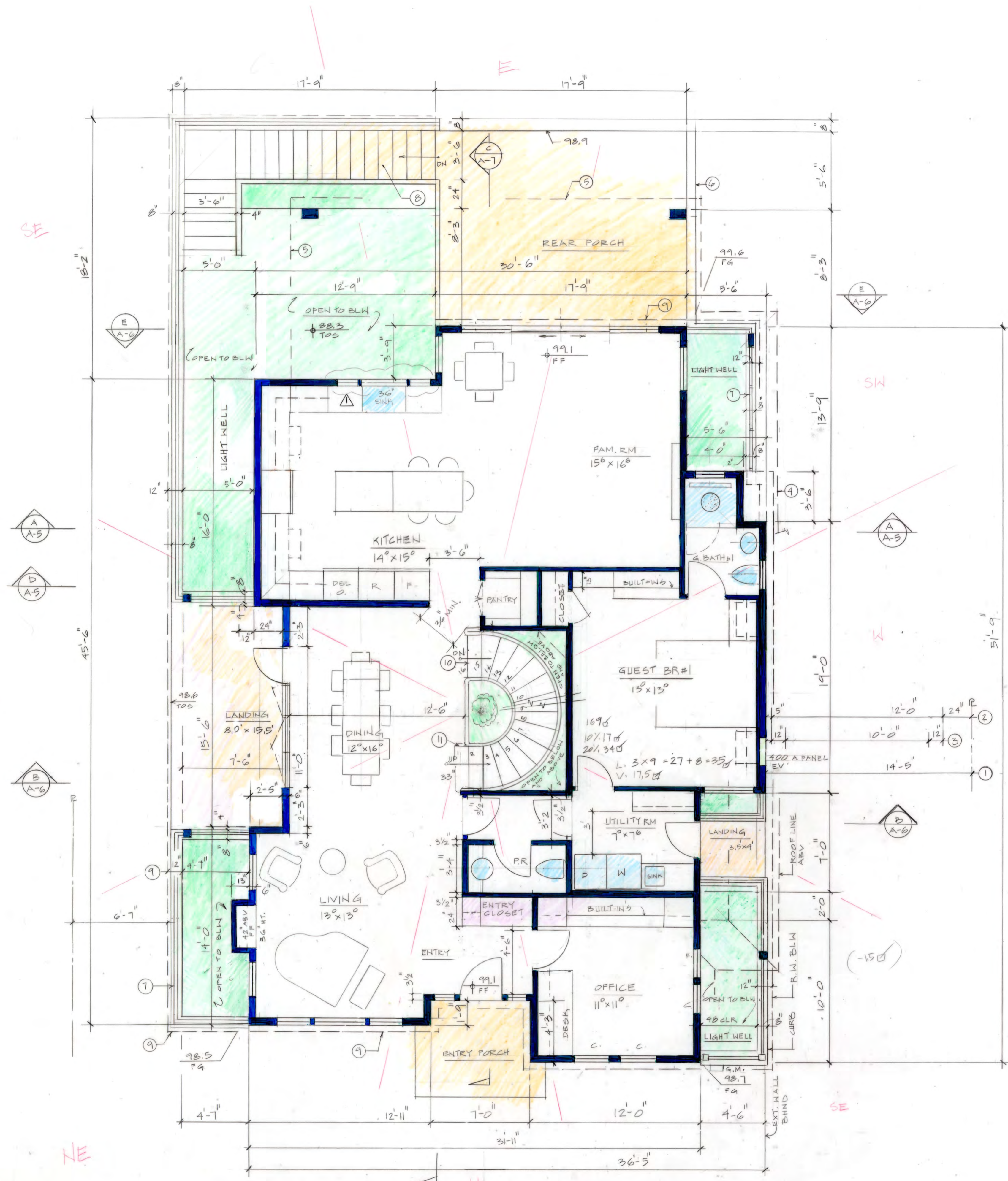
*PERMEABLE AREA COUNTS AS 50%

NOTE: TOTAL SITE IMPERVIOUS SURFACE WILL BE REDUCED BY APPROXIMATELY 1,048 SF, AS A RESULT OF THE NEW DEVELOPMENT. NEW DEVELOPMENT WILL UTILIZE PERVIOUS PAVERS WHERE FEASIBLE ALLOWING FOR THE TOTAL REDUCTION IN IMPERVIOUS SURFACES.

- NOTES:**
- GARAGE ROOF AREA TO DISCHARGE AT GRADE, TO DRIVEWAY PERMEABLE PAVER AREA.
 - MAIN HOUSE WESTERLY & NORTHWESTERLY ROOF AREAS TO DISCHARGE AT GRADE, TO DRIVEWAY PERMEABLE PAVERS
 - MAIN HOUSE SOUTHERLY ROOF AREA TO DISCHARGE VIA HARD PIPE TO PERFORATED SUBDRAINS, TO GRAVEL BASIN BELOW SOUTHERLY YARD.
 - MAIN HOUSE EASTERLY & NORTHEASTERLY ROOF AREA TO DISCHARGE AT GRADE TO LANDSCAPING (SWALE AND DEPRESSED AREA) ALONG EASTERLY PROPERTY LINE AND NORTHERLY YARD AREA.
 - BELOW GRADE GRAVEL BASIN SHALL OVERFLOW TO VEGETATED SWALE ALONG EASTERLY PROPERTY LINE
 - DRIVEWAY GRAVEL BED TO OVERFLOW TO POP-UP EMITTER AT NORTHEASTERLY CORNER OF DRIVEWAY.



- SHEET NOTES**
FIRST FLOOR PLAN :
 A. NOTES: Alphabetical sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the plan.
 B. COORDINATION: Contractor shall coordinate this drawing with other contract documents.
1. Exterior wall to property line distance.
 2. Cont. planting strip at 12 ft wide garage access.
 3. 12 ft wide garage access: 10 ft pervious pavers driveway with 12" gravel strip at each side.
 4. Roof overhang above: first floor roof.
 5. Roof overhang above porch: first floor roof cont.
 6. 10" ht cont. curb with stone veneer.
 7. Guardrail at cont. curb with stone veneer.
 8. Stairs to basement.
 9. Retaining wall below.
 10. Stairs to basement.
 11. Stairs to second floor.



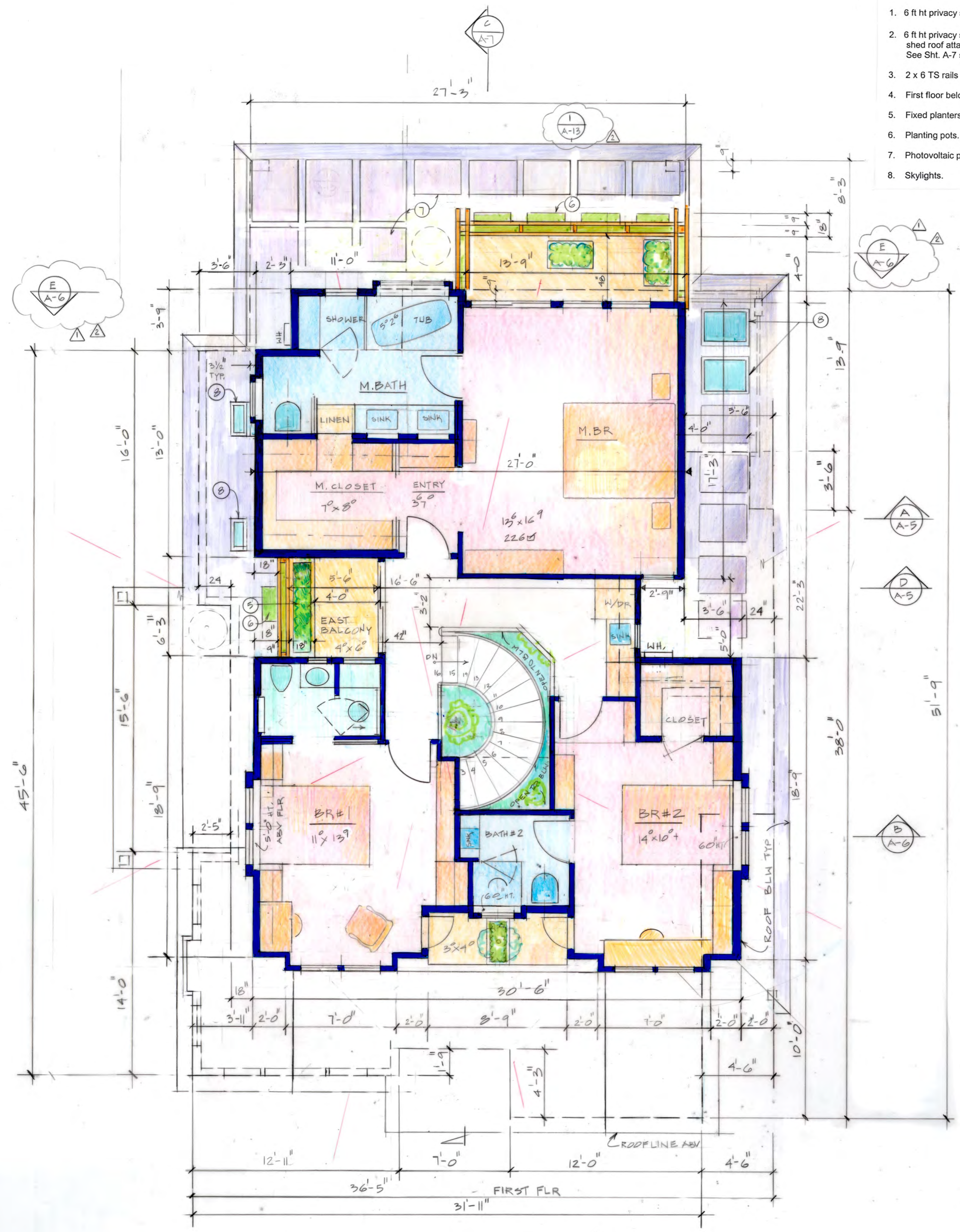
FIRST FLOOR PLAN / 1514 d
 1/4" = 1'-0"

All ideas and designs on the drawings are and shall remain the property of Summers & Novick and the client. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE
△	10-15-19
△	11-20-19

Approved:
 Date: 6-20-19
 Scale: NOTED
 Drawn: GN
 Job:
 Sheet:
A-1

- SHEET NOTES
 SECOND FLOOR PLAN :
- A. NOTES: Alphabetical sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the plan.
- B. COORDINATION: Contractor shall coordinate this drawing with other contract documents
- 6 ft ht privacy structure continuous on three sides of the balcony.
 - 6 ft ht privacy structure comprised of 42" high wall at the base with a low shed roof attached to it on one side and fixed planter on the other side. See Sht. A-7 section "C".
 - 2 x 6 TS rails welded to 3 x 3 TS vertical supports built into the half-wall.
 - First floor below typ.
 - Fixed planters
 - Planting pots.
 - Photovoltaic panels.
 - Skylights.



SECOND FLOOR PLAN
 1/4" = 1'-0"

All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE

Approved:
 Date: 11-20-2019
 Scale: NOTED
 Drawn: GN
 Job:
 Sheet: **A-2**

All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE
1	11-20-19

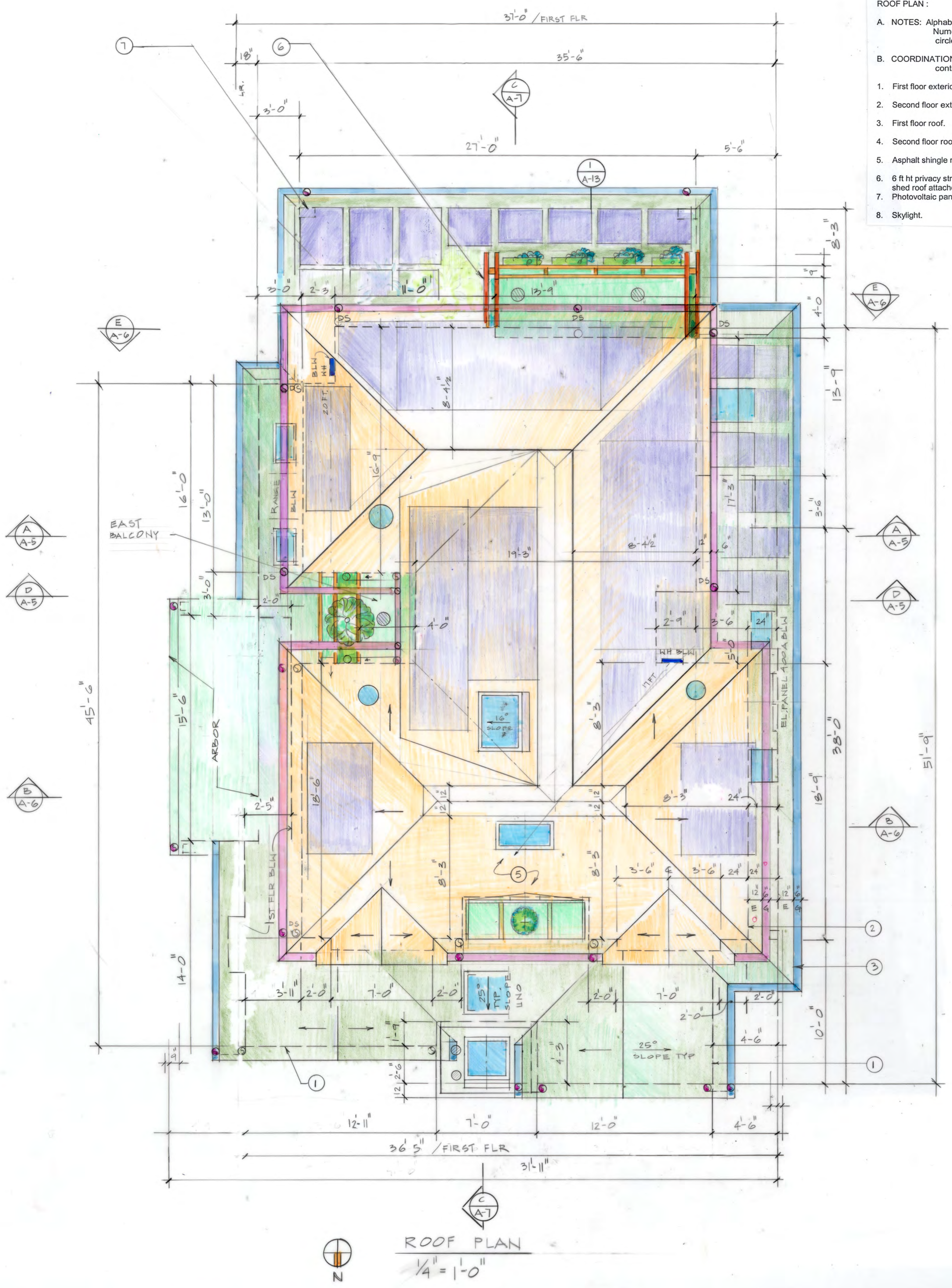
Approved:
 Date: 11-20-2019
 Scale: NOTED
 Drawn: GN
 Job:
 Sheet: **A-4**

SHEET NOTES
ROOF PLAN:

A. NOTES: Alphabetical sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the plan.

B. COORDINATION: Contractor shall coordinate this drawing with other contract documents.

1. First floor exterior walls.
2. Second floor exterior walls.
3. First floor roof.
4. Second floor roof.
5. Asphalt shingle roofing per P.N.
6. 6 ft ht privacy structure comprised of 42" high wall at the base with a low shed roof attached to it on one side and fixed planter on the other side.
7. Photovoltaic panels.
8. Skylight.



ROOF PLAN
 1/4" = 1'-0"

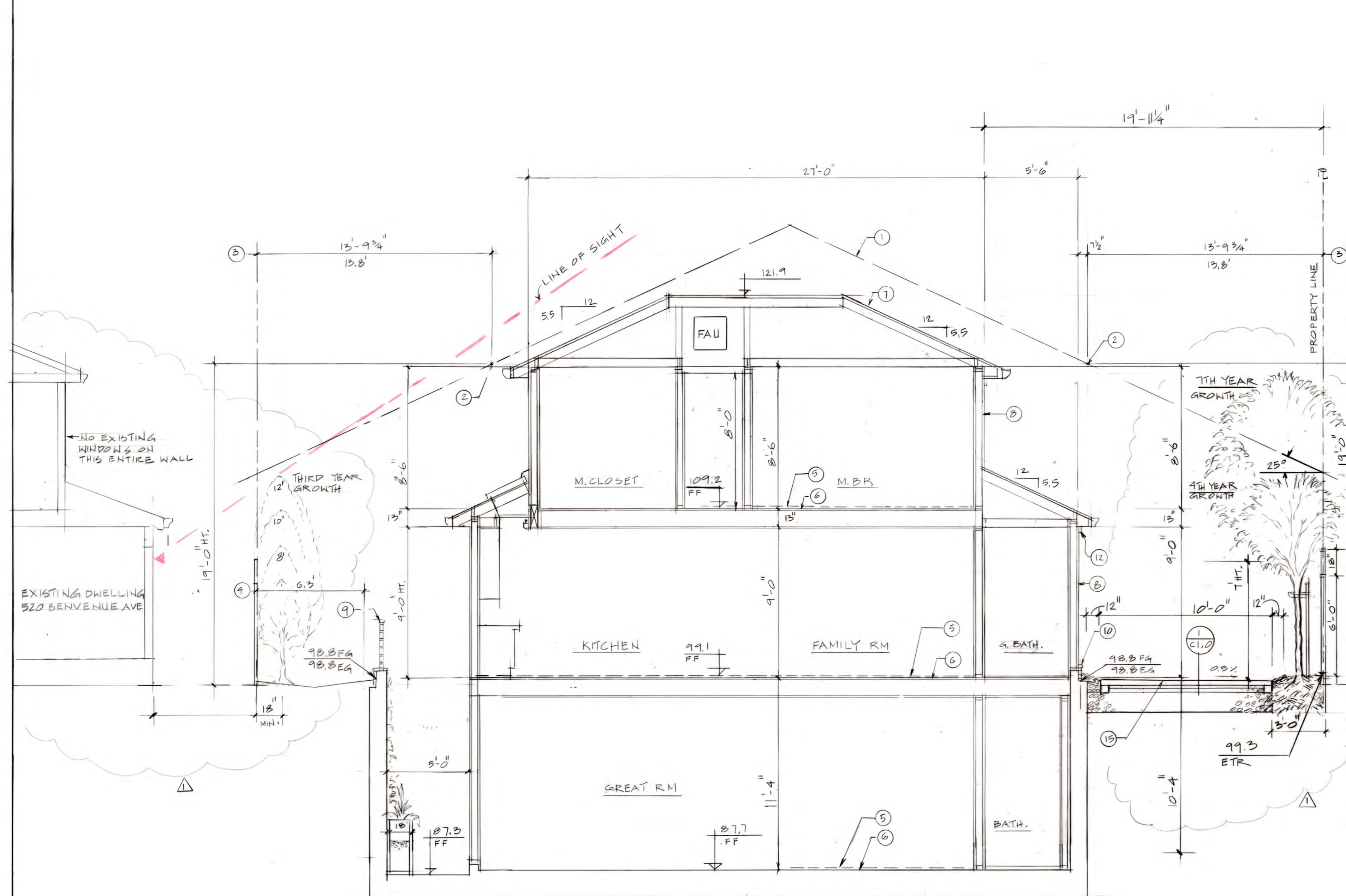
SHEET NOTES
SECTION "A", SECTION "D":

- A. NOTES: Alphabetical sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the plan.
- B. COORDINATION: Contractor shall coordinate this drawing with other contract documents.
- ① Daylight plane.
 - ② 19 ft ht point at each second story setback line.
 - ③ Required 2nd floor setback.
 - ④ Required 1st floor setback.
 - ⑤ Finish floor.
 - ⑥ Subfloor.
 - ⑦ Asphalt shingle roofing per P.N.
 - ⑧ Board and batten traditional siding.
 - ⑨ Guardrail
 - ⑩ Stone veneer.
 - ⑪ Second floor privacy trellis at East balcony.
 - ⑫ Wood windows and doors with exterior clad and 2x4 cedar trim typ.

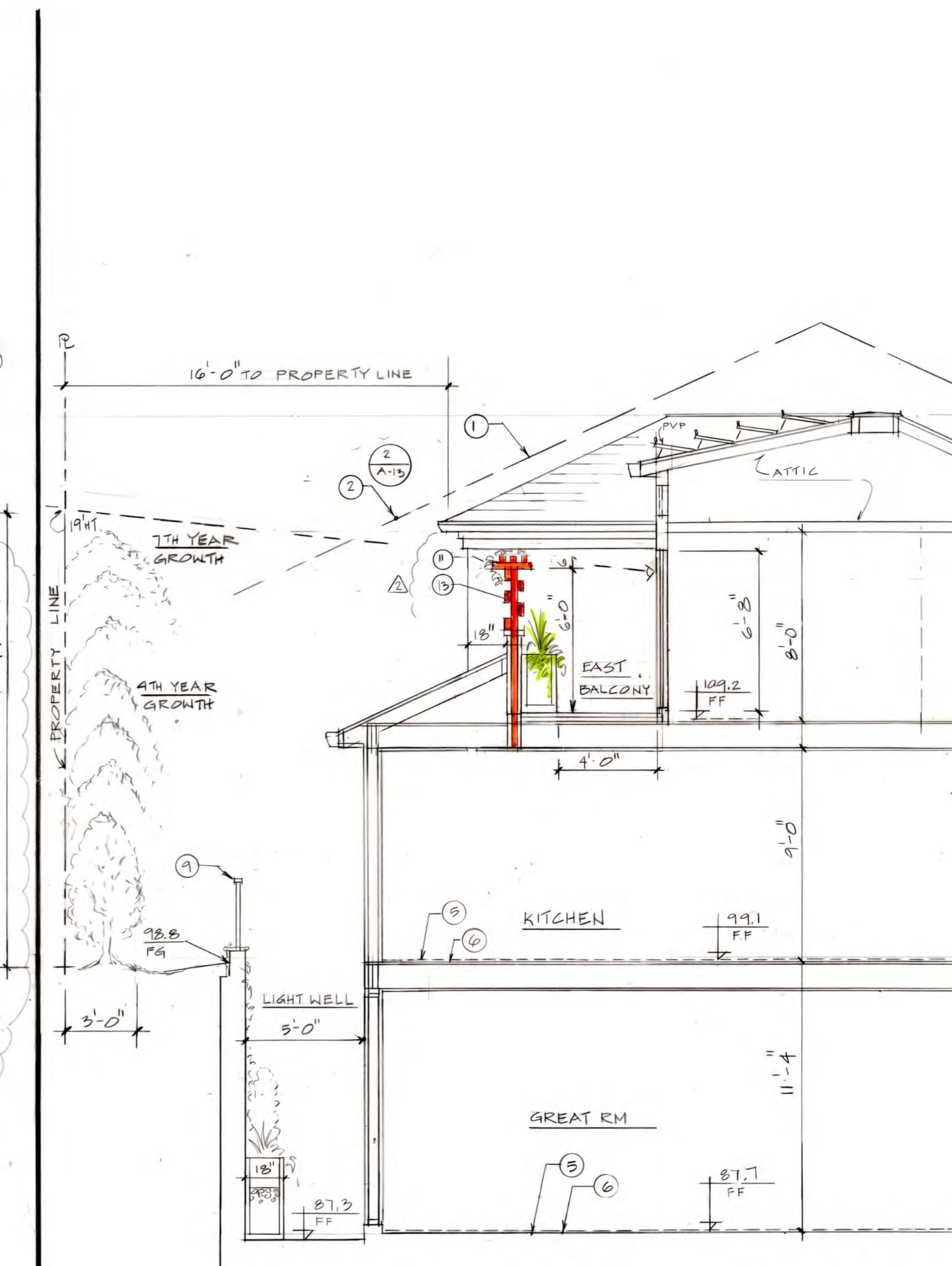
13. 2 x 6 TS rails welded to 3 x 3 TS vertical supports built into the half-wall.

14. 6 ft ht privacy structure comprised of 42" high wall at the base with a low shed roof attached to it on one side and fixed planter on the other side.

15. 12 ft wide garage access: 10 ft pervious pavers driveway with 12" gravel strip at each side, see Sht C1.0 for detail and specifications.



SECTION "A"
1/4" = 1'-0"



SECTION "D"
1/4" = 1'-0"

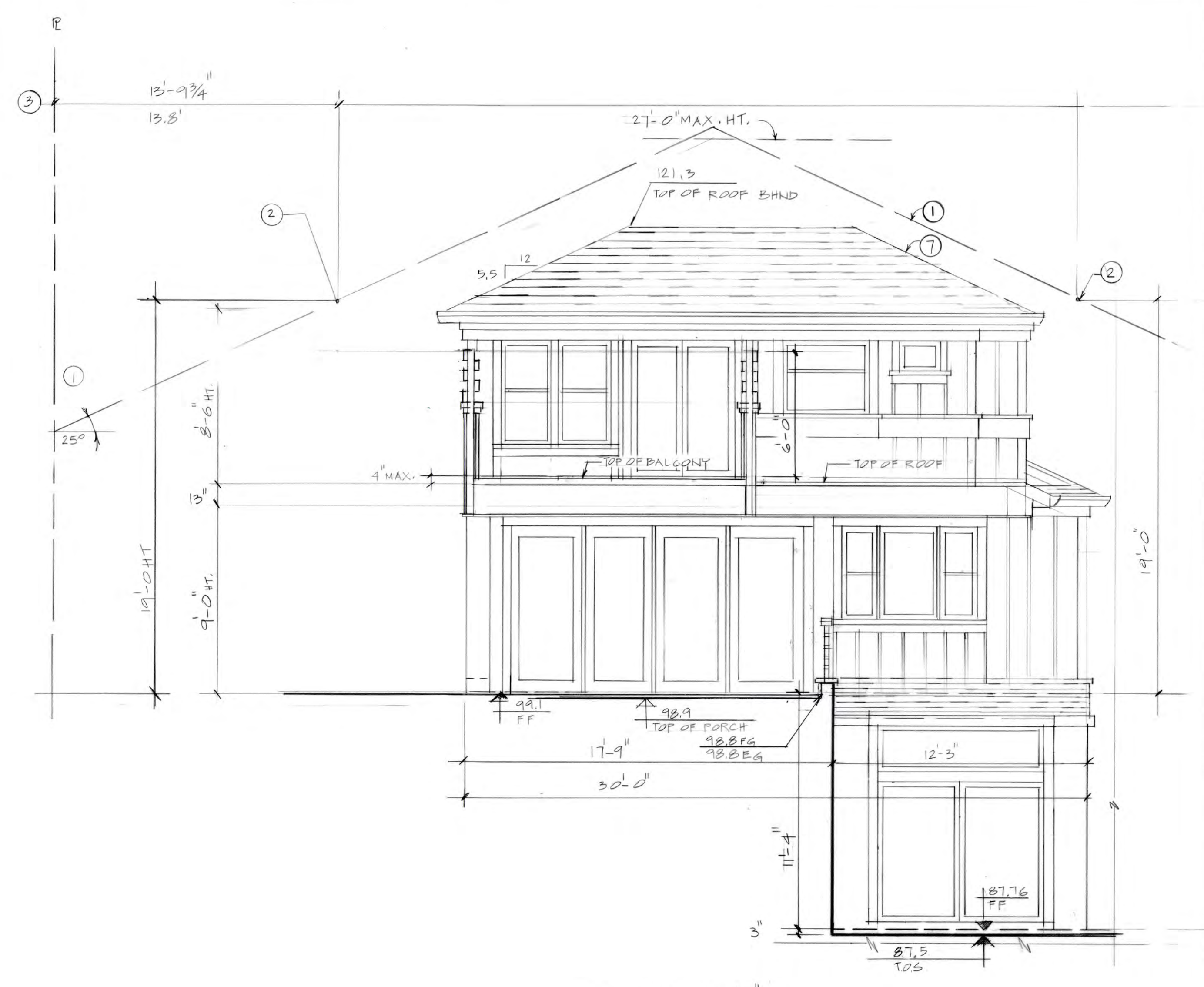
All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE
△	10-15-19
△	11-20-19

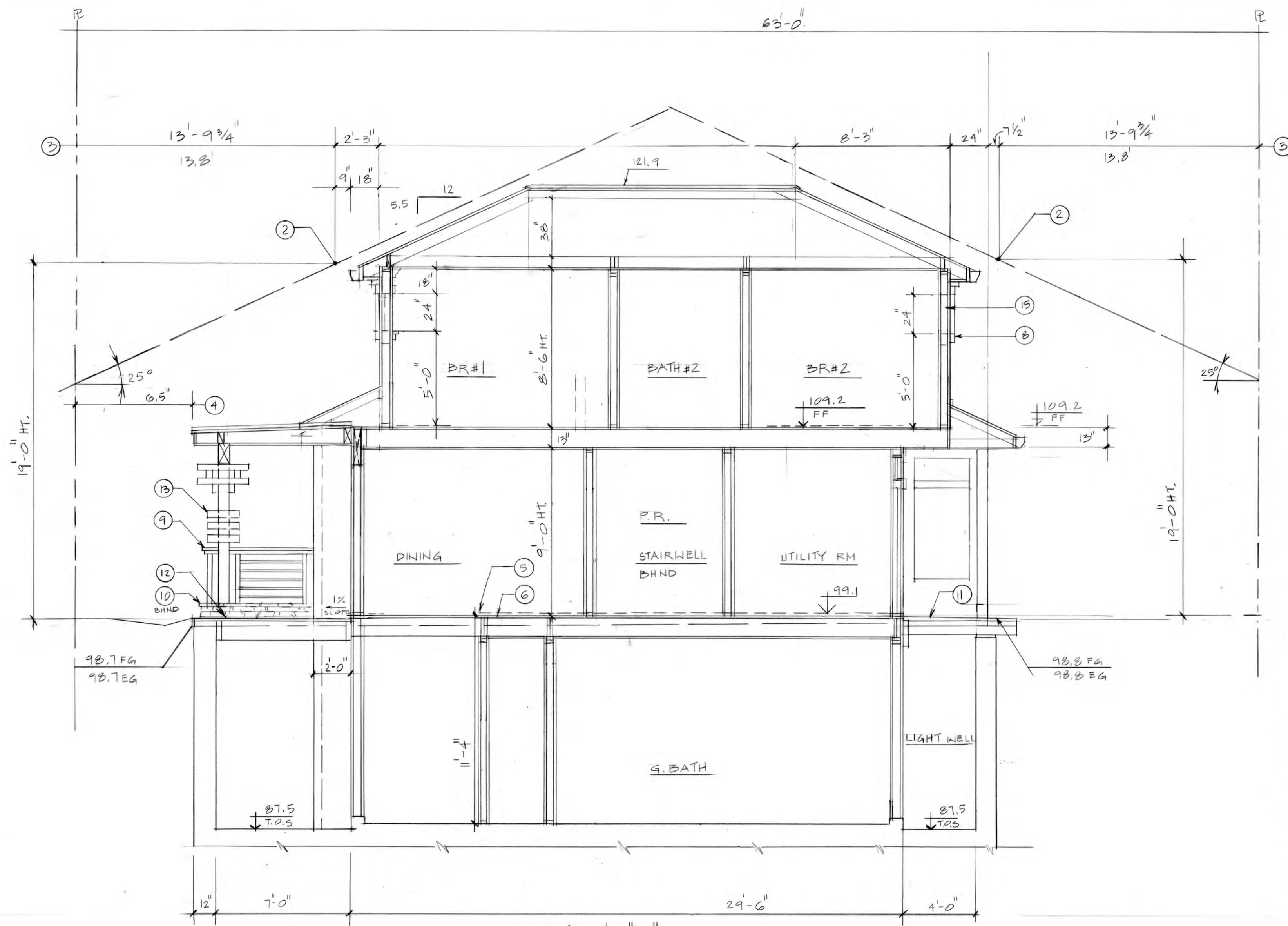
Approved:
Date: 6-20-19
Scale: NOTED
Drawn: GN
Job:
Sheet:

SHEET NOTES
SECTION "B" & "E"

- A. NOTES: Alphabetic sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the plan.
- B. COORDINATION: Contractor shall coordinate this drawing with other contract documents.
- Daylight plane.
 - 19 ft ht point at each second story setback line.
 - Required 2nd floor setback.
 - Required 1st floor setback.
 - Finish floor.
 - Subfloor.
 - Asphalt shingle roofing per P.N.
 - Board and batten traditional siding.
 - Guardrail.
 - Stone veneer.
 - Landing at utility room.
 - Landing at dining room.
 - Trellis behind, located each side of dining room landing.
 - Property line.
 - Wood windows and doors with exterior clad and 2x4 cedar trim typ.
 - 6 ft ht privacy structure on all three sides of the balcony comprised of 42" ht wall at the base with a low shed roof attached to it on one side and fixed planter on the other side.
2 x 6 TS rails welded to 3 x 3 TS vertical supports built into the half-wall.



SECTION "E"
1/4" = 1'-0"



SECTION "B"
1/4" = 1'-0"

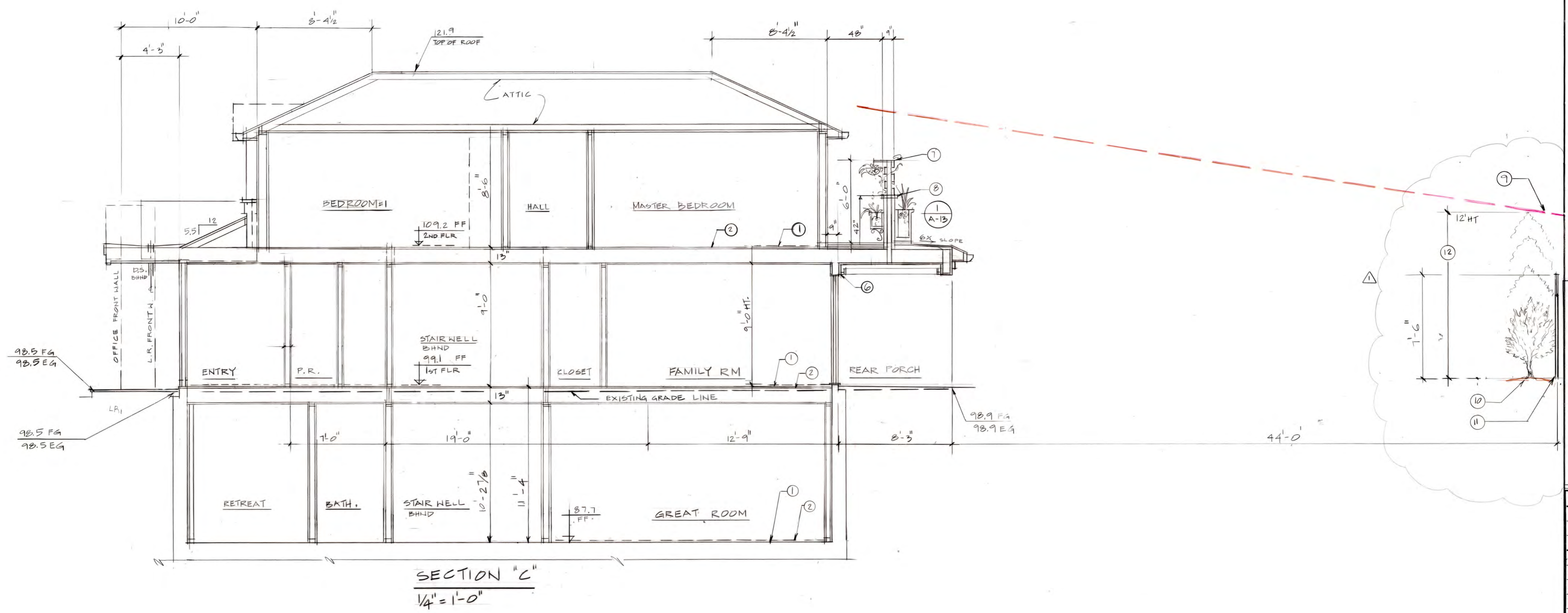
All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE
1	11-20-19

Approved:
Date: 11-20-19
Scale: NOTED
Drawn: GN
Job:
Sheet: **A-6**

SHEET NOTES
 SECTION "C" :

- A. NOTES: Alphabetical sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the plan.
- B. COORDINATION: Contractor shall coordinate this drawing with other contract documents.
- ① Finish floor.
 - ② Subfloor.
 - ③ Asphalt shingle roofing per P.N.
 - ④ Board and batten traditional siding.
 - ⑤ Change of roof slope at entry porch.
 - ⑥ Wood windows and doors with exterior clad and 2x4 cedar trim typ.
 - ⑦ 2 x 6 TS rails welded to 3 x 3 TS vertical supports built into the half-wall.
 - ⑧ 6 ft ht privacy structure comprised of 42" high wall at the base with a low shed roof attached to it on one side and fixed planter on the other side.
 - ⑨ Sight line from the neighbors property 50 ft from the property line.
 - ⑩ Evergreen screening tree/shrub: see Sht L-2 specifications.
 - ⑪ Existing fence at the south property line.
 - ⑫ Height of screening plants is expected to be 12 ft in three years.

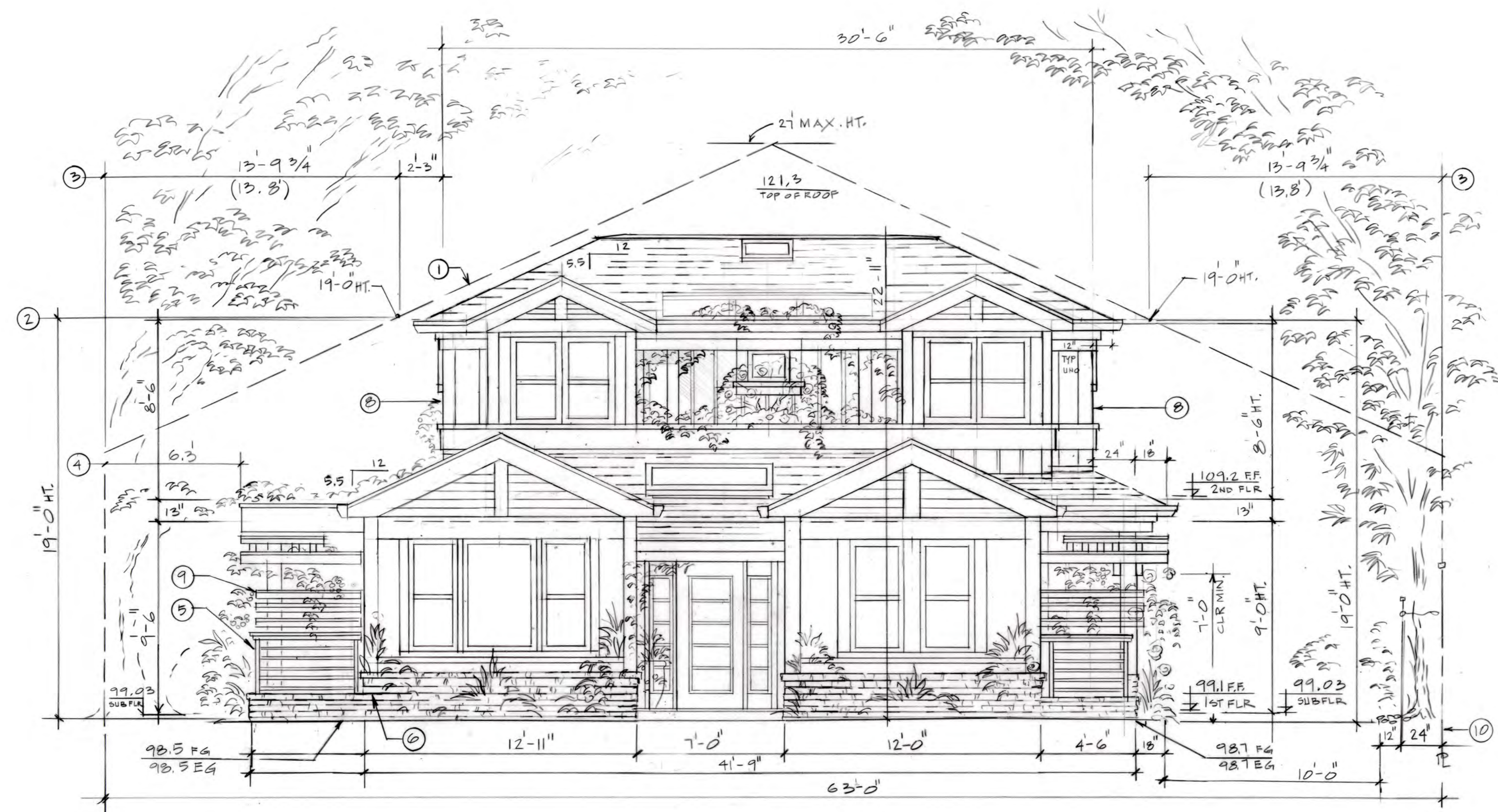


All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE
△	10-15-19
△	11-20-19

Approved:
 Date: 6-20-19
 Scale: NOTED
 Drawn: GN
 Job:
 Sheet: **A-7**

510 BENVENUE AVE
 LOS ALTOS, CA 94024

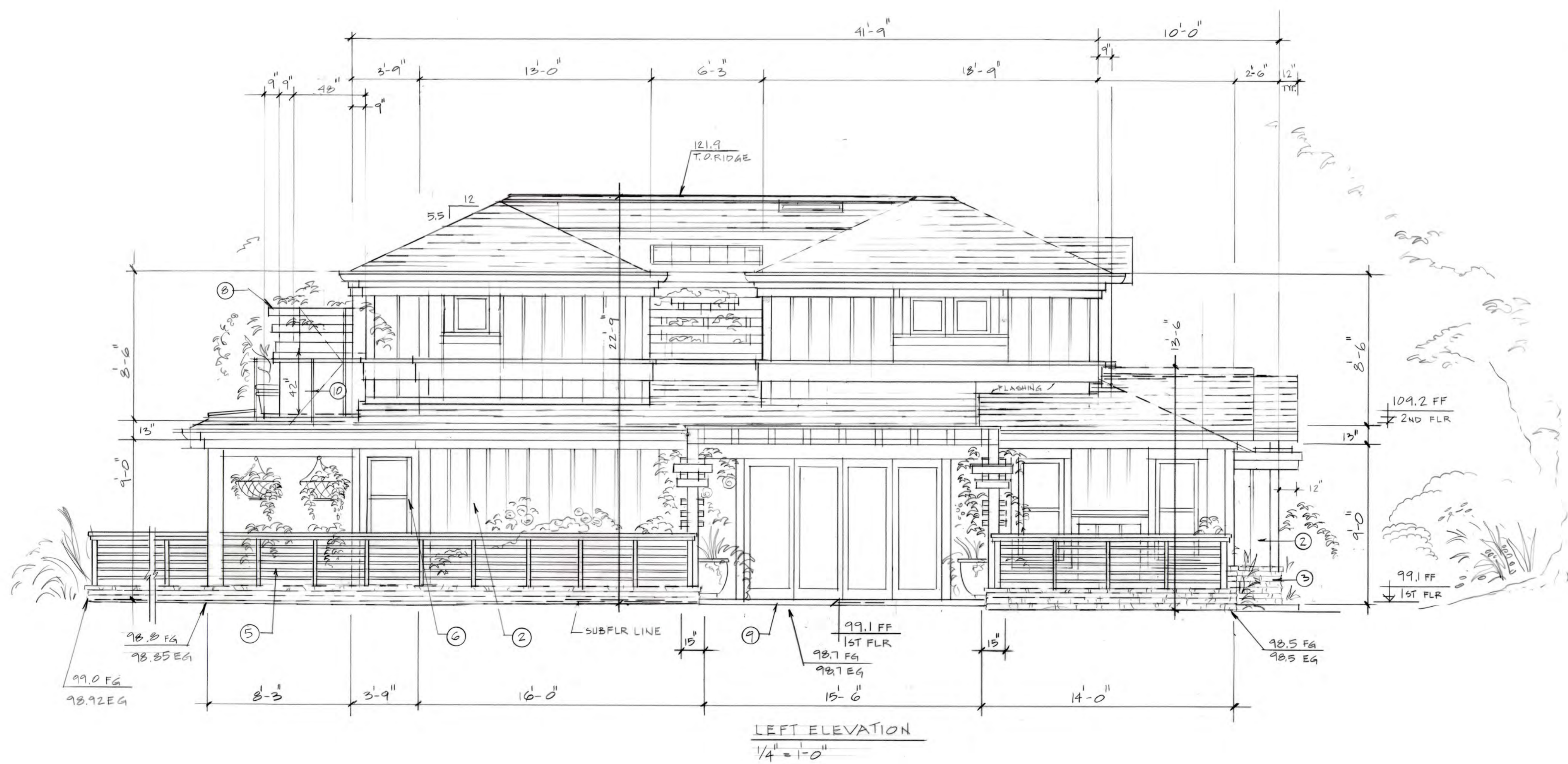


FRONT ELEVATION
1/4" = 1'-0"

All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others, except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE
△	11-20-19

Approved:
Date:
Scale: 11-20-19
Drawn: GN
Job:
Sheet:



LEFT ELEVATION
 1/4" = 1'-0"

SHEET NOTES
 LEFT ELEVATION:

- A. NOTES: Alphabetical sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the elevation.
- B. COORDINATION: Contractor shall coordinate this drawing with other contract documents.
- Asphalt shingle roofing.
 - Vertical siding: board and batten traditional siding.
 - Stone veneer: "Rustic Ledge" by Eldorado Stone.
 - Existing grade line.
 - Guardrail at light wells typ. 42" min ht.
 - Wood windows and doors with exterior clad and 2x4 cedar trim typ.
 - Second floor windows located 4'-6" above the finish floor to meet privacy window placement requirement for second floor windows at side elevations typ.
 - 6.5 ft ht privacy structure comprised of 42" ht wall at the base with a low shed roof attached to it on one side and fixed planter on the other side. 2 x 6 TS rails welded to 3 x 3 TS vertical supports built into the half-wall. See Sht A-5 Section "D" for details.
 - Top of landing.
 - Safety guard rail 42" ht. as required: stainless steel 4" sq wire attached to stainless steel vertical support at 36" on center.

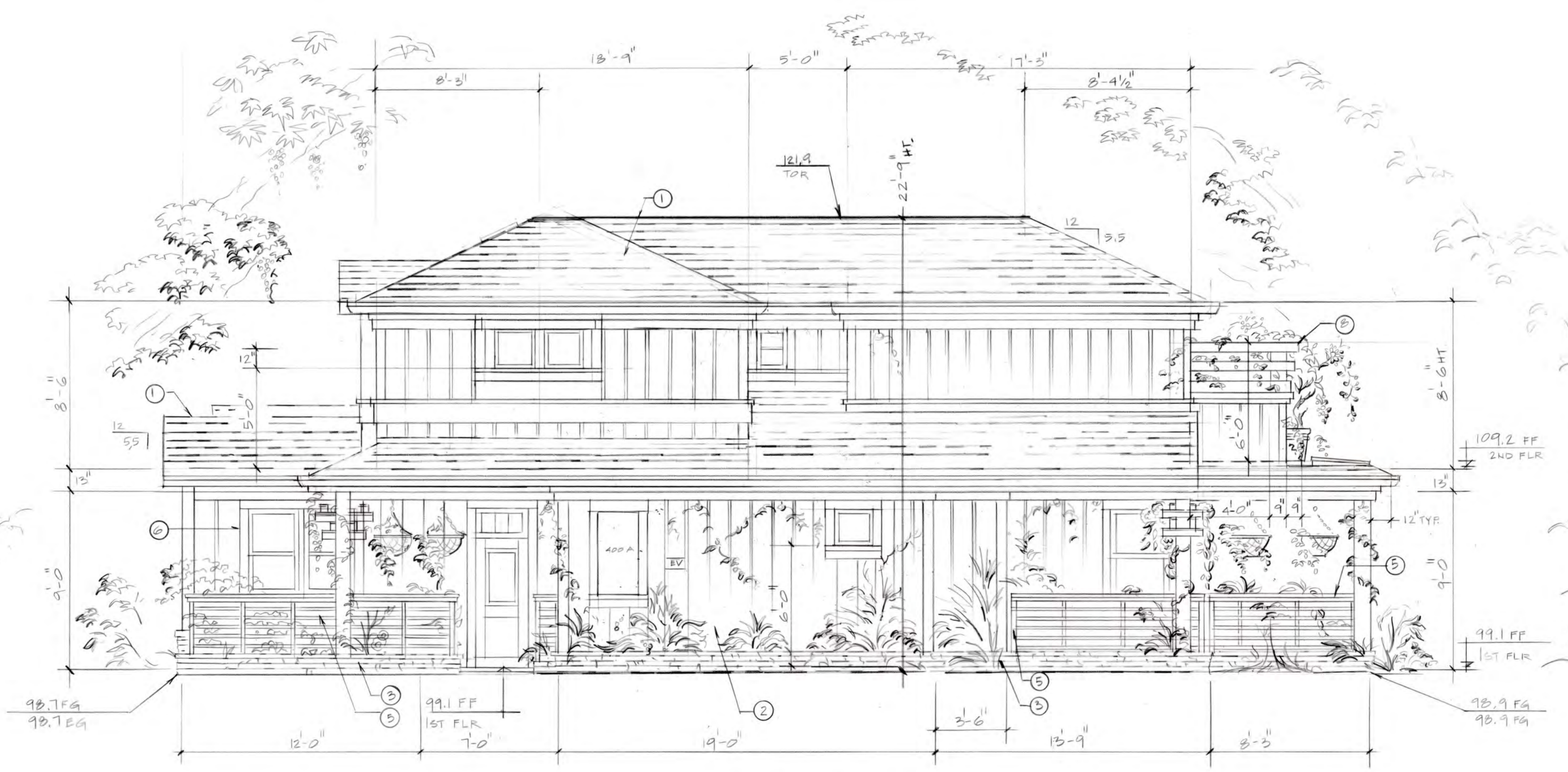
All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE
1	11-20-19

Approved:
 Date: 11-20-19
 Scale: NOTED
 Drawn: GN
 Job:
 Sheet:
A-10

SHEET NOTES
 RIGHT ELEVATION:

- A. NOTES: Alphabetical sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the elevation.
- B. COORDINATION: Contractor shall coordinate this drawing with other contract documents.
1. Asphalt shingle roofing.
 2. Vertical siding: board and batten traditional siding.
 3. Stone veneer: "Rustic Ledge" by Eldorado Stone.
 4. Existing grade line.
 5. Guardrail at light well: typ. 42" min ht.
 6. Wood windows and doors with exterior clad and 2x4 cedar trim typ.
 7. Second floor windows located 5 ft above the finish floor at the east and west exterior walls of the dwelling. Exceeding min. requirement for privacy window placement by 6".
 8. 6 ft ht privacy structure on all three sides of the balcony comprised of 42" ht wall at the base with a low shed roof attached to it on one side and fixed planter on the other side.
 2 x 6 TS rails welded to 3 x 3 TS vertical supports built into the half-wall. See Sht A-7 Section "C" for details.



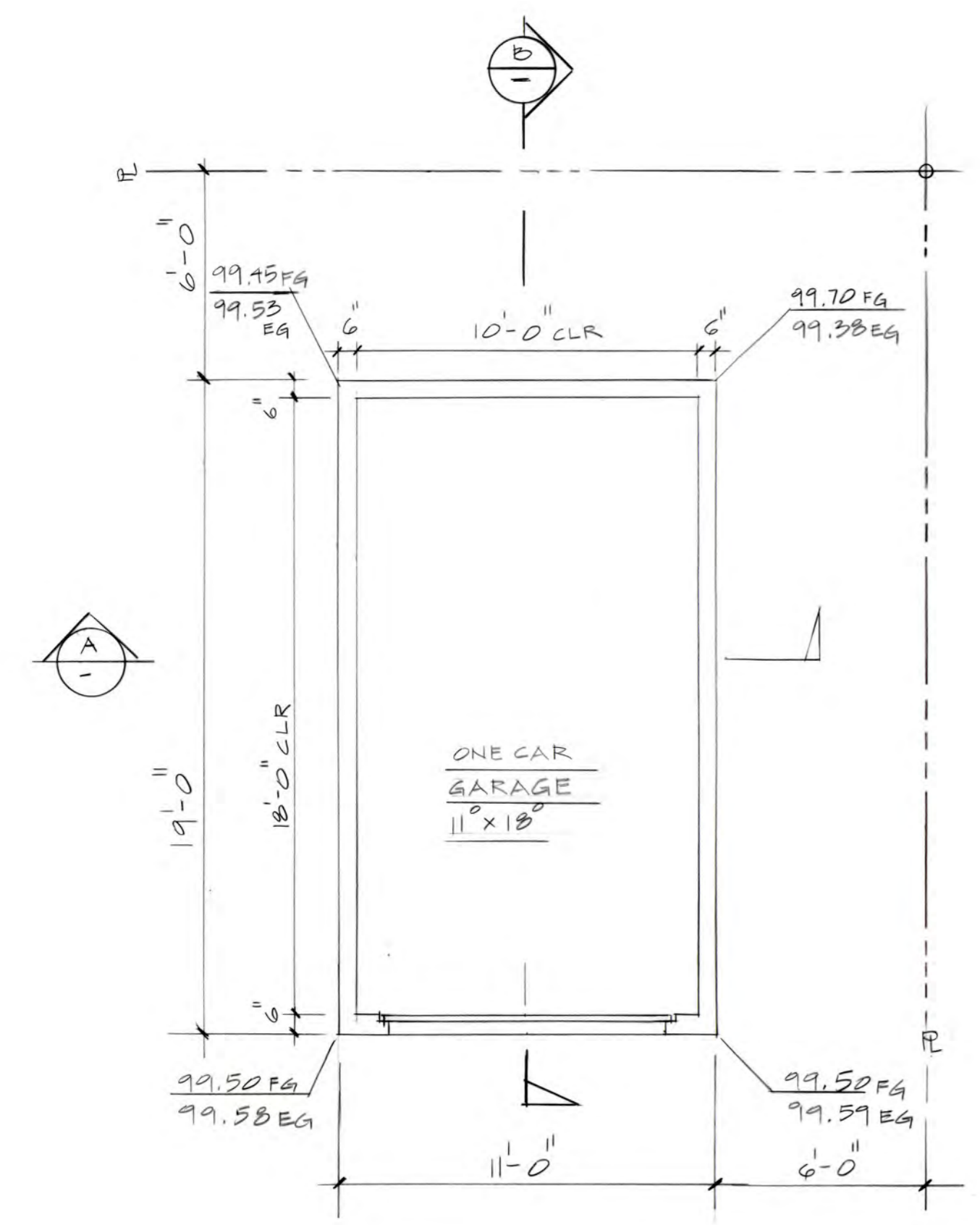
RIGHT ELEVATION
 1/4" = 1'-0"

All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others, except by agreement, in writing, and with appropriate compensation to Summers & Novick.

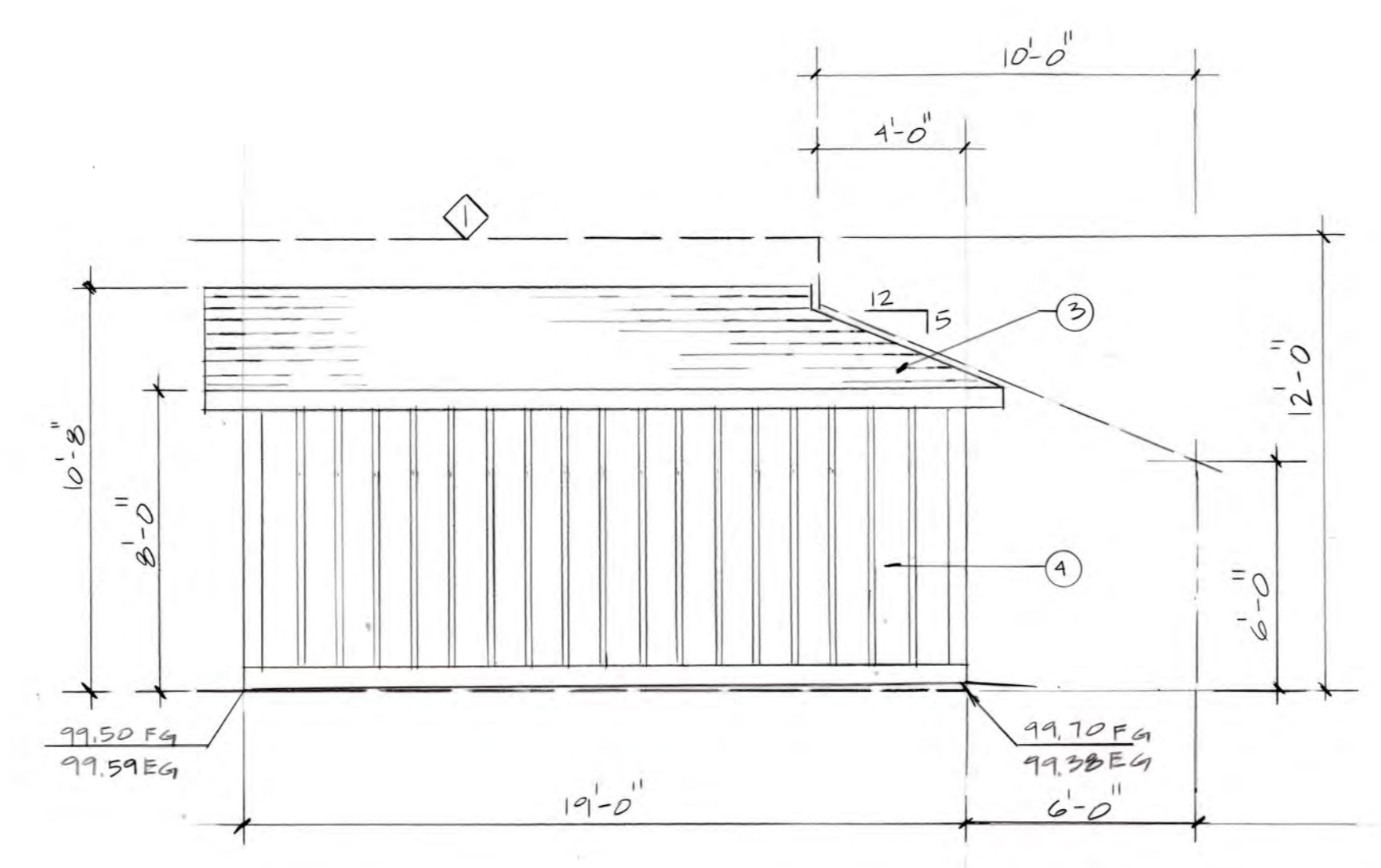
REV.	DATE
1	11-20-19

Approved: _____
 Date: 11-20-19
 Scale: NOTED
 Drawn: [Signature]
 Job: _____
 Sheet: **A-II**

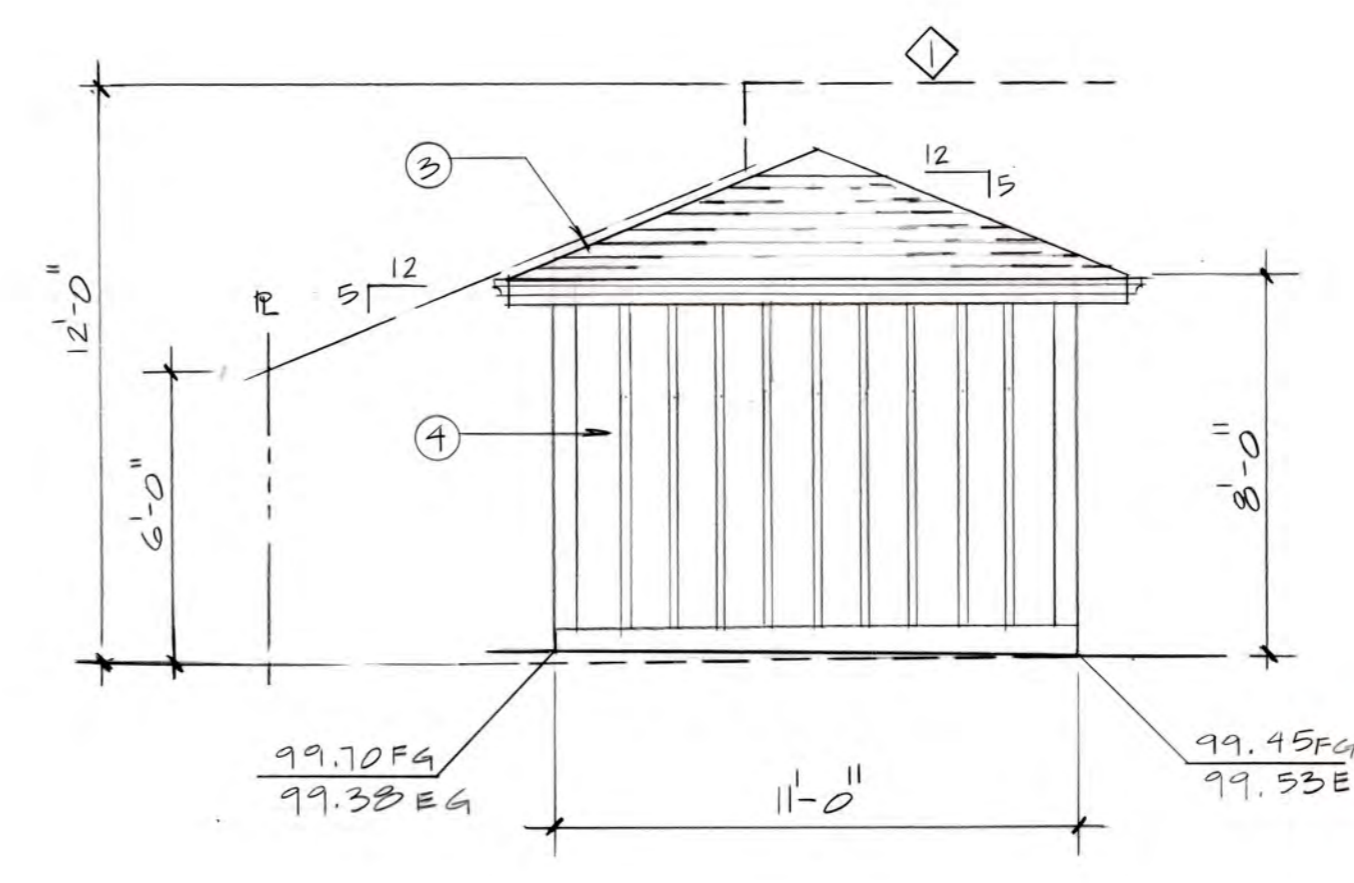
- SHEET NOTES**
- DETACHED GARAGE :**
- A. NOTES: Alphabetical sheet notes on this plan are general notes. Numeric sheet notes on this sheet are referenced and circled or diamond on the plan.
 - B. COORDINATION: Contractor shall coordinate this drawing with other contract documents.
1. Accessory Structure Daylight Plane.
 2. Wood windows and doors with exterior clad and 2x4 cedar trim typ.
 3. Asphalt shingle roofing per P.N.
 4. Board and batten traditional siding.



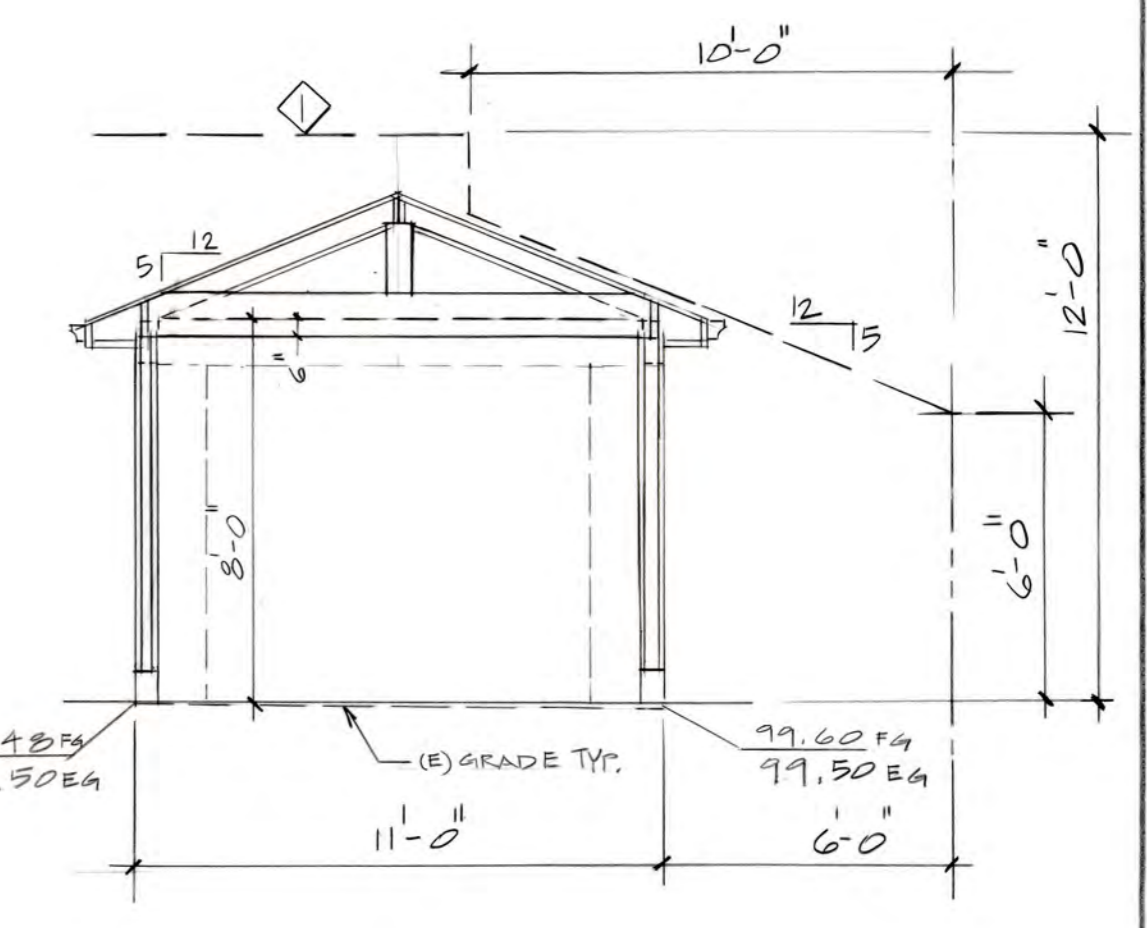
FLOOR PLAN / GARAGE
 1/4" = 1'-0"



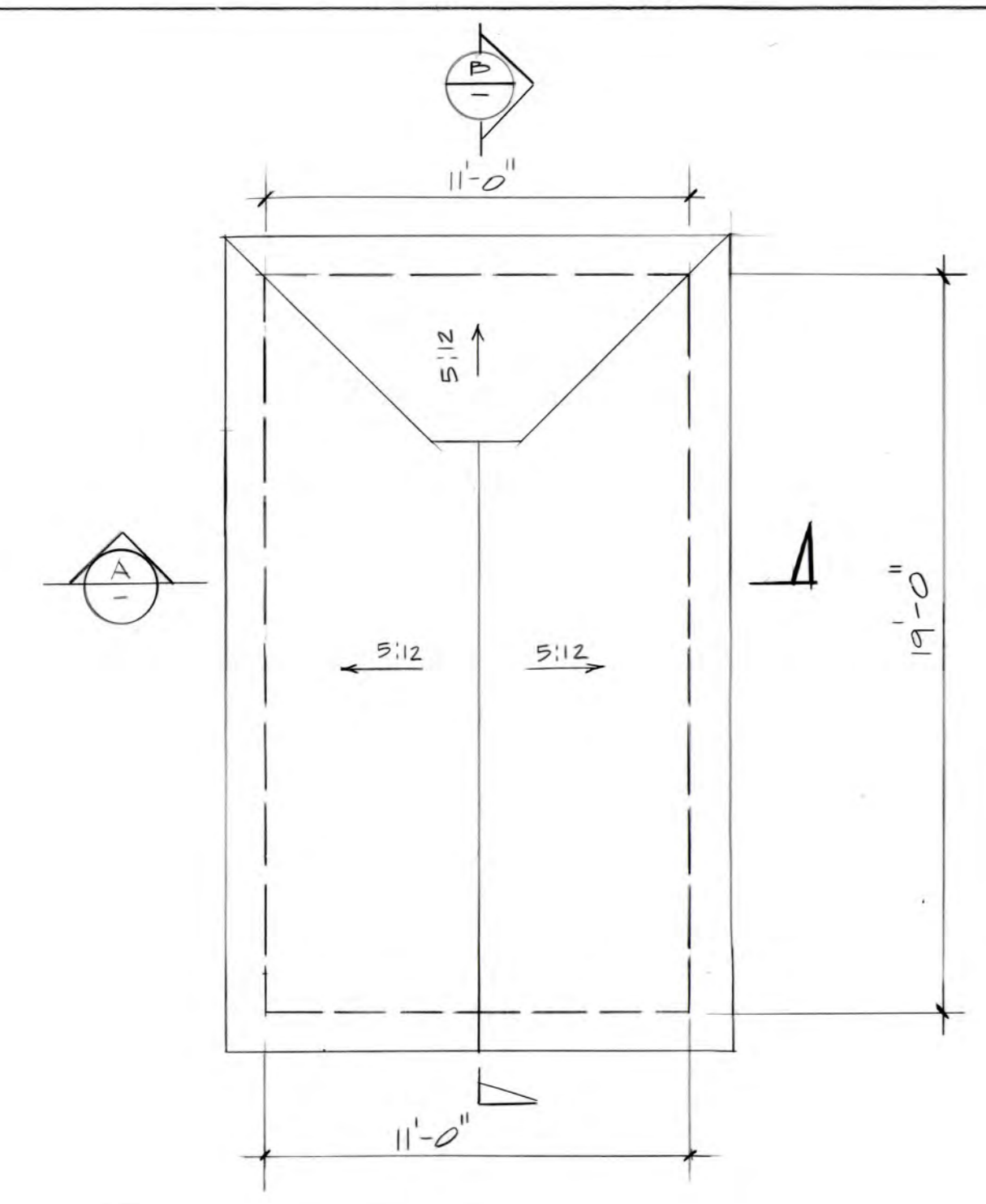
RIGHT ELEVATION
 1/4" = 1'-0"



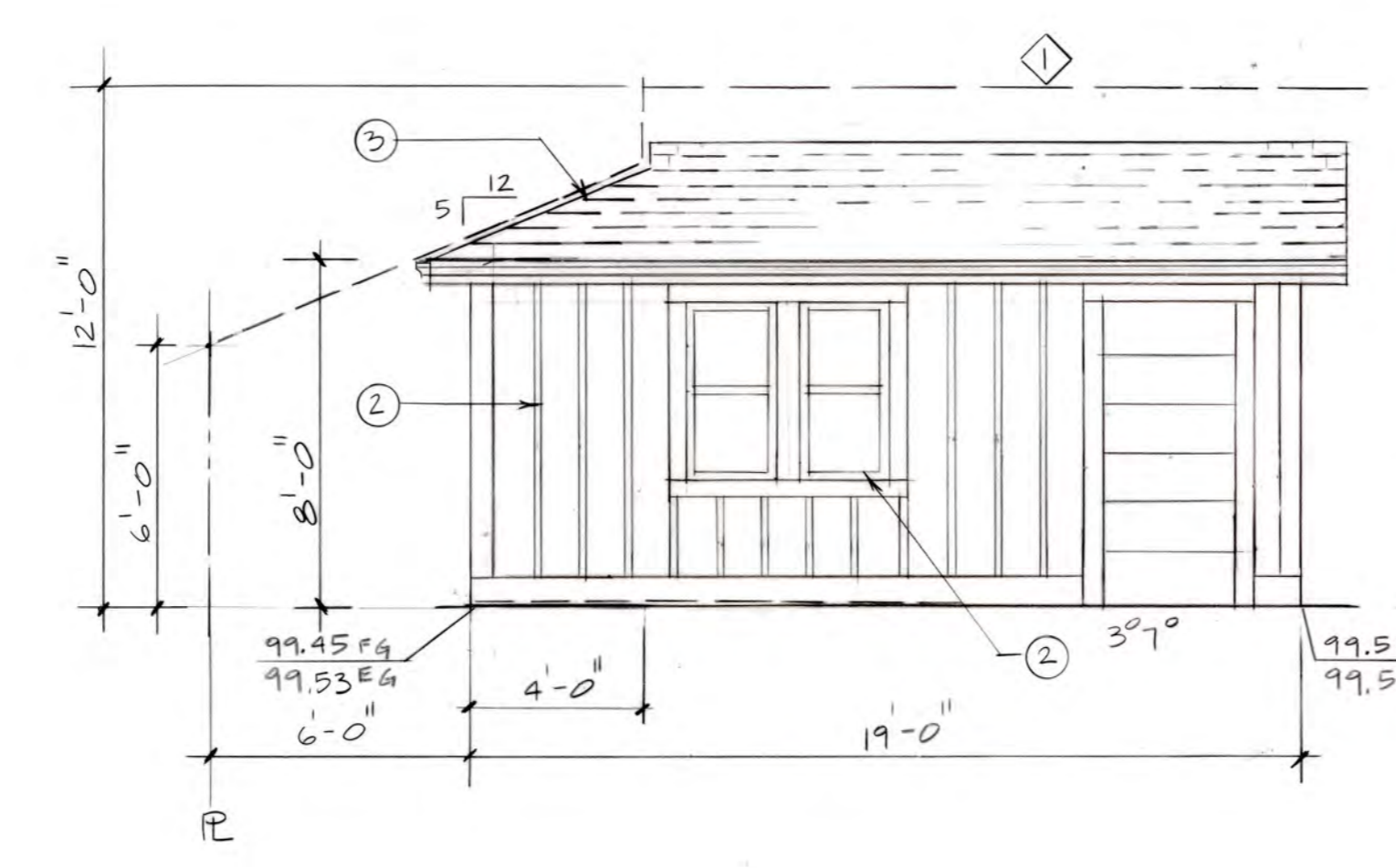
REAR ELEVATION
 1/4" = 1'-0"



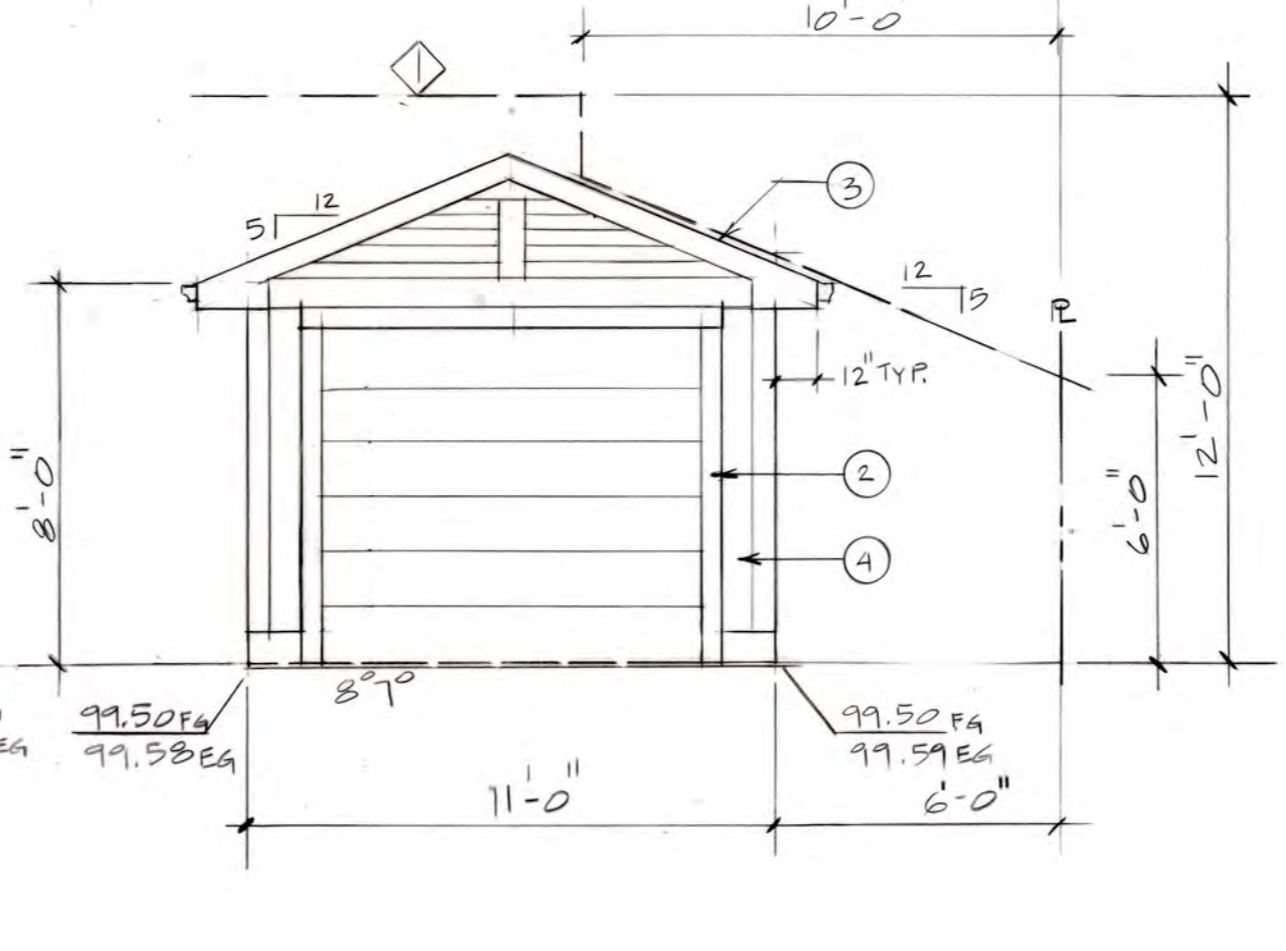
SECTION "A"



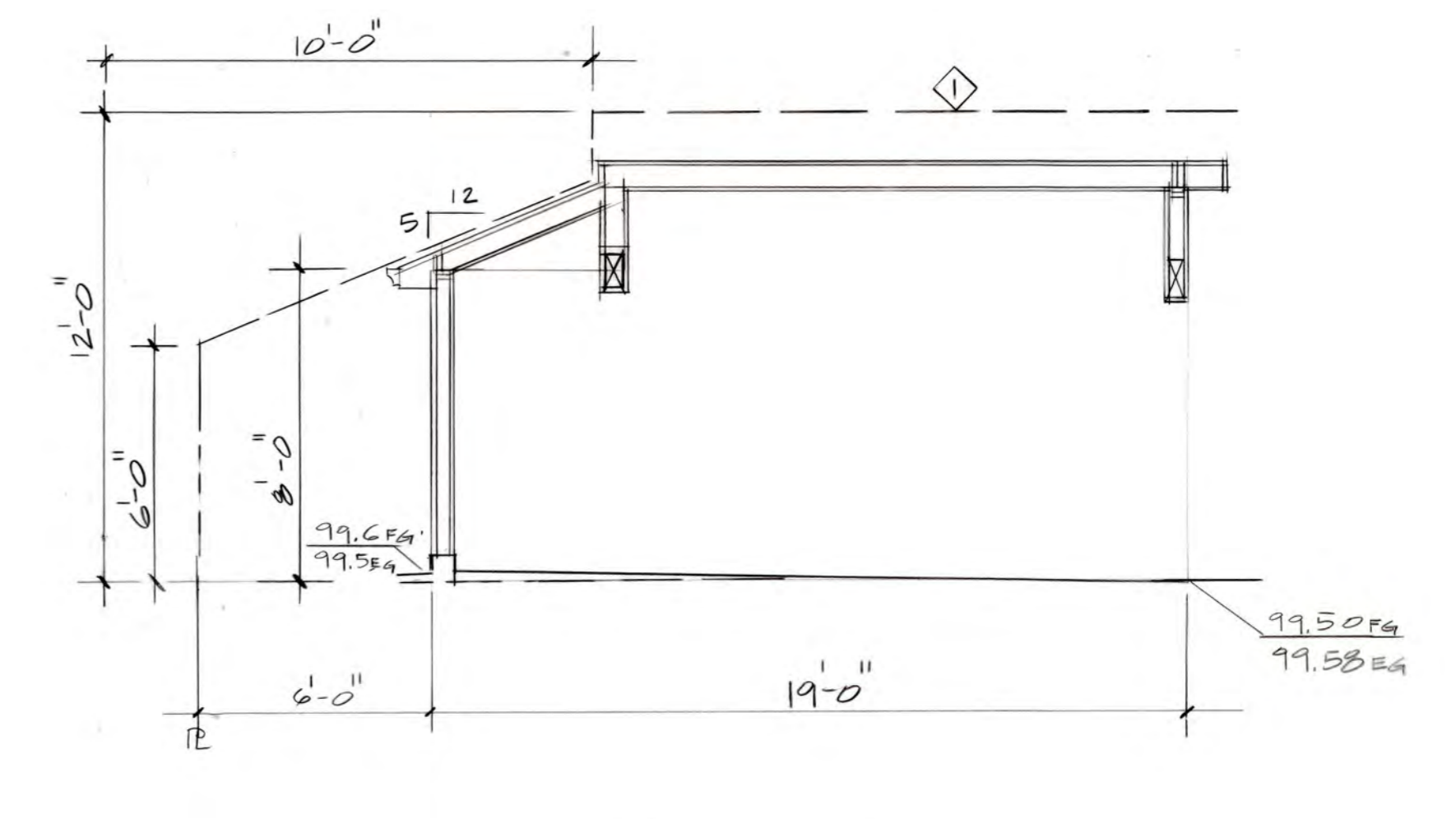
ROOF PLAN / GARAGE
 1/4" = 1'-0"



LEFT ELEVATION
 1/4" = 1'-0"



FRONT ELEVATION
 1/4" = 1'-0"



SECTION "B"

All ideas and designs on the drawings are and shall remain the property of Summers & Novick. They are part of the bid documents and contract between Summers & Novick and the client. They were developed solely for this project. Summers & Novick retains all common law, statutory and other reserved rights, including the copyright. Contractor may use the drawings only for information and reference in connection with this project. The drawings shall not be used by contractor or others on other projects, or for additions or changes to this project, or for completion of this project by others except by agreement, in writing, and with appropriate compensation to Summers & Novick.

REV.	DATE

Approved: _____
 Date: 6-20-19
 Scale: NOTED
 Drawn: GN
 Job: _____
 Sheet: **A-12**