



DATE: January 15, 2020

AGENDA ITEM # 3

TO: Design Review Commission
VIA: Guido F. Persicone, Planning Services Manager
FROM: Ranu Aggarwal, Contract Planner
SUBJECT: SC19-0022 – 1265 Eva Ave

RECOMMENDATION:

Approve design review application SC19-0022 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review for a two-story addition to an existing one-story house. The project includes an addition of 215.8 square feet on the first story and 750.62 square feet on the second story. The following table summarizes the project's technical details:

GENERAL PLAN DESIGNATION: Single-family, Small Lot
ZONING: R1-10
PARCEL SIZE: 10,687 square feet
MATERIALS: Match existing – Composition shingle roof, stucco, wood window trim, wood garage door

	Existing	Proposed	Allowed/Required
LOT COVERAGE:	2,742.7 square feet	3,113.55 square feet	3,200.1 square feet
FLOOR AREA:			
First floor	2,742.7 square feet	2,958.5 square feet	
Second floor	-	750.62 square feet	
Total	2,624 square feet	3709.12 square feet	3,740.45 square feet
SETBACKS:			
Front	23 feet	25 feet	25 feet
Rear	25 feet	42 feet 5 inches	25 feet
Right side (1 st /2 nd)	23 feet/-	21.21 feet (18 feet to trellis)	10 feet/17.5 feet
Left side (1 st /2 nd)	10 feet/-	10 feet/50 feet	10 feet/17.5 feet
HEIGHT:	17 feet	24 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located on an interior lot on Eva Avenue near the intersection of Eva Avenue and Granger Avenue. The surrounding neighborhood is considered a Consistent Character Neighborhood as defined in the City's Residential Design Guidelines. The characteristics are derived from the similar eave lines of buildings, and setbacks, and streetscape character within the neighborhood. The homes in the immediate neighborhood context are a mix of one-story and two-story homes. Commonly observed materials in the neighborhood include stucco, traditional and vertical wood siding, brick or stone veneer accents, and predominantly composition shingle roofs. Some neighboring houses appear to have been rebuilt or remodeled, which are more visible from the street with little to no screening between the front yards and the street. Setbacks for residences on Eva Avenue on the opposite side of the project site are greater than the minimum required front setback of 25 feet, however, front yard setbacks in the neighborhood, by and large, appear to be roughly 25 feet from the property lines. The subject property and others on the street have vehicular access directly onto Eva Avenue. Streetscape is characterized by predominantly concrete driveways and varying amounts of grass lawns, large to midsize deciduous trees street trees intermixed with some evergreen trees near the street edge.

DISCUSSION

Design Review and Privacy

According to the Design Guidelines, in Consistent Character Neighborhoods, good neighbor design has design elements, materials, and scale found within the neighborhood and sizes that are not significantly larger than other homes in the neighborhood.

The existing residence has relatively simple massing with overall hipped roofs with a gable in the front. The stucco finish with wood windows and garage door is consistent with several houses in the neighborhood. The proposed addition and remodel seek to match the existing exterior finish in the construction of the addition. The 750.62 square feet second story mass will be located on the southwest (right) side of the subject building and will be setback from the front face of the first story by 4.5 feet that would reduce the scale of the building from the street. The roof above the second story will be a simple hipped roof consistent with the overall roof forms of the existing building.

The overall height of the structure with the second story addition increases the existing residence from 17 feet tall to 24 feet tall, which is significantly shorter than the maximum allowable 27 feet per the Zoning Code. The second story, which constitutes approximately 20 percent of the total area of the proposed building, will be 43.75 feet from the front property line, 50 feet from the left property line, and 42.4 feet from the rear side property line. On the front, rear and left sides, the setbacks far exceed the required setback values for second-story additions. The addition is 21.21 feet from the right property line, which is the 3.71 feet greater than the 17.5 feet required second story setback for homes with R1-10 Zoning. The neighboring building on this side is one-story. However, the increase of seven feet in total height of the building will be low scale and would not significantly impact the neighboring building on the right side. The proposed trellis on this side will be at a distance of 18 feet from the right side property line and one story tall. It will also not significantly impact the neighboring building.

Overall, the proposed structure would be in character with the Consistent Character neighborhood. The design and materials are compatible with the surrounding neighborhood and the project would add a low scale second story to an existing one-story structure in a neighborhood, which contains two story homes.

Additionally, the project proposes four Carolina cherry (*Prunus Caroliniana*) plantings along the right-side property line. Carolina cherry is an evergreen tree/shrub with moderate to fast growth rate and a height of 25 to 40 feet and spread of 30 to 35 feet at maturity, which will help mitigate the mass of the building as well as facilitate privacy from the second story bedroom window for the neighboring building. Privacy impacts to the neighbor at the front, rear and left side are mitigated by the distances of neighboring buildings to the proposed two-story addition from these sides.

Trees and Landscaping

The site has an existing mature cedar tree in the front yard, two existing orange trees in the rear yard and shrubs along the rear property line, as shown on the Site Plan (Sheet A-1), included in the project plans. The existing trees and shrubs are proposed to be retained by the project. As indicated above, the project proposes additional plantings along the right property line, which would mitigate the impact of the proposed second story addition that is on the right side of the building.

the project is an addition to an existing house with less than 2,500 square feet of new landscaping, it is not subject to the City's Water Efficient Landscape Ordinance.

Environmental Review

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

Public Notification

A public meeting notice was posted on the property and mailed to 12 nearby property owners on Eva Avenue and Montclair Place. The Notification Map is included in Attachment B.

Cc: Pejman Moravej, Applicant
WH Drafting and Design, Designer

Attachments:

- A. Neighborhood Compatibility Worksheet
- B. Vicinity, and Public Notification Maps
- C. Materials Board
- D. Model

FINDINGS

SC19-0022 – 1265 Eva Ave

With regard to design review for the two-story addition, the Design Review Commission finds the following in accordance with Section 14.76.060 of the Municipal Code that:

- a. The proposed addition complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the proposed addition, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed addition in relation to the immediate neighborhood will minimize the perception of excessive bulk;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed addition has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC19-0022 – 1265 Eva Avenue

GENERAL

1. 1. Expiration

The Design Review Approval will expire on January 15, 2022 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on January 9, 2020 except as may be modified by these conditions as specified below:

- a. Modify the sill height for second story windows from 48 inches to 54 inches

3. Protected Trees

As shown in the site plan, the Cedar trees in the front yard shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

4. Encroachment Permit

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

5. Fire Sprinklers

Fire sprinklers shall be required pursuant to Section 12.10 of the Municipal Code.

6. Underground Utilities

Any new utility service drops may need be located underground from the nearest convenient existing pole pursuant to Chapter 12.68 of the Municipal Code.

7. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project.

PRIOR TO BUILDING PERMIT SUBMITTAL

8. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

9. Tree Protection Note

For existing trees/shrubs to be preserved, tree protection fencing shall be installed that shall be shown on the plans and a tree protection detail with the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until completion of construction unless approved by the Planning Division."

10. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

11. Underground Utility Location

Show the location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.

12. Air Conditioner Sound Rating

Show the location, setbacks to property line, model number, and maximum sound rating of any proposed air conditioning units on the site plan and provide the manufacturer's specifications sheet showing the sound rating for each unit conforming to Chapter 6.16 Noise Control.

13. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

14. Tree Protection

Tree protection fencing shall be installed around the driplines of the existing cedar tree in the front yard, orange tree in the rear yard and rear side yard screening shrubs, as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

PRIOR TO FINAL INSPECTION

15. Landscaping Installation

All front yard, side, and rear yard landscaping, and privacy screening trees shall be maintained and/or installed as shown on the approved plans or as required by the Planning Division. Specifically, the project proposes four Carolina cherry (*Prunus Caroliniana*) plantings along the right-side property line to reduce privacy impacts to the abutting property owner.

16. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Section 12.26 of the Municipal Code).



NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood’s special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 1265 EVA. AVENUE

Scope of Project: Addition or Remodel **or New Home**

Age of existing home if this project is to be an addition or remodel? 67

Is the existing house listed on the City’s Historic Resources Inventory? NO

Address: 1265 EVA AVENUE

Date: 1-1-2020

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: APPROX. .25 ACRES square feet

Lot dimensions: Length 112 feet

Width _____ feet

If your lot is significantly different than those in your neighborhood, then note its: area _____, length _____, and width _____.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? NO CHANGE

What % of the front facing walls of the neighborhood homes are at the front setback _____ %

Existing front setback for house on left _____³⁰ ft./on right
25 ft.

Do the front setbacks of adjacent houses line up? NO

3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)

Garage facing front projecting from front of house face 5

Garage facing front recessed from front of house face 2

Garage in back yard _____

Garage facing the side _____

Number of 1-car garages ___; 2-car garages X; 3-car garages ___

Address: 1265 EVA AVENUE

Date: 1-1-2020

4. Single or Two-Story Homes:

What % of the homes in your neighborhood* are:

One-story 60

Two-story 40

5. Roof heights and shapes:

Is the overall height of house ridgelines generally the same in your neighborhood*? _____

Are there mostly hip , gable style , or other style roofs*?

Do the roof forms appear simple or complex ?

Do the houses share generally the same eave height YES?

6. Exterior Materials: (Pg. 22 Design Guidelines)

What siding materials are frequently used in your neighborhood*?

 wood shingle stucco board & batten clapboard
 tile stone brick combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?

ASPHALT SHINGLES

If no consistency then explain: _____

7. Architectural Style: (Appendix C, Design Guidelines)

Does your neighborhood* have a consistent identifiable architectural style?

YES NO

Type? Ranch Shingle Tudor Mediterranean/Spanish
 Contemporary Colonial Bungalow Other

Address: 1265 EVA AVENUE

Date: 1-1-2020

8. Lot Slope: *(Pg. 25 Design Guidelines)*

Does your property have a noticeable slope? YES

What is the direction of your slope? (relative to the street)

RIGHT TO LEFT

Is your slope higher lower same in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

BIG TREE, SOME FRONT LAWN, LANDSCAPE TO STREET EDGE

How visible are your house and other houses from the street or back neighbor's property?

VISIBLE

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

NO

10. Width of Street:

What is the width of the roadway paving on your street in feet? 16 FEET

Is there a parking area on the street or in the shoulder area? YES

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? PAVED

Address: 1265 EVA AVENUE

Date: 1-1-2020

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

MOST HOUSES HAS ASPHALT SHINGLE ROOFING WITH STUCCO SIDING

General Study

- A. Have major visible streetscape changes occurred in your neighborhood?
 YES NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?
 YES NO
- C. Do the lots in your neighborhood appear to be the same size?
 YES NO
- D. Do the lot widths appear to be consistent in the neighborhood?
 YES NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?
 YES NO
- F. Do you have active CCR's in your neighborhood? (*p.36 Building Guide*)
 YES NO
- G. Do the houses appear to be of similar size as viewed from the street?
 YES NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?
 YES NO

Address: 1265 EVA AVENUE
 Date: 1-1-2020

Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
1275 EVA AVEUNE	23' +/-	47' +/-	FRONT	ONE STORY		SHAKE ROOF WOOD SIDING	SIMPLE
1285 EVA AVENUE	23'+/-	25' +/-	FRONT	TWO STORIES		ASPHALT SHINGLES WOOD SIDING STONE VENEER	SIMPLE
1405 MONTCLAIR PLACE	26' +/-	45' +/-	FRONT	TWO STORIES		ASPHALT SHINGLES STUCCO SIDING	SIMPLE
1435 MONTCLAIR PLACE	25'+/-	25'+/-	FRONT	TWO STORIES		ASPHALT SHINGLES WOOD SIDING	SIMPLE
1455 MONTCLAIR PLACE	24'+/-	37' +/-	FRONT	TWO STORIES		ASPHALT SHINGLES STUCCO SIDING	SIMPLE
1465 MONTCLAIR PLACE	26'+/-	41'+/-	FRONT	ONE STORY		ASPHALT SHINGLES BOARD AND BATTEN SIDING	SIMPLE
1475 MONTCLAIR PLACE	25'+/-	25'+/-	FRONT	TWO STORIES		ASPHALT SHINGLES STUCCO SIDING	SIMPLE
1250 EVA AVENUE	35'+/-	40'+/-	FRONT	ONE STORY		ASPHALT SHINGLES STUCCO SIDING	SIMPLE
1260 EVA AVENUE	50'+/-	25'+/-	FRONT	ONE STORY		ASPHALT SHINGLES WOOD SIDING	SIMPLE
1270 EVA AVENUE	50'+/-	40'+/-	FRONT	ONE STORY		ASPHALT SHINGLES BOARD AND BATTEN SIDING	SIMPLE

Address: 1265 EVA AVENUE
 Date: 1-1-2020

Summary Table

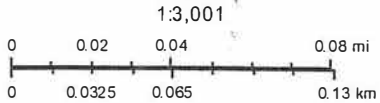
Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
1280 EVA AVENUE	40' +/-	25' +/-	FRONT	ONE STORY		WOOD SHAKE ROOFING, WOOD SIDING	SIMPLE
1290 EVA AVENUE	40' +/-	25' +/-	FRONT	ONE STORY		TILE ROOFING STUCCO SIDING	SIMPLE

VICINITY MAP



Print Date: September 30, 2019



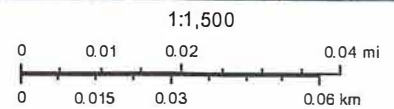
CITY OF LOS ALTOS

APPLICATION: SC19-0022
APPLICANT: Pejman Moravej
SITE ADDRESS: 1265 Eva Avenue

NOTIFICATION MAP



Print Date: September 30, 2019



CITY OF LOS ALTOS

APPLICATION: SC19-0022
APPLICANT: Pejman Moravej
SITE ADDRESS: 1265 Eva Avenue

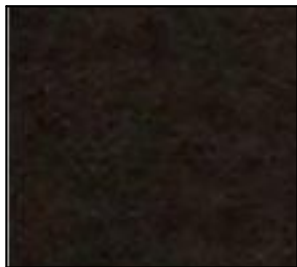
ATTACHMENT C

WH DRAFTING
AND DESIGN



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SAN CARLOS, CA.

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(415) 531-1878

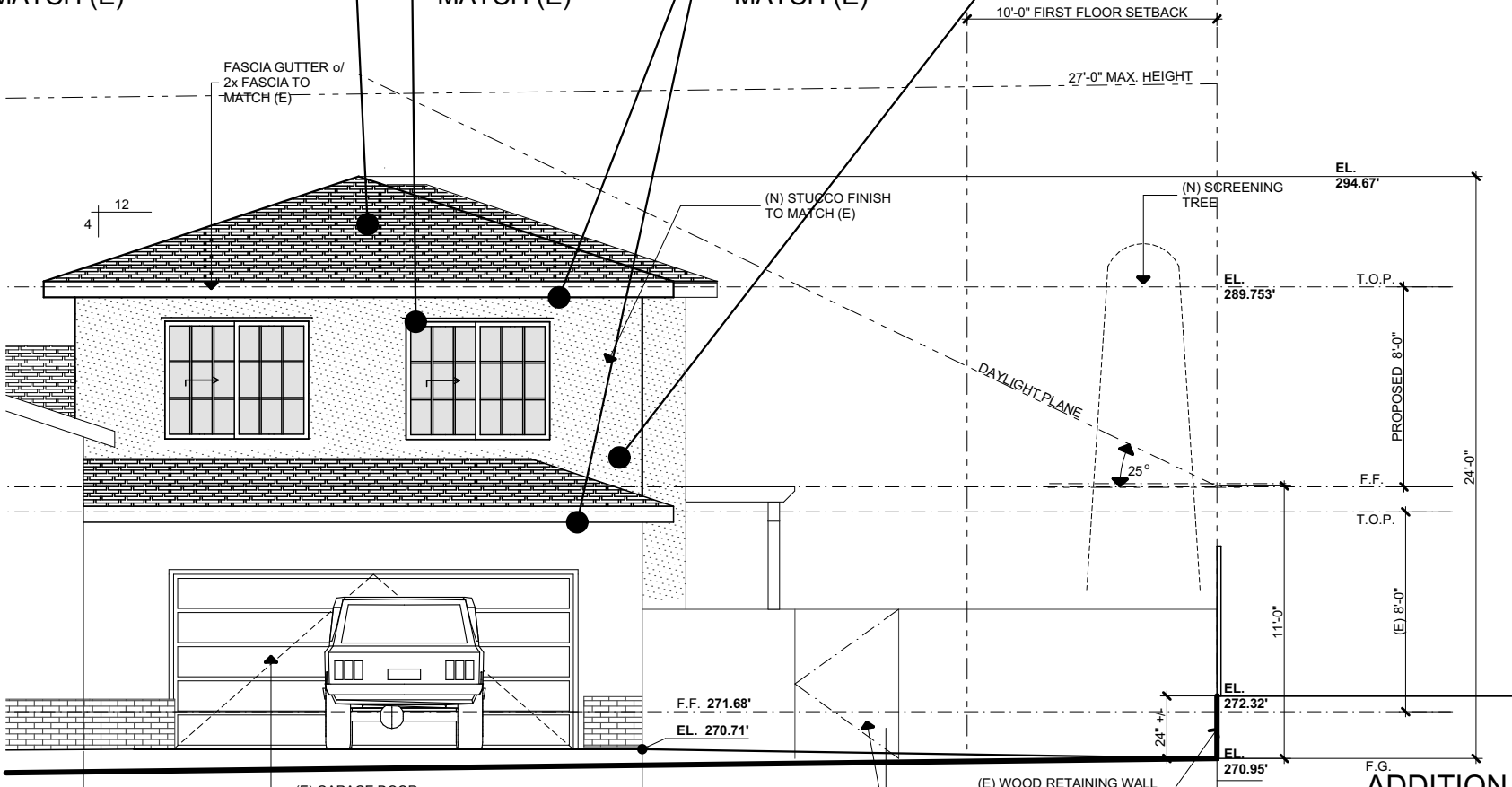


'OWENS CORNING'
COMP. SHINGLES
ROOFING
MATCH (E)

DARK BRONZE
ANODIZED
WINDOW
MATCH (E)

DARK BRONZE
ANODIZED
FASCIA CUTTER
MATCH (E)

STUCCO FINISH
'BEHR' WHITE 52
MATCH (E)



ADDITION FOR:

1265 EVA AVENUE
LOS ALTOS, CA.

