

ABBREVIATIONS

@	At	Mat.	Material
Acous.	Acoustic	Max.	Maximum
Adj.	Adjacent	M.C.	Medicine Cabinet
A.F.F.	Above Finished Floor	Mech.	Mechanical
Approx.	Approximate	Membr.	Membrane
Arch.	Architectural	Met.	Metal
Asph.	Asphalt	Mfr.	Manufacturer
Balc.	Balcony	Min.	Minimum
Bd.	Board	Mir.	Mirror
Bed.	Bedroom	Misc.	Miscellaneous
Bldg.	Building	Mtd.	Mounted
Blk.	Block	Mul.	Mullion
Blkg.	Blocking		
Bot.	Bottom	N.I.C.	Not In Contract
B.U.R.	Built up Roofing	No.	Number
		Nom.	Nominal
		N.T.S.	Not To Scale
Cab.	Cabinet		
Cem.	Cement		
C.L.	Center Line		
Clg.	Ceiling	Obs.	Obscure
Clkg.	Caulking	O.C.	On Center
Clos.	Closet	O.D.	Outside Diameter
Clr.	Clear	Opng.	Opening
Cntr.	Center	Opp.	Opposite
Col.	Column		
Cond.	Condition		
Conn.	Connection	Pr.	Pair
Const.	Construction		
Cont.	Continuous	Q.T.	Quarr Tile
Cr.	Contractor		
Dbl.	Double		
Dept.	Department		
Det.	Detail		
D.F.	Douglas Fir		
Dia.	Diameter		
Dim.	Dimension	R.A.	Return Air
Disp.	Dispenser	Rad.	Radius
Dn.	Down	Refr.	Refrigerator
Dr.(s)	Door(s)	Reinf.	Reinforcing
Dwgs.	Drawings	Req.	Require(d)
D.S.	Downspout	Resil.	Resilient
D.W.	Dishwasher	Rev.	Reverse
Dwr.	Drawer	Rm.	Room
		R.O.	Rough Opening
		Rwd.	Redwood
Ea.	Each		
Elec.	Electrical	S.C.	Solid Core
Elev.	Elevator	Sched.	Schedule
End.	Enclosure	S.D.	Soap Dispenser
Eq.	Equal	Sec.	Section
Ecpt.	Equipment	Sep.	Separation
		Sh.	Shelf
F.D.	Floor Drain	Shwr.	Shower
F.E.C	Fire Extinguisher	Sht.	Sheet
Fin.	Finish	Shtg.	Sheathing
Flash.	Flashing	Sim.	Similar
Flour.	Flourescent	Sl.	Siding
Flr.	Floor	Spec.	Specification
F.O.	Face Of	Sq.	Square
F.O.C.	Face Of Concrete	Std.	Standard
F.O.F.	Face Of Finish	Stor.	Storage
F.O.S.	Face Of Stud	Strct.	Structural
F.O.W.	Face Of Wall	St. Stl.	Structural Steel
Fpfr.	Fireproof	Sym.	Symmetrical
Fl.	Foot, Feet		
Flg.	Footing		
Furr.	Furring		
		T.B.	Towel Bar
		T.C.	Time Clock
		Tel.	Telephone
		Temp.	Tempered
		T&G	Tongue & Groove
Ga.	Gauge	T.P.H.	Toilet Paper Holder
Galv.	Galvanized	Trd.	Tread
G.B.	Grab Bar	T.V.	Television
G.D.	Garbage Disposal	T.W.	Top Of Wall
Gl.	Glass	Typ.	Typical
Gnd.	Ground		
Gr.	Grade		
Gyp. Bd.	Gypsum Board	U.O.N.	Unless Otherwise Noted
H.B.	Hose Bib		
H.C.	Hollow Core	V.T.	Vinyl Tile
Hdwd.	Hardware	V.B.	Vapor Barrier
H.M.	Hollow Metal	Vert.	Vertical
Horiz.	Horizontal	Vest.	Vestibule
Hr.	Hour	V.F.C.	Vinyl Floor Covering
Hgt.	Height	V.W.C.	Vinyl Wall Covering
		V.G.D.F.	Vertical Grain Doug. Fir.
Insul.	Insulation		
Int.	Interior	W/	With, Where
		W.C.	Water Closet
Jt.	Joint	Wd.	Wood
		Wdo.	Window
		W/O	Without
Kt.	Kitchen	W.P.	Waterproof
		W.R.	Water Resistant
Lam.	Laminate	Wt.	Weight
Landsc.	Landscape	W.W.F.	Welded Wire Fabric
Lav.	Lavatory		
Lt.	Light		



GENERAL NOTES

All work shall comply with applicable codes and trade standards which govern each phase of work, including, but not limited to:
 2016 California Residential Code (CRC),
 2016 California Building Code (CBC),
 2016 California Plumbing Code (CPC),
 2016 California Mechanical Code (CMC),
 2016 California Electrical Code (CEC),
 2016 California Energy Code,
 2016 California Green Building Standards
 2016 California Fire Code (CFC) and all other applicable Municipal and Town ordinances and regulations.

The contractor shall carefully inspect all excavation work for compliance to requirements of the prevailing building code. Should any conditions appear questionable due to excessive dampness, granular composition, sluffing, softness or other defect, the contractor shall contact the engineer or designer.

All information pertaining to the site shall be, and shall remain, the owner's responsibility. This information shall include legal description, deed restrictions, easements, site survey, topographic survey, position of existing improvements, soils report and all related data. These documents have been prepared on the information available to the designer.

It is the responsibility of the contractor and all subcontractors to check and verify all dimensions and conditions indicated on these drawings and make known any discrepancies prior to commencing their work.

These drawings are intended for use in a negotiated construction contract and, therefore, may not specifically detail or specify materials and/or manufacturers. The contractor shall provide all samples and/or cuts as required to assist owner or his agent in making material selections.

No guarantee for quality of construction is implied or intended by the architectural documents and the contractor shall assume full responsibility for any or all construction deficiencies.

The developer and/or general contractor shall hold harmless, indemnify and defend the Architect from any action initiated by the initial owner or any subsequent owners for construction deficiencies, modifications or such conditions which may be beyond the control of the Architect.

All dimensions shown take precedence over scaled dimensions.

Contractor shall coordinate with owner prior to ordering any fixtures, equipment, cabinetry, etc. for owner's approval.

Sheet metal contractor shall provide owner with heating duct & register location prior to installation for owner's approval.

All dimensions to face of stud unless otherwise noted.

Electrical contractor to verify with owner type and locations of all electrical fixtures, outlets, switches and subpanels prior to installation.

Plumbing contractor to verify with owner type and locations of all plumbing fixtures, faucets, etc. prior to installation.

General contractor shall contact the City of Los Altos regarding the requirements for the construction waste management plan.

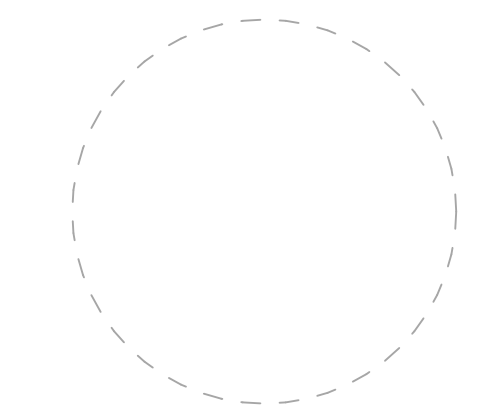
WH DRAFTING AND DESIGN



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 SAN CARLOS, CA.
 warren9250@yahoo.com
 (415) 531-1878

PROPERTY OWNER

Moravej Family Trust
 1265 Eva Avenue
 Los Altos, Ca. 94024



ADDITION FOR:
 1265 EVA AVENUE
 LOS ALTOS, CA.

CONSTRUCTION PRACTICES

THE FOLLOWING IS INTENDED AS AN ATTACHMENT FOR CONSTRUCTION AND GRADING PLANS AND REPRESENT THE MIN. STANDARDS OF GOOD HOUSEKEEPING WHICH MUST BE IMPLEMENTED ON ALL CONSTRUCTION SITES REGARDLESS OF SIZE.

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.

2. STOCKPIES OF EATH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BT THE FORCES OF WIND OR WATER.

3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE THE SOIL AND SURAFCE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY. SPILLS MAY NOT BE WASHED INTO DRAINAGE SYSTEMS.

4. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THEPUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED AS SOLID WASTE.

5. TRASH AND CONSTRUCTION RELATED WASTES MUST BE DISPOSED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.

6. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE ROADWAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WAHED DOWN BY RAIN OR OTHER MEANS.

7. ANY SLOPES WITH DISTURBED SOILS OR DENUED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

ZONING COMPLIANCE

APN: 342-7-32
 ZONING: R1-10
 OCCUPANCY: R3/U
 TYPE OF CONSTRUCTION: VB
 STORIES: 2
 LOT SIZE: 10,687 SQ. FT.
 FIRE SPRINKLER: NO

SCOPE OF WORK:
 SECOND FLOOR ADDITION TO EXISTING SINGLE STORY BUILDING
 REAR ADDITION BEHIND GARAGE
 EXTENSION TO SIDE OF GARAGE
 NEW INTERIOR STAIR
 NEW ELEVATOR
 NEW BATH

CONSULTANTS

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2,742.7 square feet (.26%)	3,113.55 square feet (.291%)	3,200.1 square feet (.30%)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: 2,742.7 sq ft 2nd Flr: _____ sq ft Total: _____ sq ft (.26%)	1st Flr: 2,958.5 sq ft 2nd Flr: 750.62 sq ft Total: 3,709.12 sq ft (.347%)	3,740.45 square feet (.35%)
SETBACKS:			
Front	25' feet	25' feet	25' feet
Rear	25' feet	25' feet	25' feet
Right side (1st/2nd)	23' feet/____ feet	18' feet/18' feet	10' feet/17'-6" feet
Left side (1st/2nd)	10' feet/____ feet	10' feet/____ feet	10' feet/____ feet
HEIGHT:	17' feet	24' feet	27' feet

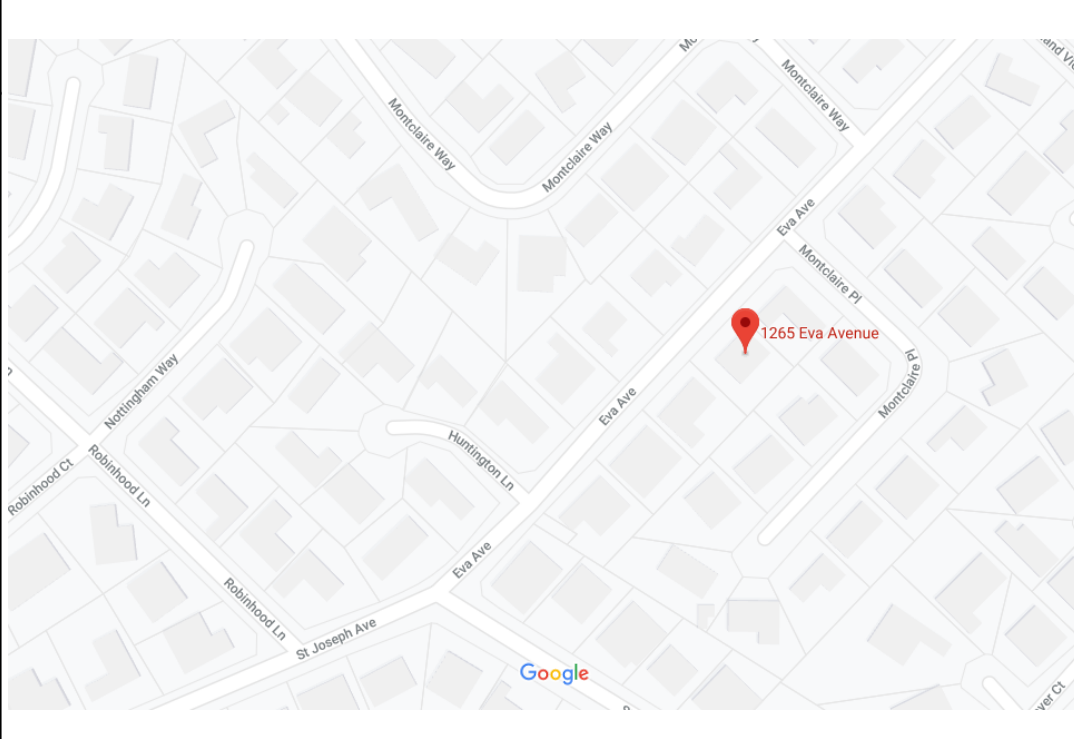
	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2281.15 square feet	966.42 square feet	3,247.57 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	461.55 square feet	-17 square feet	444.55 square feet

LOT CALCULATIONS	
NET LOT AREA:	10,687 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setbacks shall not exceed 50%</i>	1,202 square feet (.41%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 6,006 sq ft Existing softscape (undisturbed) area: 4,681 sq ft New softscape (new or replaced landscaping) area: 0 sq ft <i>Sum of all three should equal the site's net lot area</i>

SHEET INDEX

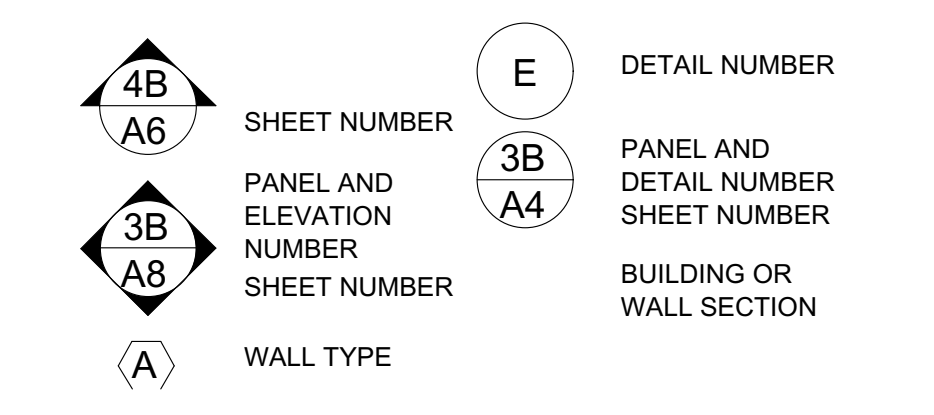
- A0 COVER SHEET
- A1 SITE PLAN / SQUARE FOOT DIAGRAM
- A2 FIRST FLOOR PLAN
- A3 SECOND FLOOR PLAN
- A4 EXTERIOR ELEVATIONS
- A5 EXTERIOR ELEVATIONS
- A5.1 EXTERIOR ELEVATIONS
- A5.2 EXTERIOR ELEVATIONS
- A6 ROOF PLAN
- A7 SECTIONS
- C1 DRAINAGE PLAN
- L1 LANDSCAPING PLAN
- T1 TREE PROTECTION PLAN
- N1 NEIGHBORHOOD PLAN

VICINITY MAP



DEFERRED SUBMITTAL

SYMBOLS



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MARK	DATE	DESCRIPTION
	1-2-2020	PLANNING SUBMITTAL
	9-12-2019	PLANNING SUBMITTAL

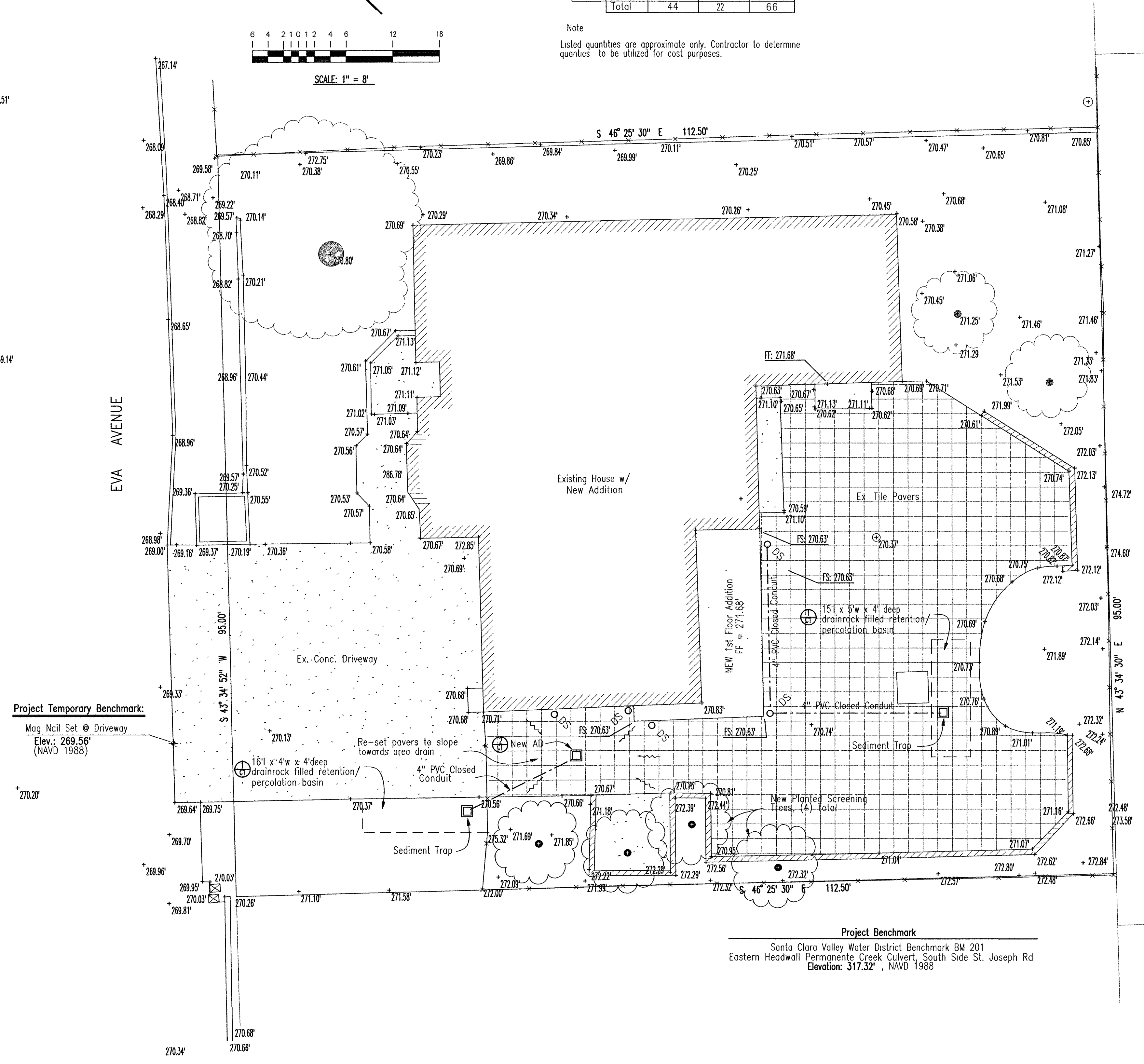
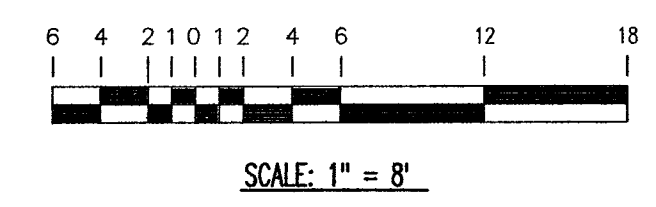
DATE: 1/8/2020
 MODEL FILE: pejman planning set 1-8-2020.pln
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 COPYRIGHT:

SHEET TITLE
 COVER SHEET

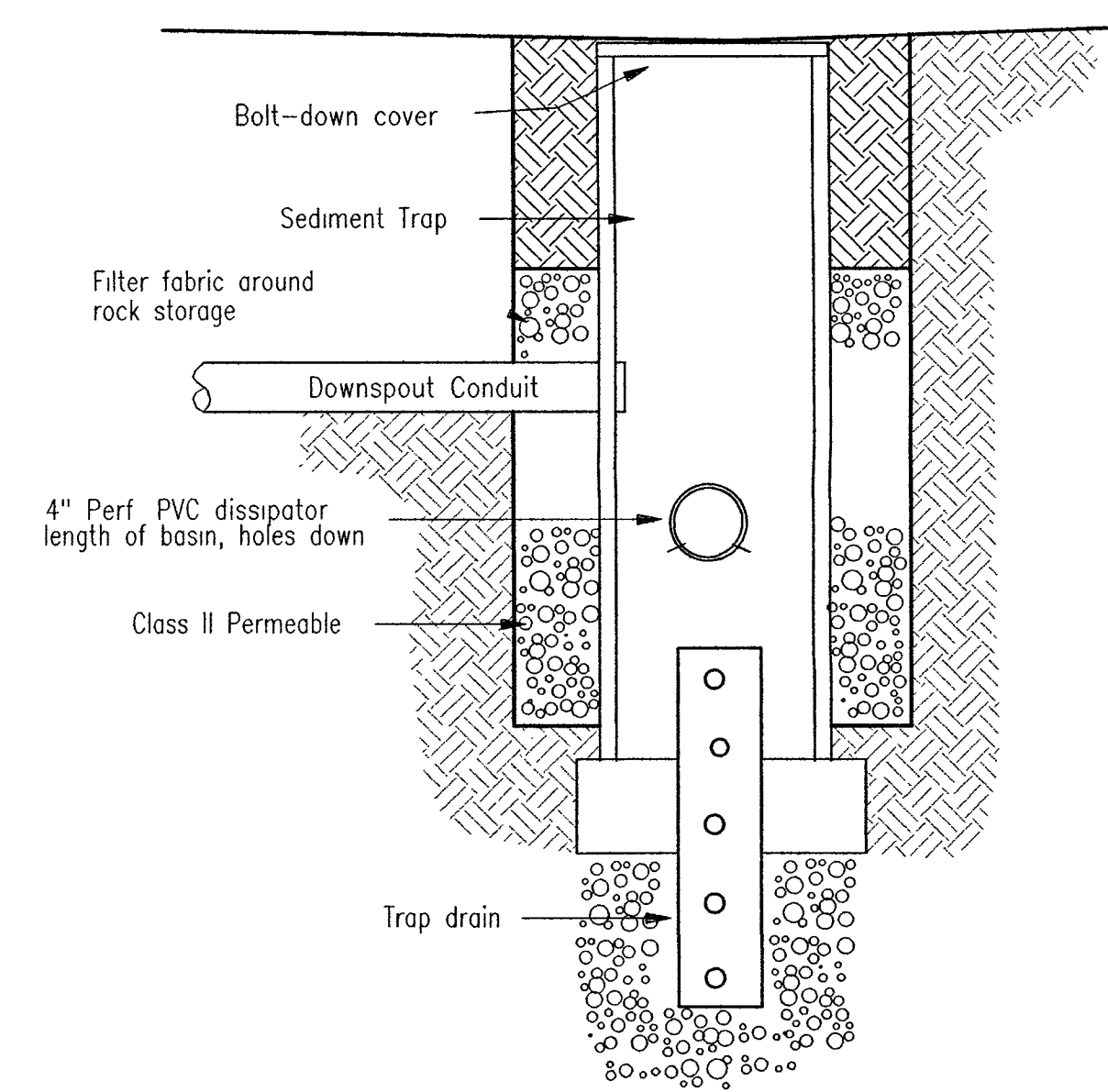
A-0

GRADING QUANTITIES (cu yd)			
	Cut	Fill	Totals
PAD	II		II
Percolation Pits	22	22	44
Site Contouring			
Footings	II	0	II
Total	44	22	66

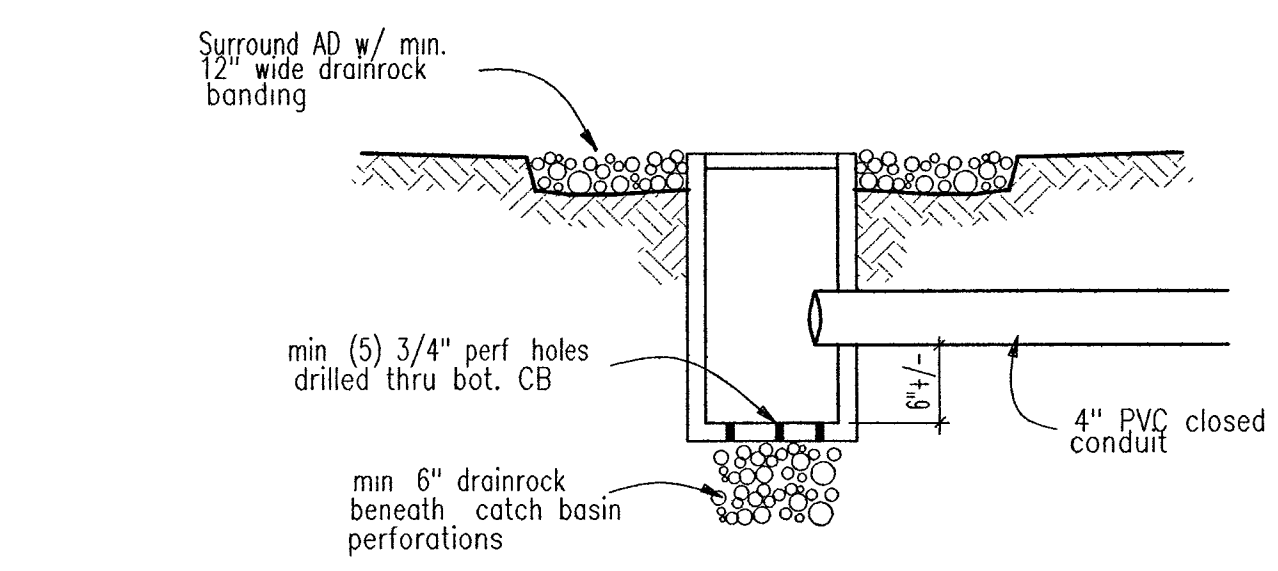
Note
Listed quantities are approximate only. Contractor to determine quantities to be utilized for cost purposes.



Project Benchmark
Santa Clara Valley Water District Benchmark BM 201
Eastern Headwall Permanent Creek Culvert, South Side St. Joseph Rd
Elevation: 317.32', NAVD 1988



SECTION @ SUBDRAIN & PERCOLATION BASIN
SCALE: 3/4" = 1'-0" C1



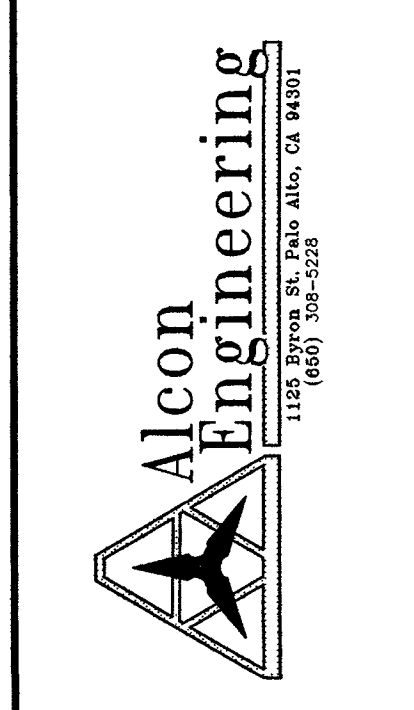
SECTION THRU SUBDRAIN
SCALE: 3/4" = 1'-0" C1

Grading Notes:

- Prior to commencing excavation work contact Underground Service Alert (USA North 811) for identification of underground utility locations at site and/or area of excavation operations.
- Implement all erosion control measures and BMP's as required to prevent sediment and contaminated stormwater runoff from site during course of construction.
- Utility locations shown are approximate only as determined from observation of surface features. Contractor responsible for determining exact locations so as to prevent damaging of and interruption of utility services.
- All fill placed as required to achieve 90% relative compaction or as specified in project Geotechnical Report. Inspection of fill placement and compaction to be performed as specified by project Geotechnical Engineer.

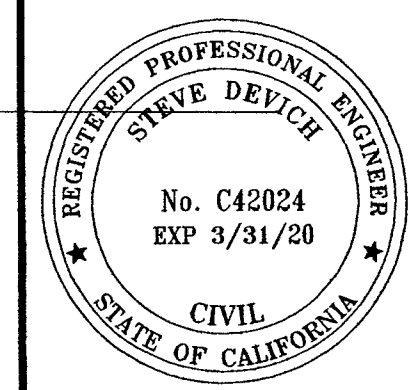
- All drainpipes for downspouts, area drains and Retention / Percolation Pits to be PVC, Schedule 40 or better.
- Tabulated grading quantities are approximate. Actual quantities are to be determined by contractor for actual field conditions.
- Encroachment permits required for all work undertaken in Right-of-Ways.
- All drainage piping and retention / percolation pit construction to be observed by project Geotechnical Engineer and project Civil Engineer prior to covering.

REVISIONS	



MORAVEJ RESIDENCE
1265 EVA AVENUE
LOS ALTOS, CALIFORNIA
APN: 231-37-526

GRADING & DRAINAGE
PLAN



DATE	12/2/19
SCALE	AS NOTED
JOB #	2774.119
FILE	
DRAWN BY :	SD
SHEET	C1
OF	1 SHEETS

