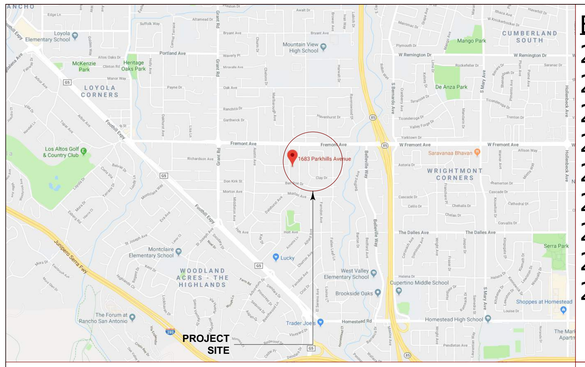


BUILDING CODES:
2016 CALIFORNIA BUILDING CODES
2016 CALIFORNIA RESIDENTIAL CODES
2016 CALIFORNIA ELECTRICAL CODES
2016 CALIFORNIA MECHANICAL CODES
2016 CALIFORNIA PLUMBING CODES
2016 CALIFORNIA FIRE CODES
2016 CALIFORNIA EXISTING BUILDING CODES
2016 CALIFORNIA GREEN BUILDING CODES
2016 BUILDING ENERGY EFFICIENCY STANDARDS

NEW HOUSE

1683 PARKHILLS AVE.
LOS ALTOS, CA 94024

APN : 318-19-006

VICINITY MAP:

PARCEL MAP:

ENGINEER: **JOSE FERNANDEZ**
3001 WINCHESTER BLVD
CAMPBELL, CA 95008

CONTRACTOR:

OWNER: **CHRISTINE & WAYMAN LEUNG**

1683 PARKHILLS AVE
LOS ALTOS, CA 94024

PARCEL MAP:	318-19-006
LOT SIZE:	9,438 Sq.Ft
CONSTRUCTION TYPE:	V/B
OCCUPANCY GROUP:	R3/U
ZONING SITE:	R-1-10
HOUSE LEVEL:	2 (EXISTING)
FIRE SPRINKLER:	NONE

EXISTING ***(TO BE FULLY DEMOLISHED)***

BEDROOM:	3
BATHROOM:	3 FULL
GARAGE:	2 ATTACHED

PROPOSED

BEDROOM:	6
BATHROOM:	4 FULL, 1 HALF
GARAGE:	2 ATTACHED

DRAWING INDEX:

ARCHITECTURAL SHEETS:
A-01 ARCHITECTURAL COVER SHEET
A-02 NEIGHBORHOOD CONTEXT MAP
A-03 ARCHITECTURAL EXISTING SETBACK PLAN
A-04 ARCHITECTURAL PROPOSED SETBACK PLAN
A-05 ARCHITECTURAL PROPOSED SETBACK PLAN
A-06 ARCHITECTURAL FAR DIAGRAM 1ST & 2ND FLOOR
A-07 ARCHITECTURAL PROPOSED FLOOR PLAN BASEMENT
A-08 ARCHITECTURAL PROPOSED FLOOR PLAN 1ST FLOOR
A-09 ARCHITECTURAL PROPOSED FLOOR PLAN 2ND FLOOR
A-10 ARCHITECTURAL PROPOSED ROOF PLAN 1ST & 2ND
A-11 ARCHITECTURAL PROPOSED ELEVATIONS
A-12 ARCHITECTURAL PROPOSED ELEVATIONS
A-13 ARCHITECTURAL PROPOSED CROSS SECTIONS
A-14 ARCHITECTURAL PROPOSED CROSS SECTION & RENDER
A-15 ARCHITECTURAL DETAILS
A-16 ARCHITECTURAL FLOOR PLAN NOTES
MB-1 MATERIAL BOARD

EXISTING BOUNDARY MAP SHEETS:
B-1 BOUNDARY AND TOPOGRAPHIC MAP 1-2
B-2 BOUNDARY AND TOPOGRAPHIC MAP 2-2

STRUCTURAL SHEETS:
--

HARDY FRAME SHEETS:
--

TITLE 24-CALCULATIONS:
--

GRADING AND DRAINAGE SHEETS:
C-1 GRADING AND DRAINAGE PLAN
C-2 GRADING AND DRAINAGE DETAILS
C-3 GRADING AND DRAINAGE EROSION CONTROL

LANDSCAPE SHEETS:
L-1 IRRIGATION PLAN
L-2 LANDSCAPE PLAN

PROJECT SCOPE OF WORK:

1- DEMOLISH 2,128 Sq.Ft HOUSE ON THIS LOT (3 BEDROOMS, 3 FULL BATH, 2 CAR GARAGE).
2- BUILD 4,731 Sq.Ft 2-STORY, SINGLE FAMILY RESIDENTIAL HOME (6 BEDROOMS, 4 1/2 BATHS, 2 CAR GARAGE), INCLUDING BASEMENT. (NEW, MAIN LEVEL - 2,087-SF, 2ND - 1,208-SF, BASEMENT - 1,436-SF)

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: *Land area covered by all structures that are over 6 feet in height*	2,128 square feet (22.5 %)	2,603 square feet (27.1 %)	2,831 square feet (30 %)
FLOOR AREA: *Measured to the outside surfaces of exterior walls*	1st Flr: 2,008 sq ft 2nd Flr: 638 sq ft Total: 2,646 sq ft (28.0 %)	1st Flr: 2,087 sq ft 2nd Flr: 1,208 sq ft Total: 3,295 sq ft (34.9%)	3,303 square feet (35 %)
SETBACKS: Front Rear Right side (1st/2nd) Left side (1st/2nd)	 28.67' feet 40.92' feet 9.67' feet/46.5' feet 10.67' feet/10.67' feet	 28.5' feet 41.42' feet 14'8" feet/22'10" feet 13'2" feet/21.25' feet	 25' feet 25' feet 10' feet/17.5' feet 10' feet/17.5' feet
HEIGHT:	20.92' feet	26.59' feet	27' feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: *Includes habitable basement areas*	2,291 square feet	1,978 square feet	4,269 square feet
NON- HABITABLE AREA: *Does not include covered porches or open structures*	355 square feet	107 square feet	462 square feet

LOT CALCULATIONS

NET LOT AREA:	9,438 square feet
FRONT YARD HARDSCAPE AREA: *Hardscape area in the front yard setback shall not exceed 50%*	926 square feet (49 %)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 4,810 sq ft Existing softscape (undisturbed) area: 3,666 sq ft New softscape (new or replaced landscaping) area: 962 sq ft *Sum of all three should equal the site's net lot area*

THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS, AND HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. HE SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION AND/OR CORRECTION PRIOR TO BEGINNING ANY WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND COORDINATION OF ALL TRADES WITH THE GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN IN THESE PLANS TO RENDER THE JOB COMPLETE.

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

ARCHITECTURAL COVER SHEET

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

A-01

SECOND STORY OUTLINE

NEIGHBORHOOD CONTEXT MAP
1" = 20'

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

NEIGHBORHOOD CONTEXT MAP

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

A-02

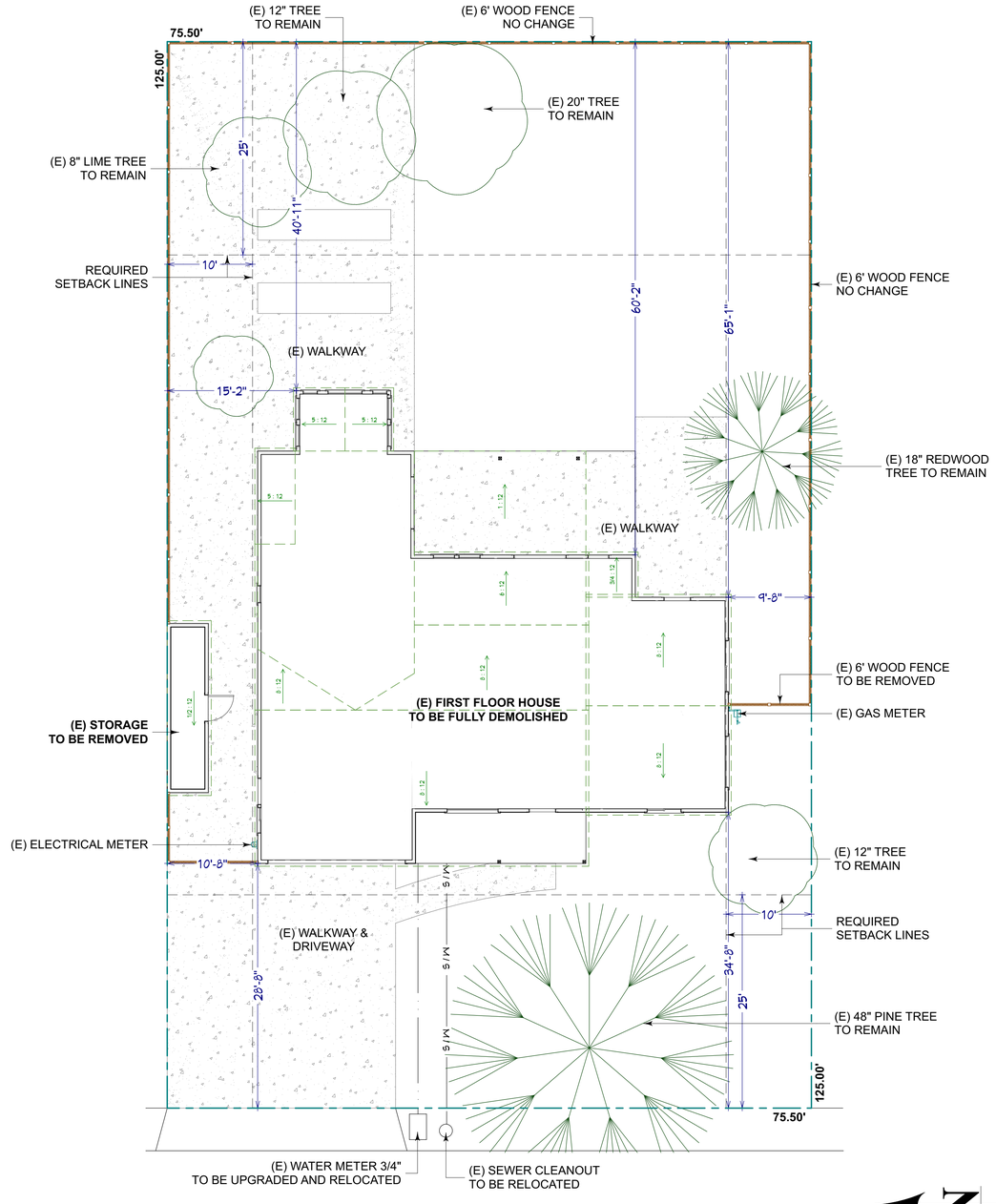
NOTE:

EXISTING HOUSE AND ACCESORY STRUCTURES TO BE FULLY DEMOLISHED ON THIS LOT

LEGEND

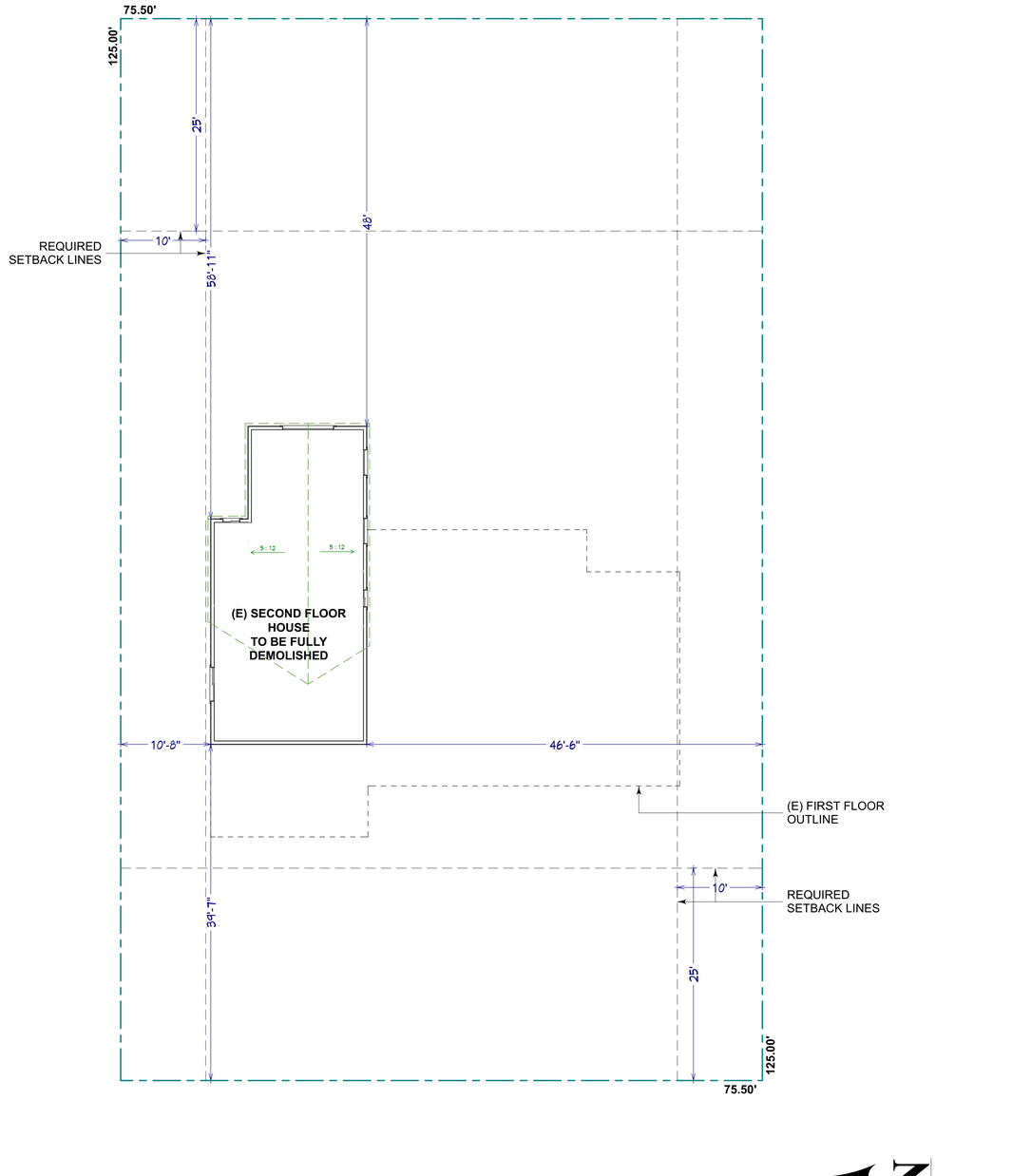
WALLS

ROOF LINE



EXISTING SETBACK PLAN / DEMO PLAN (UNDER SEPARATE PERMIT) FIRST FLOOR

SCALE 1/8"=1'-0"



EXISTING SETBACK PLAN / DEMO PLAN (UNDER SEPARATE PERMIT) SECOND FLOOR

SCALE 1/8"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

ARCHITECTURAL EXISTING SETBACK PLAN

DESIGNER STAMP:

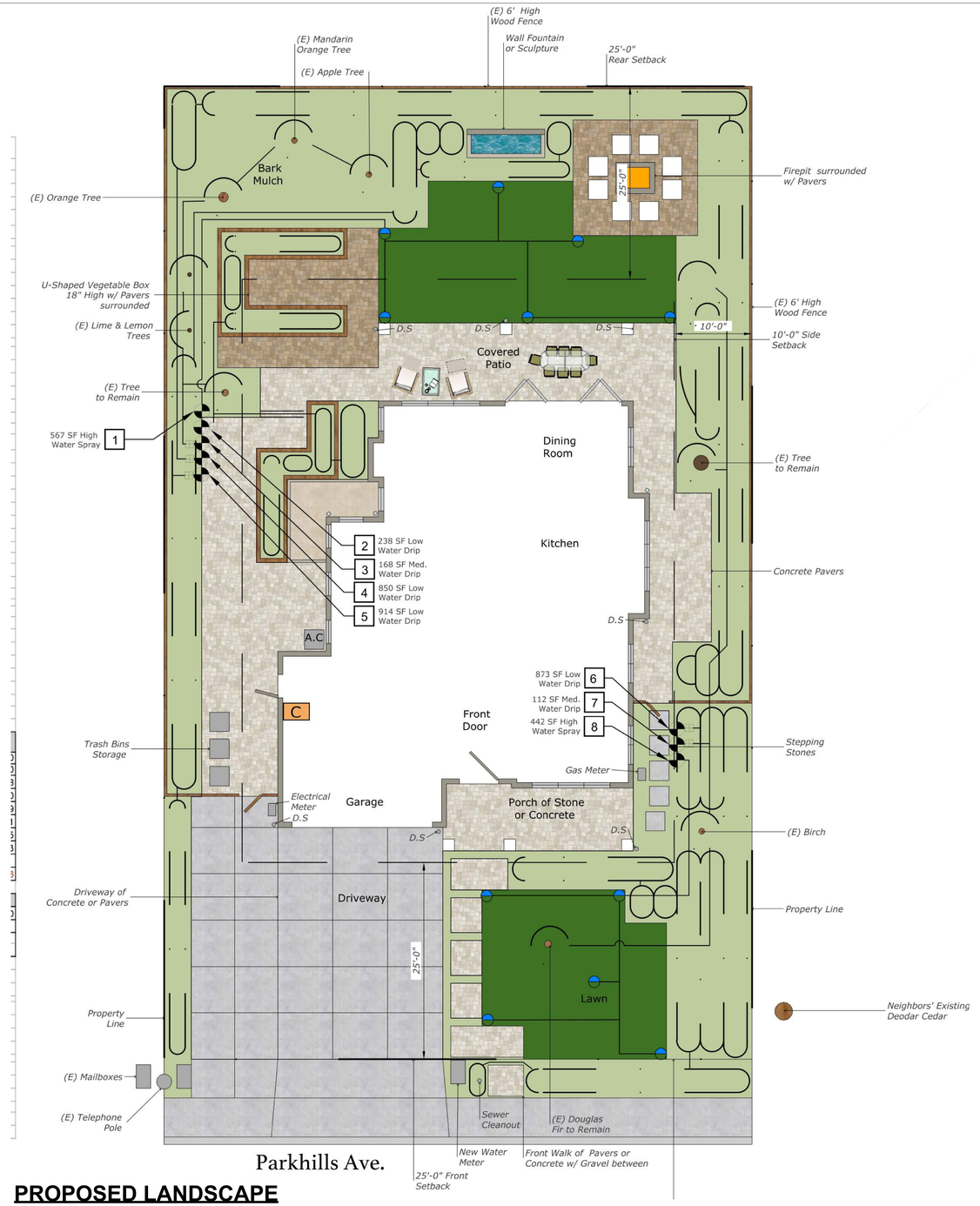
DATE:
8/21/2019

SHEET :

A-03

NOTE:
- IMPERVIOUS SURFACES WITHIN TEN FEET HORIZONTALLY OF THE BUILDING MAY BE SLOPED AT 2% MINIMUM AWAY FROM THE BUILDING.
- NO NEW REPLACEMENT AND/OR UTILITY UPGRADES ARE REQUIRED/ANTICIPATED. IF DURING CONSTRUCTION IT IS DISCOVERED THAT NEW, REPLACEMENT AND/OR UTILITY UPGRADES ARE REQUIRED, THEN THE OWNER, OWNER'S CONTRACTOR AND/ OR THE SPECIFIC UTILITY COMPANY SHALL APPLY AND OBTAIN A SEPARATE ENCROACHMENT PERMIT FOR SAID WORK WITHIN THE LIMITS OF THE ROW FROM ROAD AND AIRPORTS.
- NO WORK TO BE DONE ON PUBLIC RIGHT OF WAY WITHOUT OBTAINING ENCROACHMENT PERMIT FIRST FROM ROADS AND AIRPORTS DEPARTMENT.

IMPROVEMENT PLAN CONSTRUCTION NOTES:
1. ALL WORK IN THE COUNTY ROAD RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. RETAINING WALLS, DRIVEWAY APPROACHES, TEMPORARY CONSTRUCTION ENTRANCES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ALL UTILITY OPERATIONS (RELOCATIONS, ABANDONMENT, TEMPORARY FACILITIES, AND/OR NEW FACILITIES FOR CABLE, ELECTRIC, GAS, SEWER, WATER), ETC.



PROPOSED LANDSCAPE

(SEE LANDSCAPE SHEET FOR FULL DETAILS AND EXPLANATION)
SCALE 1/8"=1'-0"

TREE PROTECTION LEGEND

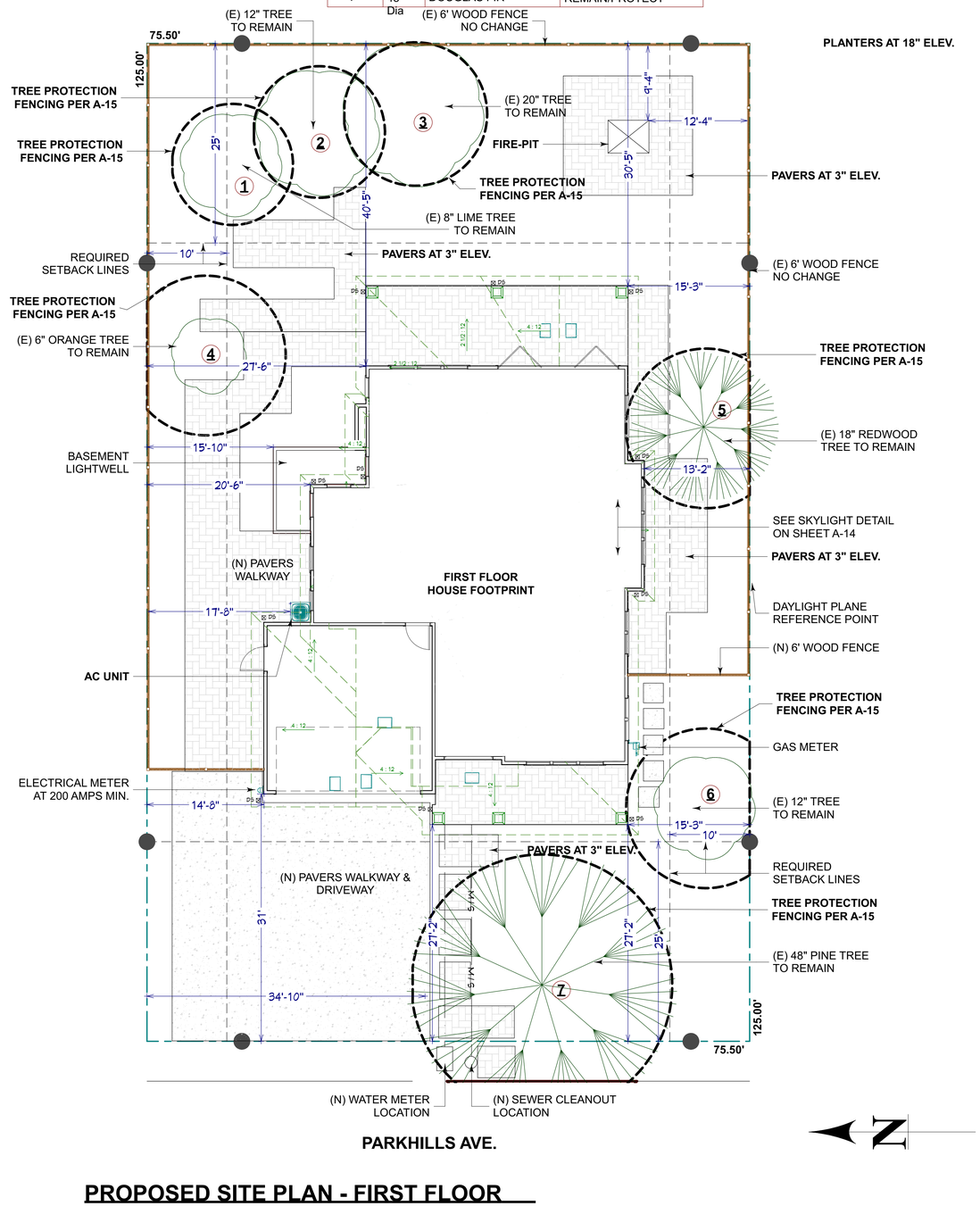
TREE ID	SIZE	SPECIES	REMOVE/REMAIN
1	8" Dia	ORANGE	REMAIN/PROTECT
2	12" Dia	MANDARIN/ORANGE	REMAIN/PROTECT
3	20" Dia	APPLE	REMAIN/PROTECT
4	6" Dia	LIME	REMAIN/PROTECT
5	18" Dia	REDWOOD	REMAIN/PROTECT
6	12" Dia	BIRCH	REMAIN/PROTECT
7	48" Dia	DOUGLAS FIR	REMAIN/PROTECT

LEGEND

WALLS

ROOF LINE

(N) FIXED SKYLIGHT 2' x 2'
VELUX FIX TEMP
ITEM #317860
IAPMO-ES REPORT #199



PLANTERS AT 18" ELEV.

PROPOSED SITE PLAN - FIRST FLOOR

SCALE 1/8"=1'-0"
(Site Plan Based on Survey by Oscar Orsuna)

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

ARCHITECTURAL PROPOSED SETBACK PLAN 1ST FLOOR

DESIGNER STAMP:

DATE:
8/21/2019

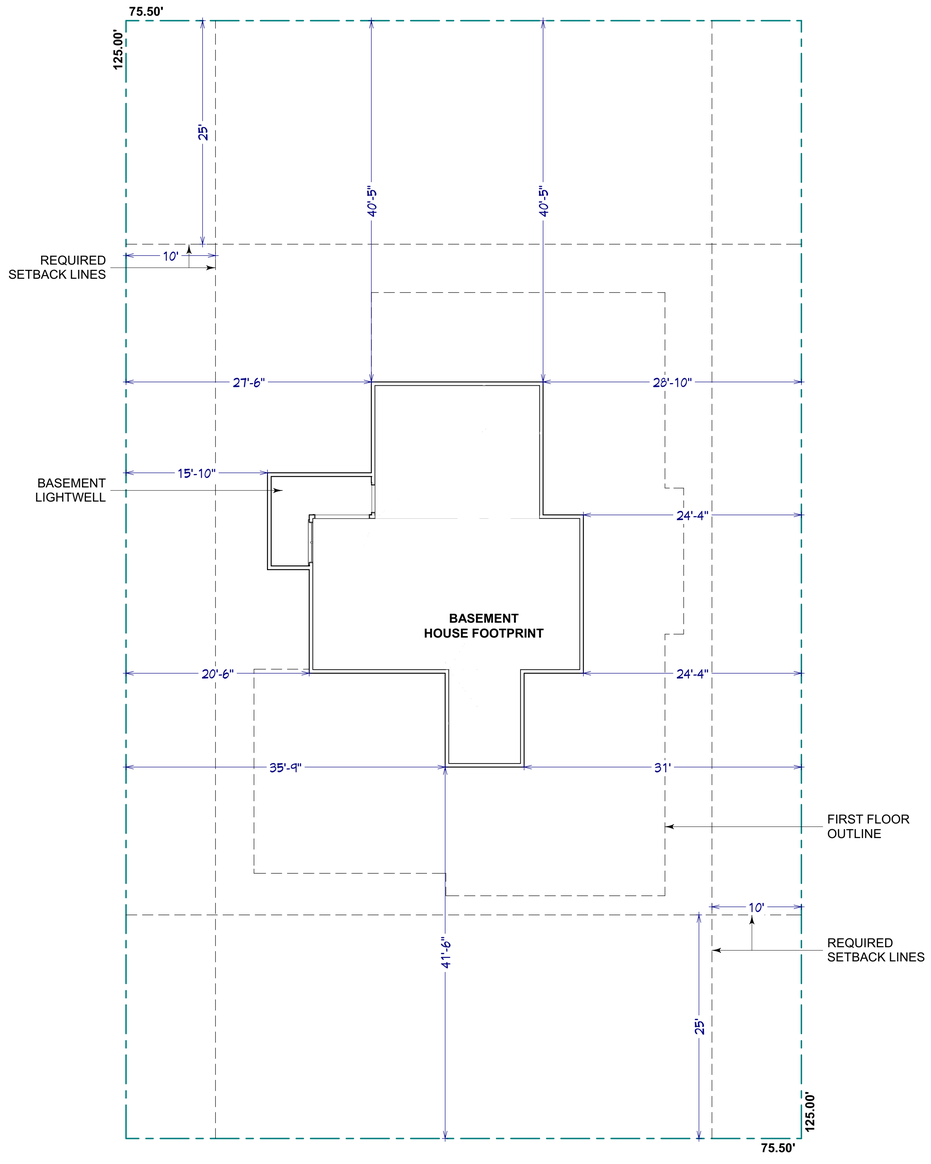
SHEET :

A-04

LEGEND

WALLS

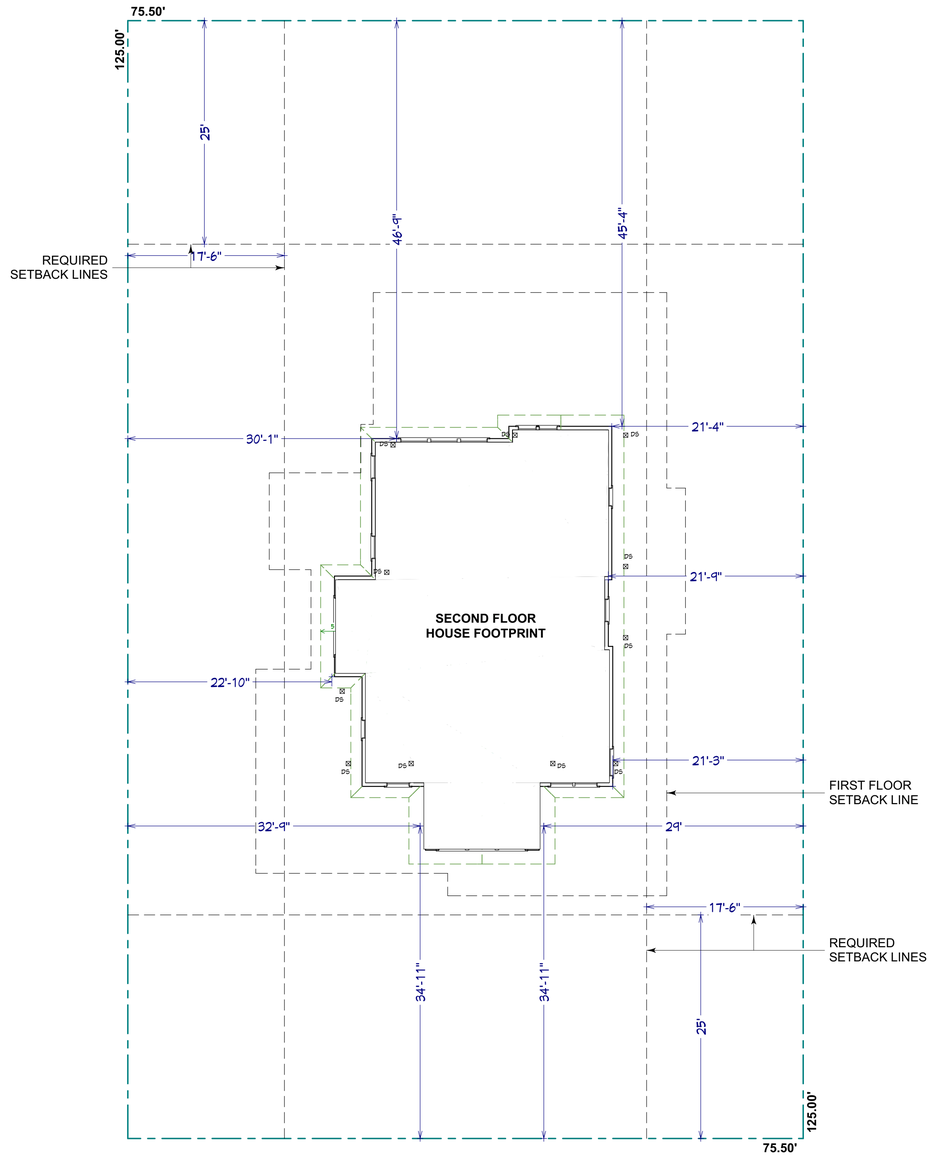
ROOF LINE



PARKHILLS AVE.

PROPOSED SETBACK PLAN - BASEMENT

SCALE 1/8"=1'-0"



PARKHILLS AVE.

PROPOSED SETBACK PLAN - SECOND FLOOR

SCALE 1/8"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

ARCHITECTURAL PROPOSED SETBACK PLAN 2ND FLOOR & BASEMENT

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

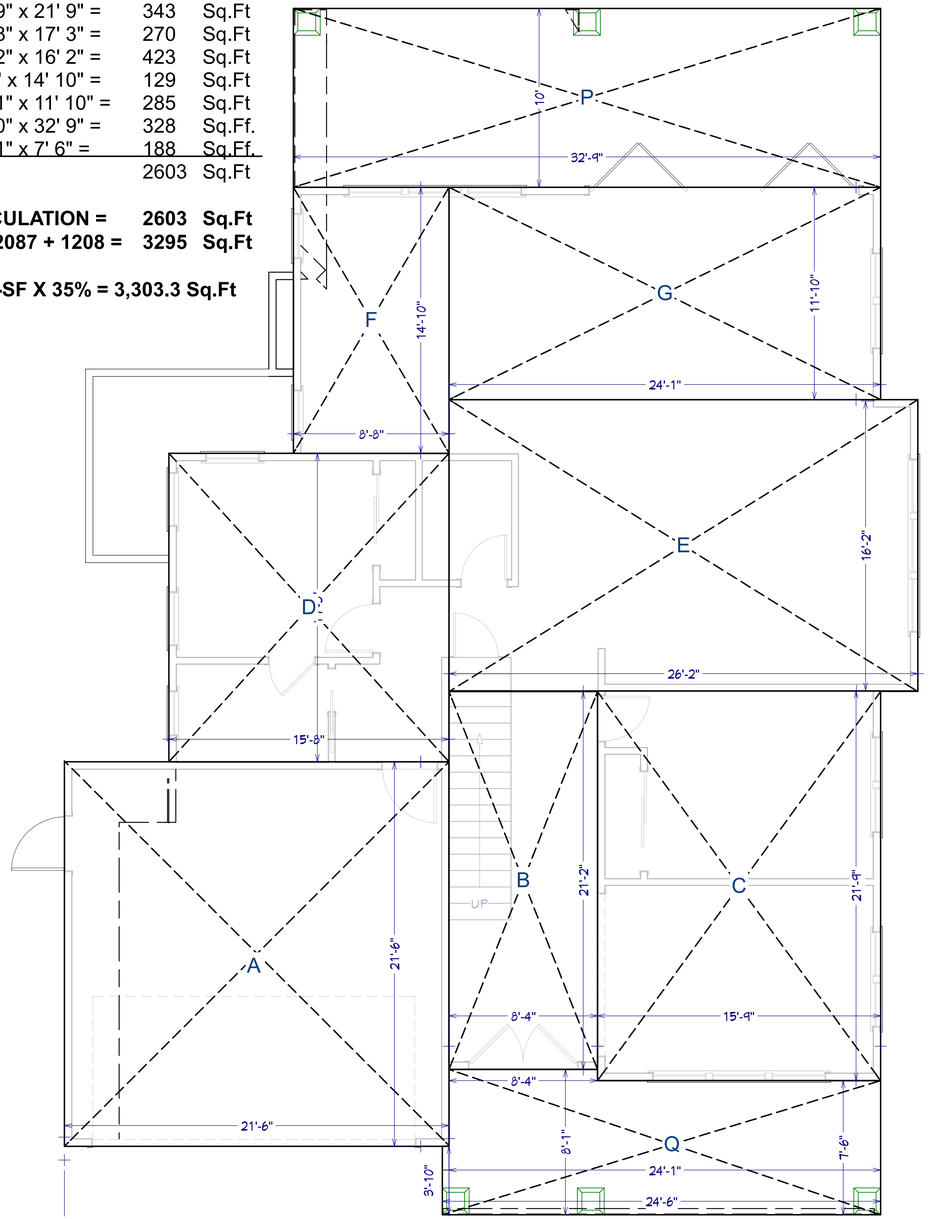
A-05

FIRST FLOOR

AREA NAME	DIMENSIONS	SQ.FT	
A	21' 6" x 21' 6" =	462	Sq.Ft
B	8' 4" x 21' 2" =	175	Sq.Ft
C	15' 9" x 21' 9" =	343	Sq.Ft
D	15' 8" x 17' 3" =	270	Sq.Ft
E	26' 2" x 16' 2" =	423	Sq.Ft
F	8' 8" x 14' 10" =	129	Sq.Ft
G	24' 1" x 11' 10" =	285	Sq.Ft
P	10' 0" x 32' 9" =	328	Sq.Ff.
Q	24' 1" x 7' 6" =	188	Sq.Ff.
TOTAL		2603	Sq.Ft

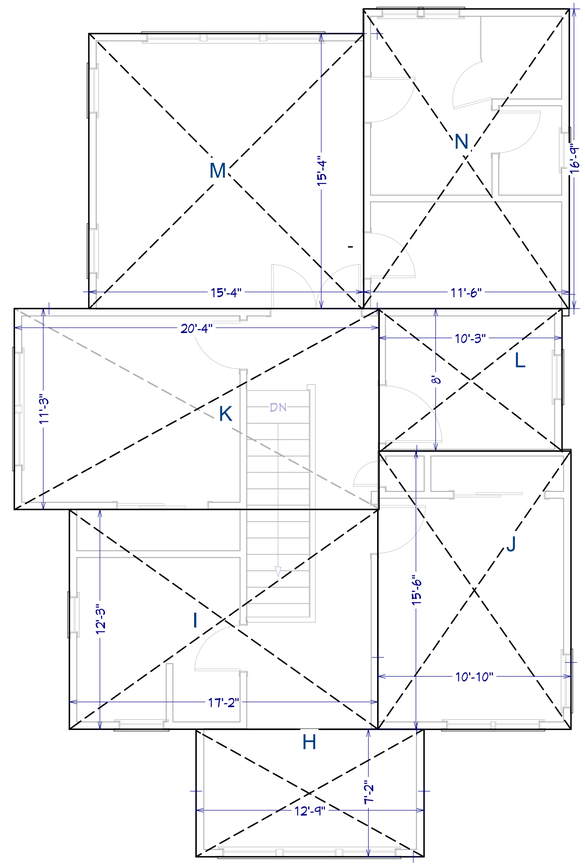
LOT COVERAGE CALCULATION = 2603 Sq.Ft
FAR CALCULATION = 2087 + 1208 = 3295 Sq.Ft

FAR ALLOWED= 9,438-SF X 35% = 3,303.3 Sq.Ft



SECOND FLOOR

AREA NAME	DIMENSIONS	SQ.FT	
H	12' 9" x 7' 2" =	91	Sq.Ft
I	17' 2" x 12' 3" =	210	Sq.Ft
J	10" 10" x 15' 6" =	168	Sq.Ft
K	20' 4" x 11' 3" =	229	Sq.Ft
L	10' 3" x 8' 0" =	82	Sq.Ft
M	15' 4" x 15' 4" =	235	Sq.Ft
N	11' 6" x 16' 9" =	193	Sq.Ft
TOTAL		1208	Sq.Ft



PROPOSED FLOOR AREA DIAGRAM - 1ST FLOOR
SCALE 1/4"=1'-0"

PROPOSED FLOOR AREA DIAGRAM - 2ND FLOOR
SCALE 1/4"=1'-0"

EXTERIOR DIMENSIONS SHOWN ARE TO THE EDGE OF STUCCO FOR PLANNING PURPOSES

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

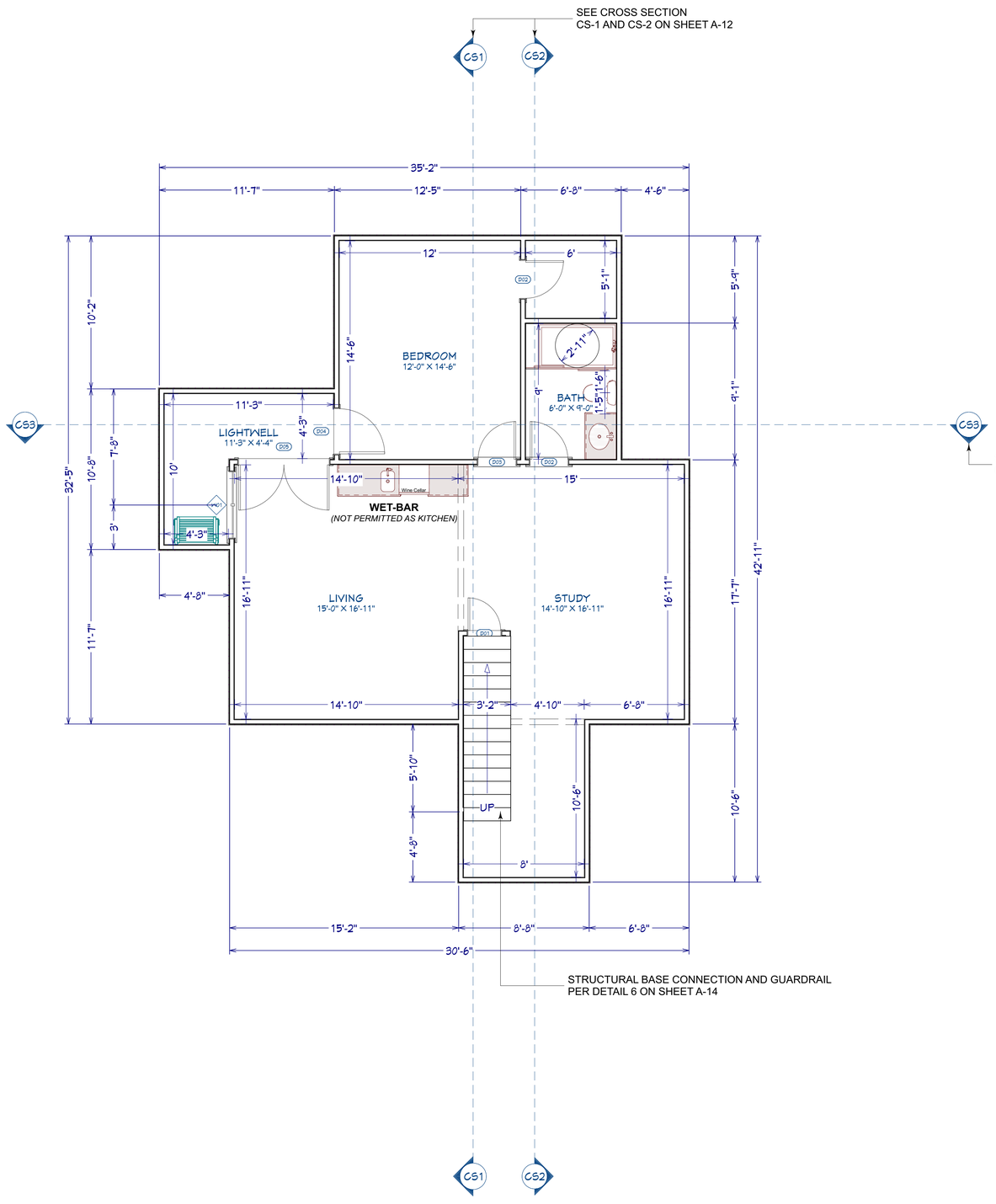
ARCHITECTURAL FLOOR AREA DIAGRAM 1ST & 2ND FLOOR

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

A-06



PROPOSED FLOOR PLAN - BASEMENT
SCALE 1/4"=1'-0"

EGRESS WINDOW REQUIREMENTS:
PER R310.2.1 ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. WHERE EMERGENCY ESCAPE AND RESCUE OPENING ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES.
MINIMUM OPENING HEIGHT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
MINIMUM OPENING WIDTH. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.
PER R310.1.1 EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.

TUB SURFACE NOTES:
- WALL SURFACE BEHIND CERAMIC TILE OR OTHER FIN. WALL MATERIALS SUBJECT TO WATER SPLASH SHALL BE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. (APPROVED WR GYP. BD. INSTALLED ACC. TO C.B.C 4712.)
- TUB/SHOWER WALLS TO HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET.

SHOWER NOTES:
SHOWER ENCLOSURE TO BE TEMPERED GLAZING.

EXTERIOR STUCCO:
(1) IS 3- COAT, 7/8 INCH MINIMUM THICK; (2) HAS TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING; AND (3) HAS 26 GA. GALVANIZED WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2 INCHES SHALL BE PROVIDED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING) AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.

LANDING:
- LANDING SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE THRESHOLD (CRC R311.3.2 AND SHALL HAVE A MINIMUM OF 36" IN THE DIRECTION OF EGRESS TRAVEL.
- SLOPE AT EXTERIOR LANDING SHALL NOT EXCEED 2%. CRC R311.3

DOOR SCHEDULE - BASEMENT

NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	FIRE	TEMP.	DESCRIPTION	COMMENTS
D01	2268	1	2268 L IN	26 "	80 "	28"X82 1/2"			HINGED-DOOR P04	
D02	2668	2	2668 L IN	30 "	80 "	32"X82 1/2"			HINGED-DOOR P04	
D03	2668	1	2668 R IN	30 "	80 "	32"X82 1/2"			HINGED-DOOR P04	
D04	3068	1	3068 R EX	36 "	81 "	38"X84"		YES	EXT. HINGED-GLASS PANEL	EGRESS
D05	6068	1	6068 L/R EX	72 "	80 "	74"X83"		YES	EXT. DOUBLE HINGED-GLASS PANEL	

WINDOW SCHEDULE - BASEMENT

NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	EGRESS	TEMP.	DESCRIPTION	COMMENTS
W01	4640DC	1	4640DC	54 "	48 "	55"X49"			DOUBLE CASEMENT-LHL/RHR	

LIVING AREA VENTILATION:
(29.84' x 16.92' x 8%) = 40.39 Sq.Ft Required for supply ventilation.

D05 6'-0" X 7'-8" (1) = 46 SQ.FT.
W01 4'-6" X 4'-0" (1) = 18 SQ.FT.
TOTAL = 64 Sq.Ft. of supply ventilation provided.

INDOOR AIR QUALITY VENTILATION (BASEMENT):
Q(FAN) = 0.01 (Floor Area) + 7.5 (N. Bd + 1)
= 0.01 (921) + 7.5 (1 + 1)
= 9.21 + 15
= 24.21 **CFM**

NOTE:
Whole building ventilation requirement, according to Eq. 4.1a (from ASHRAE 62.2) is 24.21 CFM. According to table 7.1 (from ASHRAE 62.2) with Flex Duct at 5 inch diameter, the length can be a maximum of 70 feet at straight duct without elbows. This provide us with whole house building ventilation at 24.21 CFM.

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1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

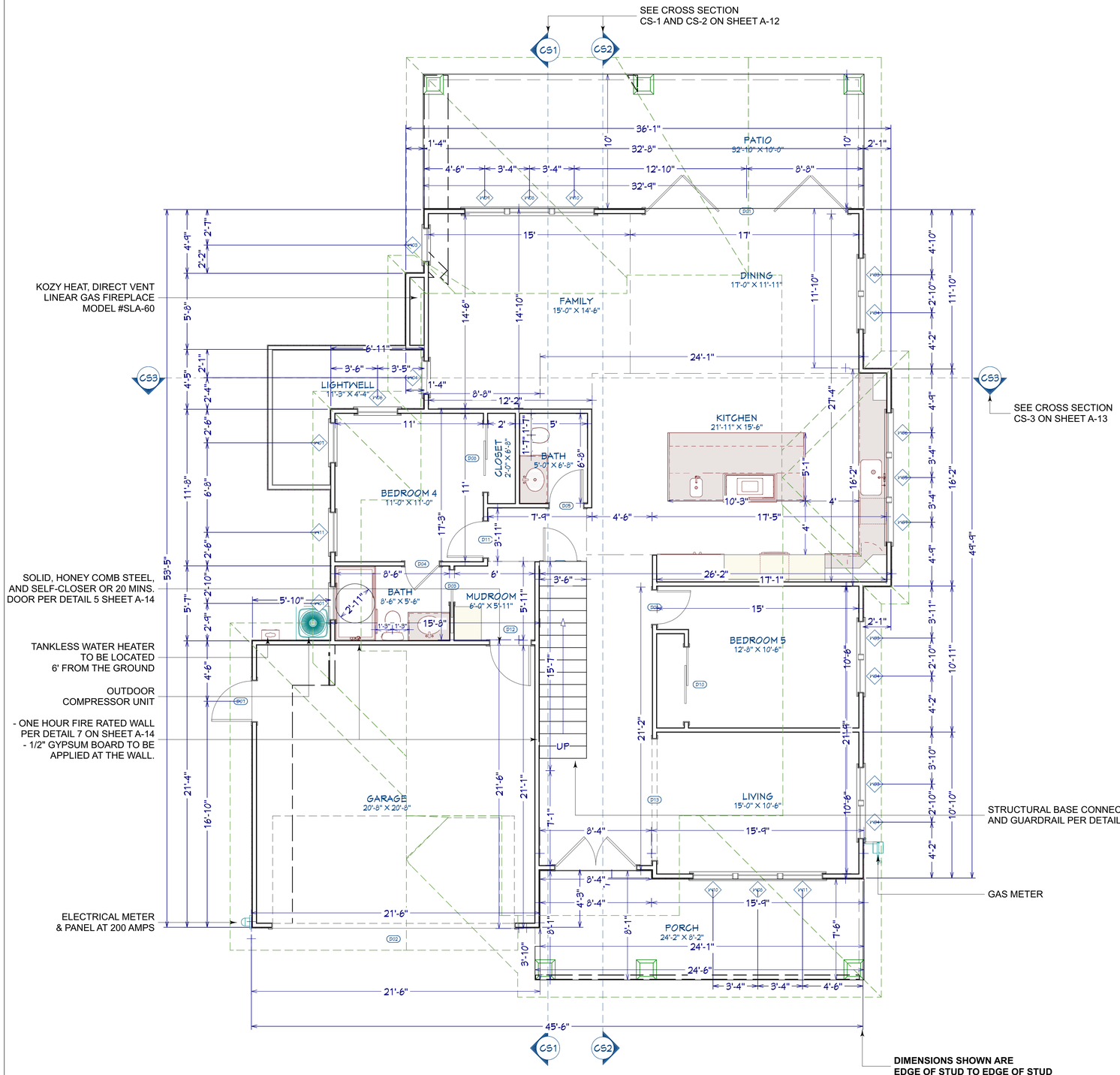
ARCHITECTURAL PROPOSED FLOOR PLAN BASEMENT

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

A-07



PROPOSED FLOOR PLAN - FIRST FLOOR

SCALE 1/4"=1'-0"

EGRESS WINDOW REQUIREMENTS:
PER R310.2.1 ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. WHERE EMERGENCY ESCAPE AND RESCUE OPENING ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES.
MINIMUM OPENING HEIGHT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
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- SLOPE AT EXTERIOR LANDING SHALL NOT EXCEED 2%. CRC R311.3

DOOR SCHEDULE - FIRST FLOOR

NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	FIRE	TEMP.	DESCRIPTION	COMMENTS
D01	15080	1	15080 L/R EX	180 "	96 "	182"X98 1/2"		YES	EXT. 4 DR. BIFOLD-DOOR F01	
D02	18080	1	18080	216 "	96 "	219"X99"			GARAGE-GARAGE DOOR CHD05	
D03	2480	1	2480 R	28 "	96 "	58"X98 1/2"			POCKET-DOOR P04	
D04	2680	2	2680 L IN	30 "	96 "	32"X98 1/2"			HINGED-DOOR P04	
D05	2680	1	2680 R IN	30 "	96 "	32"X98 1/2"			HINGED-DOOR P04	
D06	2880	2	2880 L IN	32 "	96 "	34"X98 1/2"			HINGED-DOOR P04	
D07	3080	1	3080 L EX	36 "	96 "	38"X99"			EXT. HINGED-DOOR E21	
D08	5080	1	5080 R IN	60 "	96 "	62"X98 1/2"			SLIDER-DOOR P04	
D09	5480	1	5480 L EX	64 "	96 "	66"X99"		YES	EXT. HINGED-DOOR E21	
D10	5680	1	5680 R IN	66 "	96 "	68"X98 1/2"			SLIDER-DOOR P04	
D11	8080	1	8080	96 "	96 "	98"X98 1/2"			DOORWAY	
D12	3080	1	3080 L EX	36 "	96 "	38"X99"	YES		EXT. HINGED-DOOR E21	

WINDOW SCHEDULE - FIRST FLOOR

NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	EGRESS	TEMP.	DESCRIPTION	COMMENTS
W01	26465C	1	26465C	30 "	54 "	31"X55"		YES	SINGLE CASEMENT-HR	GLAZED
W03	26505C	4	26505C	30 "	60 "	31"X61"			SINGLE CASEMENT-HL	
W04	26505C	4	26505C	30 "	60 "	31"X61"			SINGLE CASEMENT-HR	
W05	3046FX	1	3046FX	36 "	54 "	37"X55"			FIXED GLASS	
W06	30465C	2	30465C	36 "	54 "	37"X55"			SINGLE CASEMENT-HL	
W07	30465C	2	30465C	36 "	54 "	37"X55"			SINGLE CASEMENT-HR	
W08	3050FX	2	3050FX	36 "	60 "	37"X61"			FIXED GLASS	
W09	30505C	1	30505C	36 "	60 "	37"X61"			SINGLE CASEMENT-HL	
W10	30505C	2	30505C	36 "	60 "	37"X61"			SINGLE CASEMENT-HR	
W11	30505C	1	30505C	36 "	60 "	37"X61"	YES		SINGLE CASEMENT-HL	
W12	30465C	1	30465C	36 "	54 "	37"X55"	YES		SINGLE CASEMENT-HL	

FAMILY - DINING AREA VENTILATION:
(27.34' x 17' x 8%) = 37.18 Sq.Ft. Required for supply ventilation.

D01 15'-0" X 8'-0" (1) = 120 SQ.FT.
W03-W04 2'-6" X 5'-0" (2) = 25 SQ.FT.
W06-W07 3'-0" X 4'-6" (2) = 27 SQ.FT.
TOTAL = 172 Sq.Ft. of supply ventilation provided.

LIVING AREA VENTILATION:
(14.5' x 15' x 8%) = 17.4 Sq.Ft Required for supply ventilation.

W03-W04 2'-6" X 5'-0" (2) = 50 SQ.FT.
W09-W10 3'-0" X 4'-6" (2) = 27 SQ.FT.
TOTAL = 77 Sq.Ft. of supply ventilation provided.

INDOOR AIR QUALITY VENTILATION (BASEMENT):

Q(FAN) = 0.01 (Floor Area) + 7.5 (N. Bd + 1)
= 0.01 (1634) + 7.5 (2 + 1)
= 16.34 + 22.5
= 38.84 **CFM**

NOTE:
Whole building ventilation requirement, according to Eq. 4.1a (from ASHRAE 62.2) is 38.84 CFM. According to table 7.1 (from ASHRAE 62.2) with Flex Duct at 5 inch diameter, the length can be a maximum of 70 feet at straight duct without elbows. This provide us with whole house building ventilation at 38.84 CFM.

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

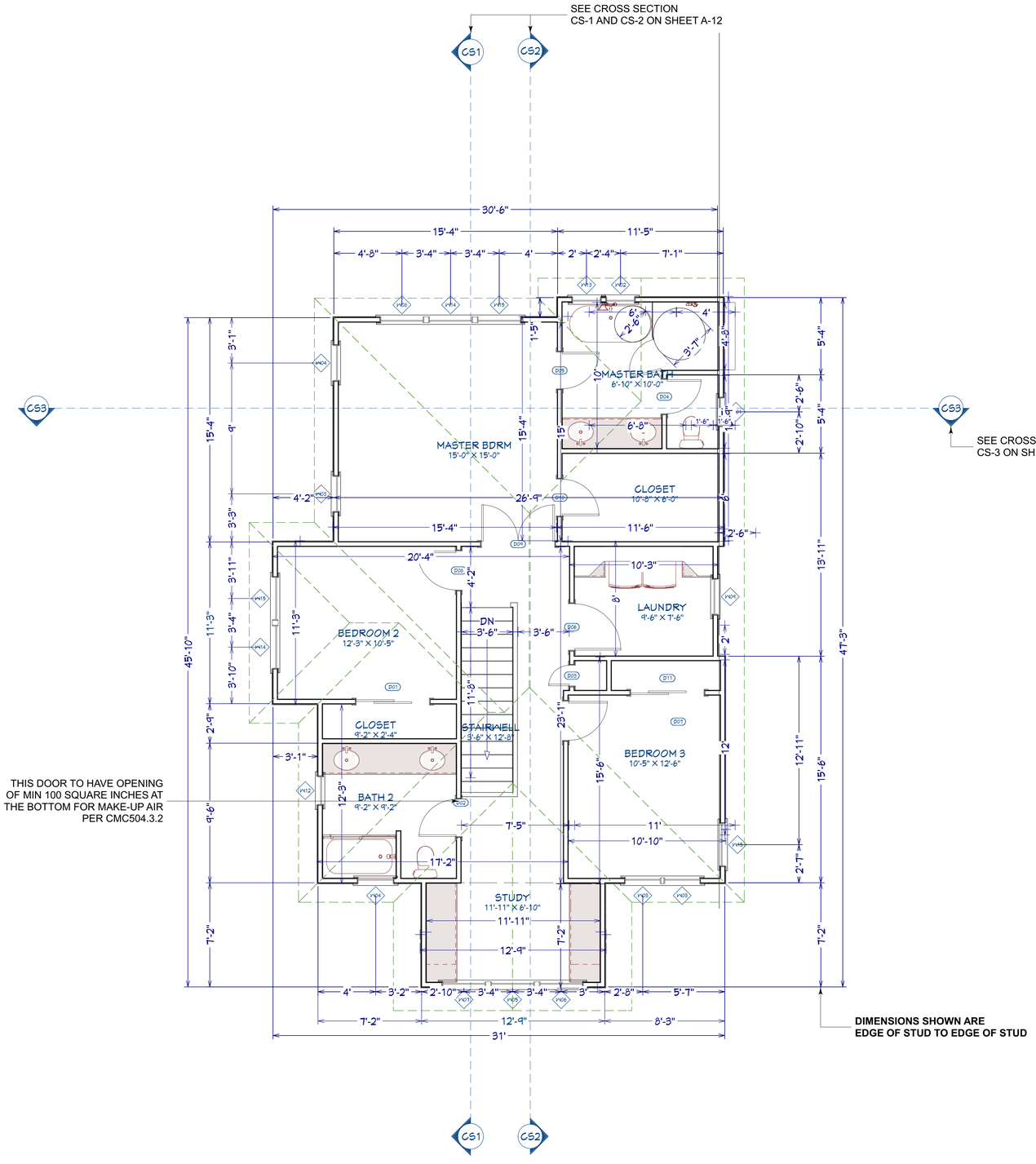
ARCHITECTURAL
PROPOSED
FLOOR PLAN
1ST FLOOR

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

A-08



PROPOSED FLOOR PLAN - SECOND FLOOR

SCALE 1/4"=1'-0"

EGRESS WINDOW REQUIREMENTS:
PER R310.2.1 ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. WHERE EMERGENCY ESCAPE AND RESCUE OPENING ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES.
MINIMUM OPENING HEIGHT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
MINIMUM OPENING WIDTH. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.
PER R310.1.1 EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE MAINTAINED FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE ALLOWED BY THIS SECTION AND SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE.

TUB SURFACE NOTES:
- WALL SURFACE BEHIND CERAMIC TILE OR OTHER FIN. WALL MATERIALS SUBJECT TO WATER SPLASH SHALL BE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. (APPROVED WR GYP. BD. INSTALLED ACC. TO C.B.C 4712.)
- TUB/SHOWER WALLS TO HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET.

SHOWER NOTES:
SHOWER ENCLOSURE TO BE TEMPERED GLAZING.

EXTERIOR STUCCO:
(1) IS 3- COAT, 7/8 INCH MINIMUM THICK; (2) HAS TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING; AND (3) HAS 26 GA. GALVANIZED WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2 INCHES SHALL BE PROVIDED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING) AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.

LANDING:
- LANDING SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE THRESHOLD (CRC R311.3.2 AND SHALL HAVE A MINIMUM OF 36" IN THE DIRECTION OF EGRESS TRAVEL.
- SLOPE AT EXTERIOR LANDING SHALL NOT EXCEED 2%. CRC R311.3

DOOR SCHEDULE - SECOND FLOOR

NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	FIRE	TEMP.	DESCRIPTION	COMMENTS
D01	10080	1	10080 R IN	120 "	96 "	122"X98 1/2"			TRIPLE SLIDER-DOOR P04	
D02	21080	1	21080 L IN	84 "	96 "	86"X98 1/2"			HINGED-DOOR P04	
D03	2180	1	2180 L	24 1/2 "	96 "	51"X98 1/2"			POCKET-DOOR P04	
D04	2480	1	2480 L IN	28 "	96 "	30"X98 1/2"			HINGED-DOOR P04	
D05	2680	1	2680 L IN	30 "	96 "	32"X98 1/2"			HINGED-DOOR P04	
D06	2680	2	2680 R IN	30 "	96 "	32"X98 1/2"			HINGED-DOOR P04	
D07	2880	1	2880 L IN	32 "	96 "	34"X98 1/2"			HINGED-DOOR P04	
D08	2880	1	2880 R IN	32 "	96 "	34"X98 1/2"			HINGED-DOOR P04	
D09	5080	1	5080 L/R IN	60 "	96 "	62"X98 1/2"			DOUBLE HINGED-DOOR P04	
D10	7080	1	7080 R IN	84 "	96 "	86"X98 1/2"			SLIDER-DOOR P04	

WINDOW SCHEDULE - SECOND FLOOR

NUMBER	LABEL	QTY	SIZE	WIDTH	HEIGHT	R/O	EGRESS	TEMP.	DESCRIPTION	COMMENTS
W01	20405C	2	20405C	24 "	48 "	25"X49"		YES	SINGLE CASEMENT-HL	GLAZED
W02	20405C	1	20405C	24 "	48 "	25"X49"	YES	YES	SINGLE CASEMENT-HR	GLAZED
W03	26405C	2	26405C	30 "	48 "	31"X49"			SINGLE CASEMENT-HL	
W04	26405C	2	26405C	30 "	48 "	31"X49"			SINGLE CASEMENT-HR	
W05	3040FX	4	3040FX	36 "	48 "	37"X49"			FIXED GLASS	
W06	30405C	1	30405C	36 "	48 "	37"X49"			SINGLE CASEMENT-HL	
W07	30405C	4	30405C	36 "	48 "	37"X49"			SINGLE CASEMENT-HR	
W08	30405C	3	30405C	36 "	48 "	37"X49"	YES		SINGLE CASEMENT-HL	
W09	26405C	1	26405C	30 "	48 "	31"X49"		YES	SINGLE CASEMENT-HR	GLAZED
W10	1616LV	1	1616LV	16 "	16 "	19"X19"			LOUVERED-CT	
W11	1010LV	1	1010LV	12 "	12 "	13"X13"			LOUVERED-CT	

INDOOR AIR QUALITY VENTILATION (2ND FLOOR):

Q(FAN) = 0.01 (Floor Area) + 7.5 (N. Bd + 1)
= 0.01 (1159) + 7.5 (3 + 1)
= 11.59 + 30
= 41.59 **CFM**

NOTE:
Whole building ventilation requirement, according to Eq. 4.1a (from ASHRAE 62.2) is 41.59 CFM. According to table 7.1 (from ASHRAE 62.2) with Flex Duct at 5 inch diameter, the length can be a maximum of 70 feet at straight duct without elbows. This provide us with whole house building ventilation at 41.59 CFM.

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

ARCHITECTURAL PROPOSED FLOOR PLAN 2ND FLOOR

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

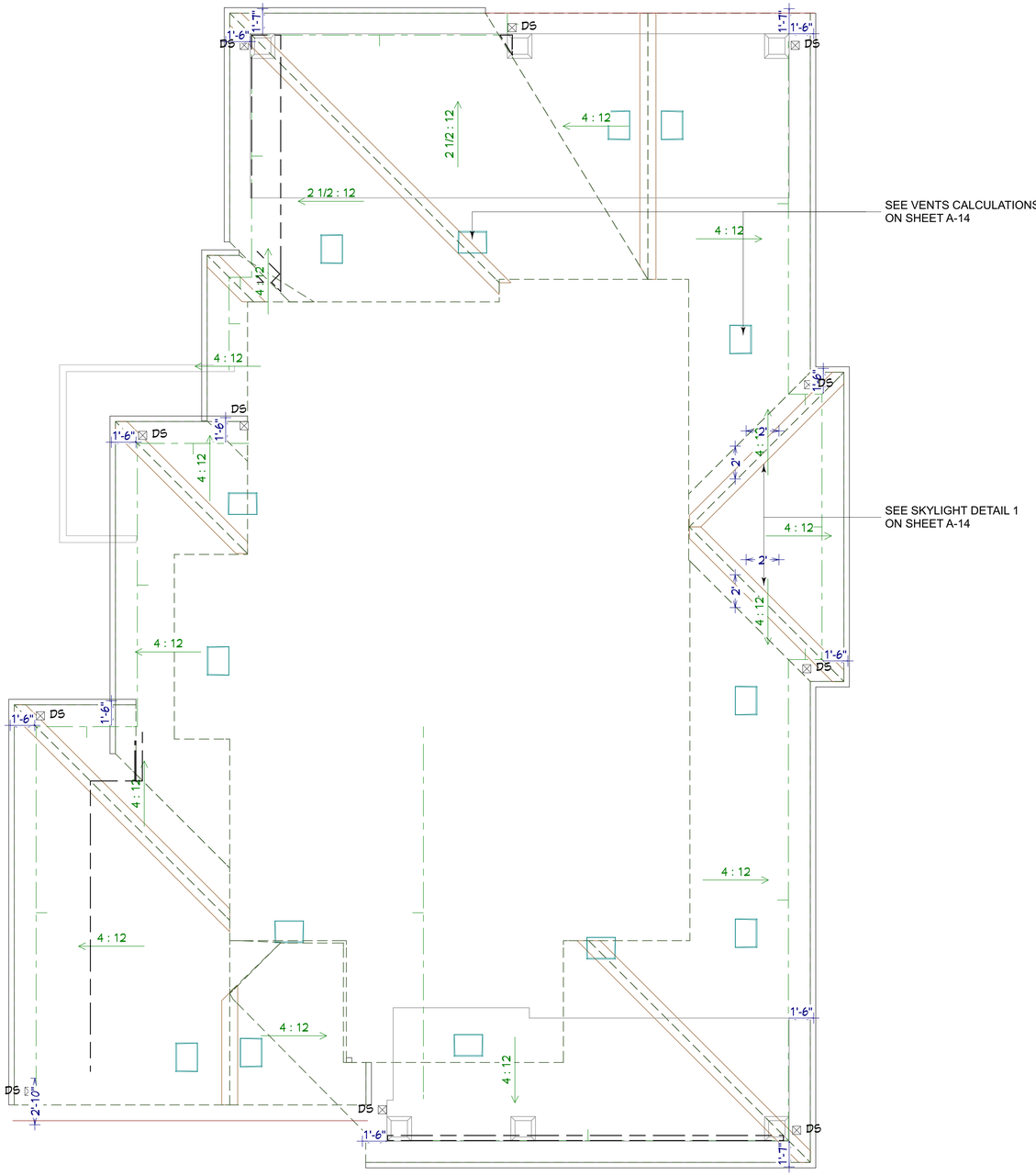
A-09

LEGEND

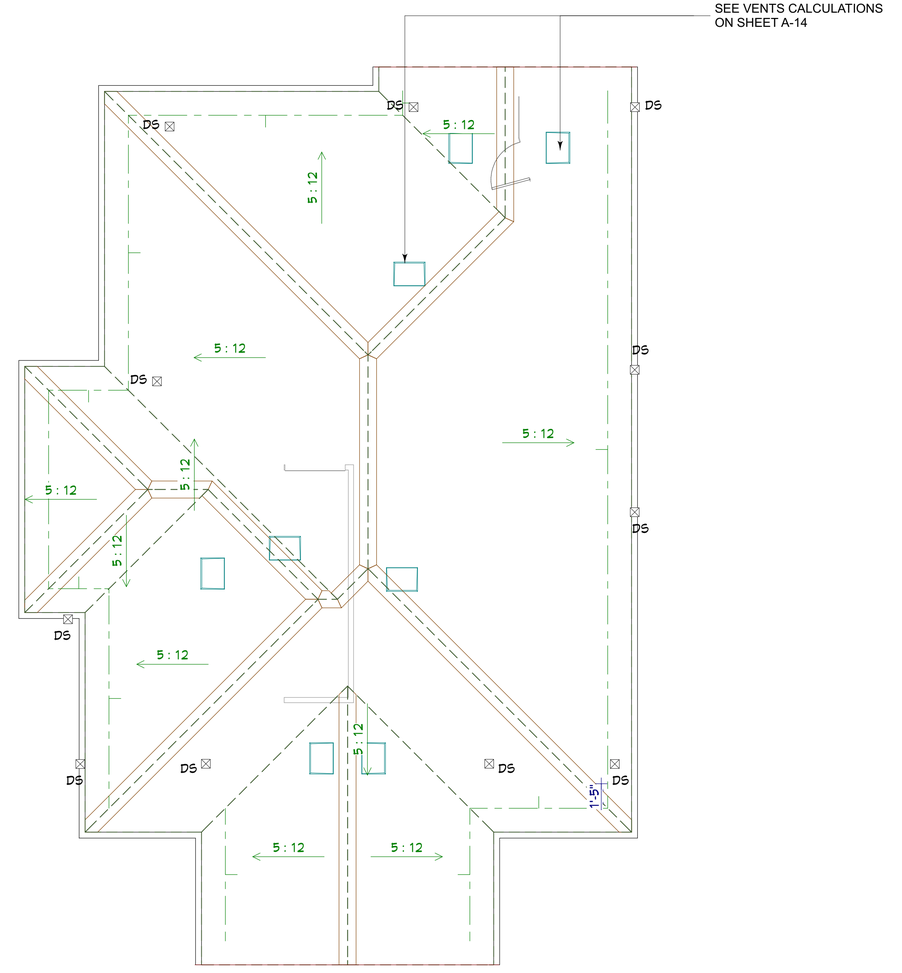
WALLS

ROOF LINE

(N) FIXED SKYLIGHT 2' x 2'
VELUX FIX TEMP
ITEM #317860
IAPMO-ES REPORT #199



PROPOSED ROOF PLAN - FIRST FLOOR
SCALE 1/4"=1'-0"



PROPOSED ROOF PLAN - SECOND FLOOR
SCALE 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

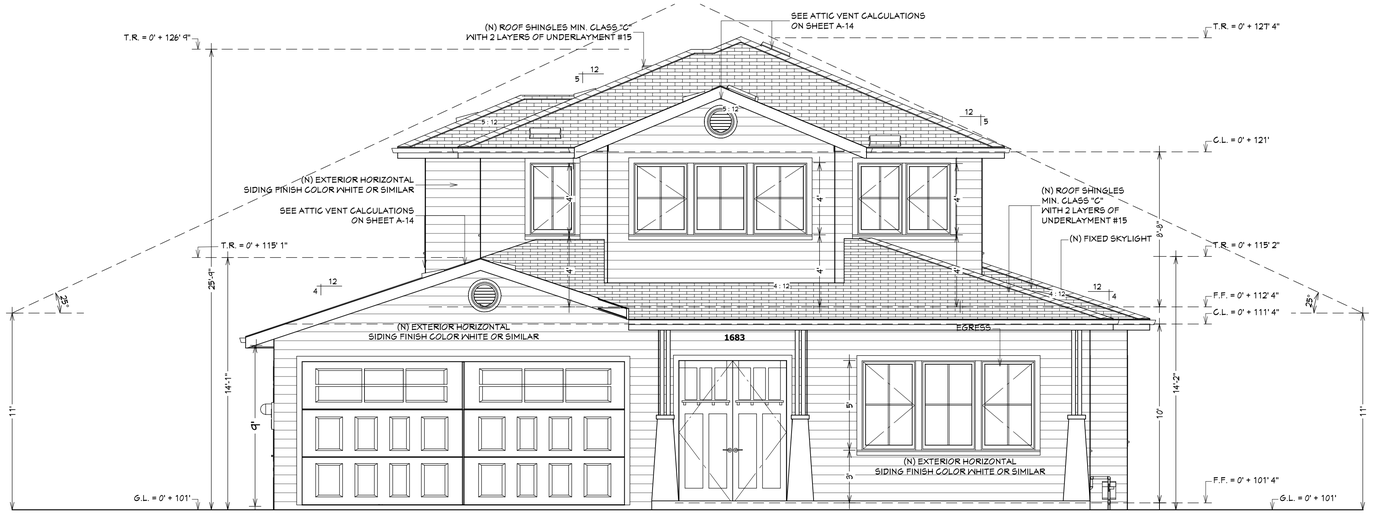
ARCHITECTURAL ROOF PLANS FIRST & SECOND FLOOR

DESIGNER STAMP:

DATE:
8/21/2019

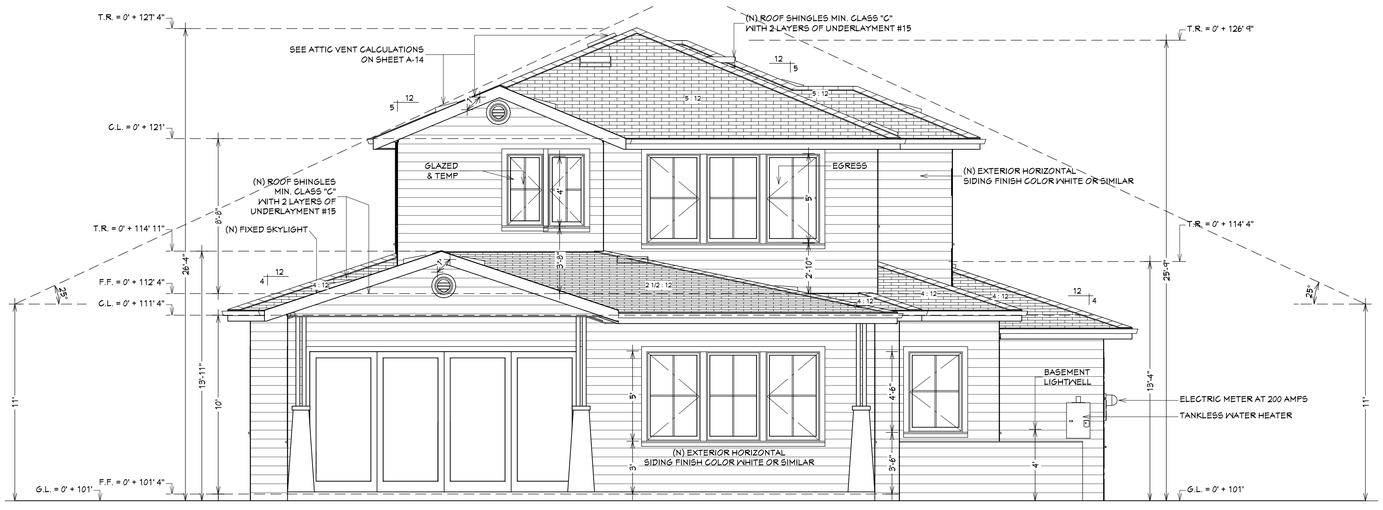
SHEET :

A-10



PROPOSED FRONT ELEVATION

SCALE 1/4"=1'-0"



PROPOSED REAR ELEVATION

SCALE 1/4"=1'-0"

ELEVATIONS NOTES:

1. STUCCO IS TO BE APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2.
2. PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1.
3. PROVIDE TWO LAYERS OF TYPE "D" UNDERLAYMENT AT STUCCO WALLS WHERE THE STUCCO IS APPLIED OVER WOOD SHEATHING PER CRC R703.6.3.
4. NO EAVE VENTS ARE ALLOWED WHERE SHEAR TRANSFER IS REQUIRED AT FRIEZE BLOCK.
5. PROVIDE GALVANIZED STEEL METAL FLASHING AND COUNTER FLASHING AT ALL ROOF TO WALL AND CHIMNEY INTERSECTIONS AS PER CBC 1503.2. ALSO PROVIDE STEPPED FLASHING WHERE THE SLOPED ROOF ABUTS THE WALL.
6. PROVIDE HIGH RIBBED METAL LATH AT ALL HORIZONTAL STUCCO SURFACES.

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Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

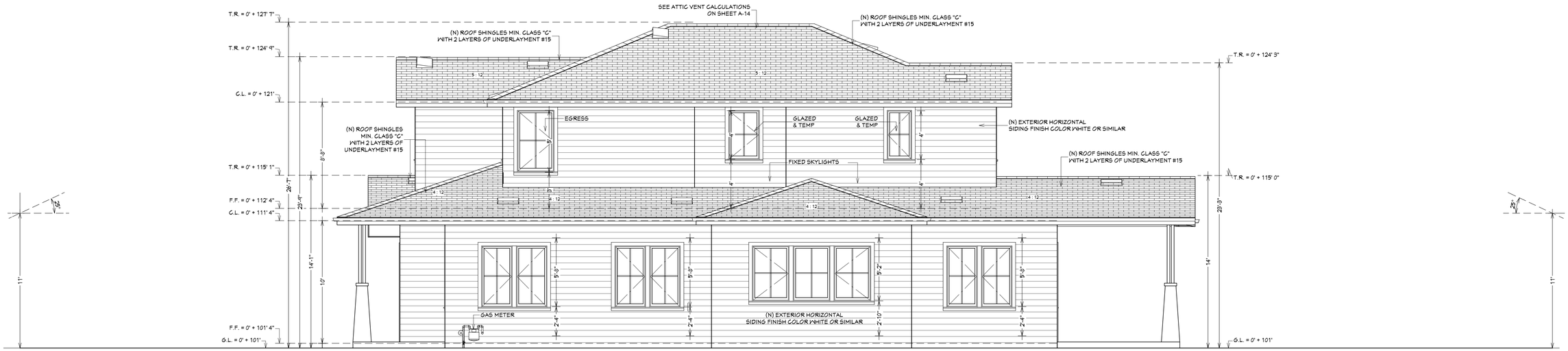
ARCHITECTURAL PROPOSED ELEVATIONS

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

A-11



PROPOSED RIGHT ELEVATION

SCALE 1/4"=1'-0"

PROPOSED LEFT ELEVATION

SCALE 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
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94024
APN: 318-19-006

SHEET TITLE :

ARCHITECTURAL PROPOSED ELEVATIONS

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

A-12

CROSS SECTION CS-1
SCALE 1/4"=1'-0"

CROSS SECTION CS-2
SCALE 1/4"=1'-0"

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
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SHEET TITLE :

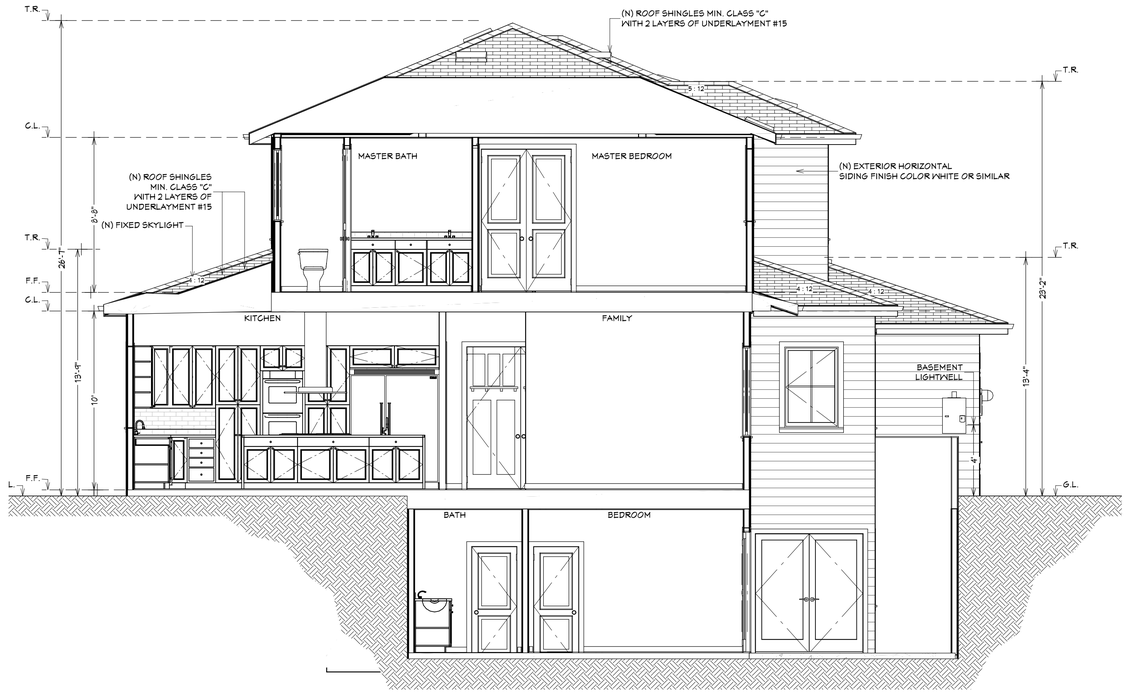
ARCHITECTURAL
PROPOSED
CROSS SECTIONS

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

A-13



CROSS SECTION CS-3

SCALE 1/4"=1'-0"

EXTERIOR RENDERING

N.T.S.

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

ARCHITECTURAL CROSS SECTION AND RENDER

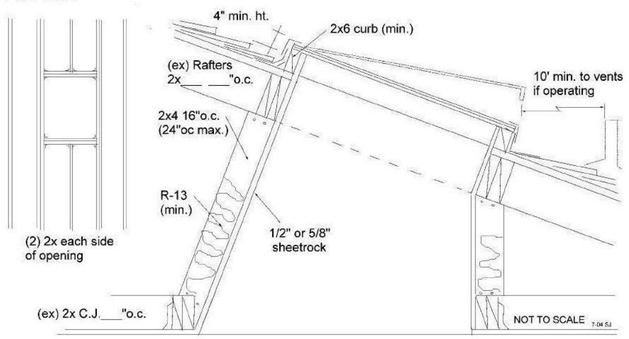
DESIGNER STAMP:

DATE:
8/21/2019

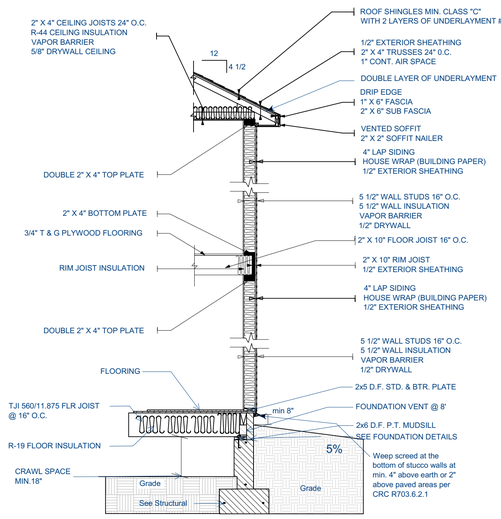
SHEET :

A-14

Plan View:



D.1 SKYLIGHT DETAIL



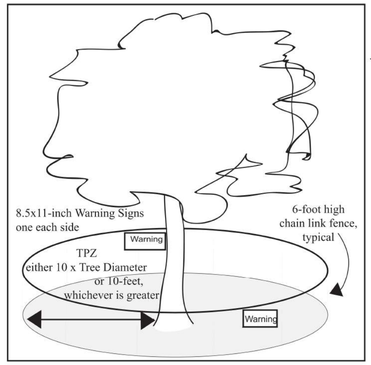
D.2 TYPICAL WALL DETAIL

ATTIC VENTILATION CALCULATIONS:

1st Floor Required:
(1st Floor Area - 2nd Floor Area) + Garage + Porch + Patio
(1634 - 1159) + 498 + 187 + 328 = 1488 Sq.Ft
1488 Sq.Ft * 1/150 = 9.92 Sq.Ft * 144 = **1428.48 Sq.In = Required**
(1) Round Gable 18" dia=(254 sq.in.)* (1) = 254 sq.ft.
(1) Round Gable 12" dia=(113 sq.in.)* (1) = 113 sq.ft.
(14) 20" x 4" Eye Brow Vent =80 Sq.In. for each * (14) = 1120 SqIn.
Total = 254 + 113 + 1120 = **1487 > 1428.48 Sq.In (Okay)**

2nd Floor Required:
1159 Sq.Ft * 1/150 = 7.73 Sq.Ft * 144 = **1113.12 Sq.In = Required**
(1) Round Gable 18" dia=(254 sq.in.)* (1) = 254 sq.ft.
(1) Round Gable 12" dia=(113 sq.in.)* (1) = 113 sq.ft.
(10) 20" x 4" Eye Brow Vent =80 Sq.In. for each * (10) = 800 Sq.In
Total = 254 + 113 + 800 = **1167 > 1113.12 Sq.In (Okay)**

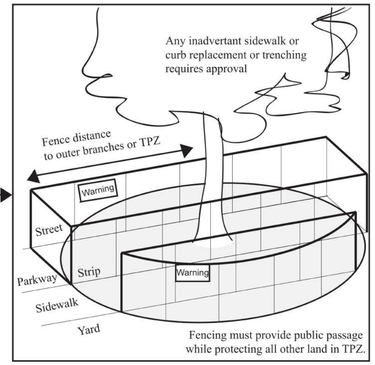
VENTILATION CALCULATIONS

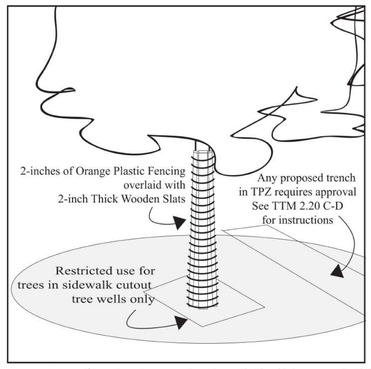


Type I Tree Protection ← For all Ordinance Protected and Designated trees, as detailed in the site specific tree preservation report (TPR) prepared by the applicant's project arborist as diagramed on the plans.

Note: Ordinance Protected & Designated Trees. Issuance of a permit requires applicant's project arborist written verification Type I is installed correctly according to the plans and Tree Preservation Report

Type II Tree Protection →





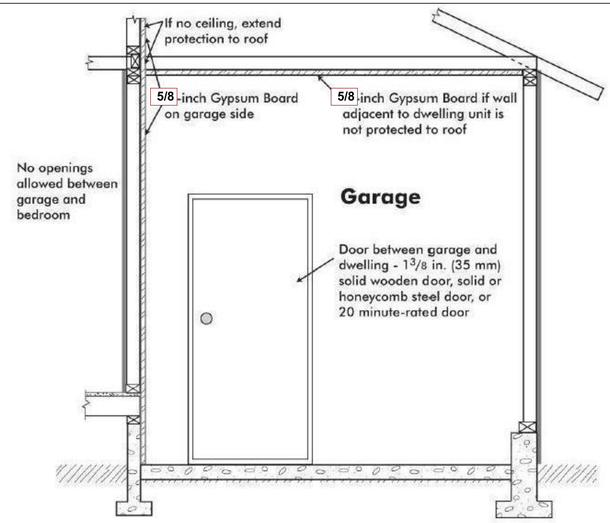
Note: Street Trees. Issuance of a permit requires Public Works Operations inspection and signed approval on the Street Tree Verification (STV) form provided.

Type III Tree Protection ←
(to be used only with approval of Public Works Operations)

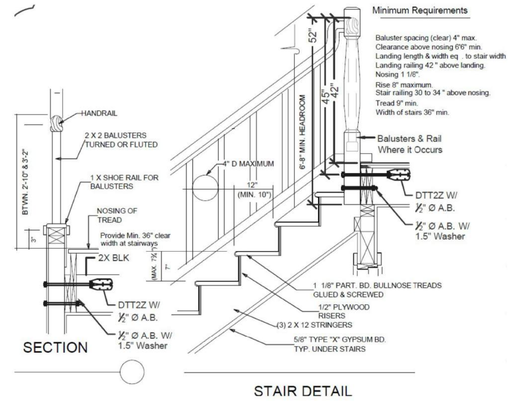
Tree fencing is required and shall be erected before demolition, grading or construction begins.

D.3 TREE REMOVAL/PROTECTION DETAIL

D.4 TYPICAL DRAIN DETAIL



D.5 GARAGE DOOR DETAIL



ANCHORAGE:
200-lbs * (52"/12") - (6"/12") (Rx) = 0
Rx = 1,734-lbs; DTT2Z = 1,800-lbs OK

D.6 STRUCTURAL BASE CONNECTION & GUARDRAIL DETAIL

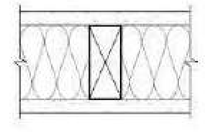
GA FILE NO. WP 3644 | **GENERIC** | **1 HOUR FIRE**

GYPSUM WALLBOARD, WOOD STUDS, MINERAL FIBER INSULATION

One layer 5/8" type X gypsum wallboard applied at right angles to each side of 2 x 4 wood studs 16" o.c. with 2¼" Type S or W drywall screws 12" o.c. 3½" mineral fiber insulation, nominal 2.5 pcf, friction fit in stud space.

Vertical joints staggered 16" o.c., horizontal joints staggered 24" o.c., on opposite sides.

Tested at 2,578 lbs per stud or 100 percent of design load. **(LOAD-BEARING)**



Thickness: 4¾"
Approx. Weight: 7.5 psf
Fire Test: ITS J20-06170.1, 4-00

D.7 ONE HOUR FIRE RATED WALL DETAIL

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

ARCHITECTURAL DETAILS

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

A-15

KITCHEN REMODEL REQUIREMENTS: (2016 CA CODE REQUIREMENTS):

1) KITCHEN DOORS LEADING FROM GARAGE SHALL BE 1-3/8" THICK SOLID WOOD OR HONEY COMB STEEL DOORS OR 20 MINUTE FIRE-RATED DOORS EQUIPPED WITH SELF CLOSING AND SELF LATCHING DEVICES. (CRC R302.5.1).
2) ALL PERMANENTLY INSTALLED LIGHTING SHALL BE HIGH EFFICACY. (TITLE 24 - BUILDING ENERGY EFFICENCY STANDARDS 150.0 (K)).
3) MINIMUM 30 INCHES CLEARANCE REQUIRED ABOVE KITCHEN RANGE, EXCEPT WHERE 24 INCHES IS ALLOWED PER CODE OR MANUFACTURER'S SPECIFICATION. (CMC 916.1.2)
4) DOMESTIC DISHWASHING MACHINE SHALL NOT BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE MACHINE. (CPC 807.4)
5) HOUSEHOLD COOKING APPLIANCES SHALL HAVE VERTICAL CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN THIRTY (30) INCHES TO COMBUSTIBLE MATERIAL OR METAL CABINETS.
6) EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER PER CMC SECTION 504.1.
7) ALL RECEPTACLES SHALL BE GFCI PROTECTED AND TAMPER RESISTANT (TR).
8) RECEPTACLES SHALL BE LOCATED SO THAT NO POINT IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET MEASURED HORIZONTALLY ALONG THE WALL.
9) RECEPTACLES SHALL BE LOCATED NO MORE THAN 20 INCHES ABOVE COUNTERTOP.
10) ON THE DISCHARGE SIDE OF THE DISHWASHER PROVIDE A LISTED AIR GAP FITTING. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAIN BOARD WHICHEVER IS HIGHER PER SECTION 807.4.

FLOOR PLAN NOTES:

BATHROOMS & KITCHEN:

a. 22" MIN SHOWER DOOR CLEARANCE
b. TEMPER GLAZING FOR THE SHOWER DOOR AND SLIDING WINDOWS. CEMENT BOARD SUBSTRATE FOR SHOWER WALLS.
c. LAVATORY FACETS TO HAVE A FLOW RATE OF 1.2 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)
d. WATER CLOSETS TO HAVE A FLOW THAT NOT EXCEEDS 1.28 GPF. TANK- TYPE WATER CLOSET SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. (CALGREEN 4.303.1)
e. THE EFFECTIVE FLUSH VOLUME OF URINALS SHALL NOT EXCEED 0.5 GPF
f. CEMENT BOARD SUBSTRATE (IE. DUROCK OR WONDERBOARD.ETC) FOR TILE APPLICATION SURROUNDING THE BATH TUB WALLS.
g. KITCHEN FAUCETS TO HAVE A FLOW RATE OF 1.8 GPM OR LESS AT 60 PSI. (CALGREEN 4.303.1)
h. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE TO HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR PER CRC R307.2.
i. SINGLE SHOWERHEAD: SHOWERHEADS SHALL HAVE A MAX. FLOW RATE OF NOT MORE THAN 2.0 GPM AT 80 PSI. SHOWER HEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATER SENSE SPECIFICATION FOR SHOWERHEADS.
j. MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME. (CALGREEN 4.303.1.3.2)
k. RESIDENTIAL LAVATORY FAUCETS. THE MAX FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GPM AT 60 PSI. THE MIN. FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI. (CALGREEN 4.303.1.5)
l. LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS. THE MAX FLOW RATE OF LAVATORY FAUCETS INSTALLED IN COMMON AND PUBLIC USE AREAS (OUTSIDE OF DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BULDINGS SHALL NOT EXCEED 0.5 GPM AT 60 PSI.
m. METERING FAUCETS. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS SHALL NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE.
n. IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.

- ALL HOSE BIBBS INSTALLED SHALL BE PROTECTED BY AN APPROVED NON-REMOVABLE TYPE BACK FLOW PREVENTION DEVICE.
- BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS, ETC., SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS W/AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA W/MIN. OF 1-1/2 SQ.FT. OR 5 AIR CHANGES PER HOUR.
- WALL SURFACE BEHIND CERAMIC TILE OR OTHER FIN. WALL MATERIALS SUBJECT TO WATER SPLASH SHALL BE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. (APPROVED WR GYP. BD. INSTALLED ACC. TO C.B.C 4712.)
- PRIOR TO BUILDING FINAL INSPECTION AN 'APPLIANCE CERTIFICATE', SIGNED BY THE INSTALLER OR GEN. CONTRACTOR, SHALL BE POSTED IN A CONSPICUOUS LOCATION.

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL CITY, COUNTY AND STATE STANDARDS, AND SECTIONS OF CBC, CRC, CALIFORNIA ENERGY CODE, CPC, CEC, IN THE EVENT OF CONFLICT, THE HIGHER STANDARDS AND SPECIFICATIONS SHALL PREVAIL.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR LOCATION OF EXISTING UTILITIES SHOWN OR NOT SHOWN ON PLANS.
3. ELEVATIONS AND DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND MAY VARIES. IT SHALL BE THE CONTRACTOR RESPONSIBILITIES TO VERIFY SUCH ELEVATIONS AND DISTANCES IN THE FIELD FOR ANY DISCREPANCIES.
4. PRIOR TO COMMENCING WORK, ALL NECESSARY BUILDING, PLUMING, ELECTRICAL PERMITS SHALL BE OBTAINED FROM THE APPROVED AGENCY BY THE OWNER/CONTRACTOR AT HIS COST.
5. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS, PG&E, PACIFIC BELL AND OTHER PARTICIPANT ENTITIES.
6. FIELD VERIFY ALL WORK AND DIMENSIONS PRIOR TO CONSTRUCTION.
7. USE 2X4 STUDS @ 16" O.C. DF#2. AND AN EXTRA STUD UNDER TRUSS.
8. FINGER JOINTED STUDS IN STRUCTURAL WALLS (BEARING OR SHEAR) SHALL BE APPROVED AND ARE NOT ALLOWED AT HOLDOWN LOCATIONS.
9. ALL SLIDING GLASS DOORS, SHOWER DOORS AND TUB ENCLOSURES SHALL BE TEMPERED GLASS AND LABELED SAFETY GLAZING. ALL WINDOWS SHALL MEET THE MINIMUM STANDARD AS ESTABLISHED BY THE CRC.
10. PROVIDE AN EXHAUST FAN CAPABLE OF PROVIDING 75 CFM TO REST ROOMS.
11. FLASH ALL EXTERIOR OPENINGS W/G.I. OR ALUMINUM ON KRAFT PAPER OR 15# FELT, SO AS TO BE TOTALLY WATER PROOF AS PER CBC 1402.
12. PROVIDE SMOKE ALARMS AT ALL BEDROOMS & HALLWAYS AS REQUIRED (MIN. 3' FROM AC RETURN/ VENTS).
13. NAILING SHALL MEET REQUIREMENTS OF CBC TABLE 2304.9.1. CRC R602.3(1)

MATERIAL CONSERVATION AND RESOURCE:

4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

4.408.1 CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:

1. COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE; OR
2. A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2; OR
3. A WASTE MANAGEMENT COMPANY, PER SECTION 4.408.3;
4. THE WASTE STREAM REDUCTION ALTERNATIVE, PER SECTION 4.408.4

4.410.1 OPERATION AND MAINTENANCE MANUAL. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.

ENVIRONMENTAL QUALITY:

4.503.1 FIREPLACE. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS WHERE APPLICABLE.
WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.

4.504.2.1 ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.

4.504.2.2 PAINTS AND COATINGS. PAINTS, STAINS. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.

4.504.2.3 AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.

4.504.2.4 VERIFICATION. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.

4.504.3 CARPET SYSTEMS. ALL CARPET SHALL MEET THE TESTING AND PROJECT REQUIREMENTS PER SEC 4.504.3 ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. AT LEAST 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE REQUIREMENTS PER SEC. 4.504.4.

4.504.5 COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD (MDF) USED ON INTERIOR OR EXTERIOR OF THE BUILDING SHALL COMPLY WITH FORMALDEHYDE EMISSION LIMITS PER TABLE 4.504.5.

4.505.2 CONCRETE SLAB FOUNDATIONS. VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS.

4.503.3 MOISTURE CONTENT OF BUILDING MATERIALS. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING SHALL NOT TO EXCEED 19% BEFORE ENCLOSURE. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE.

4.506 INDOOR AIR QUALITY AND EXHAUST. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR DUCTED TO OUTSIDE. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM EXHAUST FANS MUST BE CONTROLLED BY A HUMIDISTAT BETWEEN A RELATIVE HUMIDITY RANGE OF 50% - 80%.

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. DUCT SYSTEMS ARE SIZED, DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:

1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2011 OR EQUIVALENT.
2. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D-2014 OR EQUIVALENT.
3. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT.

INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS:

702.1 INSTALLER TRAINING. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

702.2 SPECIAL INSPECTION. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.

703.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

RESIDENTIAL LANDINGS & THRESHOLDS SECTIONS R311.3 & R311.7.6

R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS.
THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NO BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCESS 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT)

R311.3.1 FLOOR ELEVATIONS AT REQUIRED EGRESS DOORS.
LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1 1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 3/4" INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

WINDOW REPLACEMENT REQUIREMENTS:

1) FENESTRATION (WINDOWS) SHALL BE LOW E AND DUAL PANE; AND A MAXIMUM U-FACTOR OF 0.32 AND A MAX. SHGC OF 0.35. (2016 TITLE 24 ENERGY STANDARDS)
2) EMERGENCY EGRESS WINDOWS (BEDROOM ESCAPE WINDOW) SHALL HAVE A MINIMUM OF 5.0 SQUARE FEET OF CLEAR OPENING ON GRADE LEVEL FLOOR AND 57 SQUARE FEET ON SUBSEQUENT FLOORS; AND A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES AND HEIGHT OF 24 INCHES. (CRC 310)
3) GLAZING SHALL BE TEMPERED IF: (CRC R308) LOCATED IN THE WILD-LAND URBAN INTERFACE AREA, LOCATED LESS THAN 60 INCHES MEASURED VERTICALLY, ABOVE WALKING SURFACE OF SHOWER/TUB/ STEAM ROOF, ETC., LOCATED IN HAZARDOUS LOCATIONS AS INDICATED PER CRC R308.4.
4) PROVIDE A FALL PREVENTION DEVICE IF THE OPENING IS LOCATED MORE THAN 72 INCHES ABOVE THE FINISHED GRADE AND THE LOWEST PART OF CLEAR OPENING IS LESS THAN 24 INCHES ABOVE FINISHED FLOOR. (CRC R312.2)

NO.	DESCRIPTION	BY	DATE
1	BUILDING COMMENTS	JF	03.11.2019
2	Daylight plane updated design	JF	06.30.2019

PROJECT:

1683 Parkhills Ave.
Los Altos
California,
94024
APN: 318-19-006

SHEET TITLE :

ARCHITECTURAL FLOOR PLAN NOTES

DESIGNER STAMP:

DATE:
8/21/2019

SHEET :

A-16