

ADAM & TABITHA WEISSMAN

SINGLE FAMILY RESIDENTIAL ADDITION

PROJECT DATA

- ZONING : R-1

- A.P.N. # 175-14-017

- BUILDING OCCUPANCY : R-3/U

- TYPE OF CONST : TYPE V-B

- NET LOT AREA : 0.7429

- EXISTING 5 BEDROOMS, 4 BATHROOM, & POWDER ROOM

- PROPOSED: Bedroom remodel in first floor lvl. New office room in second floor lvl.

SCOPE OF WORK

Remodel 352 sft of existing bedroom on the first floor lvl.

Adding 102 sft of living are on the second floor level.

APPLICABLE CODES

- 2016 CALIFORNIA RESIDENTIAL CODE

- 2016 CALIFORNIA BUILDING CODE

- 2016 CALIFORNIA MECHANICAL CODE

- 2016 CALIFORNIA PLUMBING CODE

- 2016 CALIFORNIA ELECTRICAL CODE

- 2016 CALIFORNIA GREEN BUILDING CODE

- 2016 CALIFORNIA ENERGY CODE

LOT AREA= 33,045

FIRST FLOOR = 2887 SF

SECOND FLOOR = 1930.5 SF

GARAGE = 440 SF

SECOND FLOOR ADDITION = 179 SF

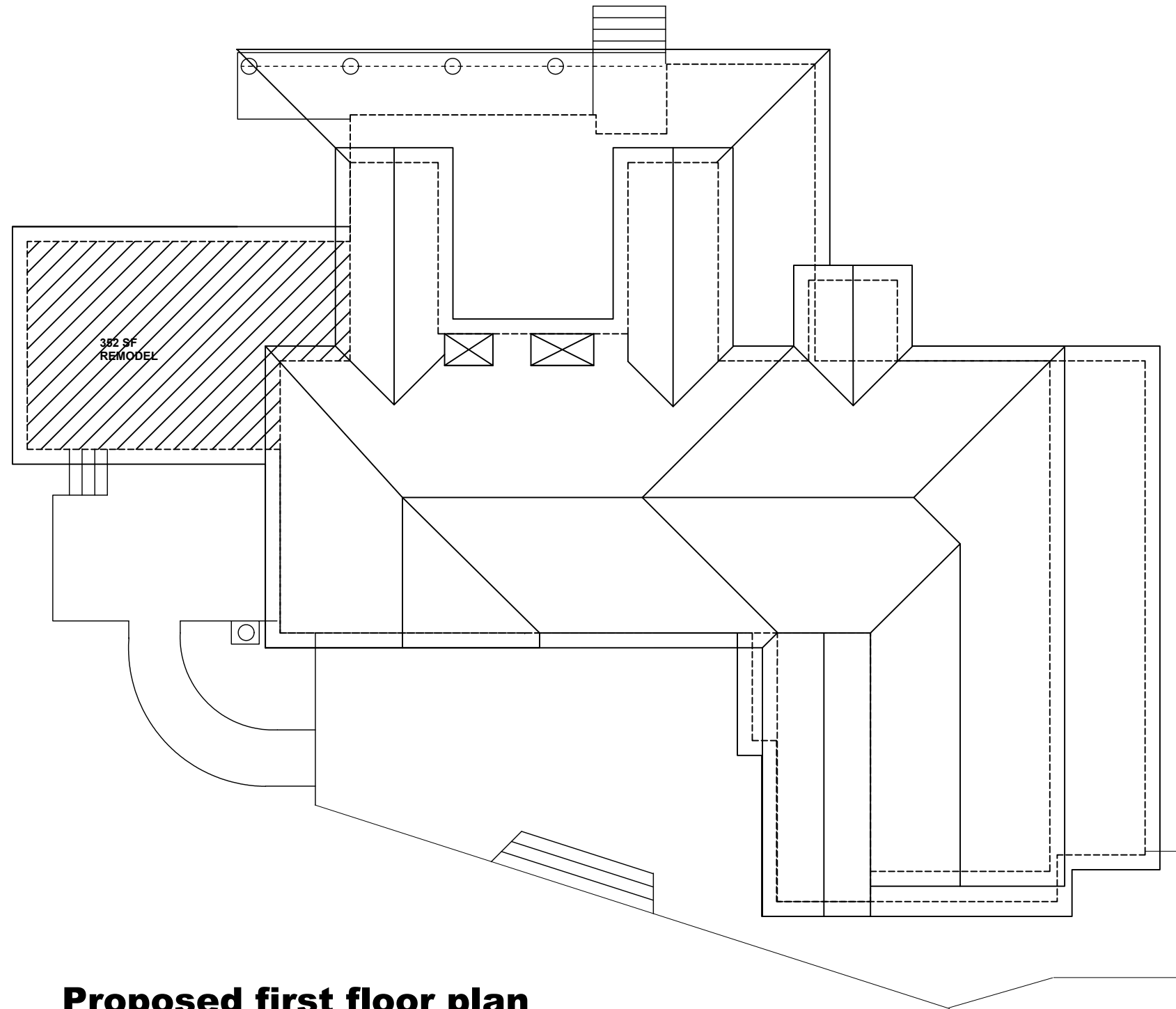
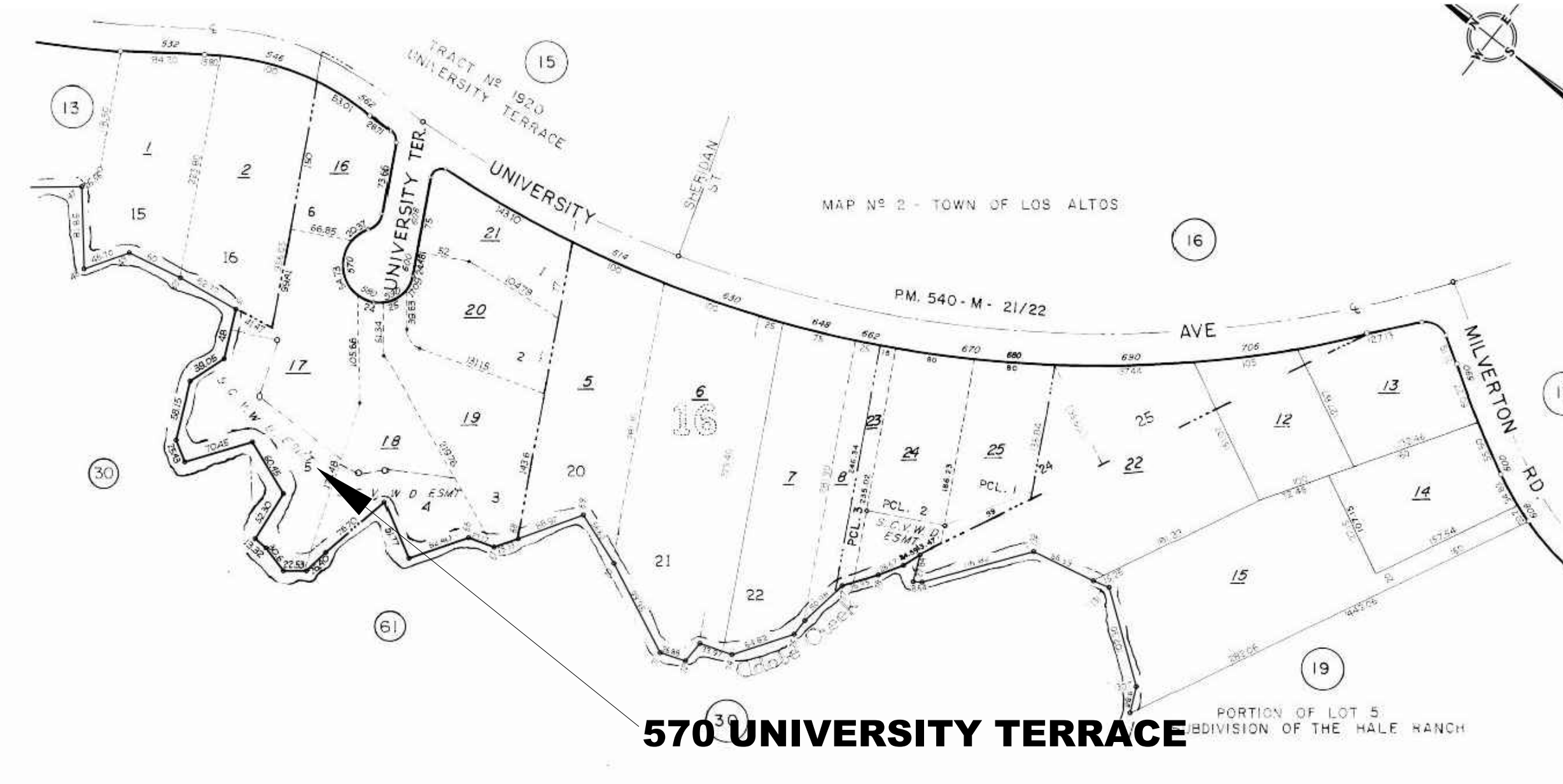
VICINITY MAP

A.P.N. # 175-14-017

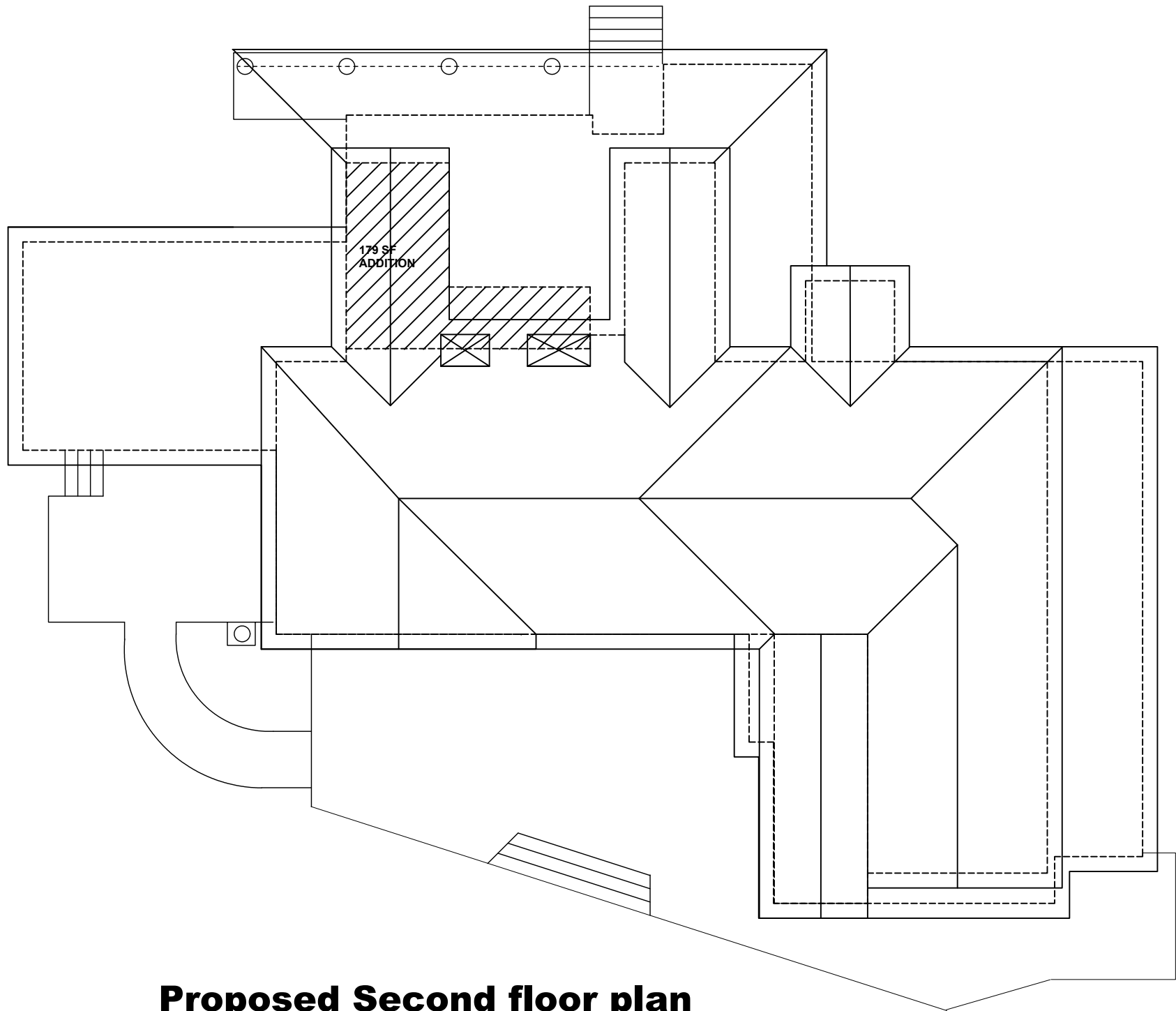


PARCEL MAP

A.P.N. # 175-14-017



Proposed first floor plan



Proposed Second floor plan

DATA SHEET					
LOCATION: 570 UNIVERSITY TERRACE					
EXISTING USE: SINGLE FAMILY RESIDENTIAL			APPLICANT: KANLER INC.		
PROPOSED USE: SINGLE FAMILY RES. - ADDITION			PROPERTY OWNER: ADAM & TABITHA WEISSMAN		
ZONING: R-1			APPLICATION(S): BUILDING PERMIT		
DEVELOPMENT STANDARD	PROPOSED DEVELOPMENT		EXISTING DEVELOPMENT	ZONING ORDINANCE	
LOT AREA	33,045.00	SF	33,045.00	SF	32,361.00 SF
LOT COVERAGE	3,335.00	SF	3,335.00	SF	
FLOOR AREA	4,817.5	SF	4,802.00	SF	
REAR SETBACK	49'-0"	FT.	49'-0"	FT.	
LEFT SETBACK	10'-0"	FT.	10'-0"	FT.	
RIGHT SETBACK	47'-0"	FT.	47'-0"	FT.	
LOT COVERAGE	3,335.00		3,335.00		
FIRST FLOOR	2,887.00	SF	2,887.00	SF	
SECOND FLOOR	1,930.5	SF	1751.5	SF	
ADDITION	179.00	SF			
GARAGE	440.00		440.00	SF	
TOTAL FLOOR AREA	4,904.00	SF	4,802.00	SF	

INDEX	
TITLE SHEET & ROOF PLAN	SHEET A0
SITE PLAN	SHEET A0.1
EXISTING FIRST FLOOR PLAN	SHEET A1
EXISTING SECOND FLOOR PLAN	SHEET A2
PROPOSED FIRST FLOOR PLAN	SHEET A3
PROPOSED FIRST FLOOR	SHEET A4
PROPOSED FIRST FLOOR	SHEET A5
ELECTRICAL LAYOUT	SHEET A6
SECTIONAL ELEVATION	SHEET A7
ELEVATIONS	SHEET A8
ELEVATION	SHEET A9
ROOF PLAN	SHEET A10
FIRST FLOOR AREA CALCULATION	SHEET A11
SECOND FLOOR AREA CALCULATION	SHEET A12

NOTE: THE STRUCTURE IS WITHIN AN AREA DESIGNATED AE ACCORDING TO THE FLOOD INSURANCE RATE MAP (EFFECTIVE MAY 18, 2009). THE PROPOSED ADDITION AND IMPROVEMENTS SHALL COMPLY WITH MUNICIPAL CODE CHAPTER 12.60 FLOOD HAZARD AREA REGULATIONS. ALL NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS SHALL BE CONSTRUCTED WITH ELECTRICAL, HEATING, VENTILATION, PLUMBING, AND AIR-CONDITIONING EQUIPMENT AND OTHER SERVICE FACILITIES WHICH ARE DESIGNED AND/OR LOCATED SO AS TO PREVENT WATER FROM ENTERING OR ACCUMULATING WITHIN THE COMPONENTS DURING CONDITIONS OF FLOODING. THIS REQUIREMENT APPLIES TO ALL INSTALLATIONS AT OR BELOW THE BASE FLOOD ELEVATION BFE OF 212.1 FT (NAVD 88).

REVISIONS

WEISSMAN RESIDENCE

NO. 570

STREET UNIVERSITY TERRACE

CITY LOS ALTOS, CA

ZIPCODE 94022

KANLER, INC

RUCHA SHAH

995 Marsh Rd, Suite 102,

Redwood City, CA 94063

email: rucha@kanler.com



DATE	DRAWN BY
02/02/2019	RS
SCALE	PROJECT NO.
	000

SHEET NO.

A0



PROPOSED
SITE PLAN
1"=20'-0"
APN 175-14-017

REVISIONS	

WEISSMAN RESIDENCE
NO. 570
STREET UNIVERSITY TERRACE
CITY LOS ALTOS, CA
ZIP CODE 94022

KANLER, INC
RUCHA SHAH
995 Marsh Rd, Suite 102,
Redwood City, CA 94063
email: rucha@kanler.com



DATE 02/02/2019	DRAWN BY RS
SCALE 1"=20'	PROJECT NO. 000

SHEET NO.
A0.1

RESERVED FOR COMMON USE COPYRIGHT NOTICES IN THESE PLANS, THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF KANLER, INC.

REVISIONS	

Proposed First Floor Plan

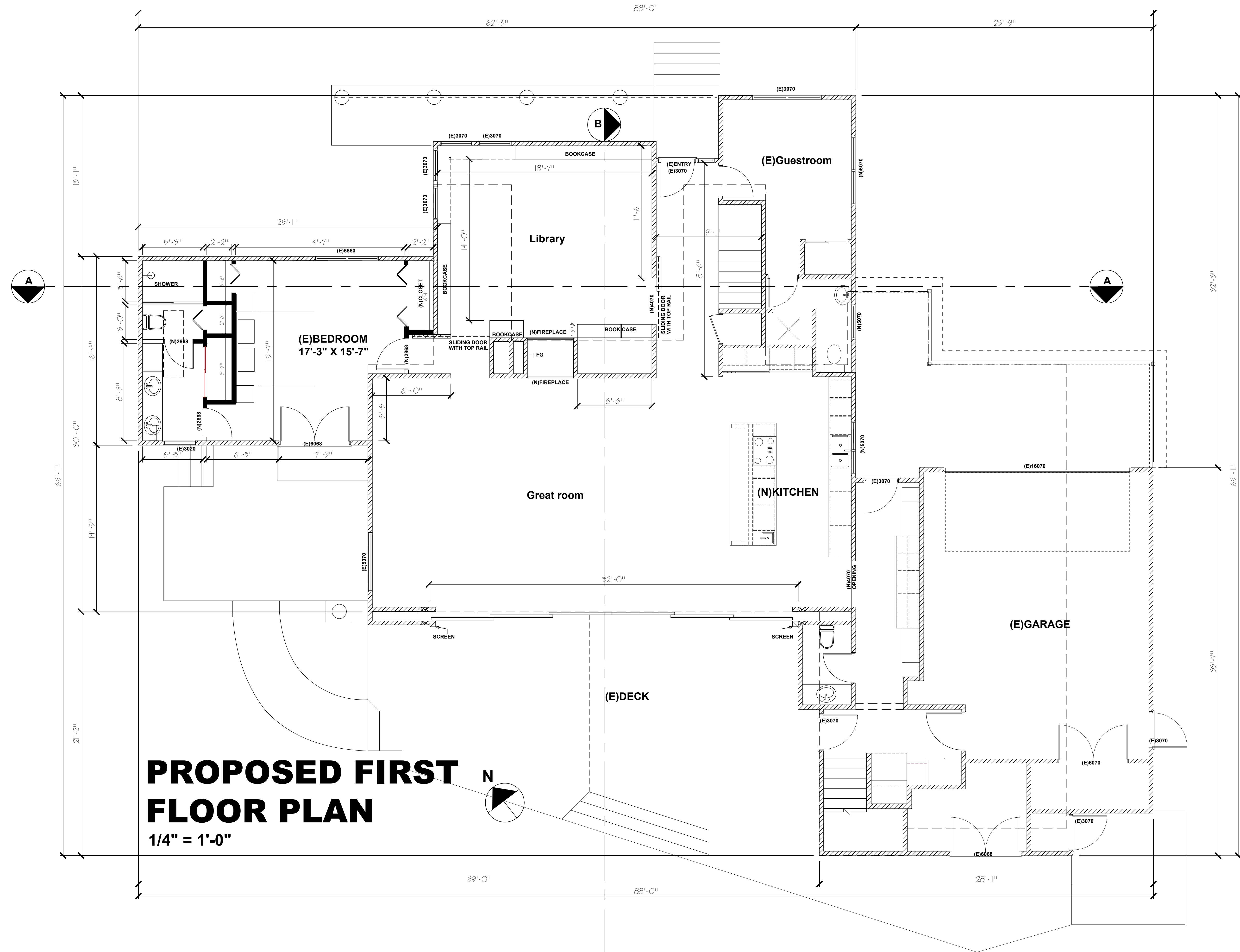
WEISSMAN RESIDENCE
NO. 570
STREET UNIVERSITY TERRACE
CITY LOS ALTOS, CA
ZIPCODE 94022

KANLER, INC
RUCHA SHAH
995 Marsh Rd, Suite 102,
Redwood City, CA 94063
email: rucha@kanler.com



DATE 02/02/2019	DRAWN BY RS
SCALE 1/4"=1'	PROJECT NO. 000

SHEET NO.
A3



PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

Proposed Second Floor Plan

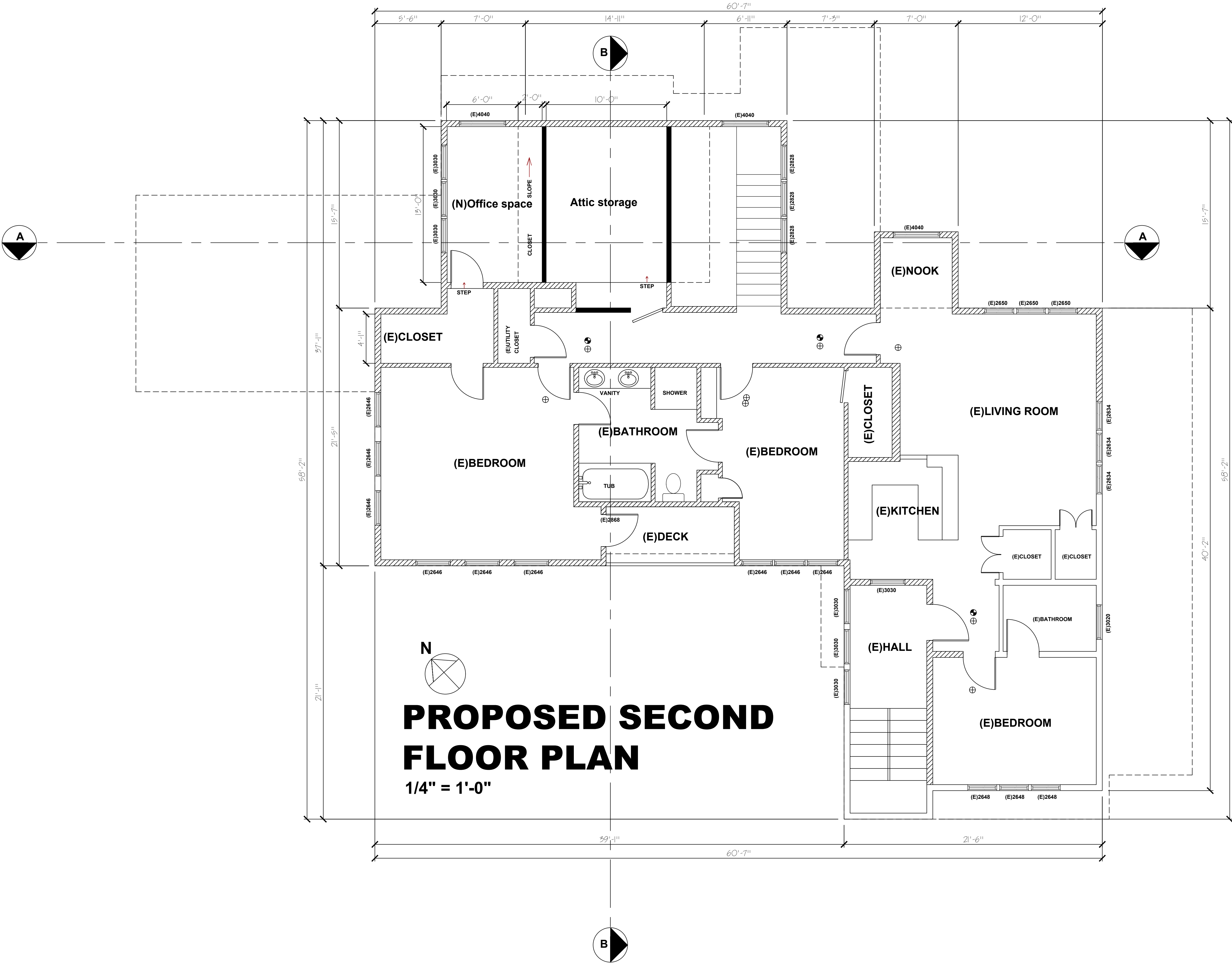
WEISSMAN RESIDENCE
NO. 570
STREET UNIVERSITY TERRACE
CITY LOS ALTOS, CA
ZIPCODE 94022

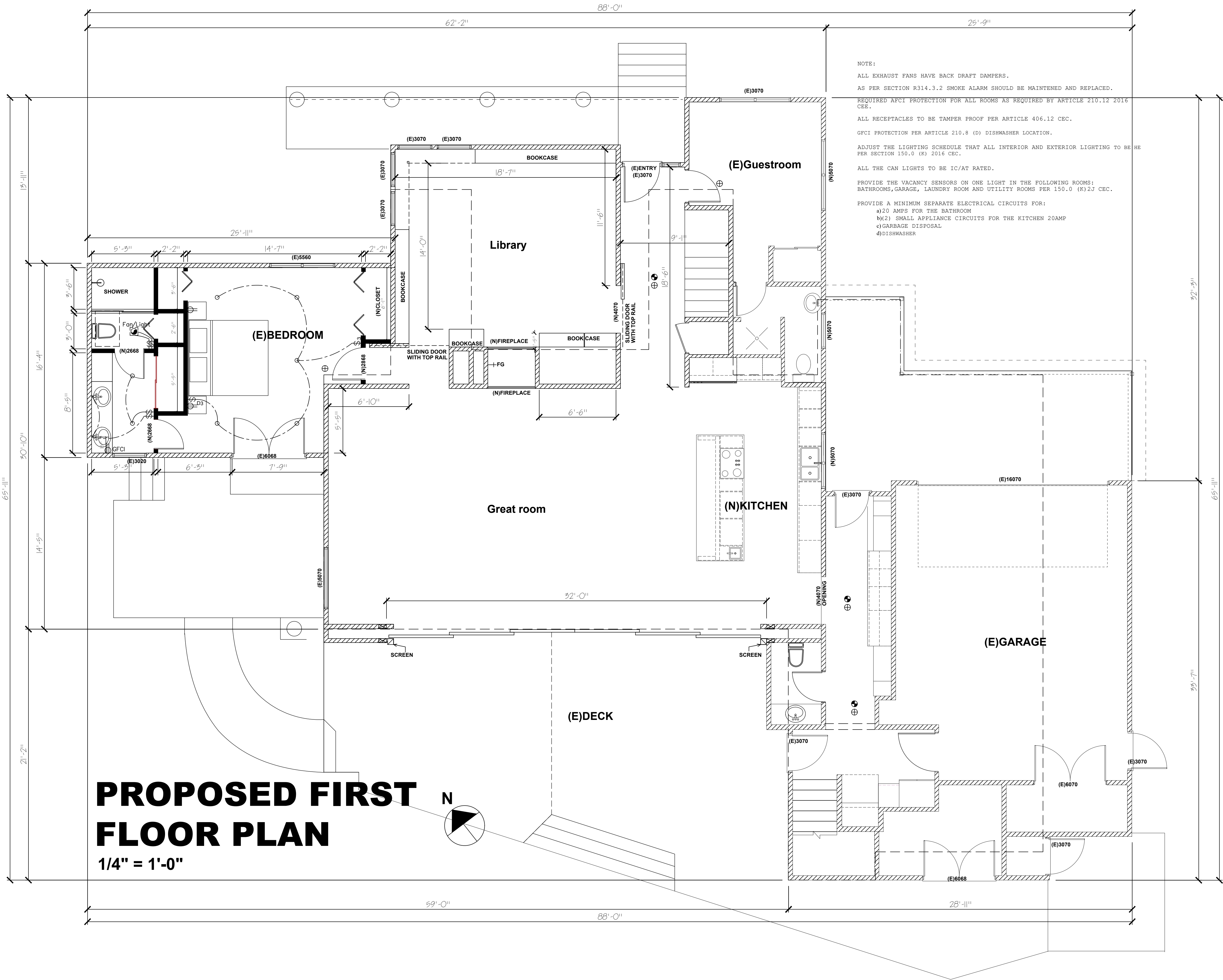
KANLER, INC
RUCHA SHAH
995 Marsh Rd, Suite 102,
Redwood City, CA 94063
email: rucha@kanler.com



DATE 02/02/2019	DRAWN BY RS
SCALE 1/4"=1'	PROJECT NO. 000

SHEET NO.
A4





REVISIONS		

Proposed Electrical layout

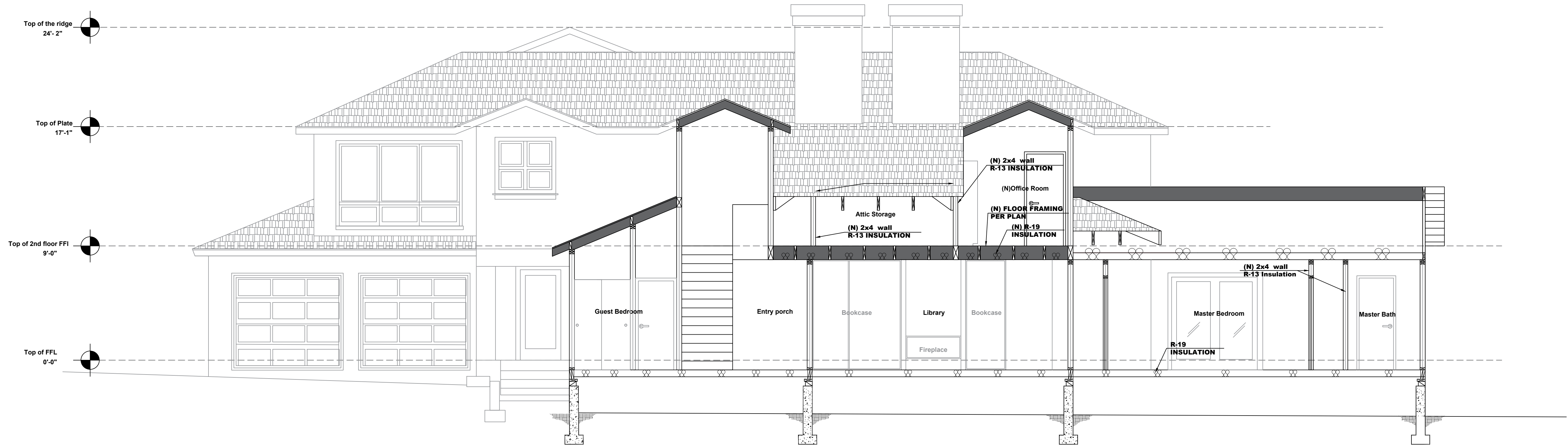
WEISSMAN RESIDENCE
NO. 570
STREET UNIVERSITY TERRACE
CITY LOS ALTOS, CA
ZIPCODE 94022

KANLER, INC
RUCHA SHAH
995 Marsh Rd, Suite 102,
Redwood City, CA 94063
email: rucha@kanler.com

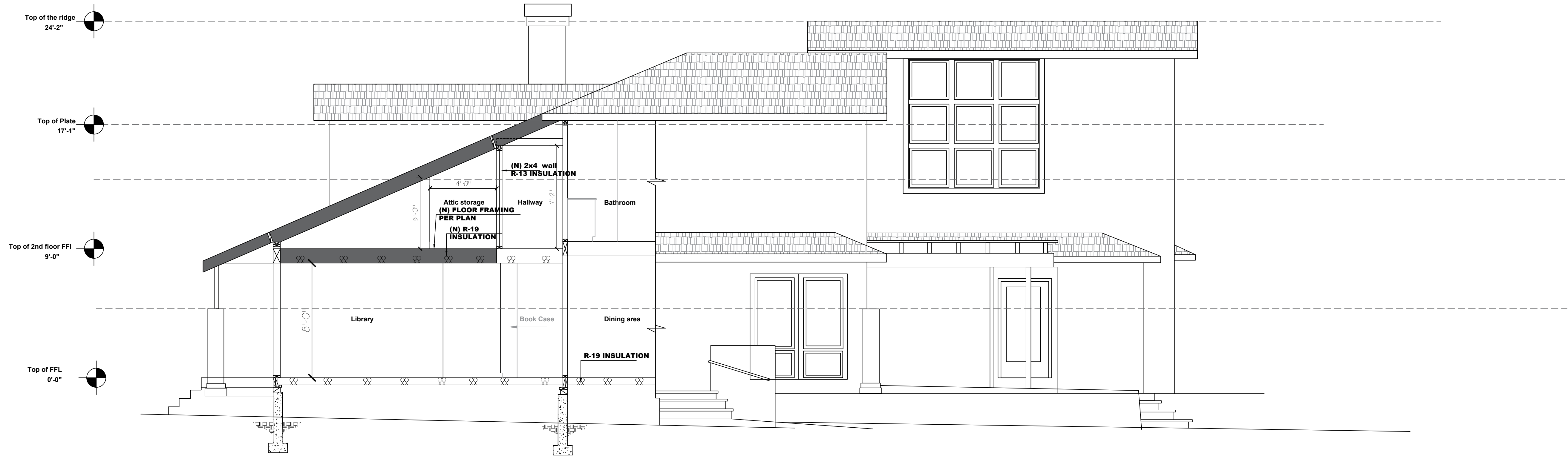


DATE 02/02/2019	DRAWN BY RS
SCALE 1/4"=1'	PROJECT NO. 000

SHEET NO.
A5



PROPOSED SECTION AA
1/4" = 1'-0"



PROPOSED SECTION BB
1/4" = 1'-0"

REVISIONS	

Proposed Sectional Elevation

WEISSMAN RESIDENCE
NO. 570
STREET UNIVERSITY TERRACE
CITY LOS ALTOS, CA
ZIPCODE 94022

KANLER, INC
RUCHA SHAH
995 Marsh Rd, Suite 102,
Redwood City, CA 94063
email: rucha@kanler.com



DATE 02/02/2019	DRAWN BY RS
SCALE 1/4"=1'	PROJECT NO. 000

SHEET NO.
A7

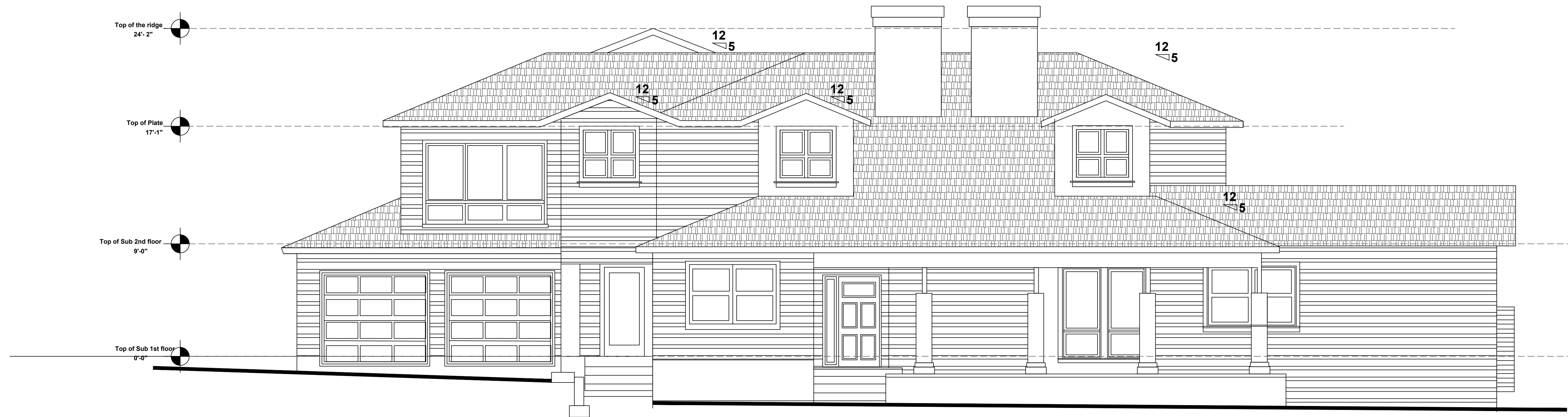
REVISIONS	

EXISTING / PROPOSED ELEVATIONS

WEISSMAN RESIDENCE
NO. 570 UNIVERSITY TERRACE
STREET CITY LOS ALTOS, CA
ZIPCODE 94022

KANLER, INC
RUCHA SHAH
995 Marsh Rd, Suite 102,
Redwood City, CA 94063
email: rucha@kanler.com

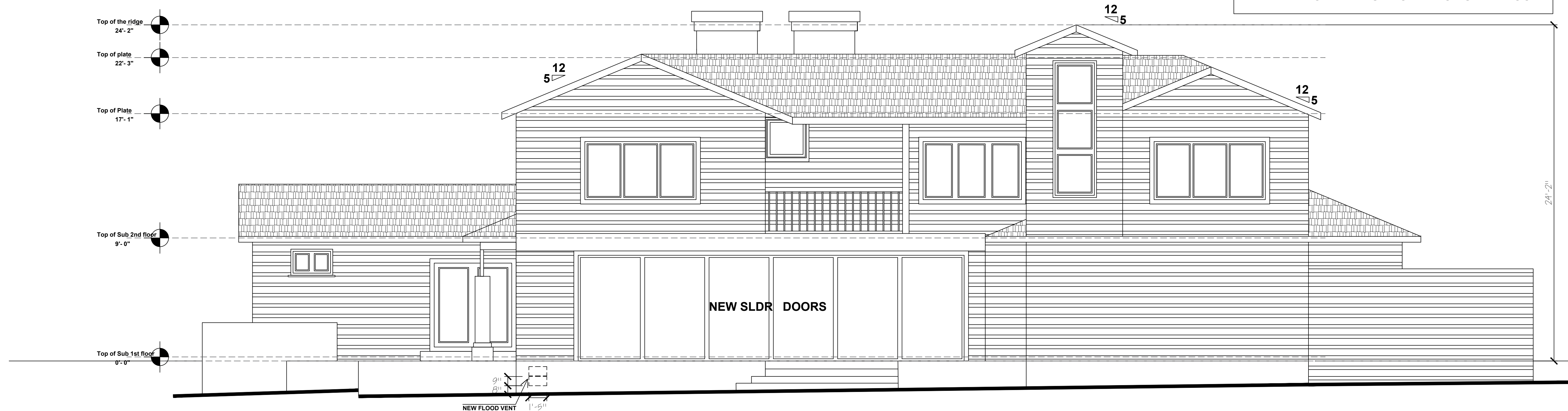
DATE	DRAWN BY
02/02/2019	RS
SCALE	PROJECT NO.
1/4"=1'	000
SHEET NO.	
A8	



EXISTING/PROPOSED EAST ELEVATION

1/4" = 1'-0"

NOTE: MATCH THE NEW SLIDING DOORS TO ALL EXISTING WINDOWS AND DOOR.

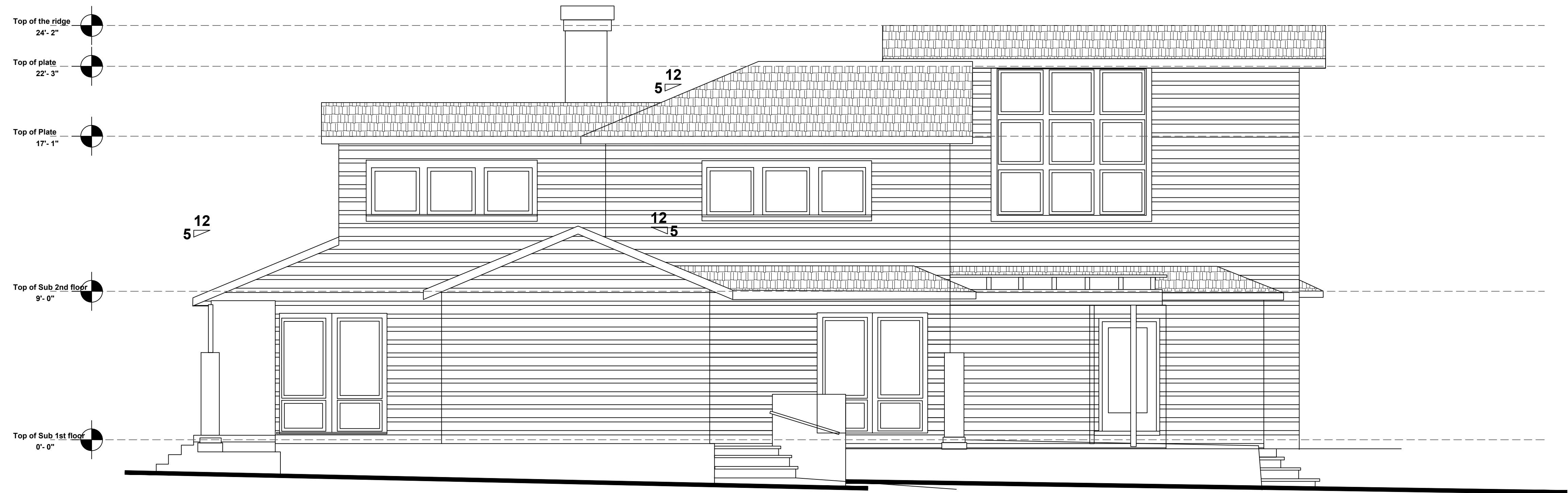


EXISTING/PROPOSED WEST ELEVATION

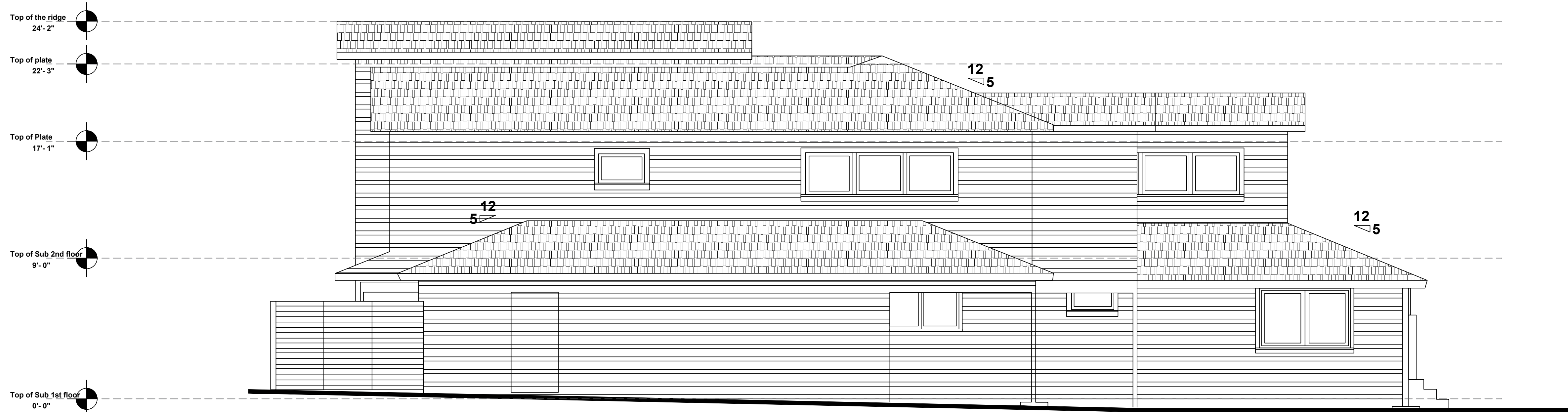
1/4" = 1'-0"

REVISIONS		

EXISTING / PROPOSED ELEVATIONS



EXISTING/PROPOSED NORTH ELEVATION
1/4" = 1'-0"



EXISTING/PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

WEISSMAN RESIDENCE
NO. 570
STREET UNIVERSITY TERRACE
CITY LOS ALTOS, CA
ZIPCODE 94022

KANLER, INC
RUCHA SHAH
995 Marsh Rd, Suite 102,
Redwood City, CA 94063
email: rucha@kanler.com



DATE 02/02/2019	DRAWN BY RS
SCALE 1/4"=1'	PROJECT NO. 000

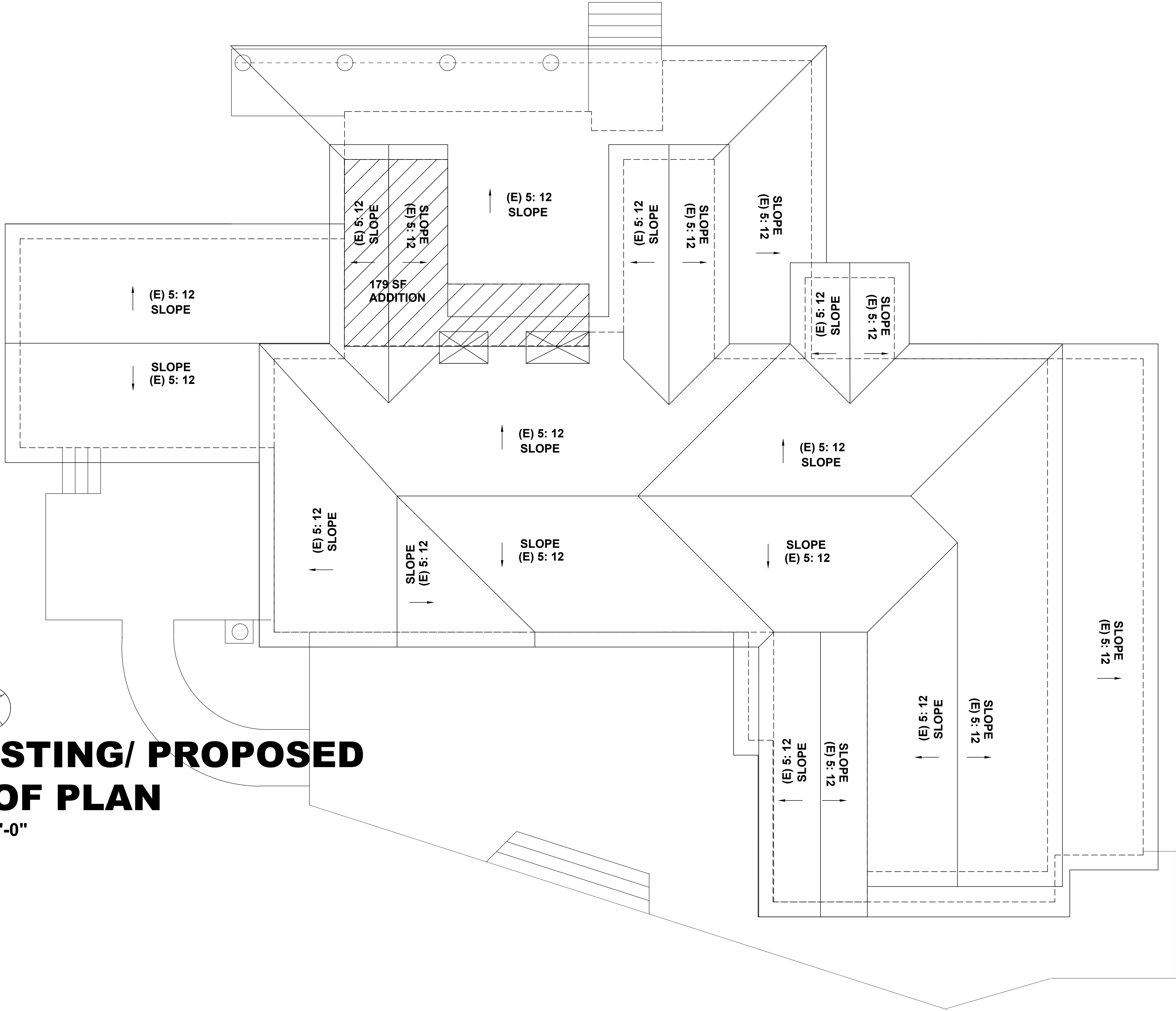
SHEET NO.
A9

N

EXISTING/ PROPOSED

ROOF PLAN

1/4" = 1'-0"



REVISIONS	

Existing First Floor Plan

WEISSMAN RESIDENCE

NO. 570

STREET UNIVERSITY TERRACE

CITY LOS ALTOS, CA

ZIPCODE 94022

KANLER, INC

RUCHA SHAH

995 Marsh Rd, Suite 102,

Redwood City, CA 94063

email: rucha@kanler.com



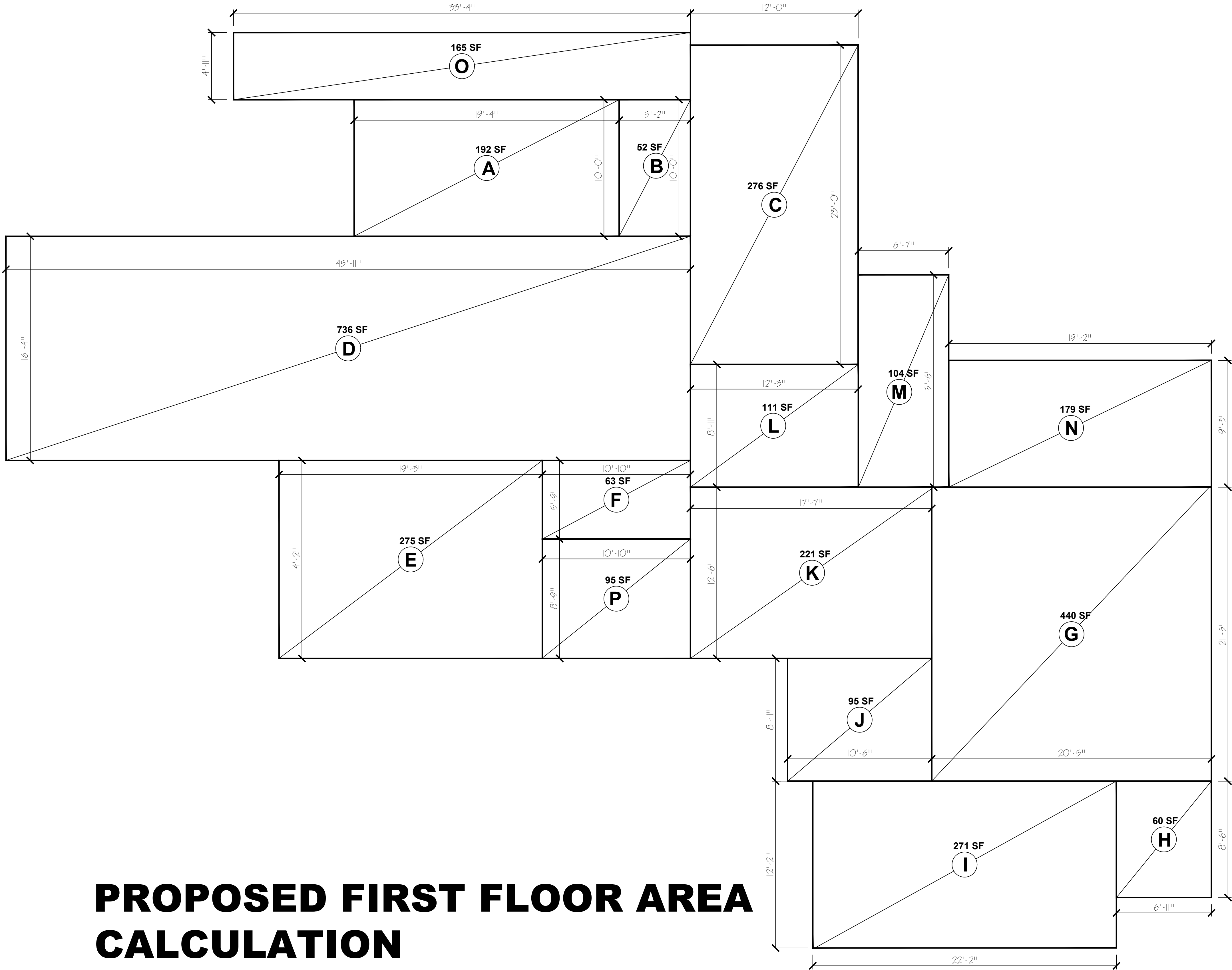
DATE	DRAWN BY
02/02/2019	RS
SCALE	PROJECT NO.
1/4"=1'	000

SHEET NO.

A10

PROPOSED FIRST FLOOR AREA CALCULATION

1/4" = 1'-0"



FIRST FLOOR AREA CALCULATION

LOT AREA: 6,325 SF

- A: 192 SF
 - B: 52 SF
 - C: 276 SF
 - D: 736 SF
 - E: 275 SF
 - F: 63 SF
 - G: 440 SF
 - H: 60 SF
 - I: 271 SF
 - J: 95 SF
 - K: 221 SF
 - L: 111 SF
 - M: 104 SF PORCH
 - N: 179 SF PORCH
 - O: 165 SF PORCH
 - P: 95 SF (ADDITION)
- TOTAL : 3240

TOTAL: 3335 SF

FLOOR AREA: 2887 SF
LOT COVERAGE: 3335 SF

REVISIONS	

Proposed First Floor Area Calculation

WEISSMAN RESIDENCE
NO. 570
STREET UNIVERSITY TERRACE
CITY LOS ALTOS, CA
ZIPCODE 94022

KANLER, INC
RUCHA SHAH
995 Marsh Rd, Suite 102,
Redwood City, CA 94063
email: rucha@kanler.com

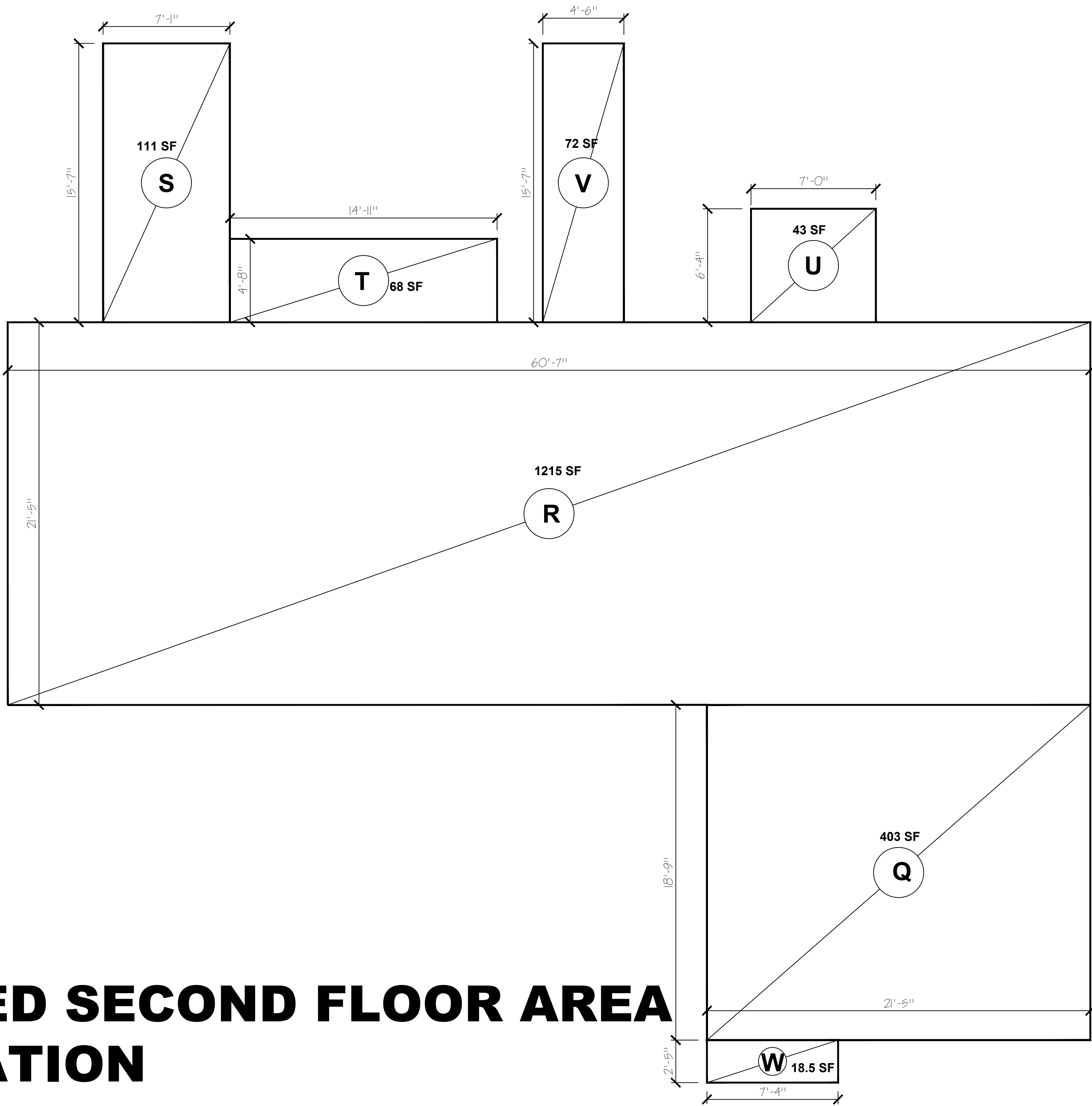


DATE	DRAWN BY
02/02/2019	RS
SCALE	PROJECT NO.
1/4"=1'	000

SHEET NO.
A11

PROPOSED SECOND FLOOR AREA
CALCULATION

1/4" = 1'-0"



SECOND FLOOR AREA
CALCULATION

LOT AREA: 6,325 SF

- Q: 403 SF
- R: 1215 SF
- S: 111 SF
- T: 68 SF
- U: 72 SF
- V: 43 SF
- W: 18.5 SF

TOTAL: 1,930.5 SF

REVISIONS

Proposed Second Floor Area Calculation

WEISSMAN RESIDENCE
NO. 570
STREET UNIVERSITY TERRACE
CITY LOS ALTOS, CA
ZIPCODE 94022

KANLER, INC
RUCHA SHAH
995 Marsh Rd, Suite 102,
Redwood City, CA 94063
email: rucha@kanler.com



DATE 02/02/2019	DRAWN BY RS
SCALE 1/4"=1'	PROJECT NO. 000

SHEET NO.
A12