

REN RESIDENCE
446 S. CLARK AVENUE
LOS ALTOS, CA 94024
APN: 189-52-065



REVISIONS

REN RESIDENCE
NEW HOUSE
446 S. CLARK AVENUE
LOS ALTOS, CA 94024
APN: 189-52-065

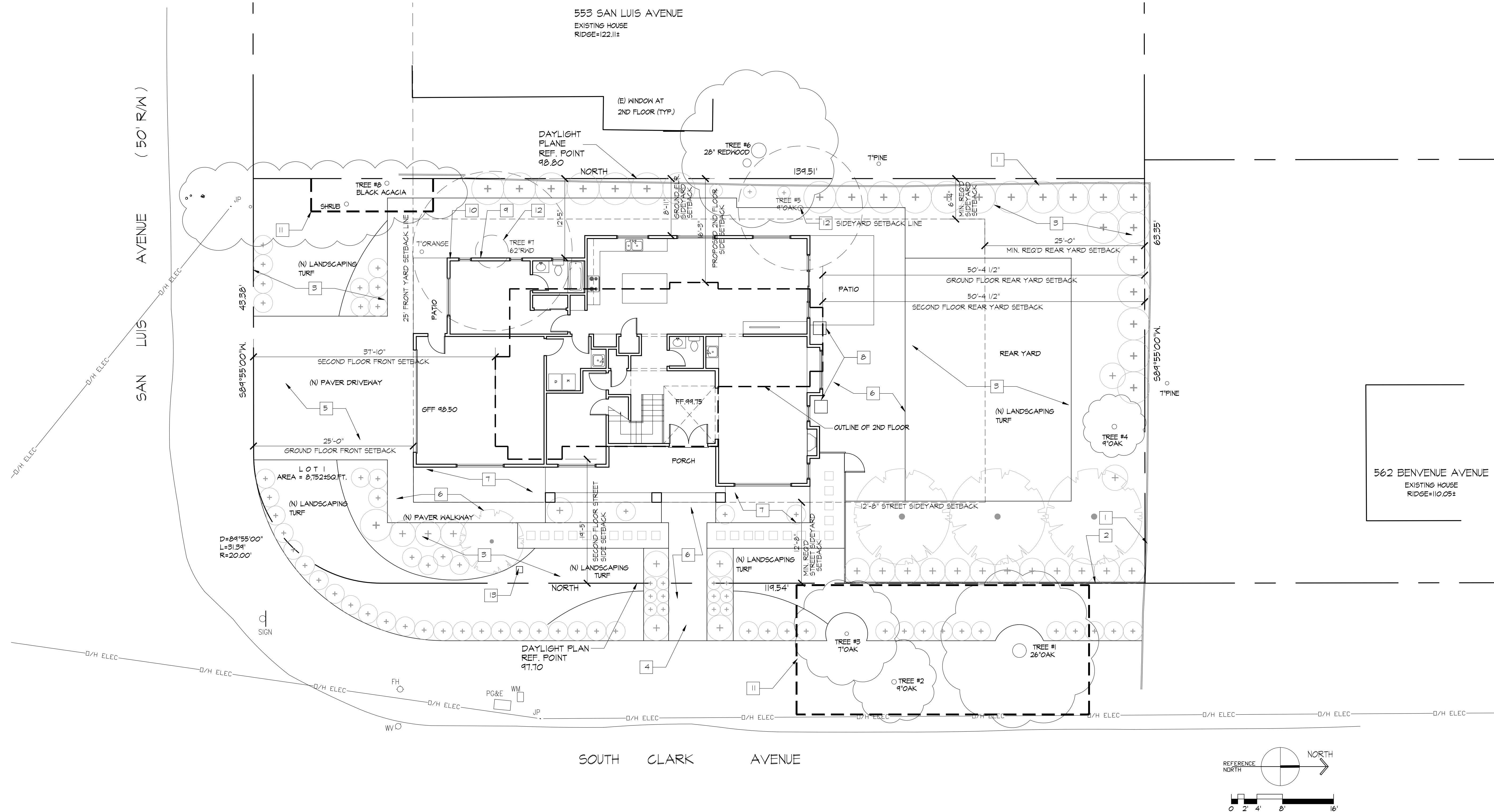
CLIENT

DATE	03/19/19
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DRAWN	MM
JOB NO.	

TITLE SHEET

A1.0

ABBREVIATIONS						SYMBOL / LEGEND						DRAWING INDEX						LOCATION MAP																																																													
\$ AND ∠ ANGLE @ AT ⏟ CENTERLINE ⌀ DIAMETER # POUND OR NUMBER ACOUS. ACOUSTICAL ADJ. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR AL. ALUMINUM ARCH. ARCHITECTURAL BD. BOARD BLDG. BUILDING BLK. BLOCK BLKG. BLOCKING BM. BEAM BOT. BOTTOM CAB. CABINET CEM. CEMENT CER. CERAMIC CLG. CEILING CLKG. CAULKING CLR. CLEAR COL. COLUMN CONC. CONCRETE CONT. CONTINUOUS D.F. DRINKING FOUNTAIN DBL. DOUBLE DET. DETAIL DIA. DIAMETER DIM. DIMENSION DN. DOWN DR. DOOR DS. DOWNSPOUT DWG. DRAWING E.P. ELECTRICAL PANELBOARD EA. EACH EL. ELEVATION ELEC. ELECTRICAL EMER. EMERGENCY EQ. EQUAL (E) EXISTING F.E. FIRE EXTINGUISHER F.O. FACE OF F.O.F. FACE OF FINISH F.O.S. FACE OF STUDS F.W. FEATURE WALL F.R. FIRE RETARDANT F.S. FULL SIZE FIN. FINISH FL. FLOOR FLUOR. FLUORESCENT FT. FOOT OR FEET G.B. GRAB BAR GA. GAUGE GL. GLASS GYP. GYPSUM H.B. HOSE BIBB H.C. HOLLOW CORE H.M. HOLLOW METAL HCP. HANDICAPPED HDWD. HARDWOOD HORIZ. HORIZONTAL HGT. HEIGHT HR. HOOR HVAC HEATING, VENTILATING & AIR CONDITIONING I.D. INSIDE DIAMETER (DIM.) INSUL. INSULATION JT. JOINT LAM. LAMINATE LT. LIGHT M. MIRROR MAX. MAXIMUM MECH. MECHANICAL MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS MTL. METAL N. NORTH N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE (N) NEW NO. OR # NUMBER NOM. NOMINAL O.D. OUTSIDE DIAMETER OPNG. OPENING OPP. OPPOSITE P.LAM. PLASTIC LAMINATE PL. PLATE PLAS. PLASTER PLYWD. PLYWOOD PR. PR. PT. POINT R. RISER RAD. RADIUS RGTR. REGISTER REQ'D REQUIRED RESIL. RESILIENT RM. ROOM RWD. REDWOOD S. SOUTH S.C. SOLID CORE S.STL. STAINLESS STEEL SCHED. SCHEDULE SHT. SHEET SIM. SIMILAR SPEC. SPECIFICATION SQ. SQUARE STD. STANDARD STL. STEEL STOR. STORAGE SUSP. SUSPENDED T.O. TOP OF TEL. TELEPHONE THK. THICK TYP. TYPICAL U.O.N. UNLESS OTHERWISE UNF. UNFINISHED VERT. VERTICAL W. WEST W/ WITH W/C WATER CLOSET W/O WITHOUT W/R WATER RESISTANT WD. WOOD WSCT. WAINSCOT WT. WEIGHT						A X XX B C ELEVATION LETTER DIRECTION OF ELEVATION SHEET NUMBER 100'-0" ELEVATION HEIGHT X DOOR NUMBERS X DETAIL REFERENCE A GRID NUMBERS I REFERENCE NOTE 101 ROOM NAME ROOM NUMBER I APPENDUM I PLAN CHANGE						ARCHITECTURAL A1.0 TITLE SHEET A1.1 PROPOSED SITE PLAN A1.2 SITE CONTEXT A2.1 PROPOSED GROUND FLOOR PLAN A2.2 PROPOSED UPPER FLOOR PLAN A2.3 PROPOSED ROOF PLAN A2.4 FLOOR & COVERAGE AREA CALCULATIONS A3.0 EXISTING EXTERIOR ELEVATIONS A3.1 PROPOSED EXTERIOR ELEVATIONS A3.2 PROPOSED EXTERIOR ELEVATIONS A3.3 BUILDING SECTIONS & DETAILS CIVIL C.0 TOPOGRAPHIC SURVEY C.1 PRELIMINARY GRADING AND DRAINAGE PLAN LANDSCAPE L-1 LANDSCAPE PLAN L-2 PLANTING SCHEDULE & PLANT PHOTOS						NORTH ALMOND AVE SPRINGER RD MIRAMONTE AVE EL CAMINO REAL HAWTHORNE AVE S CLARK AVE SILVIA DR RAYMON DR PACO DR BENVENUE AVE SAN LUIS AVE CUESTA DR SITE																																																													
PROJECT CONTACT												PROJECT SUMMARY TABLE																																																																			
OWNER KEVIN REN 446 S. CLARK AVENUE LOS ALTOS, CA 94024 (408) 505-3759 EMAIL: renjwanz1@yahoo.com ARCHITECT MARCH DESIGN 111 MAIN STREET, SUITE J3 LOS ALTOS, CA 94022 (650) 302-1987 (650) 618-3986 FAX EMAIL: mma.dia@gmail.com CIVIL ENGINEER WEC & ASSOCIATES 2625 MIDDLEFIELD ROAD, #658 PALO ALTO, CA 94306 (650) 823-6466 (650) 887-0321 FAX EMAIL: ed@weceng.com ARBORIST KIELTY ARBORIST SERVICES P. O. BOX 6187 SAN MATEO, CA 94403 (650) 515-9783 EMAIL: kkorbor0476@yahoo.com LANDSCAPE ARCHITECT YH LANDSCAPE DESIGN 3351 SAINT MICHAEL CT. PALO ALTO, CA 94306 (415) 644-0800 EMAIL: huang2010@yahoo.com												<table><tr><th colspan="4">ZONING COMPLIANCE</th></tr><tr><th></th><th>EXISTING</th><th>PROPOSED</th><th>ALLOWED/ REQUIRED</th></tr><tr><td>LOT COVERAGE: LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT</td><td>1714.3 (17.0%)</td><td>2240.6 S.F. (25.6%)</td><td>2625.6 S.F. (30.0%)</td></tr><tr><td>FLOOR AREA : MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS</td><td>1543 S.F. (17.6%)</td><td>3,062.1 S.F. (35.0%)</td><td>3,063.2 S.F. (35.0%)</td></tr><tr><td>SETBACKS: FRONT REAR RIGHT SIDE (EXTERIOR SIDE) LEFT SIDE</td><td>35'-3 1/2" 40'-8 1/2" 11'-3 1/2" 19'-1 1/2"</td><td>GRD. FLR/ 2ND FLR 25'-0" 50'-4 1/2" 12'-8" 8'-11"</td><td>GRD. FLR/ 2ND FLR 25'-0" 50'-4 1/2" 12'-8" 6'-4" 13'-10"</td></tr><tr><td>HEIGHT:</td><td>16'-2"</td><td>25'-1"</td><td>27'-0"</td></tr><tr><th colspan="4">SQUARE FOOTAGE BREAKDOWN</th></tr><tr><th></th><th>EXISTING</th><th>CHANGE IN</th><th>TOTAL PROPOSED</th></tr><tr><td>HABITABLE LIVING AREA: INCLUDES HABITABLE BASEMENT AREAS</td><td>1,118 S.F.</td><td>1,523.1 S.F.</td><td>2,641.1 S.F.</td></tr><tr><td>NON-HABITABLE AREA: (DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES)</td><td>425 S.F.</td><td>-4 S.F.</td><td>421 S.F.</td></tr><tr><th colspan="4">LOT CALCULATION</th></tr><tr><td colspan="2">NET LOT AREA</td><td colspan="2">8,752 S.F.</td></tr><tr><td colspan="2">FRONT YARD HARDSCAPE AREA HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%</td><td colspan="2">675.0 S.F. (45.4%)</td></tr><tr><td>LANDSCAPING BREAKDOWN</td><td colspan="3">TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED): 4,611.1 S.F. EXISTING SOFTSCAPE (UNDISTURBED) AREA: 2,602.1 S.F. NEW SOFTSCAPE AREA: 1,558.2 S.F. SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA</td></tr></table>												ZONING COMPLIANCE					EXISTING	PROPOSED	ALLOWED/ REQUIRED	LOT COVERAGE: LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	1714.3 (17.0%)	2240.6 S.F. (25.6%)	2625.6 S.F. (30.0%)	FLOOR AREA : MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1543 S.F. (17.6%)	3,062.1 S.F. (35.0%)	3,063.2 S.F. (35.0%)	SETBACKS: FRONT REAR RIGHT SIDE (EXTERIOR SIDE) LEFT SIDE	35'-3 1/2" 40'-8 1/2" 11'-3 1/2" 19'-1 1/2"	GRD. FLR/ 2ND FLR 25'-0" 50'-4 1/2" 12'-8" 8'-11"	GRD. FLR/ 2ND FLR 25'-0" 50'-4 1/2" 12'-8" 6'-4" 13'-10"	HEIGHT:	16'-2"	25'-1"	27'-0"	SQUARE FOOTAGE BREAKDOWN					EXISTING	CHANGE IN	TOTAL PROPOSED	HABITABLE LIVING AREA: INCLUDES HABITABLE BASEMENT AREAS	1,118 S.F.	1,523.1 S.F.	2,641.1 S.F.	NON-HABITABLE AREA: (DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES)	425 S.F.	-4 S.F.	421 S.F.	LOT CALCULATION				NET LOT AREA		8,752 S.F.		FRONT YARD HARDSCAPE AREA HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%		675.0 S.F. (45.4%)		LANDSCAPING BREAKDOWN	TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED): 4,611.1 S.F. EXISTING SOFTSCAPE (UNDISTURBED) AREA: 2,602.1 S.F. NEW SOFTSCAPE AREA: 1,558.2 S.F. SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA		
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APPLICABLE CODES												PROJECT SCOPE																																																																			
2016 CRC, CBC (FOR STRUCTURAL), CPG, CMG, CEG, CALIFORNIA ENERGY CODE AND CITY OF LOS ALTOS ORDINANCES												1. DEMOLISH EXISTING DETACHED GARAGE 425 S.F., EXISTING SINGLE STORY HOUSE, 1118 S.F. 2. NEW CONSTRUCTION OF A 3062 S.F. 2- STORY HOUSE WITH ATTACHED 2-CAR GARAGE. MAIN EXTERIOR BUILDING MATERIALS ARE CEMENT PLASTER & WOOD SIDING FINISH, AND COMPOSITION SHINGLE ROOF																																																																			



① PROPOSED SITE PLAN

$$1/8'' = 1' - 0''$$

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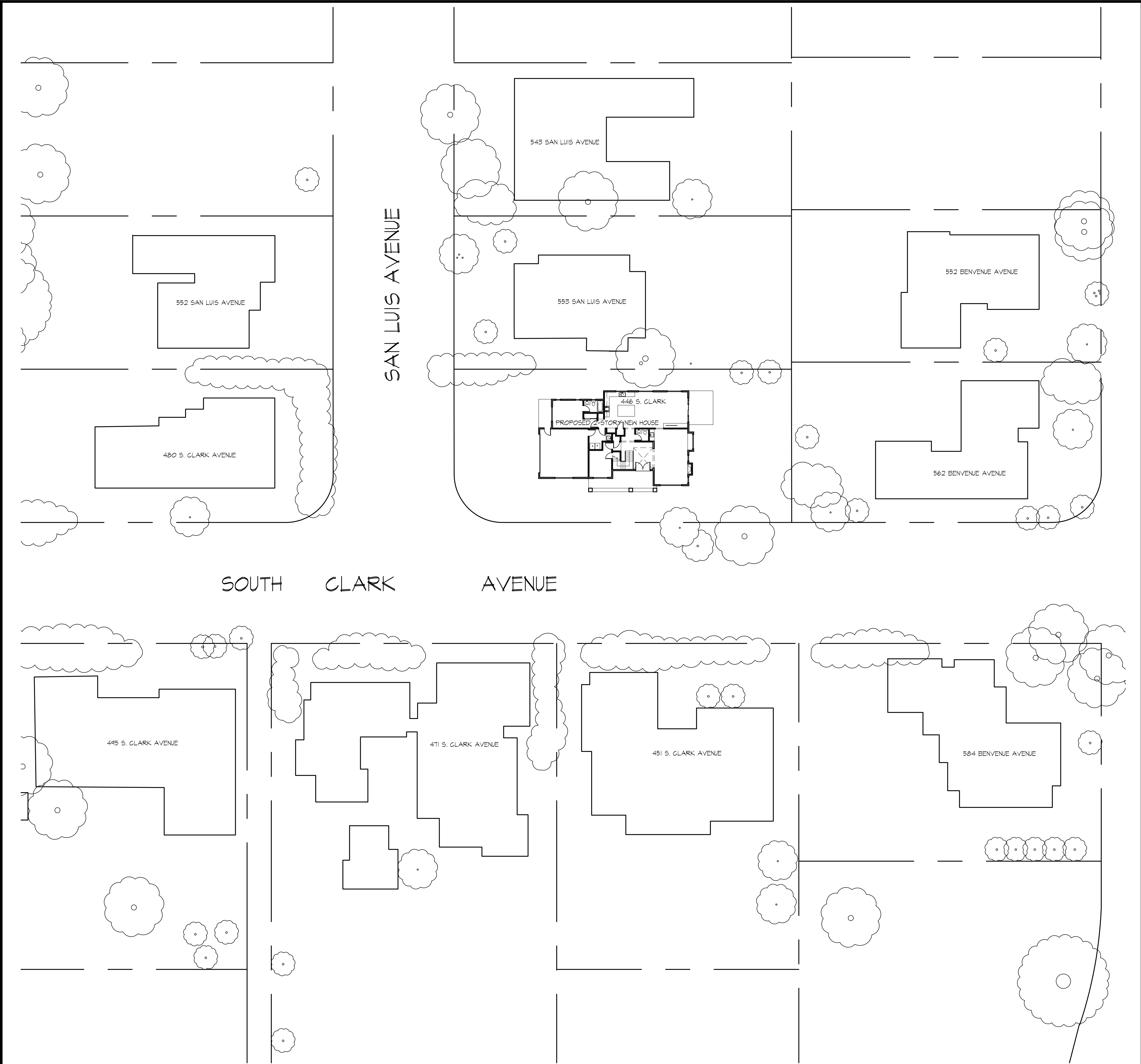
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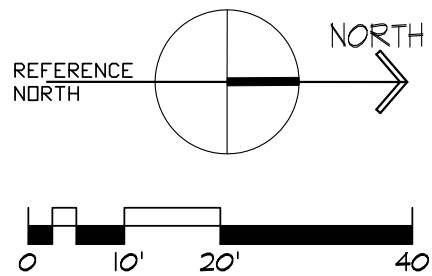
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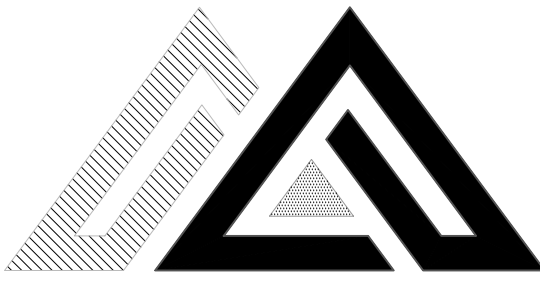


- PROPERTY LINE
- (E) TREE TO REMAIN
- (E) NEIGHBORS' STRUCTURE

LEGEND

GENERAL NOTES





March
DESIGN

ARCHITECTURE | INTERIOR | PLANNING

111 MAIN STREET, SUITE J3
LOS ALTOS, CA 94022
650.302.1987
mike@march.design

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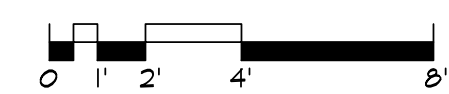
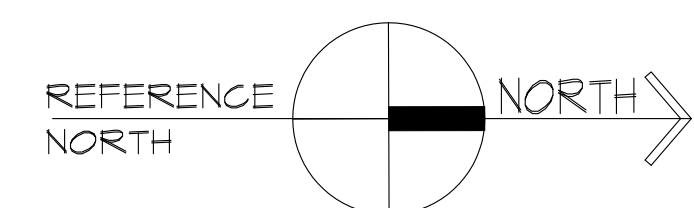
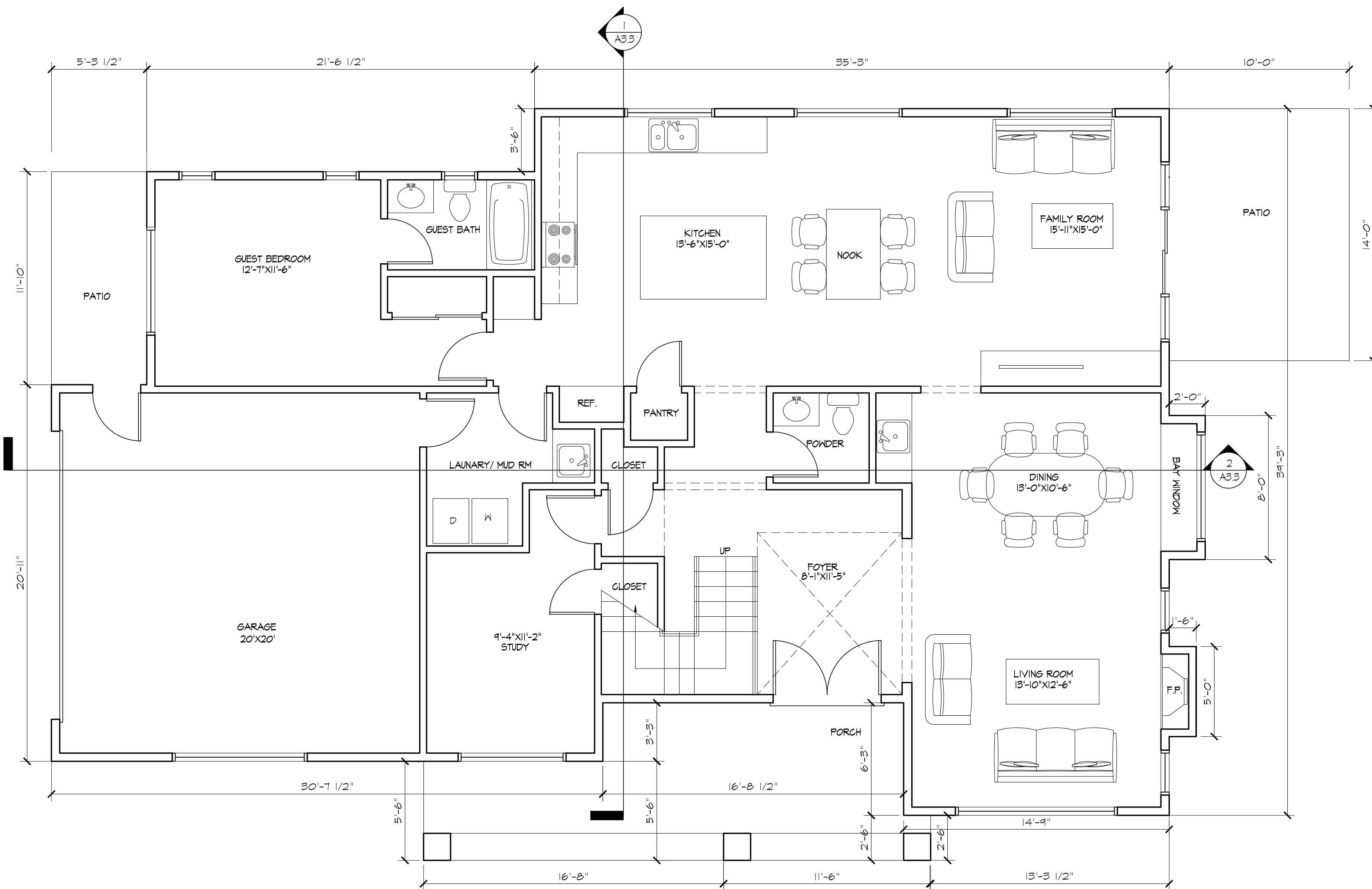
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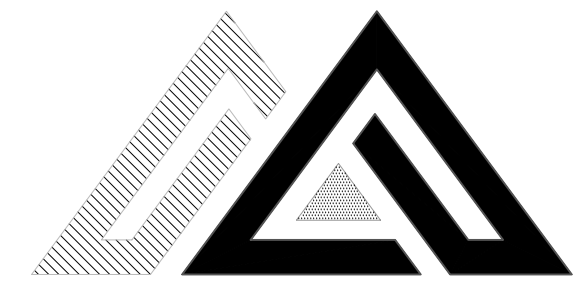
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SITE CONTEXT





March
DESIGN

ARCHITECTURE | INTERIOR | PLANNING

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650.302.1987
mike@march.design

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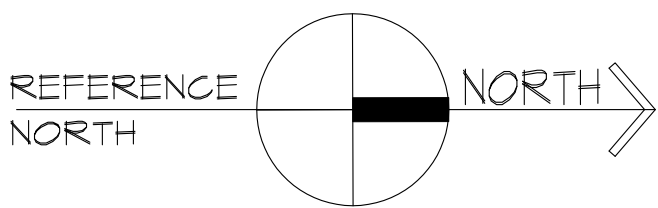
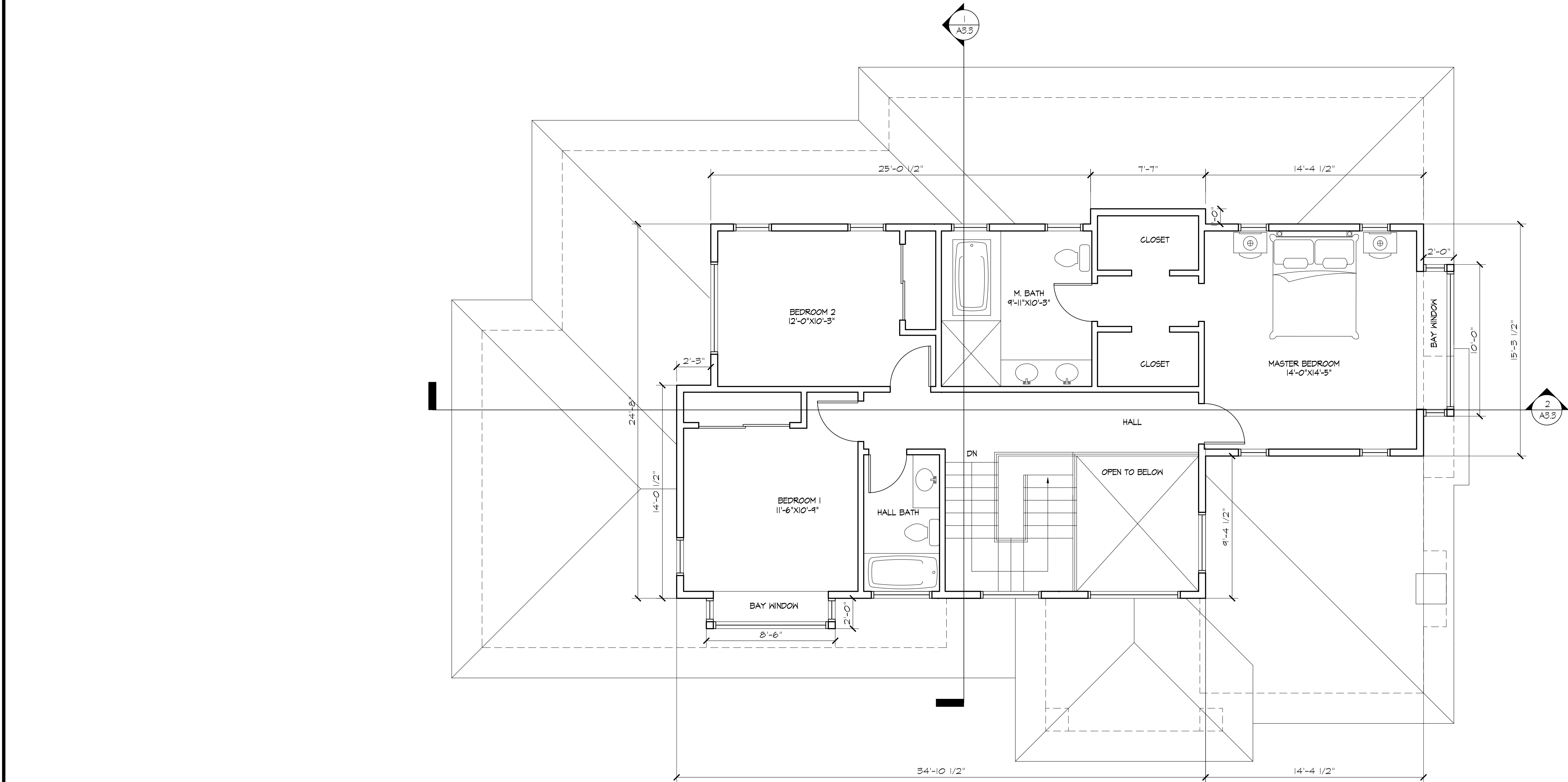
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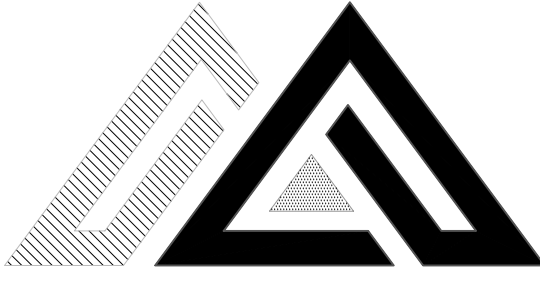
PROPOSED
GROUND
FLOOR PLAN

A2.1



1 PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"



March
DESIGN

ARCHITECTURE | INTERIOR | PLANNING

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JOB NO.

PROPOSED
SECOND
FLOOR PLAN

A2.2

REVISIONS

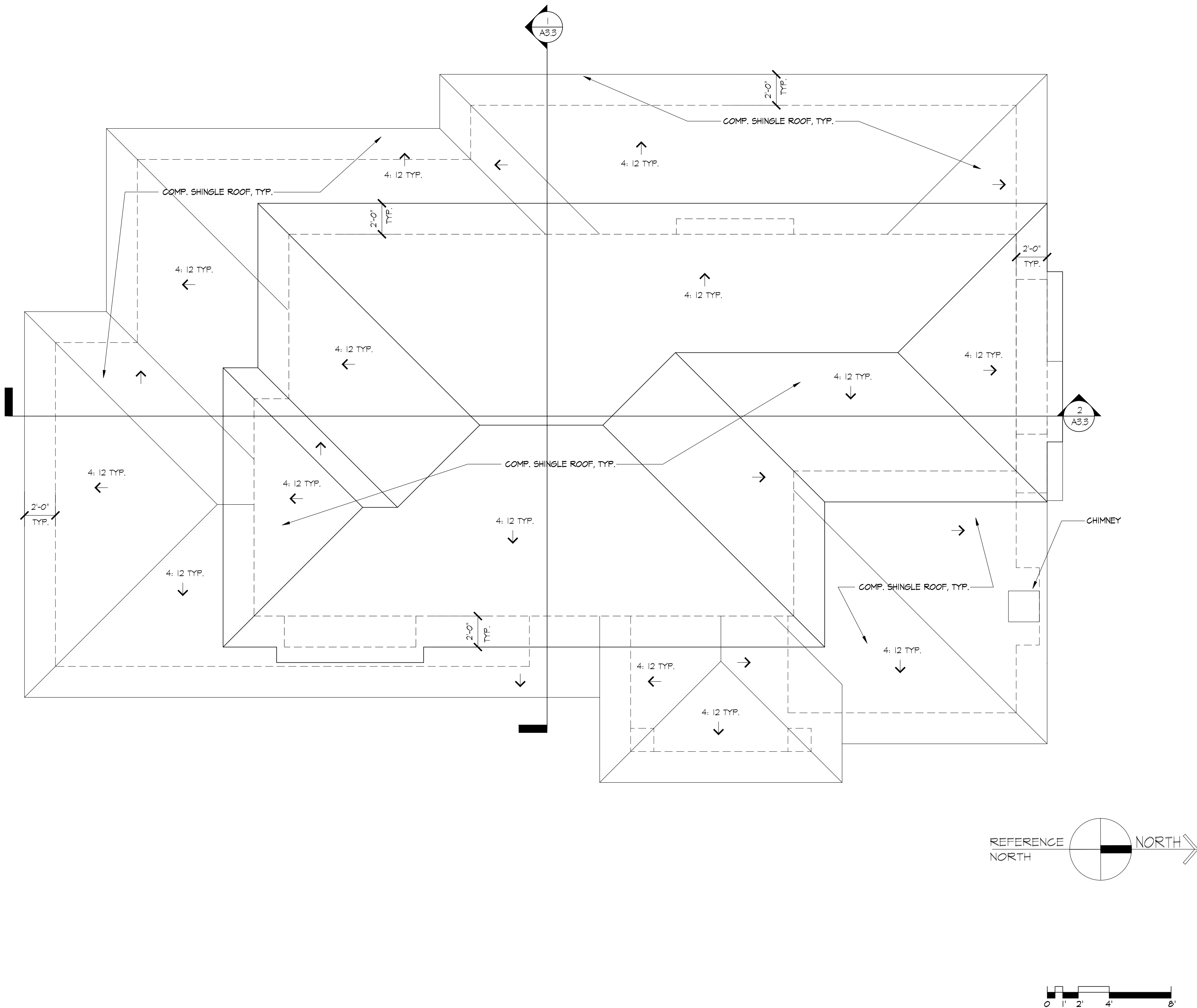
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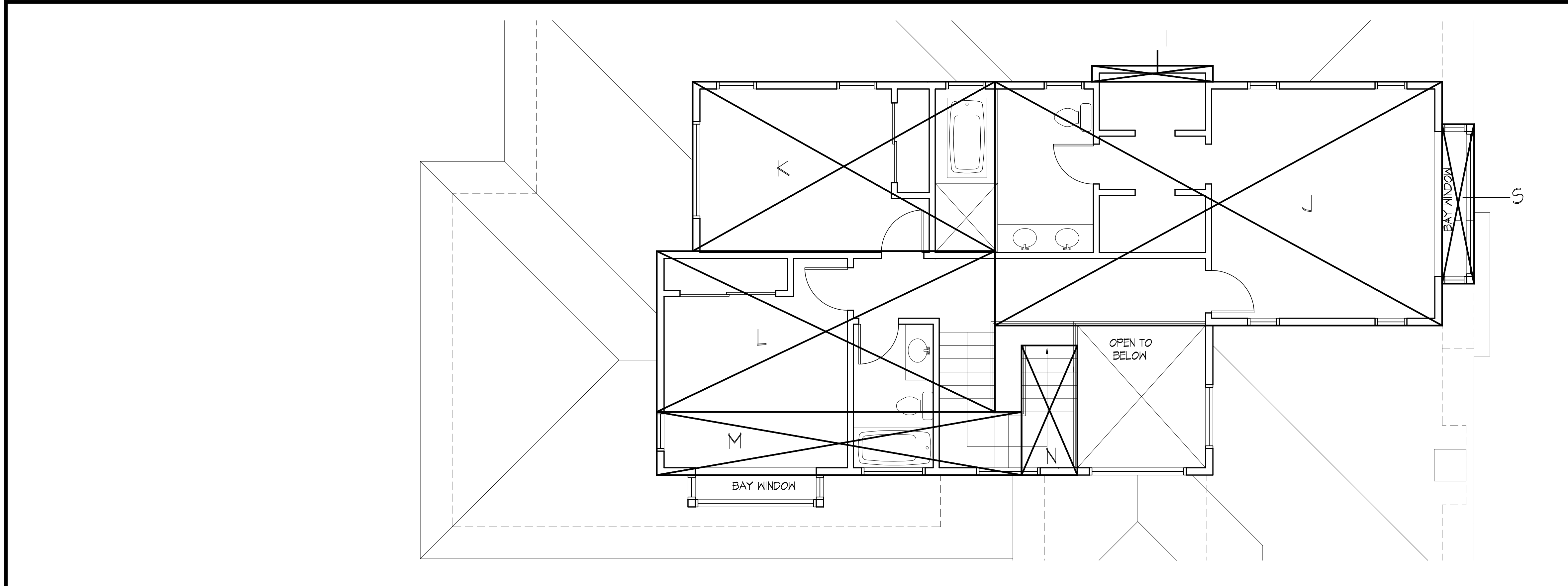
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PROPOSED
ROOF PLAN

A2.3





② SECOND FLOOR AREA CALCULATION

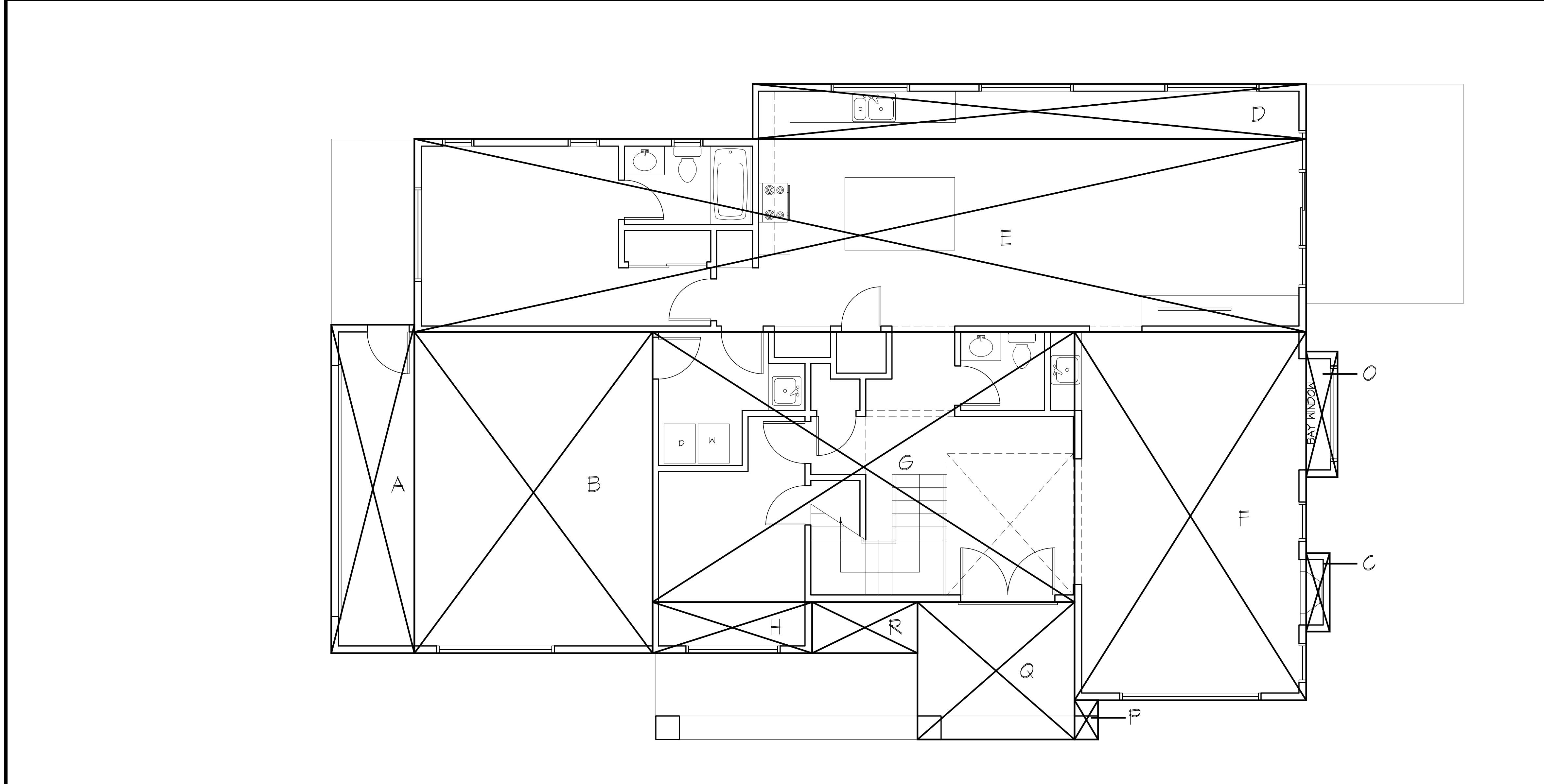
1/8"=1'-0"

FLOOR AREA CALCULATION

FIRST FLOOR		
SECTION	DIMENSIONS	AREA
A	5'-3 1/2" X 20'-11"	110.7
B	15'-2" X 20'-5 1/2"	310.3
C	1'-6" X 5'-0"	7.5
D	35'-3" X 3'-6"	123.3
E	56'-9 1/2" X 12'-3 1/2"	698.1
F	14'-9" X 23'-5 1/2"	346.1
G	26'-10 1/2" X 17'-2 1/2"	462.5
H	10'-2" X 3'-3"	33.0
SUBTOTAL		2091.5

SECOND FLOOR		
SECTION	DIMENSIONS	AREA
I	7'-1" X 1'-0"	7.6
J	28'-0 1/2" X 15'-3 1/2"	428.8
K	18'-11 1/2" X 10'-7 1/2"	201.4
L	21'-2 1/2" X 10'-1"	213.9
M	22'-10 1/2" X 3'-11 1/2"	90.5
N	3'-6" X 8'-1 1/2"	28.4
SUBTOTAL		970.6

TOTAL FLOOR AREA 3062.1 SF < 3063.2 SF



② GROUND FLOOR & COVERAGE AREA CALCULATION

1/8"=1'-0"

FLOOR COVERAGE CALCULATION

SECTION	DIMENSIONS	AREA
FIRST FLOOR AREA		2091.5
O	1'-4" X 8'-0"	16.0
P	1'-6" X 3'-4"	3.8
Q	8'-0" X 4'-9"	37.5
R	10'-2" X 4'-10"	21.8
S	7'-11" X 11'-10"	20.0
TOTAL	1'-4" X 4'-2"	2240.6

TOTAL COVERAGE 2240.6 SF < 2625.6 SF



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FLOOR &
COVERAGE AREA
CALCULATIONS

A2.4

REVISIONS

REN RESIDENCE

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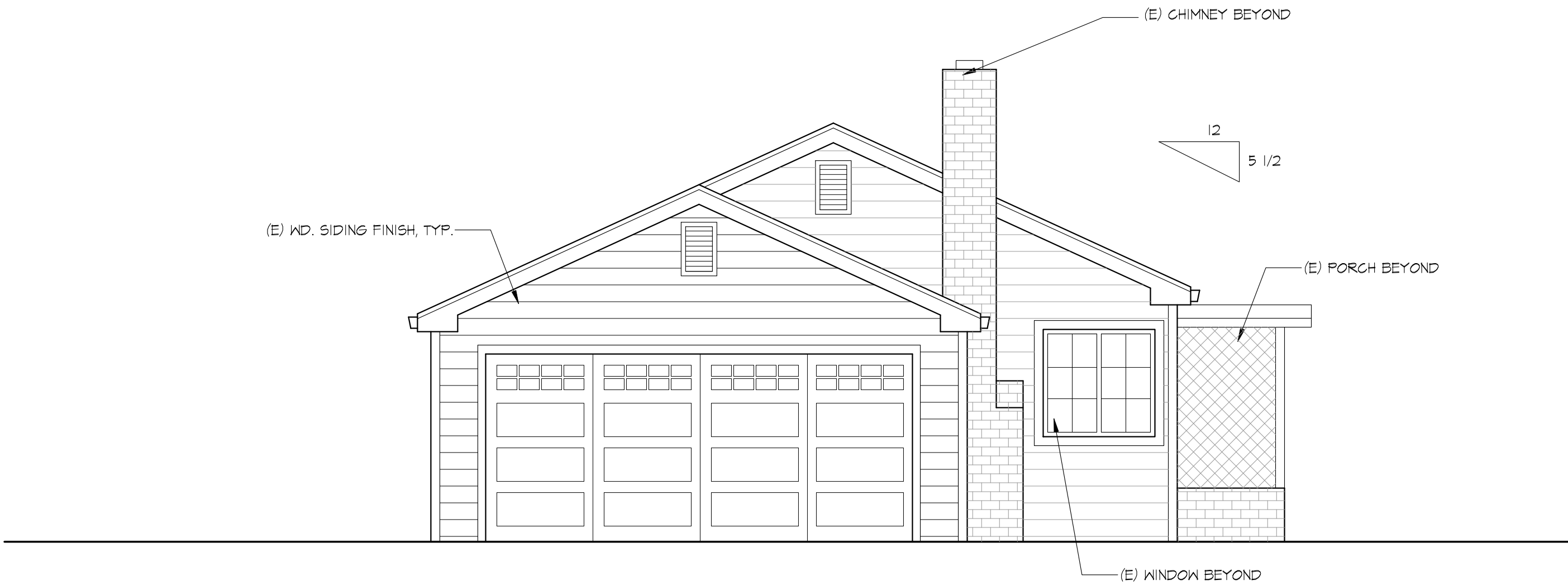
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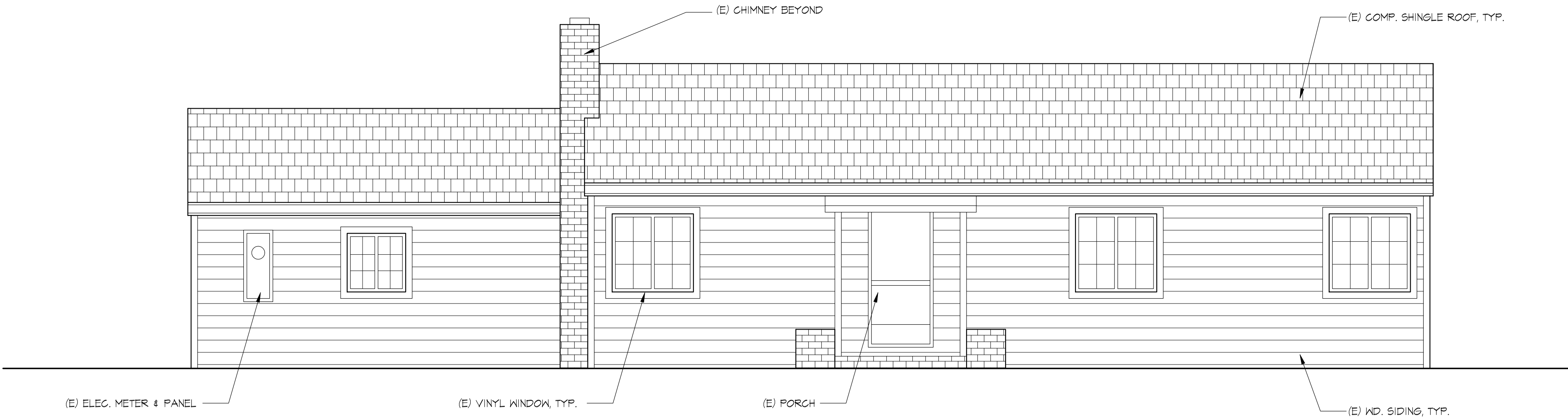
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EXISTING
ELEVATIONS

A3.0



① EXISTING SAN LUIS AVENUE ELEVATION (SOUTH)



① EXISTING S. CLARK AVENUE ELEVATION (EAST)

REVISIONS	

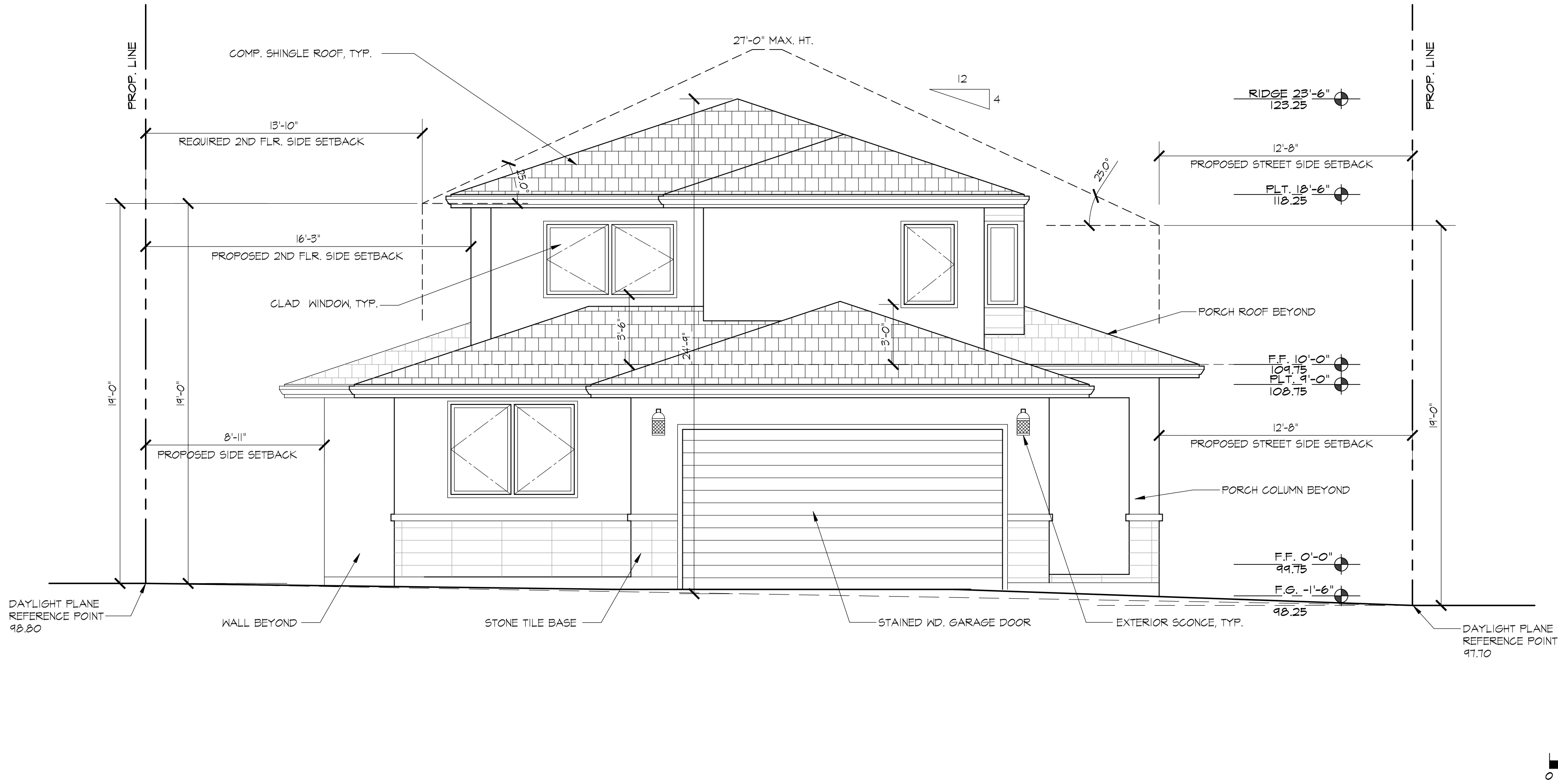
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PROPOSED
EXTERIOR
ELEVATIONS

A3.1



1 PROPOSED SAN LUIS AVENUE ELEVATION (SOUTH)



2 PROPOSED S. CLARK AVENUE ELEVATION (EAST)



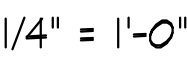
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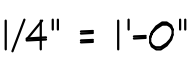
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PROPOSED EXTERIOR ELEVATIONS

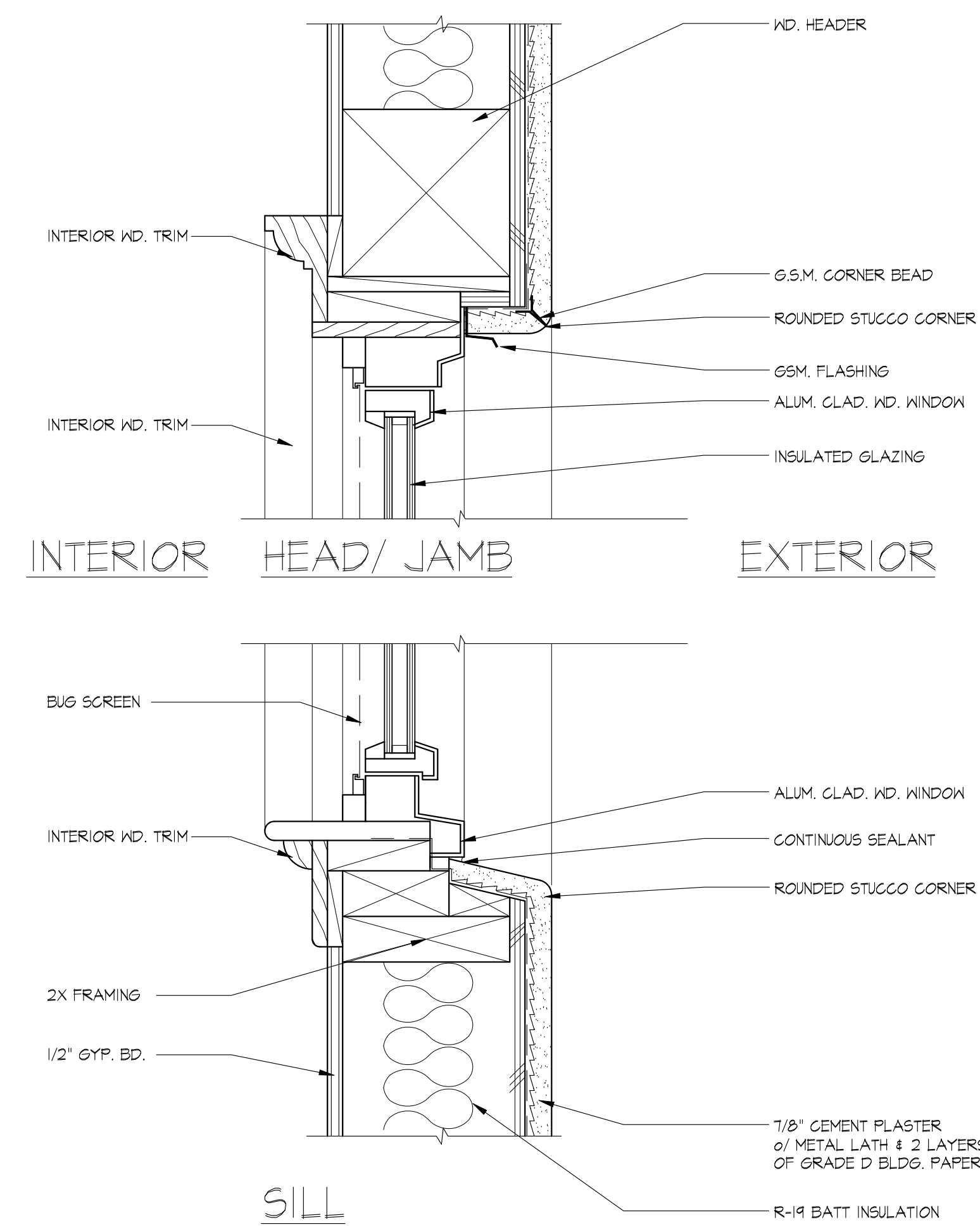
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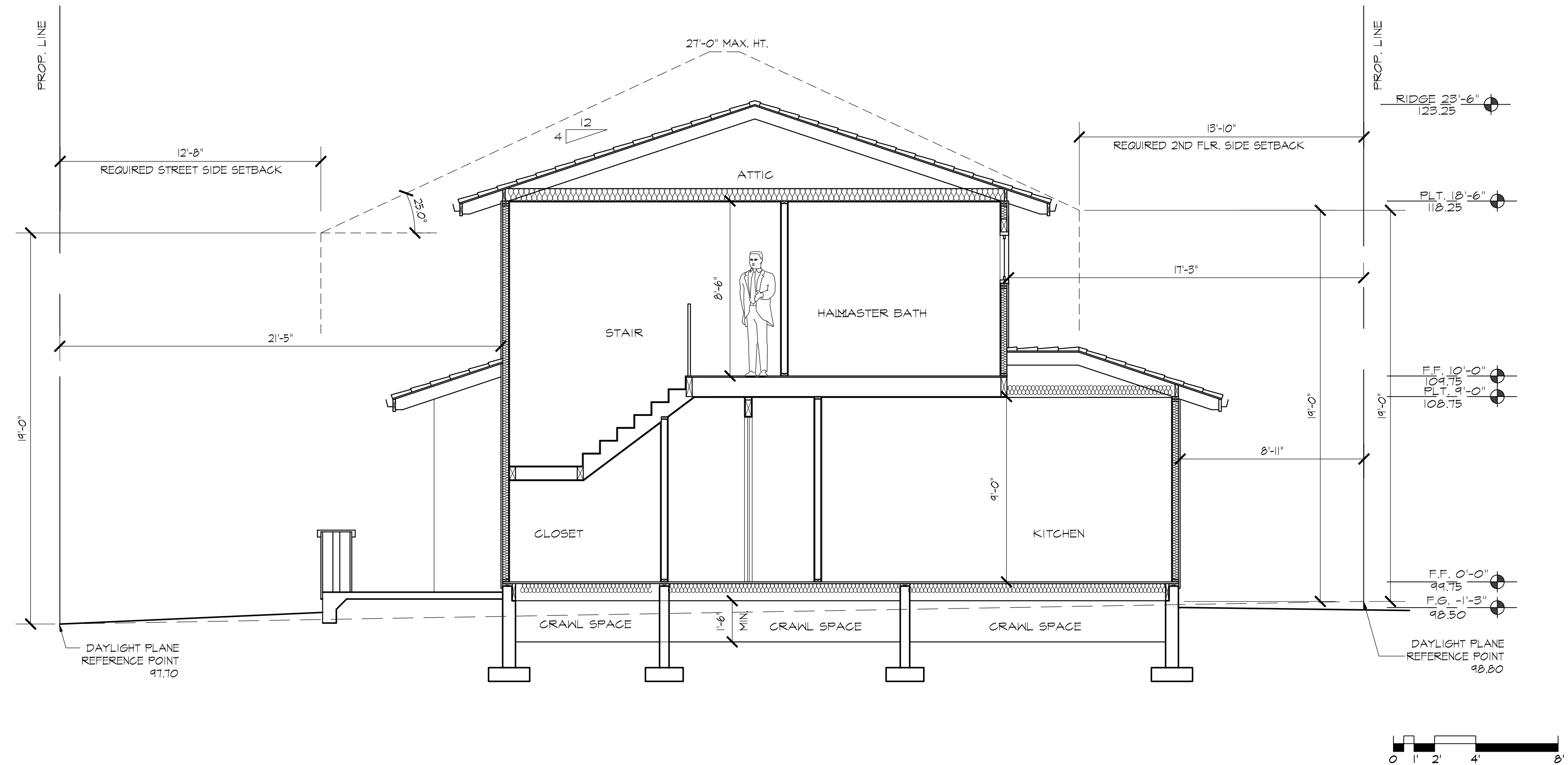
① PROPOSED REAR ELEVATION (NORTH)



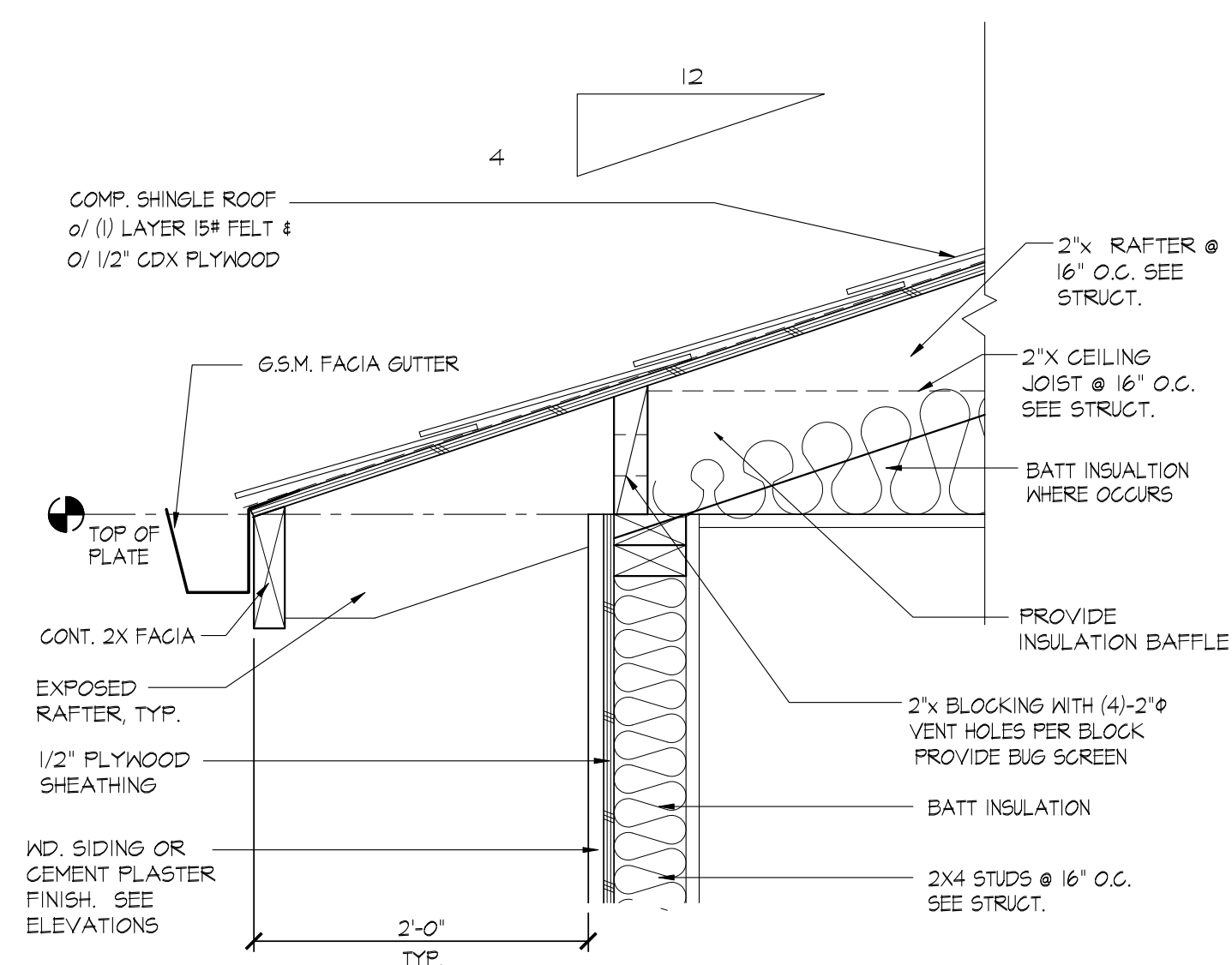
② PROPOSED SIDE ELEVATION (WEST)



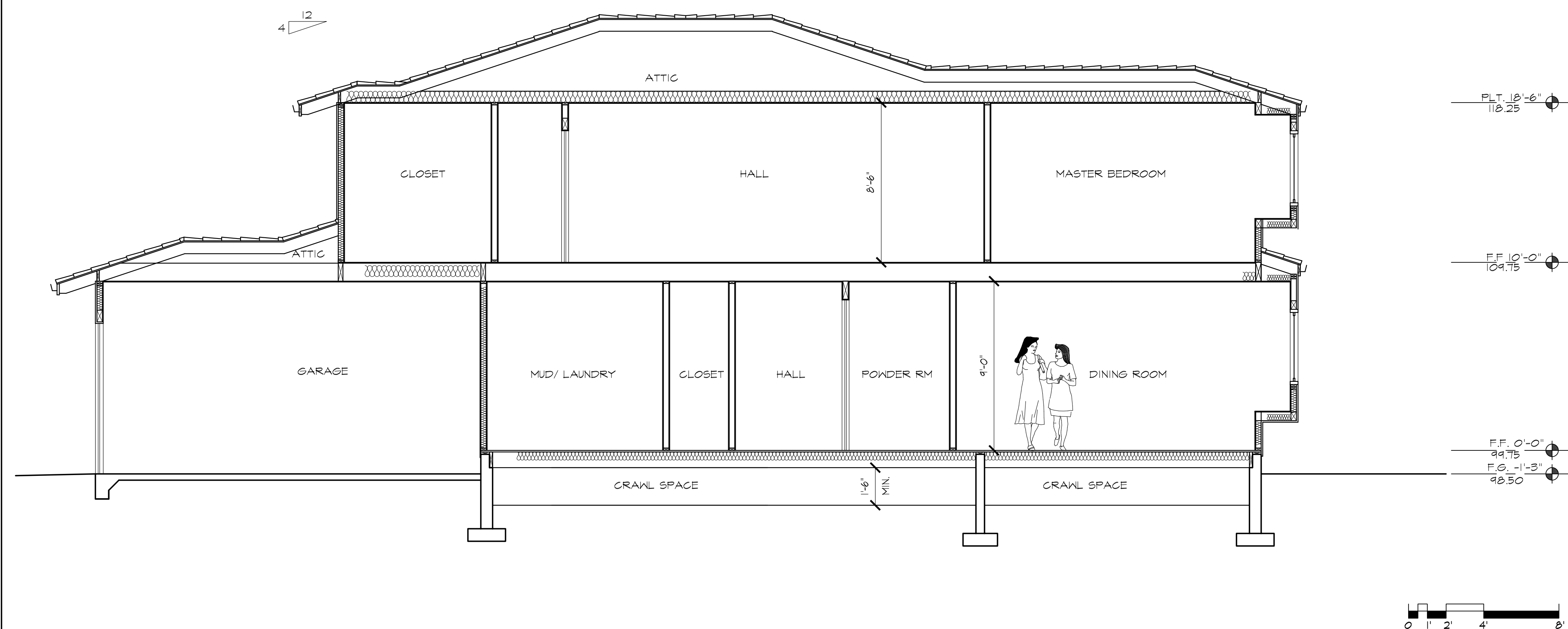
③ TYPICAL WINDOW DETAIL



SECTION



④ TYPICAL EAVE DETAIL



② SECTION



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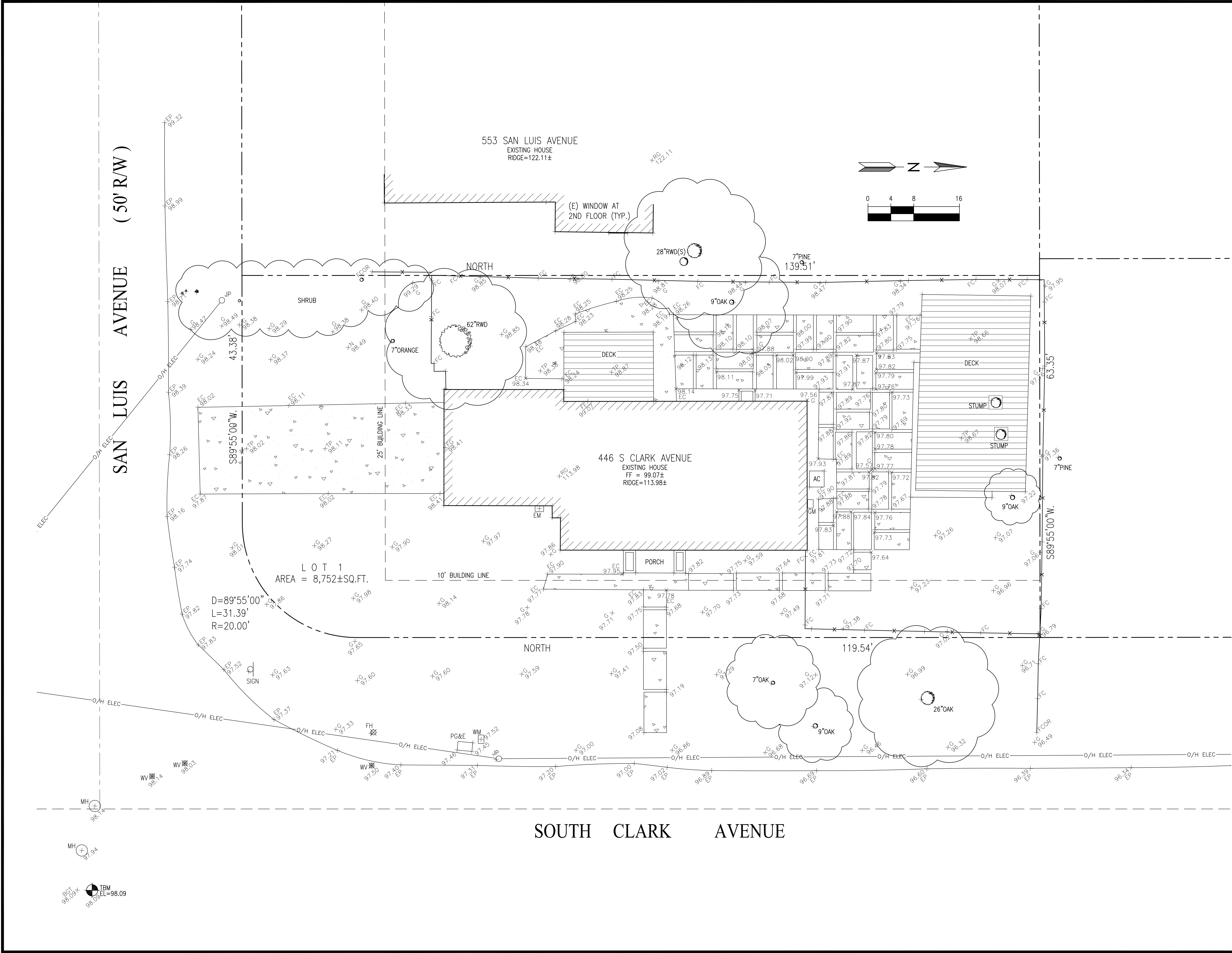
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BUILDING SECTIONS & DETAILS

A3.3



LEGEND:

AC	ASPHALT CONCRETE
BC	BUILDING CORNER
BW	BACK OF WALK
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEAN OUT
CRN	CROWN
DW	DRIVEWAY
EC	EDGE OF CONCRETE
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
FCOR	FENCE CORNER
FD	FOUND
FF	FINISHED FLOOR
FL	FLOW LINE
FH	FIRE HYDRANT
FW	FRONT OF WALK
G	GROUND
GC	GARAGE CORNER
GF	GARAGE FACE/FRONT
GFC	GROUND AT FENCE
GM	GAS METER
HCR	HANDICAP RAMP
INV	INVERT
IP	IRON PIPE
JP	JOINT POLE
LG	LIP OF GUTTER
O/H	OVERHEAD
PC	PROPERTY CORNER
RW	RETAINING WALL
SL	STREET LIGHT
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
SDMH	STORM DRAIN MANHOLE
TBC	TOP BACK ROLLED CURB
TC	TOP OF CURB
TOB	TOP OF BANK
TOE	TOE OF BANK
TP	TOP OF PAVEMENT
TRC	TOP OF ROLLED CURB
TW	TOP OF WALL
U/G	UNDERGROUND
VCP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WM	WATER METER BOX
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

BASIS OF BEARINGS:

THE BEARING, S73°41'00"E, OF THE CENTER LINE OF SAN LUIS AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 7 OF MAPS AT PAGE 13, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV=98.09 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES. SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

LEGAL DESCRIPTION:

LOT 1, TRACT NO.175, MAP REF: BOOK 7 PAGE 13

NOTE:

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

NEW RESIDENCE

446 S CLARK AVENUE
LOS ALTOS, CA
APN: 189-52-065

W E C
& ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE:	AUGUST 21, 2017
SCALE:	1/8"=1'-0"
DRAWN:	BG
JOB:	10078

SHEET TITLE:

TOPOGRAPHIC SURVEY

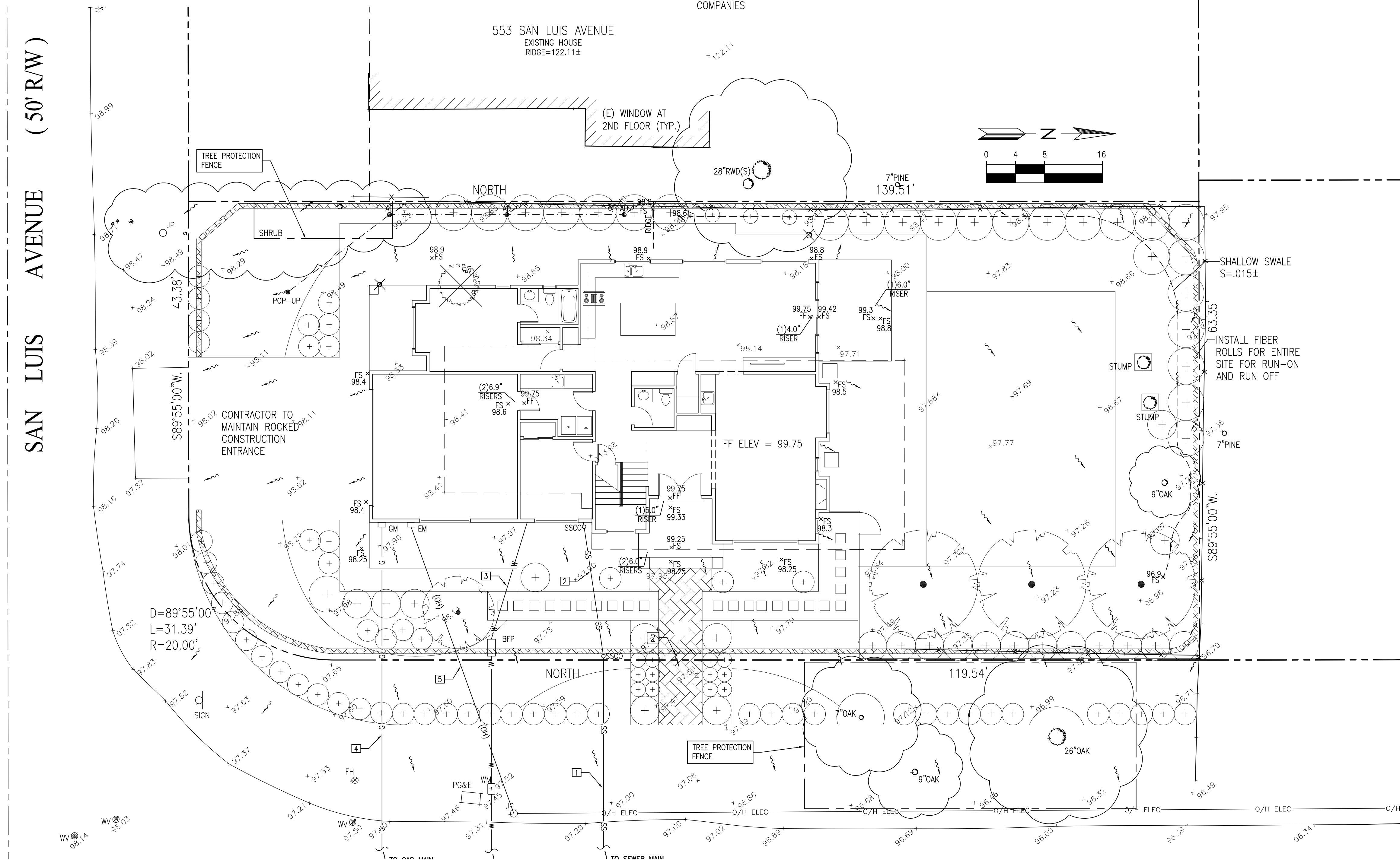
SHEET NO.

C.0

4. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE (5) FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRADE ELEVATION
BW	BOTTOM OF WALL ELEV	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	PKG	PARKING
DIS	DOWNSPOUT	POC	POINT OF CONNECTION
DWY	DRIVEWAY	RET	RETAINING WALL
(E)	EXISTING	RIM	RIM ELEVATION
EG	EXISTING GRADING	S	SLOPE
EM	ELECTRICAL METER	SD	STORM DRAIN LINE
EF	EDGE OF PAVEMENT	SDCO	STORM DRAIN CLEANOUT
EC	FACE OF CURB ELEV.	SDFM	STORM DRAIN FORCED MAIN
FD	FRENCH DRAIN	SS	SANITARY SEWER
FF	FINISH FLOOR ELEV	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GROUND ELEV	TW	TOP OF WALL ELEVATION
FL	FLOW LINE ELEVATION	TPY	TYPICAL
FM	FORCE MAIN LINE	W	DOMESTIC WATER LINE
FIN	FINISHED PAVEMENT ELEV	WM	WATER METER
FS	FINISH SURFACE ELEV		

- 1 APPROX. LOCATION OF EXISTING SEWER LINE. SEWER LINE AT ROW TO REMAIN. CONTRACTOR TO FIELD CONFIRM EXISTING SEWER LINE LOCATION
- 2 APPROX. LOCATION OF EXISTING SEWER LINE, FROM PROPERTY LINE CLEANOUT TO HOUSE TO BE REPLACED WITH NEW 4" SEWER LATERAL
- 3 APPROX. LOCATION OF EXISTING WATER LINE, TO BE REPLACED WITH NEW WATER LINE, AND WITH BACK FLOW PREVENTOR (BFP) LINE SIZE AND BFP TO BE DETERMINED BY FIRE SPRINKLER CONTRACTOR
- 4 APPROX. LOCATION OF NEW GAS LINE. CONTRACTOR TO COORDINATE WITH PG&E
- 5 APPROX. LOCATION OF NEW OVERHEAD LINES INCLUDING ELEC, CABLE, TEL. CONTRACTOR TO COORDINATE WITH PG&E AND OTHER CABLE/TEL COMPANIES



SHEET NO.

C.1

446 S. CLARK AVENUE
LOS ALTOS, CA
APN: 189-52-065

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

[illegible]

SCALE:

JOB: _____

LANDSCAPE PLAN

L-1



TREES



Fireglow Japanese Maple, 15' H X 15' W, Growth rate: slow



Pyrus pyrifolia, 20' H X 15' W, Growth rate: moderate

EVERGREEN SCREENING SHRUBS



Fraser Photonia, 10' H X 5' W, Growth rate: moderate to fast



Japanese Mock Orange, 12' H X 4' W, Growth rate: Fast

PLANT SCHEDULE

SYM.	BOTANICAL NAME	COMMON NAME	* WUCOLS	QUAN.	SIZE	SPACING
TREE						
AcPa	Acer palmatum 'Fireglow'	Fireglow Japanese Maple	M	1	24" box	As Shown
PyPy	Pyrus pyrifolia	Asian Pear	M	3	24" box	As Shown
SHRUBS						
BeTh	Berberis thunbergii 'Atropurpurea'	Red-leaf Japanese Barberry	L	7	15 gal.	3' O.C.
CaJa	Camellia japonica 'Kramer's Supreme'	Kramer's Supreme Camelia	M	2	15 gal.	6' O.C.
CoPu	Coleonema pulchrum 'Compacta'	Dwarf Pink Breath of Heaven	M	24	15 gal.	3' O.C.
CySp	Cytisus x spachianus	Sweet Broom	L	1	15 gal.	4' O.C.
EsEx	Escallonia x exoniensis	Pink Princess Escallonia	M	3	15 gal.	As Shown
LaAn	Lavandula angustifolia	English Lavander	L	12	15 gal.	2' O.C.
LeSc	Leptospermum scoparium 'Ruby Glow'	New Zealand Tea Tree	M	1	15 gal.	5' O.C.
LeCo	Leucospermum cordifolium	Nodding Pincushion	L	1	15 gal.	4' O.C.
NaNa	Nandina domestica 'Nana Purpurea'	Dwarf Sacred Bamboo	M	6	15 gal.	3' O.C.
PhFr	Photonia x fraseri	Fraser Photinia	M	17	15 gal.	5' O.C.
PiTo	Pittosporum tobira	Japanese Mock Orange	L	7	15 gal.	5' O.C.
RhIn	Rhaphiolepis indica	Indian Hawthorn	L	3	15 gal.	5' O.C.
RoOf	Rosmarinus officinalis 'Benenden Blue'	Rosemary	L	4	15 gal.	4' O.C.
TeFr	Teucrium fruticans 'Azureum'	Azureum Bush Germander	L	3	15 gal.	4' O.C.
PERENNIAL and GROUNDCOVER						
AcMo	Achillea 'Moonshine'	Moonshine Yarrow	L	19	5 gal.	2' O.C.
AgAt	Agave attenuata	Fox Tail Agave	L	8	15 gal.	5' O.C.
AnBi	Anigozanthos 'Big Red'	'Big Red 'Kangaroo Paw	L	11	5 gal.	2.5' O.C.
AsDe	Asparagus densiflorus	Foxtail Fern	M	21	15 gal.	3' O.C.
ClMi	Clivia miniata	Clivia	M	6	5 gal.	2' O.C.
EuCh	Euphorbia characias 'wulfenii '	Euphorbia	L	1	5 gal.	4' O.C.
EuMy	Euphorbia myrsinites	Euphorbia	L	10	5 gal.	2' O.C.
FeGl	Festuca glauca 'Elijah Blue'	'Elijah Blue' Fescue	L	40	5gal.	18" O.C.
	Carex pansa	California Meadow Sedge	L	514	1 gal.	18" O.C.
HaMa	Hakonechloa macra	Golden Japanese Forest Grass	M	9	5 gal.	3' O.C.
LaMo	Lantana montevidensis 'Gold Mount'	Lantana	M	8	5 gal.	3' O.C.
PePi	Penstemon pinifolius	Bear Tongue	L	15	5 gal.	2' O.C.
PeSe	Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	M	13	15 gal.	3' O.C.
PhDa	Phormium 'Dark Delight'	'Dark Delight' New Zealand Flax	L	6	15 gal.	3' O.C.
SeMa	Senecio Mandralscae	Blue Chalk Sticks	L	13	5 gal.	18" O.C.
StBy	Stachys byzantina 'Silver Carpet'	Lamb's Ears	L	13	5 gal.	2' O.C.
	90% Tall Fescue & 10% Kentucky Bluegrass Blend	Sod Lawn	M	989 SF		
VINE						
FiPu	Ficus pumila	Creeping Fig	M	3	5 gal.	4' O.C.

* WUCOLS water usage level: H-High, M-Moderate, L-Low and VL-Very Low

REN
RESIDENCE

446 S. CLARK AVENUE
LOS ALTOS, CA
APN: 189-52-065

YH
LANDSCAPE DESIGN

3357 SAINT MICHAEL CT
PALO ALTO, CA 94306
TEL: (415) 694-0800

LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

DATE:	SEPTEMBER 12, 2018
SCALE:	AS SHOWN
DRAWN:	YH
JOB:	

SHEET TITLE:

PLANTING SCHEDULE
& PLANT PHOTOS

SHEET NO.