

### GENERAL NOTES

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REGULATORY AGENCIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
  - 2016 CALIFORNIA BUILDING CODE
  - 2016 CALIFORNIA RESIDENTIAL CODE
  - 2016 CALIFORNIA MECHANICAL CODE
  - 2016 CALIFORNIA ELECTRICAL CODE
  - 2016 CALIFORNIA PLUMBING CODE
  - 2016 CALIFORNIA GREEN BUILDING CODE
  - 2016 CALIFORNIA FIRE CODE
  - 2016 INTERNATIONAL PROPERTY MAINTENANCE CODE
  - 2016 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS
- 2. THE CONTRACT DOCUMENTS ARE COMPLIMENTARY. DRAWINGS ARE NOT TO BE SCALED. PROVIDE ITEMS SHOWN OR REFERRED TO ON ONE DRAWING OR SPECIFICATION SECTION AS THOUGH SHOWN ON ALL DRAWINGS AND/OR SPECIFICATIONS.
- 3. SECURE AND PAY FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- 4. MAKE ALL FIELD MEASUREMENTS AND INVESTIGATIONS NECESSARY TO PERFORM THE WORK.
- 5. VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, IRRIGATION AND LIGHTING EQUIPMENT (INCLUDING ALL PIPING, DUCT AND CONDUIT ROUTING) AND THAT ALL REQUIRED CLEARANCES FOR THE INSTALLATION AND MAINTENANCE OF EQUIPMENT ARE PROVIDED.
- 6. ANY/ALL EXISTING UTILITIES REMOVED SHALL BE TERMINATED BACK TO THE NEAREST USEFUL SOURCE OR REROUTED AS NECESSARY (TYPICAL).
- 7. ERECT AND INSTALL ALL WORK LEVEL, PLUMB, SQUARE, TRUE, STRAIGHT AND IN PROPER ALIGNMENT.
- 8. ONLY NEW ITEMS OF RECENT MANUFACTURE, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REMOVE REJECTED ITEMS IMMEDIATELY FROM THE WORK AND REPLACE WITH THE ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE THE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE SUBCONTRACTOR FOR THE QUALITY AND CHARACTER FOR THE ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE SUBCONTRACT.
- 9. PROVIDE WOOD OR METAL BLOCKING AS REQUIRED IN WALLS, BEHIND WALL-HUNG SHELVES, CASEWORK, PANEL BOARDS, ETC., INCLUDING N.I.C. ITEMS.
- 10. WHEN PROJECT IS COMPLETE, CLEAN AND POLISH ALL NEW GLASS, HARDWARE, AND OTHER SUCH ITEMS WITH FACTORY FINISHES. REMOVE ALL DUST WITH TREATED CLOTH OR VACUUM CLEANERS.
- 11. ALL DIMENSIONS ARE TO FACE OF WALL OR FACE OF CONCRETE U.O.N.

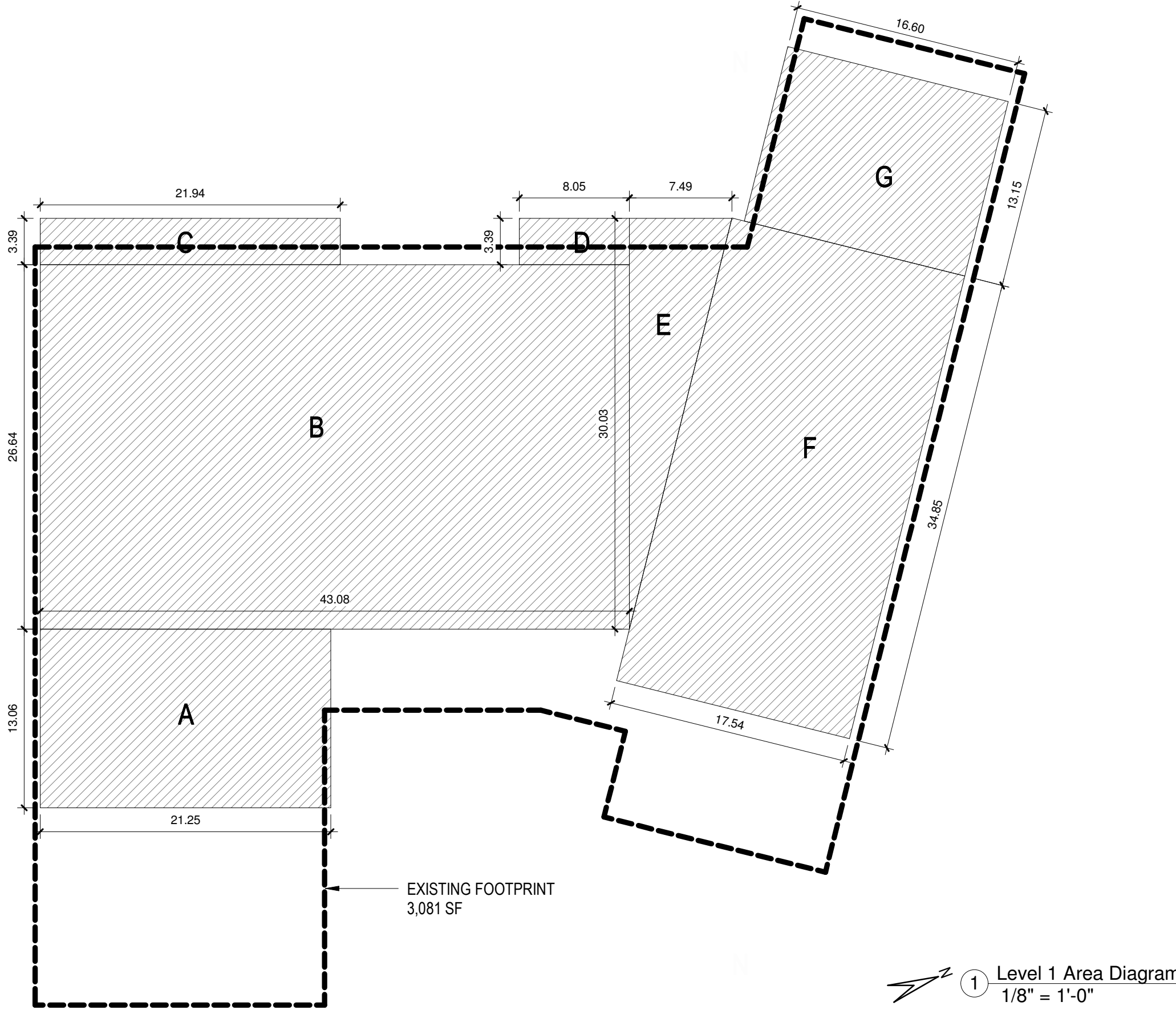
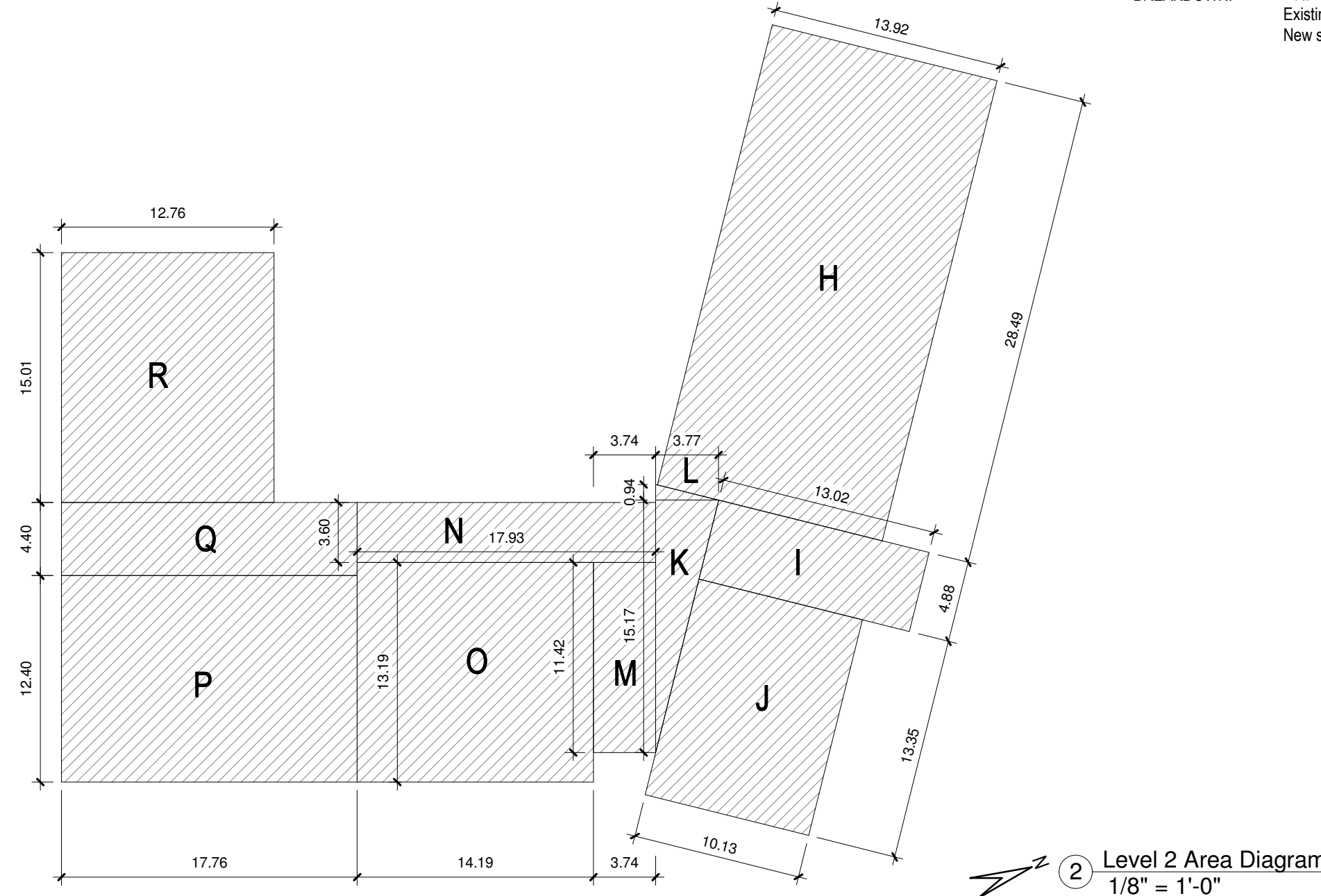
LIFE SAFETY NON-INFRINGEMENT STATEMENT  
The building renovations shown on the drawings under my responsible charge do not affect the design or operation of existing smoke management systems.

### CALGREEN NOTES

- 1. SECTION CGBC 4.507.2. HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED USING THE:
  - A) THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSIACCA 2 MANUAL J - 2011 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
  - B) DUCT SYSTEMS ARE SIZED ACCORDING TO ANSIACCA 1 MANUAL D - 2014 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
  - C) SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSIACCA 3 MANUAL S - 2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTIONS ARE ACCEPTABLE.
- 2. SECTION CGBC 4.406.1. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.
- 3. SECTION CGBC 4.504.1. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR INTAKE AND DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED. TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS ENTERING THE SYSTEM MAY BE USED.
- 4. SECTION CGBC 4.504.2.1. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY:
  - A) ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAQMD RULE 1188 VOC LIMITS, AS SHOWN IN TABLES 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS SHALL ALSO COMPLY WITH RULE 1188 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION B) BELOW.
  - B) AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF THE CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 17, COMMENCING WITH SECTION 94507.
- 5. SECTION CGBC 4.504.2.2. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37, OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT, OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.
- 6. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN SECTION 4.504.3
- 7. MIN 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH CALGREEN SECTION 4.504.4
- 8. PARTICLEBOARD, MDF AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
- 9. SECTION CGBC 4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING:
  - A) MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.
  - B) MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET TO 4 FEET FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED.
  - C) AT LEAST 3 RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING.INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.

### ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM APPROXIMATE
A/V	AUDIOVISUAL
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
B.O.	BOTTOM OF
BTWN.	BETWEEN
CL.G.	CEILING
CLKG.	CAULKING
CLOS.	CLOSET
CLR.	CLEAR
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONSR.	CONSTRUCTION
CONT.	CONTINUOUS
CORR.	CORRIDOR
CTR.	CENTER
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
D.O.	DOOR OPENING
DWG.	DRAWING
DWR.	DRAWER
(E)	EXISTING
E.J.	EXPANSION JOINT
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMER.	EMERGENCY
ENGR.	ENGINEER
ENR.	ENGINEER
EST.	ESTIMATED
EQ.	EQUAL
EQPT	EQUIPMENT
EXT.	EXTERIOR
F.E.C.	FIRE EXTINGUISHER CABINET
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH
FL.	FLOOR
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.P.	FACE OF PLYWOOD
F.O.S.	FACE OF STUD
FRN.	FURNACE
FT.	FOOT OR FEET
FURR.	FURRING
FUT.	FUTURE
GA.	GAUGE
GALV.	GALVANIZED
G.C.	GENERAL CONTRACTOR
GENL.	GENERAL
GW.B.	GYPSSUM WALL BOARD
CYP.	GYPSSUM
H.B.	HOSE BIB
H.C.	HANDICAPPED
H.M.	HOLLOW METAL
HOR.	HORIZONTAL
HR.	HOUR
HT.	HEIGHT
HW.	HOT WATER HEATER
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOINT
KIT.	KITCHEN
LAM.	LAMINATE
LAV.	LAVATORY
MAX.	MAXIMUM
M.D.F.	MEDIUM DENSITY FIBERBOARD
MECH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
(N)	NEW
N.I.C.	NOT IN CONTRACT
NOM	NOMINAL
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
PLY.	PLYWOOD
PT.	POINT
REQ.	REQUIRED
R.O.	ROUGH OPENING
S.C.D.	SEE CIVIL DRAWINGS
SCHD.	SCHEDULE
S.E.D.	SEE ELECTRICAL DRAWINGS
S.F.	SQUARE FEET
SIM.	SIMILAR
S.M.D.	SEE MECHANICAL DRAWINGS
SPEC.	SPECIFICATION
S.S.D.	SEE STRUCTURAL DRAWINGS
SST.	STAINLESS STEEL
STL.	STEEL
STOR.	STORAGE
STR.	STRUCTURAL
T&G	TONGUE AND GROOVE
TEL.	TELEPHONE
TEMP.	TEMPORARY
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.L.	UNDERWRITERS LABORATORY
U.O.N.	UNLESS OTHERWISE NOTED
V.C.T.	VINYL COMPOSITE TILE
V.F.	VERIFY IN FIELD
W.C.	WHERE OCCURS
W.O.	WHERE OCCURS



#### ZONING COMPLIANCE

LOT COVERAGE:	EXISTING	PROPOSED	ALLOWED/REQUIRED
	2747 sf	2469 sf	3401 sf
	24 %	22 %	30%

FLOOR AREA:	EXISTING	PROPOSED	ALLOWED/REQUIRED
1st Flr:	2747 sf	2469 sf	3884 sf
2n Flr: 0sf		2n Flr:	1412 sf
Total:	2747 sf	Total:	3881 sf
	24%		34%

SETBACKS:	EXISTING	PROPOSED	ALLOWED/REQUIRED
Front:	34 ft	51'-1" ft	25 ft
Rear:	26 ft	27'-11" ft	25 ft
Right Side:	9'-9" ft	10'-3" ft / 17'-6" ft	10 ft / 17'-6" ft
Left Side:	9'-9" ft	10'-0" ft / 17'-6" ft	10 ft / 17'-6" ft

#### SQUARE FOOTAGE BREAKDOWN

HABITABLE LIVING AREA:	EXISTING	PROPOSED	TOTAL PROPOSED
	2,747 sf	1,134 sf	3,881 sf

NON-HABITABLE AREA:	EXISTING	PROPOSED	TOTAL PROPOSED
	0 sf	0 sq ft	0 sf

#### LOT CALCULATIONS

NET LOT AREA:	11,338 sf
FRONT YARD HARDSCAPE AREA:	356 sf (1748 sf) 20 %

LANDSCAPING BREAKDOWN:			
Total hardscape area (existing and proposed):	4,860 sf		
Existing softscape (undisturbed) area:	5,601 sf		
New softscape (new or replaced landscaping) area:	877 sf		

Section	Dimensions	Area
A	13.06' x 21.25'	277.53 sf
B	26.64' x 43.08'	1,147.65 sf
C	3.39' x 21.94'	74.38sf
D	3.39' x 8.05'	27.29 sf
E	(7.49' x 30.03') / 2	112.46 sf
F	17.54' x 34.85'	611.27 sf
G	13.15' x 16.60'	218.29 sf

FIRST STORY SUBTOTAL = 2,469 sf

Section	Dimensions	Area
H	13.92' x 28.49	396.58 sf
I	4.88' x 13.02'	63.54 sf
J	10.13' x 13.55'	137.26 sf
K	(3.77' x 15.17') / 2	28.6 sf
L	(94' x 3.77') / 2	1.77 sf
M	3.74' x 11.42'	42.71 sf
N	3.6' x 17.93'	64.55 sf
O	13.19' x 14.19'	187.17 sf
P	12.4' x 17.76'	220.22 sf
Q	4.4' x 17.76'	78.14 sf
R	12.76' x 15.01'	191.53 sf

SECOND STORY SUBTOTAL = 1,412 sf  
TOTAL GROSS SF = 3,881

### PROJECT SUMMARY

DEMOLISH (E) HOUSE, AND CONSTRUCT (N) TWO-STORY HOUSE WITH BASEMENT. (N) BUILDING FOOTPRINT TO BE IN SIMILAR LOCATION TO MINIMIZE SITE IMPACT.

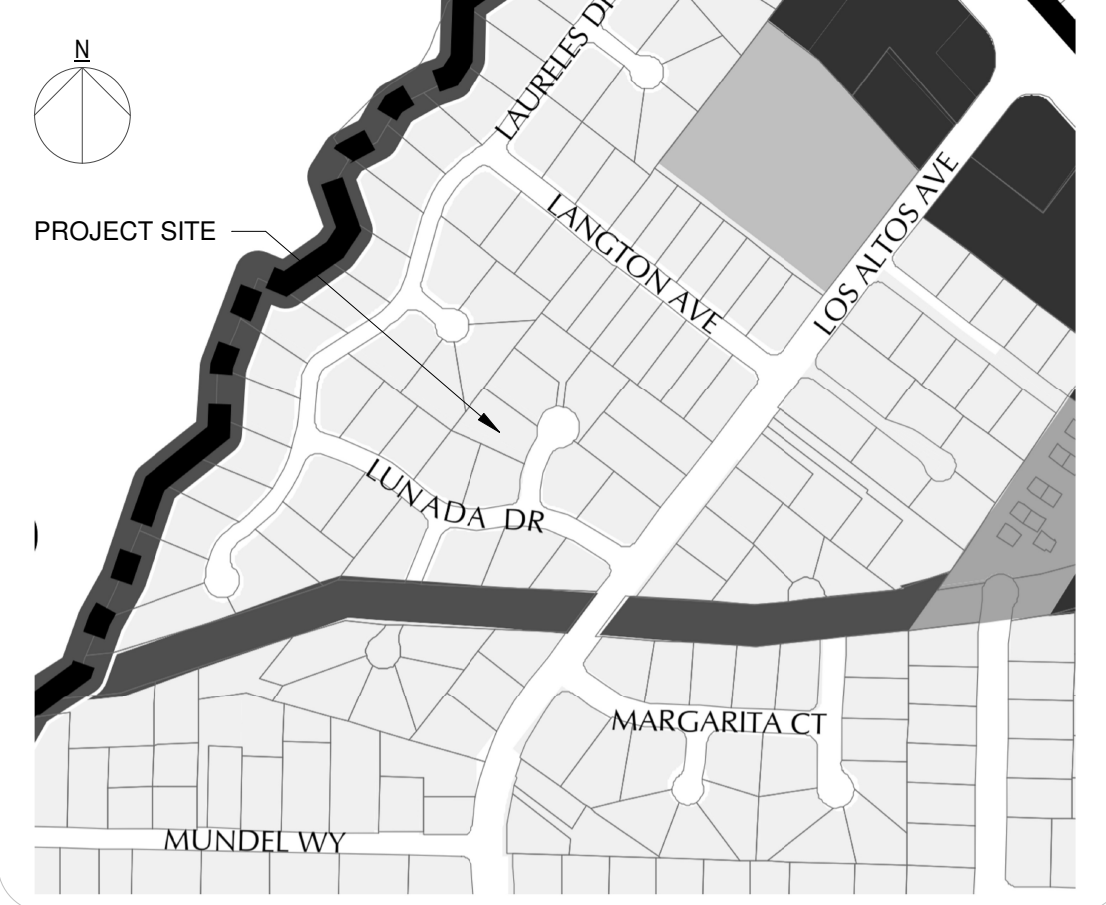
### PROJECT BACKGROUND

ADDRESS: 351 LUNADA CT LOS ALTOS, CA  
BLOCK/LOT/APN: 167-10 / 67  
ZONING: R1-10 SINGLE FAMILY  
USE: RESIDENTIAL  
LOT AREA: 11,338 SF  
UNITS: 1  
BEDROOMS: 6  
BATHROOMS: 3 Full 2 Half  
STORIES: 2 STORY  
MAX HEIGHT: 21'- 6"  
OCCUPANCY GROUP: R-3  
CONSTRUCTION TYPE: VB  
ALLOWABLE AREA/FAR: 3850 SF + 34 SF ((11,338 SF - 11,000 SF)10%) = 3884 SF  
BUILDING AREA: L1 2,469 SF + L2 1,412 SF = 3,881 SF  
LOT COVERAGE: 2,469 SF (22%) OPEN SPACE: 8,869 SF  
PARKING STALLS: 2  
SPRINKLERED: YES - UNDER SEPERATE PERMIT  
PRESERVATION: NO

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A06	(N) GROUND FLOOR PLAN
A07	(N) SECOND FLOOR PLAN
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A09	(E) ELEVATIONS
A10	(N) ELEVATIONS
A11	(N) ELEVATIONS
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### LOCATION MAP



### SYMBOLS

LOBBY	ROOM NAME	N	TRUE NORTH	EP	ELECTRICAL PANEL					
101	ROOM LEVEL/NUMBER	North Arrow		EP	(N) SPOT ELEVATION					
1 SA	COLUMN GRID LINE			RE	(N) FINISH GRADE					
1	DETAIL NUMBER	DASHED LINE IN DEMO PLAN	INDICATE ELEMENT TO BE REMOVED	RE	(E) EXISTING GRADE					
A3	DRAWING NUMBER	VIEW DIRECTION			TR	(N) FINISHED CONTOUR				
2	DETAIL NUMBER	VIEW DIRECTION			TR	(E) CONTOURS				
3	KEY NOTE				WB	WATER HEATER				
G02	GLASS TYPE				FR	FURNACE				
P 01	TYPE OF FINISH FINISH/NUMBER				V	VENTILATION				
					CM	CARBON MONOXIDE ALARM				
					SA	SMOKE ALARM				
							FD	FLOOR DRAIN		
								RD	ROOF DRAIN	
								OD	OVERFLOW DRAIN	
								CB	CATCH BASIN	
								AD	AREA DRAIN	
										DUPEX



OWNER/MASTER TENANT  
JAMES & JANTHIMA LAUDON  
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No.	Description	Date
1	SITE PERMIT SET	10/08/2018

### PROJECT INFORMATION

# A00

2/11/2019 11:45:11 AM



**Laudon  
Residence**  
351 LUNADA CT  
LOS ALTOS, CA

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No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE 1" = 20'-0"

**NEIGHBORHOOD  
CONTEXT MAP**  
**A00.1**

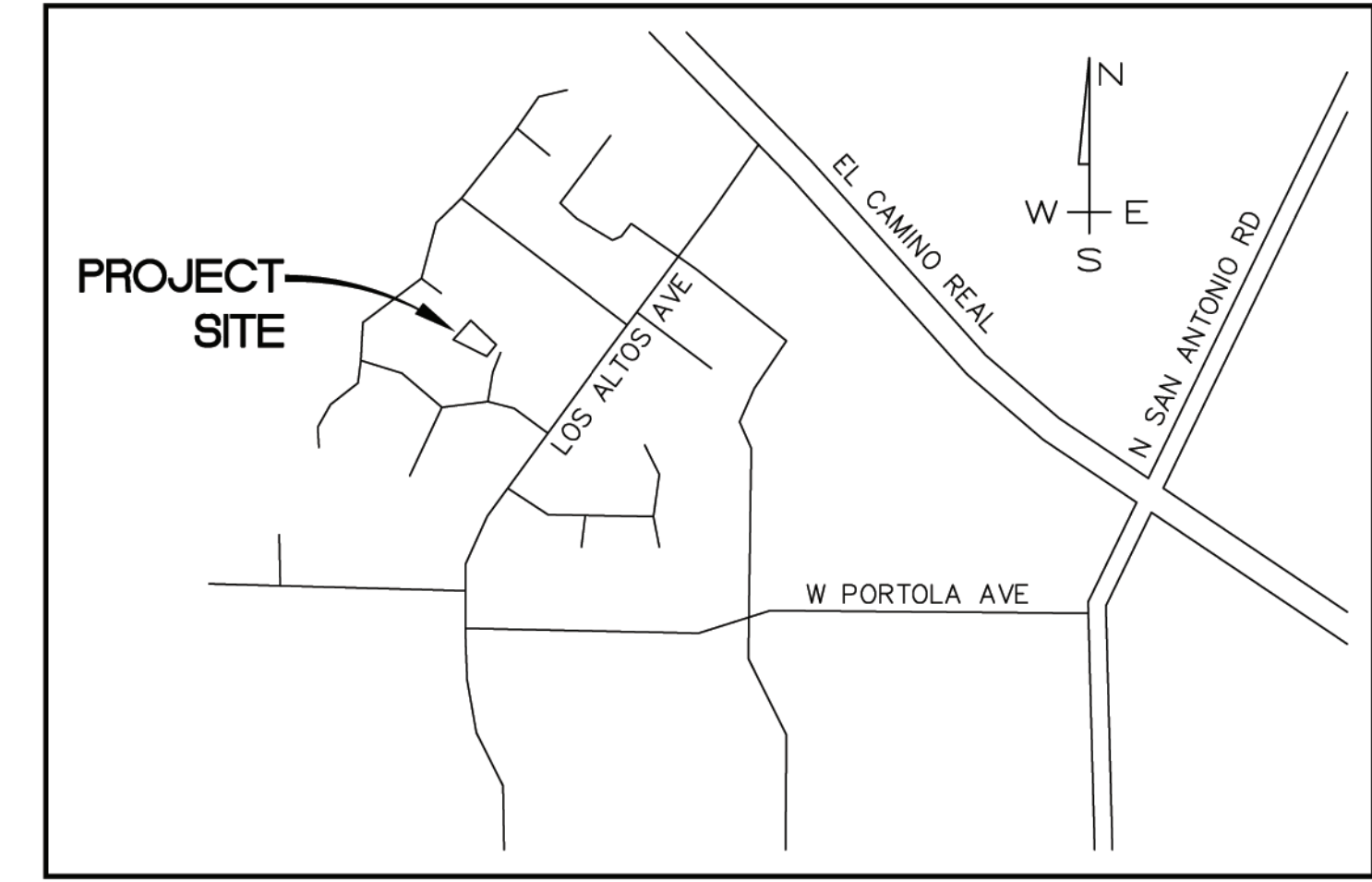
**GENERAL NOTES**

BOUNDARY LINES SHOWN HEREON ARE DELINEATED FROM RECORD DATA ONLY AND DOES NOT CONSTITUTE A BOUNDARY SURVEY.

UTILITIES SHOWN HEREON ARE BASED UPON PHYSICAL FEATURES OBSERVED AT THE TIME OF THE SURVEY. LOCATION OF UNDERGROUND UTILITIES SHALL BE PERFORMED BY A SUBSURFACE UTILITY LOCATING COMPANY (IF DESIRED).

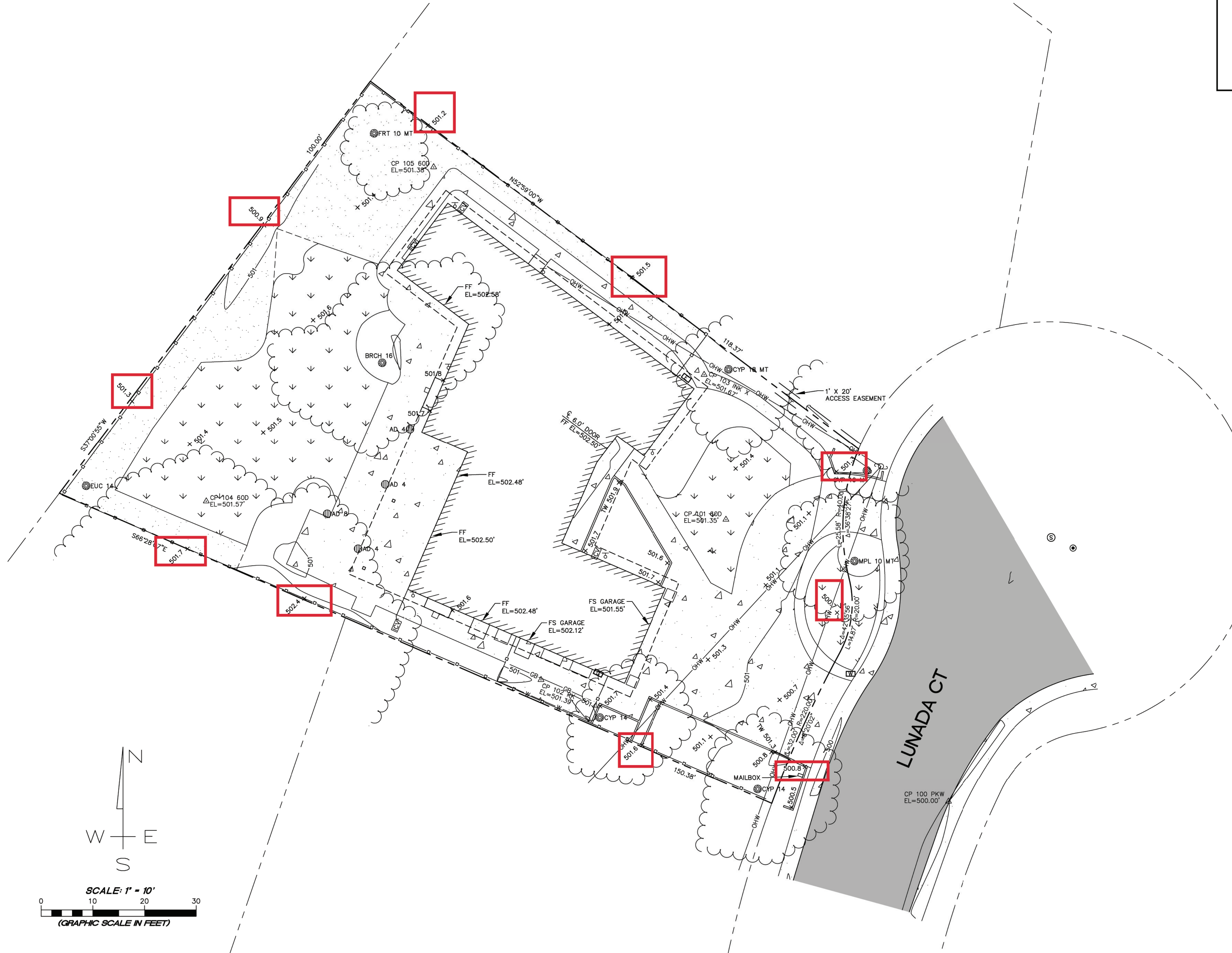
BASIS OF BEARINGS: N20°22'07"E  
BETWEEN TWO FOUND 2" BRASS DISK STREET MONUMENTS, AS SHOWN ON THE RECORD OF SURVEY RECORDED IN BOOK 133 OF RECORDS OF SURVEYS, AT PAGE 36, SANTA CLARA COUNTY RECORDS

ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED DATUM.  
BENCHMARK CONTROL POINT #100 SET PK NAIL AND WASHER CONTROL POINT.  
ELEVATION = 500.00'



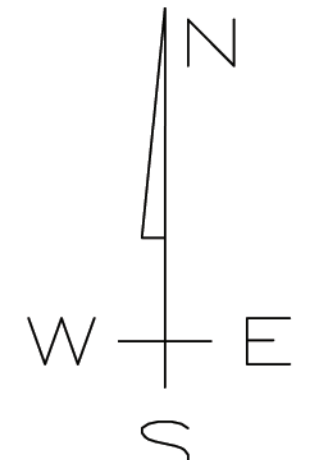
**LOCATION MAP**

NO SCALE

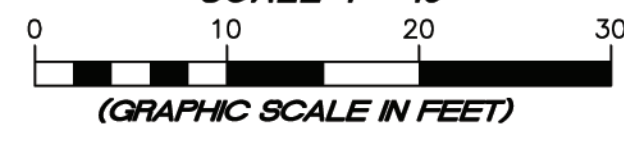


**LEGEND**

- RECORD BOUNDARY LINE
- RECORD ADJOINING BOUNDARY LINE
- RECORD EASEMENT LINE
- EDGE OF CONCRETE
- GB --- GB --- GRADE BREAK
- BUILDING OVERHANG
- BUILDING ENVELOPE
- WOOD FENCE
- OHW --- OVERHEAD WIRE
- TREE DRIP LINE
- ASPHALT CONCRETE SURFACE
- GRAVEL SURFACE
- CONCRETE SURFACE
- GRASS
- ICV IRRIGATION VALVE
- HOSE BIB
- POWER/Joint POLE
- WM WATER METER
- EM ELECTRIC METER
- GM GAS METER
- SM SEWER MANHOLE
- AD AREA DRAIN
- CP 3 EL=100 CONTROL POINT
- FOUND 2" BRASS DISK W/PUNCH IN MONUMENT WELL
- SPOT ELEVATION
- xTW 150.5 TOP OF WALL ELEVATION
- BO 24" TREE-TYPE & DIAMETER
- CYP CYPRESS TREE
- MPL MAPLE TREE
- FRT FRUIT TREE
- FF FINISHED FLOOR
- FS FINISHED SLAB
- DI DROP INLET
- AD AREA DRAIN
- SS SANITARY SEWER
- TW TOP OF WALL
- BW BOTTOM OF WALL



SCALE: 1" = 10'



(GRAPHIC SCALE IN FEET)

REVISION	DESCRIPTION	BY	DATE

**DVC GROUP INC.**  
PLANNING • ENGINEERING • SURVEYING  
219 SHORELINE HIGHWAY  
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(707) 395-0868



STEVEN J. KLEIN  
PLS 8155  
DATE 10/01/2018

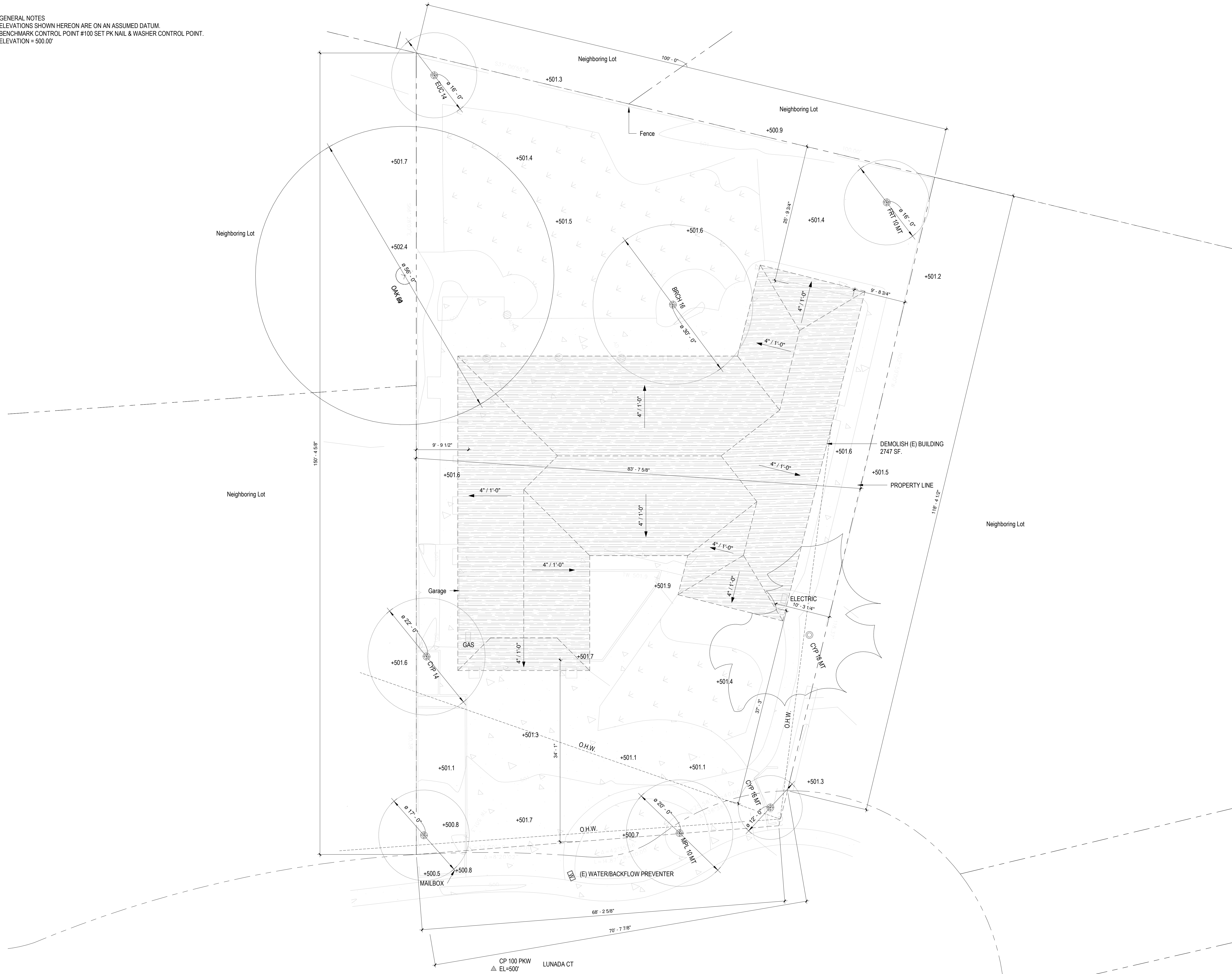
**351 LUNADA CT**  
**TOPOGRAPHIC MAP**  
APN 167-010-064  
351 LUNADA CT  
LOS ALTOS, CA

OCTOBER 2018

JOB NO. 68-18

SHEET NO. **1**  
OF 1 SHEETS

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 ELEVATION = 500.00'



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No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE 1/8" = 1'-0"

EXISTING/DEMO SITE PLAN

**A02.1**

GENERAL NOTES  
 ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED DATUM.  
 BENCHMARK CONTROL POINT #100 SET PK NAIL & WASHER CONTROL POINT.  
 ELEVATION = 500.00'



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 351 LUNADA CT  
 LOS ALTOS, CA

**OWNER/MASTER TENANT**  
 JAMES & JANTHIMA LAUDON  
 351 LUNADA CT  
 LOS ALTOS, CA

**DESIGNER**  
 OGLE DESIGN  
 535 MISSION ST FL14  
 SAN FRANCISCO, CA 94105  
 P. 415 378 3016

**STRUCTURAL ENGINEER**  
 ASHLEY & VANCE ENGINEERING  
 1729 TELEGRAPH AVE SUITE B  
 OAKLAND, CA 94612  
 P. 510 473 2221

**LANDSCAPE**  
 DUNE  
 1509 CURTIS ST  
 BERKELEY, CA 94702  
 P. 281 451 7333

**CIVIL ENGINEERING**  
 DVC GROUP  
 219 SHORLINE HIGHWAY  
 MILL VALLEY, CA 94941  
 P. 707 395 0968

**SURVEY**  
 DVC GROUP  
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 MILL VALLEY, CA 94941  
 P. 707 395 0968

No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE 1/8" = 1'-0"

(N) SITE PLAN

**A02.2**

GENERAL NOTES  
 ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED DATUM.  
 BENCHMARK CONTROL POINT #100 SET PK NAIL & WASHER CONTROL POINT.  
 ELEVATION = 500.00'



IN PARTNERSHIP WITH



CIVIL ENGINEERING LAND PLANNING

Planning  
 Civil Engineering  
 Project Management  
 Construction Management  
 Surveying  
 Entitlements  
 Concept Design  
 Feasibility Studies

MILL VALLEY OFFICE  
 219 Shoreline Hwy.  
 Mill Valley, CA 94941  
 Phone (707) 395-0968  
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 dan@dvcgroup.net  
 www.dvcgroup.net

HEALDSBURG OFFICE  
 515 Center St.  
 Healdsburg, CA 95448  
 Phone (707) 395-0968  
 Cell (707) 280-0474  
 dan@dvcgroup.net  
 www.dvcgroup.net

January 9, 2019

To whom it may concern:

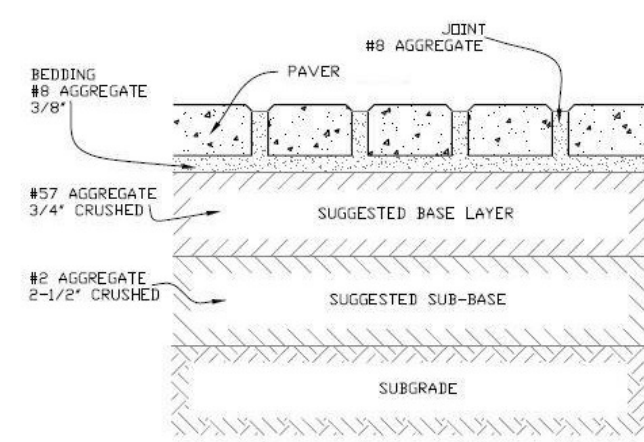
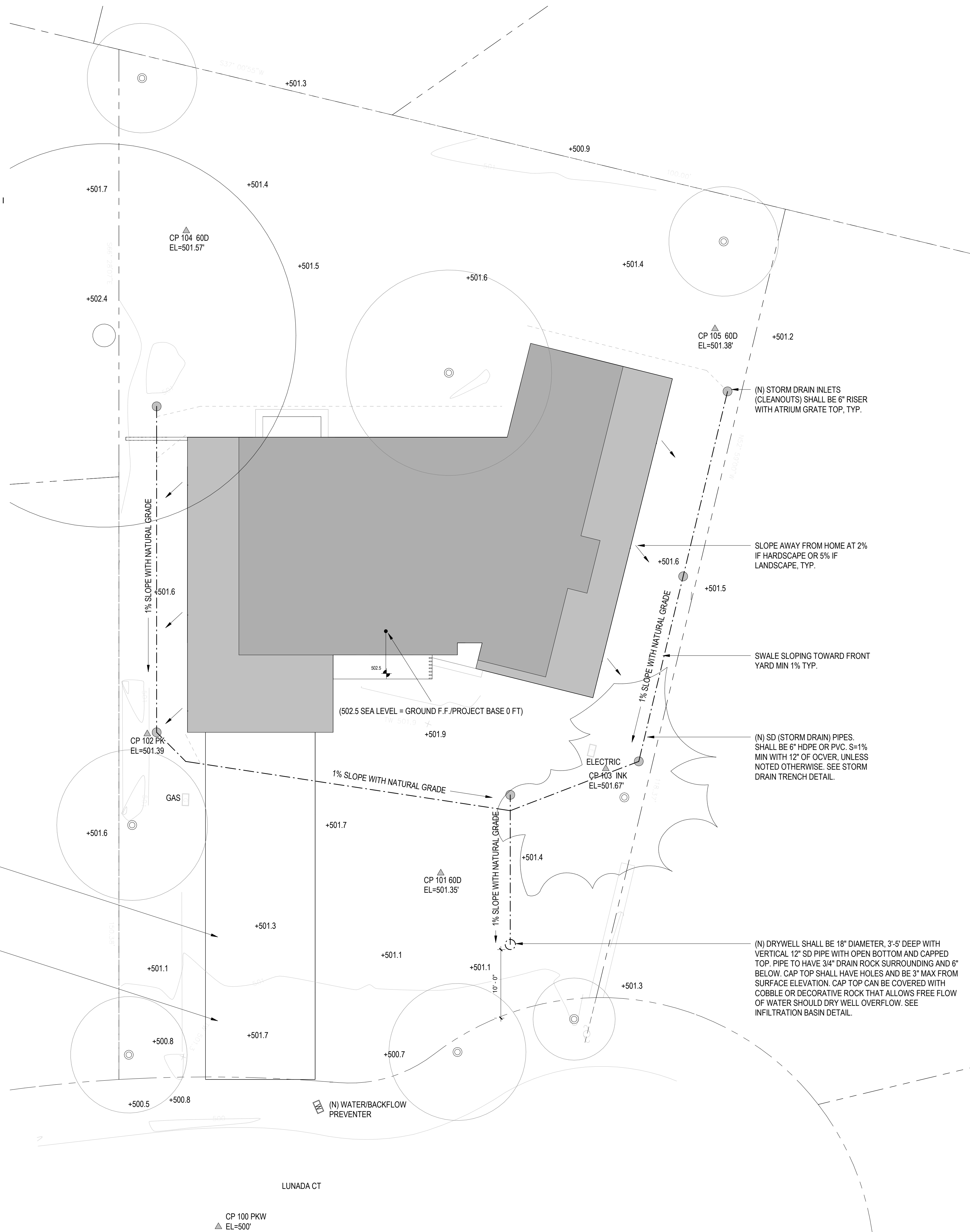
Re: Drainage plan review

I, Dan Hughes, a registered Professional Engineer in the State of California, have reviewed the plan prepared by Ogle Design entitled A03 (N) Grading and Drainage Plan. I believe the plan provides drainage design (elevations and proposed facilities) adequate for preliminary/planning purposes.

Please contact me with any further questions or if more information is required.

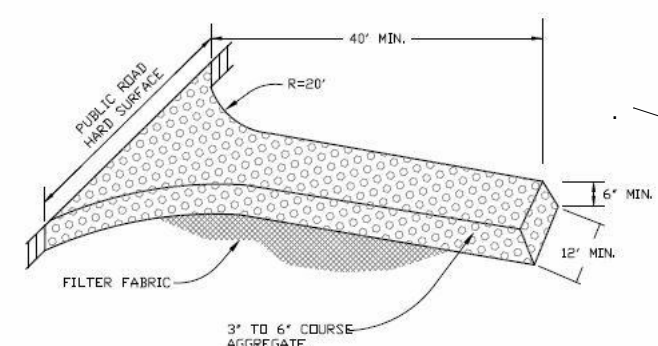
Thank you,

Daniel J. Hughes  
 RCE #60225  
 License Expires 6/30/20

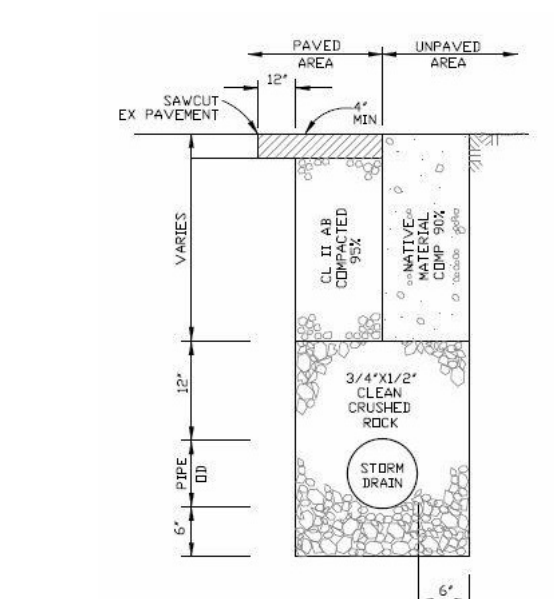


NOTES:  
 1. PERMEABLE PAVING FOR VEHICULAR TRAFFIC SHALL CONFORM TO ASTM C936 SPECIFICATIONS (5000 PSI COMPRESSIVE STRENGTH).

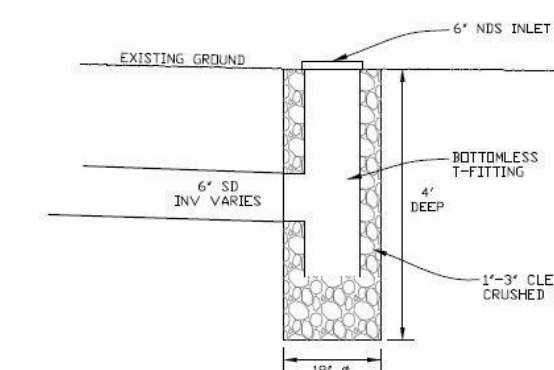
PERMEABLE PAVING  
 NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE  
 NOT TO SCALE



STORM DRAIN TRENCH  
 NOT TO SCALE



INFILTRATION BASIN  
 NOT TO SCALE

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LANDSCAPE  
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No.	Description	Date
1	SITE PERMIT SET	10/08/2018

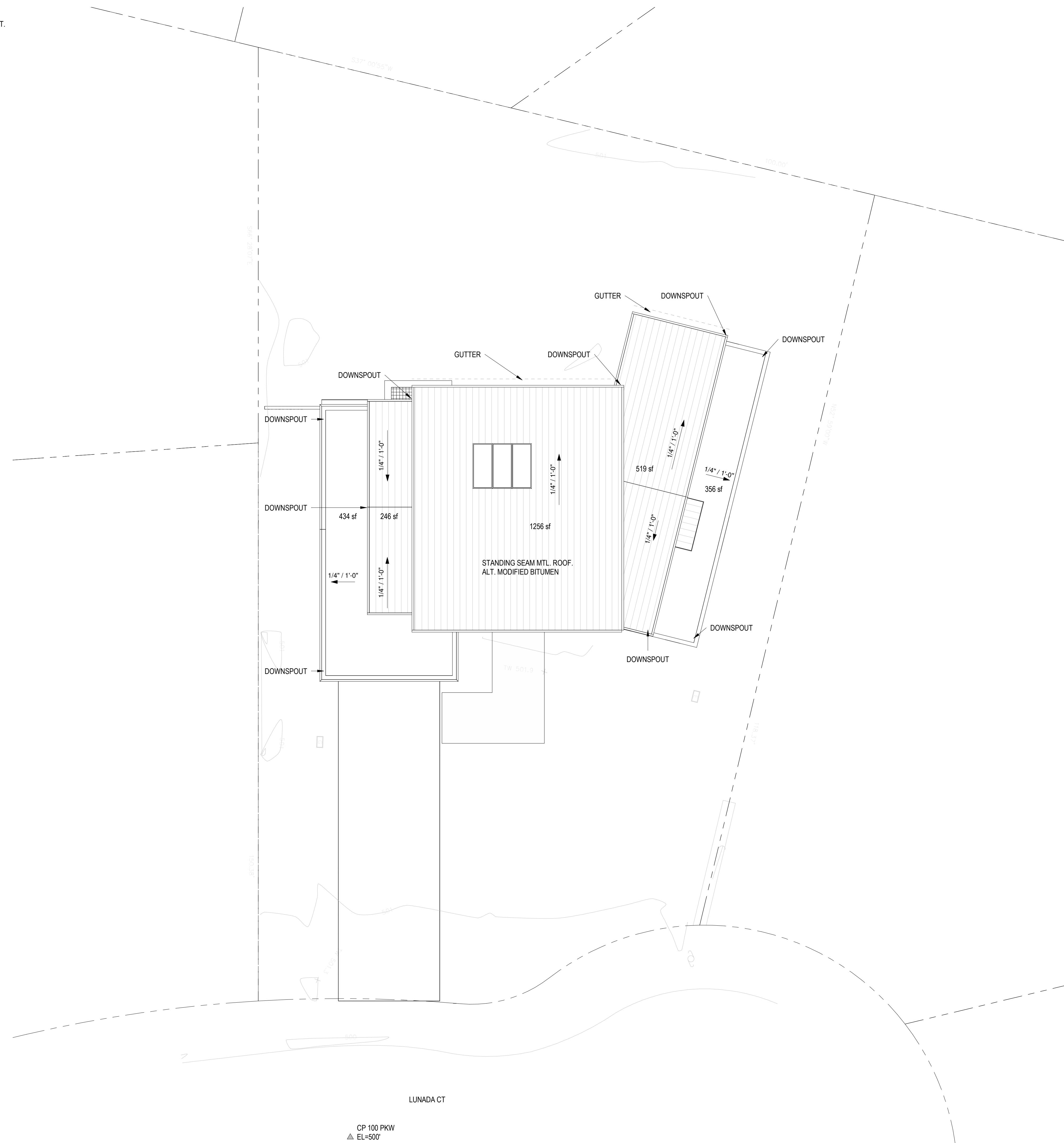
SCALE 1/8" = 1'-0"

(N) GRADING & DRAINAGE PLAN

A03

2/11/2019 1:07:34 PM

GENERAL NOTES  
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 ELEVATION = 500.00'



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No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE 1/8" = 1'-0" 

(N) ROOF PLAN

**A04**

CP 100 PKW  
 ▲ EL=500'

2/11/2019 11:45:13 AM



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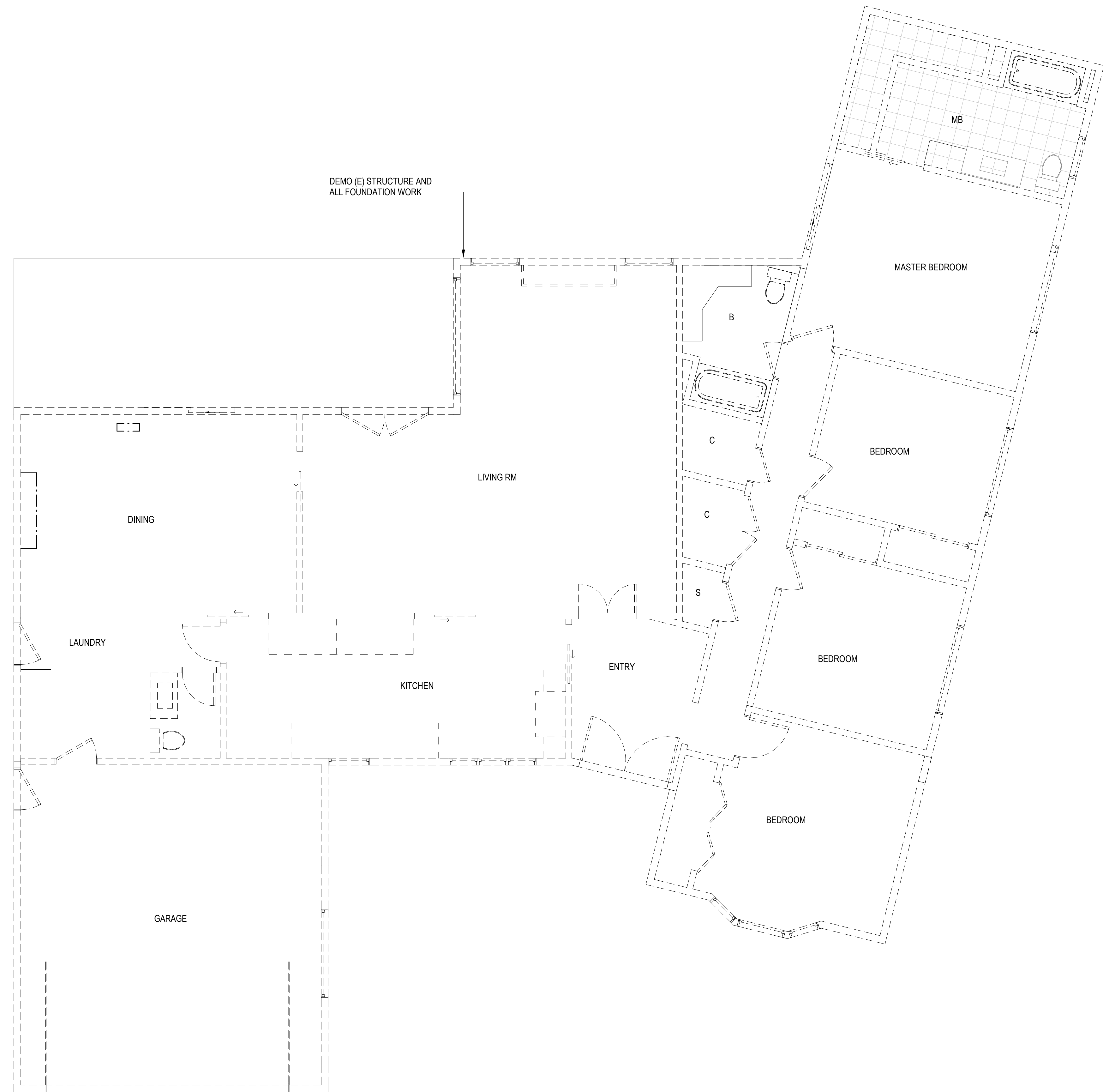
**SURVEY**  
DVC GROUP  
219 SHORLINE HIGHWAY  
MILL VALLEY, CA 94941  
P. 707 395 0968

No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE 1/4" = 1'-0" 

(E) GROUND FLOOR PLAN

# A05







**Laudon  
Residence**  
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**LANDSCAPE**  
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**CIVIL ENGINEERING**  
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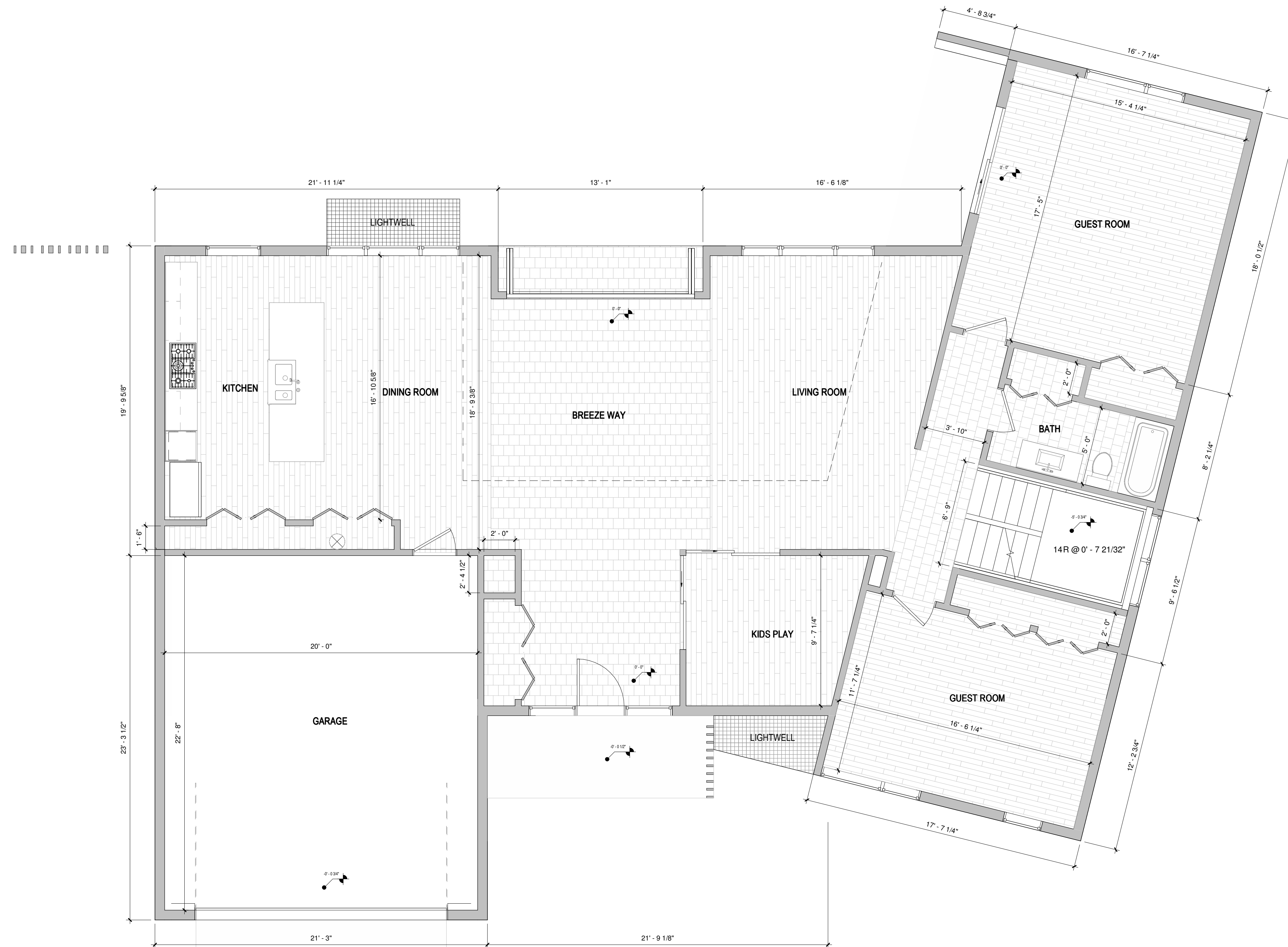
**SURVEY**  
DVC GROUP  
219 SHORLINE HIGHWAY  
MILL VALLEY, CA 94941  
P. 707 395 0968

No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE 1/4" = 1'-0" 

(N) GROUND FLOOR PLAN

**A06**





**Laudon  
Residence**  
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LOS ALTOS, CA

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LOS ALTOS, CA

**DESIGNER**  
OGLE DESIGN  
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**STRUCTURAL ENGINEER**  
ASHLEY & VANCE ENGINEERING  
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No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE 1/4" = 1'-0"



(N) SECOND FLOOR PLAN

**A07**





# Laudon Residence

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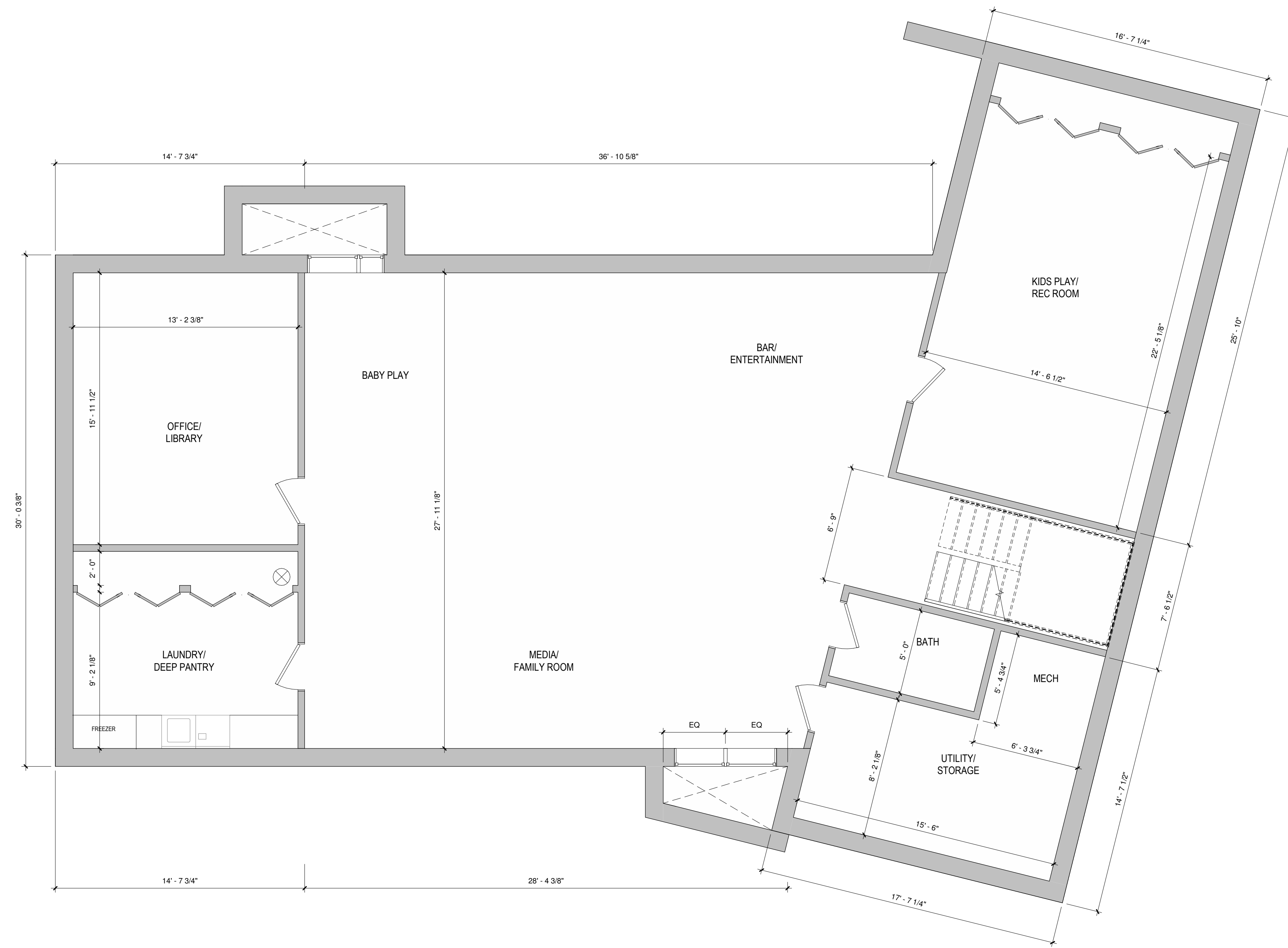
**STRUCTURAL ENGINEER**  
ASHLEY & VANCE ENGINEERING  
1729 TELEGRAPH AVE SUITE B  
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**LANDSCAPE**  
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No.	Description	Date
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SCALE 1/4" = 1'-0"



(N) BASEMENT

# A08



# Laudon Residence

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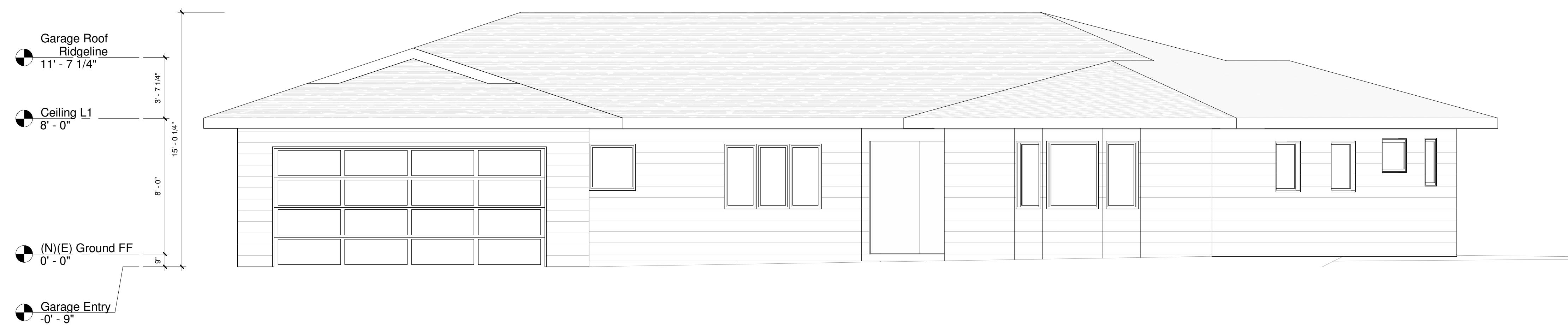
**SURVEY**  
DVC GROUP  
219 SHORLINE HIGHWAY  
MILL VALLEY, CA 94941  
P. 707 395 0968

No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE 1/4" = 1'-0"

(E) ELEVATIONS

# A09





# Laudon Residence

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LOS ALTOS, CA

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**SURVEY**  
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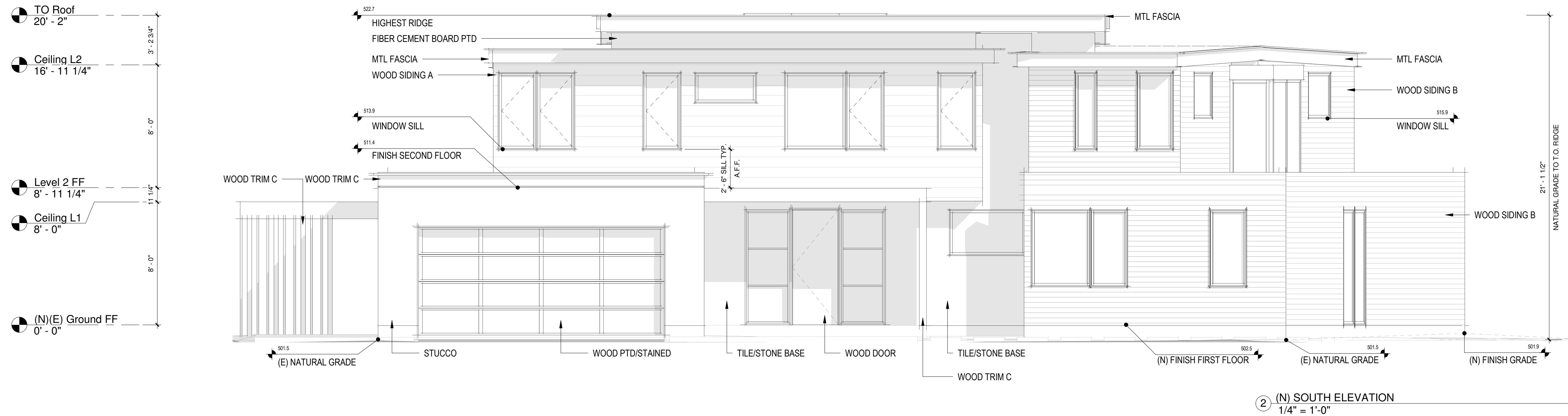
No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE 1/4" = 1'-0"

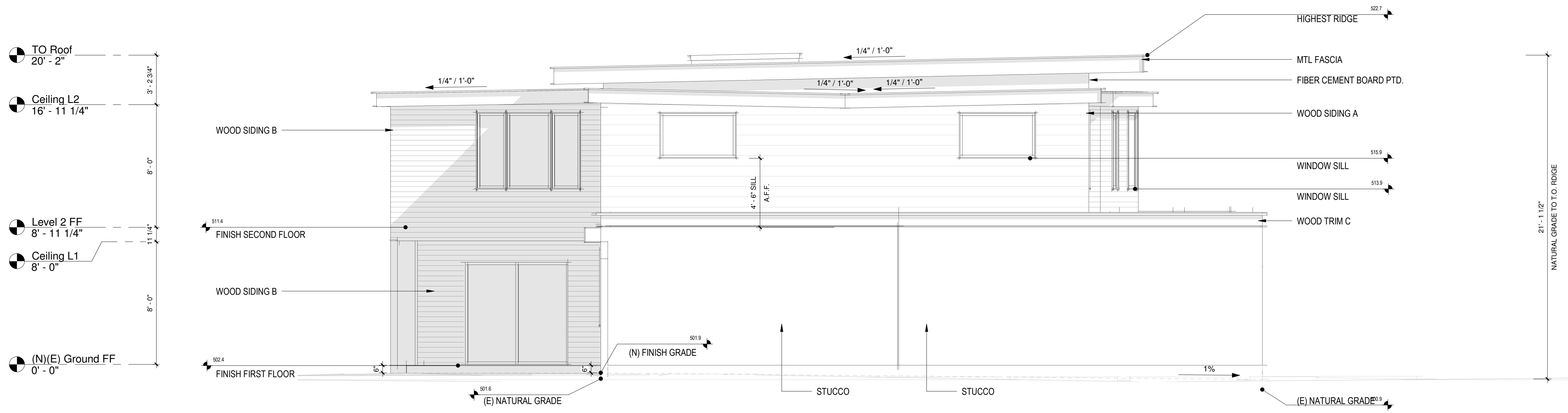
(N) ELEVATIONS

# A10

2/11/2019 11:45:24 AM



② (N) SOUTH ELEVATION  
1/4" = 1'-0"



① (N) WEST ELEVATION  
1/4" = 1'-0"



# Laudon Residence

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OGLE DESIGN  
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DUNE  
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**SURVEY**  
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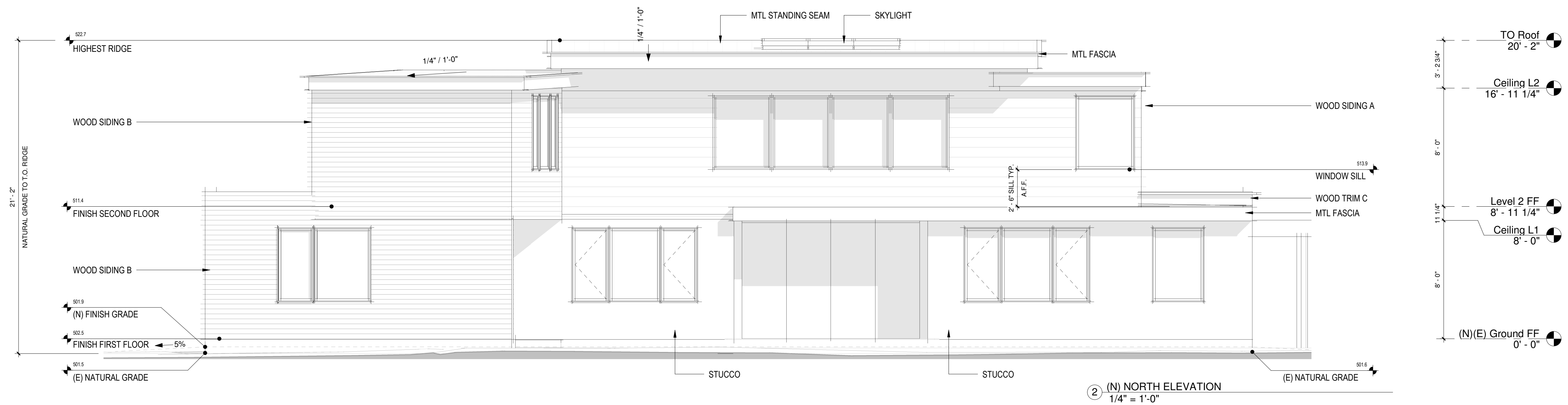
No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE 1/4" = 1'-0"

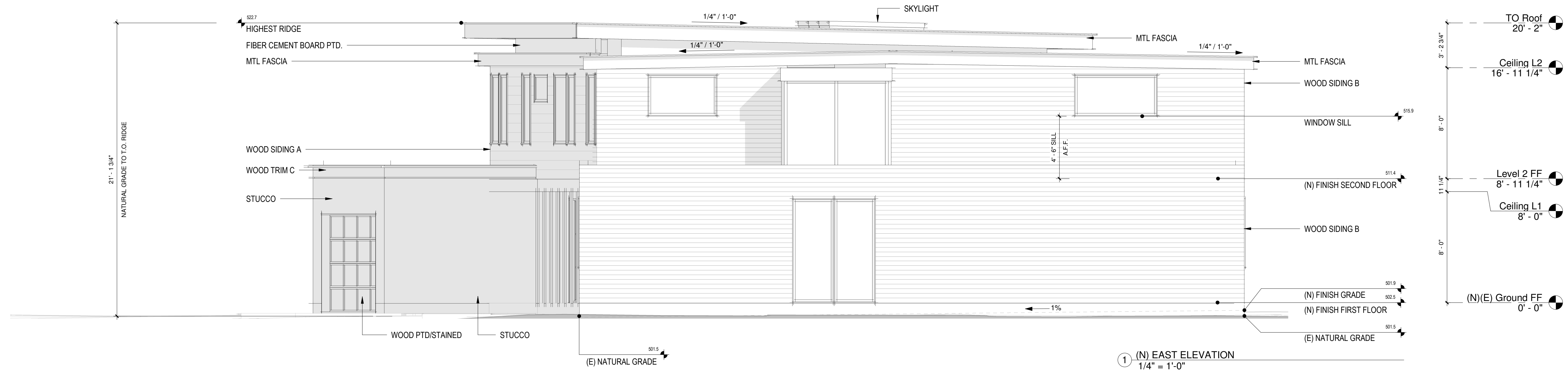
## (N) ELEVATIONS

# A11

2/11/2019 11:45:30 AM



② (N) NORTH ELEVATION  
1/4" = 1'-0"



① (N) EAST ELEVATION  
1/4" = 1'-0"



# Laudon Residence

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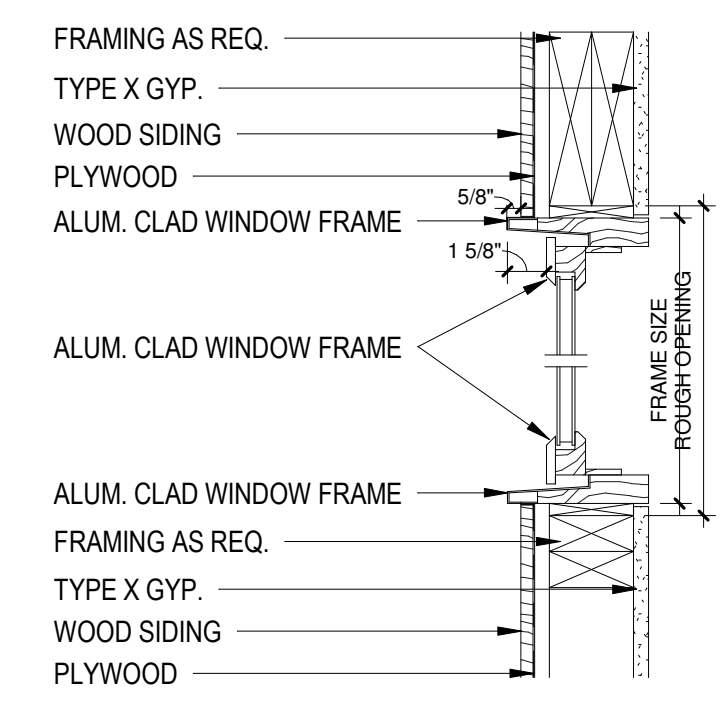
No.	Description	Date
1	SITE PERMIT SET	10/08/2018

SCALE As indicated

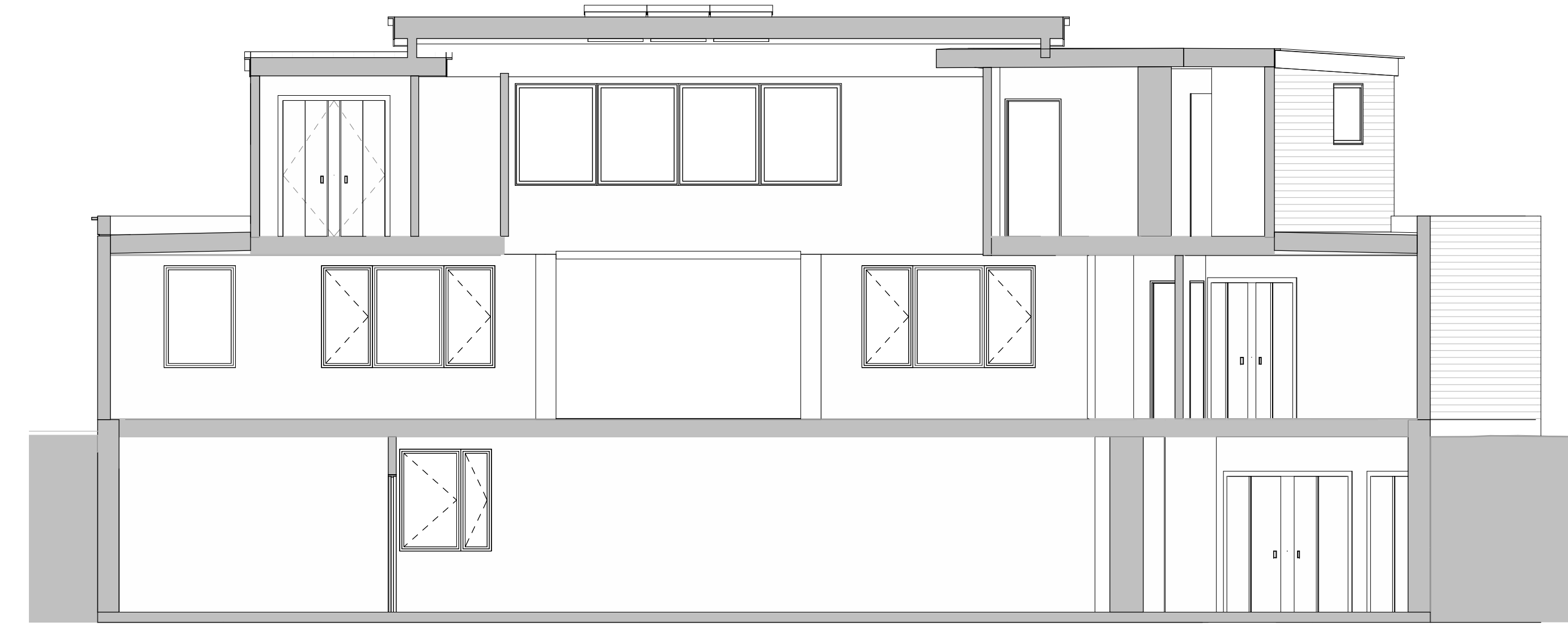
(N) SECTION

# A12

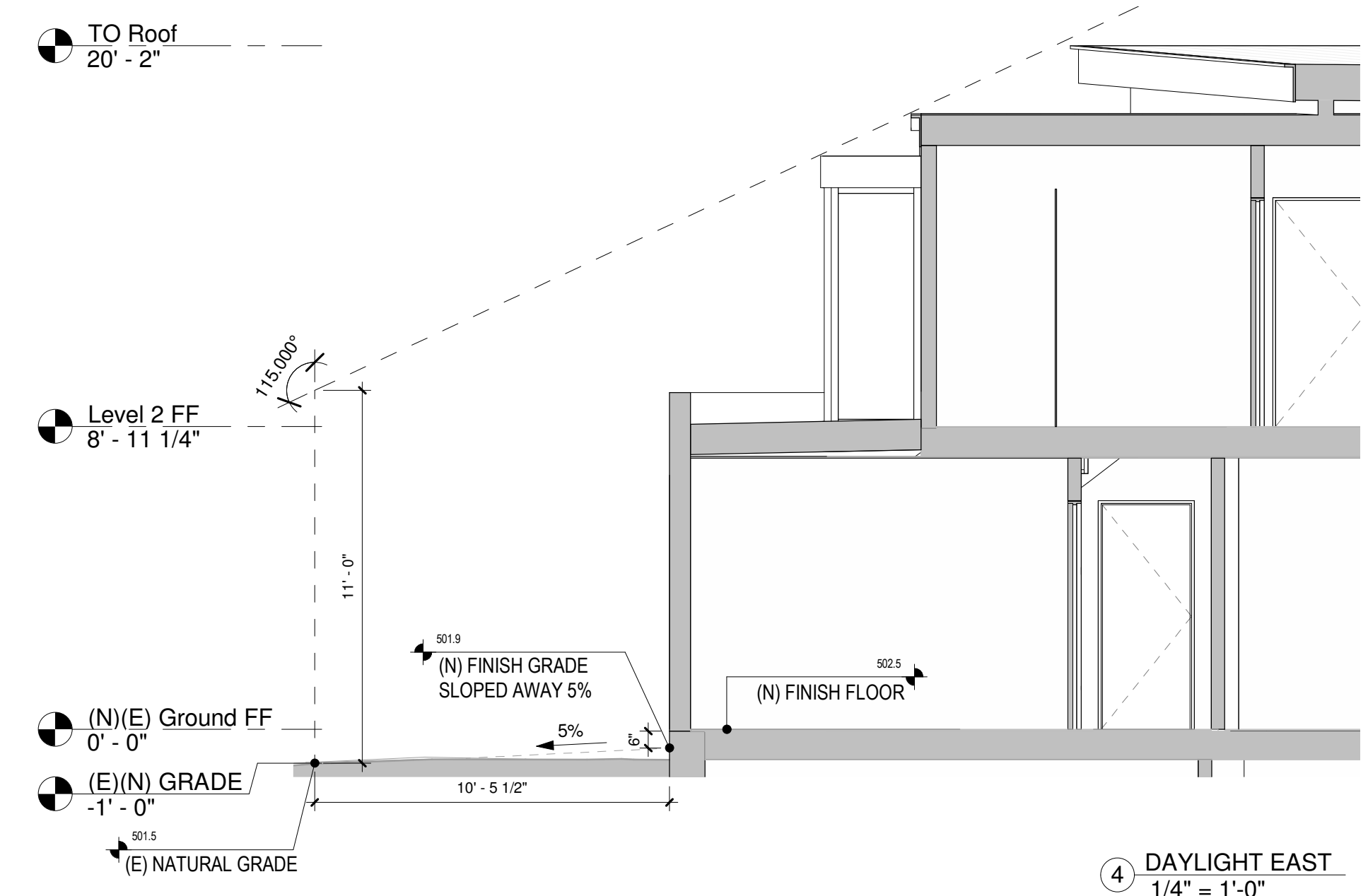
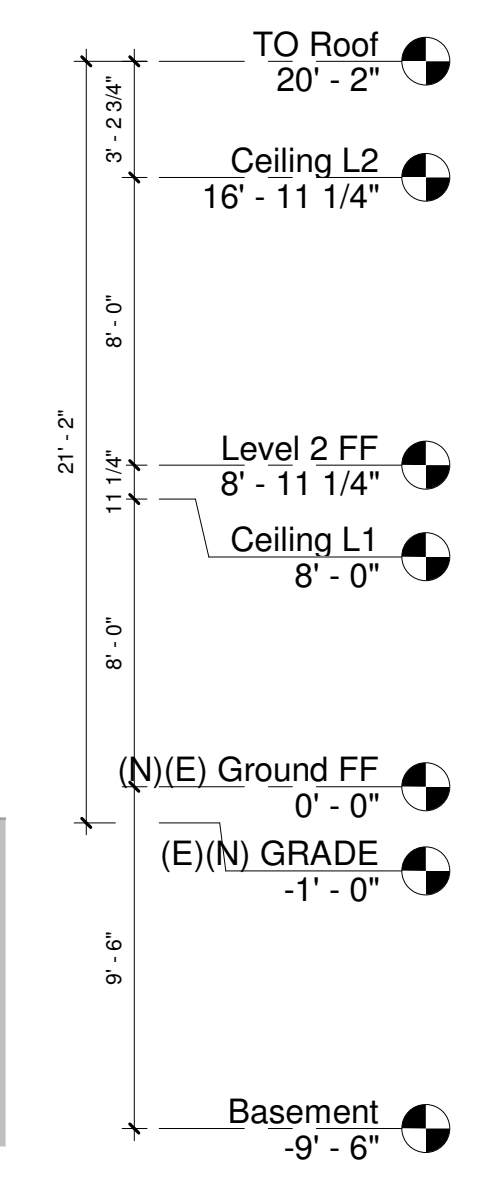
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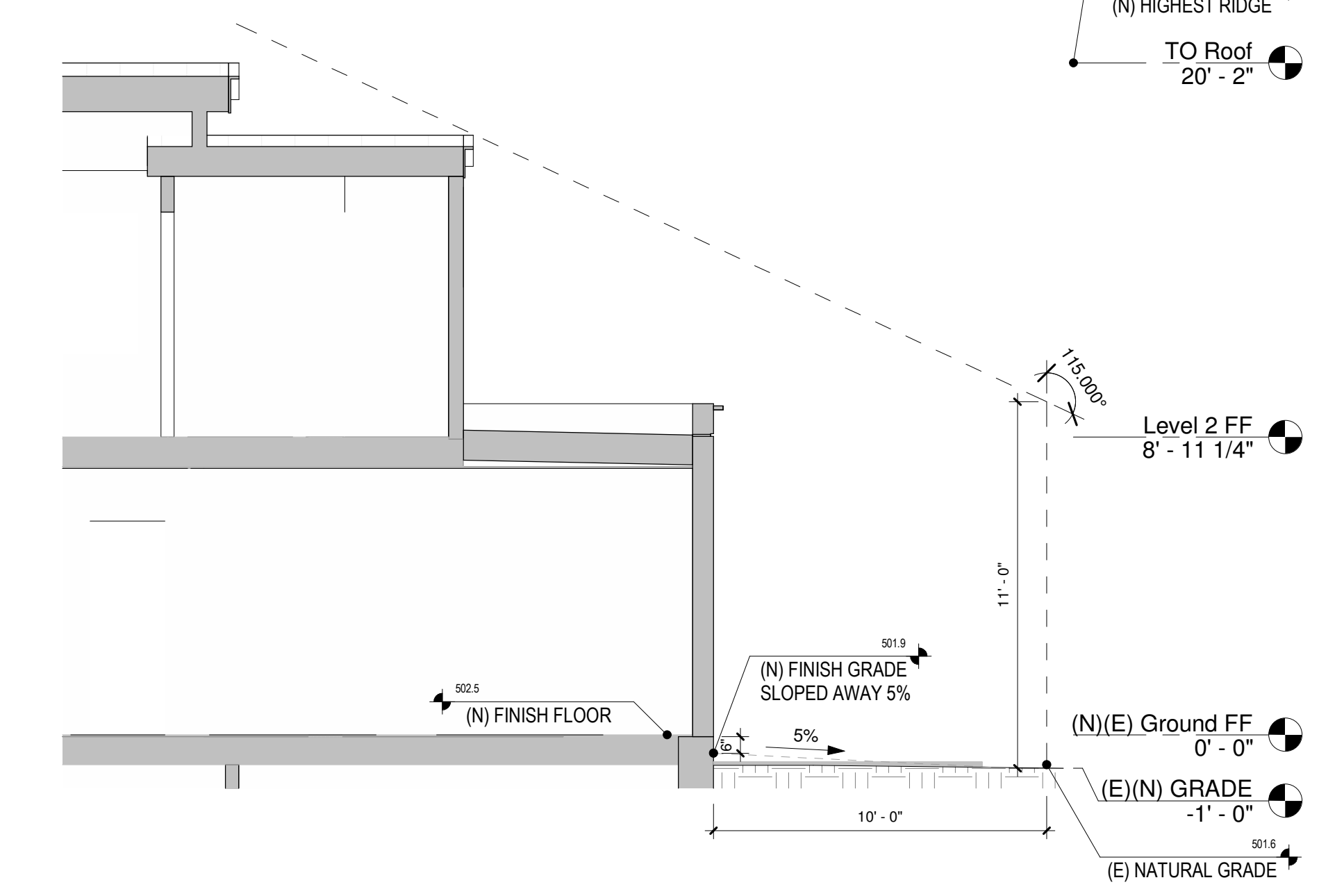
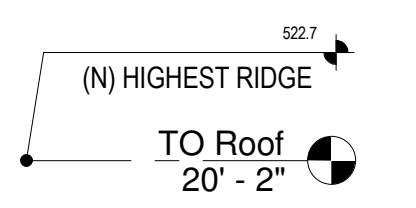
5 WINDOW FRAME  
1 1/2" = 1'-0"



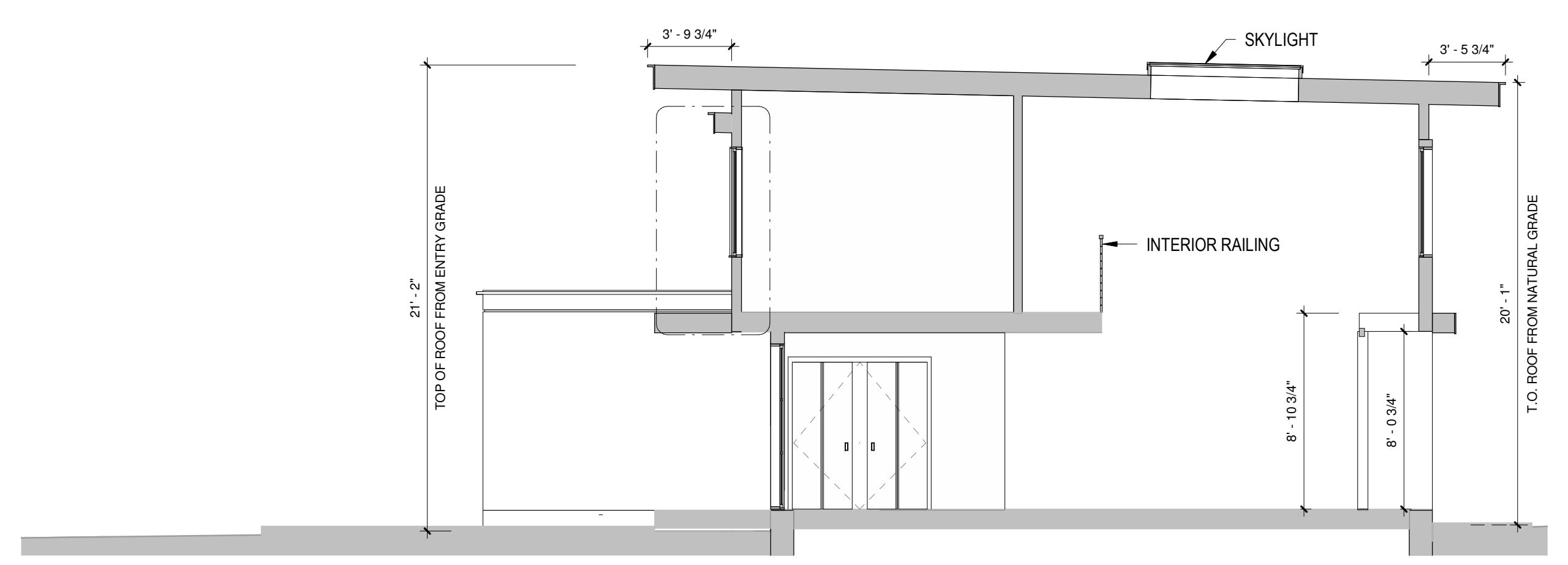
1 CROSS SECTION  
3/16" = 1'-0"



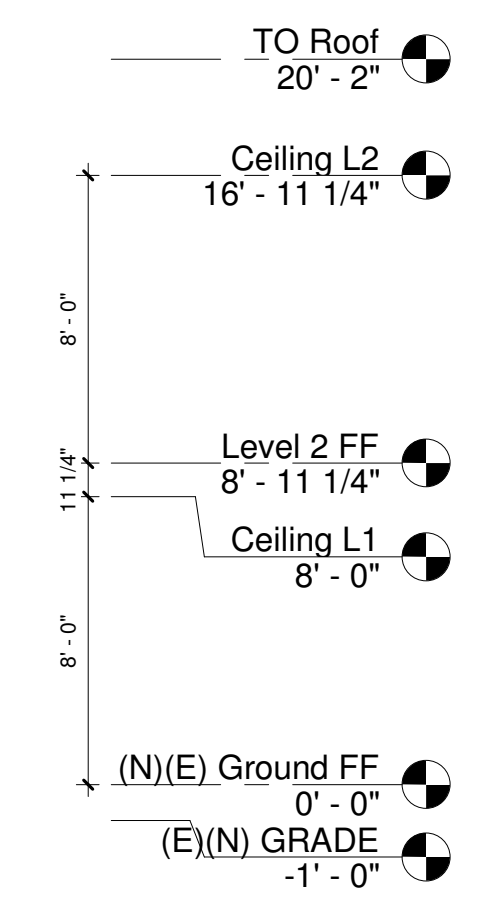
4 DAYLIGHT EAST  
1/4" = 1'-0"



3 DAYLIGHT WEST  
1/4" = 1'-0"



2 TRANS SECTION  
3/16" = 1'-0"





359 LUNADA CT



351 LUNADA CT



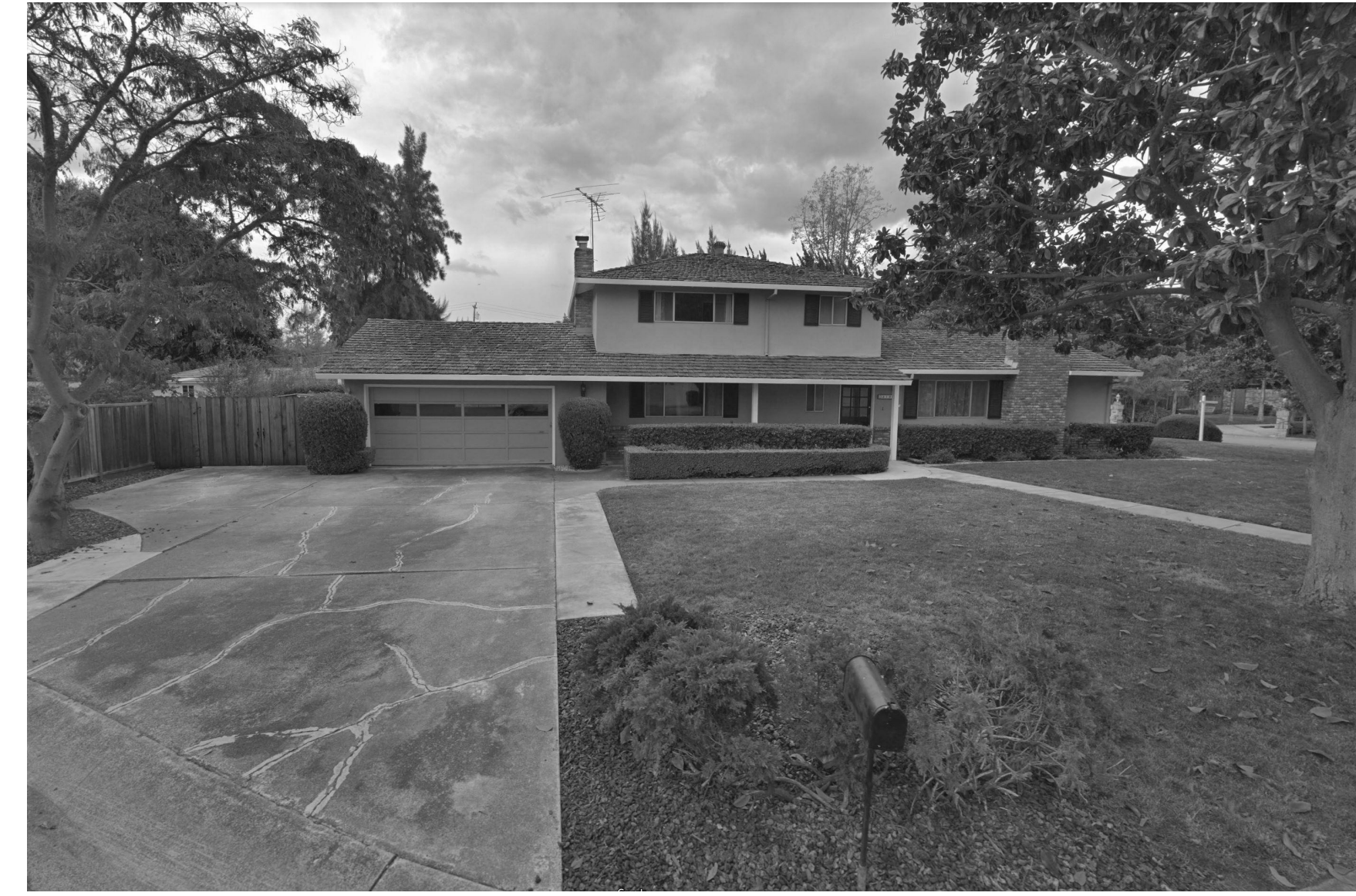
343 LUNADA CT



335 LUNADA CT



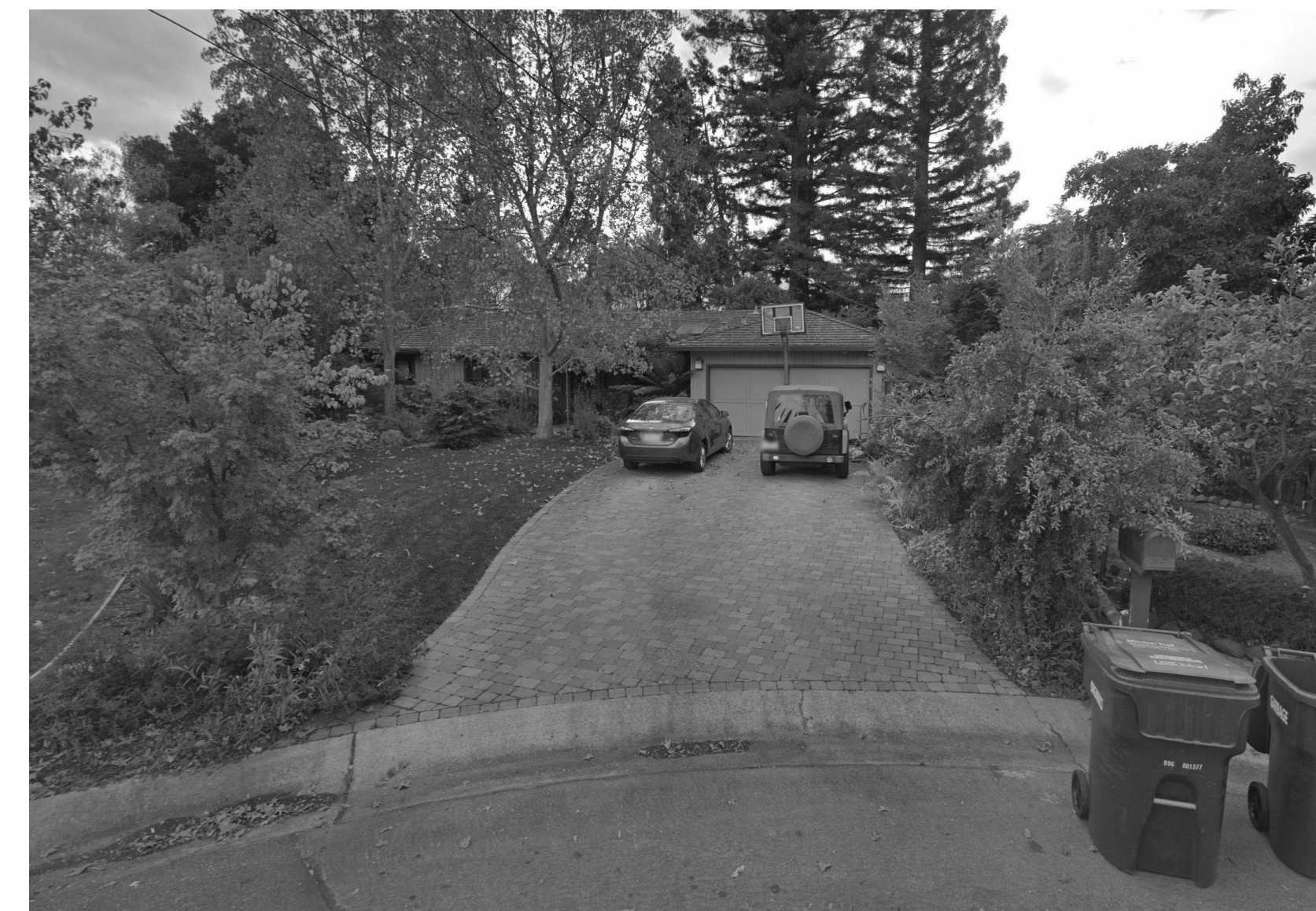
327 LUNADA CT



319 LUNADA CT



1129 LAS FLORES CT



1125 LAS FLORES CT



# Laudon Residence

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LOS ALTOS, CA

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**DESIGNER**  
OGLE DESIGN  
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**STRUCTURAL ENGINEER**  
ASHLEY & VANCE ENGINEERING  
1729 TELEGRAPH AVE SUITE B  
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P. 510 473 2221

**LANDSCAPE**  
DUNE  
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**SURVEY**  
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No.	Description	Date
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SCALE

PHOTOGRAPHS

# A13





# Laudon Residence

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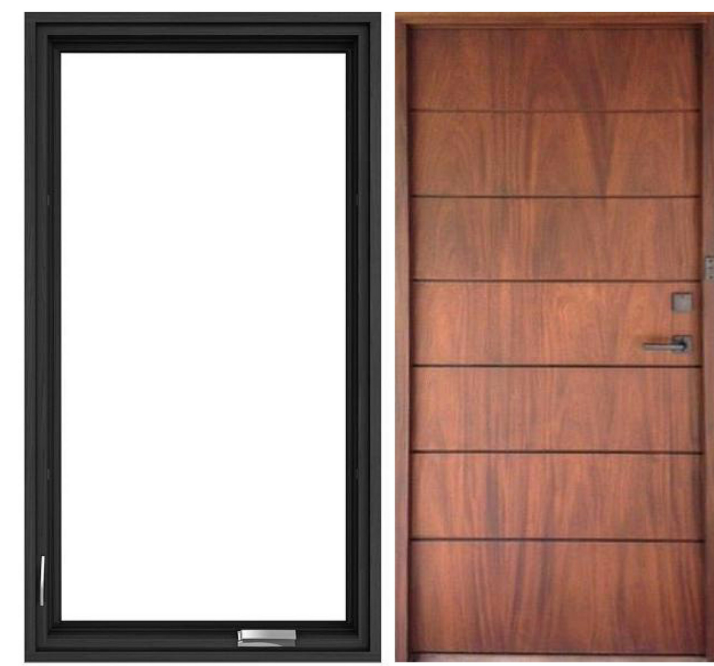
**DESIGNER**  
OGLE DESIGN  
535 MISSION ST FL14  
SAN FRANCISCO, CA 94105  
P. 415 378 3016

**STRUCTURAL ENGINEER**  
ASHLEY & VANCE ENGINEERING  
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Windows - Pella Architects Series Aluminum Clad Black Semi Gloss (Alt Marvin Similar Make/Finish)  
Entry Door - Solid Wood



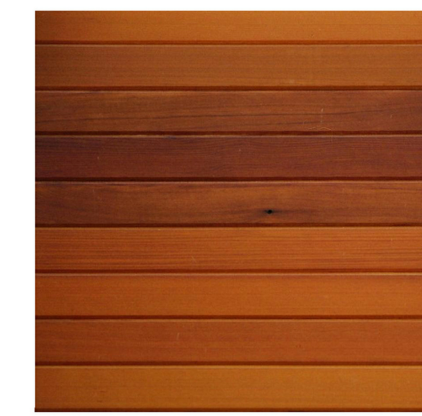
Roof Underside - Cement Board PTD Dark Gray



Trim Detail - Redwood Semi Transparent (Alt Western Cedar Redwood stain)



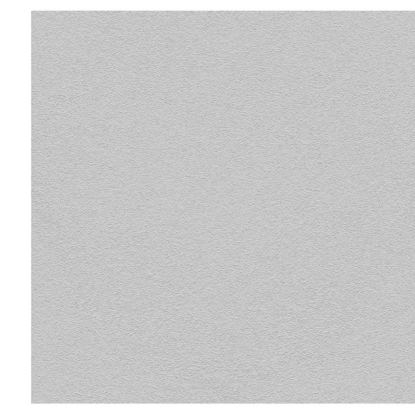
Standing Seam Metal Roof - Powder Coated Gun Metal Gray (Alt Modified Bitumen)



Wood Siding A - Redwood Semi Transparent (Alt Western Cedar Redwood stain)



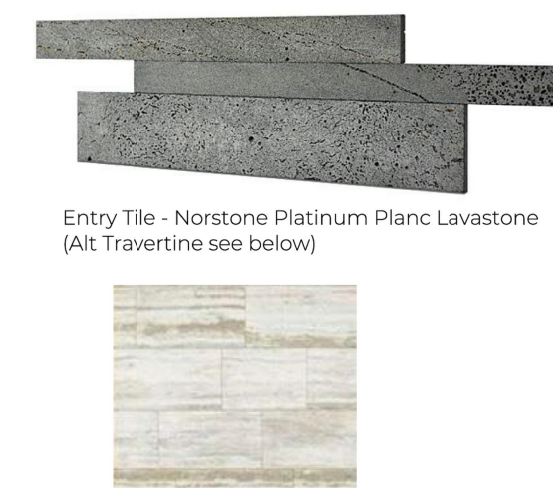
Wood Siding B - Redwood Semi Transparent (Alt Western Cedar Redwood stain)



Base - Stucco PTD White



Metal Fascia - Powder Coated Black Semi Gloss



Entry Tile - Norstone Platinum Planc Lavastone (Alt Travertine see below)

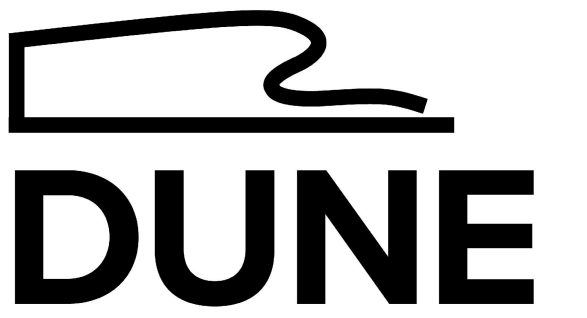


No.	Description	Date

SCALE 1/4" = 1'-0"

CLEAN & RENDERED ELEVATION

# A14



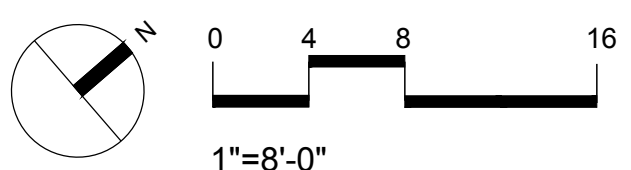
Landscape Designer:  
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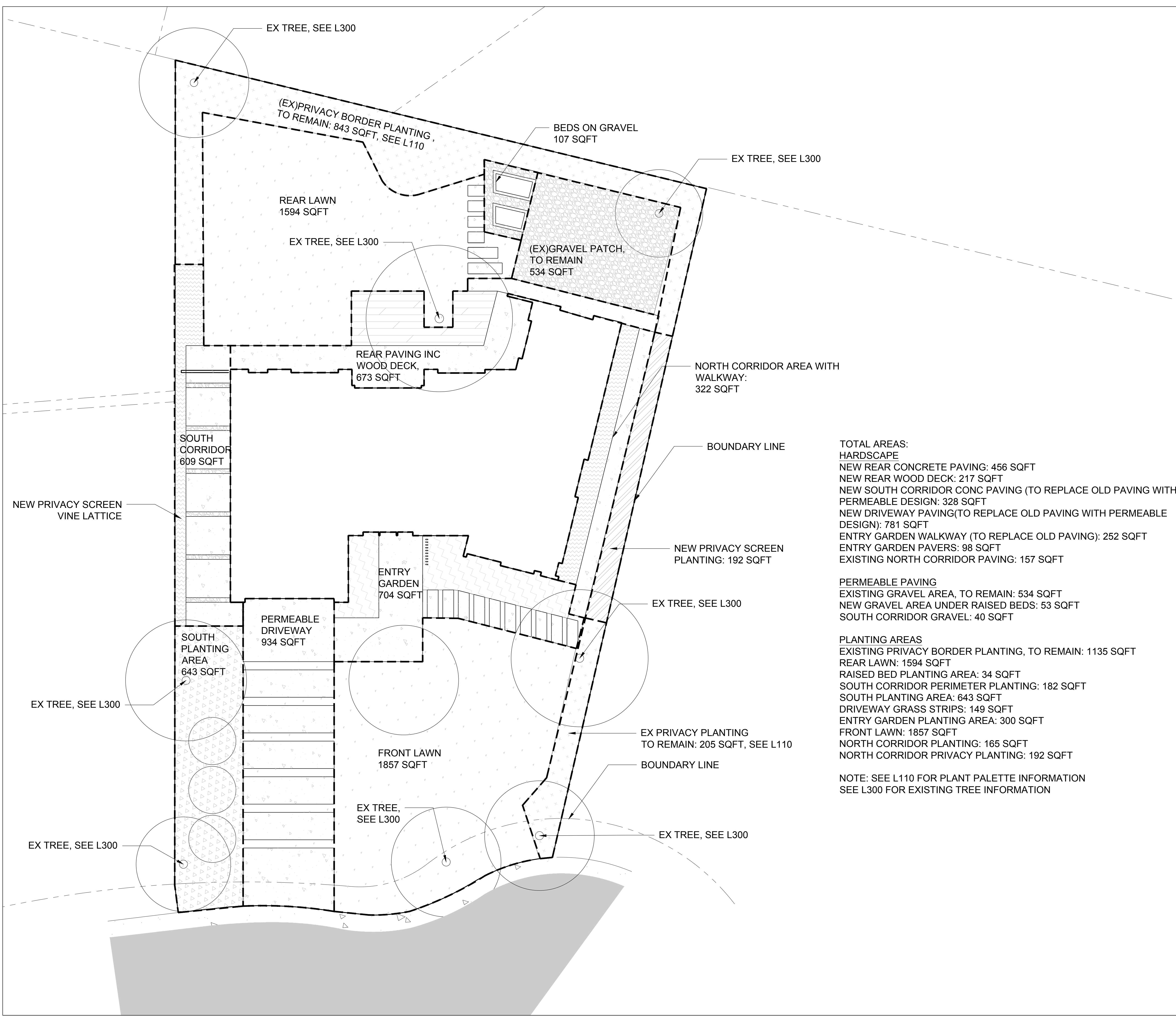
PHASE AND SCALE

PLANNING  
PERMIT SET



SHEET NO. & TITLE

**L100**  
LANDSCAPE  
PLAN, AREA  
SQFTAGES



EX TREE, SEE L300

(EX)PRIVACY BORDER PLANTING,  
TO REMAIN: 843 SQFT, SEE L110

BEDS ON GRAVEL  
107 SQFT

EX TREE, SEE L300

REAR LAWN  
1594 SQFT

EX TREE, SEE L300

(EX)GRAVEL PATCH,  
TO REMAIN  
534 SQFT

REAR PAVING INC  
WOOD DECK,  
673 SQFT

NORTH CORRIDOR AREA WITH  
WALKWAY:  
322 SQFT

SOUTH  
CORRIDOR  
609 SQFT

BOUNDARY LINE

NEW PRIVACY SCREEN  
VINE LATTICE

ENTRY  
GARDEN  
704 SQFT

NEW PRIVACY SCREEN  
PLANTING: 192 SQFT

TOTAL AREAS:  
HARDSCAPE  
NEW REAR CONCRETE PAVING: 456 SQFT  
NEW REAR WOOD DECK: 217 SQFT  
NEW SOUTH CORRIDOR CONC PAVING (TO REPLACE OLD PAVING WITH PERMEABLE DESIGN): 328 SQFT  
NEW DRIVEWAY PAVING(TO REPLACE OLD PAVING WITH PERMEABLE DESIGN): 781 SQFT  
ENTRY GARDEN WALKWAY (TO REPLACE OLD PAVING): 252 SQFT  
ENTRY GARDEN PAVERS: 98 SQFT  
EXISTING NORTH CORRIDOR PAVING: 157 SQFT

PERMEABLE PAVING  
EXISTING GRAVEL AREA, TO REMAIN: 534 SQFT  
NEW GRAVEL AREA UNDER RAISED BEDS: 53 SQFT  
SOUTH CORRIDOR GRAVEL: 40 SQFT

PLANTING AREAS  
EXISTING PRIVACY BORDER PLANTING, TO REMAIN: 1135 SQFT  
REAR LAWN: 1594 SQFT  
RAISED BED PLANTING AREA: 34 SQFT  
SOUTH CORRIDOR PERIMETER PLANTING: 182 SQFT  
SOUTH PLANTING AREA: 643 SQFT  
DRIVEWAY GRASS STRIPS: 149 SQFT  
ENTRY GARDEN PLANTING AREA: 300 SQFT  
FRONT LAWN: 1857 SQFT  
NORTH CORRIDOR PLANTING: 165 SQFT  
NORTH CORRIDOR PRIVACY PLANTING: 192 SQFT

NOTE: SEE L110 FOR PLANT PALETTE INFORMATION  
SEE L300 FOR EXISTING TREE INFORMATION

SOUTH  
PLANTING  
AREA  
643 SQFT

PERMEABLE  
DRIVEWAY  
934 SQFT

EX TREE, SEE L300

FRONT LAWN  
1857 SQFT

EX PRIVACY PLANTING  
TO REMAIN: 205 SQFT, SEE L110

BOUNDARY LINE

EX TREE,  
SEE L300

EX TREE, SEE L300

EX TREE, SEE L300

EX TREE, SEE L300



NOTE: EXISTING PRIVACY PLANTING, EXISTING TREES, AND ANY OTHER EXISTING VEGETATION TO REMAIN SHALL BE WATERED WEEKLY WITH HOSE ATTACHED TO ON SITE TEMPORARY WATER SERVICE DURING CONSTRUCTION BY CONTRACTOR

**A: FRONT AND REAR LAWN**

*Bouteloua gracilis*  
Common name: Blue Grama Grass  
Height and Spread: 4"-12"  
Avg Rate of growth: Fast growing  
Description: Drought-tolerant lawn, Very low water

**B: SOUTH PLANTING AREA**

*Prunus lauracerasus 'Mount Vernon'*  
Common name: Mount Vernon Laurel  
Height and Spread: 15-2' H x 5'-8' Spread  
Avg Rate of growth: Slow  
Description: Regular Watering

*Citrus aurantifolia*  
Common name: 'Dwarf Bearss Seedless'  
Height and Spread: 6'-8' H x 6'-8' Spread  
Avg Rate of growth: Moderate growing  
Description: Regular Watering

*Citrus limon 'Meyer'*  
Common name: Meyer Lemon  
Height and Spread: 8'-10' H x 6'-8' Spread  
Avg Rate of growth: Moderate growing  
Description: Regular Watering

**C: SOUTH AND NORTH CORRIDOR PLANTING**

*Ficus pumila*  
Common name: Creeping fig  
Height and Spread: 25' H x 3' Spread  
Avg Rate of growth: Fast growing  
Description: Low water, self clinging vine ONLY ON SOUTH CORRIDOR FENCE

*Helleborus argustifolius*  
Common name: Corsican Hellebore  
Height and Spread: 1.5-2' H x 1.5-2' Spread  
Avg Rate of growth: Medium growth rate, yearly winterbloom  
Description: Low water, low maintenance

**D: ENTRY GARDEN**

*Laurus nobilis*  
Common name: Bay Laurel  
H / S: 10'-20' H x 5'-20' Spread  
Avg Rate of growth: Moderate  
Description: Regular to Low

*Malacothamnus fasciculatus*  
CN: Chapparel Mallow  
H / S: 6'-8' H x 6'-8' Spread  
Avg Rate of growth: Fast  
Descr: Very Low Water

*Ilex glabra*  
Common name: Inkberry  
H / S: 5'-8" H x 5'-8" Spread  
Avg Growth: Moderate growing  
Description: Low Water

*Hydrangea quercifolia*  
Common name: Oakleaf Hydrangea  
H / S: 6'-8' H x 6'-8' Spread  
Avg Growth: Moderate Growing  
Description: Low Water

*Penstemon X gloxinoides 'Midnight'*  
CN: Midnight Beard Tongue  
H / S: 2'-3' H x 4'-5' Spread  
Avg Growth: Moderate  
Description: Regular to Low Water

**E: FRONT LAWN (N)TREE**

*Fraxinus oxycarpa*  
Common name: Raywood Ash  
Height and Spread: 30'-40' H x 25'-40' Spread  
Avg Rate of growth: Moderate  
Description: City of Los Altos Street Planting List, Low water, fast draining,

**F: PRIVACY SCREEN HEDGE**

*Pittosporum tenuifolium 'Silver Sheen'*  
Common name: Silver Sheen  
Height and Spread: 12'-16'H x 6' Spread  
Avg Rate of growth: Moderate  
Description: Low water

**G: STREET EDGE PLANTING**

*Ceanothus 'Mills Glory'*  
Common name: California Lilac  
Height and Spread: 3'H x 8' Spread  
Avg Rate of growth: Moderate  
Description: Deer-resistant variety, Low water

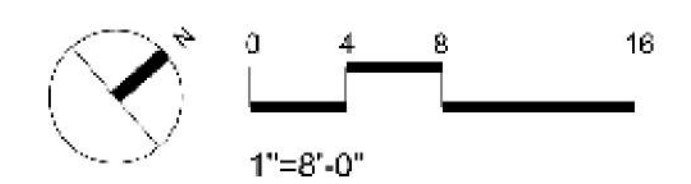


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PHASE AND SCALE  
PLANNING  
PERMIT SET



SHEET NO. & TITLE  
**L110**  
LANDSCAPE  
PLAN W/ PLANT  
PALETTE

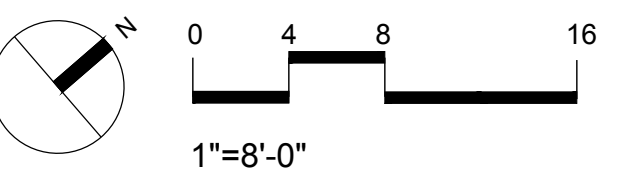


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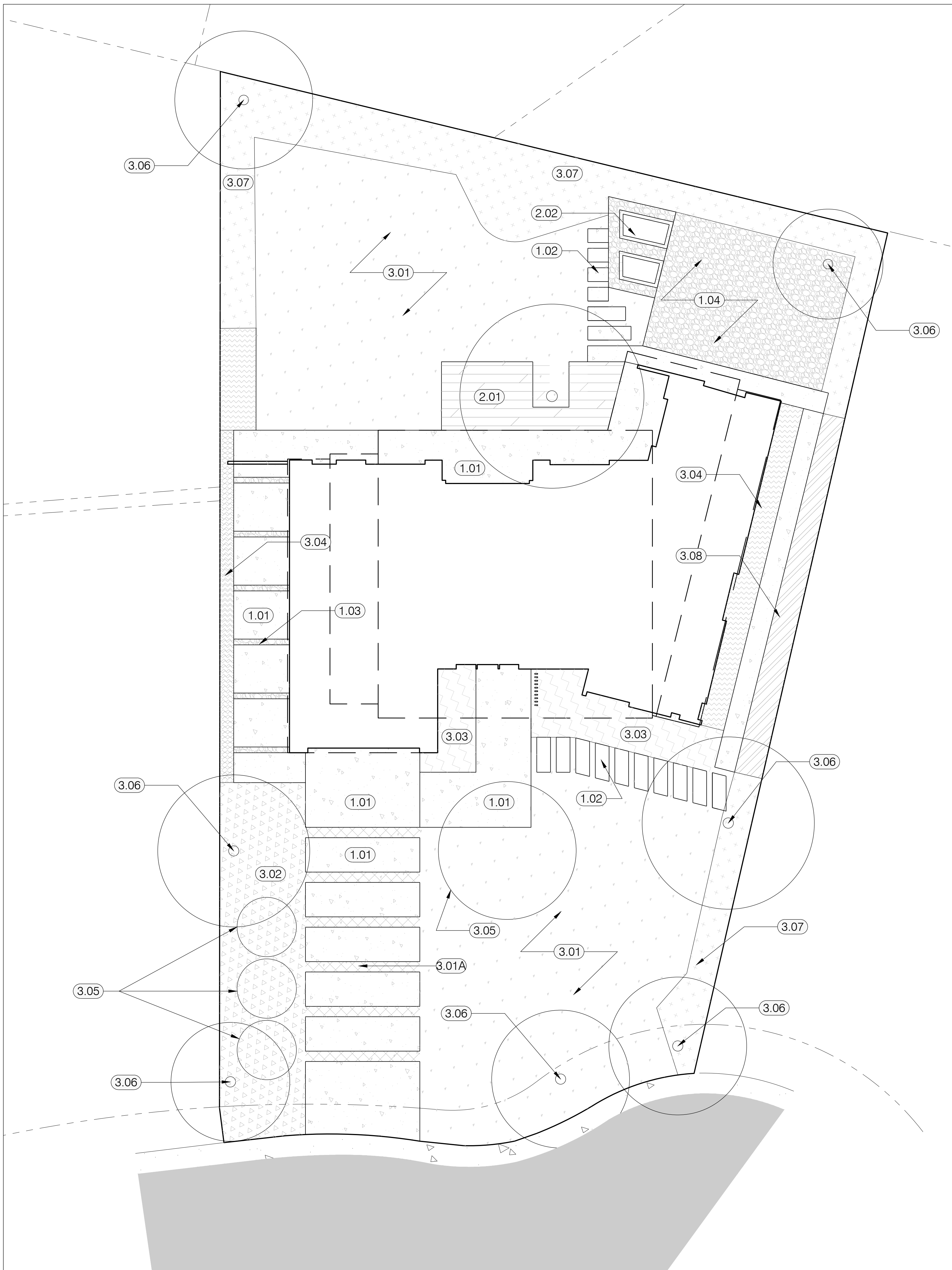
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PHASE AND SCALE  
 PLANNING  
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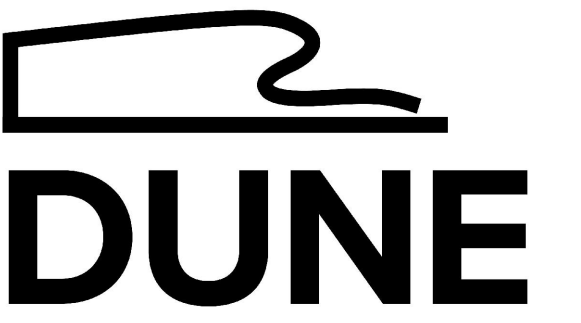
SHEET NO. & TITLE

**L200**  
**MATERIALS**  
**PLAN**



**SITE MATERIALS/ELEMENTS  
 SCHEDULE**

NO.	SYMB.	ITEM	DESCRIPTION
<b>PAVING</b>			
1.01		CONCRETE PAVING	6" CAST IN PLACE CONCRETE WITH 6" CRUSHED AGG BASE
1.02		CONCRETE PAVERS	2" CONCRETE PAVERS ON 2" SAND BASE ON 2" COMPACTED COARSE AGG
1.03		GRAVEL	2" GRAVEL PAVING ON 3" COMPACTED COARSE AGG
1.04		EX GRAVEL	EXISTING GRAVEL PAD
<b>SITE ELEMENTS</b>			
2.01		WOOD DECK	REDWOOD DECK
2.02		RAISED PLANTERS	REDWOOD RAISED PLANTERS
<b>PLANTING, SEE L110 AND L300</b>			
3.01		LAWN	TO BE SOD WITH DROUGHT TOLERANT GRASS SPECIES, SEE L110
3.01A		LAWN STRIPS	SEEDED LAWN WITH GRASSPAV PRODUCT, SEE L110
3.02		GROUND COVER	DROUGHT TOLERANT GROUND COVER, SEE L110
3.03		ENTRY PLANTING	DROUGHT TOLERANT ENTRY GARDEN, SEE L110
3.04		SHADE TOLERANT PLANTING	PRIVACY VINE LATTICE AND HELLEBORES, SEE L110
3.05		NEW TREE	NEW TREE, SEE L110
3.06		EXISTING TREE	TREE TO REMAIN, SEE L300
3.07		EXISTING PLANTED BORDER	PLANTED BORDER TO REMAIN, SEE L110
3.08		NEW PRIVACY PLANTING	EVERGREEN PRIVACY PLANTING, SEE L110



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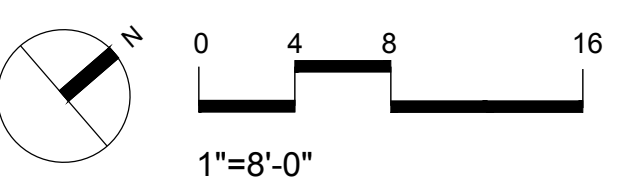
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EXISTING TREE SCHEDULE					
NO.	EXISTING	STATUS	TYPE	CALIPER	ARBORIST HEALTH REPORT
1	EXISTING	REMAIN	JUNIPERUS CHINENSIS "HOLLYWOOD JUNIPER"	14	POOR
2	EXISTING	REMAIN	EUCALYPTUS	14	FAIR
3	EXISTING	REMAIN	BETULA POPYRIFERA "WHITE BIRCH"	16	FAIR
4	EXISTING	REMAIN	JUNIPERUS CHINENSIS "HOLLYWOOD JUNIPER"	18	FAIR
5	EXISTING	REMAIN	JUNIPERUS CHINENSIS "HOLLYWOOD JUNIPER"	14	NA
6	EXISTING	REMAIN	FRUIT TREE	10	NA
7	EXISTING	REMAIN	JUNIPERUS CHINENSIS "HOLLYWOOD JUNIPER"	16	NA
8	EXISTING	REMAIN	MAPLE	10	NA

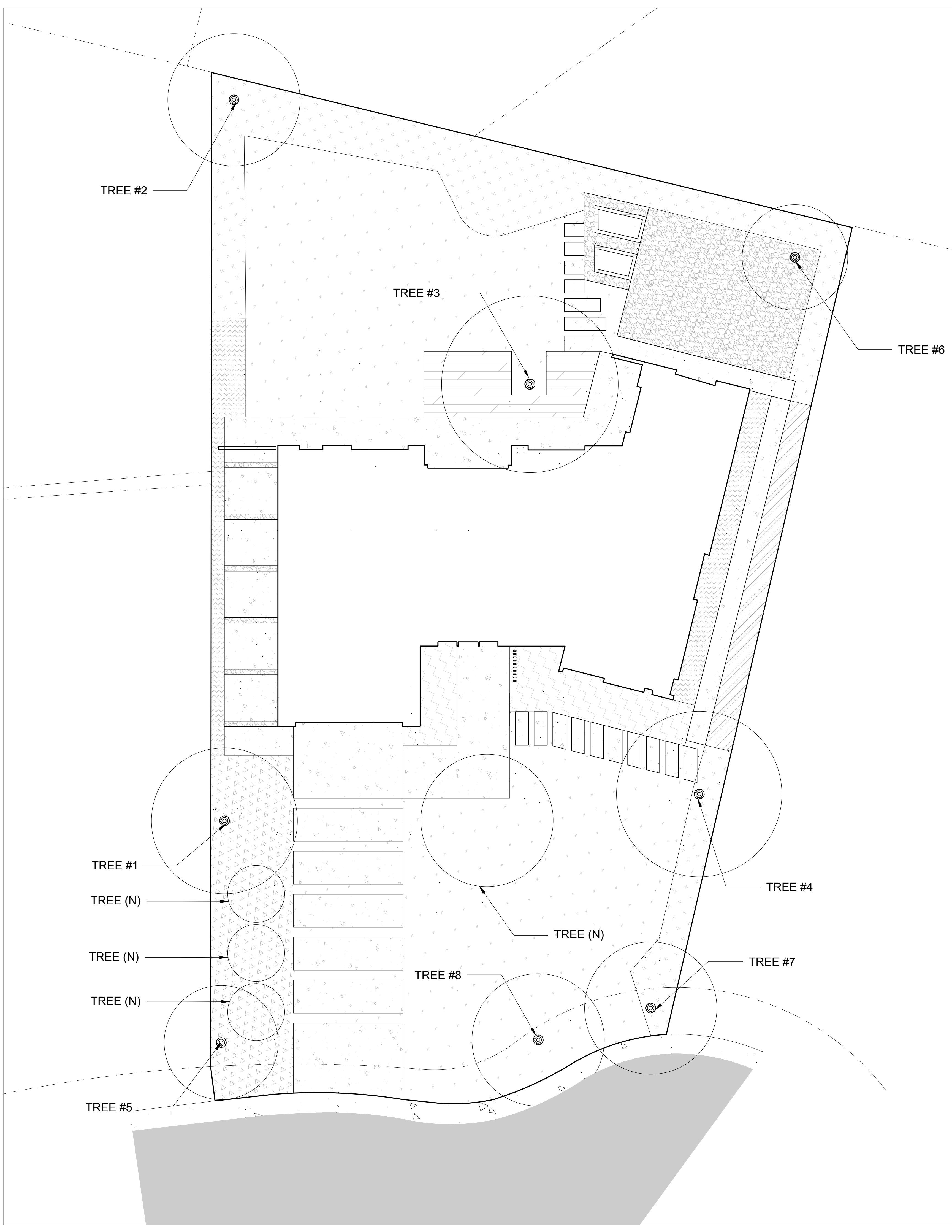
- TREE PRESERVATION RECOMMENDATIONS FOR TREE #1, #3, #4 PRIOR TO CONSTRUCTION
1. INSTALL PROTECTIVE CHAIN FENCING TO EXTEND TO DRIP LINE OF ALL TREES OR MIN 4' FROM FACE OF TRUNK, WHICH IS THE TREE PROTECTIVE (TPZ) TO PROTECT ROOTS OF TREES.
  2. INSTALL 4-6 INCHES THICK OF MULCH TO RETAIN MOISTURE AND AVOID ROOT COMPACTION INSIDE THE TPL ZONE.
  3. FERTILIZE AND DEEP WATER THE TREES
  4. ALL ROOTS OVER 1 INCH IN DIAMETER SHOULD BE SEALED TO PREVENT MOISTURE LOSS IF TRENCHING IS DONE AND SHOULD BE DONE BY CERTIFIED ARBORIST.
  5. MONTHLY MONITORING BY A CERTIFIED ARBORIST TO ENSURE PRESERVATION RECOMMENDATIONS ARE BEING FOLLOWED.
  6. ALL EXISTING TREES, EXISTING PRIVACY SCREEN PLANTING AND ANY OTHER EXISTING VEGETATION SHALL BE WATERED ONCE A WEEK DURING CONSTRUCTION WITH HOSE ATTACHED TO TEMPORARY WATER SERVICE BY CONTRACTOR

PHASE AND SCALE  
**PLANNING PERMIT SET**



SHEET NO. & TITLE

**L300**  
**TREE PROTECTION PLAN**



Appendix B – Lunada Ct Water Efficient Landscape Worksheet.

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (Eto)

Hydrozone # / Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>	
<b>Regular Landscape Areas</b>								
Ex Border Planting	0.3	Drip	0.81	0.3703703	1327	491.481481481	13102.8962962	
Rear Lawn	0.3	Spray	0.75	0.4	1597	638.8	17030.408	
South Corridor Perimeter Planting	0.6	Drip	0.81	0.7407407	182	134.814814814	3594.16296296	
South Planting Area	0.6	Drip	0.81	0.7407407	643	476.296296296	12698.0592592	
Driveway Grass Strips	0.3	Drip	0.81	0.3703703	149	55.1851851851	1471.23703703	
Entry Garden	0.6	Drip	0.81	0.7407407	300	222.222222222	5924.44444444	
Front Lawn	0.3	Spray	0.75	0.4	1857	742.8	19803.048	
North Corridor Planting	0.3	Drip	0.81	0.3703703	165	61.1111111111	1629.22222222	
				Totals	6220	2822.71111111111		
<b>Special Landscape Areas</b>								
				1	34	34	906.44	
				1				
				1				
				Totals	6254	2856.71111111111		
							ETWU Total	76159.9182222
							Maximum Allowed Water Allowance (MAWA) <sup>e</sup>	116294

<sup>a</sup>MAWA (Annual Gallons Allowed) = (Eto) ( 0.62) [( ETAF x LA) + ((1-ETAF) x SLA)]

where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet. and ETAF is .55 for residential areas and 0.45 for non-residential areas.

<sup>b</sup>Hydrozone #/Planting Description  
E.g  
1.) front lawn  
2.) low water use plantings  
3.) medium water use planting

<sup>c</sup>Irrigation Method  
overhead spray  
or drip

<sup>d</sup>Irrigation Efficiency  
0.75 for spray head  
0.81 for drip

<sup>e</sup>ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

Regular Landscape Areas

Total ETAF x Area	2822.71
Total Area	6220
Average ETAF	0.453811897106109

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

All Landscape Areas

Total ETAF x Area	(B+D)	5679.42222222222
Total Area	(A+C)	12474
Sitewide ETAF	(B+D) ÷ (A+C)	0.455300803444895

351 Lunada Court							
MAWA = (Eto - Eppt)(0.62)[(0.7)(LA)+(0.3)(SLA)]							
Where:							
MAWA = Maximum Applied Water Allowance (gallons per year)							
Eto = Reference Evapo-transpiration (for location in inches per year)							
Eppt = Effective Precipitation (no more than 25% of local Eto, typically 10%)							
0.62 = conversion factor to gallons							
0.7 = Eto Adjustment Factor (average Ks of .5 divided by 0.7 irrigation efficiency)							
LA = Total Irrigated Landscape Area (in square feet) including Special Landscape Area (recreation turf)							
0.3 = The additional ET Adjustment Allowance Factor for Special Landscape (1.0 - 0.7 = 0.3)							
	Enter Eto @ site here =	43		inches/year			
	Enter Eppt @ site here =	0		inches/year			
	LA @ site here =	6217		square feet			
	SLA @ site here =	34		square feet			
MAWA =	43	0	0.62	0.7	6217	0.3	34
MAWA =	116294 Gallons/year	0.36 acre feet/year					
	155 units/year						



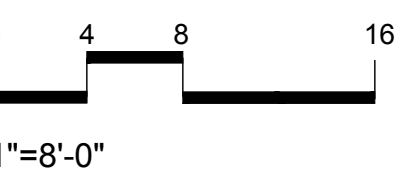
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SHEET NO. & TITLE

**L400**  
WATER EFF  
LANDSCAPE  
ORDINANCE  
CALCS