



DATE: April 3, 2019

AGENDA ITEM # 4

**TO:** Design Review Commission  
**FROM:** Sean K. Gallegos, Associate Planner  
**SUBJECT:** 18-SC-27 – 351 Lunada Court

**RECOMMENDATION:**

Approve design review application 18-SC-27 subject to the listed findings and conditions

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**PROJECT DESCRIPTION**

This is a design review application for a new two-story house with a basement. The project includes 2,469 square feet on the first story, 1,412 square feet on the second story and a 2005 square-foot basement. The following table summarizes the project's technical details:

**GENERAL PLAN DESIGNATION:** Single-family, Residential  
**ZONING:** R1-10  
**PARCEL SIZE:** 11,338 square feet  
**MATERIALS:** Flat membrane roof, smooth finish stucco and horizontal cedar siding, aluminum clad wood windows with wood trim, powder coated metal fascia, and stone or travertine tile accents

	<b>Existing</b>	<b>Proposed</b>	<b>Allowed/Required</b>
<b>LOT COVERAGE:</b>	2,747 square feet	2,469 square feet	3,401 square feet
<b>FLOOR AREA:</b>			
First floor	2,747 square feet	2,469 square feet	
Second floor	-	1,412 square feet	
Total	2,747 square feet	3,881 square feet	3,884 square feet
<b>SETBACKS:</b>			
Front (Lunada Court)	34 feet	51.1 feet	25 feet
Rear	26 feet	27.9 feet	25 feet
Right side (1 <sup>st</sup> /2 <sup>nd</sup> )	9.75 feet/-	10.25 feet/ 17.5 feet	10 feet/17.5 feet
Left side (1 <sup>st</sup> /2 <sup>nd</sup> )	9.75 feet/-	10 feet/ 17.5 feet	10 feet/17.5 feet
<b>HEIGHT:</b>	15 feet	21.2 feet	27 feet

## **BACKGROUND**

### **Neighborhood Context**

The subject property is located on Lunada Court, a short cul-de-sac street off of Lunada Drive. The neighborhood, which includes the six properties on Lunada Court, is considered a Diverse Character Neighborhood as defined in the City's Residential Design Guidelines. The houses in this neighborhood have varied setbacks, architectural styles and massing. In general, houses on the street are predominantly characterized by the use of wood or stucco siding and relatively simple architecture, although some homes have more bulkier designs. On Lunada Court, there are three two-story structures and two one-story structures, including one on a flag lot with minimal street presence, with varying scales. On Lunada Drive, between Los Altos Avenue and Estrellita Way, there are three two-story structures and two one-story structures with predominantly lower scales. Both streets are improved with curbs and gutters and landscaping in the shoulder areas, with mature magnolia trees on both sides of Lunada Court and varied street trees at the end of the cul-de-sac.

## **DISCUSSION**

### **Design Review**

According to the Design Guidelines, in Diverse Character Neighborhoods, good neighbor design has its own design integrity while incorporating some design elements, materials and scale found in the neighborhood.

The new residence uses a Contemporary inspired architectural design with flat roof elements and simple modern forms. The house is consistent with the identifying features of a modern style that include flat roofs, large aluminum frame windows, horizontal cedar and stucco siding surfaces, and unornamented wall surfaces with no decorative detailing at the doors or windows. Cantilevered projections are also common with the roof, balconies, or second stories that jut dramatically over the wall below. Simple landscaping design and integration into the landscape are also elements of this design style.

The project is designed eclectically in a way to be compatible with the area, with such elements as a horizontally oriented first and second story to mimic the massing of the immediate neighborhood context of lower scale houses. The new structure will have a similar building footprint as the original house, but its front setback is being increased from 24.1 feet to 51.1 feet. It appears that the construction of the proposed residence will require removing a majority of the improvements on-site such as the driveway, but the grading will be kept to a minimum. The design incorporates cedar wood siding, which is considered a more rustic material, to help minimize the bulk of the more contemporary design. The project is utilizing high quality materials, such as a flat membrane roof, stucco and horizontal wood siding, aluminum windows, and wood details, which are integral to the design of the house. The project's exterior materials are specified on Sheet A14 in the project plans.

The proposed project is sensitive to the scale of the neighborhood and incorporates similar heights found within the neighborhood context. The project has wall plate heights of eight feet on both levels and a low overall height of 21.2 feet. Along the front elevation elevation, the design incorporates a front porch, simple forms, large windows, and one-story elements on each side of the structure to break up the massing. The second story is recessed back from first floor along the left, right and rear elevations and centered over the structure to diminish the perception of bulk when viewed from the

street or adjacent properties along the sides. The massing of the second story is significantly smaller than the first story with some portions of the second story cantilevering beyond the vertical planes of first story along the front elevation. Overall, the two-story design is well proportioned and articulated to reduce the any perception of excessive bulk and mass, and it is an appropriate design within this Diverse Character Neighborhood context.

### **Privacy**

The design of the project is sensitive to the privacy of neighboring properties. Along the second story of the right-side (east) elevation, there two medium windows with sill heights of 4.5 feet, and one large two-panel window for a stairwell with a sill height of six feet, ten inches. Along the second story of the left side (west) elevation, there two medium size windows with sill heights of at least 4.5 feet. There is also a larger window facing toward the west in the master bedroom but is has a setback of over 60 feet from the side property line. The views into adjacent properties are limited and they do not appear to create any unreasonable privacy impacts due the windows having sill heights of 4.5 feet or higher and proposed evergreen privacy screening along both sides. In addition, the large mature oak tree along the left (west) property line further diminishes any views toward the rear yard of the property on Lunada Way.

The second story of the house facing the rear property line includes a larger window in a bedroom with a 2.5-foot sill height and a bank of four larger clerestory windows for the living room on the first floor. The rear facing bedroom window has a setback of at 49-58 feet from the rear property line and 20-foot setback from the left side property line, and it does not create any unreasonable privacy impacts. In addition, the existing and proposed evergreen screening along the side and rear property lines should further reduce any potential privacy impacts. Overall, staff finds that the project maintains a reasonable level of privacy.

### **Landscaping**

The project will retain the six existing trees on the site, including three hollywood junipers trees in the front yard, and a eucalyptus, white birch and a fruit tree in the rear yard. An arborist report is included as Attachment C and identifies tree protection measures for the trees. The conceptual landscaping plan proposes one new raywood ash tree in the front yard, retains the existing screening left side property line and rear property line, and proposes pittosporum tenuifolium as the predominant evergreen screening tree along the right-side property lines and proposes a variety of other shrubs and groundcover type plants throughout the site. A new permeable driveway and new walkways are proposed for the site. Overall, the project meets the intent of the City's landscape regulations and street tree guidelines. Since the project includes a new house and new landscaping area that exceeds 500 square feet, it is subject to the City's Water Efficient Landscape regulations.

### **Environmental Review**

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

### **Public Notification**

A public meeting notice was posted on the property and mailed to 15 nearby property owners on Lunada Court, Lunada Drive, Las Flores Court and Los Altos Avenue.

Cc: William Ogle, Applicant and Architect

Design Review Commission  
18-SC-27 – 351 Lunada Court  
April 3, 2019

James and Janthima Laudon, Property Owners

Attachments:

- A. Application
- B. Area, Vicinity and Notification Maps
- C. Arborist Report

## FINDINGS

18-SC-27 – 351 Lunada Court

With regard to design review for a new two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code that:

- a. The proposed new house complies with all provision of this chapter;
- b. The height, elevations, and placement on the site of the proposed new house, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed new house in relation to the immediate neighborhood will minimize the perception of excessive bulk;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

## CONDITIONS

18-SC-27 — 351 Lunada Court

### **GENERAL**

1. **Approved Plans**

The approval is based on the plans and materials received on January 9, 2019, except as may be modified by these conditions.

2. **Protected Trees**

Trees Nos. 1-6, proposed street trees shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

3. **Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

4. **Landscaping**

The landscape plan is subject to the City's Water Efficient Landscape Regulations pursuant to Chapter 12.36 of the Municipal Code.

5. **Fire Sprinklers**

Fire sprinklers shall be required pursuant to Section 12.10 of the Municipal Code.

6. **Underground Utilities**

Any new utility service drops shall be located underground from the nearest convenient existing pole pursuant to Chapter 12.68 of the Municipal Code.

7. **Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project.

### **PRIOR TO BUILDING PERMIT SUBMITTAL**

8. **Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans.

9. **Tree Protection Note**

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

10. **Water Efficient Landscape Plan**

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

**11. Green Building Standards**

Provide verification that the house will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

**12. Underground Utility Location**

Show the location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

**13. Air Conditioner Sound Rating**

Show the location of any air conditioning units on the site plan and the manufacturer's specifications showing the sound rating for each unit.

**14. Storm Water Management**

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

**PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT**

**15. Tree Protection**

Tree protection fencing shall be installed around the driplines, or as required by the project arborist, of trees Nos. 1-6 as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

**PRIOR TO FINAL INSPECTION**

**16. Landscaping Installation and Verification**

Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

**17. Green Building Verification**

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Section 12.26 of the Municipal Code).



CITY OF LOS ALTOS  
GENERAL APPLICATION

Type of Review Requested: (Check all boxes that apply)

Permit # 1108491

<input type="checkbox"/>	One-Story Design Review	<input type="checkbox"/>	Commercial/Multi-Family	<input type="checkbox"/>	Environmental Review
<input checked="" type="checkbox"/>	Two-Story Design Review	<input type="checkbox"/>	Sign Permit	<input type="checkbox"/>	Rezoning
<input type="checkbox"/>	Variance	<input type="checkbox"/>	Use Permit	<input type="checkbox"/>	R1-S Overlay
<input type="checkbox"/>	Lot Line Adjustment	<input type="checkbox"/>	Tenant Improvement	<input type="checkbox"/>	General Plan/Code Amendment
<input type="checkbox"/>	Tentative Map/Division of Land	<input type="checkbox"/>	Sidewalk Display Permit	<input type="checkbox"/>	Appeal
<input type="checkbox"/>	Historical Review	<input type="checkbox"/>	Preliminary Project Review	<input type="checkbox"/>	Other:

Project Address/Location: 351 LUNADA CT

Project Proposal/Use: Residential Current Use of Property: Residential

Assessor Parcel Number(s): 167-10167 Site Area: 11,338

New Sq. Ft.: 114 sf Altered/Rebuilt Sq. Ft.: 2747 sf Existing Sq. Ft. to Remain: 0

Total Existing Sq. Ft.: 2747 sf Total Proposed Sq. Ft. (including basement): 3861 sf

Is the site fully accessible for City Staff inspection? Yes

Applicant's Name: William Ogle

Telephone No.: 415 378 3016 Email Address: william@ogledesigns.com

Mailing Address: 2640 8th Ave Apt C

City/State/Zip Code: Oakland, CA 94606

Property Owner's Name: James Laudon

Telephone No.: 608 205 8150 Email Address: jlaudon@gmail.com

Mailing Address: 351 Lunada Ct

City/State/Zip Code: Los Altos, CA

Architect/Designer's Name: William Ogle

Telephone No.: 415 378 3016 Email Address: william@ogledesigns.com

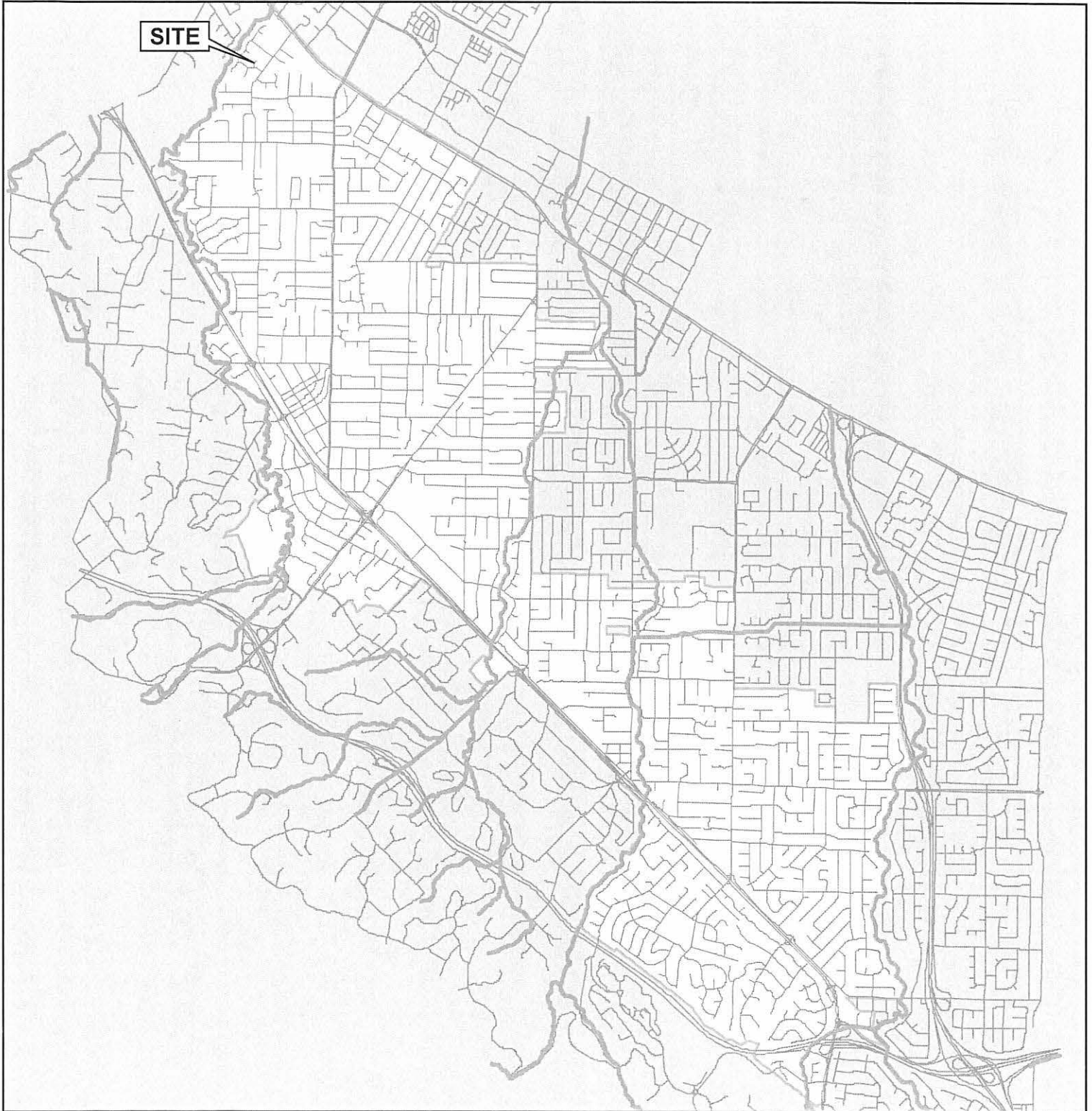
Mailing Address: 2640 8th Ave Apt C

City/State/Zip Code: Oakland, CA 94606

\* If your project includes complete or partial demolition of an existing residence or commercial building, a demolition permit must be issued and finalized prior to obtaining your building permit. Please contact the Building Division for a demolition package. \*



# AREA MAP



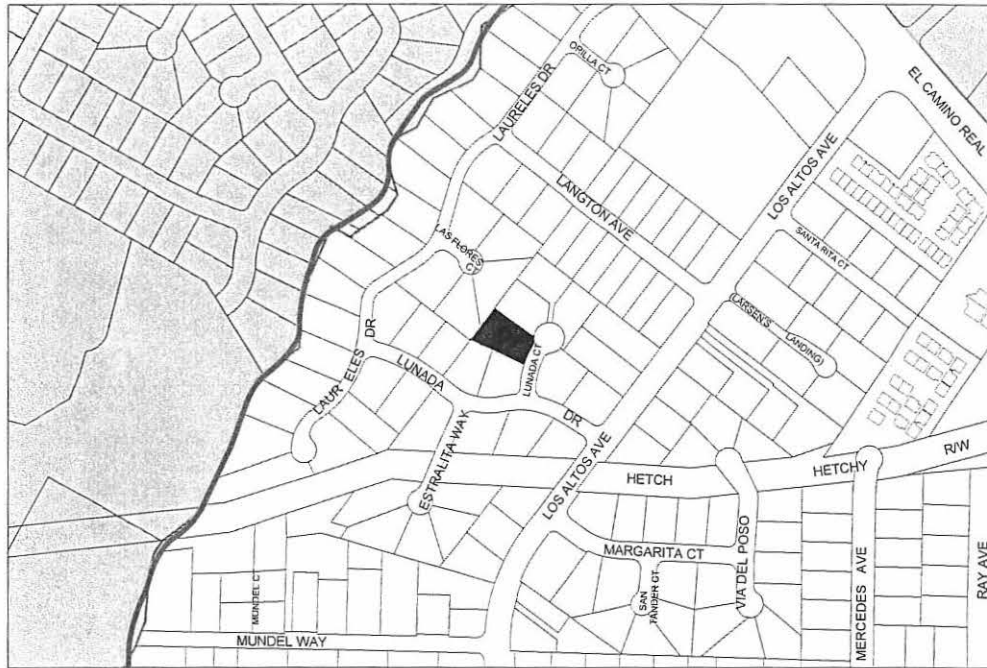
## CITY OF LOS ALTOS

**APPLICATION:** 18-SC-27  
**APPLICANT:** William Ogle/ James Laudon  
**SITE ADDRESS:** 351 Lunada Court

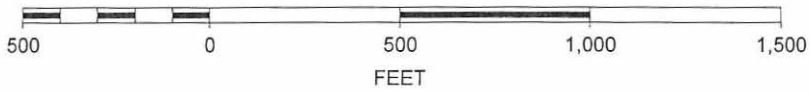


Not to Scale

# VICINITY MAP



SCALE 1 : 6,000



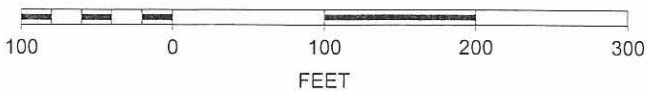
## CITY OF LOS ALTOS

**APPLICATION:** 18-SC-27  
**APPLICANT:** William Ogle/ James Laudon  
**SITE ADDRESS:** 351 Lunada Court

# 351 Lunada Court Notification Map



SCALE 1 : 1,500



September 24, 2018



James Laudon  
351 Lunada Ct.  
Los Altos, CA 94022

## Arborist Report (Tree Inventory and Preservation)

On September 1, 2018, M. Laudon called me out to perform a tree inventory and give my preservation recommendations prior to construction for trees they may be impacted by the construction. The trees have been tagged and numbered for identification and below are my findings and subsequent recommendations.

### Tree Inventory

Tree No.	Common Name	Location	Circumf. inches Approximate	Width ft./Height Approximate	Health Class
1	Hollywood Juniper	Front-left side of driveway	57	30/25	D (Poor)
2	Eucalyptus	Left-hand corner of backyard	57	30/40	C (Fair)
3	White Birch Bark	Middle of backyard	48	40/45	C (Fair)
4	Hollywood Juniper	Right-front side of property	62	30/40	C (Fair)

September 24, 2018  
Lauden  
351 Lunada Ct. Los Altos, CA



### **Tree Preservation Recommendations for Trees #1, #3 and #4 Prior to Construction**

- 1) Install protective chain fencing to extend to drip line of all trees, which is the Tree Protective Zone (TPZ) to protect roots of trees.
- 2) Install 4-6 inches thick of mulch to retain moisture and avoid root compaction inside the TPZ zone.
- 3) Fertilize and deep water the trees.
- 4) All roots over 1 inch in diameter should be sealed to prevent moisture loss if trenching is done and should be done by the certified arborist.
- 5) Monthly monitoring by a certified arborist to ensure preservation recommendations are being followed.
- 6) A certified arborist should supervise any excavation activities within the tree protective zone.

Sincerely,  
*Mark Hirschbek*  
Mark Hirschbek

ISA Certified Arborist #WE-9931A

P.O. Box 4085  
Mt. View, CA 94040

TEL 650-967-7925  
CEL 650-391-8062  
FAX 650-964-2145

Page 2

CA license# 993268  
QAL license# 102087  
Certified Arborist# WE-9931

[hirschbektree@sbcglobal.net](mailto:hirschbektree@sbcglobal.net)  
[www.hirschbektree.com](http://www.hirschbektree.com)



November 20, 2018

James Laudon  
351 Lunada Ct.  
Los Altos, CA 94022



## **Addendum to Arborist Report dated September 24, 2018**

On November 17, 2018 Mr. Laudon contacted me regarding additional information needed for the tree preservation report prior to construction mainly to include neighbor's coast live oak tree at 367 Lunada Ct. Los Altos, CA.

### **Coast live oak tree on neighbor's property:**

**Location:** The coast live oak tree is located at the back-right side of neighbor's property at 367 Lunada Ct. Los Altos, CA.

**Description:** The coast live oak tree has a DBH of approximately 60 inches, a height of about 80 feet, a width of about 70 feet and has multiple trunks. Health class of this tree is C (fair health).

### **Preservation recommendations for this coast live oak tree prior to construction:**

- 1) All roots over 1 inch in diameter should be sealed to prevent moisture loss if trenching is done and should be done by the certified arborist.
- 2) Deep root fertilize and deep-water tree.
- 3) Monthly monitoring by a certified arborist to ensure preservation recommendations are being followed.
- 4) A certified arborist should supervise any excavation activities within the tree protective zone.  
Fencing for this tree is not needed, as there is an existing fence already.

**Conclusion:** Trees #1, #2, #3, #4 and coast live oak tree are all protected trees but only trees #1, #3, #4 and coast live oak tree will be impacted by the construction. None of these trees need to be pruned, or removed at this time. All trees in this report are isolated, on flat terrain and have no power lines above them.

Sincerely,

*Mark Hirschbek*

Mark Hirschbek

ISA Certified Arborist #WE-9931A

P.O. Box 4085  
Mt. View, CA 94040

TEL 650-967-7925  
CEL 650-391-8062  
FAX 650-964-2145

CA license# 993268  
QAL license# 102087  
Certified Arborist# WE-9931

hirschbektree@sbcglobal.net  
www.hirschbektree.com

**Neighbor's Coast Live Oak Tree  
at 367 Lunada Dr. LosAltos, CA**



**Tree #1 Hollywood Juniper**  
**351 Lunada Ct. Los Altos, CA**





**Tree #2 Eucalyptus**  
**351 Lunada Ct. Los Altos, CA**

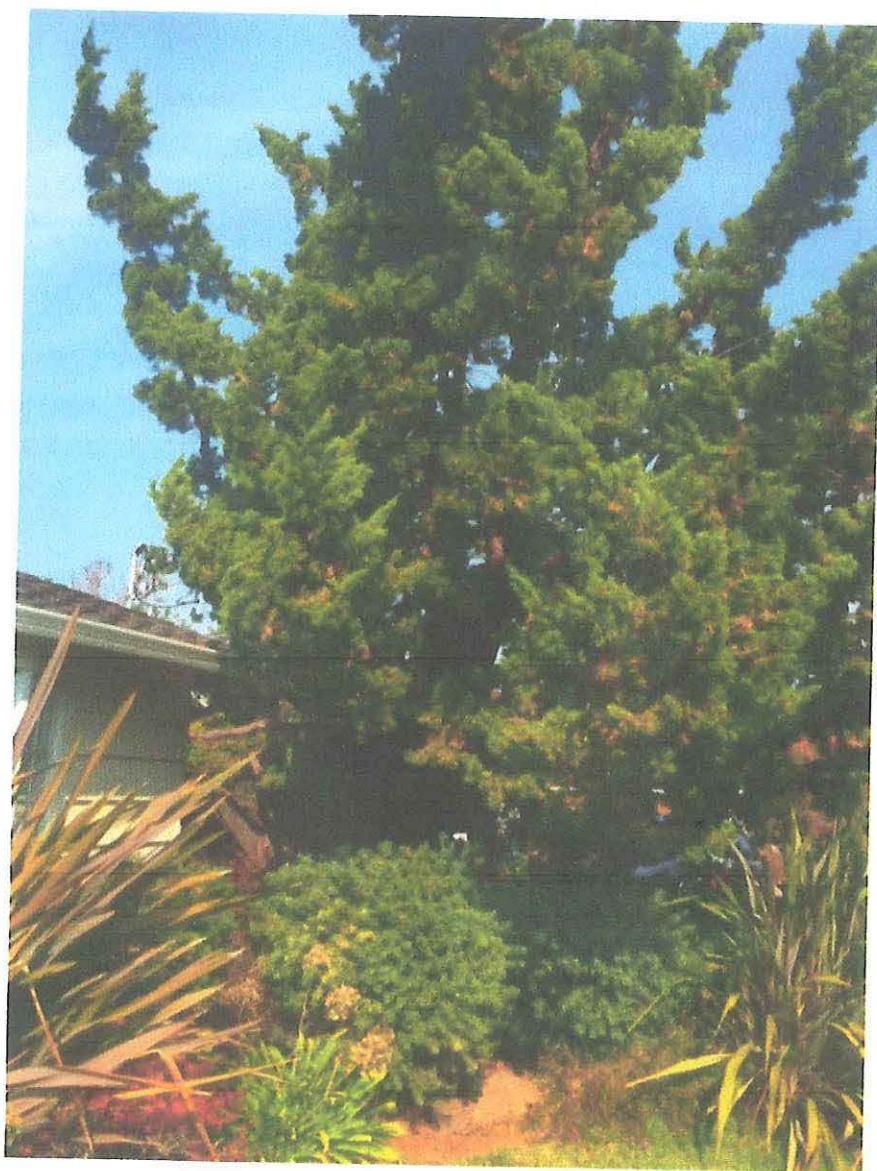


**Tree #3 White Birch Bark  
351 Lunada Ct. Los Altos, CA**





**Tree #4 Hollywood Juniper**  
**351 Lunada Ct. Los Altos, CA**





## Disclaimer

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendation of the arborist, or seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that may fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe, or fail for that matter, under all circumstances, or for a given period of time. Likewise, remedial treatments, like medicine, cannot be guaranteed.

Treatments, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, sight lines, Disputes between neighbors, landlord-tenant matters, etc. Arborists cannot take such issues into account unless complete and accurate information is given to the arborist. The person hiring the arborist accepts full responsibility for authorizing the recommended treatment or remedial measures.

Trees can be managed, but they can't be controlled. To live near a tree is to accept some Degree of risk. The only way to eliminate all risks is to eliminate all trees.

This consultant does not verify the safety or health of any tree for any particular period of time. Construction activities are hazardous to trees and cause many short and long term injuries, which can cause trees to die or topple.

Even when every tree is inspected, inspection involves sampling; therefore some areas of decay or weakness may be missed. Weather, winds, and the magnitude and direction of storms are not predictable and some failures may still occur despite the best application of high professional standards.

P.O. Box 4085  
Mt. View, CA 94040

TEL 650-967-7925  
CEL 650-391-8062  
FAX 650-964-2145

CA license# 993268  
OAL license# 102087  
Certified Arborist# WE-9931

[hirschbektree@sbcglobal.net](mailto:hirschbektree@sbcglobal.net)  
[www.hirschbektree.com](http://www.hirschbektree.com)