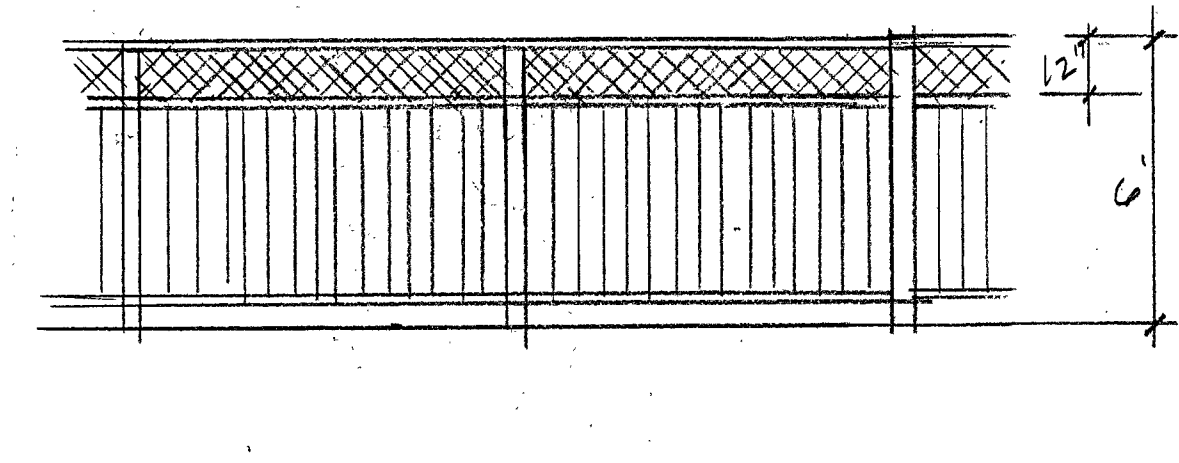


- INDEX OF PLANS**
- A1 SITE PLAN
 - A2 FIRST FLOOR
 - A3 SECOND FLOOR, FLOOR AREA CALL
 - A4 ELEVATIONS
 - A5 ELEVATIONS
 - A6 SECTIONS, ROOF PLAN
 - C1 GRADING, DRAINAGE
 - C2 TOPO MAP
 - L1 LANDSCAPE PLAN



TYPICAL NEW 6' FENCE - UON

ARBORISTS TREE INVENTORY

Tree #	Common Name	Multi Trunk	Trunk Diameter(s)	Protected Tree	Status
1	Chinese Pistache		5"		Removed
2	Chinese Pistache		7"		Remain
3	Mayten Tree		7"		REMOVE
4	Saucer Magnolia		4", 3", 3", 3"		Removed
5	English Laurel Hedge		Small		Removed
6	Fern Pine		18", 12", 10"		Remain
7	Purple Leaf Plum		9", 4", 10"		Removed
8	Chinese Pistache		9"		Removed
9	Tulip Tree		17"		Removed
10	Japanese Maple		3"(3), 2"(5)		Remain

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <small>Land area covered by all structures that are over 6 feet in height</small>	2574 square feet (18.3%)	2892 square feet (21.3%)	() square feet ()
FLOOR AREA: <small>Measured to the outside surfaces of exterior walls</small>	1st Flr: 2976 sq ft 2nd Flr: 2976 sq ft Total: 5952 sq ft (18.3%)	1st Flr: 2892 sq ft 2nd Flr: 1915 sq ft Total: 4807 sq ft (32.3%)	4155 square feet (32.3%)
SETBACKS:			
Front	25 feet	32 feet	25 feet
Rear	24 feet	27 feet	25 feet
Right side (1 1/2' / 2nd)	12 feet / 12 feet	12 feet / 26 feet	10 feet / 18 feet
Left side (1 1/2' / 2nd)	15 feet / 15 feet	15 feet / 25 feet	10 feet / 18 feet
HEIGHT:	12 feet	20 feet	20 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <small>Includes habitable basement areas</small>	2090 square feet	1506 square feet	3596 square feet
NON-HABITABLE AREA: <small>Does not include covered porches or open structures</small>	484 square feet	71 square feet	555 square feet

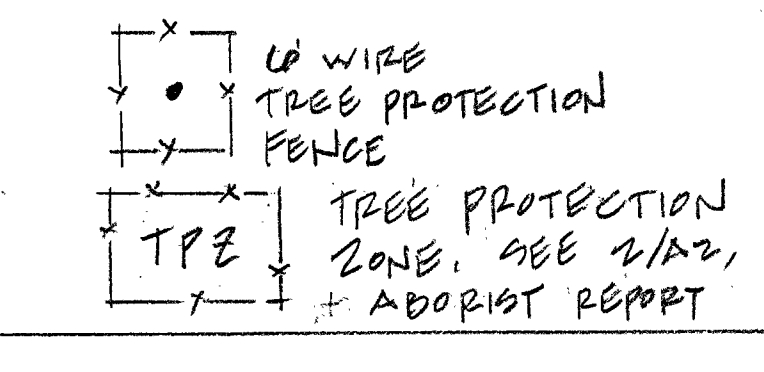
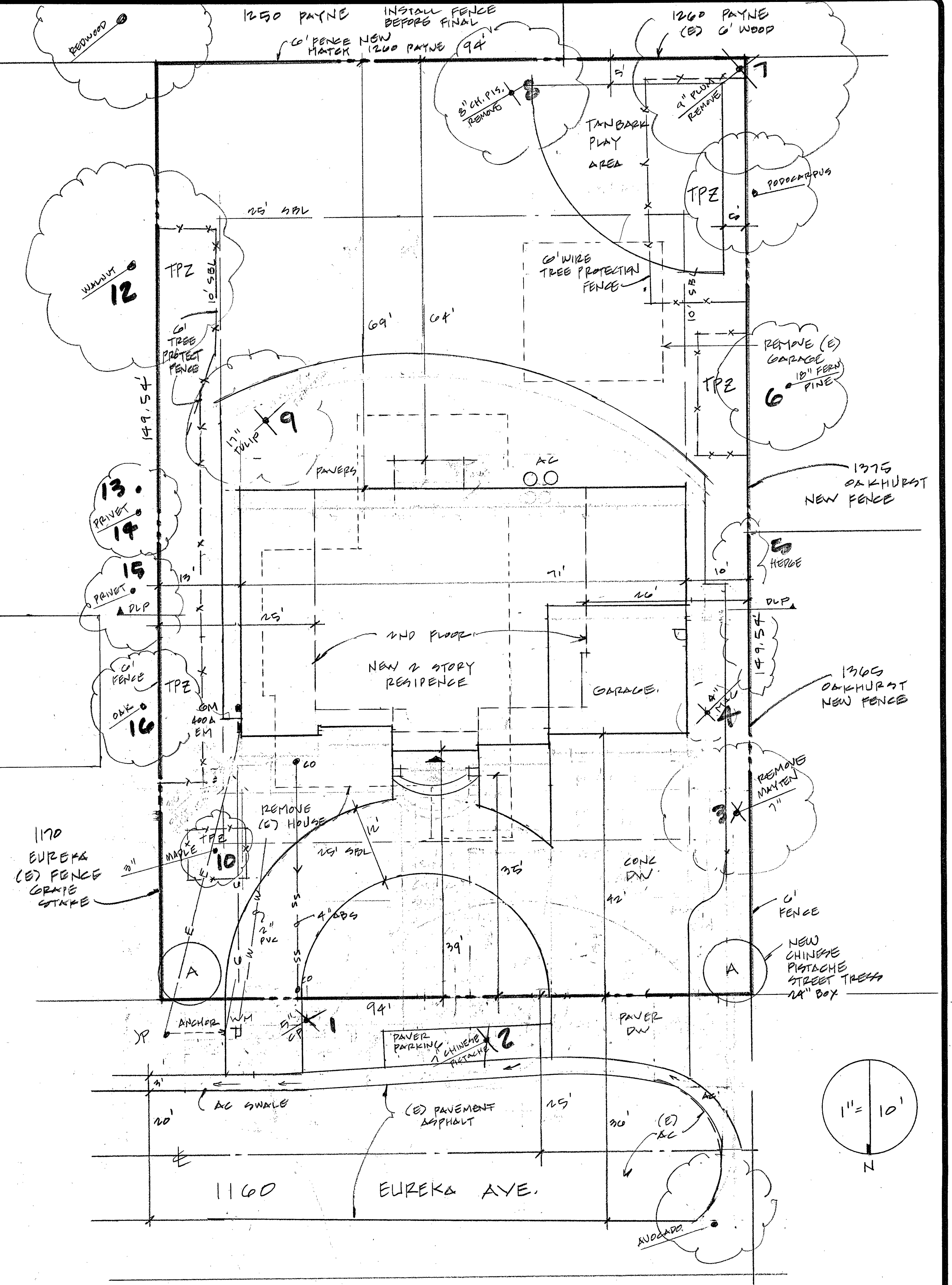
LOT CALCULATIONS

NET LOT AREA:	14096 square feet
FRONT YARD HARDSCAPE AREA: <small>Hardscape area in the front yard setback shall not exceed 50%</small>	1490 square feet (10.6%)
LANDSCAPING BREAKDOWN:	
Total hardscape area (existing and proposed):	4930 sq ft
Existing softscape (undisturbed) area:	9106 sq ft
New softscape (new or replaced landscaping) area:	9106 sq ft
<small>Sum of all three should equal the site's net lot area</small>	

1. ADD NEW GARAGE, REC ROOM, BATHROOM, BATH, LAUNDRY
2. CONVERT GARAGE TO HEATED
3. NO CHANGE AT M.BED, BED 2
4. ENLARGE M.BATH AND BATH 2
5. ENLARGE BED 3, 4 + 5
6. REPO KITCHEN
7. NEW ROOF TO MATCH
8. NEW FIXTURES, PLUMBING, FURN, AC, DUCTS, NEW ELECTRIC SHOWN

LOT AREA 14096 sq ft
 MAX FAR 14096 * 0.1100 = 1550 sq ft
 1550 + 1505 = 3055 sq ft MAX
 FIRST FLOOR 2830
 SECOND FLOOR 1915
 TOTAL 4745 < 4155
 HEATED
 FIRST FLOOR 2201
 SECOND FLOOR 1915
 TOTAL 4116
 GARAGE 555
 COVERAGE 2892 / 14096 = 21%
 FRONT YARD 1490 / 14096 = 10.6% HARDCAP.
 R1-10, NEW RESIDENCE

SCOPE 2 DATA



Building occupancy: R3/U
 Construction type: VB
 Applicable Codes: 2016 California Building, Mechanical, Plumbing, Electrical, Fire, Residential, Energy, and Green Building Standards Codes.

No FLOOD ZONE

SITE PLAN

REVISIONS	BY
7.24.18	
10.10.18	
11.11.18	
2.1.19	
3.19.19	
3.29.19	

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APN 193-39-48

TEA1
 RESIDENCE
 1160 EUREKA AVE
 LOS ALTOS

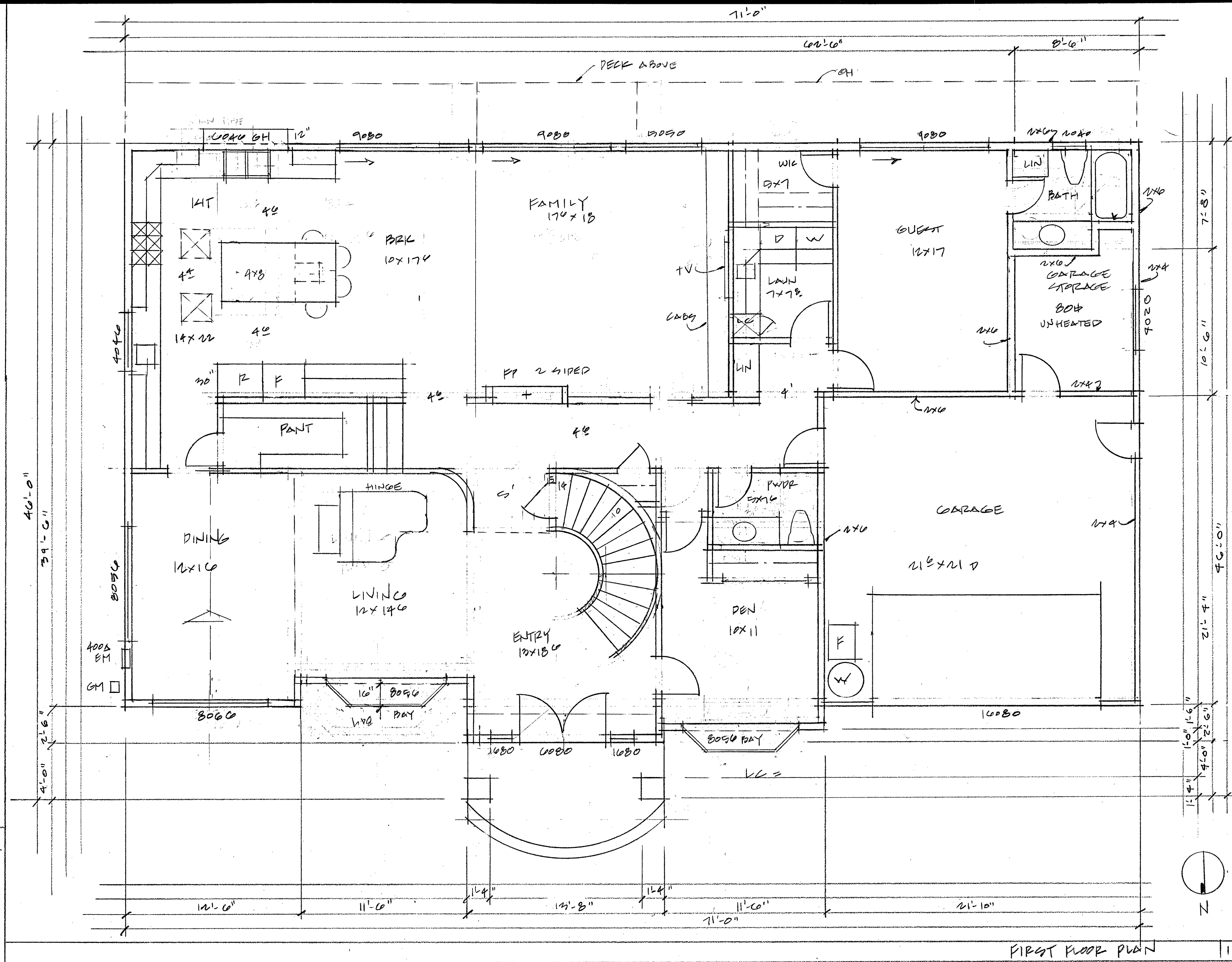
SITE PLAN

DRAWN
CHECKED
DATE 11.15.18
SCALE 1"=10'
JOB NO. TEA1
SHEET A1
OF SHEETS

5.2 Before and During Demolition, Grading and Construction

10. Tree protective fencing should be installed for at least identifying tree #12's TPZ, and can consist of either 6-foot tall chain link mounted on 2-inch diameter, galvanized steel posts driven into ground, or chain link panels mounted on concrete blocks or metal stands and embedded into the ground (at each midpanel).
11. For the TPZ for #6 and 13-16, prior to demolition, spread a 6- to 10-inch layer of coarse wood chips (e.g. 1/4- to 3/4-inch in size) over unpaved ground, and following demolition of existing pavement, spread additional to capture the entire TPZs. At the contractor's discretion, sheets of plywood could be laid on top and tied together for a steadier walking surface.
12. Great care must be taken during demolition of all existing pavement within TPZs to avoid excavating into the ground and disturbing roots.
13. Removing plant material within TPZs must be manually performed versus using heavy equipment operating and traveling on unpaved ground within those TPZs.
14. Approved digging or trenching within a TPZ should be manually performed without heavy equipment or tractors, including small ones, operating within a TPZ.
15. Roots encountered during the process with diameters <2 inches can be cleanly severed at a 90-degree angle to the direction of root growth. In doing so, sharp cutting tools (e.g. loppers or handsaw) shall be used, and the cut should occur against the tree side of the trench. Roots with diameters of ≥2 inches should be retained, not damaged, and kept moist (and tunneled beneath if necessary).
16. Spoils created during digging must not be piled or spread within a TPZ. If necessary, they can be temporarily piled on plywood or a tarp.
17. Avoid using tree trunks as winch supports for moving or lifting heavy loads, as well as for tying rope, cables, chains or other items around.
18. Supplemental water is essential to promote or maintain the vigor and longevity of trees being retained. The methodology, amount and frequency can be discussed prior to construction.
19. Digging holes for any new wood fence within a TPZ shall be manually performed, and in the event a root of ≥2 inches in diameter is encountered during the process, the hole should be shifted over by 12 inches and the process repeated.
20. Avoid disposing harmful products (such as cement, paint, chemicals, oil and gasoline) beneath canopies or anywhere on site that allows drainage within or near TPZs. Herbicides should not be used with a TPZ; where used on site, they should be labeled for safe use near trees. Liming shall not occur within 50 feet from a trunk.
21. Any tree pruning shall only be performed by a California state-licensed tree service company (D-49 classification) that has an ISA certified arborist in a supervisory role, carries General Liability and Worker's Compensation insurance, and abides by the most recent ANSI A300 standards.

TPZ 2



FIRST FLOOR PLAN

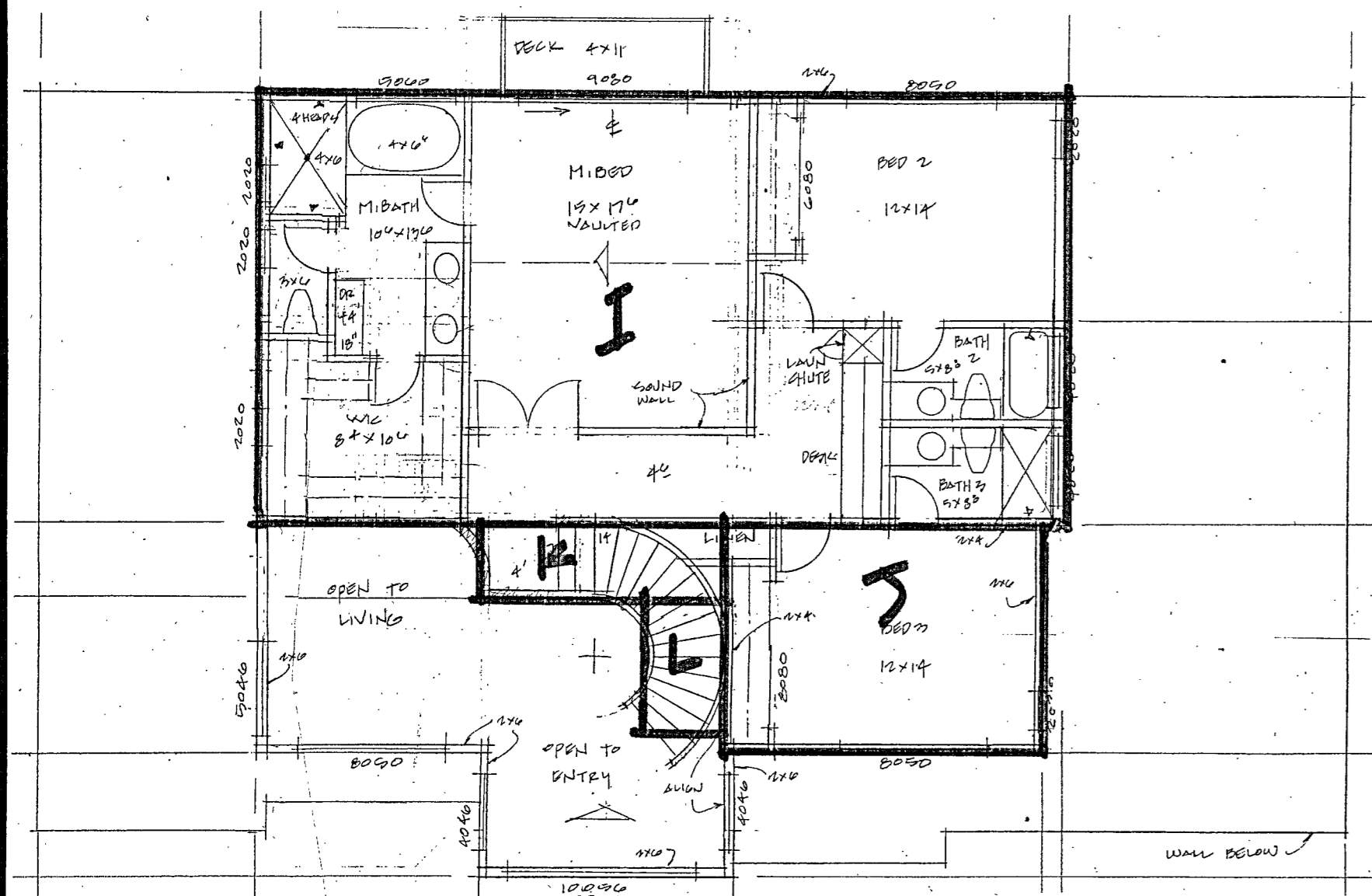
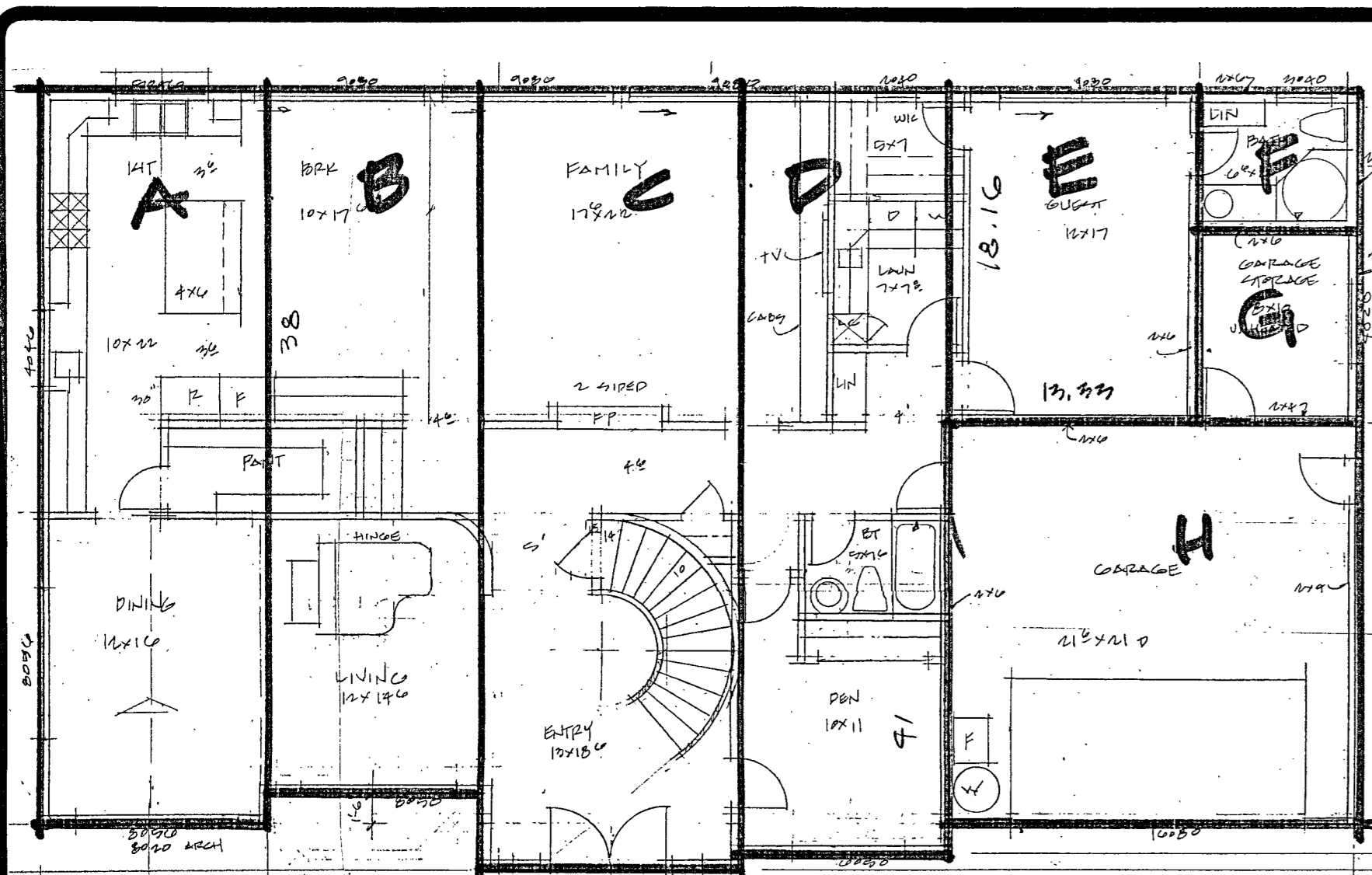
REVISIONS	BY
7.24.18	
10.10.18	
11.11.18	
02.13.19	
02.26.19	

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 Structural,
 Energy
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TSD1

FIRST FLOOR PLAN

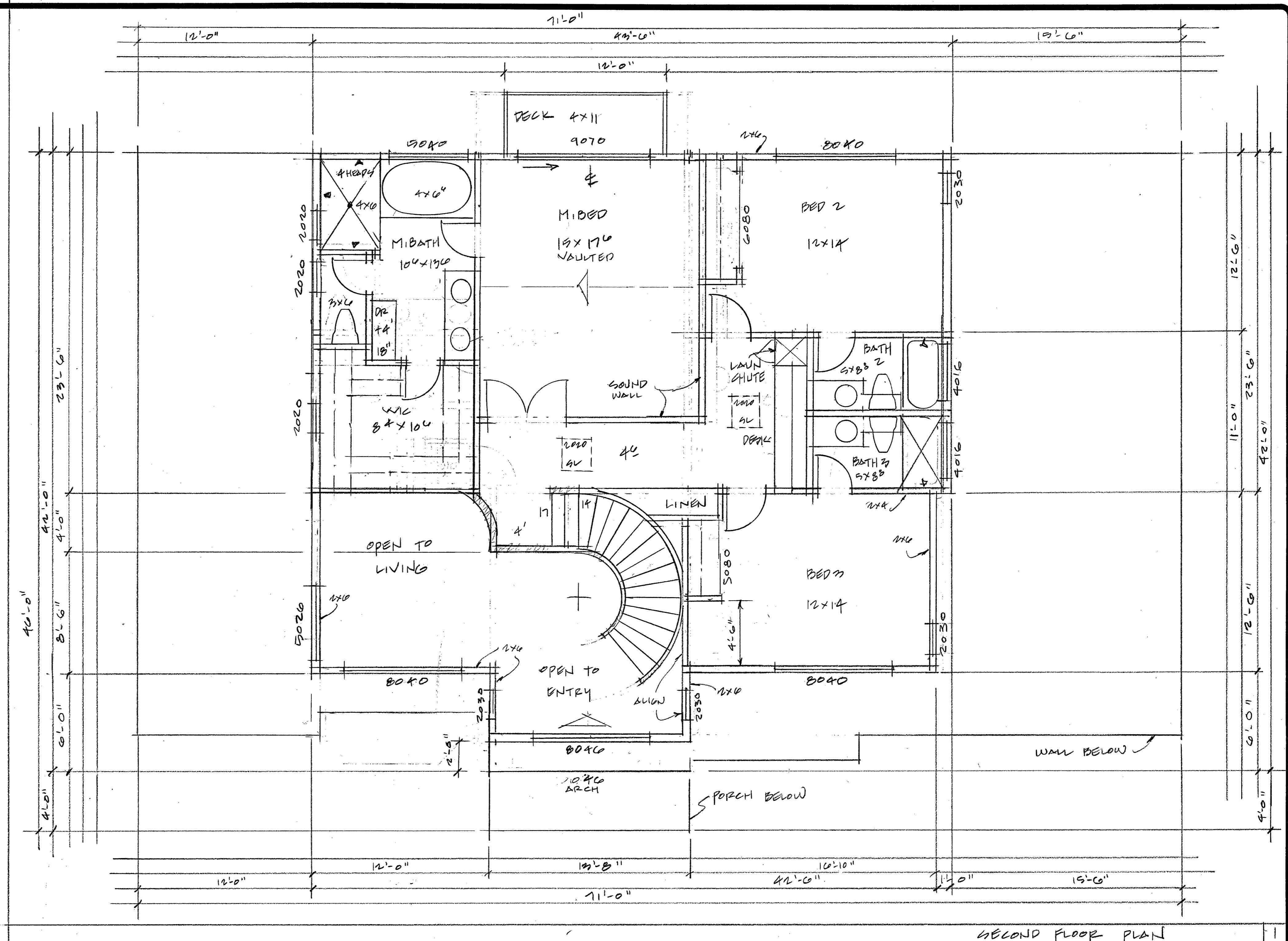
DRAWN
CHECKED
DATE 11.11.18
SCALE 1/4" = 1'-0"
JOB NO. TSD1
SHEET A2
OF SHEETS



TOTAL

A	39.5 x 12.5	491	
B	11.5 x 38	437	
C	13.06 x 42	544	
D	11.5 x 41	472	
E	18.16 x 13.33	242	
F	8.5 x 7.04	65	2281
G	10.5 x 8.5	89	
H	21.83 x 21.33	466	595 1876 1ST FL
I	43.5 x 23.5	1022	
J	10.83 x 12.5	210	
K	4 x 13.64	55	
L	4 x 7	28	

1315 4151 FAR < 4155
 3590 HEATED = OK



SECOND FLOOR PLAN

REVISIONS	BY
7.24.18	
10.10.18	
11.11.18	
3.13.19	
3.25.19	

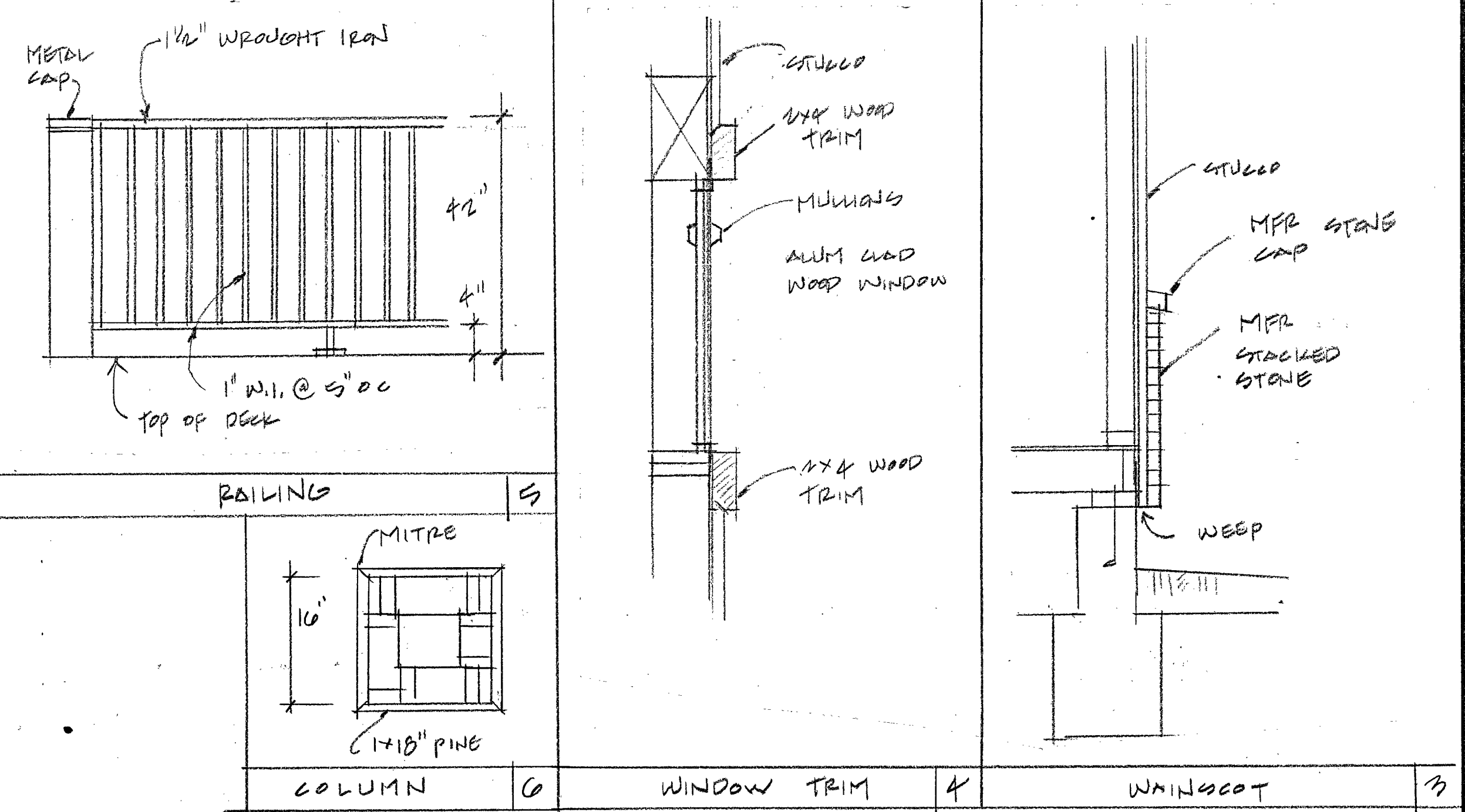
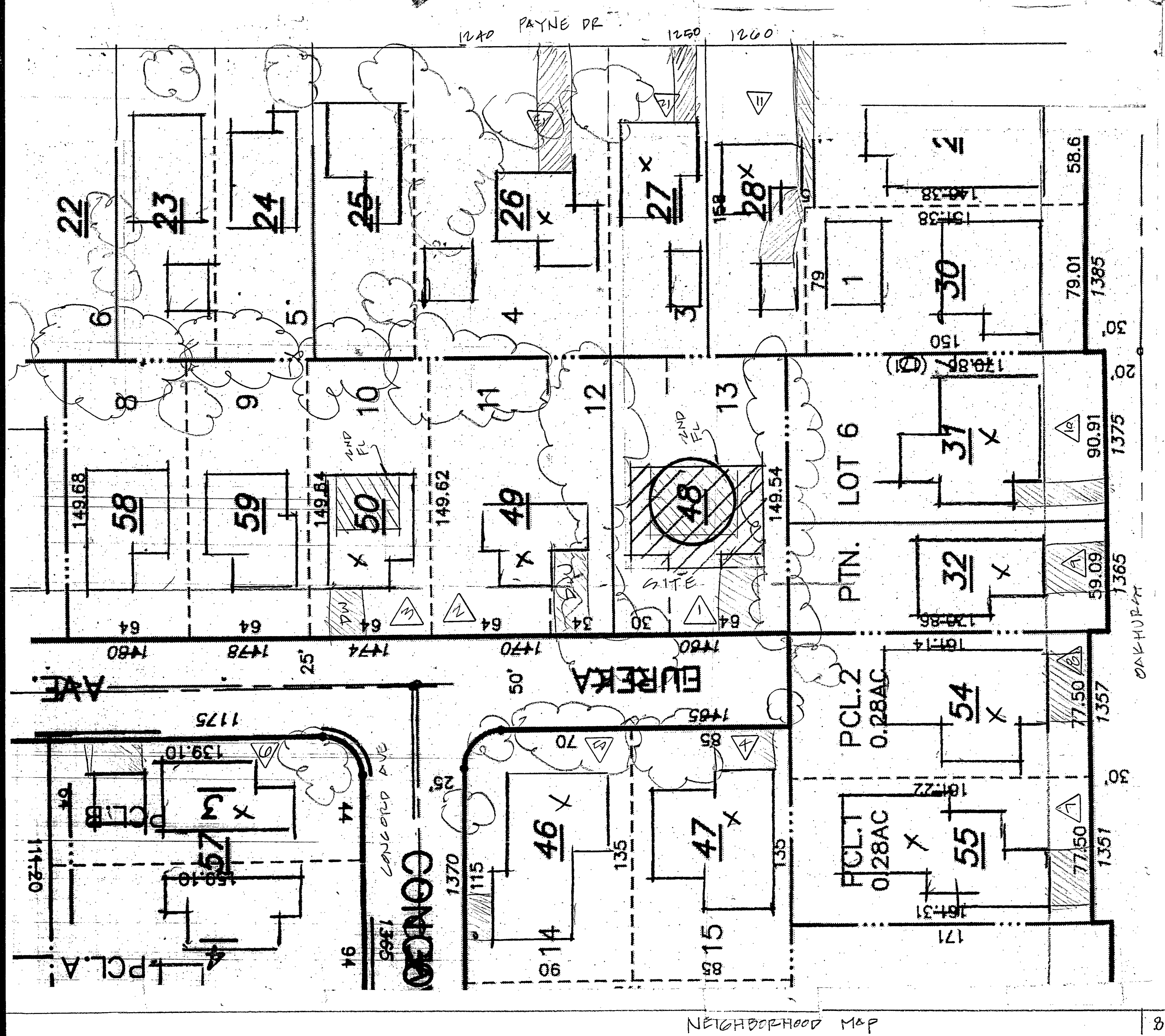
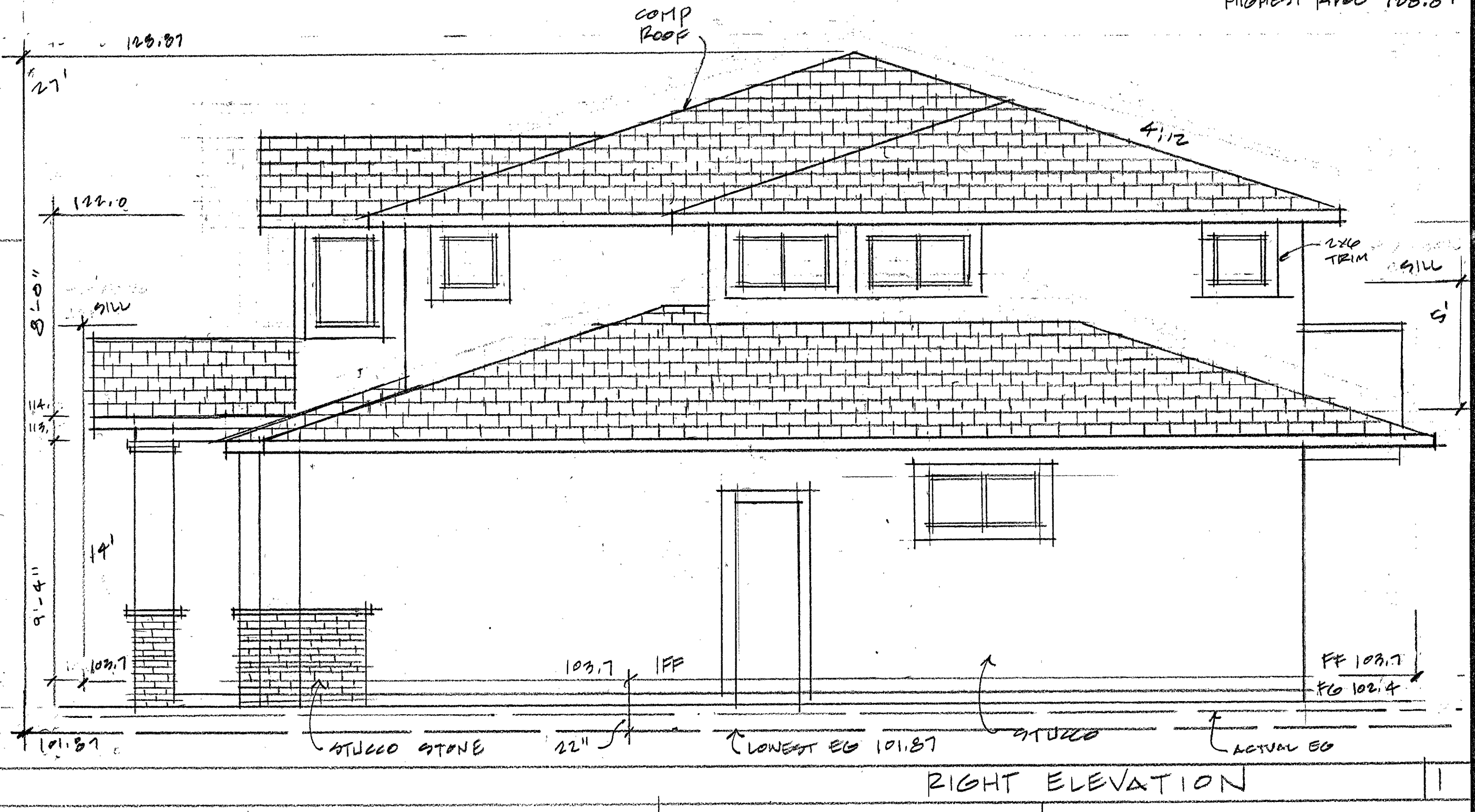
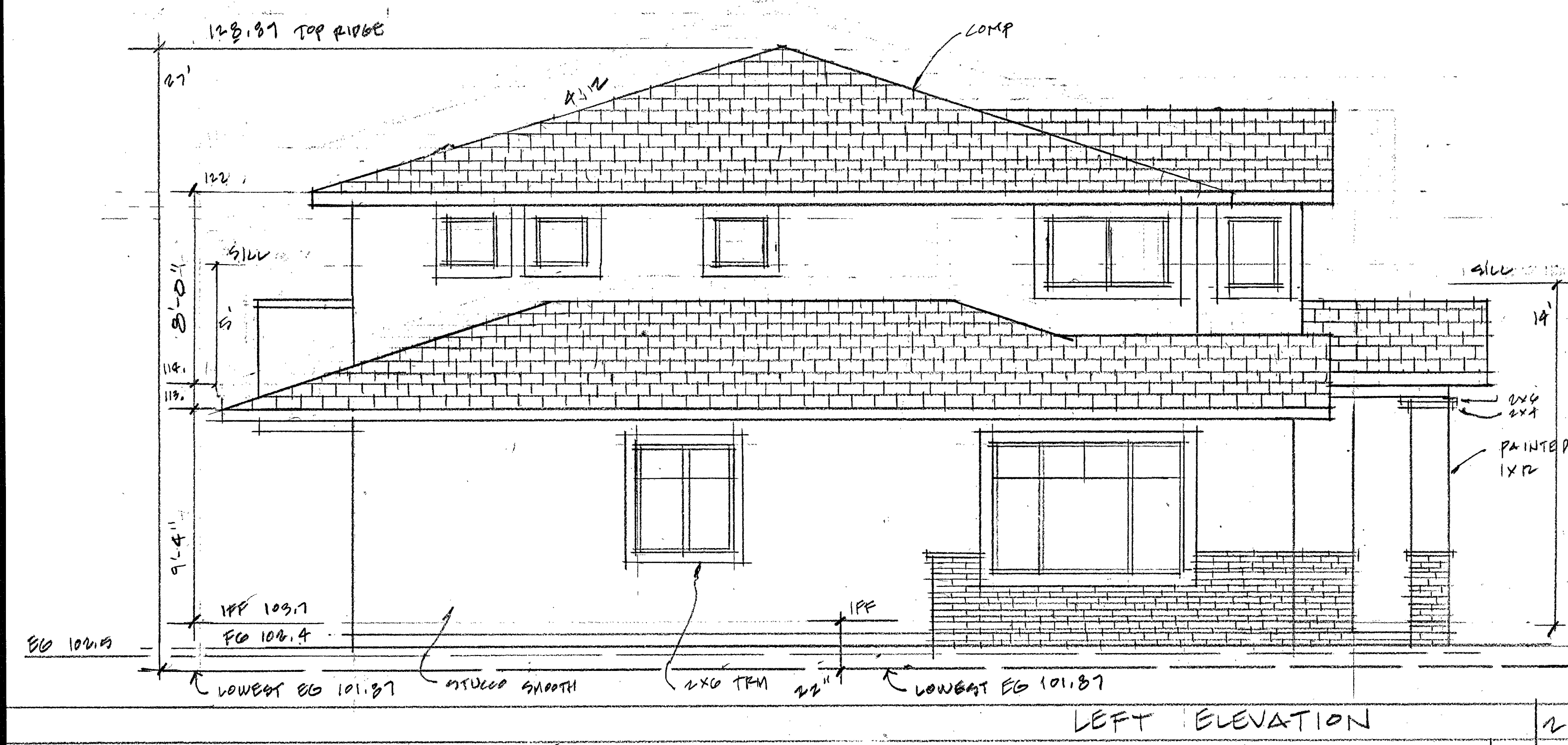
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 Los Gatos, CA 95032
 DarylFaz_kas@
 gmail.com
 408 395 9400

TSAI

SECOND FLOOR PLAN
 FLOOR AREA
 CALC

DRAWN
CHECKED
DATE 1.15.18
SCALE 1/8" = 1'-0"
JOB NO. TSAI
SHEET A3
OF SHEETS

LOWEST ELEV 101.87
 1FF 109.7
 HIGHEST PAVE 128.87



REVISIONS	BY
7.24.18	
10.10.18	
11.11.18	
3.13.19	
3.25.19	

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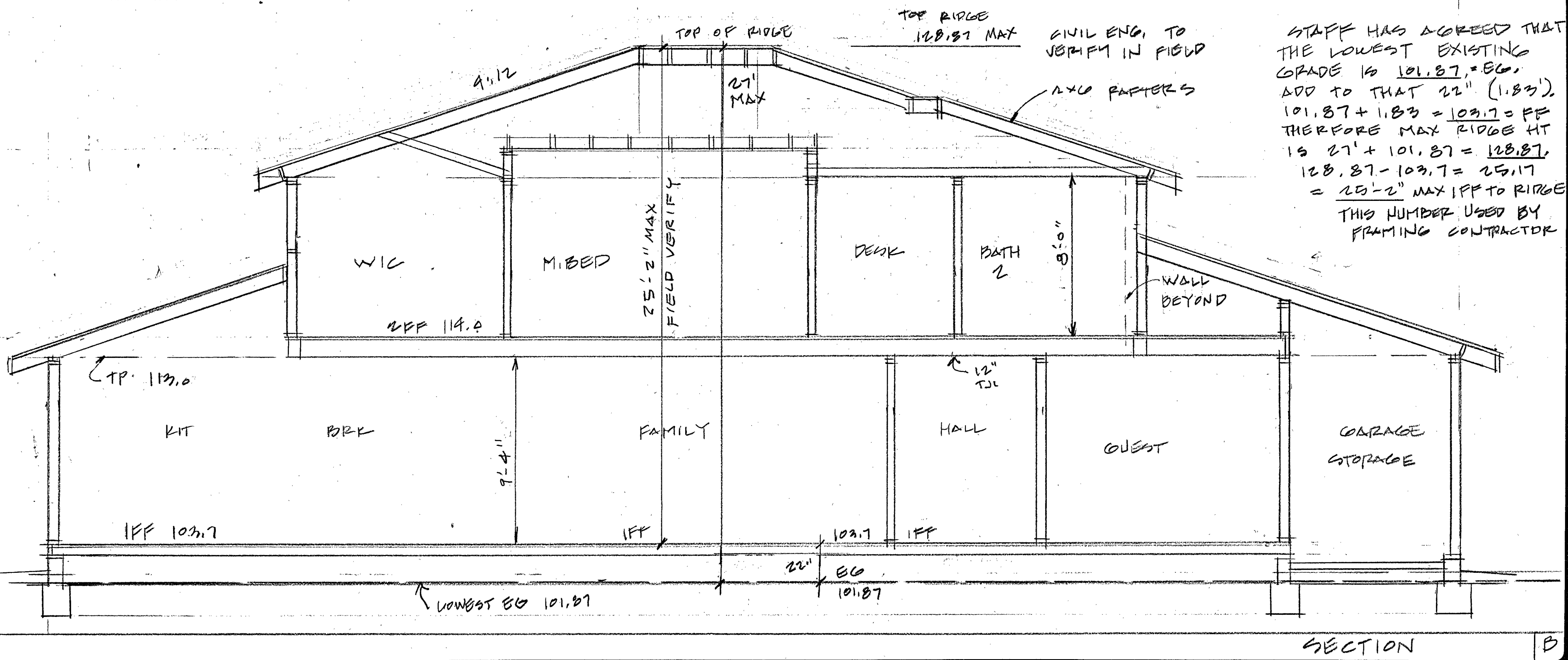
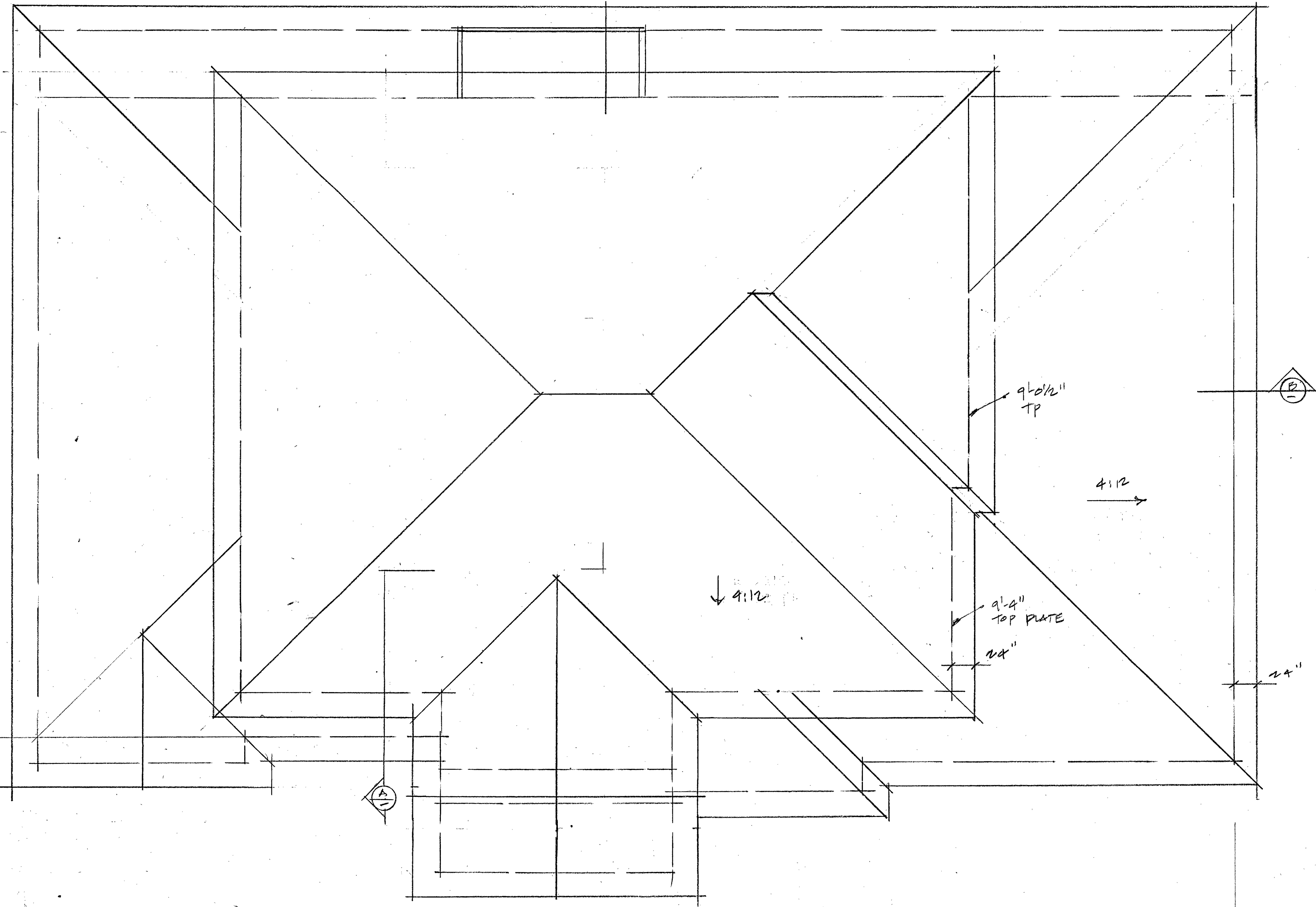
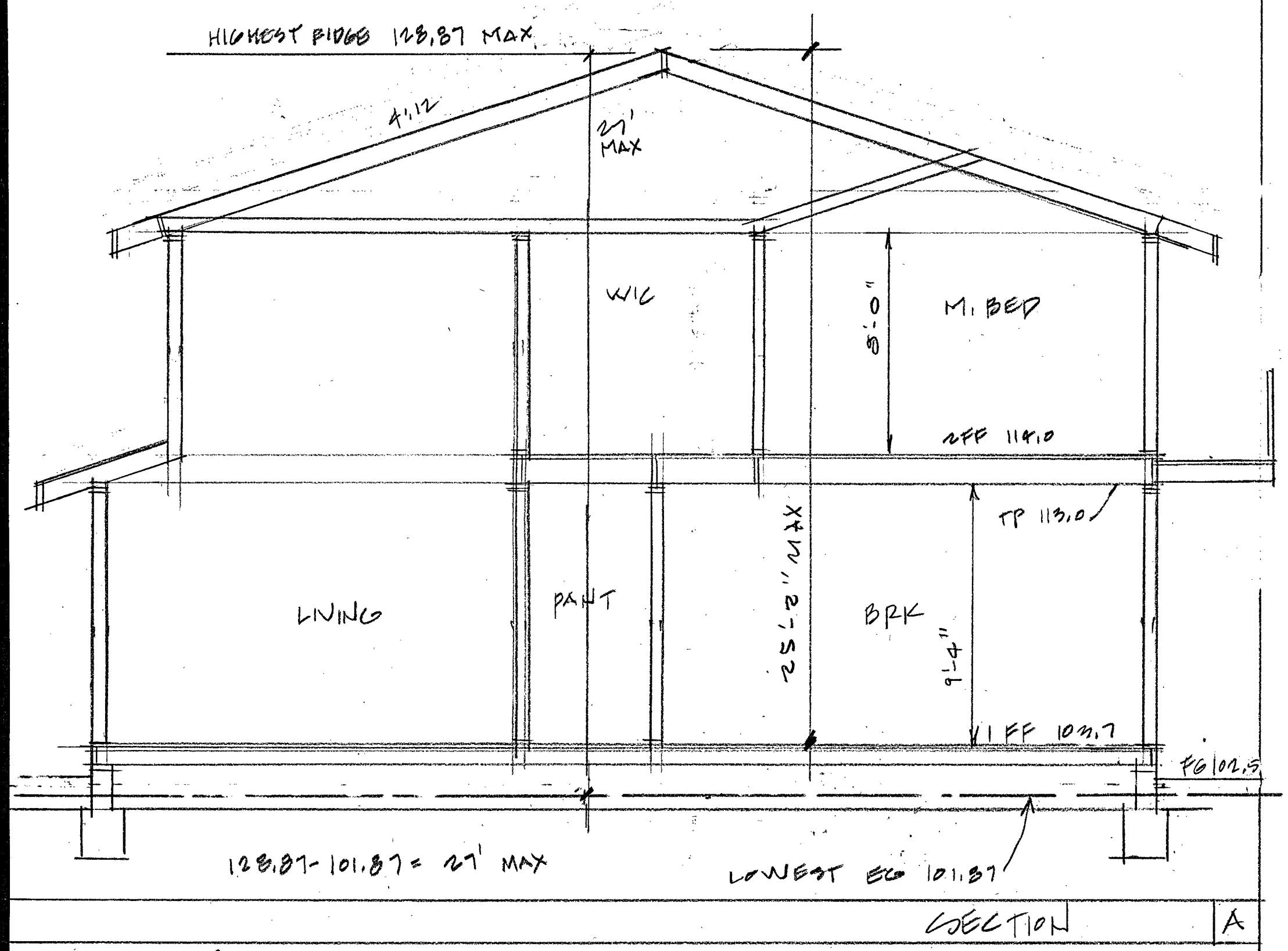
TSA1

ELEVATIONS
 NEIGHBORHOOD
 MAP

DRAWN
CHECKED
DATE 11.18.18
SCALE 1/4" = 1'-0"
JOB NO. TSA1
SHEET AS
OF SHEETS

REVISIONS	BY
7.24.18	
10.10.18	
11.11.18	
2.19.19	
3.25.19	

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 DarylFazekas@gmail.com
 408 395 9400



TSA 1

ROOF PLAN SECTIONS

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
A6
OF SHEETS

GRADING AND DRAINAGE PLANS

NEW, SINGLE FAMILY RESIDENTIAL

1160 EUREKA AVE., LOS ALTOS, CA 94024

APN: 193-39-048

ABBREVIATIONS			
	DESCRIPTION		DESCRIPTION
AB	AGGREGATE BASE (CLASS AS NOTED)	JP	JOINT POLE
AC	ASPHALT CONCRETE	MON.	MONUMENT
AD	AREA DRAIN	OG	ORIGINAL GROUND
BC	BEGIN OF CURVE	PB	PULL BOX
BO	BLOW OFF	PGEV	PG&E VAULT
BW	BACK OF WALK	R.PL	PROPERTY LINE
BWAL	BLACK WALNUT TREE	PP	POWER POLE
OFF	GARAGE FINISH FLOOR (BACK)	PPP	PLASTIC PERFORATED PIPE
S.CL	CENTERLINE	PSE	PUBLIC SERVICE EASEMENT
CLSW	CENTERLINE SWALE	PVC	POLYVINYL CHLORIDE
CO	CLEANOUT	R/W	RIGHT OF WAY
CONC	CONCRETE	RCP	REINFORCED CONCRETE PIPE
CP	CONTROL POINT	SD	STORM DRAIN
DDW	DIRT DRIVEWAY	SDMH	STORM DRAIN MANHOLE
DI	DROP INLET	SS	SANITARY SEWER LINE
DETAIL	DAYLIGHT	SSMH	SANITARY SEWER MANHOLE
ELCT	ELECTROLIER	SW	SIDEWALK
EP	EDGE OF PAVEMENT ELEVATION	TC	TOP OF CURB
EUC	EUCALYPTUS TREE	TOB	TOP OF BANK
EX	EXISTING	TOE	TOE OF SLOPE
FF	FINISHED FLOOR	TF	TOP OF FOUNDATION
FG	FINISH GRADE	TP	TOP OF PIPE
FH	FIRE HYDRANT	UG	UNDERGROUND GAS
FL	FLOW LINE	USS	UNDERGROUND SANITARY SEWER
FNC	FENCE	UST	UNDERGROUND STORM DRAIN
FOG	FOG LINE	UT	UNDERGROUND TELEPHONE
GB	GRADE BREAK	UW	UNDERGROUND WATER
OFF	GARAGE FINISH FLOOR (FRONT)	VCP	VITRIFIED CLAY PIPE
GUY	GUY WIRE	WL	WHITE LINE STRIPE
HP	HIGH POINT	WLK	WALKWAY
IP	IRON PIPE	WM	WATER METER
LIP	LIP OF GUTTER	WV	WATER VALVE
C&G	CURB AND GUTTER	YL	YELLOW LINE STRIPE

LEGEND

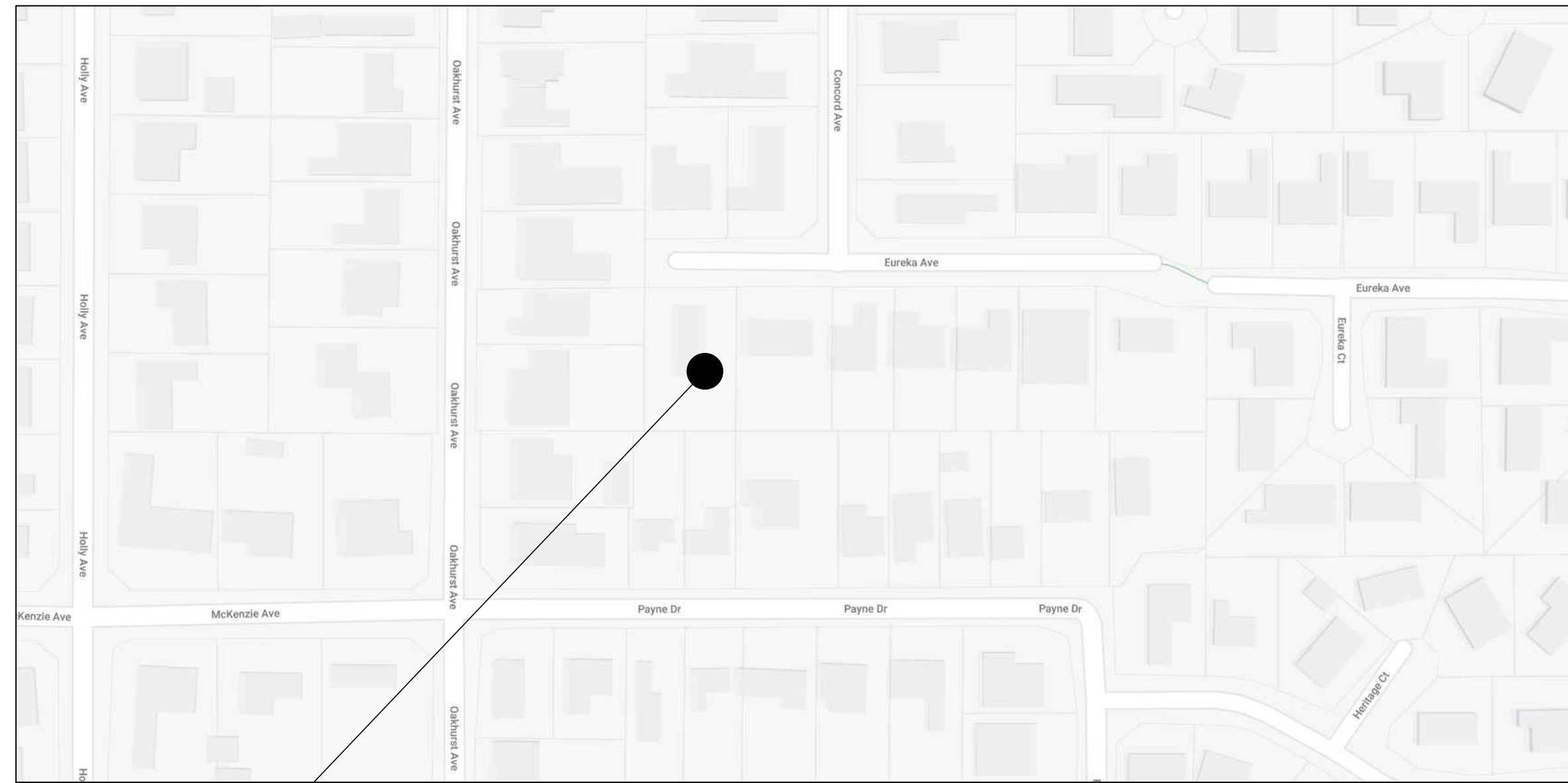
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
— F —	— F —	FILL AREA LIMIT
— C —	— C —	CUT AREA LIMIT
~ 102 ~	~ 102 ~	CONTOUR
— W —	— W —	WATER LINE
— SD —	— SD —	STORM DRAIN PIPE (SOLID)
— SS —	— SS —	SANITARY SEWER PIPE
— SUB —	— SUB —	SUBDRAIN PIPE (PERFORATED)
— OH — e,T,TV	— OH — e,T,TV	OVERHEAD UTILITIES WITH POLE
— G —	— G —	GAS LINE
— E —	— E —	ELECTRIC LINE (UNDERGROUND)
— JT —	— JT —	JOINT TRENCH
☒ SLV	☒ SLV	STREET LIGHT VAULT
○ SSCO	● SSCO	SANITARY SEWER CLEANOUT
○	●	SANITARY SEWER MANHOLE
⊙	⊙	STORM DRAIN MANHOLE
☼	☼	ELECTROLIER
☒ WM	☒ WM	WATER METER
⊙	⊙	TREE WITH TRUNK
— x —	— x —	6' WOODEN FENCE
x...102.23	← 102.23	SPOT ELEVATION
---	---	TREE PROTECTION FENCE 5' TALL CHAIN LINK
---	---	SWALE
→	→	DIRECTION OF FLOW IN PIPE
●	●	AREA DRAIN/ INLET
⇨	⇨	OVERLAND RELEASE PATH
~	~	GRADING DIRECTION
☼	☼	(E) TREE TO BE REMOVE
○	○	DOWN-SPOUT
●	●	POP-UP EMITTER

EARTHWORK TABLE

	FILL (CY)	CUT (CY)	IMPORT (CY)	EXPORT (CY)
HOUSE	0	44		
SITE	41	31		
TOTAL	41	75	0	34

NOTE:

1. EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITY TAKE OFFS.



PROJECT SITE

LOCATION MAP
N.T.S.

SHEET INDEX:

- C-1 COVER SHEET/ NOTES
- C-2 GRADING AND DRAINAGE PLAN/ DETAILS
- C-3 DETAILS
- C-4 EROSION CONTROL PLAN

DRAINAGE NOTES

1. Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
2. All roof downspouts shall discharge to concrete splash pads draining away from the foundation. See architectural plans for roof downspout locations.
3. On site storm drain lines shall consist of PVC-SCH 40 minimum or better.
4. Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

SITE BENCHMARK:

SURVEY CONTROL
SET MAG NAIL
ELEVATION=100.00
(ASSUMED DATUM)

BASIS OF BEARING:

FOUND SURVEY MONUMENTS. RECORD INFORMATION WAS USED. PER RECORD MAP, BOOK:7 PAGE:18 WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

BOUNDARY NOTE:

A RECORD OF SURVEY IS CURRENTLY BEING CONDUCTED. BOUNDARY MAY CHANGE

NOTE:

PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

NOTE:

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

GEOTECHNICAL ENGINEER OF RECORD

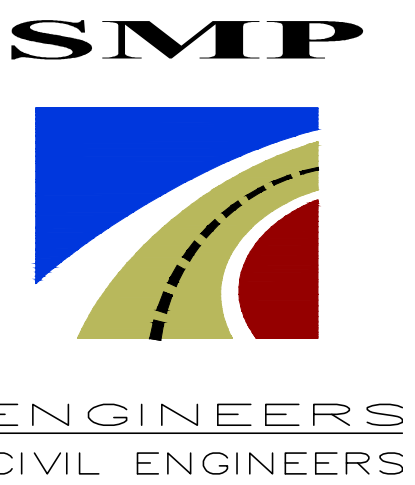
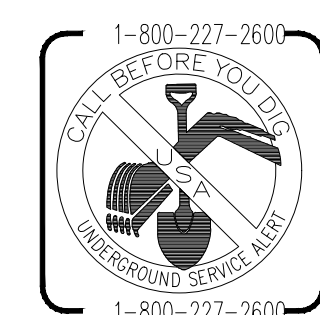
THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL REPORT

PREPARED BY _____ DATED _____

BY C.E.G. # _____ BY G.E. # _____

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



1534 CAROB LANE
LOS ALTOS, CA 94024
TEL: (650) 941-8055
FAX: (650) 941-8755

OWNER:

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SMP ENGINEERS
CIVIL ENGINEERS

GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY RESIDENTIAL
1160 EUREKA AVE., LOS ALTOS, CA 94024
APN: 193-39-048
COVER SHEET

Revisions:

Date: 2/19/2019
Scale:
Prepared by: NTS
S.P.
Checked by: S.R.
Job #: 217128
Sheet:

OWNER:

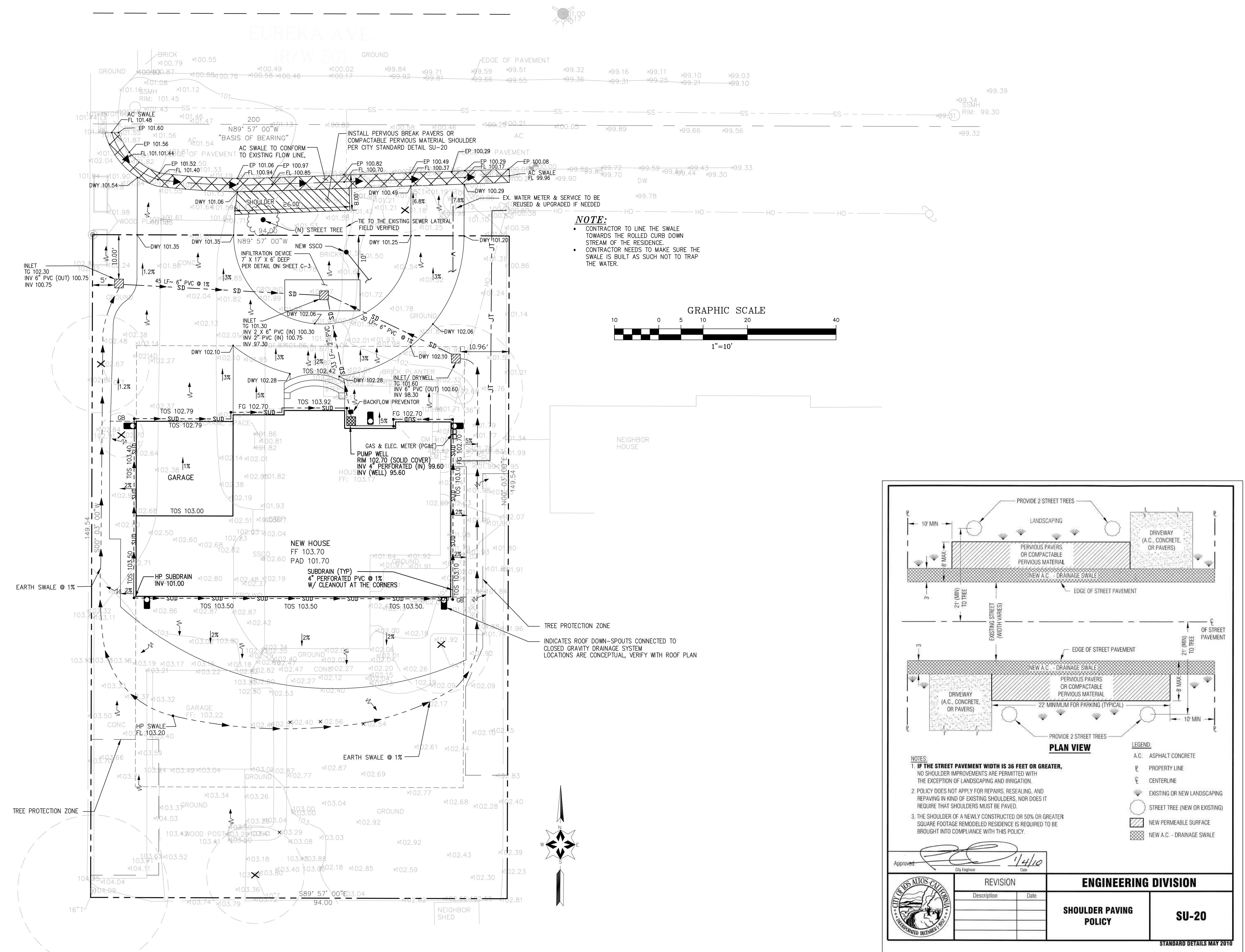
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GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY RESIDENTIAL
1160 EUREKA AVE., LOS ALTOS, CA 94024
APN: 193-39-048
GRADING AND DRAINAGE PLAN

Revisions:

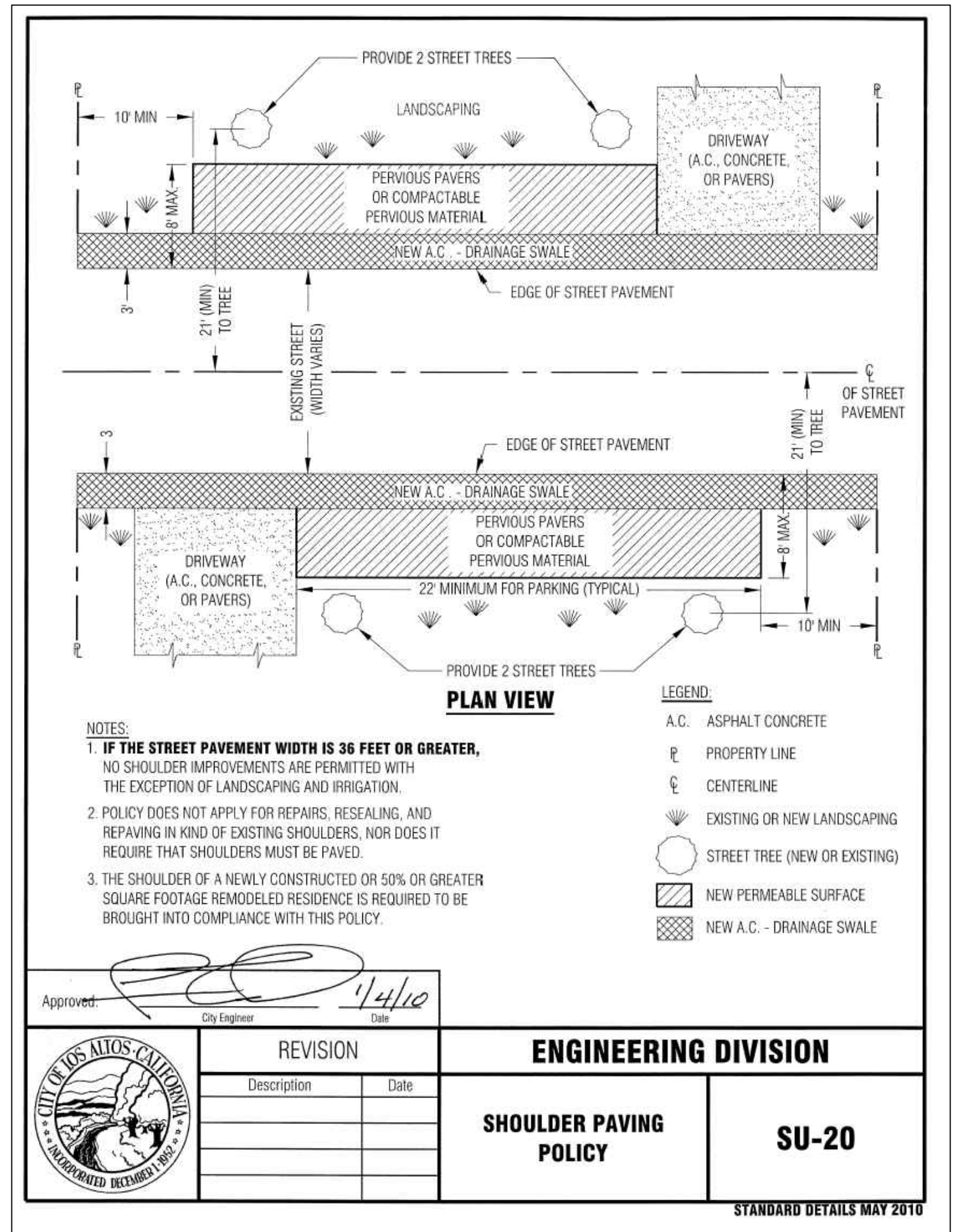
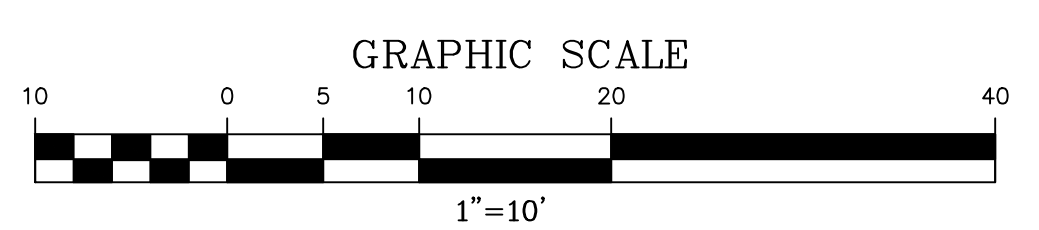
Date: 2/19/2019
 Scale: 1"=10'
 Prepared by: S.P.
 Checked by: S.R.
 Job #: 217128

Sheet: 2 OF 4
C-2



NOTE:

- CONTRACTOR TO LINE THE SWALE TOWARDS THE ROLLED CURB DOWN STREAM OF THE RESIDENCE.
- CONTRACTOR NEEDS TO MAKE SURE THE SWALE IS BUILT AS SUCH NOT TO TRAP THE WATER.



Approved: [Signature] City Engineer Date: 2/19/19

REVISION	
Description	Date

ENGINEERING DIVISION	
SHOULDER PAVING POLICY	SU-20
STANDARD DETAILS MAY 2010	

SHRUBS & HERBACEOUS



Camellia Japonica 'Nuccio's Pearl'
Camellia 5Gal.
12-16" x 10-16" (Height x Width)
6-8' x 6-8' (At Maturity)



Hydrangea macrophylla Blue Hydrangea 5 Gal.
12-14" x 12-14" (Height x Width)
3' x 3' (At Maturity)



Loropetalum chinensis 'Rubra'
Loropetalum 'Rubra' 5 Gal.
8-10" x 12-14" (Height x Width)
6-8' x 6-8' (At Maturity)



Prunus Caroliniana Carolina Laurel Cherry 5 Gal.
2-3' x 12-16" (Height x Width)
8-10' x 6-8' (At Maturity)

TREES



Acer Palmatum Japanese Maple 5 Gal.
3-4' x 12-24" (Height x Width)
4-5' x 4-5' (At Maturity)



Arbutus 'Marina' Strawberry Tree 24" Box
8-9' x 2-3' (Height x Width)
25-40' x 20-30' (At Maturity)



Citrus 'Meyer Lemon' Lemon Tree 15 Gal.
4-5' x 2-2.5' (Height x Width)
8-12' x 6-8' (At Maturity)



Dwarf Citrus 'Lemon' Dwarf Lemon Tree 15 Gal.
2.5-3' x 2-2.5' (Height x Width)
6-8' x 6-8' (At Maturity)



Dwarf Citrus 'Lime' Dwarf Lime Tree 15 Gal.
2.5-3' x 2-2.5' (Height x Width)
6-8' x 6-8' (At Maturity)



Lagerstroemia x fauriei hybrids Crape Myrtle 'Tuscarora' 24" Box
4-6' x 3-4' (Height x Width)
25' x 12' (At Maturity)



Maytenus Boaria Mayten Tree 24" Box
7-9' x 2-2.5' (Height x Width)
20-30' x 15-20' (At Maturity)



Persimmon 'Fuyu' Persimmon Tree 15 Gal.
5-6' x 2-3' (Height x Width)
20-30' x 10-15' (At Maturity)



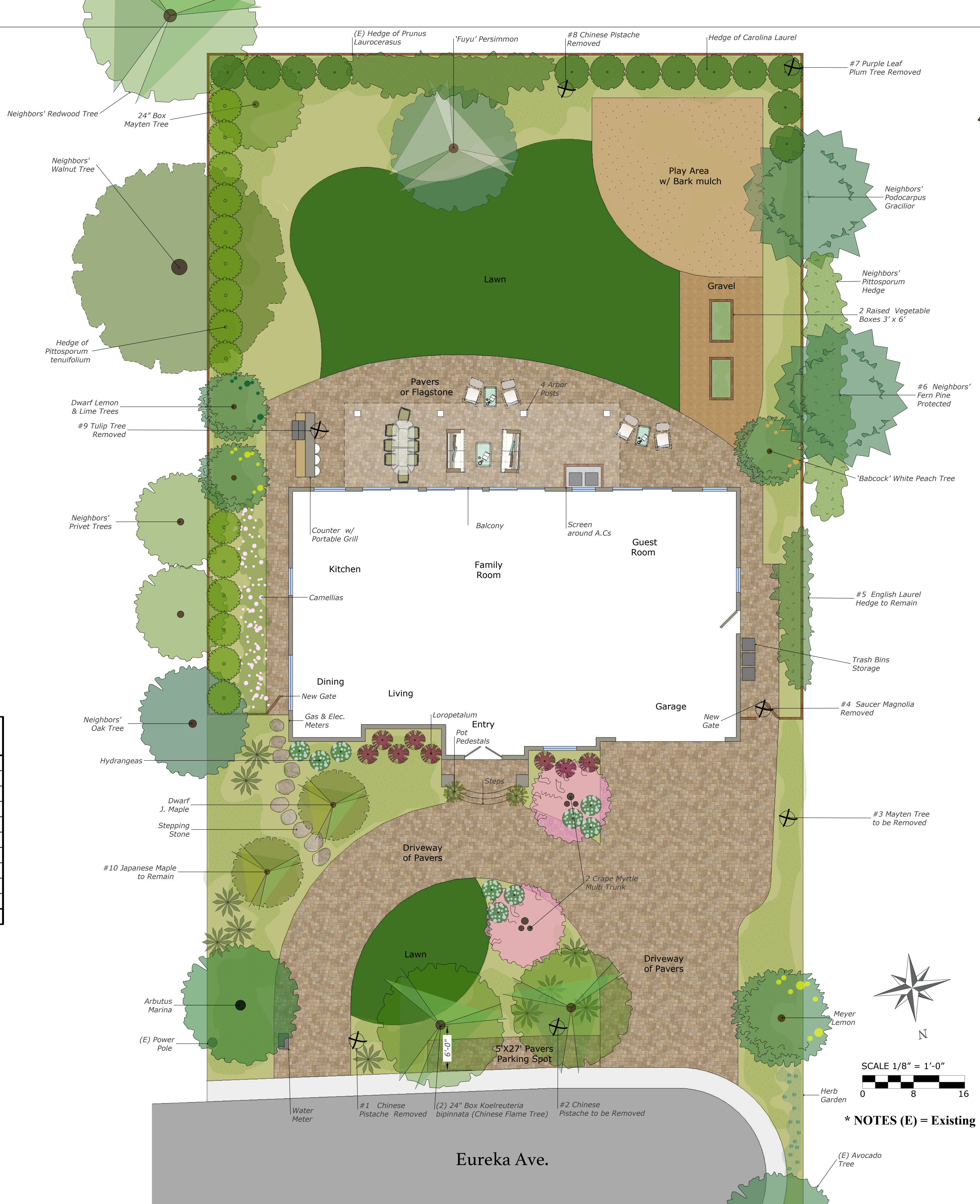
Peach 'Babcock' White Peach Tree 15 Gal.
5-6' x 2-3' (Height x Width)
20' x 20' (At Maturity)



Koelreuteria bipinnata Chinese Flame Tree 24" Box
8-10' x 2-3' (Height x Width)
20' x 40' (At Maturity)

ARBORISTS TREE INVENTORY

Tree #	Common Name	Multi Trunk	Trunk Diameter(s)	Protected Tree	Status
1	Chinese Pistache		5"		Removed
2	Chinese Pistache		7"		Removed
3	Mayten Tree		7"		Removed
4	Saucer Magnolia	*	4", 3", 3", 3"		Removed
5	English Laurel Hedge	*	Small		Removed
6	Fern Pine	*	18", 12", 10"	*	Remain
7	Purple Leaf Plum	*	9", 4", 10"		Removed
8	Chinese Pistache		9"		Removed
9	Tulip Tree		17"	*	Removed
10	Japanese Maple	*	3"(3), 2"(5)		Remain



REVISIONS	BY



AITKEN ASSOCIATES
LANDSCAPE ARCHITECTS
8662 Rancho Real Gilroy Ca. 95020
Calif. Reg.#2239 (408) 842-0245
aitkenassociates@gmail.com

TSAI RESIDENCE
1160 Eureka Ave., Los Altos CA
LANDSCAPE PLAN



DATE 09-21-2018
SCALE 1/8"=1'-0"
DRAWN AD
JOB TSAI

L-1