

# SECOND STORY ADDITION PLANS

## PLANNING DEPARTMENT SUBMITTAL

# ROSE RESIDENCE

570 Torwood Lane, Los Altos, CA 94022  
APN 167-440-014

January 18, 2019

### ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQ'D
LOT COVERAGE: LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	3566 SQ. FT. (29%)	3574 SQ. FT. (29%)	3737 SQ. FT. (30%)
FLOOR AREA: MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1ST FLR: 3381 SQ. FT. 2ND FLR: 0 SQ. FT. TOTAL: 3381 SQ. FT. (27%)	1ST FLR: 3389 SQ. FT. 2ND FLR: 597 SQ. FT. TOTAL: 3986 SQ. FT. (32%)	3996 SQ. FT. (32%)
SETBACKS:			
FRONT	17.5 FEET	17.5 FEET	25 FEET
REAR	25 FEET	25 FEET	25 FEET
RIGHT SIDE (1ST/2ND)	22.5 FEET/ 0 FEET	21.8 FEET / 21.8 FEET	20 FEET/ 20 FEET
LEFT SIDE (1ST/2ND)	9.7 FEET/ 0 FEET	9.7 FEET / 74 FEET	10 FEET/ 17.5 FEET
HEIGHT:	18.5 FEET	24 FEET	27 FEET



### DRAWING INDEX

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L1	LANDSCAPE PLAN

### PROJECT DIRECTORY

OWNER  
DON ROSE  
570 TORWOOD LANE  
LOS ALTOS, CA.

LANDSCAPE ARCHITECT  
BRADANINI & ASSOCIATES  
90 THROCKMORTON AVENUE, STE. 16  
MILL VALLEY, CALIFORNIA 94941  
JAMES BRADANINI  
(415) 383-9780

BUILDING DESIGNER  
DESIGN PLANNING ASSOCIATES  
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218 N. ALMENAR DRIVE  
GREENBRAE, CA 94904

CIVIL ENGINEER & STRUCTURAL  
GREGORY J. COOK  
P.O. BOX 18442  
SOUTH LAKE TAHOE, CA 96151  
(530) 544-7774

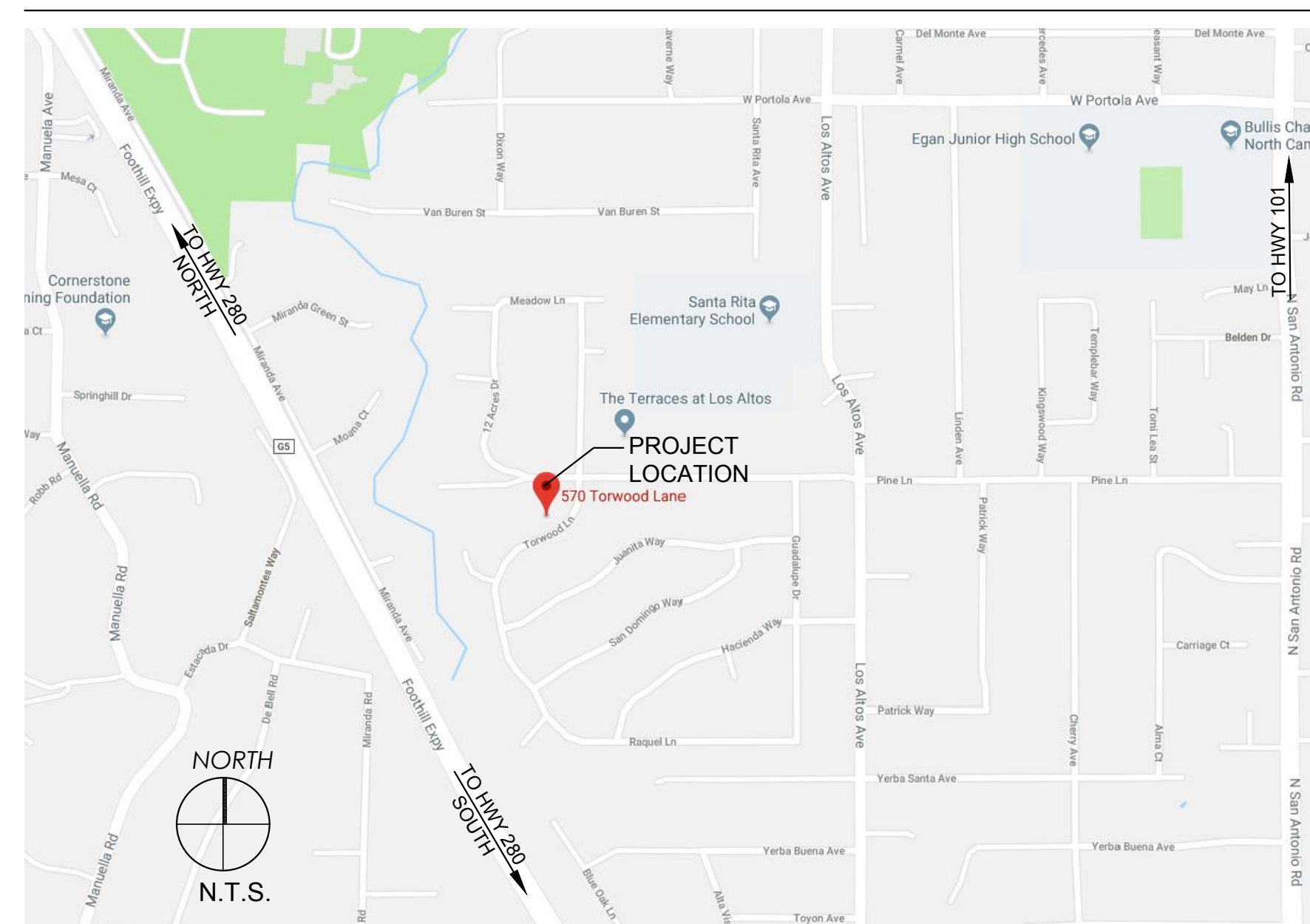
### SQ. FT. BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: INCLUDES HABITABLE BASEMENT AREA	2754 SQ. FT.	+ 573 SQ. FT.	3327 SQ. FT.
NON-HABITABLE AREA: DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES	627 SQ. FT.	+ 32 SQ. FT.	659 SQ. FT.

### LOT CALCULATIONS

NET LOT AREA:	12,457 SQ. FT.
FRONT YARD HARDSCAPE AREA: HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	733 SQ. FT. (47%)
LANDSCAPING BREAKDOWN: SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA	TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED): 6066 SQ. FT. EXISTING SOFTSCAPE (UNDISTURBED) AREA: 6165 SQ. FT. NEW SOFTSCAPE AREA (NEW OR REPLACED LANDSCAPING) 226 SQ. FT.

### VICINITY MAP



### SCOPE OF WORK

1. DEMOLISH EXISTING GARAGE
2. CONSTRUCT NEW GARAGE, RELOCATED OUT OF REAR YARD SETBACK.
3. CONSTRUCT NEW SECOND STORY OVER NEW GARAGE.
4. REMODEL MASTER BEDROOM SUITE
5. INSTALL NEW LANDSCAPING FOR PRIVACY AND VISUAL SCREENING.

GENERAL PLAN: SINGLE FAMILY SMALL LOTS  
ZONE: R1-10 SINGLE FAMILY DISTRICT

**Bradani & Associates**  
LANDSCAPE ARCHITECTURE  
90 Throckmorton Avenue #16  
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SECOND STORY ADDITION PLANS  
**ROSE RESIDENCE**  
570 TORWOOD LANE, LOS ALTOS, CA 94022  
APN 167-44-014

T1



DATE:  
JANUARY 18, 2019

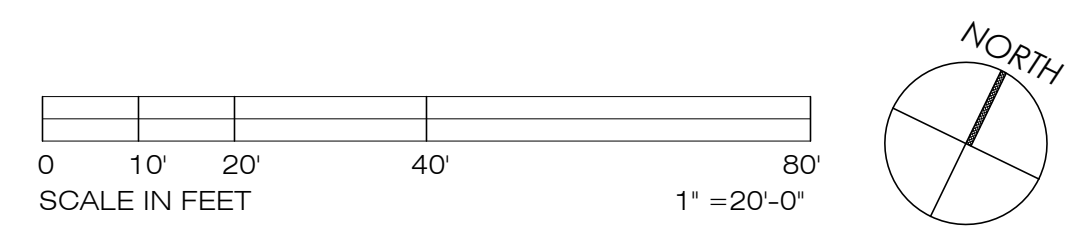
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SECOND STORY ADDITION PLANS  
**ROSE RESIDENCE**  
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APN 167-44-014

T2

NOTE:  
ALL HOUSES SHOWN ARE SINGLE STORY



# NEIGHBORHOOD CONTEXT MAP

PLOT DATE: 2019.02.06

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**ABBREVIATIONS**

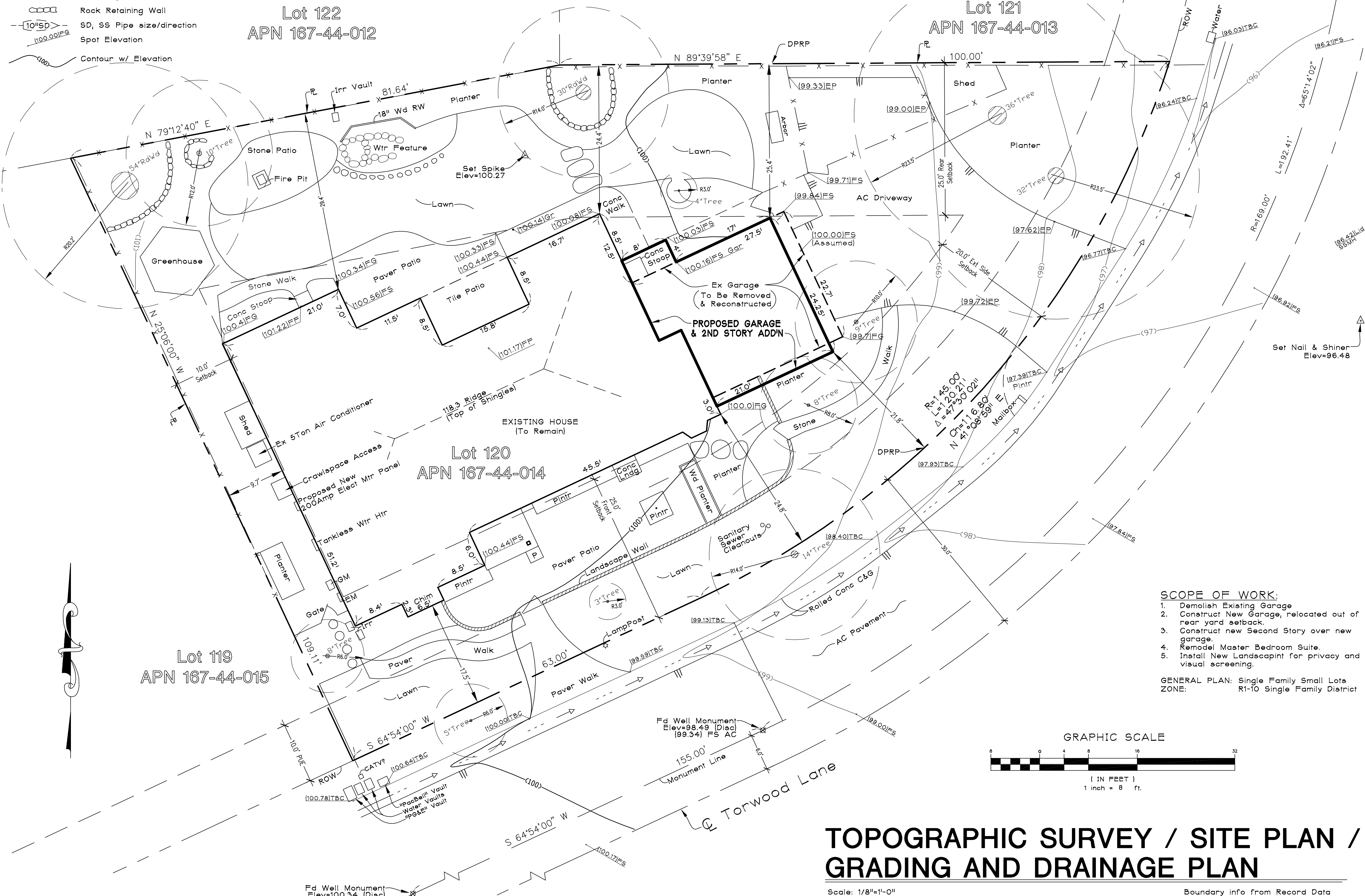
AC	Asphaltic Concrete
BC	Back of Curb
Bldg	Building
Bldr	Boulder
BW	Back of Walk
C	Cedar
C&G	Curb and Gutter
CATV	Cable Television
CF	Curb Face
Ch	Chord
Chim	Chimney
CIP	Capped Iron Pipe
CL	Center Line
Conc	Concrete
CY	Cubic Yards
D	Delta
DI	Drop Inlet
Dn	Down
DPRP	Daylight Plane Reference Point
DW	Driveway
ea	Each
Elect	Electric
Elev	Elevation
EM	Electric Meter
EP	Edge of Pavement
Ex	Existing
Exmnt	Existing
F	Fire
Fd	Found
FF	Finish Floor
FG	Finish Grade
FH	Fire Hydrant
FL	Flowline
FS	Finish Surface
GI	Galvanized Iron
GM	Gas Meter
Gnd	Ground
HC	Handicap
Inv	Invert
IP	Iron Pipe
Irr	Irrigation
L	Lineal Feet
Lndg	Landing
LP	Lodgepole Pine
MH	Manhole
Mtr	Meter
NTS	Not to Scale
O	Oak
P	Pine
PL	Property Line
PLS	Public Land Surveyor
PP	Power Pole
Pr	Proposed
PUE	Public Utility Easement
R, Rad	Radial, Radius
RCE	Registered Civil Engineer
Ret	Retaining
ROW	Right of Way
RW	Retaining Wall
SD	Storm Drain
sf	Square Feet
SS	Sanitary Sewer
SW	Sidewalk
Tan	Tangent
TBC	Top, Back of Curb
TW	Top of Wall
Vlt	Vault
W, Wtr	Water
Wd	Wood
WV	Water Valve

**SYMBOL & LINE LEGEND**

	Fire Hydrant
	Light
	Power Pole
	Tree
	Control Point
	Monument Found as noted
	Centerline
	Edge of Pavement
	Flow Line
	Overhead Utility Line
	Property Line
	Retaining Wall
	Landscape Wall
	Rock Retaining Wall
	SD, SS Pipe size/direction
	Spot Elevation
	Contour w/ Elevation

**OWNER:**  
 Don Rose  
 570 Torwood Lane  
 Los Altos, CA 94022-2161

**LEGAL DESCRIPTION:**  
 Lot 120, Tract No 4217, Dos Palos Map  
 No 4, Los Altos, Santa Clara County, CA  
 Street Address: 570 Torwood Lane  
 APN: 167-44-014  
 Lot Area: 12,457sf  
 Contour Interval: 1 foot



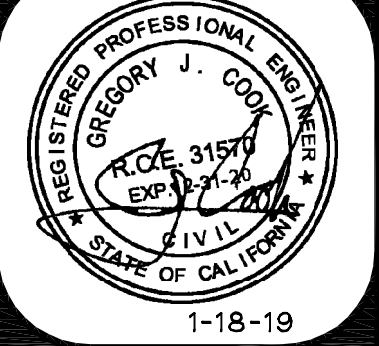
**SCOPE OF WORK:**

1. Demolish Existing Garage
2. Construct New Garage, relocated out of rear yard setback.
3. Construct new Second Story over new garage.
4. Remodel Master Bedroom Suite.
5. Install New Landscaping for privacy and visual screening.

**GENERAL PLAN:** Single Family Small Lots  
**ZONE:** R1-10 Single Family District

No	Description	Engr	County	Approval	Date

**ENGINEER**  
**GREGORY J. COOK**  
 P.O. BOX 18442  
 SOUTH LAKE TAHOE, CA 96151  
 530-544-7774



Topographic Survey /  
 Site Plan /  
 Grading & Drainage Plan

**Owner:**  
**Rose Residence**  
 570 Torwood Lane  
 Los Altos, CA  
 APN: 167-44-014

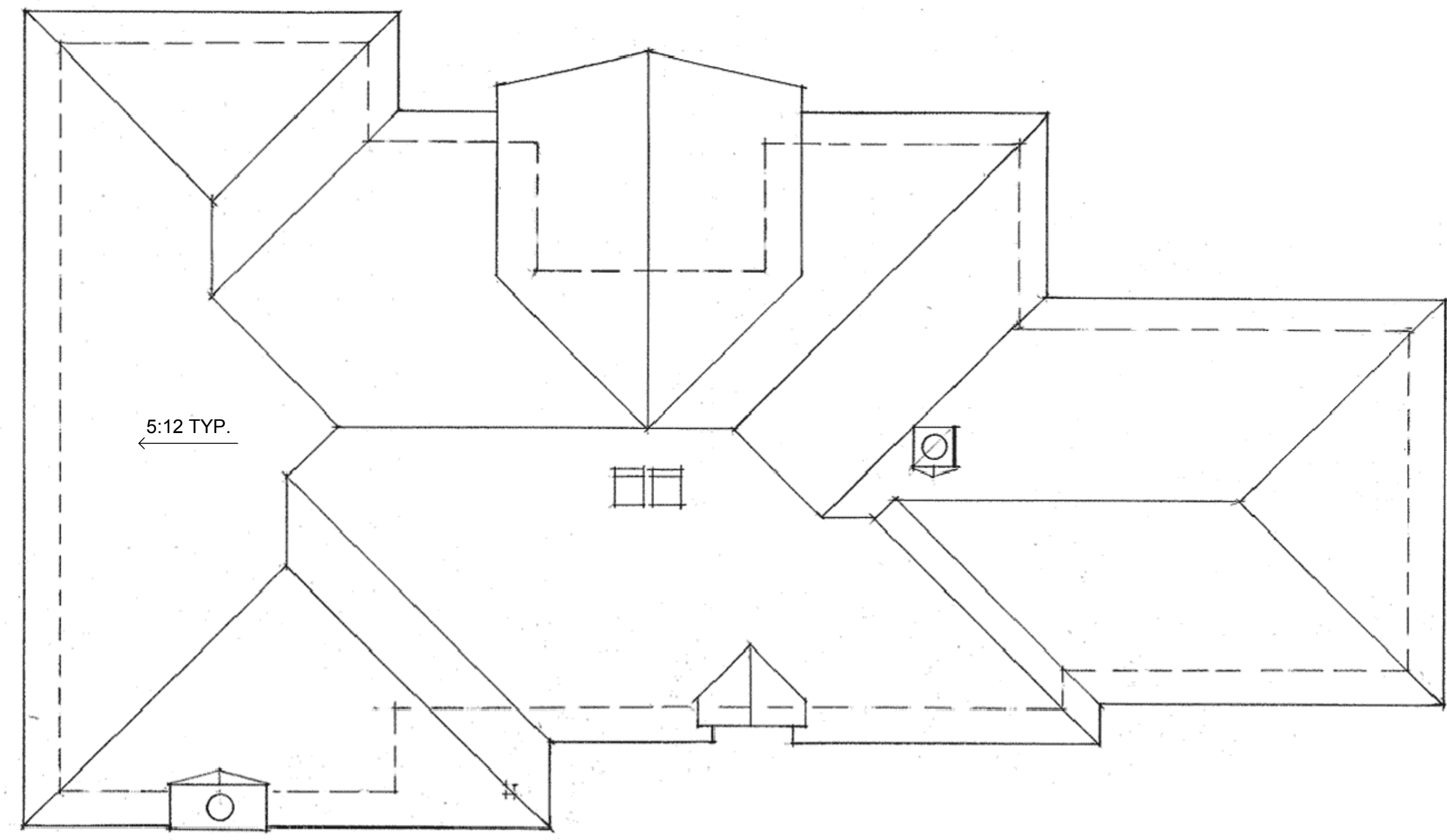
project no.  
 ZANE-217  
 drawn  
 S.A.M.  
 date  
 January 18, 2019  
 scale  
 1/8"=1'-0"

sheet  
**1**  
 of sheets

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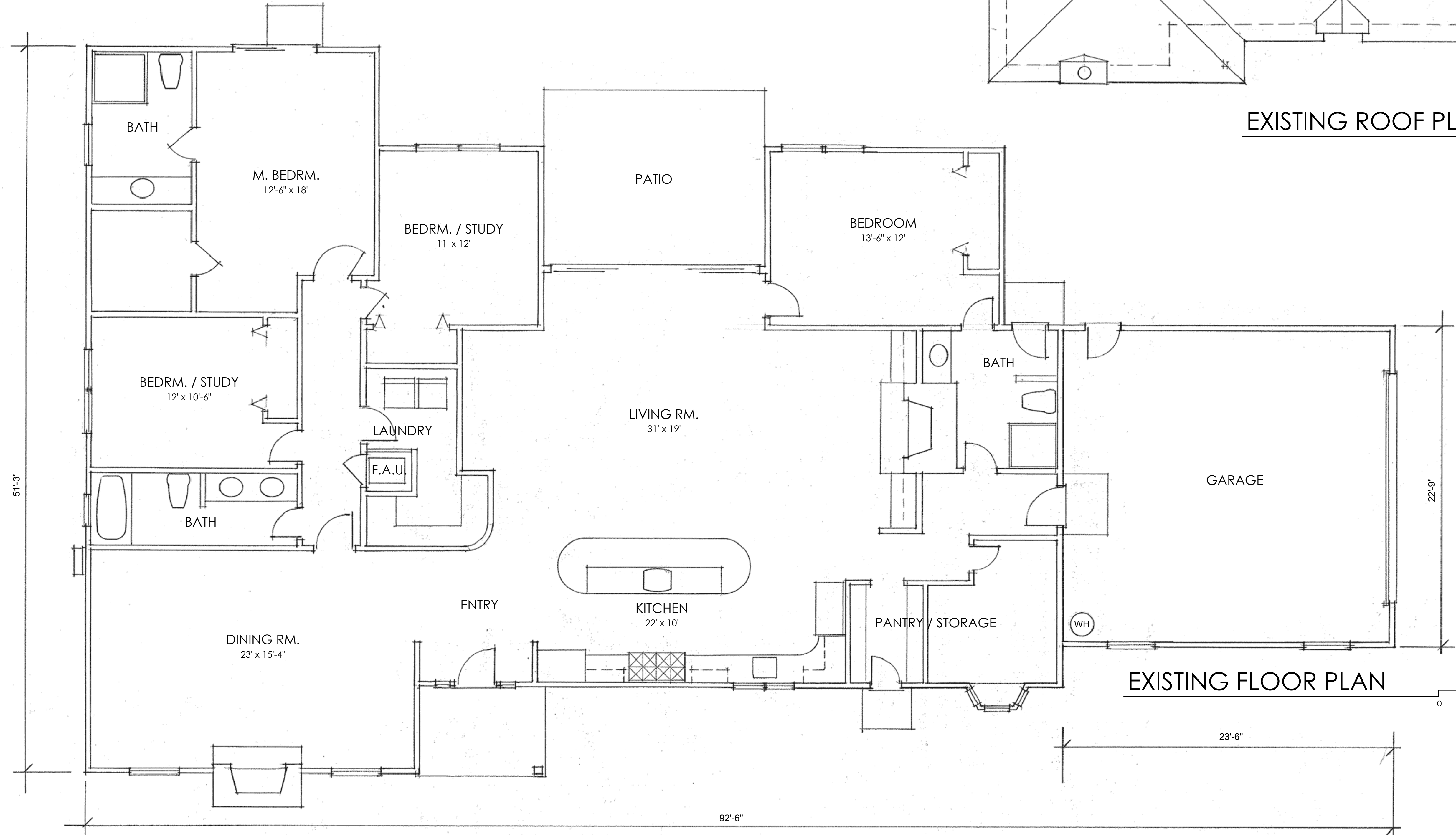
**TOPOGRAPHIC SURVEY / SITE PLAN / GRADING AND DRAINAGE PLAN**

Scale: 1/8"=1'-0" Boundary info from Record Data



EXISTING ROOF PLAN

0 4 8 16  
SCALE: 1/8" = 1'-0"



EXISTING FLOOR PLAN

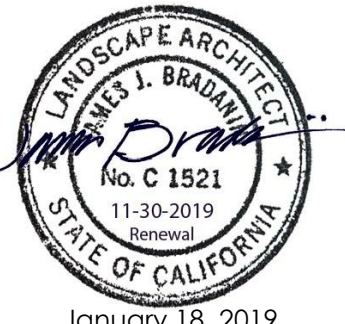
0 2 4 8  
SCALE: 1/4" = 1'-0"

HABITABLE AREA 2754 S.F.  
GARAGE 533 S.F.  
3287 S.F.

EXISTING FLOOR  
PLAN & ROOF PLAN

**Bradani & Associates**  
LANDSCAPE ARCHITECTURE

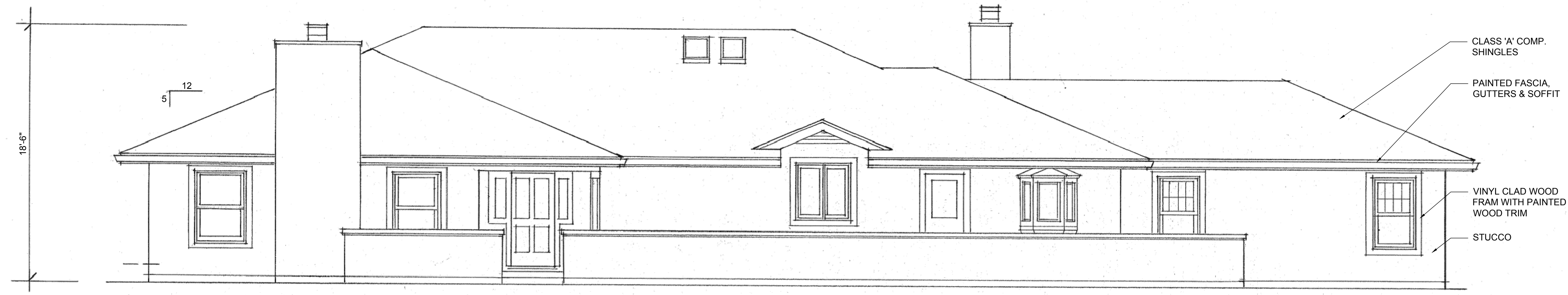
90 Throckmorton Avenue #116  
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SECOND STORY ADDITION PLANS  
**ROSE RESIDENCE**

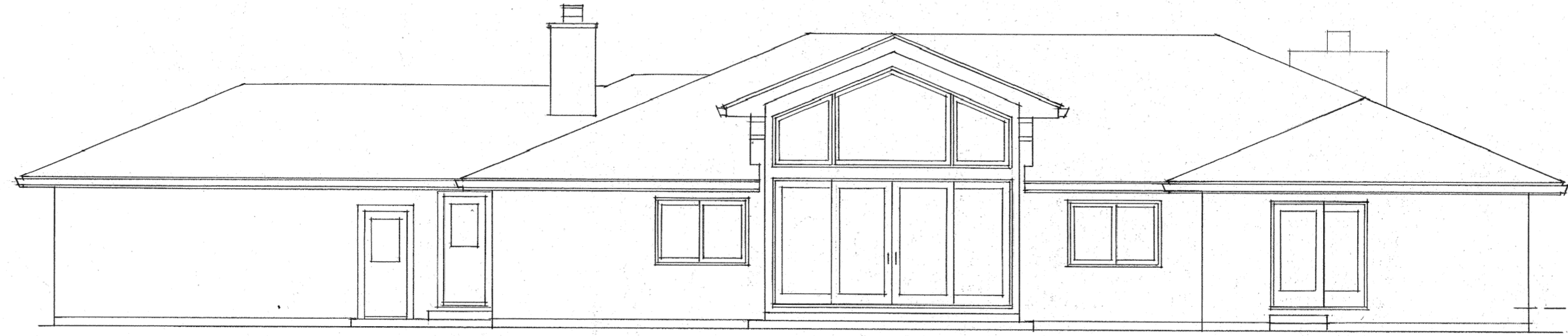
570 TORWOOD LANE, LOS ALTOS, CA 94022  
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A1

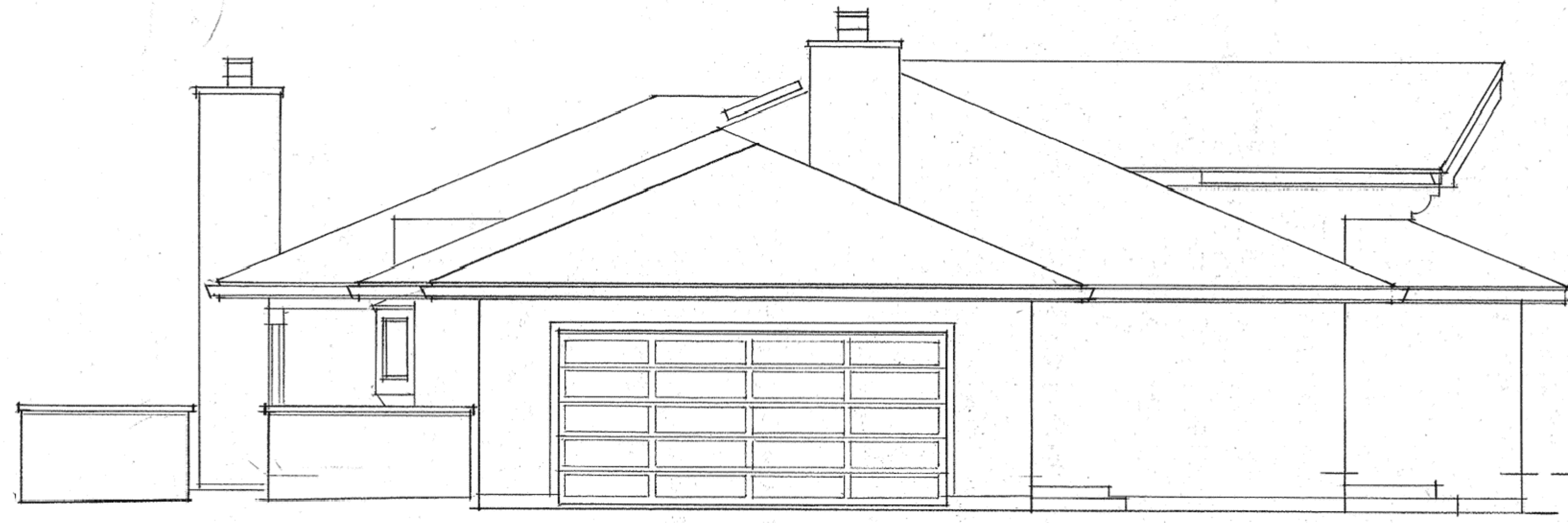


FRONT ELEVATION

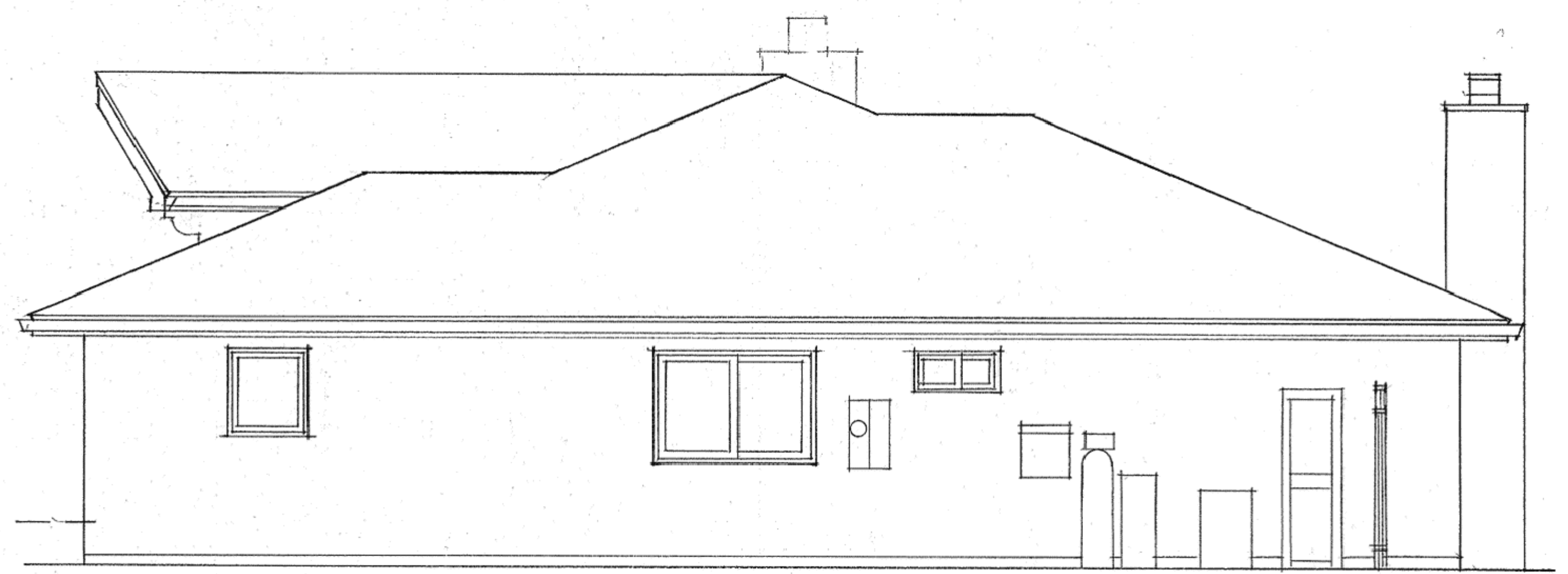
- CLASS 'A' COMP. SHINGLES
- PAINTED FASCIA, GUTTERS & SOFFIT
- VINYL CLAD WOOD FRAM WITH PAINTED WOOD TRIM
- STUCCO



REAR ELEVATION



RIGHT SIDE ELEVATION



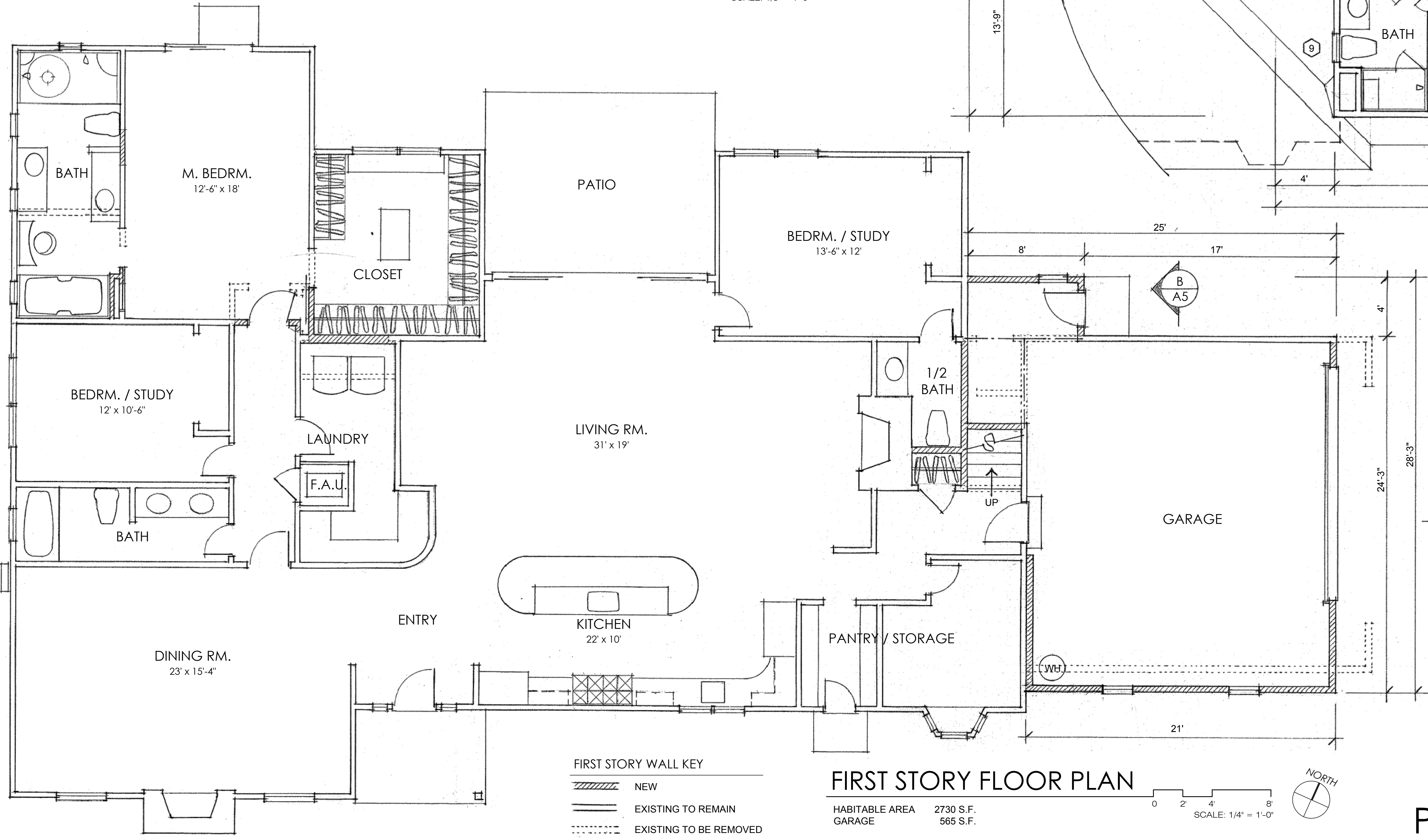
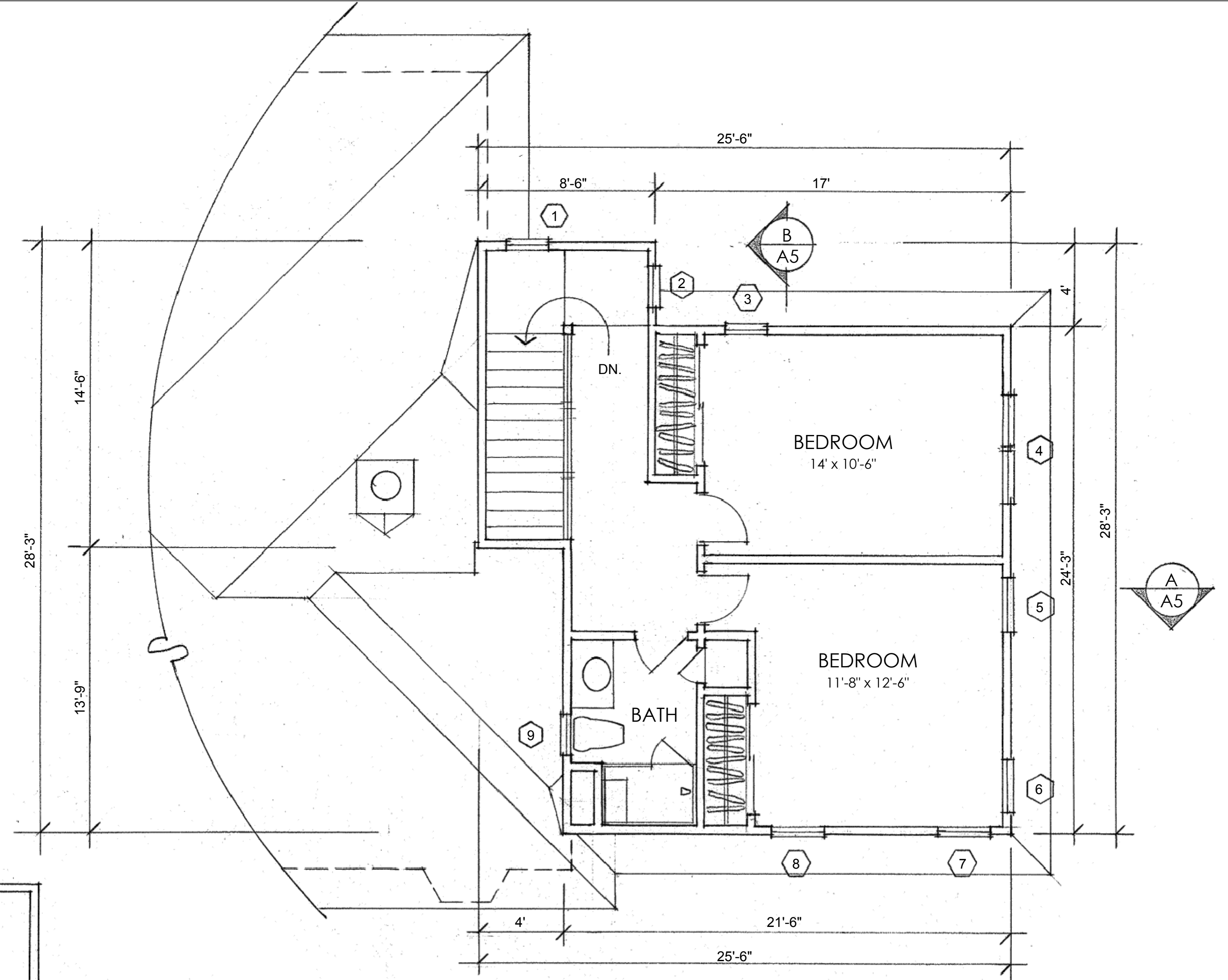
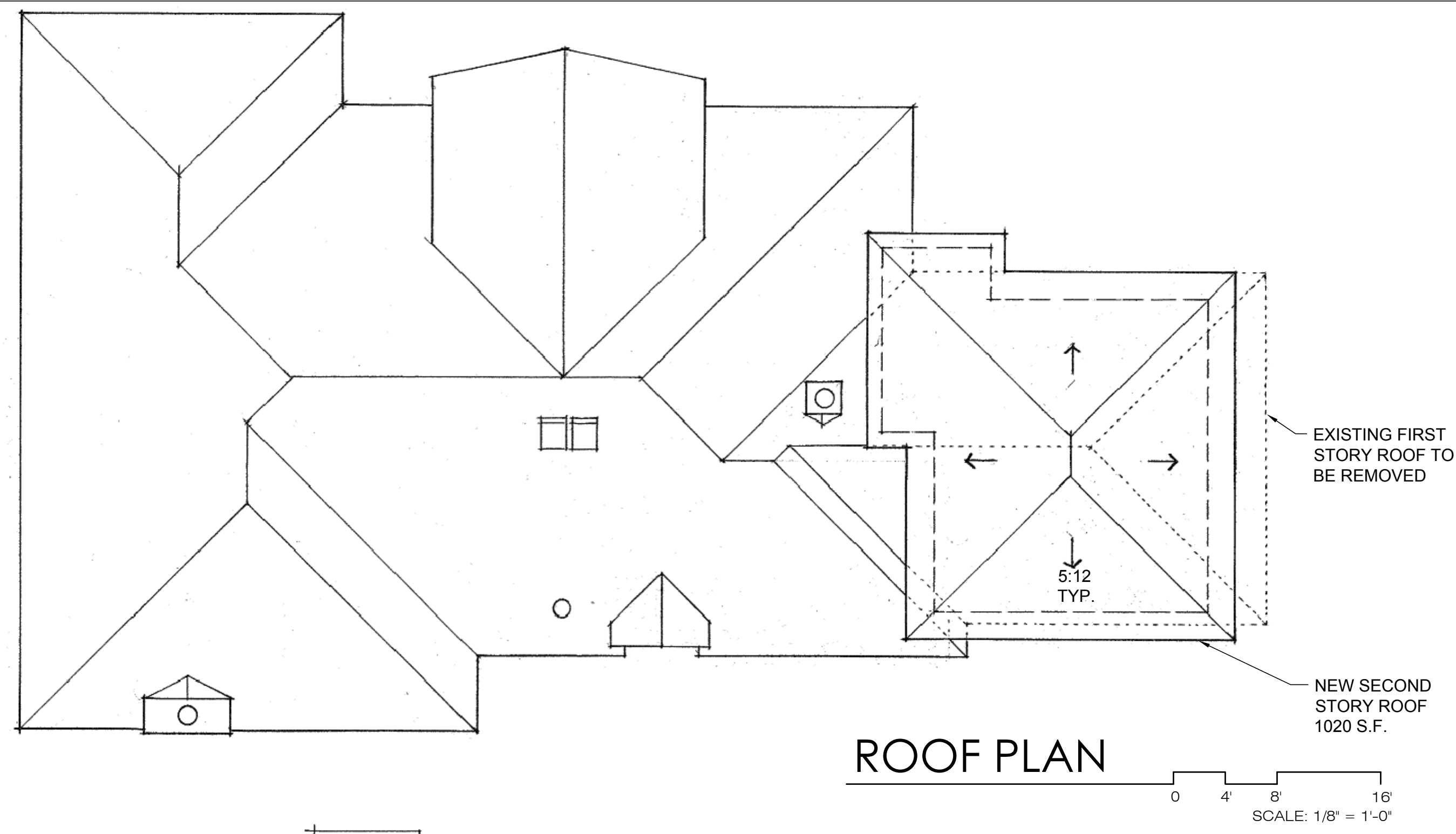
LEFT SIDE ELEVATION

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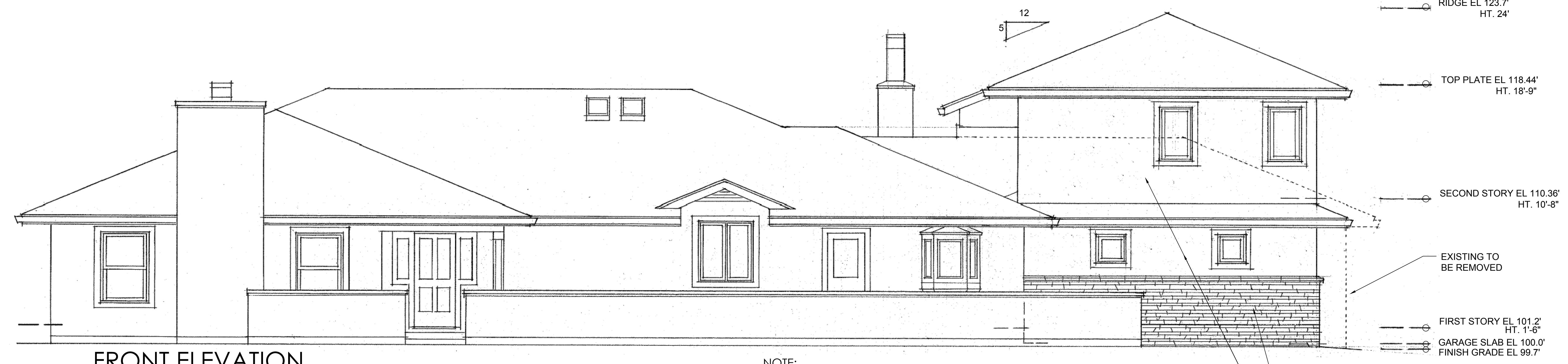
EXISTING ELEVATIONS



**PROPOSED FLOOR PLANS & ROOF PLAN**

PLOT DATE: 2019.02.06

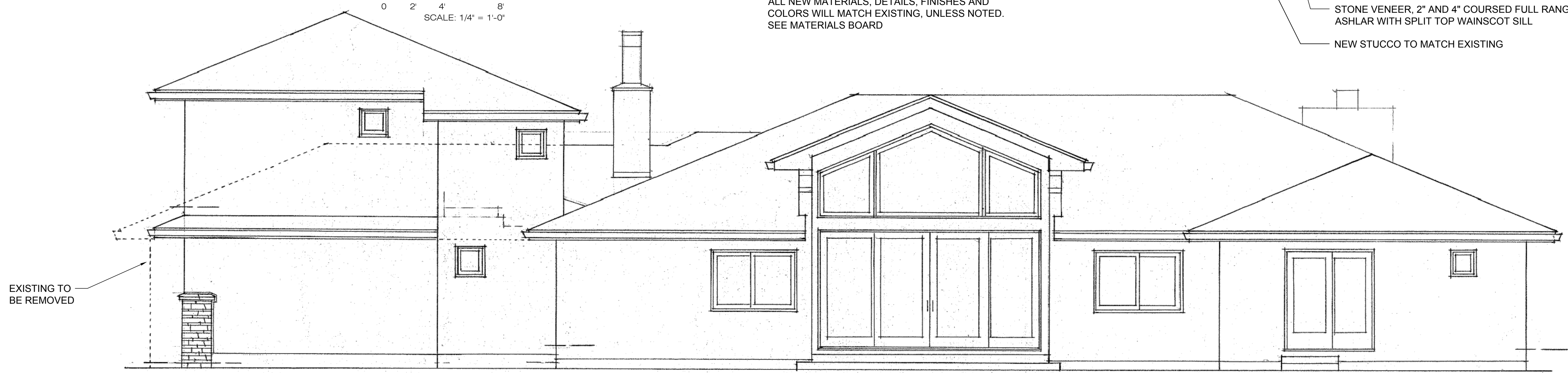
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FRONT ELEVATION

0 2 4 8  
SCALE: 1/4" = 1'-0"

NOTE:  
ALL NEW MATERIALS, DETAILS, FINISHES AND COLORS WILL MATCH EXISTING, UNLESS NOTED. SEE MATERIALS BOARD



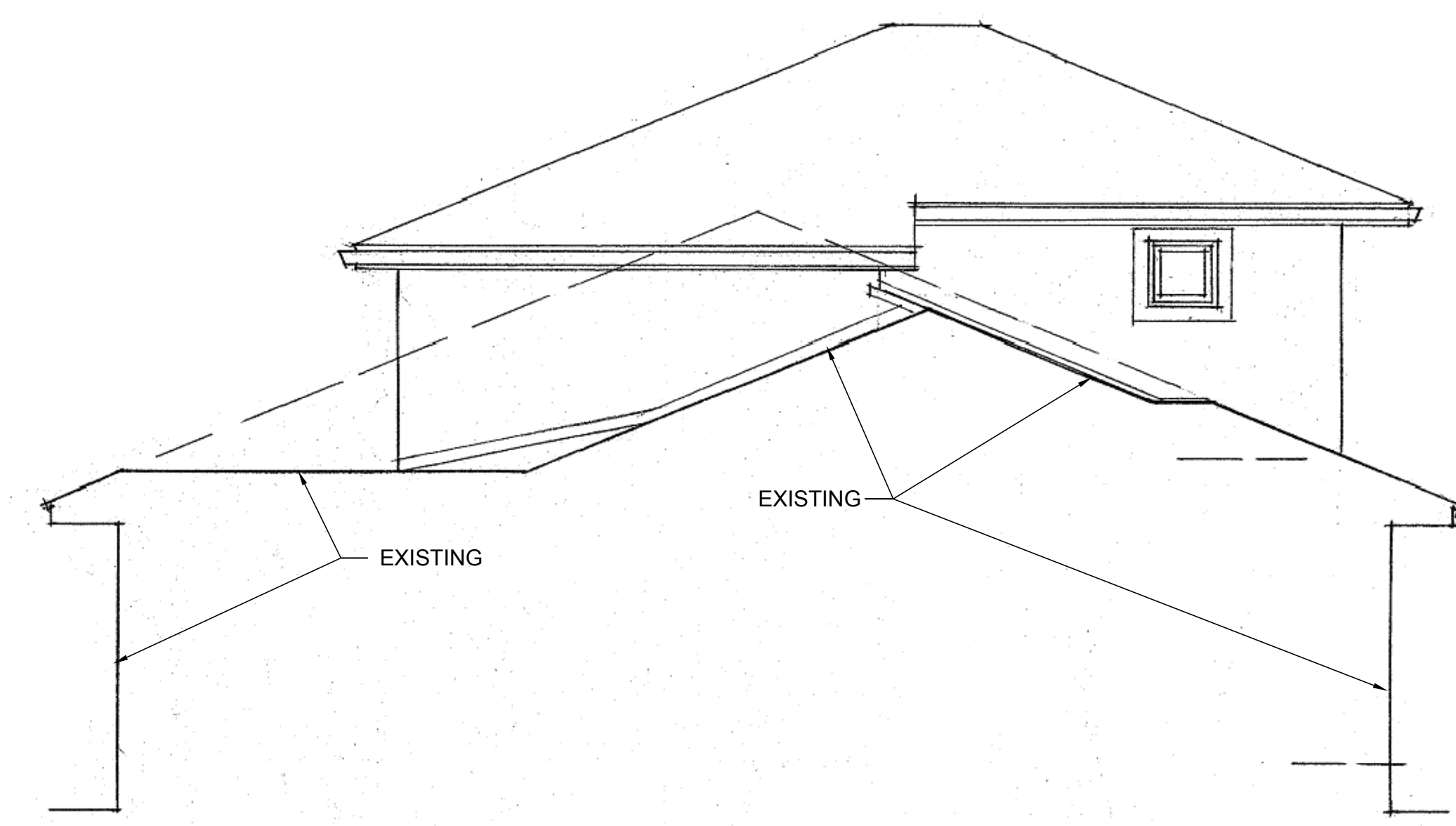
REAR ELEVATION

0 2 4 8  
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

0 2 4 8  
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

0 2 4 8  
SCALE: 1/4" = 1'-0"

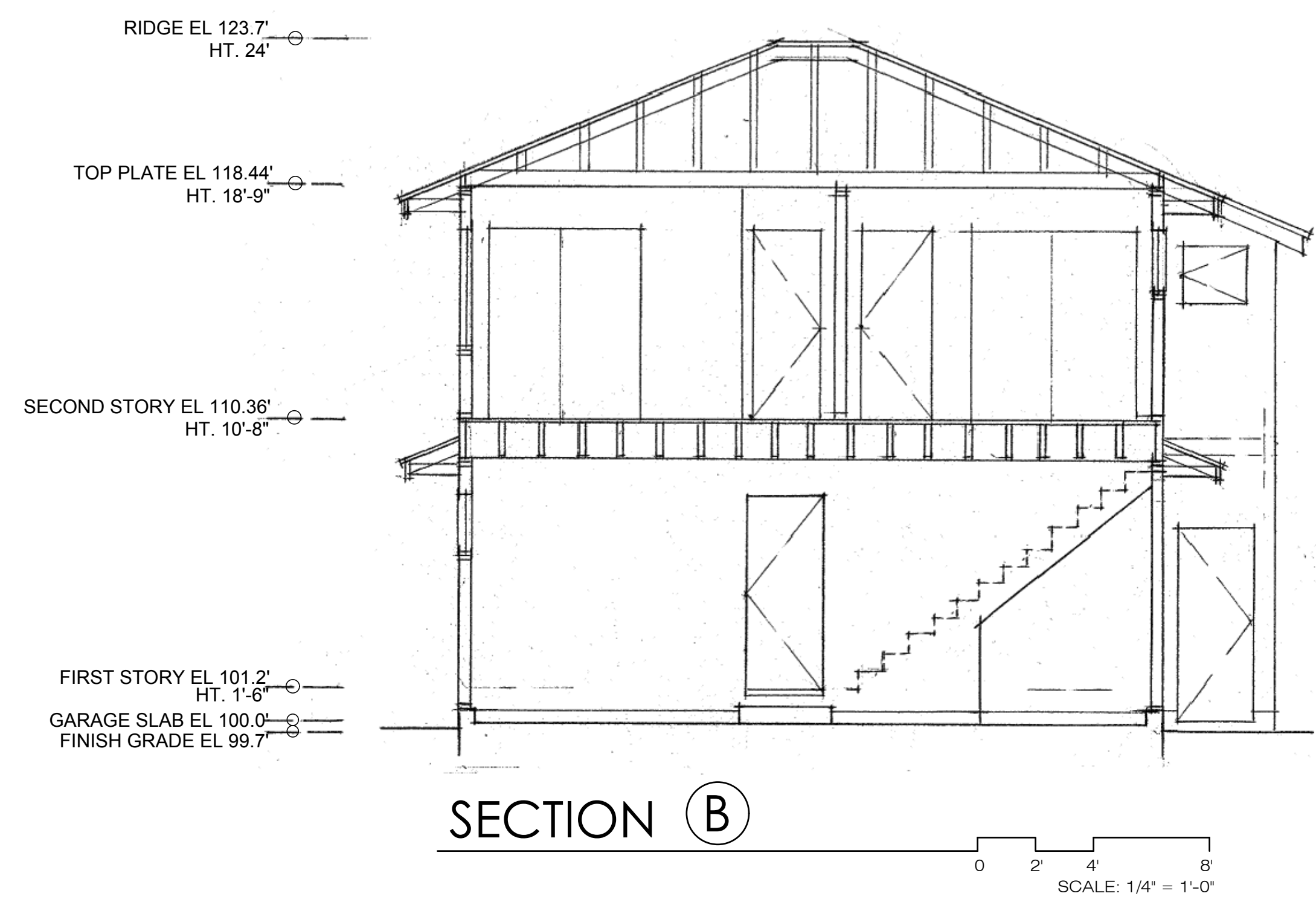
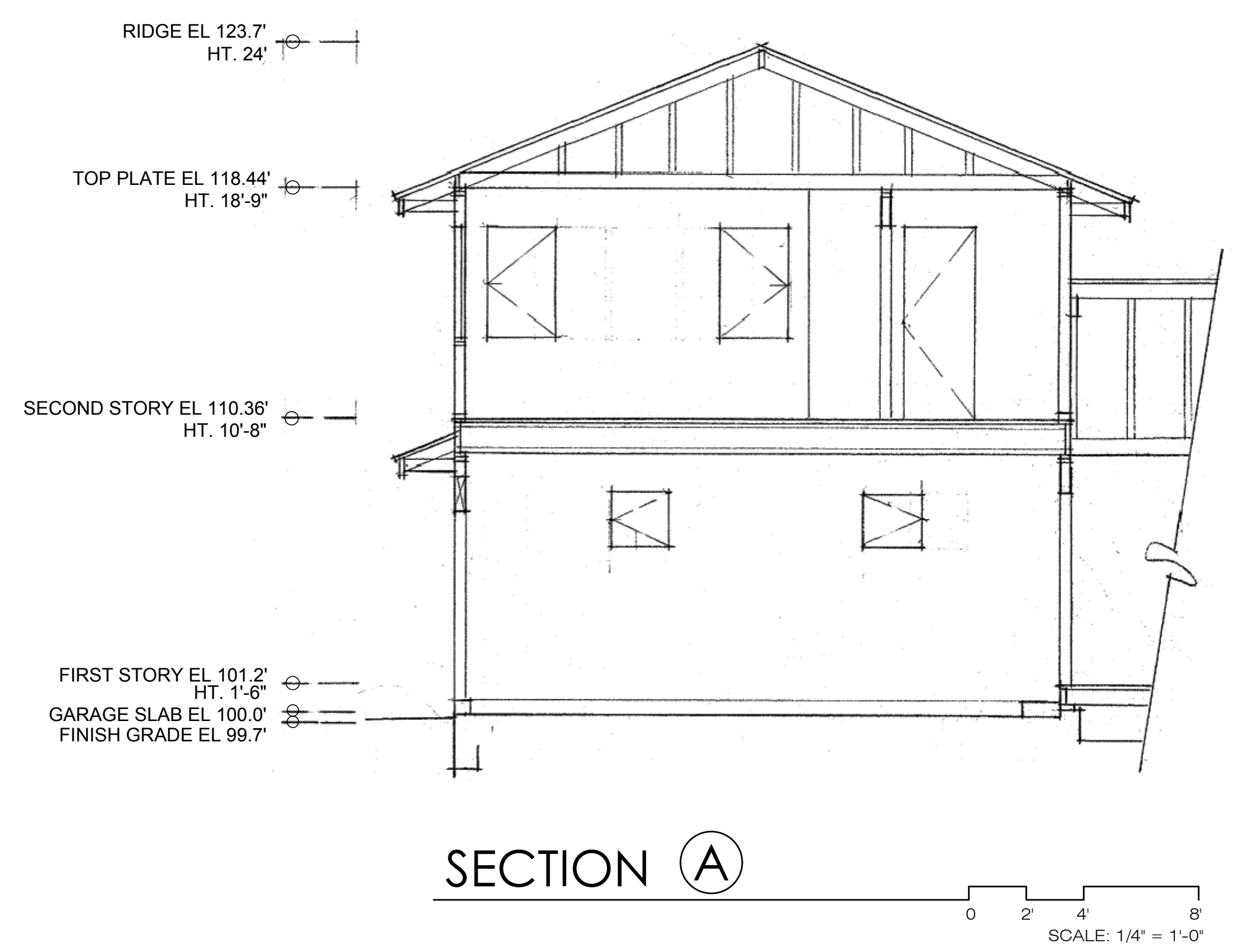
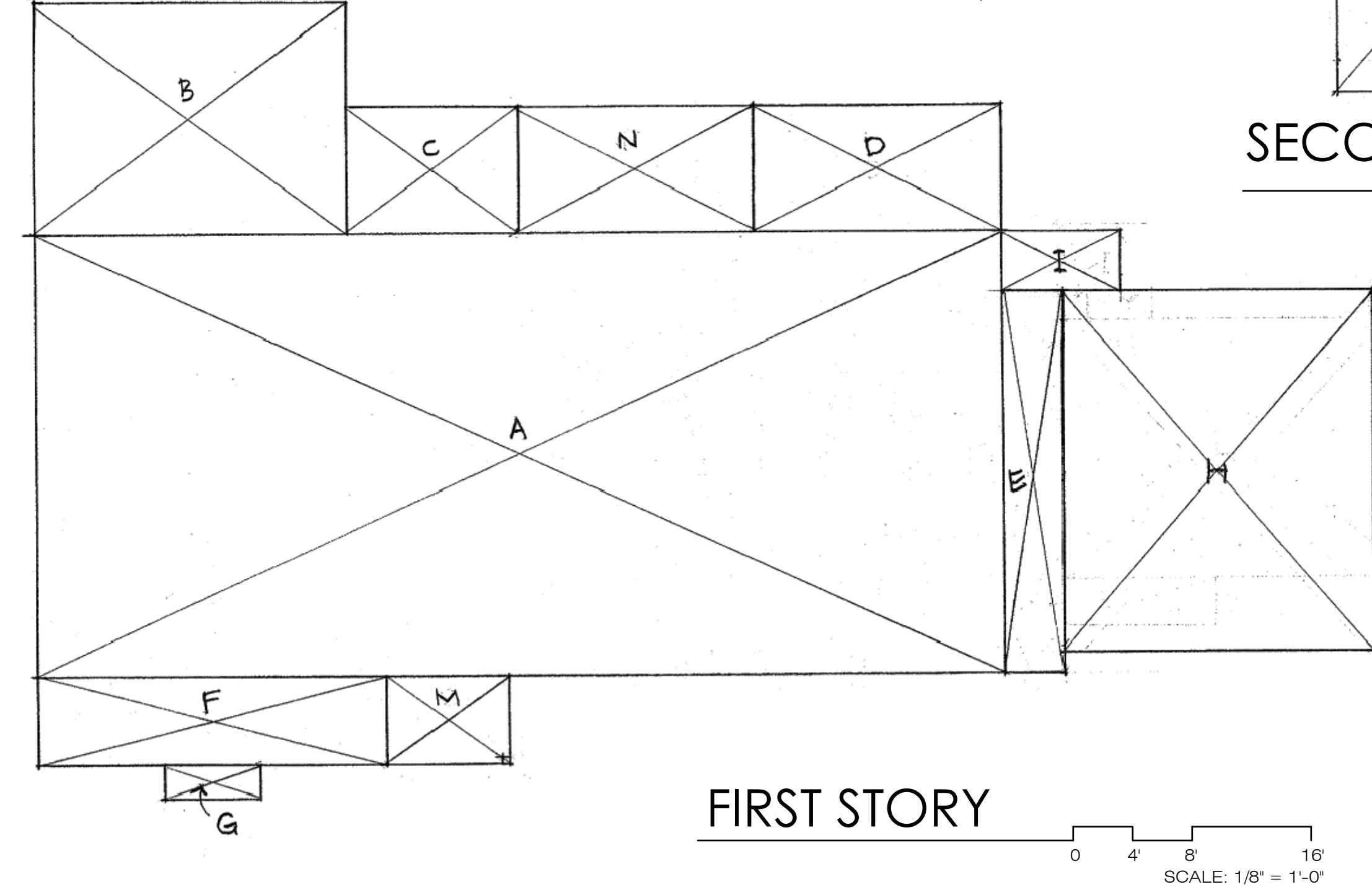
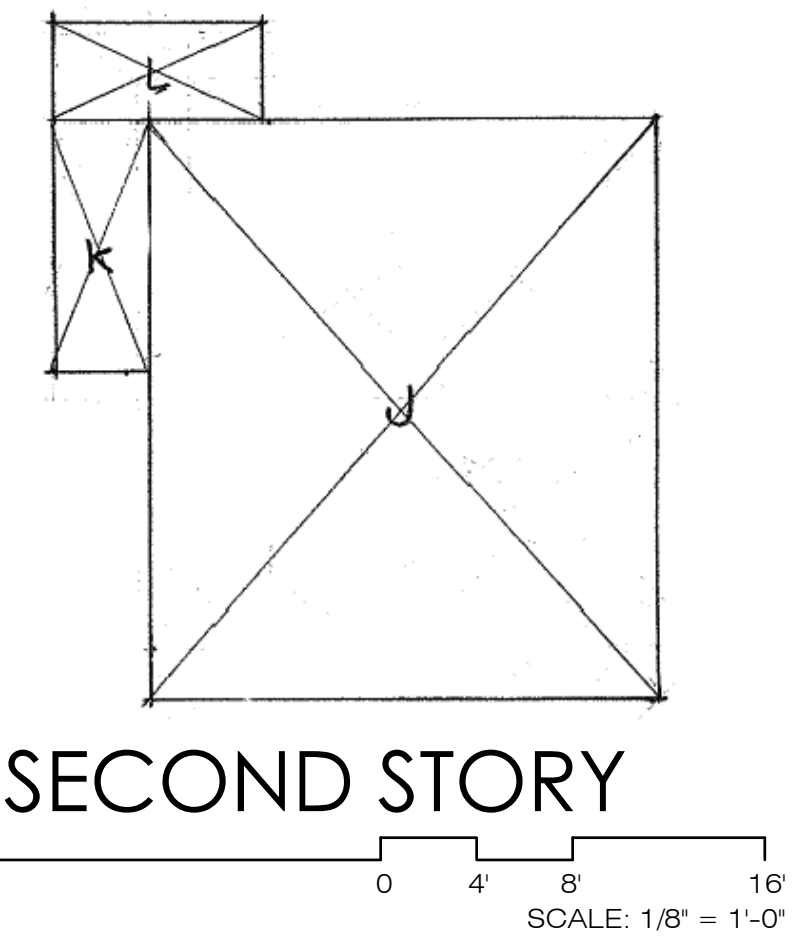
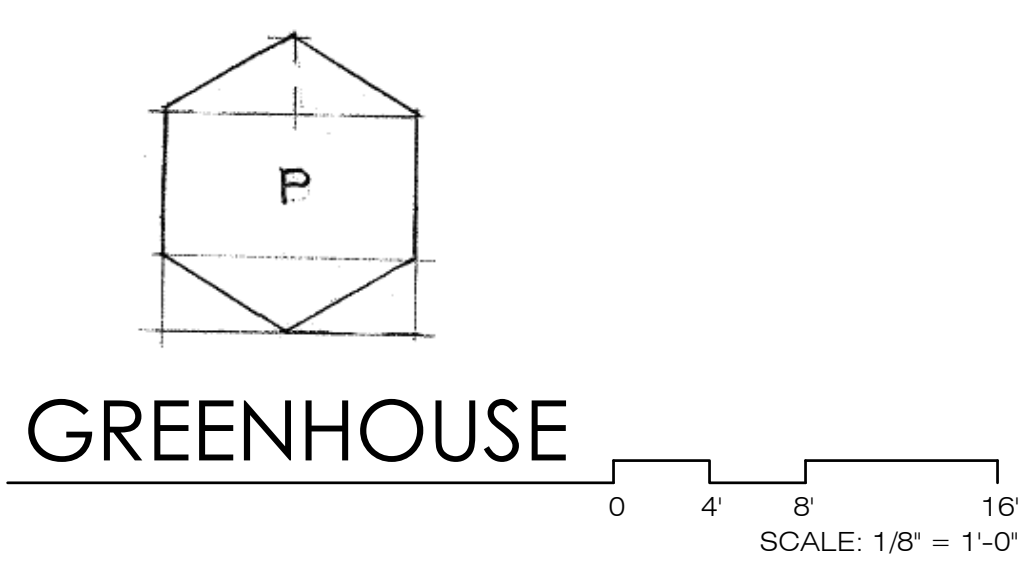
PROPOSED ELEVATIONS

**Bradani & Associates**  
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SECOND STORY ADDITION PLANS  
**ROSE RESIDENCE**  
570 TORWOOD LANE, LOS ALTOS, CA 94022  
APN 167-44-014



**AREA CALCULATIONS**

A	65.0	x	29.7	=	1930.50	
B	21.0	x	15.5	=	325.50	
C	11.5	x	8.5	=	97.75	
D	16.7	x	8.5	=	141.95	
E	25.7	x	4.0	=	102.80	
F	23.4	x	6.0	=	140.40	
G	6.5	x	2.3	=	14.95	
H	21.0	x	24.25	=	509.25	
I	8.0	x	4.0	=	32.00	
P	10.4	x	9.0	=	93.60	
FIRST STORY SUBTOTAL					3388.70	
J	21.5	x	24.25	=	521.38	
K	10.5	x	4.0	=	42.00	
L	8.5	x	4.0	=	34.00	
SECOND STORY SUBTOTAL					597.38	
TOTAL FLOOR AREA					3986.08	< 3996 OK
FIRST STORY COVERAGE					3388.70	
M	8.5	x	6	=	51	
N	15.8	x	8.5	=	134.30	
TOTAL LOT COVERAGE					3574.00	< 3737 OK

**SECTIONS AND FLOOR AREA & COVERAGE CALCULATIONS**



