

CUSTOM HOUSE

OWNERS :
SIMON ILKHANI & ELNAZ MASOOM
ADDRESS: 899 MADONNA WAY
LOS ALTOS, CA 94024
APN # 336-03-029

ABBREVIATIONS:

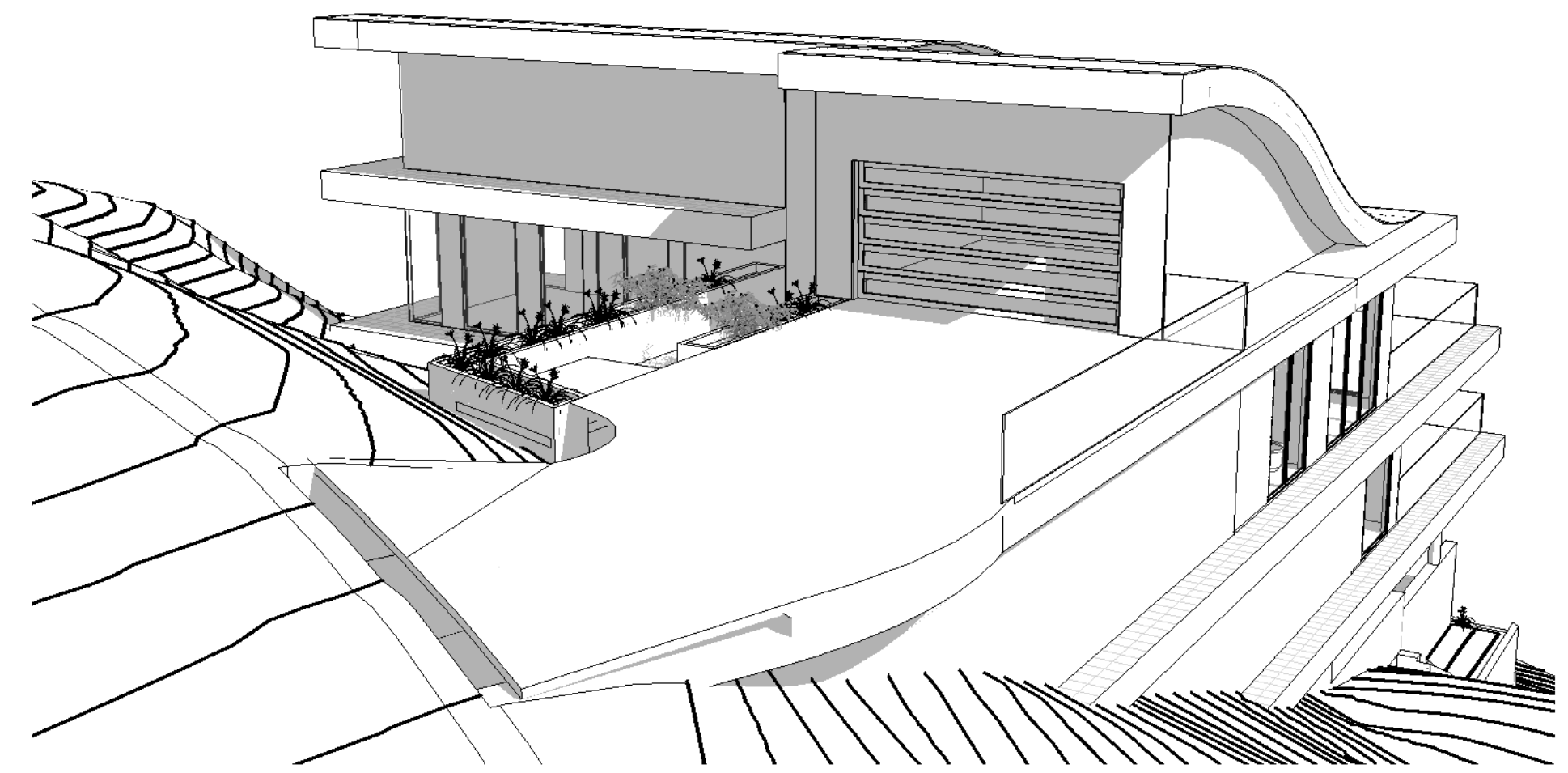
RWL	RAIN WATER LEADER	O.F.S	OUT SIDE FACE OF STUD
DS	DOWNSPOT	I.O.S	INSIDE FACE OF STUD
SIGD	SINK WITH GARBAGE DISPOSAL	O.C	ON CENTER
SH. ENC.	SHOWER ENCLOSURE	CL	CENTER LINE
T.C	TIME CLOCK	PL	PLATE LINE
UON.	UNLESS OTHERWISE NOTED	P.T.	PRESSURE TREATED
TYP.	TYPICAL	FL	FLOOR
V.GDF	VERTICAL GRAIN DOUGLESS FIR	F.F.E	FLOOR FINISH ELEVATION
WMP	WATERPROOF MEMBRANE	FF	FINISH FLOOR
WD	WOOD	PR	PAIR
WDW	WINDOW	R/A	RETURN AIR
RM	ROOM	REFR.	REFRIGERATOR
W.W.F	WOVEN WIRE FABRIC	R/O	RANGE OVEN
GYP. BD	GYP SUM BOARD	MICR.	MICROWAVE
CEM. PL	CEMENT PLASTER	EX	EXISTING
H.B	HOSE BIB	CLG	CILING
M.C	MEDICAL CABINET	BLDG	BUILDING
MTL	METAL	DWG	DRAWING
GLV	GALVANIZED	JST	JOIST
GSM	GALVANIZED SHEET METAL	BM	BEAM
N.I.C	NOT IN CONTRACT	HDR	HEADER
W.I.C	WALK-IN CLOSET	INSUL	INSULATION
		BOTT	BOTTOM
		PNL	PANEL
		CONC.	CONCRETE

CONSULTANTS

DESIGNER:	SASCO BUILDERS & DEVELOPMENT. 1625 THE ALAMEDA, SUITE 400, SAN JOSE, CA Ph : (888) 876-2699 / Fax (650) 242-6102
CIVIL (GRADING):	GOLSHAN ENGINEERS 18300 PURDUE DRIVE, SARATOGA, CALIFORNIA 95070 Ph: (408) 903-8133
CIVIL (TOPO) :	LEA & BRAZE ENGINEERING, INC. 2495 INDUSTRIAL PKWY WEST, HAYWARD, CALIFORNIA 94545 Ph: (510) 887-4086 / Fax (510) 887-3019
Title24:	
Soils:	ACHIVEMENT ENGINEERING CORP. 2245 AUTUMNVILLE DRIVE, UNITE "E", SAN JOSE, CA 95131 Ph: 408-217-9174 Fax: 408-217-9632

DRAWING LIST:

DRAWING LIST	
Sheet Number	Sheet Name
S0	Foundation Plan
S1	First Floor Framing Plan
S2	Second Floor Framing
S3	Roof Framing
* ARCHITECTURAL	
A0	COVER SHEET
A1	SITE PLAN
A2	AREAL PLAN
A3	GARAGE, FOYER, KITCHEN & MASTER BEDROOM LEVEL
A4	BEDROOM LEVELS
A5	PATIO PLAN
A6	BASEMENT PLAN
A7	ROOF PLAN
A8	FRONT AND LEFT ELEVATION
A9	REAR ELEVATION
A10	RIGHT ELEVATION
A11	SECTION 1
A12	SECTION 2
A13	AREAS CALCULATIONS
A14	3D RENDERING
L1	LANDSCAPE PLAN
** CIVIL	
C1	COVER SHEET FOR GRADING & DRAINAGE PLAN
C2	GRADING & DRAINAGE PLAN
C3	CROSS SECTIONS
C4	UTILITY PLAN



APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR NEW BUILDING IN SUCH POSITION AS TO BE CLEARLY VISIBLE FROM THE STREET OR ROADWAY FRONTING THE PROPERTY. LETTERS OR NUMBERS SHALL BE MINIMUM 4" IN HEIGHT AND STROKE OF MINIMUM 0.5" OF A CONTRASTING COLOR TO THE BACKGROUND ITSELF. ADDRESSING SHALL BE ILLUMINATED AT NIGHT CRC R319.1

DEFERRED APPROVAL ITEM : FIRE SPRINKLER SYSTEM

Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor or record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by SMC

PROVIDE AUTOMATIC FIRE SPRINKLER SYSTEM PER CRC CALIFORNIA RESIDENTIAL CODE SECTION R313 , R313.2. INSTALL A NFPA 13-D FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT.

SCOPE OF WORK

CONSTRUCTION OF NEW TWO STORY CUSTOM HOUSE.

PROJECT SUMMARY:

PARCEL SIZE: 12,742 SQF.
 ZONING: R-1-10
 NET LOT SIZE: 12,742 SQF. FOR "F.A.R." CALCULATION

ALLOWABLE FLOOR AREA:
 12,742 - 11,000 = 1,742 SQ. FT. 1,742 X 0.1 = 174.2 SQ. FT. 3,850 SQF. + 174.2 = 4,024.2 SQF.

PROPOSED BUILDING COUNTED AS (F.A.R.):

GARAGE AND FOYER LEVEL 608.2 SQ. FT.
 KITCHEN & MASTER BEDROOM LEVEL 1,934.5 SQ. FT.
 BEDROOMS LEVEL 1,473.7 SQ. FT.
 TOTAL PROVIDED FLOOR AREA RATIO 4,016.4 SQ. FT.

PROPOSED BUILDING NOT COUNTED AS (F.A.R.): (24" BELOW THE NATURAL GRADE)

BASEMENT 1,593.1 SQ. FT.

TOTAL BUILDING AREA = 4,016.4 + 1,593.1 = 5,609.5 SQ. FT.

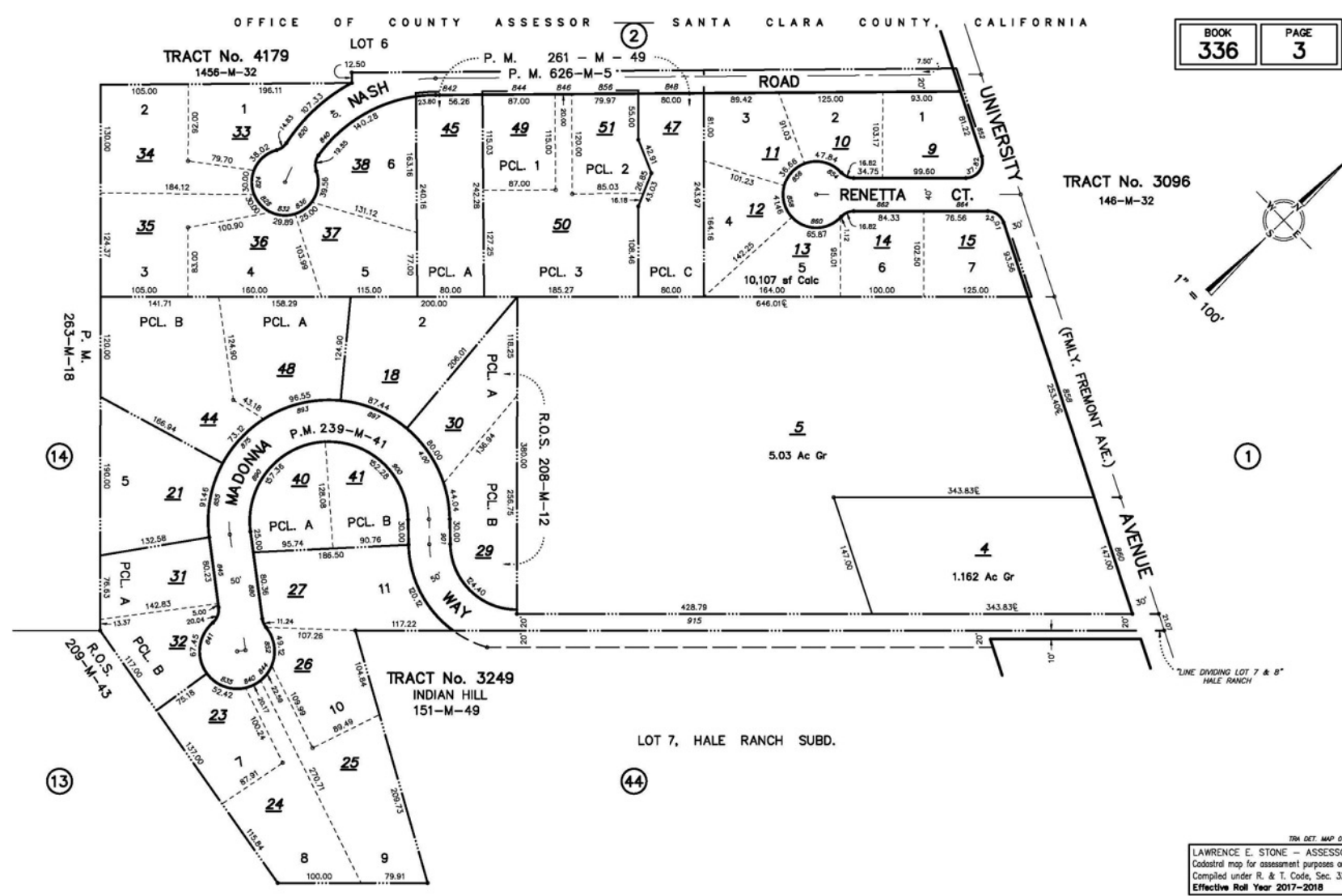
TOTAL LIVING AREA = 175.3 + 1,934.5 + 1,473.7 + 1,593.1 = 5,176.6

****PATIOS / BALCONIES****
 ENTRY PORCH (COVERED) = 32.1 SQ. FT.
 BALCONY AT FAMILY & MASTER BEDROOM = 1,449.5 SQ. FT.
 BALCONY AT BEDROOMS = 487.0 SQ. FT.
 TOTAL PATIO & BALCONIES = 1,968.6 SQ. FT.

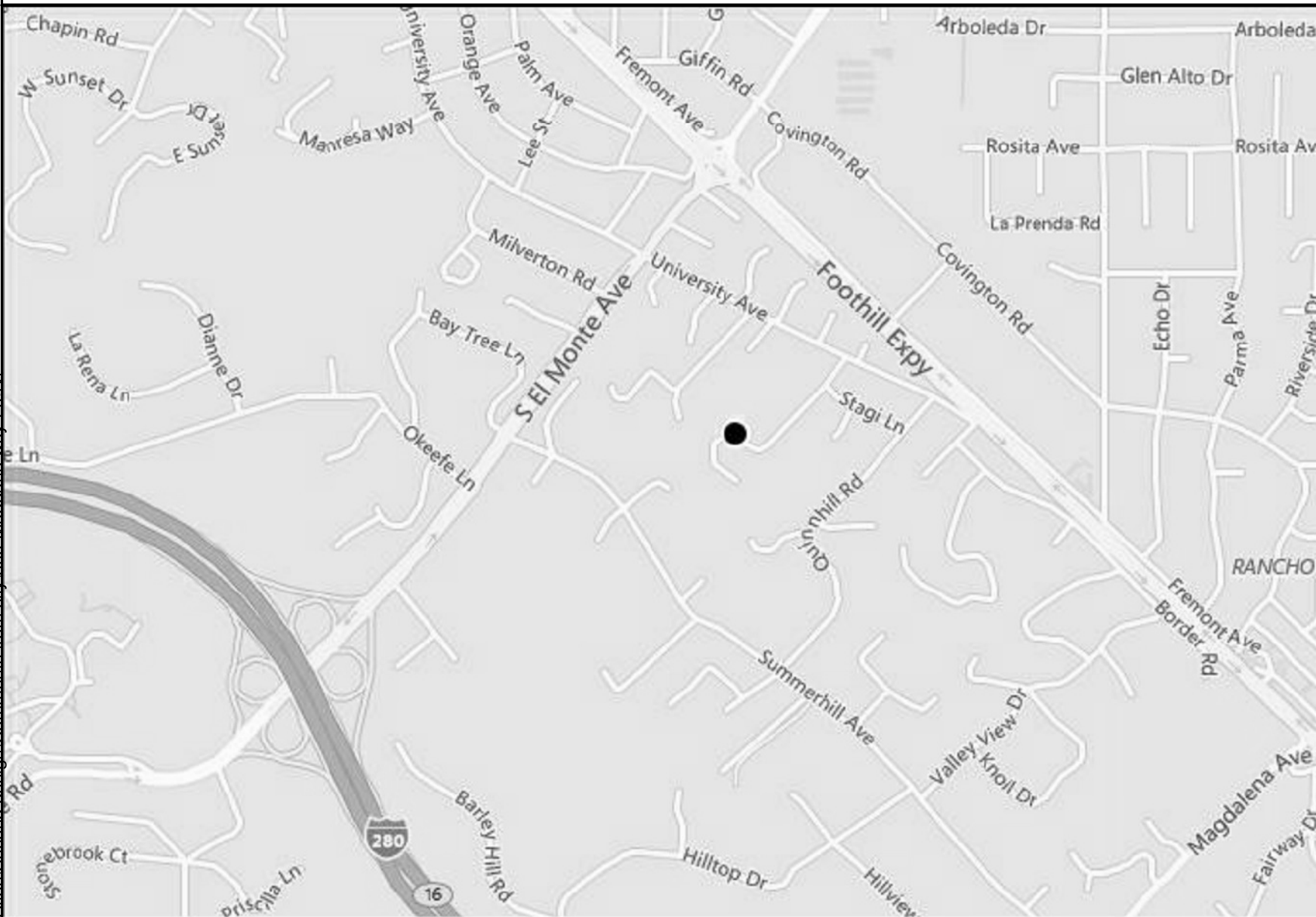
PARKING SPACES: (TWO ENCLOSED) & (ONE UNCOVERED CARPORT)
 TYPE OF CONSTRUCTION: V-B
 OCCUPANCY GROUP: R & S

APPLICABLE CODES: 2016 CRC , 2016 CBC, 2016 CMC, 2016 CPC,
 2016 CEC, 2016 CALIFORNIA FIRE CODE , CALIFORNIA ENERGY CODE

ASSESSORS MAP



VICINITY MAP



ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	<u>N/A</u> square feet (<u> </u> %)	3,682.4 square feet 28.89%	4,459.7 square feet 35 %
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr: <u>N/A</u> sq ft 2nd Flr: <u>N/A</u> sq ft Total: <u>N/A</u> sq ft (<u> </u> %)	1st Flr: <u>SEE</u> sq ft 2nd Flr: <u>PROJECT</u> Total: <u>SUMMARY</u> (<u> </u> %)	4,024.2 square feet (<u> </u> %)
SETBACKS: Front Rear Right side (1st/2nd) Left side (1st/2nd)	<u>N/A</u> feet <u>N/A</u> feet <u>N/A</u> feet/ <u> </u> feet <u>N/A</u> feet/ <u> </u> feet	25'-5" feet 25'-1" feet 8'-9" feet/ 8'-9" feet 7'-8" feet/ 7'-8" feet	25 feet 25 feet 7'-6" feet/ 13'-1" et 7'-6" feet/ 13'-1" et (10% LOT WIDTH)
HEIGHT:	<u>N/A</u> feet	<u> </u> feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	<u>N/A</u> square feet	5,176.6 square feet	5,176.6 square feet
NON- HABITABLE AREA: <i>Does not include covered porches or open structures</i>	<u>N/A</u> square feet	432.9 square feet	432.9 square feet

LOT CALCULATIONS

NET LOT AREA:	1,2742 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	898.7 square feet 45.3%
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 0 / 4,815.9 sq ft Existing softscape (undisturbed) area: 0.0 sq ft New softscape (new or replaced landscaping) area 7,926.1 sq ft <i>Sum of all three should equal the site's net lot area</i>

No.	Description	Date
1	Revision 1	Date 1

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 PH: (888) 876-2699**



COVER SHEET

NEW SINGLE FAMILY HOME FOR:
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 LOS ALTOS, CA 94024
 APN # 336-03-029

Project no: MADDONA

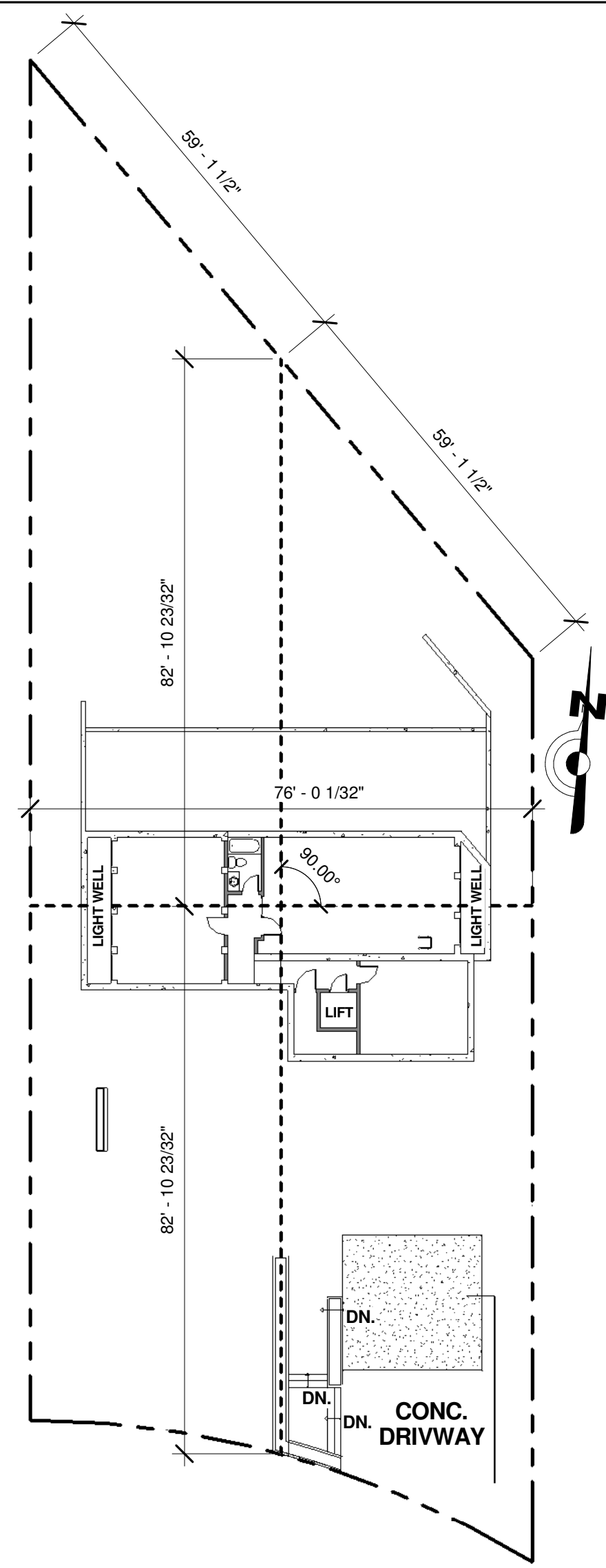
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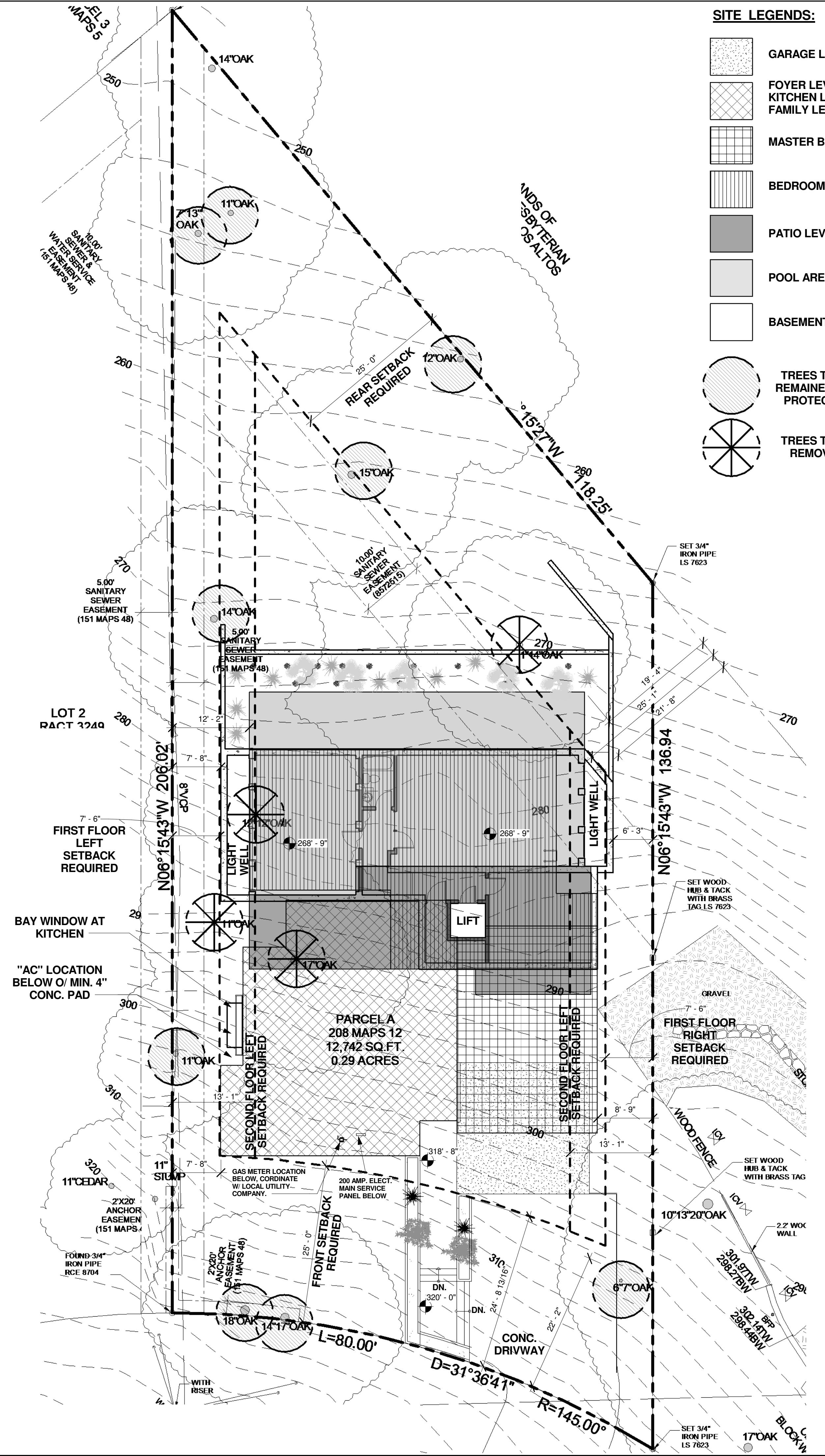
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A0

Scale



2 AVERAGE LOT WIDTH
A1 1" = 20'-0"



- SITE LEGENDS:**
- GARAGE LEVEL (321'-6")
 - FOYER LEVEL (319'-3"), DINING & LIVING LEVEL (314'-2"), KITCHEN LEVEL (312'-3"), NOOK LEVEL (311'-8.5") & FAMILY LEVEL (311'-0")
 - MASTER BEDROOM & BATH LEVEL (308'-6")
 - BEDROOMS LEVEL (297'-8")
 - PATIO LEVEL (286'-0")
 - POOL AREA (278'-6")
 - BASEMENT AREA (268'-9")
 - TREES TO BE REMAINED AND PROTECTED
 - TREES TO BE REMOVED

1 SITE PLAN
A1 1" = 10'-0"

No.	Description	Date

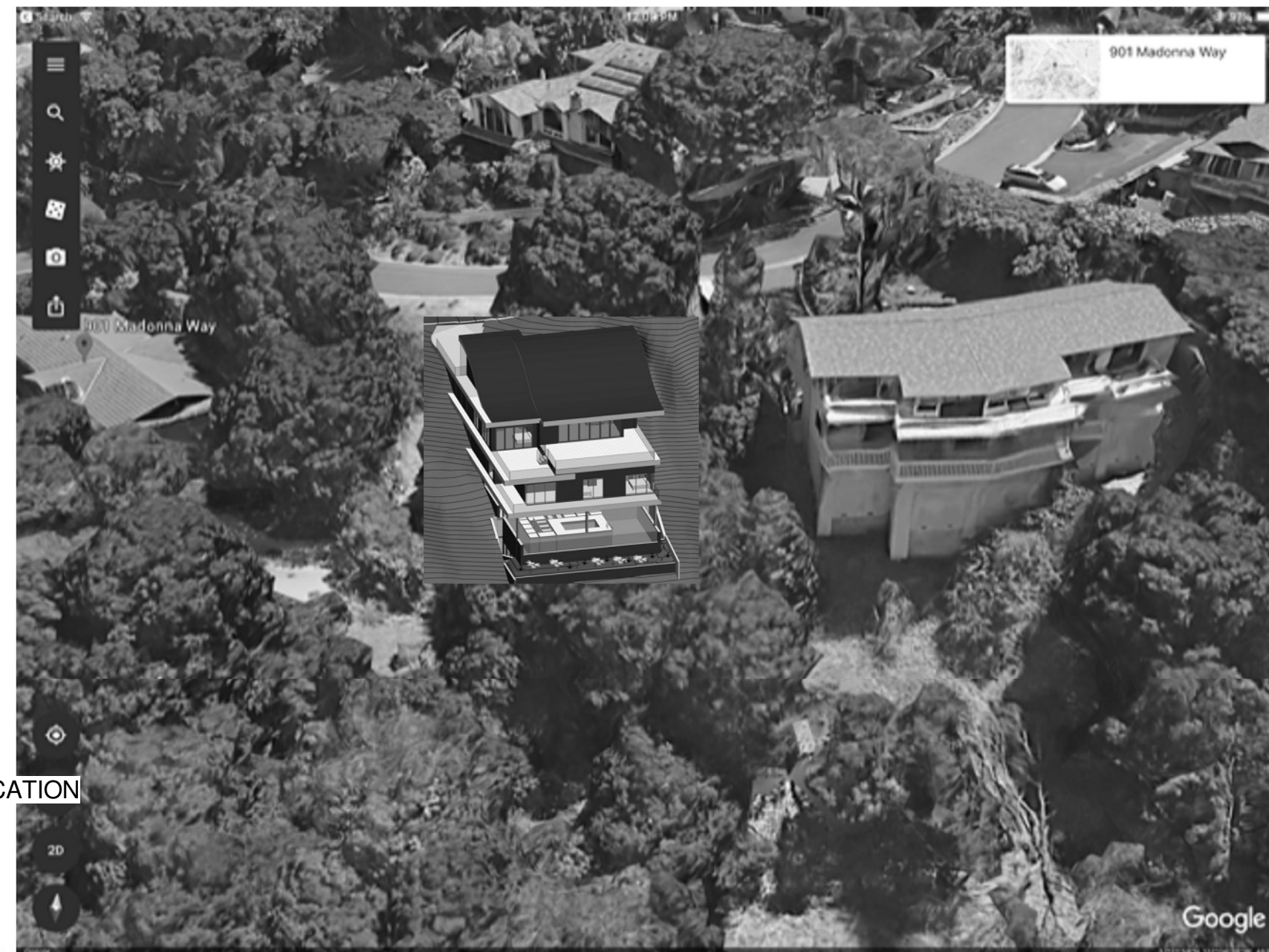
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SITE PLAN

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Project no:	MADDONA
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Drawn by:	Author
Checked by:	Checker
Scale:	As indicated



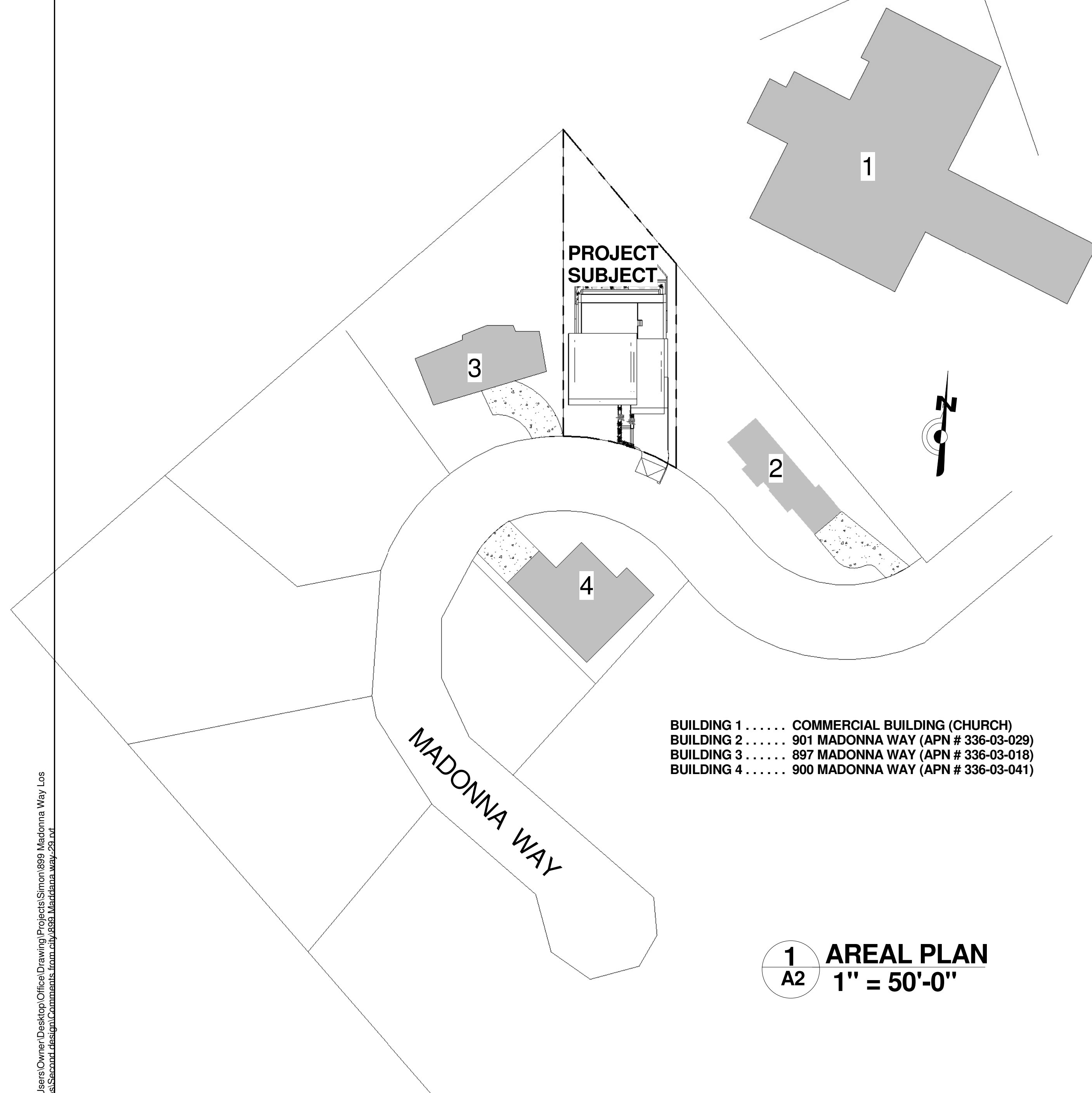
BUILDING NO. 2



BUILDING NO. 3



BUILDING NO. 4



- BUILDING 1 COMMERCIAL BUILDING (CHURCH)
- BUILDING 2 901 MADONNA WAY (APN # 336-03-029)
- BUILDING 3 897 MADONNA WAY (APN # 336-03-018)
- BUILDING 4 900 MADONNA WAY (APN # 336-03-041)

1 AREAL PLAN
A2 1" = 50'-0"

No.	Description	Date
1	Revision 1	Date 1

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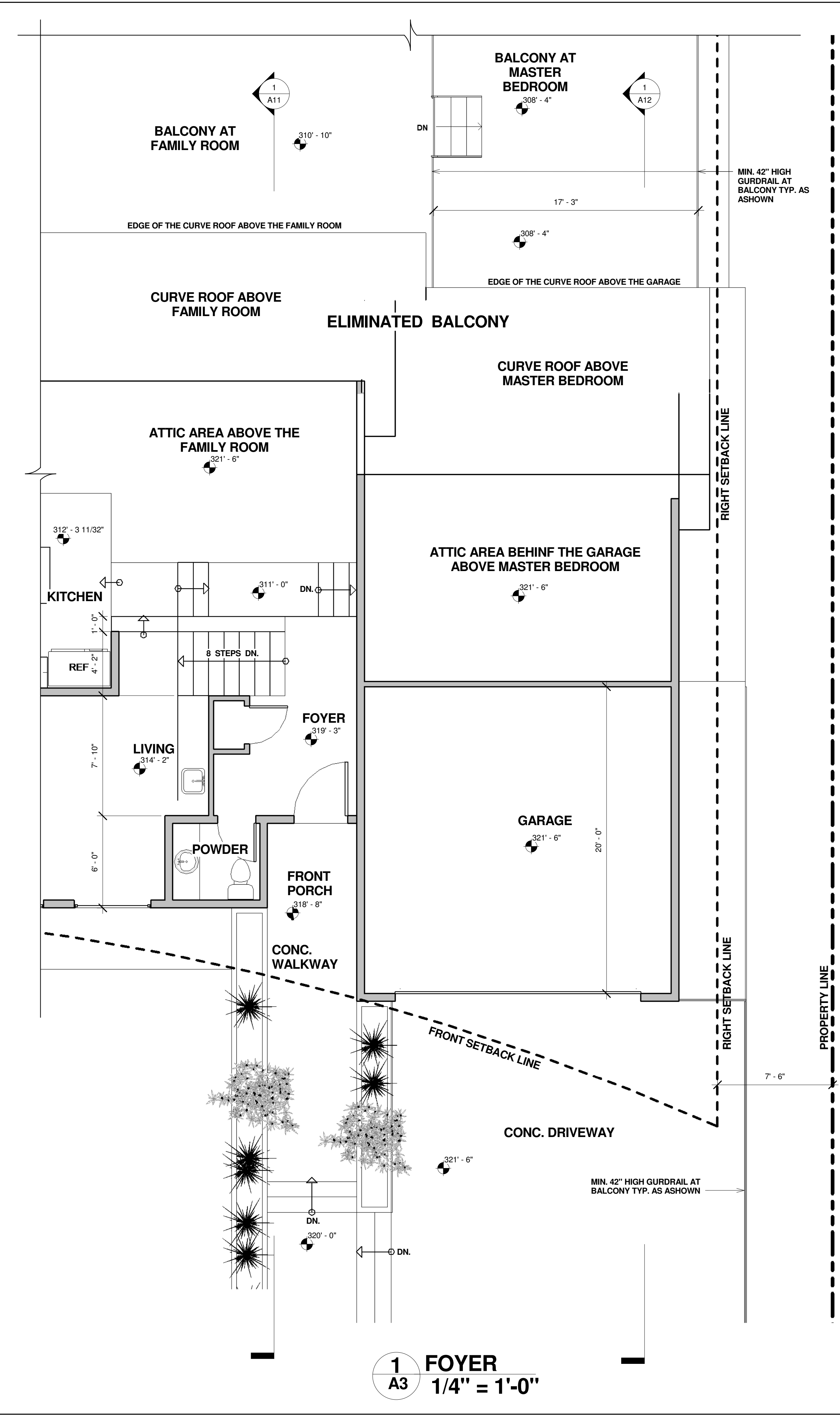
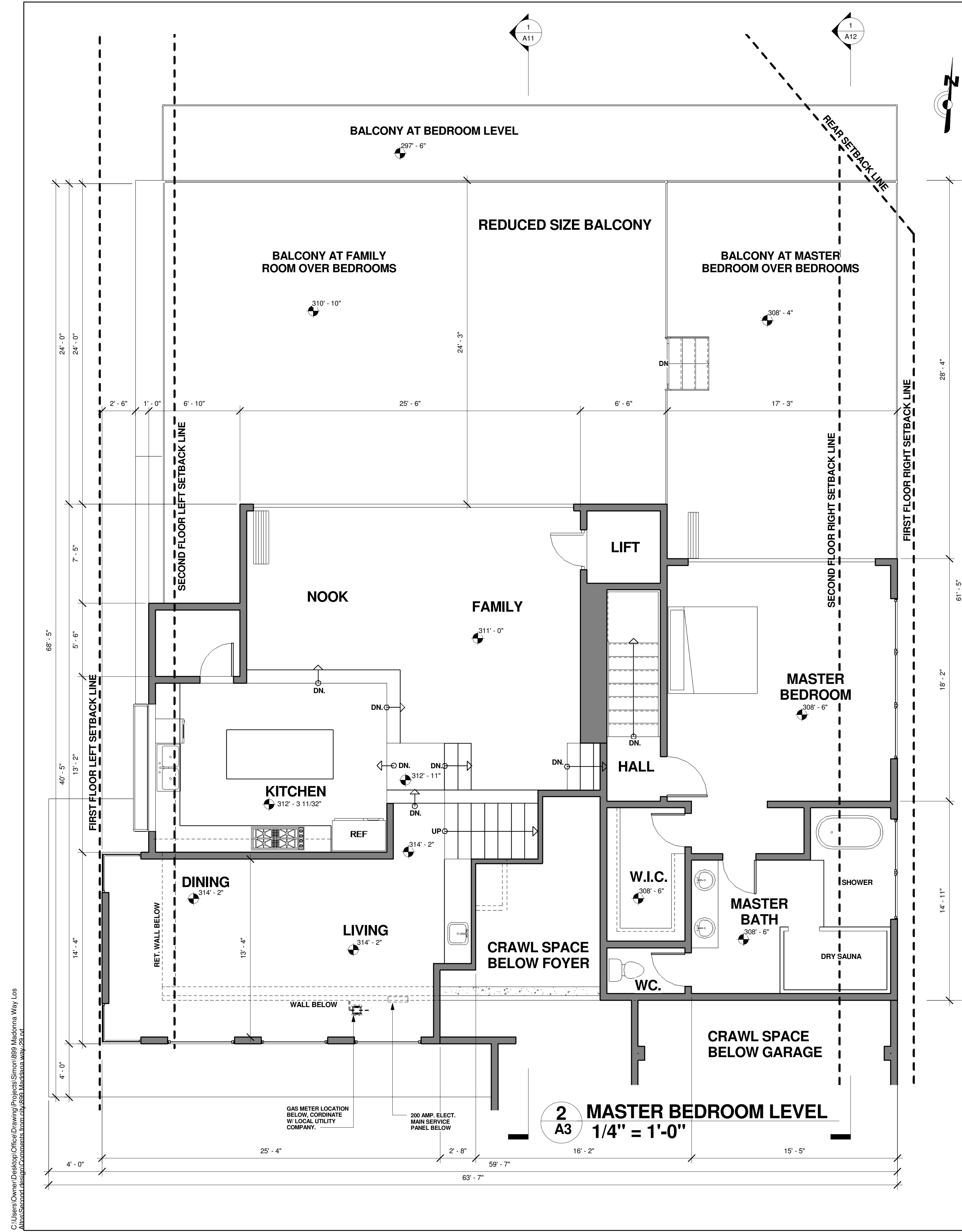
AREAL PLAN

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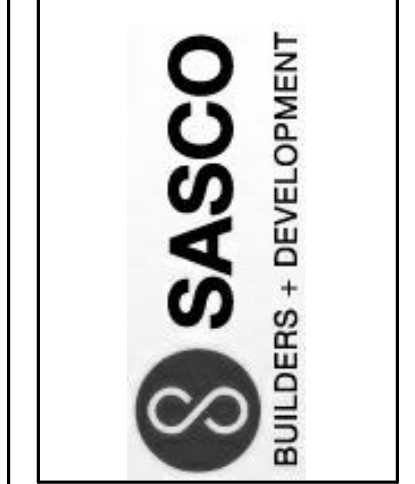
A2

Scale 1" = 50'-0"



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**GARAGE, FOYER, KITCHEN &
MASTER BEDROOM LEVEL**

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A3	
Scale:	1/4" = 1'-0"

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1	Revision 1	Date 1

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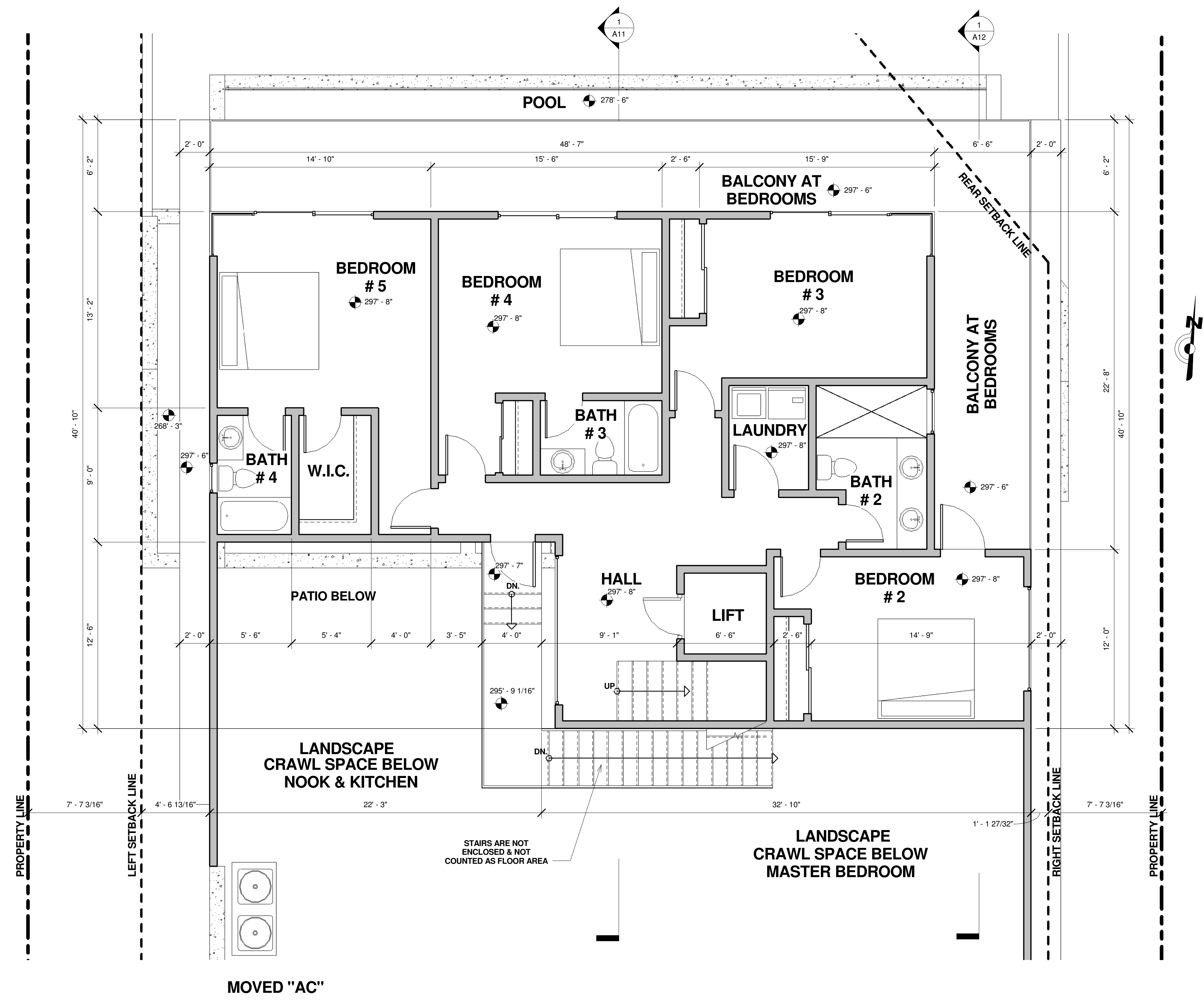


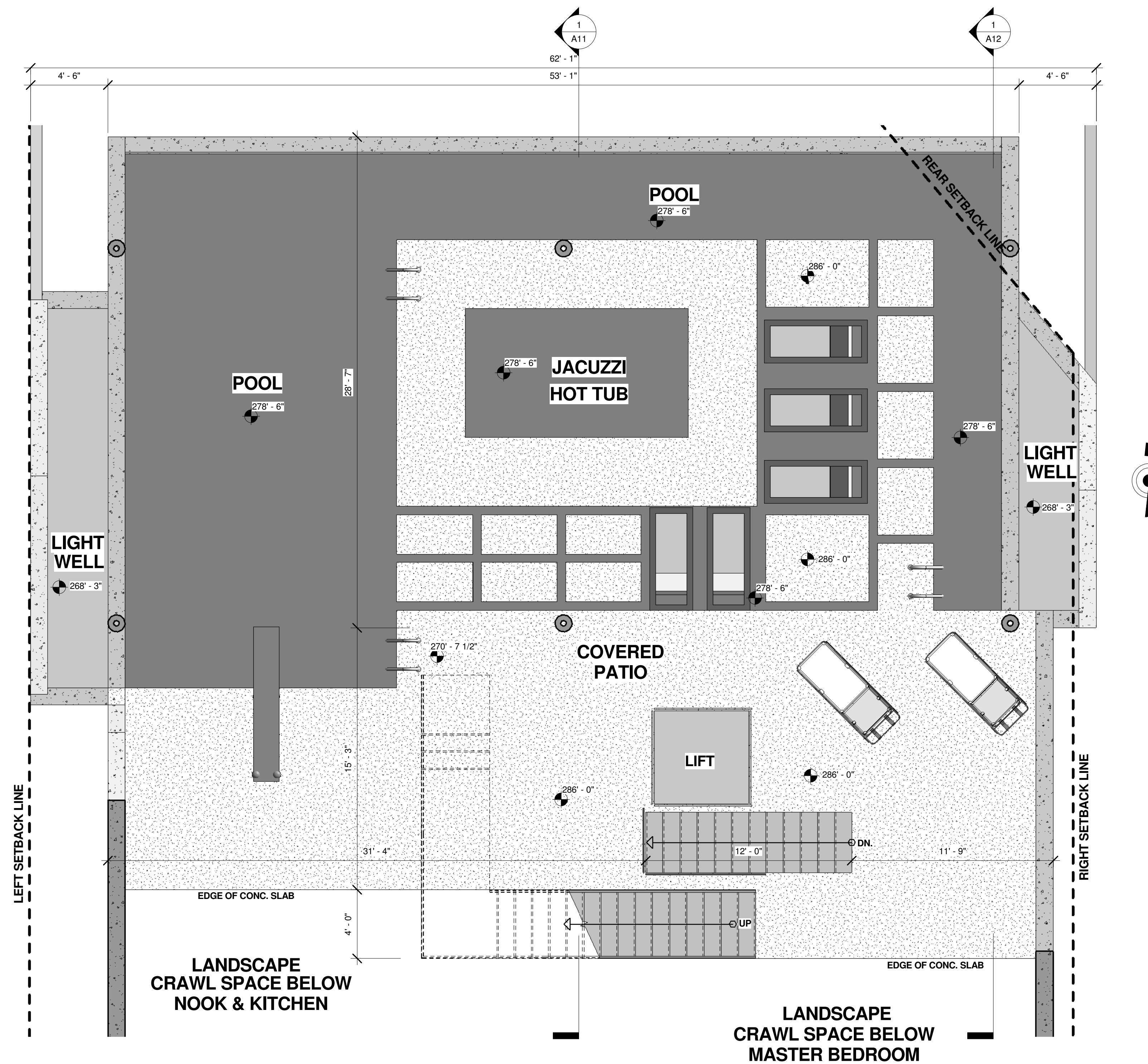
BEDROOM LEVELS

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APN # 336-03-029

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A4
Scale 1/4" = 1'-0"



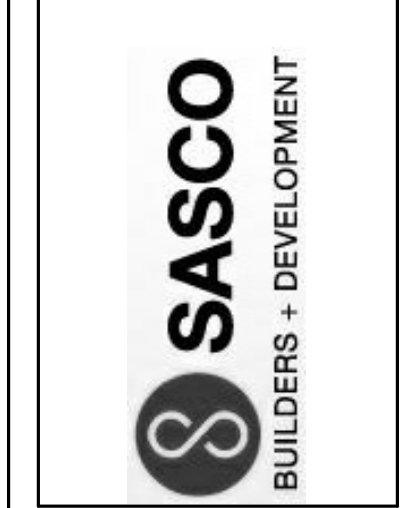


1 PATIO LEVEL
A5 1/4" = 1'-0"

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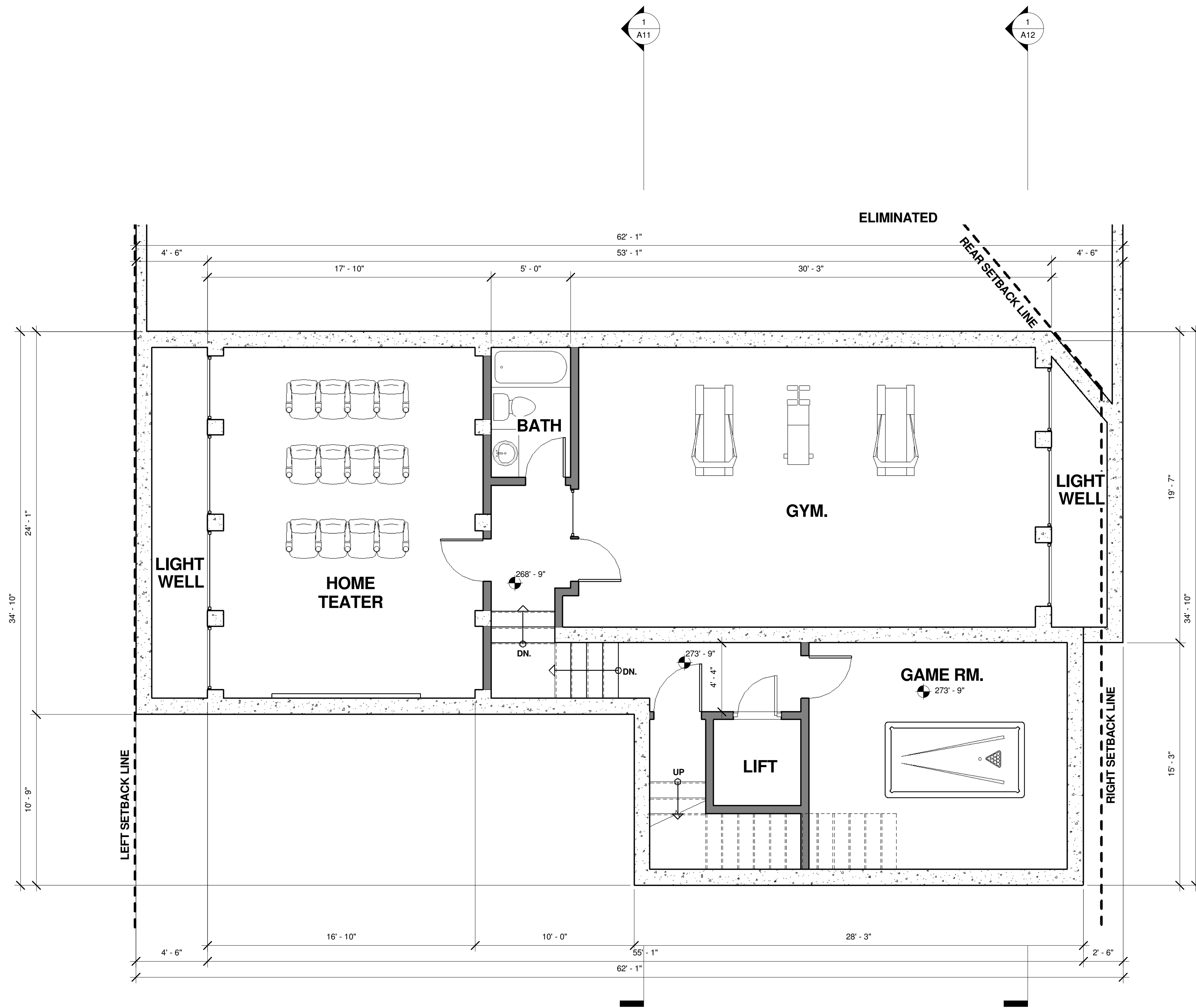
PATIO PLAN

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Project no:	MADDONA
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A5	
Scale:	1/4" = 1'-0"

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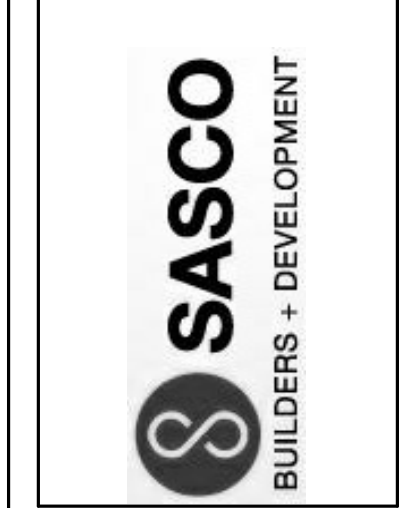
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1 BASEMENT
A6 1/4" = 1'-0"

No.	Description	Date
1	Revision 1	Date 1

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BASEMENT PLAN

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Date:	10/05/17
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A6	
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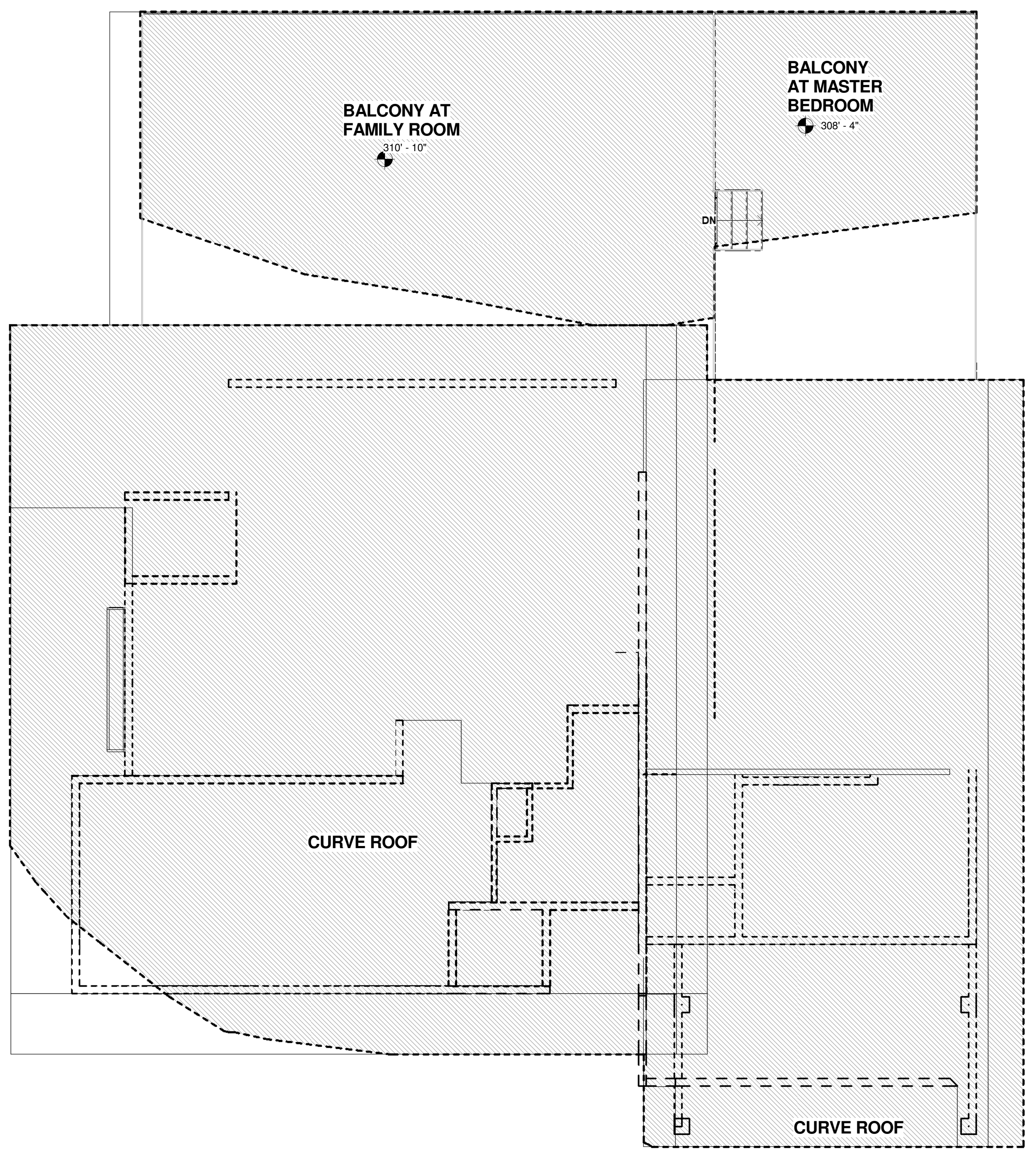
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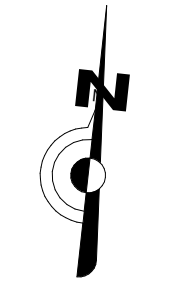
ROOF PLAN

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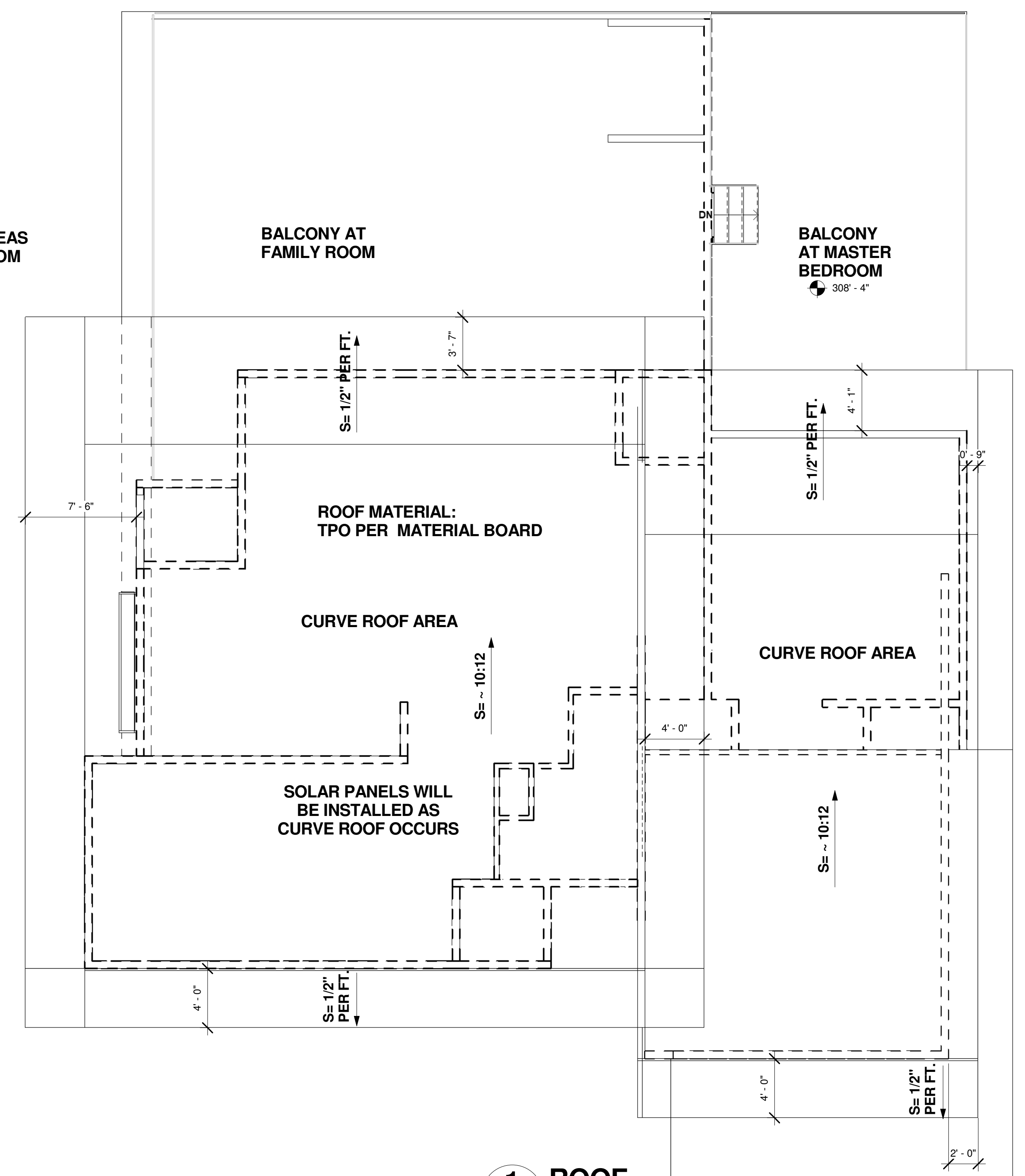
Project no:	MADDONA
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A7	
Scale:	3/16" = 1'-0"



2 ROOF SHOWING VARIANCE
A7 3/16" = 1'-0"



BALCONY OR ROOF AREAS
HIGHER THAN 27'-0" FROM
NATURAL GRADE



1 ROOF
A7 3/16" = 1'-0"

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1	Revision 1	Date 1

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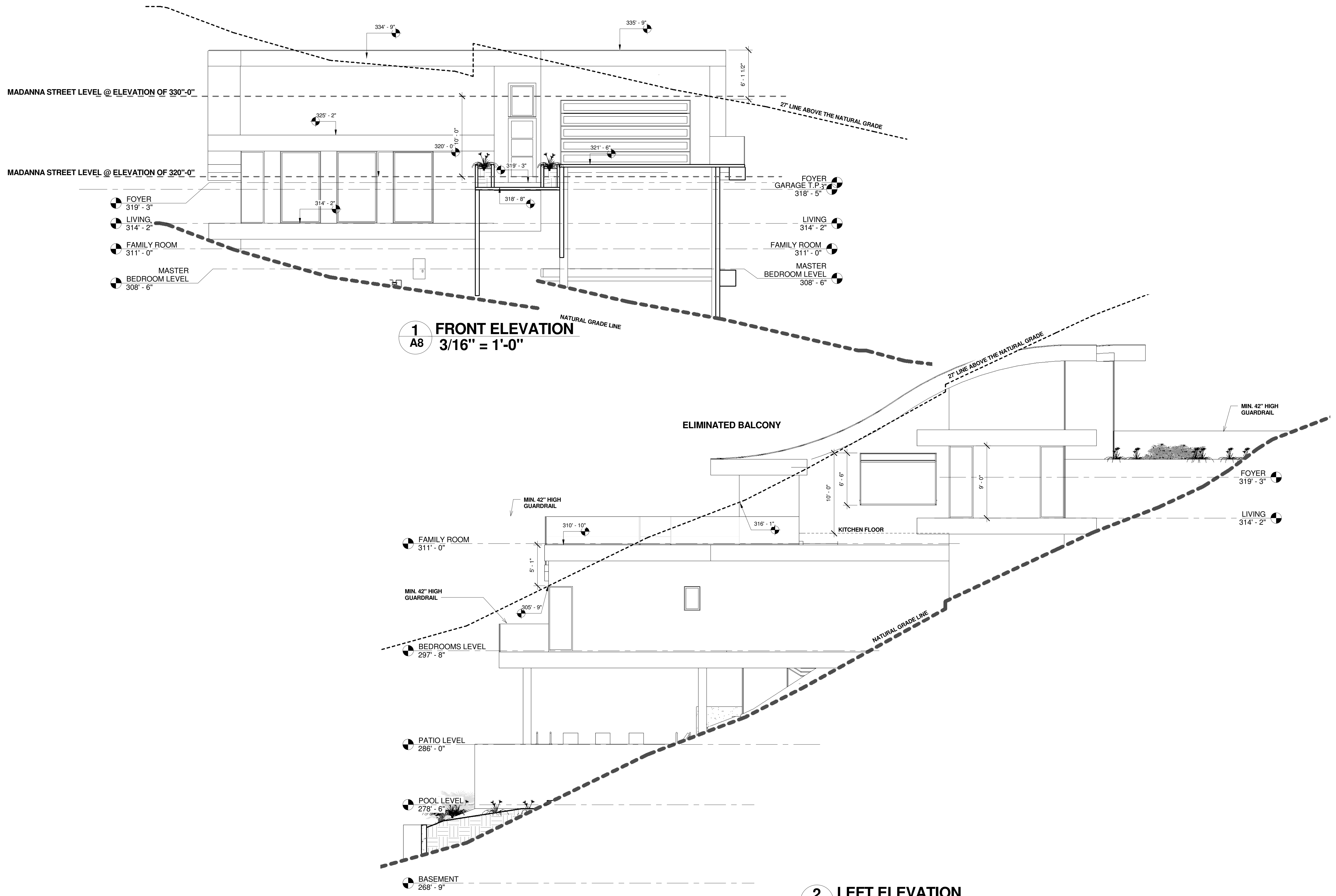


FRONT AND LEFT ELEVATION

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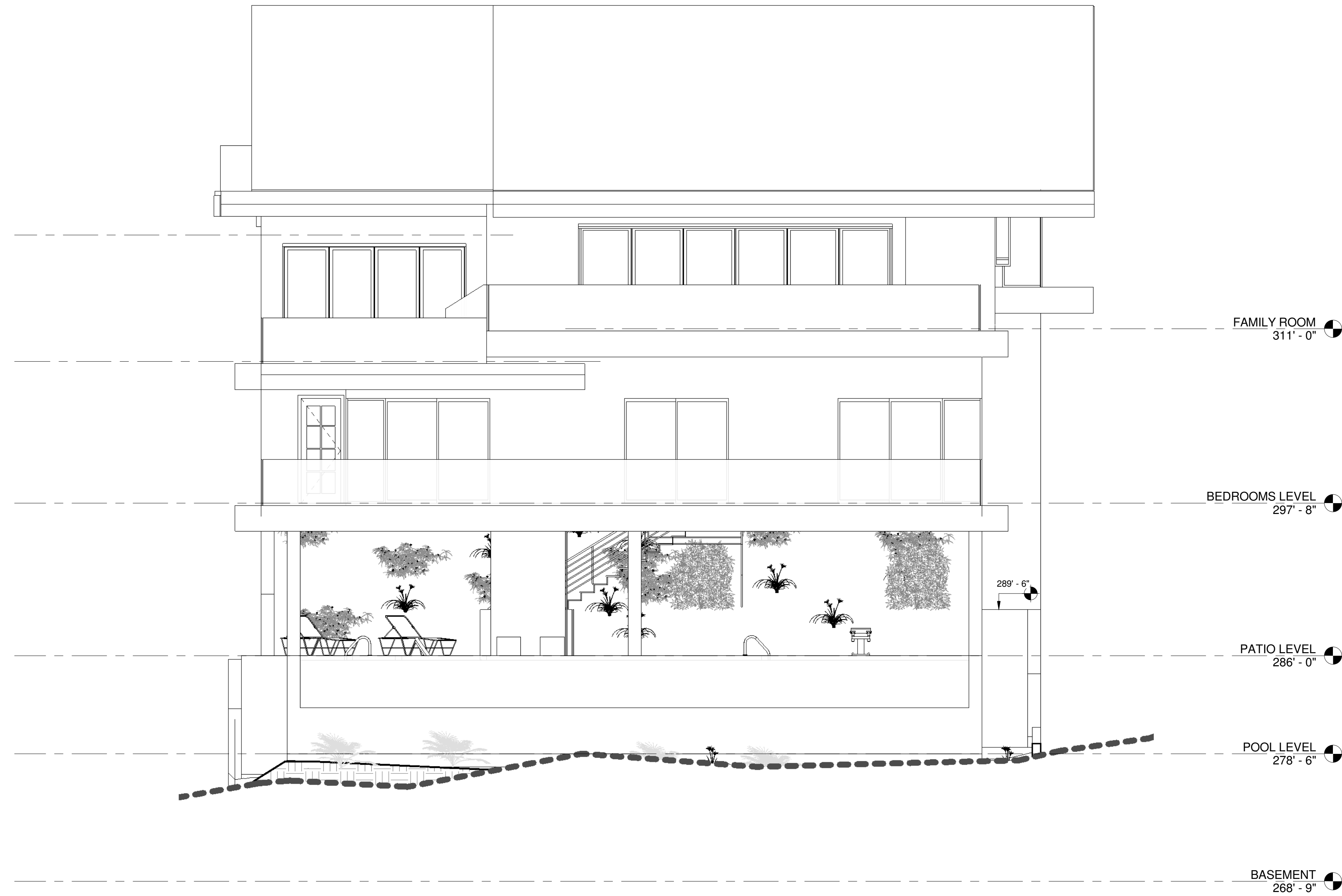
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1 REAR ELEVATION
A9 3/16" = 1'-0"

No.	Description	Date

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REAR ELEVATION

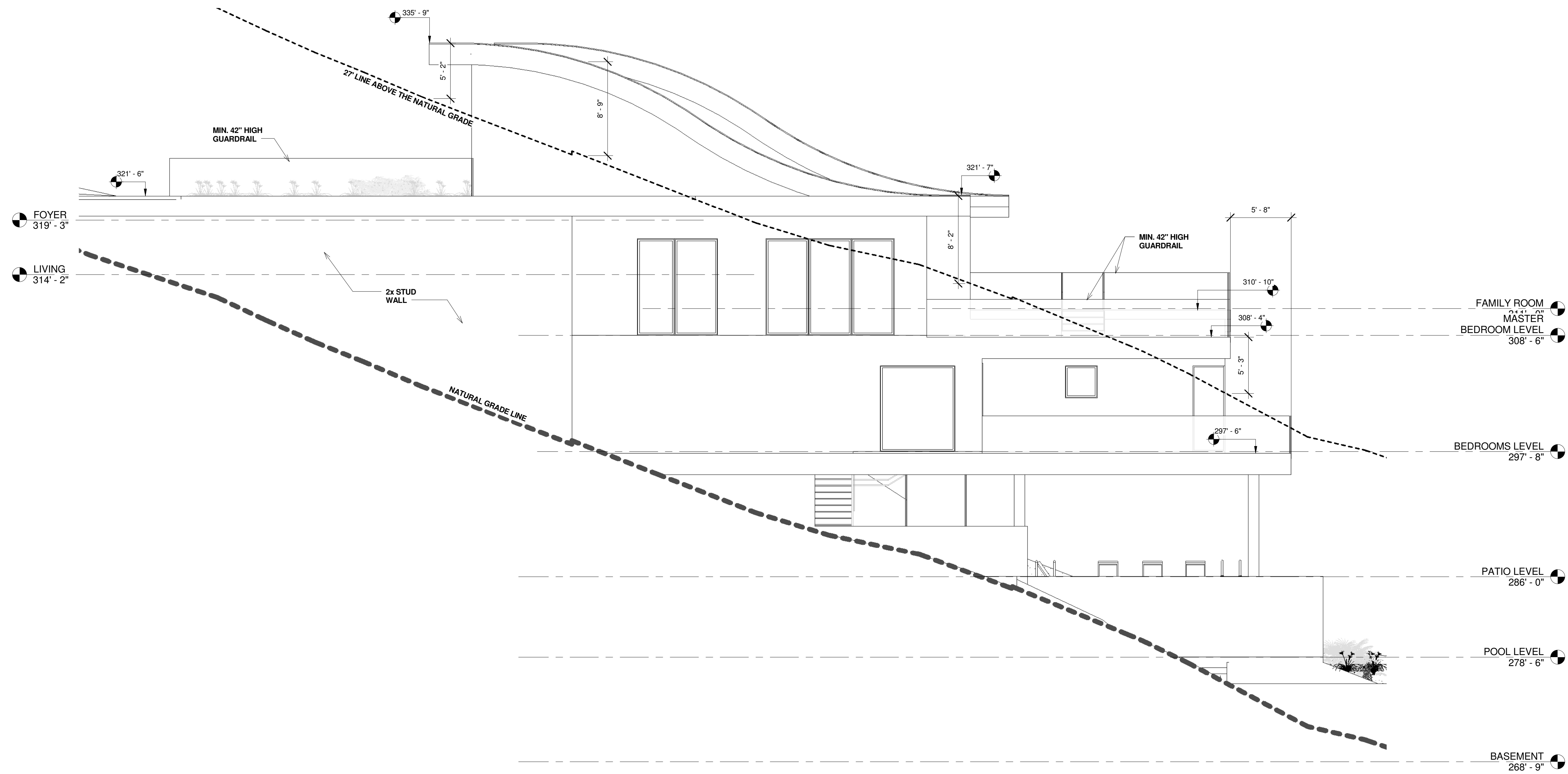
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Project no:	MADDONA
Date:	10/05/17
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A9
Scale 3/16" = 1'-0"

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RIGHT ELEVATION

**NEW SINGLE FAMILY HOME FOR:
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A10
 Scale 3/16" = 1'-0"

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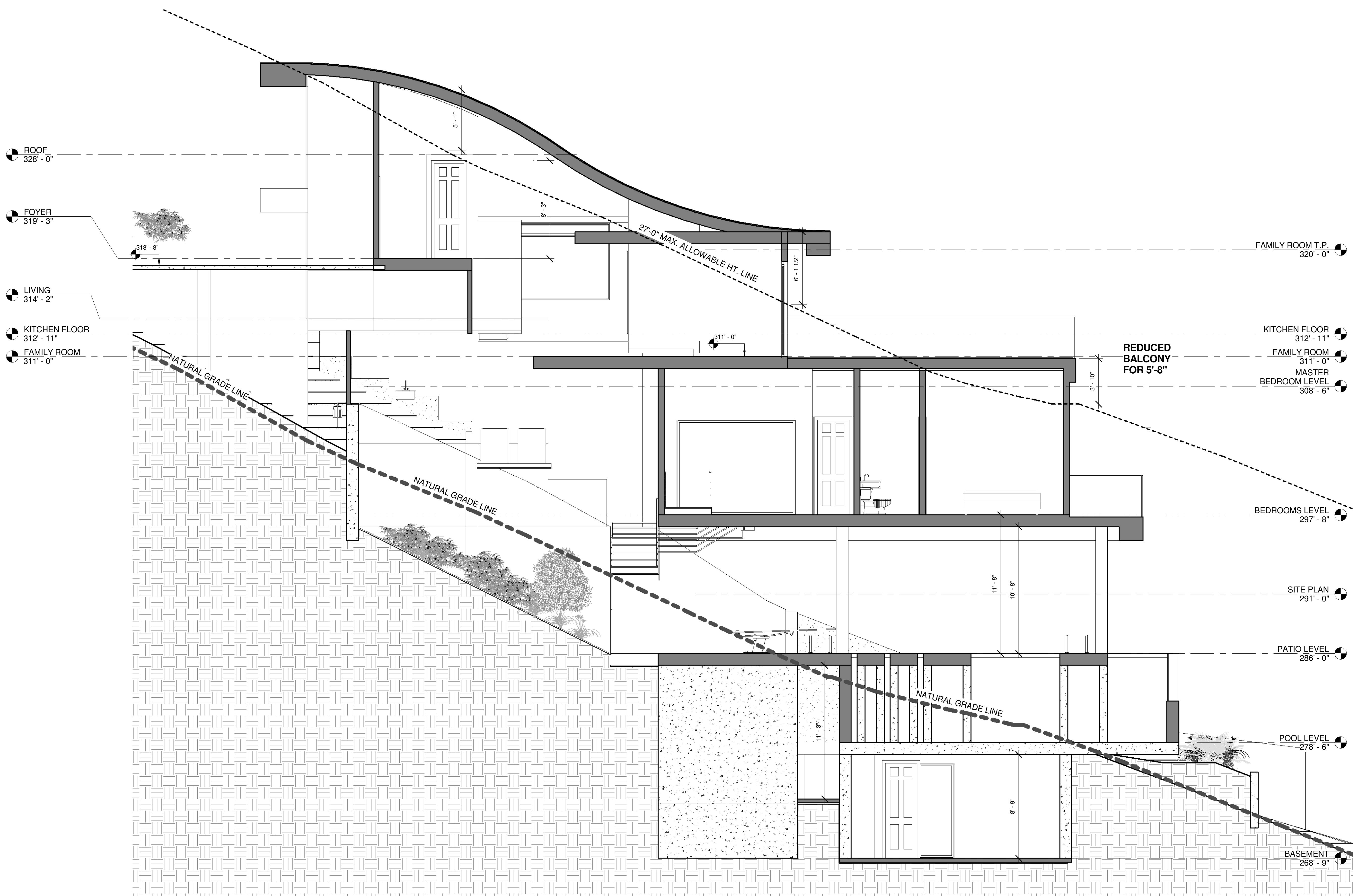
SECTION 1

NEW SINGLE FAMILY HOME FOR:
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A11
Scale 1/4" = 1'-0"

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1 Section 1
A11 1/4" = 1'-0"

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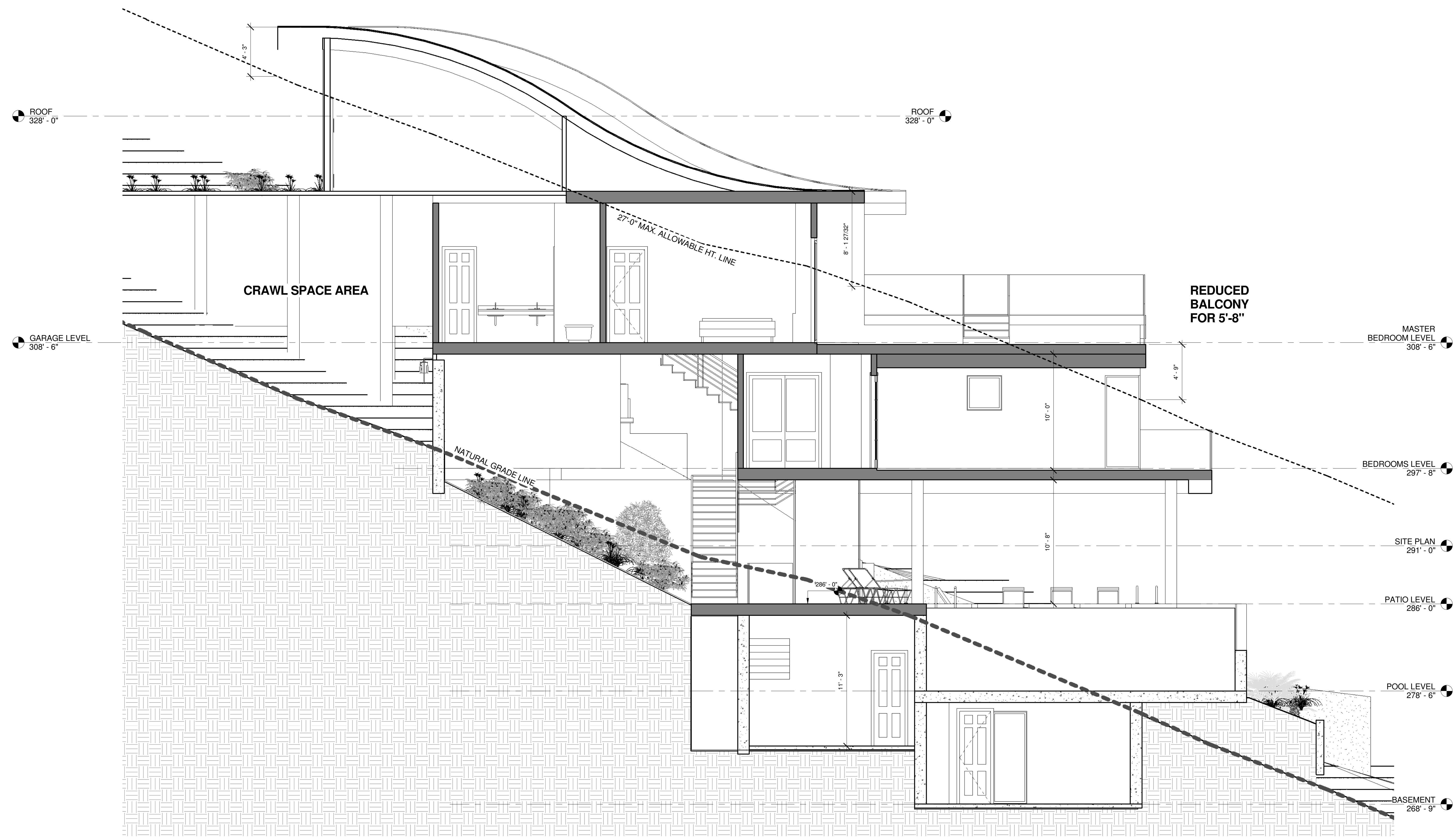


SECTION 2

NEW SINGLE FAMILY HOME FOR:
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Project no: MADDONA
Date: 10/05/17
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A12
Scale: 1/4" = 1'-0"



1 Section 2
A12 1/4" = 1'-0"

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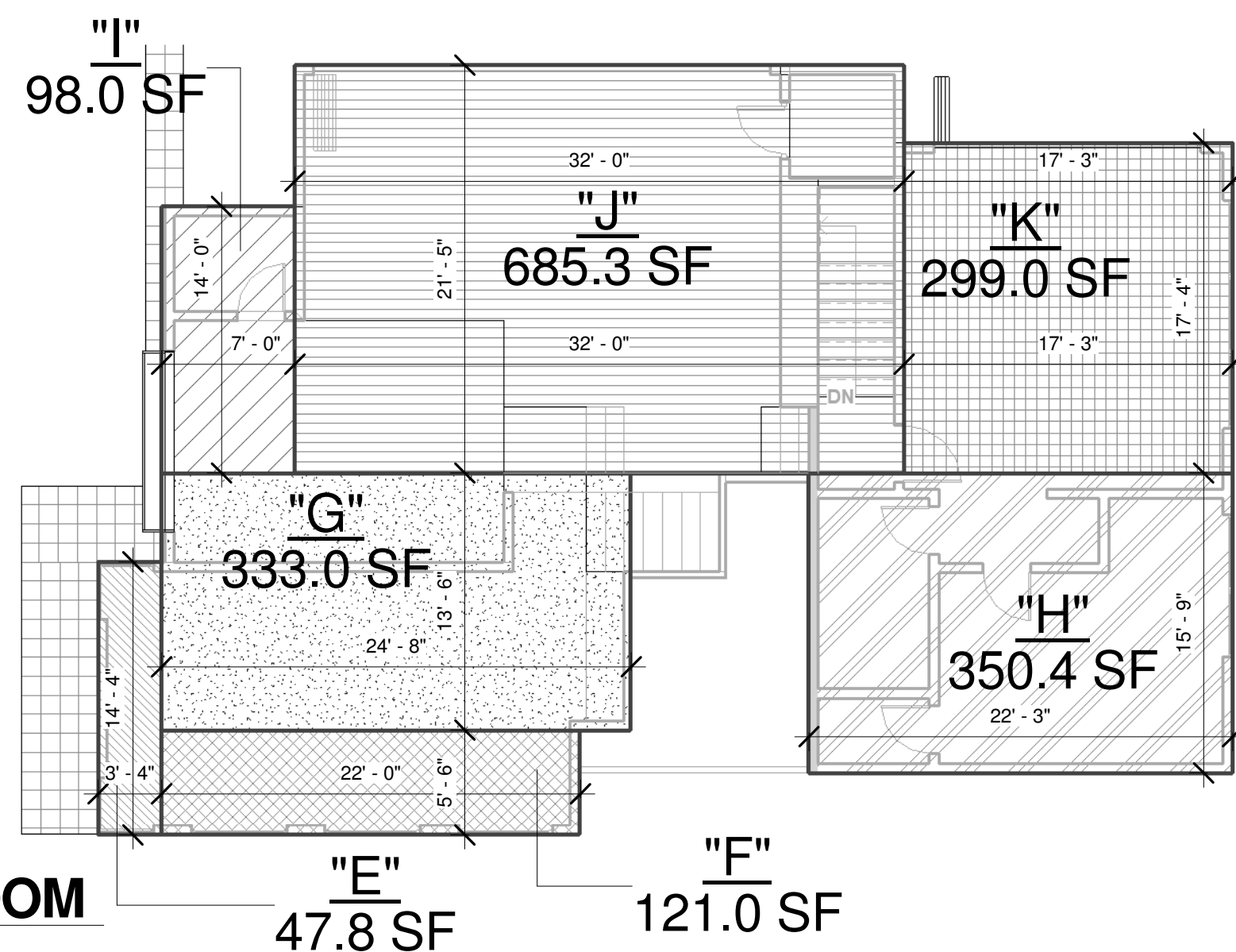
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AREAS CALCULATIONS

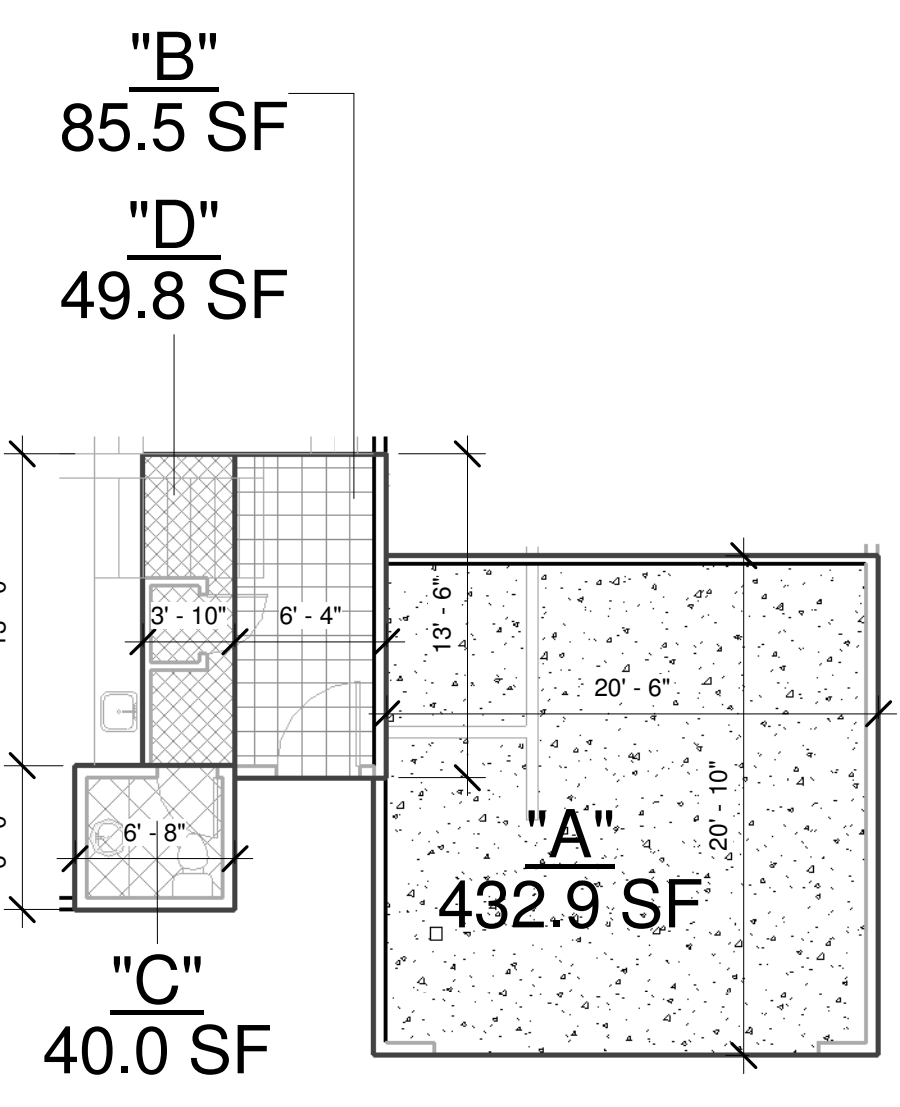
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LOS ALTOS, CA 94024
APN # 336-03-029

Project no:	MADDONA
Date:	10/05/17
Drawn by:	Author
Checked by:	Checker
A13	
Scale:	As indicated



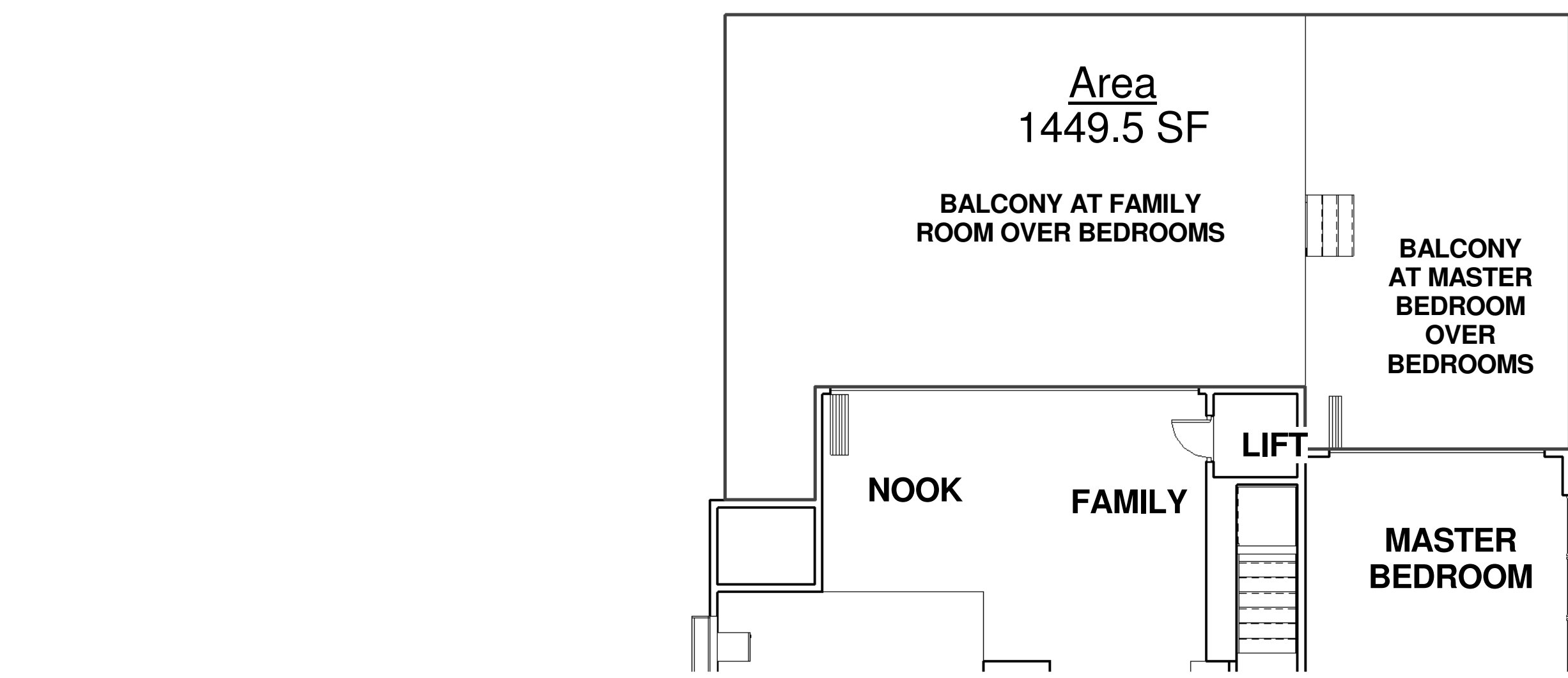
AREA :

47.8 SF	AREA "E" (14'-4" x 3'-4")
121.0 SF	AREA "F" (5'-6" x 22'-0")
333.0 SF	AREA "G" (13'-6" x 24'-8")
350.4 SF	AREA "H" (15'-9" x 22'-3")
98.0 SF	AREA "I" (14'-0" x 7'-0")
685.3 SF	AREA "J" (21'-5" x 32'-0")
299.0 SF	AREA "K" (17'-4" x 17'-3")

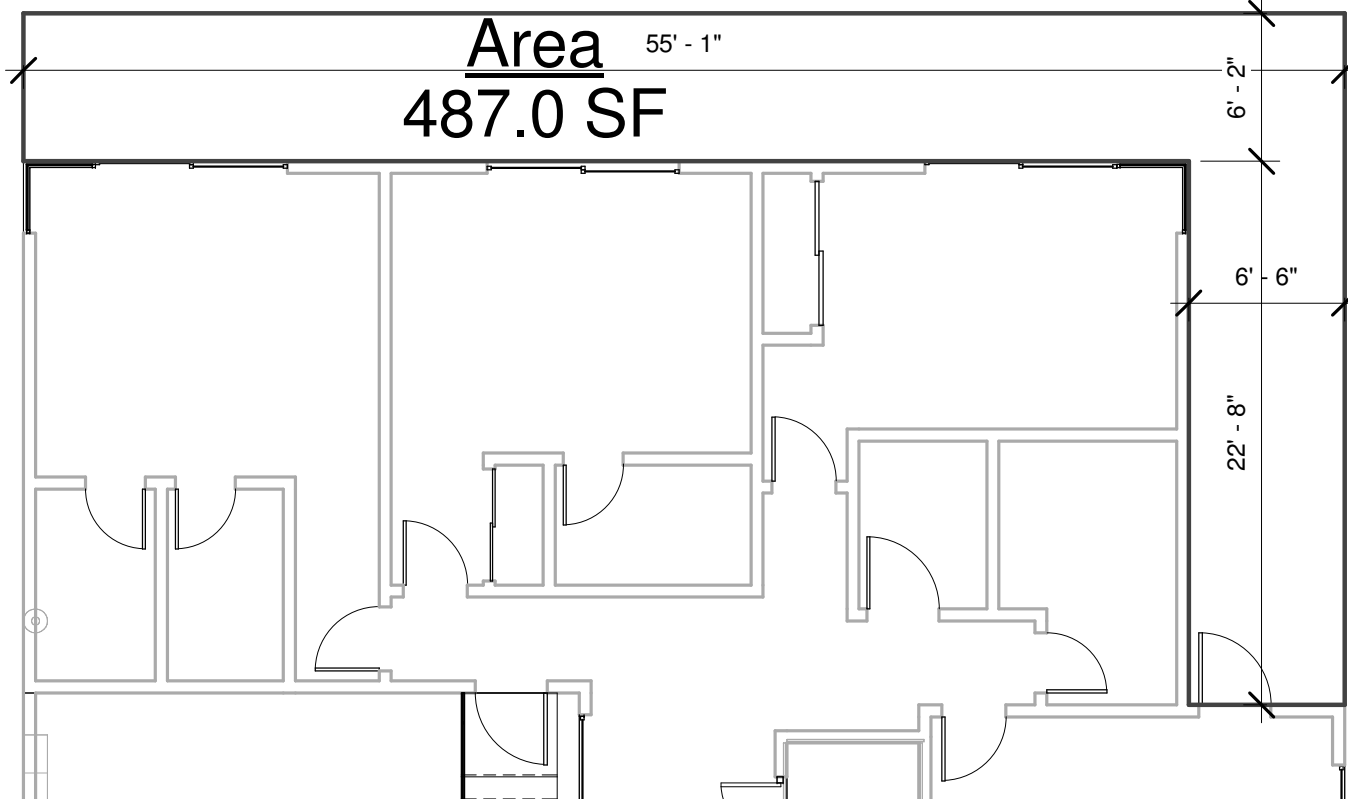


AREA :

432.9 SF	AREA "A" (20'-10" x 21'-0")
85.5 SF	AREA "B" (12'-6" x 6'-4")
40.0 SF	AREA "C" (6'-0" x 6'-8")
49.8 SF	AREA "D" (12'-0" x 3'-10")

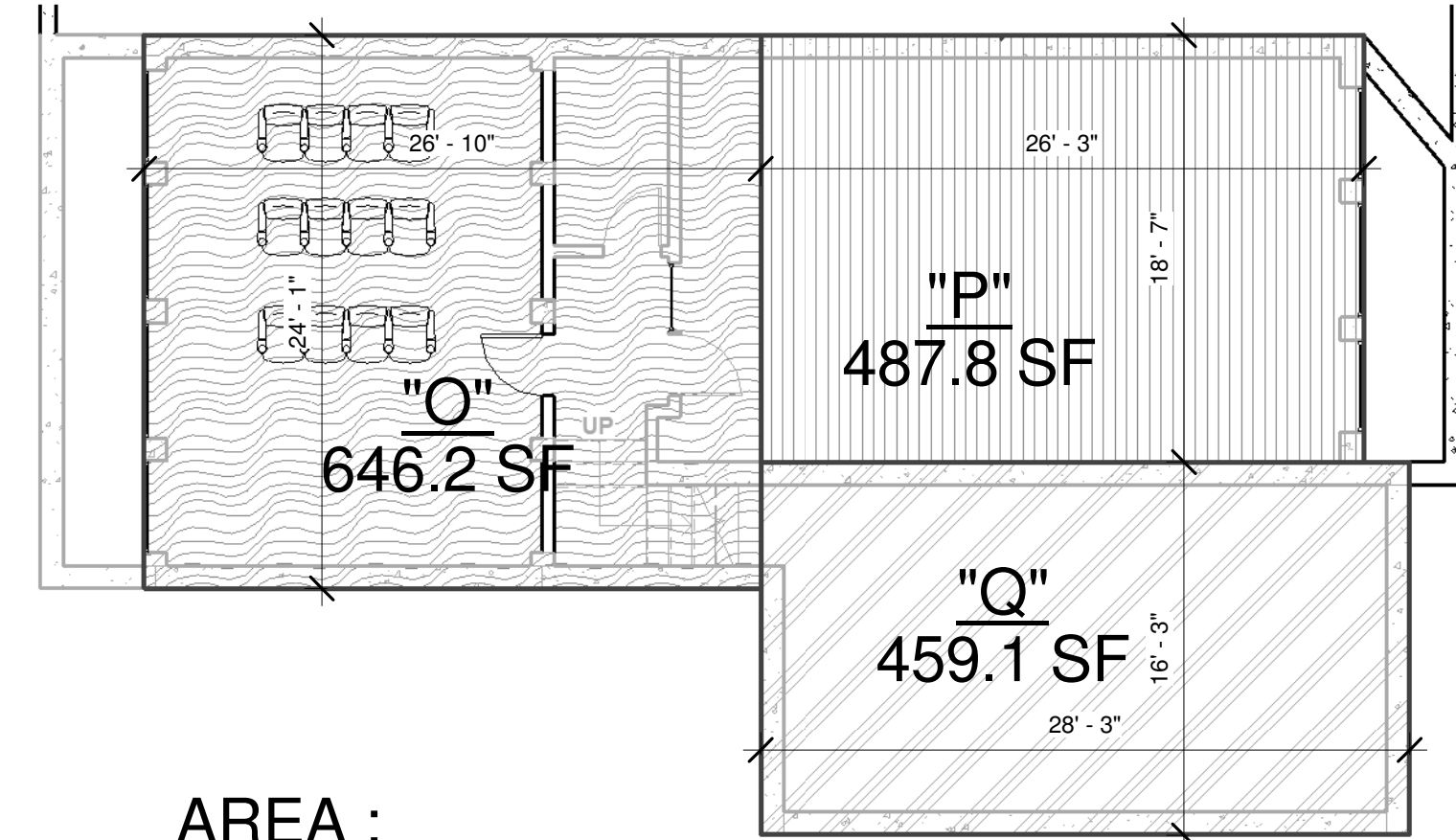


8 BALCONY AREA AT FAMILY ROOM
A13 1/8" = 1'-0"



7 BALCONY AREA AT BEDROOM LEVEL
A13 1/8" = 1'-0"

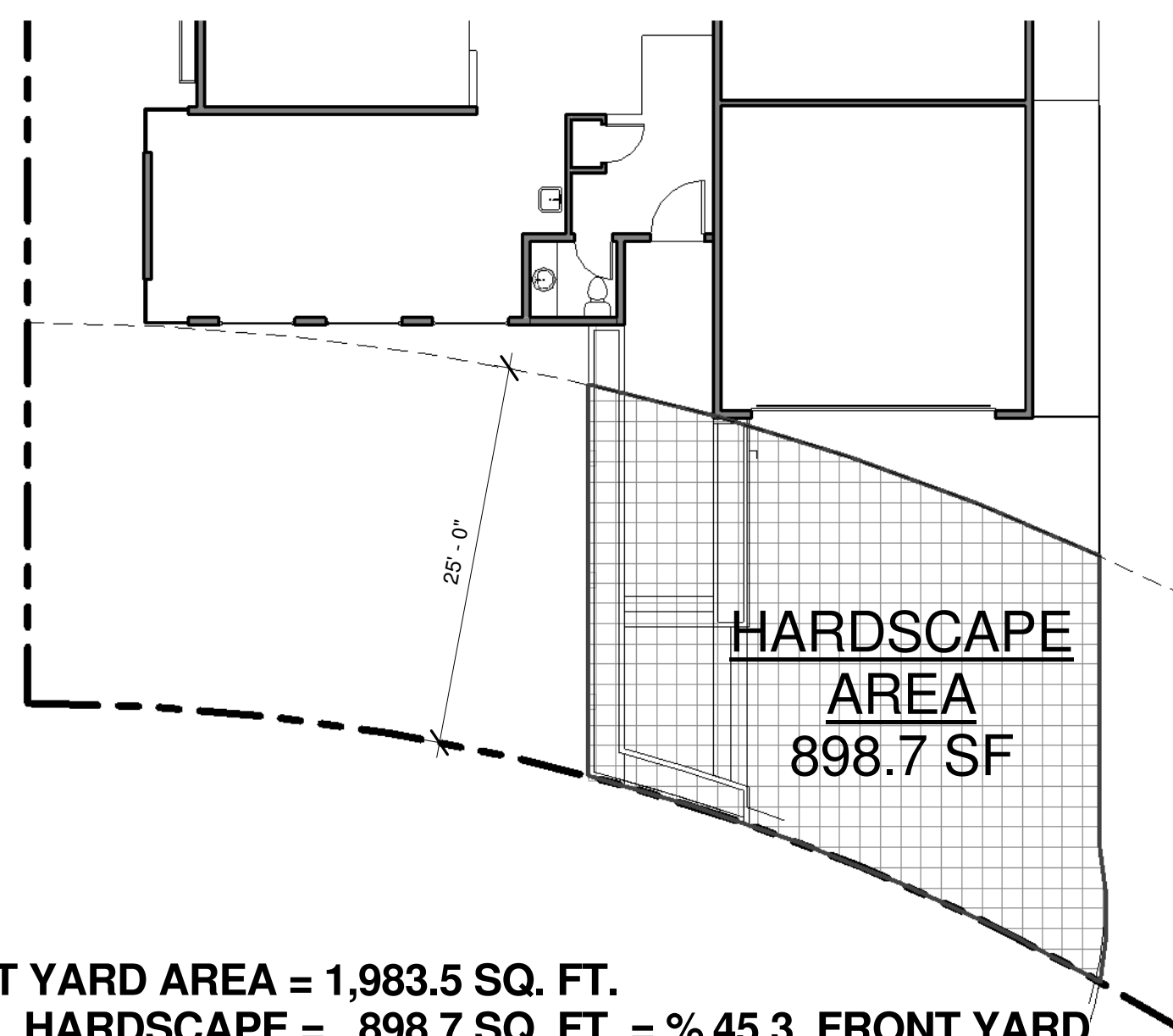
2 KITCHEN & MASTER BEDROOM LEVEL AREA
A13 1/8" = 1'-0"



AREA :

646.2 SF	AREA "O" (13'-0" x 3'-10")
487.8 SF	AREA "P" (6'-0" x 6'-8")
459.1 SF	AREA "Q" (13'-6" x 6'-4")

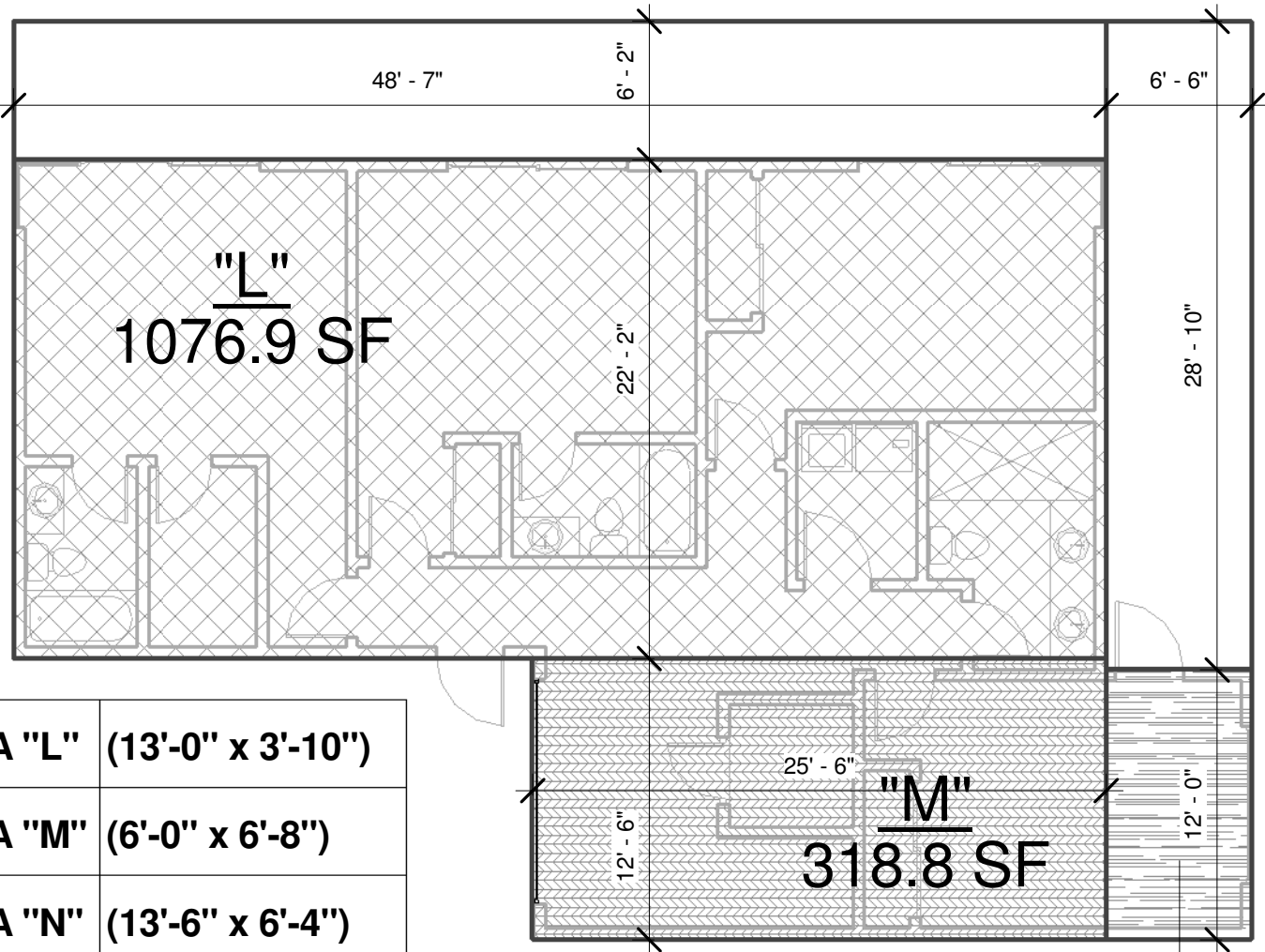
4 BASEMENT
A13 1/8" = 1'-0"



FRONT YARD AREA = 1,983.5 SQ. FT.
TOTAL HARDSCAPE = 898.7 SQ. FT. = % 45.3 FRONT YARD

5 FRONT YARD CALCULATION
A13 3/32" = 1'-0"

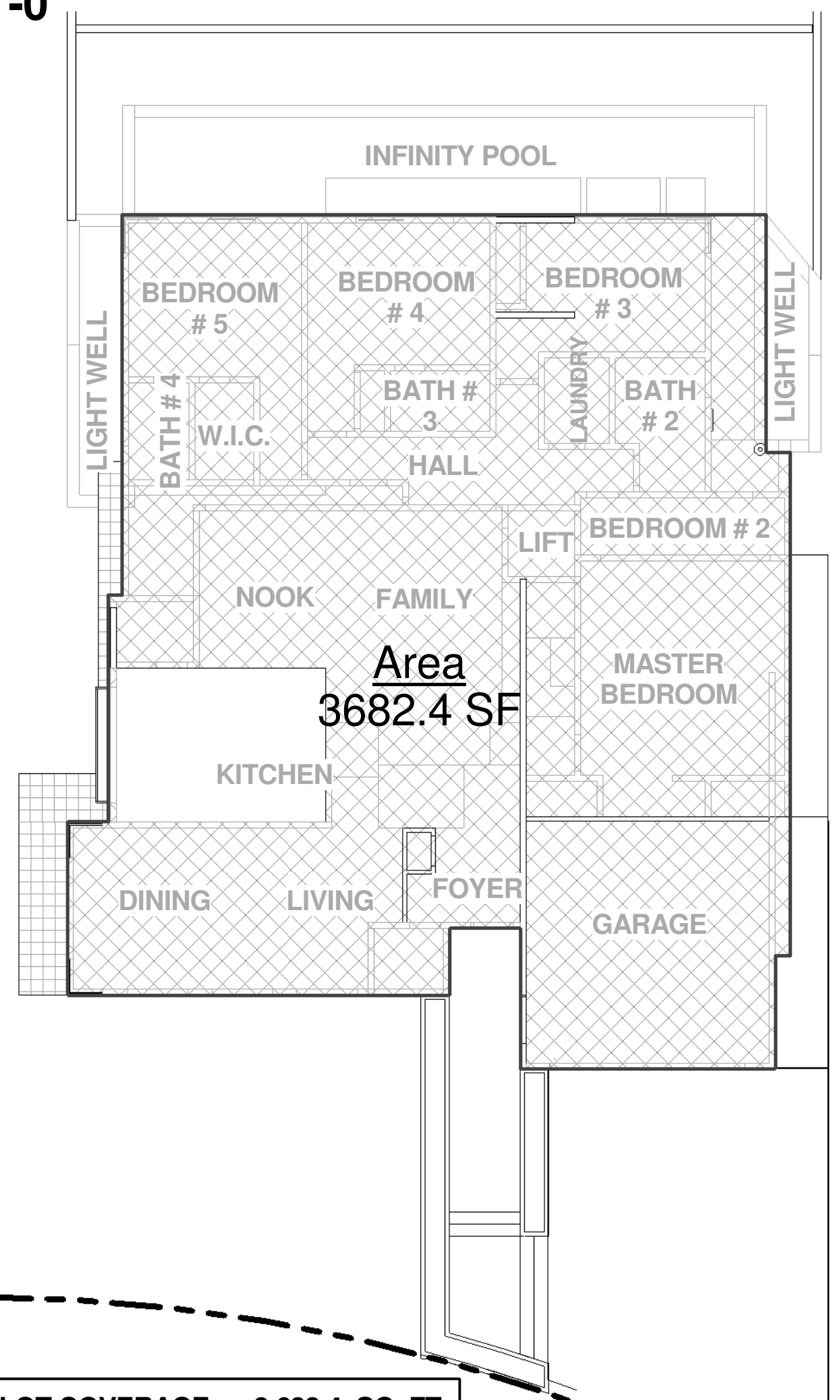
TOTAL HARDSCAPE AREA:
BUILDING + FRONT YARD
3,682.4 SF. + 898.7 SF. = 4,581.1 SF.



AREA :

1076.9 SF	AREA "L" (13'-0" x 3'-10")
78.0 SF	AREA "M" (6'-0" x 6'-8")
318.8 SF	AREA "N" (13'-6" x 6'-4")

3 BEDROOMS LEVEL
A13 1/8" = 1'-0"



6 LOT COVERAGE
A13 3/32" = 1'-0"

TOTAL LOT COVERAGE = 3,682.4 SQ. FT.

HABITABLE AREAS COUNTED FOR F.A.R.				
LEVELS	AREAS	SQ. FT.	TOTAL SQ. FT.	
GARAGE & FOYER LEVEL	A	432.9	175.3	608.2
	B	85.5		
	C	40.0		
	D	49.8		
KITCHEN & MASTER BEDROOM LEVEL	E	47.8	1,934.5	4,016.4
	F	121.0		
	G	333.0		
	H	350.4		
	I	98.0		
	J	685.3		
BEDROOMS LEVEL	K	299.0	1,473.7	
	L	1,076.9		
	M	318.8		
N	78.0			

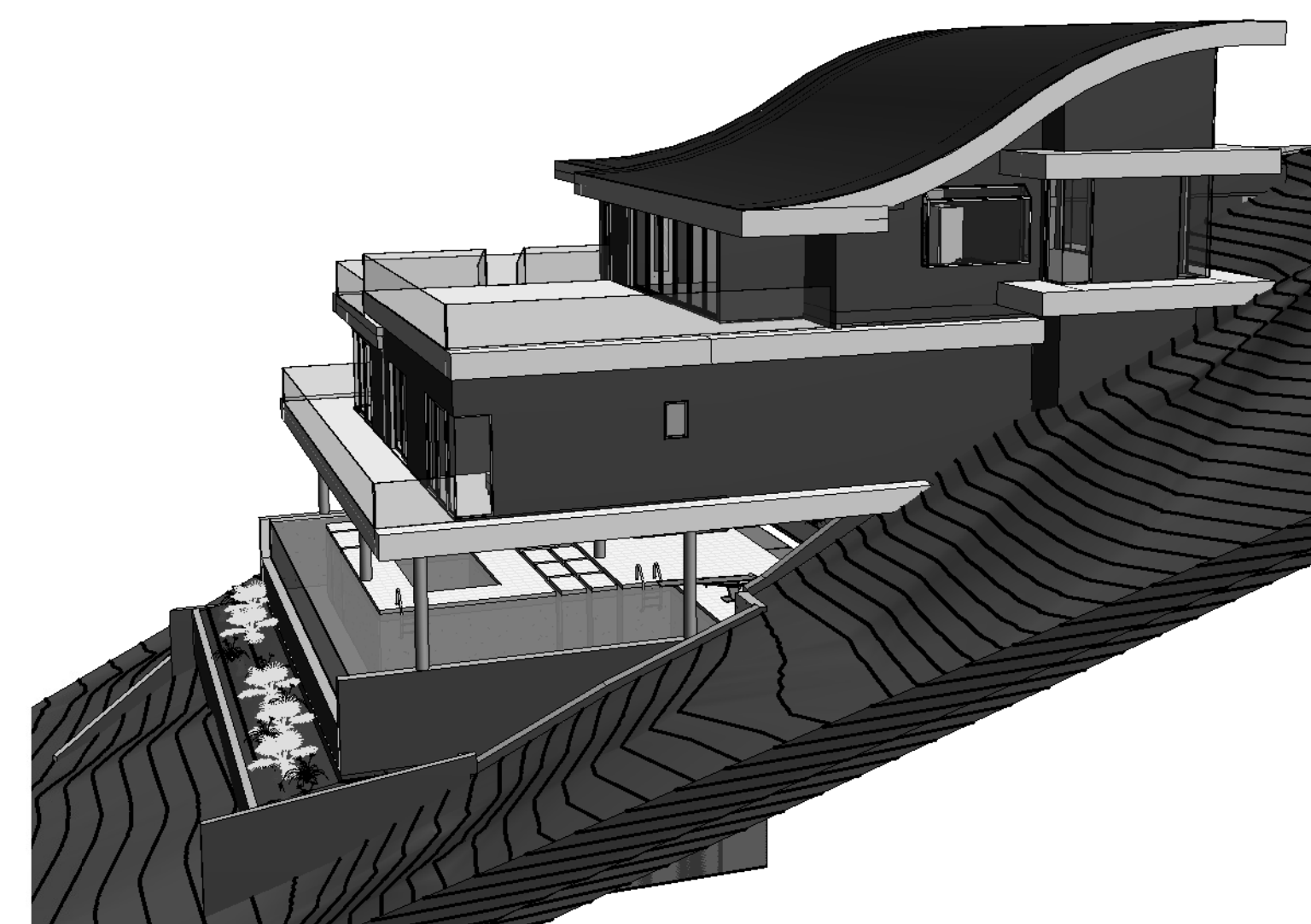
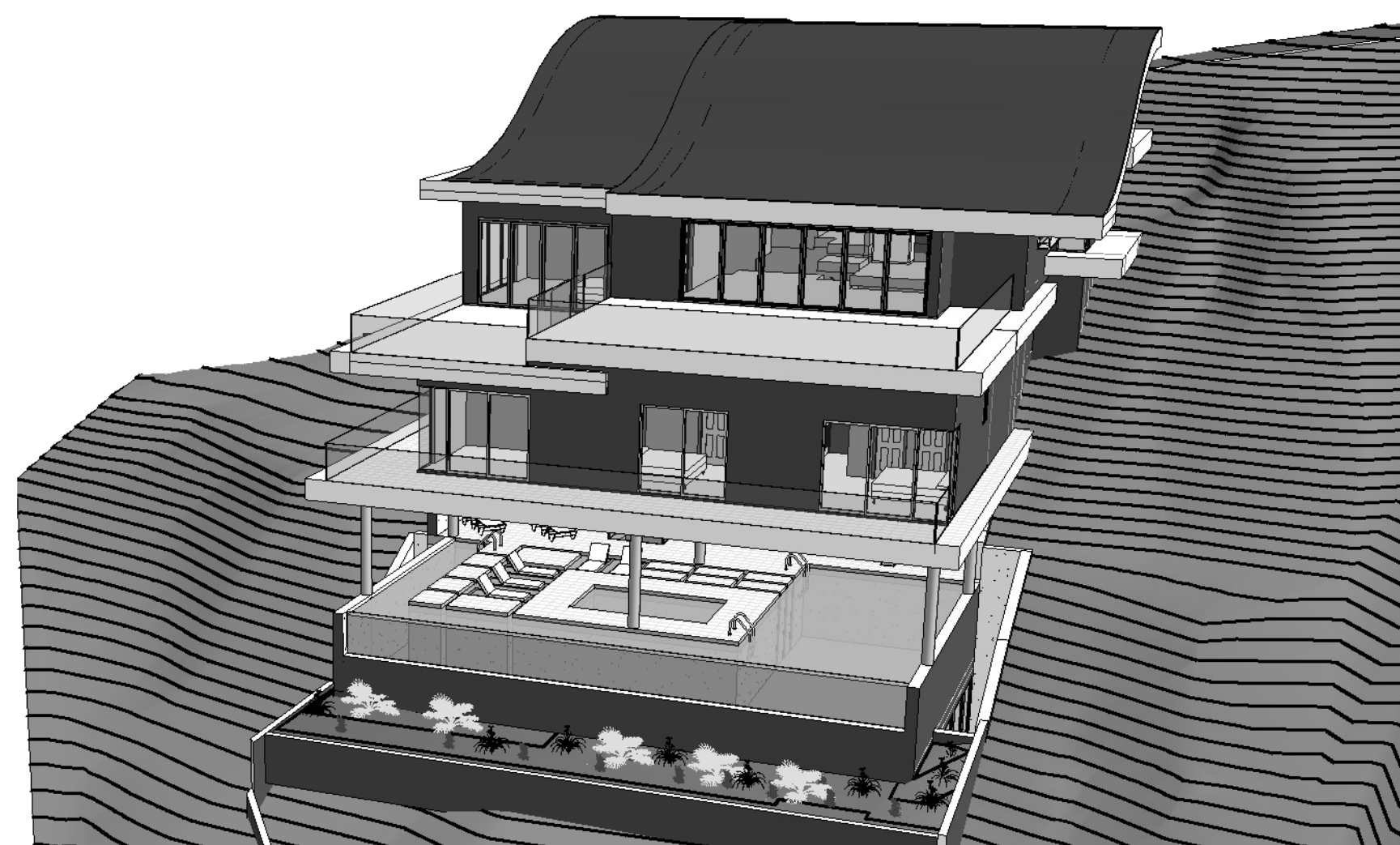
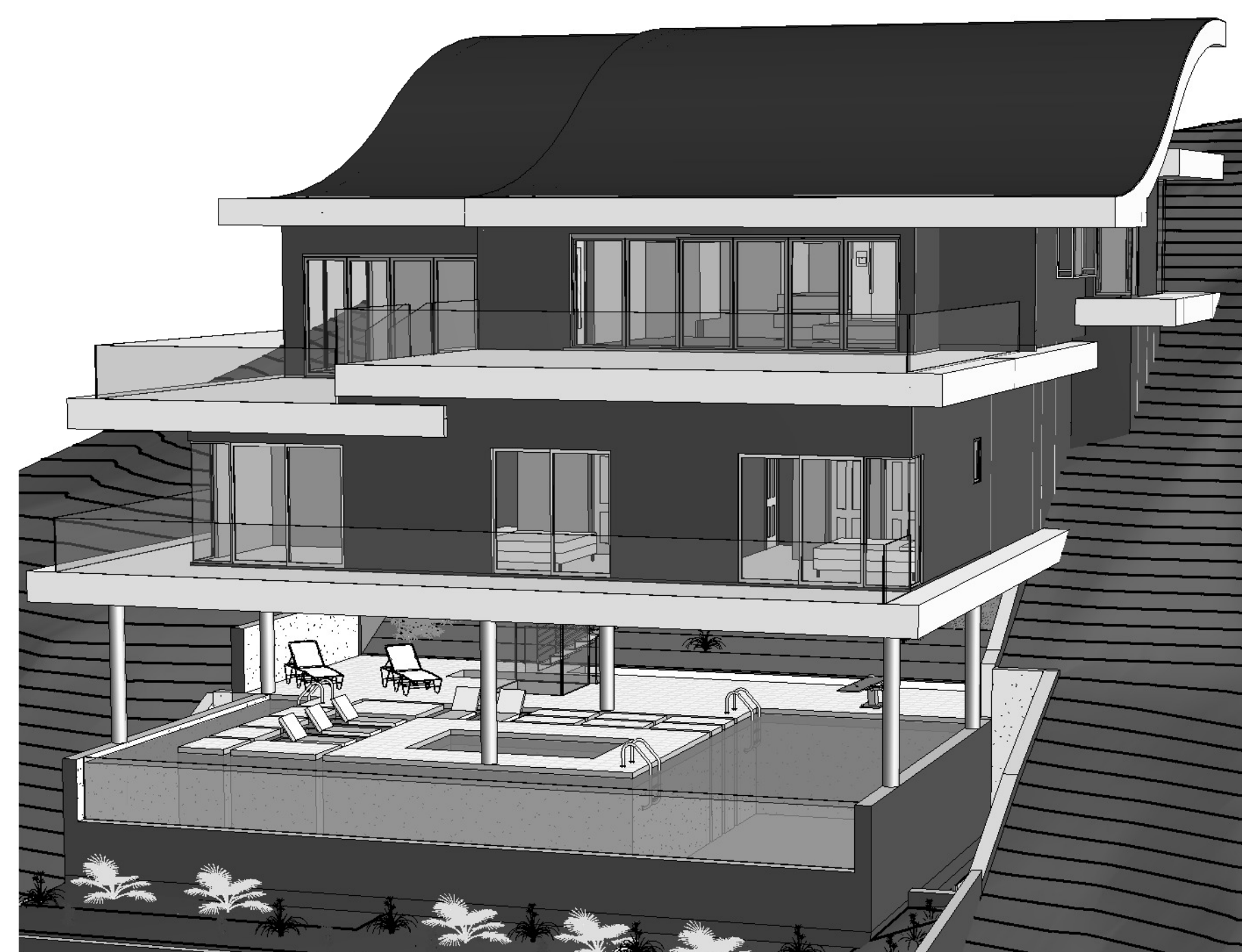
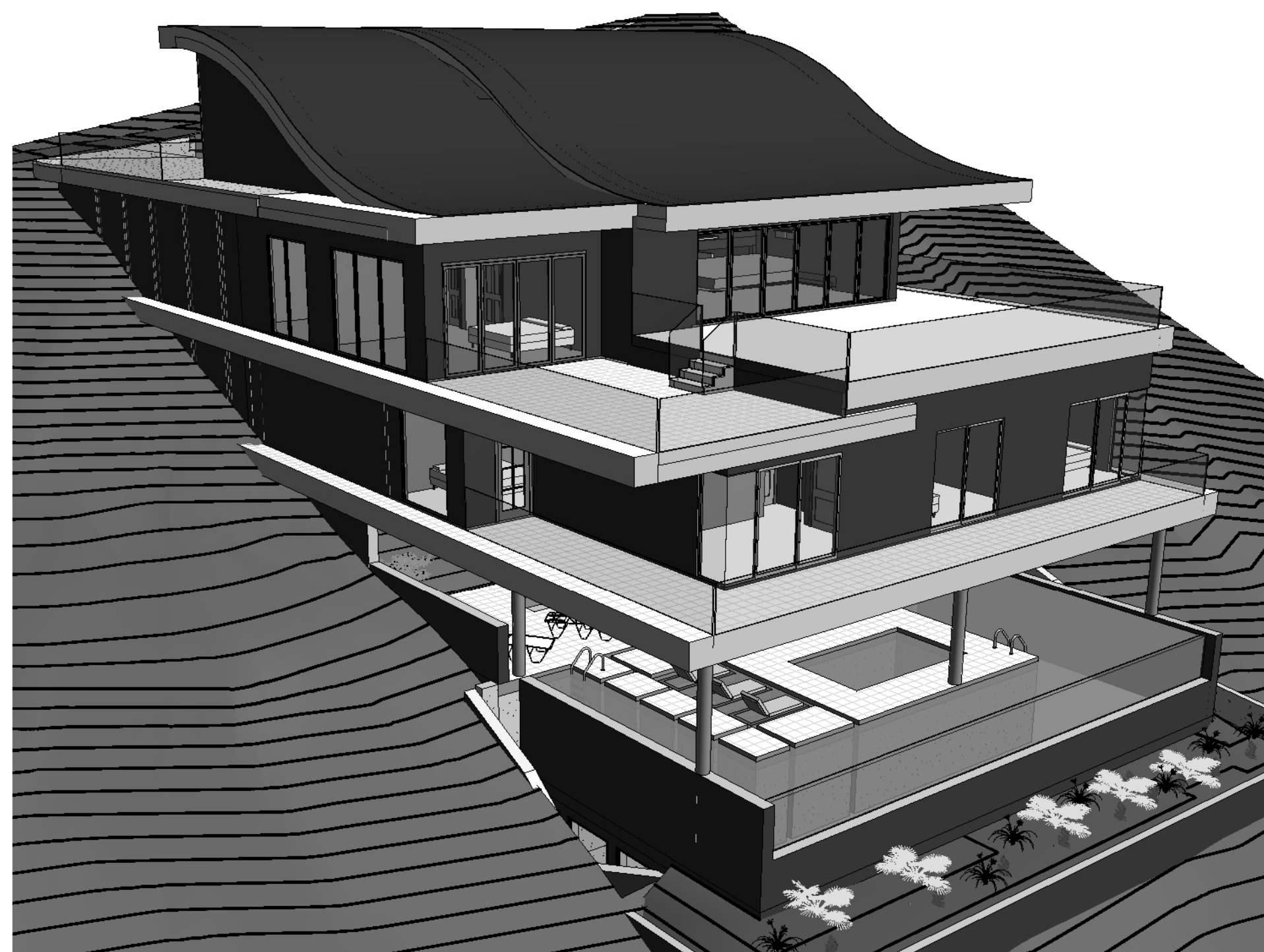
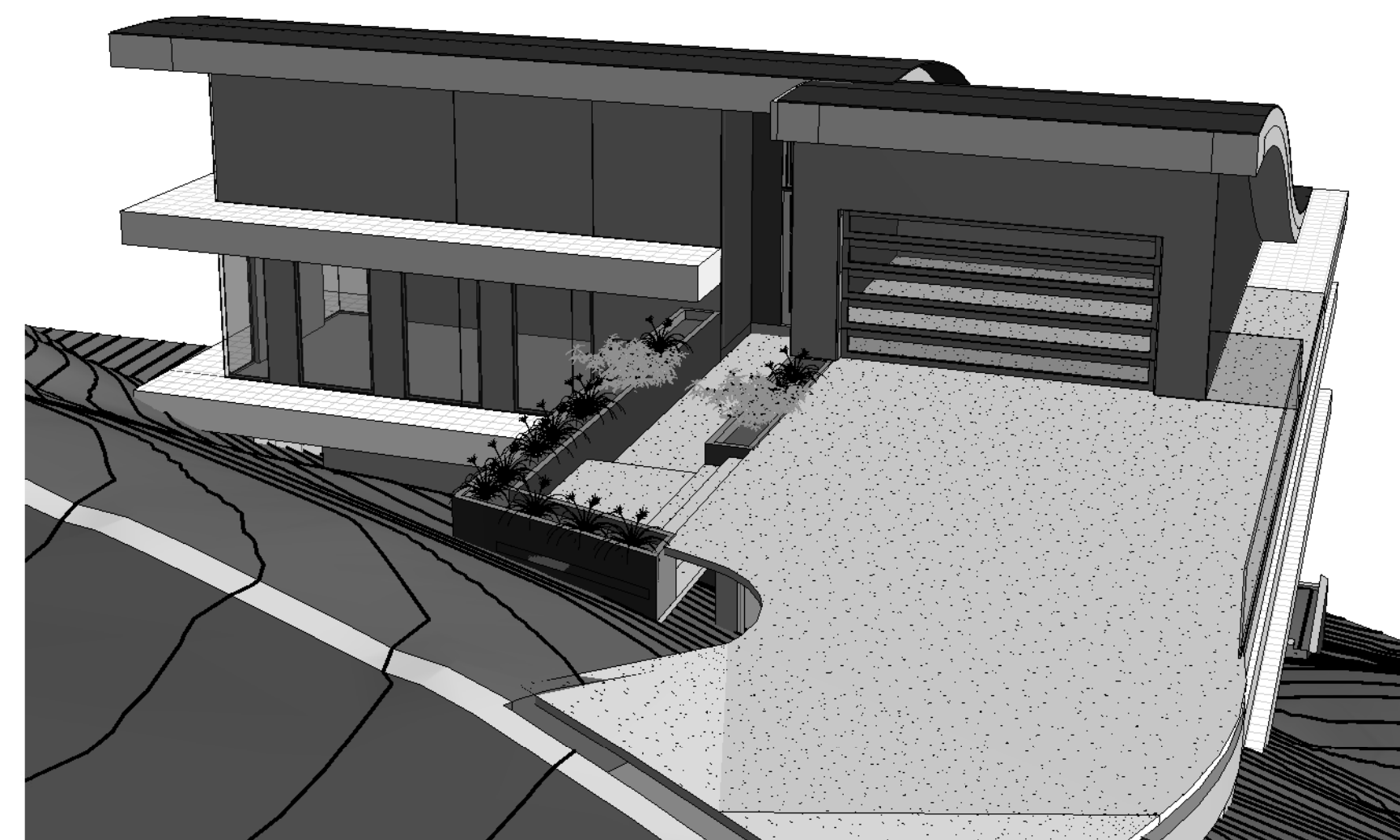
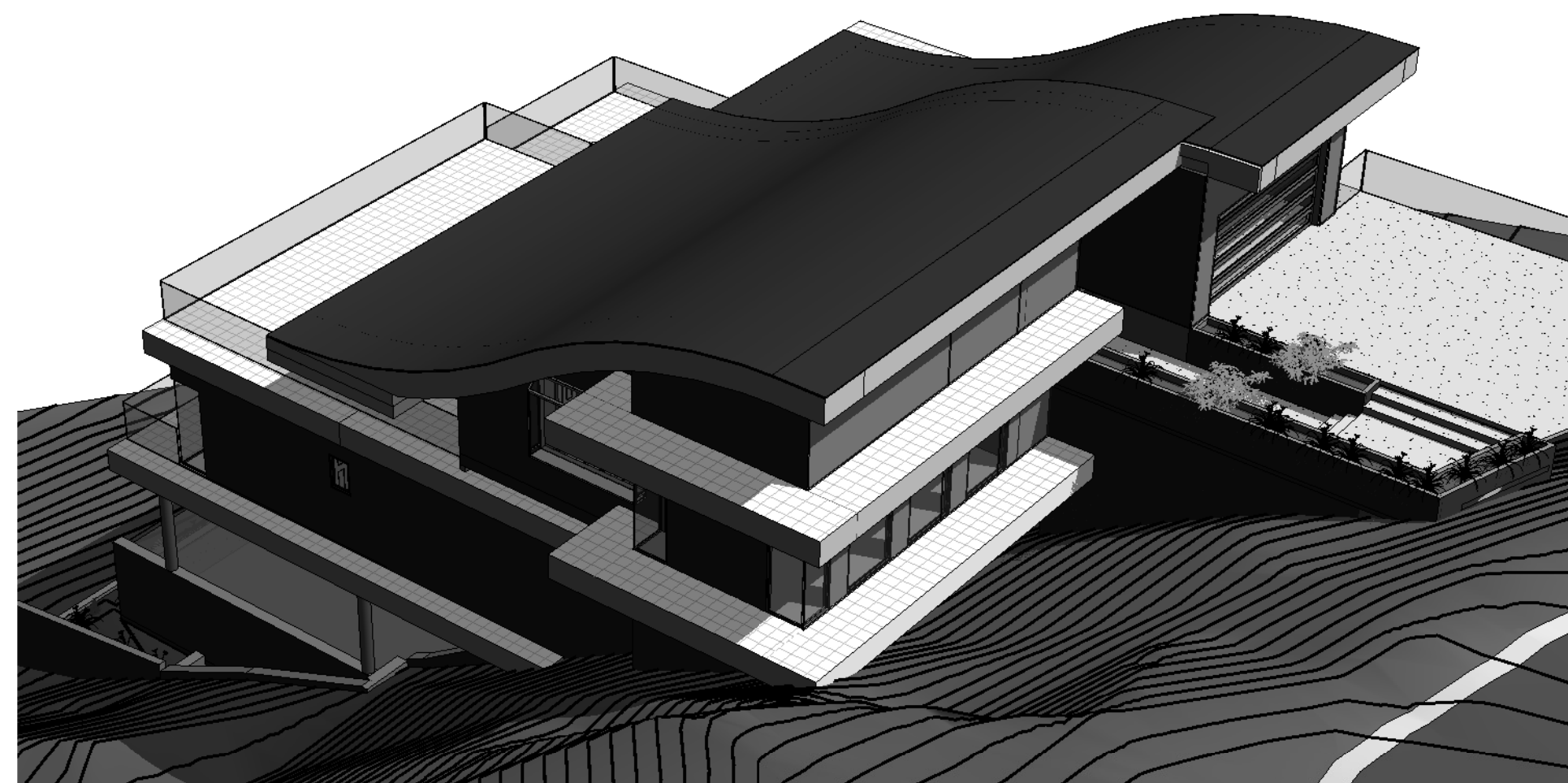
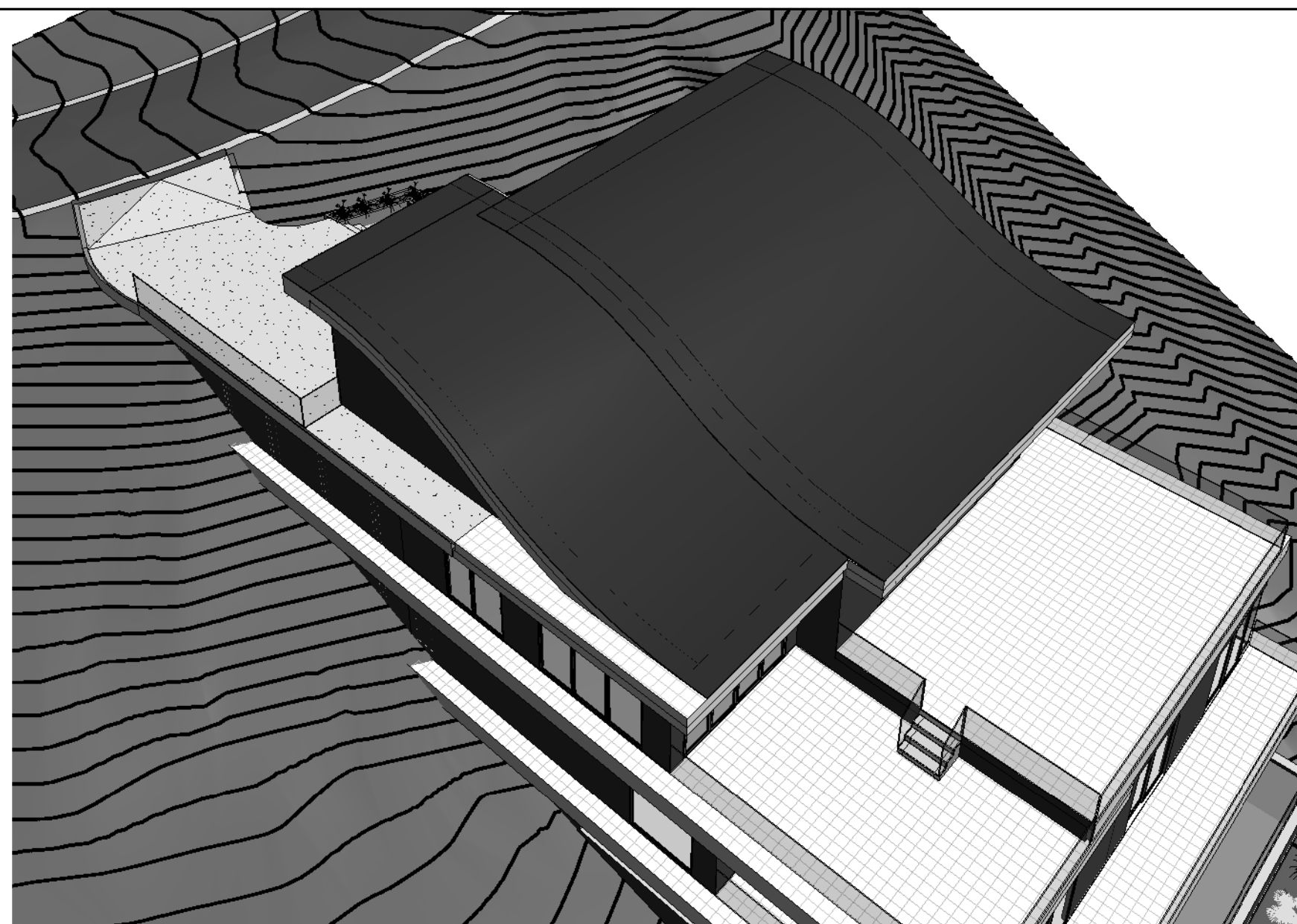
HABITABLE AREAS NOT COUNTED FOR F.A.R.			
LEVELS	AREAS	SQ. FT.	TOTAL SQ. FT.
BASEMENT LEVEL	O	646.2	1,593.1
	P	487.8	
	Q	459.1	

MAX. ALLOWABLE F.A.R. = 4,024.2 SQ. FT.
PROVIDED F.A.R. = 4,016.4 SQ. FT.

TOTAL BUILDING AREA = 4,016.4 + 1,593.1 = 5,609.5 SQ. FT.

TOTAL LIVING AREA = 175.3 + 1,934.5 + 1,473.7 + 1,593.1 = 5,176.6

C:\Users\Owner\Desktop\Office\Drawings\Projects\Simon\899_Madonna_Way\Los Altos\Site\Site\Design\Comments\from_ch\899_Madonna_Way_2017.dwg



No.	Description	Date

1625 THE ALAMEDA,
SUITE 400
SAN JOSE, CA 95126
PH: (888) 876-2699

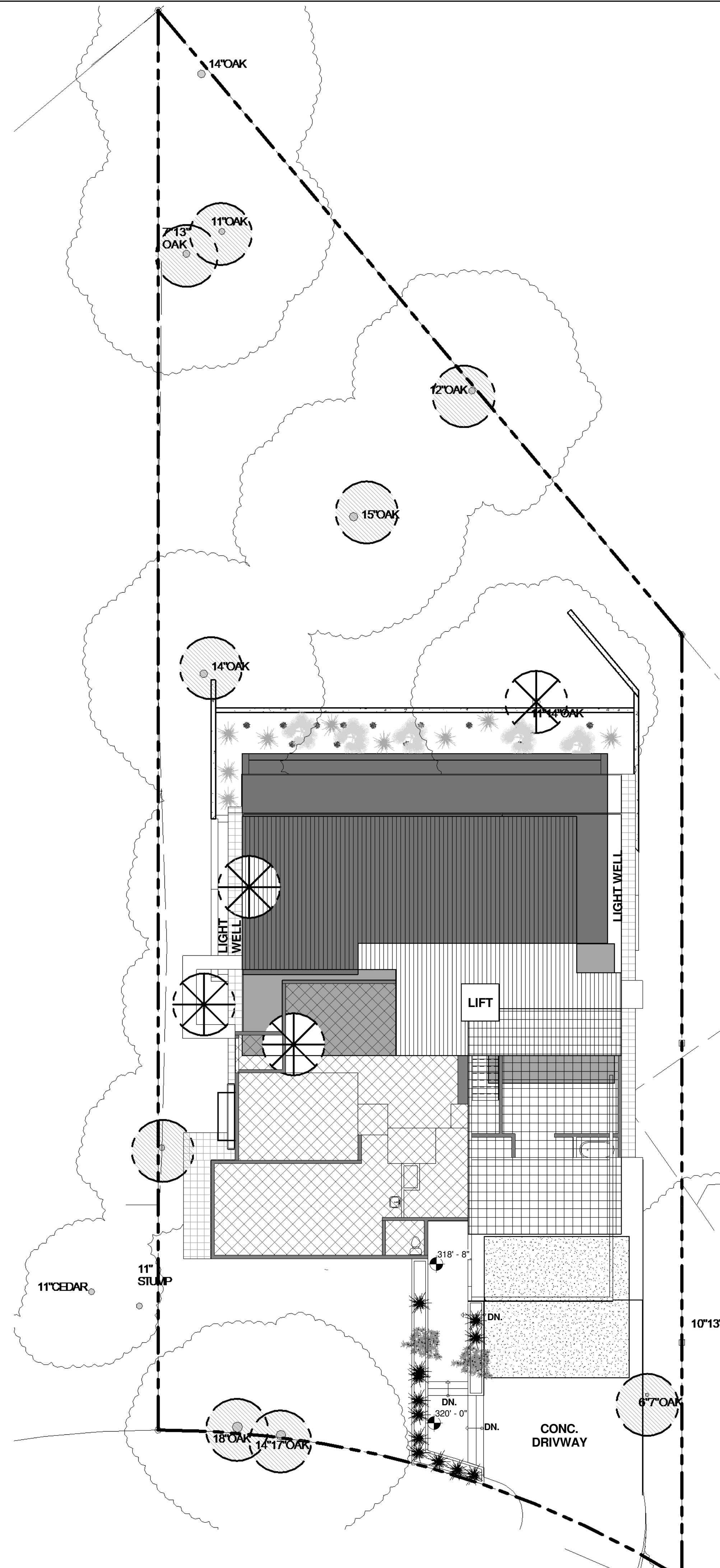


3D RENDERING

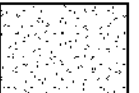

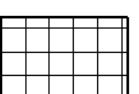
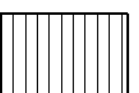




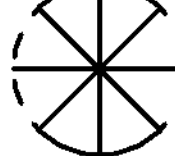
NEW SINGLE FAMILY HOME FOR:
SIMON ILKHANI & ELNAZ MASOOM
899 MADONNA WAY
LOS ALTOS, CA 94024
APN # 336-03-029

Project no:	MADDONA
Date:	10/05/17
Drawn by:	Author
Checked by:	Checker

A14



SITE LEGENDS:

-  GARAGE LEVEL (321'-6")
-  FOYER LEVEL (319'-3"), DINING & LIVING LEVEL (314'-2"), KITCHEN LEVEL (312'-3), NOOK LEVEL (311'-8.5") & FAMILY LEVEL (311'-0")
-  MASTER BEDROOM & BATH LEVEL (308'-6")
-  BEDROOMS LEVEL (297'-8")
-  PATIO LEVEL (286'-0")
-  POOL AREA (278'-6")
-  BASEMENT AREA (268'-9")
-  TREES TO BE REMAINED AND PROTECTED
-  TREES TO BE REMOVED

ALL TREES ARE EXISTING TO REMAIN. THE PROJECT HAS ONLY ABOUT 45 PLANT (BUSH) ON THE ROOF, REAR SIDE OF THE POOL AND BELOW THE KITCHEN AND LIVING ROOM.

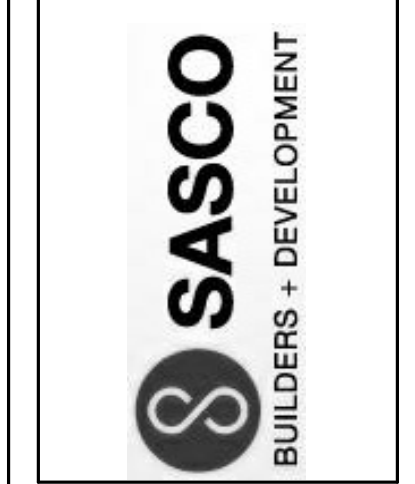


EXISTING TREE INVENTORY				
TYPE	SIZE OF THREE 4 FT. ABOVE ITS TRUNK	15" OR GREATER TREE REMOVAL PERMIT REQUIRED	CONDITION	TO REMAIN
OAK	6", 7"	NO	GOOD	YES
OAK	14", 17" (2) TRUNKS	YES	GOOD	YES
OAK	18"	YES	GOOD	YES
OAK	11"	NO	GOOD	YES
OAK	17"	YES	GOOD	NO
OAK	12", 12" (2) TRUNKS	NO	GOOD	NO
OAK	14"	NO	GOOD	YES
OAK	11", 14" (2) TRUNKS	NO	GOOD	NO
OAK	15"	YES	GOOD	NO
OAK	7", 13" (2) TRUNKS	NO	GOOD	YES
OAK	11"	NO	GOOD	YES
OAK	12"	NO	GOOD	YES
OAK	14"	NO	GOOD	YES

1 LANDSCAPE PLAN
 L1 1" = 10'-0"

No.	Description	Date

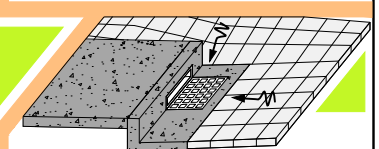
**1625 THE ALAMEDA,
 SUITE 400
 SAN JOSE, CA 95126
 PH: (888) 876-2699**



LANDSCAPE PLAN

**NEW SINGLE FAMILY HOME FOR:
 SIMON ILKHANI & ELNAZ MASOOM
 899 MADONNA WAY
 LOS ALTOS, CA 94024
 APN # 336-03-029**

Project no:	MADDONA
Date:	10/05/17
Drawn by:	Author
Checked by:	Checker
Scale:	1" = 10'-0"



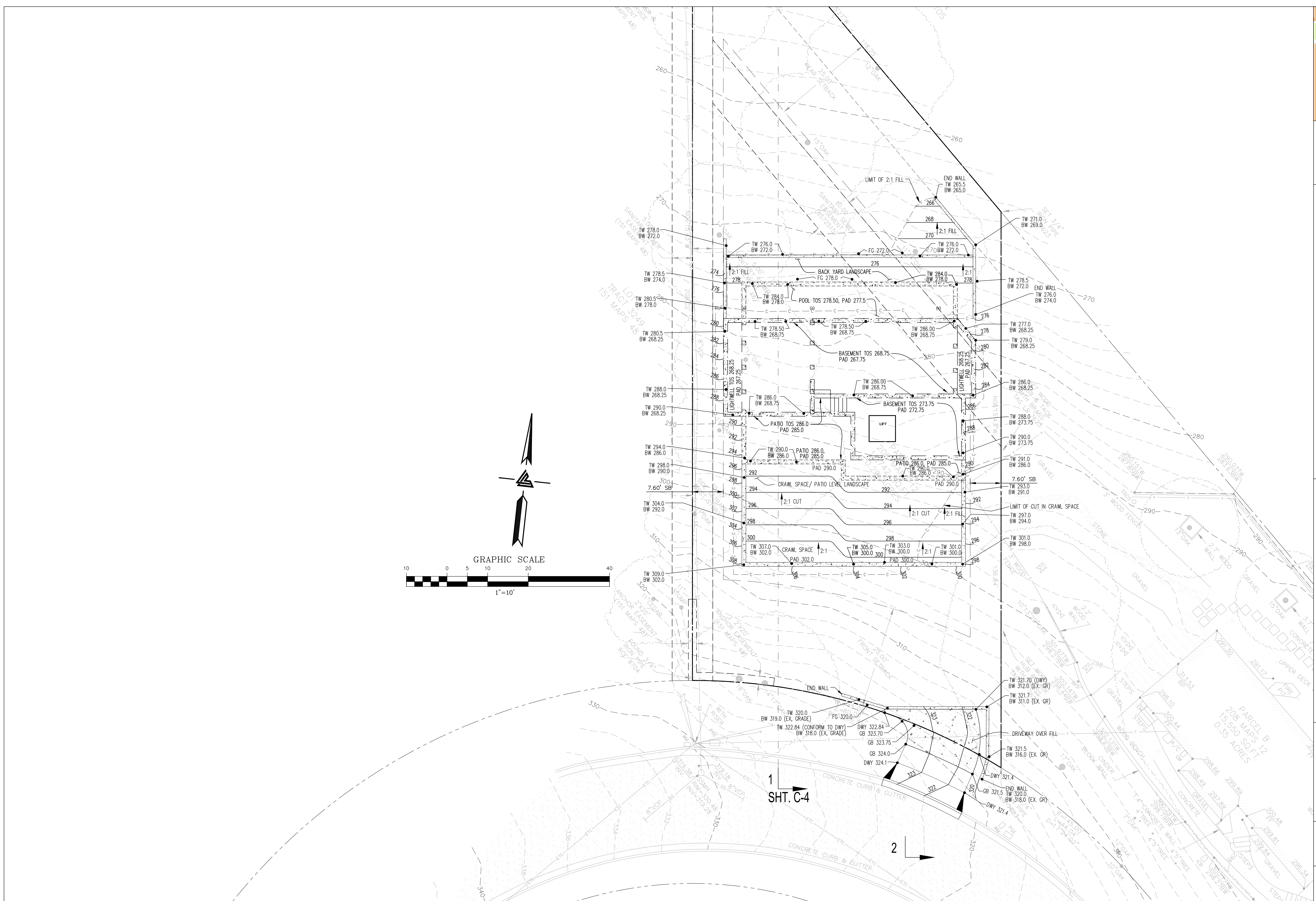
PRELIMINARY GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOME
899 MADONNA WAY, LOS ALTOS, CA 94024
APN: 336-03-029

Revisions:



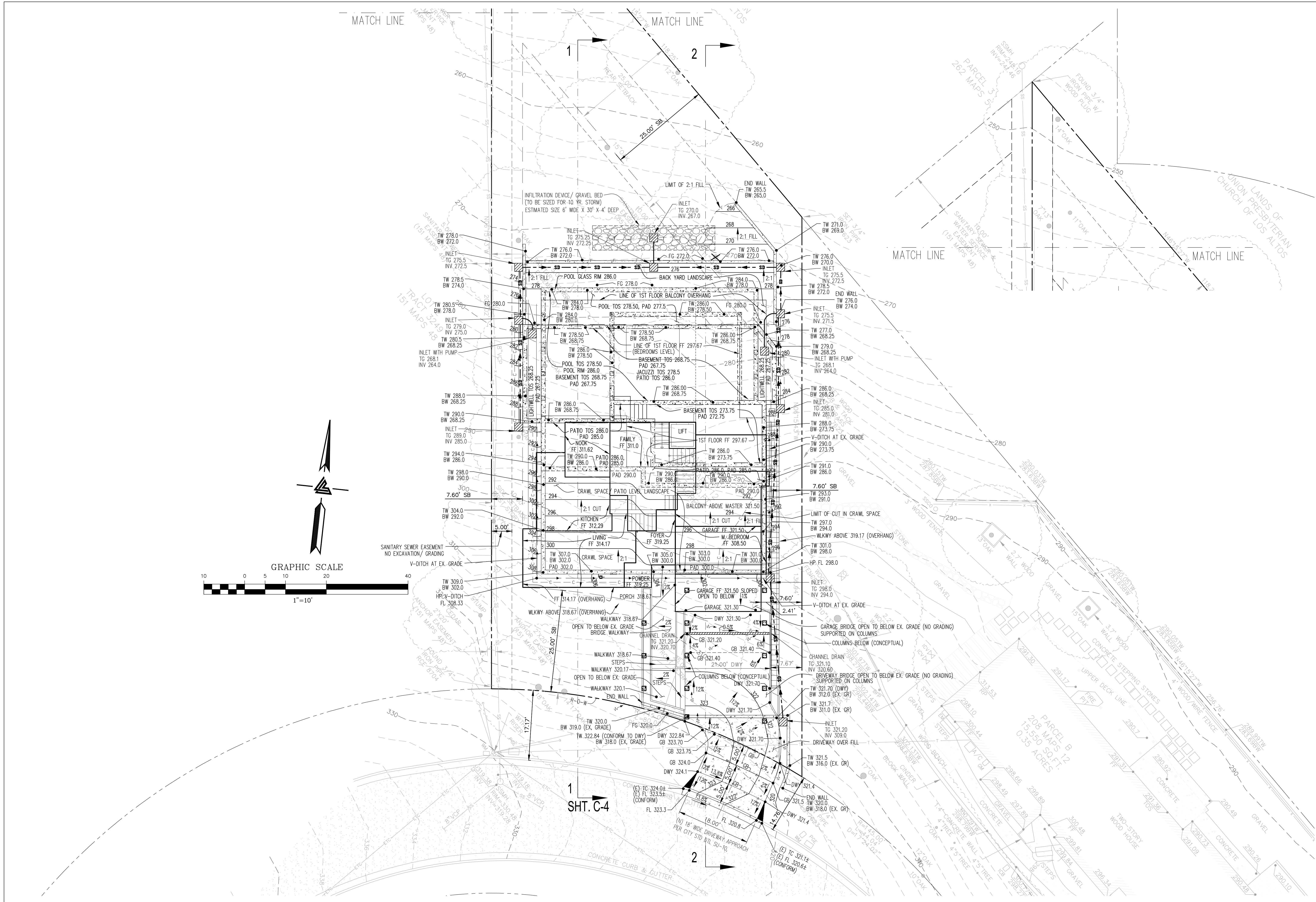
Scale: 1" = 10'
Job No. 17-08-01
By: V.G.
Date: 8/30/2018

Sheet: **C-2**
Sheet 2 of 5 sheets



SHT. C-4

2



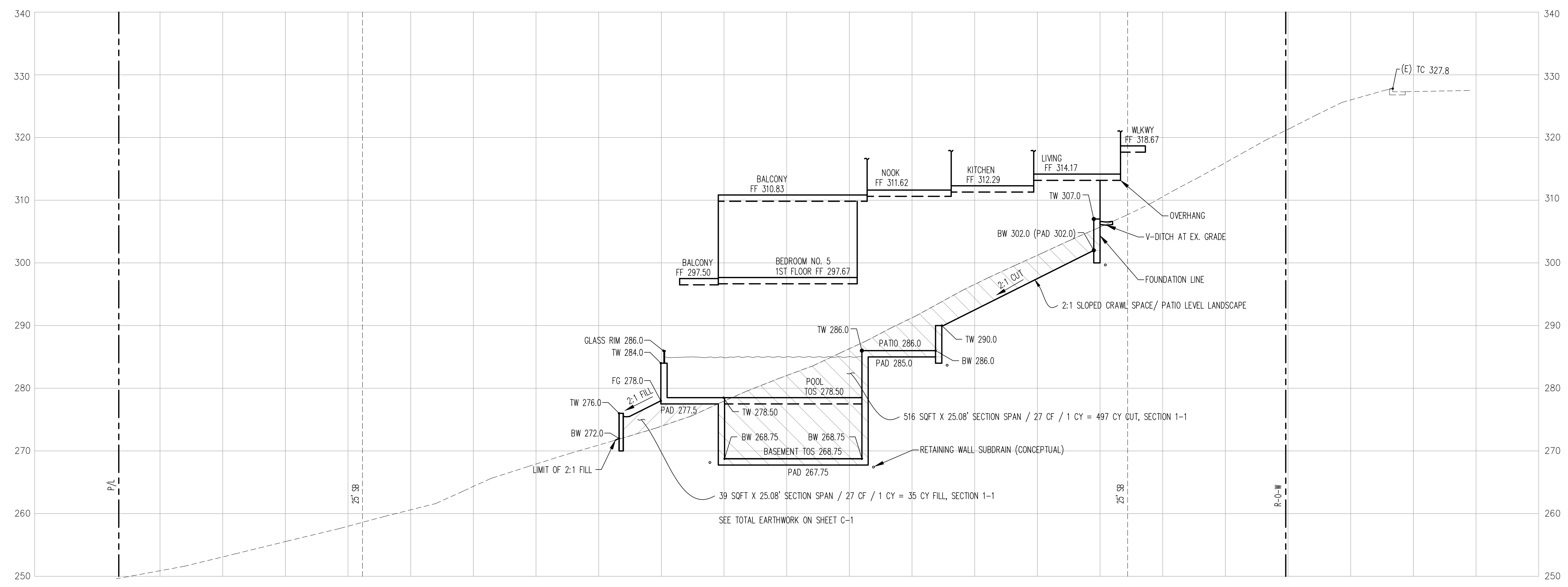
Applicant:
 SASCO BUILDERS &
 DEVELOPMENT
 CONTACT:
 Sarmen Ilkahn
 TEL (650) 240-6102
 simon@sascobuilders.com

PRELIMINARY GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOME
899 MADONNA WAY, LOS ALTOS, CA 94024
APN: 336-03-029
GRADING AND DRAINAGE PLAN

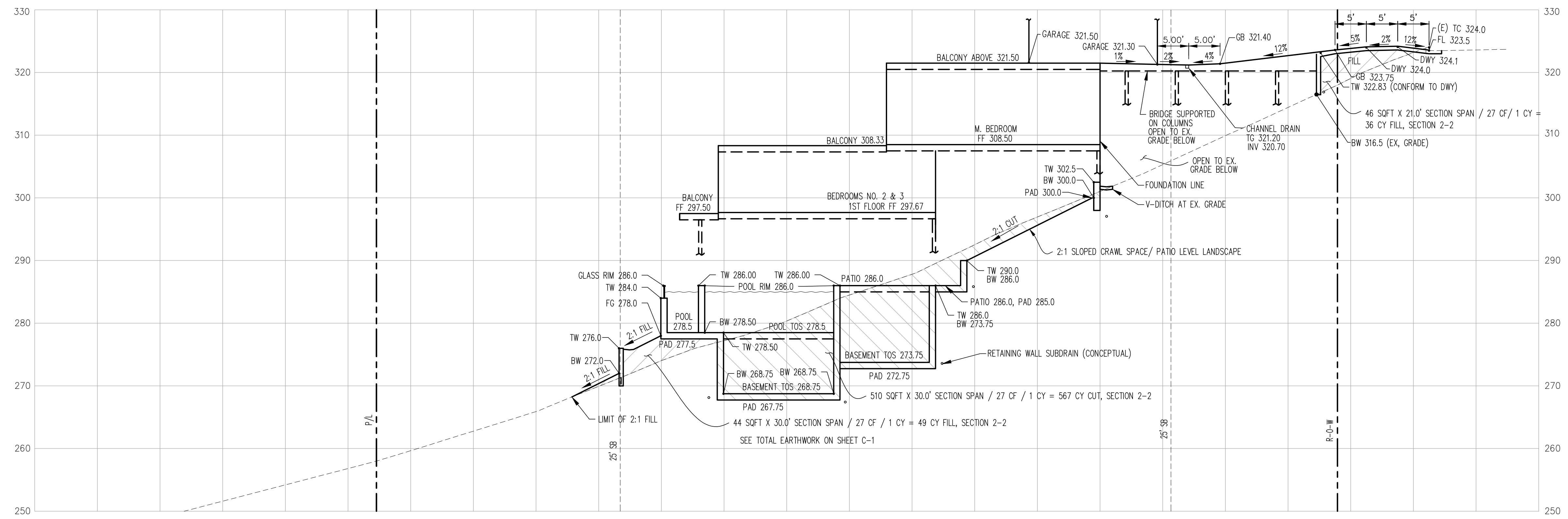
Revisions:

Seal

 Scale: 1" = 10'
 Job No. 17-08-01
 By: V.G.
 Date: 8/30/2018
 Sheet: **C-3**
 Sheet 3 of 5 sheets

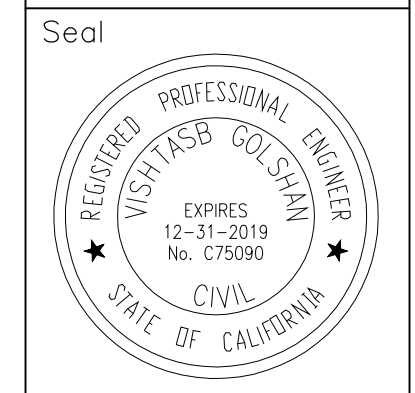


SECTION 1-1
 SCALE H/V: 1" = 10'



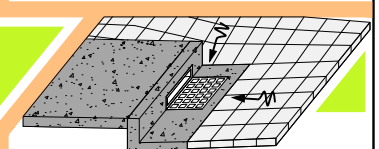
SECTION 2-2
 SCALE H/V: 1" = 10'

Revisions:



Scale: 1" = 10'
 Job No. 17-08-01
 By: V.G.
 Date: 8/30/2018

Sheet: **C-4**
 Sheet 4 of 5 sheets



PRELIMINARY GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY HOME
899 MADONNA WAY, LOS ALTOS, CA 94024
APN: 336-03-029
UTILITY PLAN

Revisions:



Scale: 1" = 10'
Job No. 17-08-01
By: V.G.
Date: 8/30/2018

Sheet: **C-5**
Sheet 5 of 5 sheets

