

proposed new two-story residence and
attached two-car garage for the:
LEE RESIDENCE

1515 Oakhurst Avenue Parcel 1
Los Altos, CA. 95024

Detail Ink

RESIDENTIAL DESIGN

1885 DRY CREEK ROAD CAMPBELL, CA. 95008

VOICE: 408.311.5866

EMAIL: detailink2@men.com

CONDITIONS OF APPROVAL

CONSULTANTS:

OWNER: MATTHEW AND SARAH LEE
365 Sunkist Lane
Los Altos, CA 95024
(650) 921-4643

DESIGNER: DETAIL INK/STEVE NELSON
1885 Dry Creek Road
Campbell, CA 95008
(408) 311-5866

CIVIL: RW ENGINEERING INC.
505 Altamont Drive
Milpitas, CA. 95035
(408) 262-1899

LANDSCAPE: KEN SCHOPPET LANDSCAPE ARCHITECTS INC
P.O. BOX 508
LOS ALTOS, CA. 95023
(650) 823-6512

ARBORIST: MONARCH CONSULTING ARBORISTS LLC
P.O. BOX 1010
FELTON, CA. 95018
(831) 331-8982

PROJECT DESCRIPTION:

- DEMOLISH EXISTING 1,787.00 SF RESIDENCE AND 672.00 SF ATTACHED GARAGE INCLUDING ALL FOUNDATIONS AND SLABS
- CONSTRUCT NEW 3,320.49 SF SINGLE-STORY RESIDENCE
- CONSTRUCT NEW 504.11 SF ATTACHED TWO-CAR GARAGE
- CONSTRUCT NEW 485.23 SF COVERED PORCH/PATIO

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	0 square feet (0.0%)	3,051.12 square feet (21.46%)	3,338.47 square feet (30.0%)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	0 square feet (0.0%)	3,862.82 square feet (24.32%)	3,862.82 square feet (24.1%)
SETBACKS:			
Front	N/A feet	25 feet	25 feet
Rear	N/A feet	20.5 feet	25 feet
Right side (1 st /2 nd)	N/A feet/0 feet	8.7 feet/20 feet	7.4 feet/14.2 feet
Left side (1 st /2 nd)	N/A feet/0 feet	9.7 feet/20 feet	7.4 feet/14.2 feet
HEIGHT:	N/A feet	28.2 feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	0 square feet	3,320.49 square feet	3,320.49 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	0 square feet	488.68 square feet	488.68 square feet

LOT CALCULATIONS

NET LOT AREA:	11,029.71 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	881.00 square feet (48.0%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 880 sq ft Existing softscape (undisturbed) area: 0 sq ft New softscape (new or replaced landscaping) area: 1,299.80 sq ft <i>Sum of all three should equal the site's net lot area</i>

SHEET INDEX:

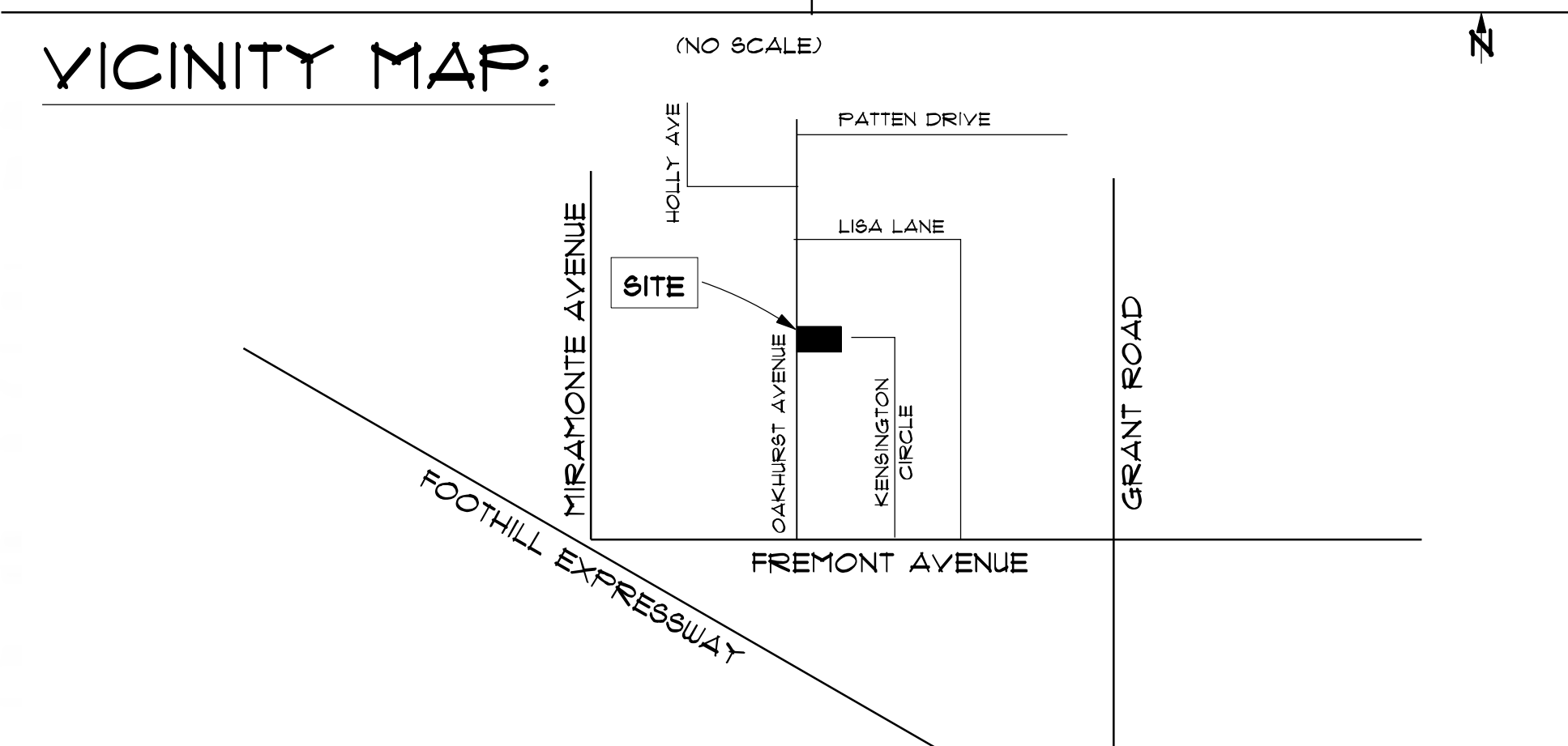
NO.	TITLE
A0.0	COVER SHEET
A1.0	PROPOSED SITE PLAN
C-1	GRADING AND DRAINAGE PLAN
C-2	EROSION CONTROL PLAN
C-3	CIVIL DETAILS
L1	LANDSCAPE PLAN
L1.1	PLANT PHOTOS
A2.0	PROPOSED MAIN FLOOR PLAN
A2.1	PROPOSED SECOND FLOOR PLAN
A3.0	CALCULATION PLAN
A4.0	FRONT AND LEFT ELEVATIONS
A4.1	REAR AND RIGHT ELEVATIONS
A5.0	ROOF PLAN
A6.0	CROSS SECTIONS
A7.0	NEIGHBORHOOD STUDY

PROPERTY DATA:

ASSESSOR'S PARCEL NO.	193 - 31 - 026
EXISTING USE:	SFD
ZONING DISTRICT:	RI - 10
OCCUPANCY GROUP:	R3/U
FLOOD ZONE:	NO
CONSTRUCTION TYPE:	V - B
SPECIAL INSPECTION ITEMS:	NONE
NUMBER OF STORIES:	2

CALCULATIONS

PROPOSED MAIN FLOOR LIVABLE AREA:	2,061.78 SF
PROPOSED SECOND FLOOR LIVABLE AREA:	1,252.71 SF
PROPOSED TOTAL LIVABLE AREA:	3,320.49 SF
PROPOSED ATTACHED GARAGE AREA:	504.11 SF
NEW COVERED PORCH/PATIO AREAS:	485.23 SF
LOT AREA:	11,029.71 SF
ALLOWABLE FLOOR AREA: (3,850 + 12.82)	3,862.82 SF
PROPOSED FLOOR AREA:	3,824.60 SF
ALLOWABLE LOT COVERAGE (30%):	3,338.47 SF
PROPOSED LOT COVERAGE (3,051.12 SF):	27.46%



proposed new two-story residence
and attached two-car garage for:
MR and MS MATTHEW LEE
1515 Oakhurst Avenue Parcel 1
Los Altos, CA 94024

A.P.N. 193 - 31 - 026

ZONING: RI - 10

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Revisions:

cover sheet/conditions
of approval

2018 - 01
January 10, 2018

Sheet
AO.0

1515 OAKHURST AVENUE PARCEL 1, LOS ALTOS, CA / LEE
Tuesday, July 17, 2018

FIRE DEPARTMENT NOTES:

1. FIRE SPRINKLERS REQUIRED FOR ONE AND TWO-FAMILY DWELLINGS. AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) STANDARD 13D IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING DWELLINGS, WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN THE ALLOWABLE FIRE-FLOW APPENDIX TABLES B109.1 (1) AND B109.1 (2), OF THE CALIFORNIA FIRE CODE, AND/OR ADDITIONS EXCEEDING FIFTY (50) PERCENT OF THE EXISTING LIVING AREA. EXISTING SQUARE FOOT CALCULATIONS SHALL NOT INCLUDE EXISTING BASEMENT AND/OR ADDITIONS EXCEEDING SEVEN HUNDRED FIFTY (750) SQUARE FEET. WHEN AUTOMATIC FIRE SPRINKLER SYSTEMS ARE REQUIRED BY THIS SECTION, ALL ASSOCIATED GARAGES SHALL BE INCLUDED. ADDITIONS OVER FIFTY (50) PERCENT AND/OR SEVEN HUNDRED FIFTY (750) SQUARE FEET AS REFERENCED ABOVE, SHALL BE TREATED AS NEW STRUCTURE REGARDING THE INSTALLATION OF FIRE SPRINKLER SYSTEMS. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER FURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE SANTA CLARA FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK SEC. 6.150.020
2. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER FURVEYOR OR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQNTMS OF THAT FURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE FURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THE SANTA CLARA FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER FURVEYOR OF RECORD ARE DOCUMENTED BY THAT FURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S) 2016 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 1914.1
3. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 mm) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 mm). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED CFC SEC. 503.1
4. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH THE APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAIL AND SPECIFICATION S1-1. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT CFC CHAPTER 33

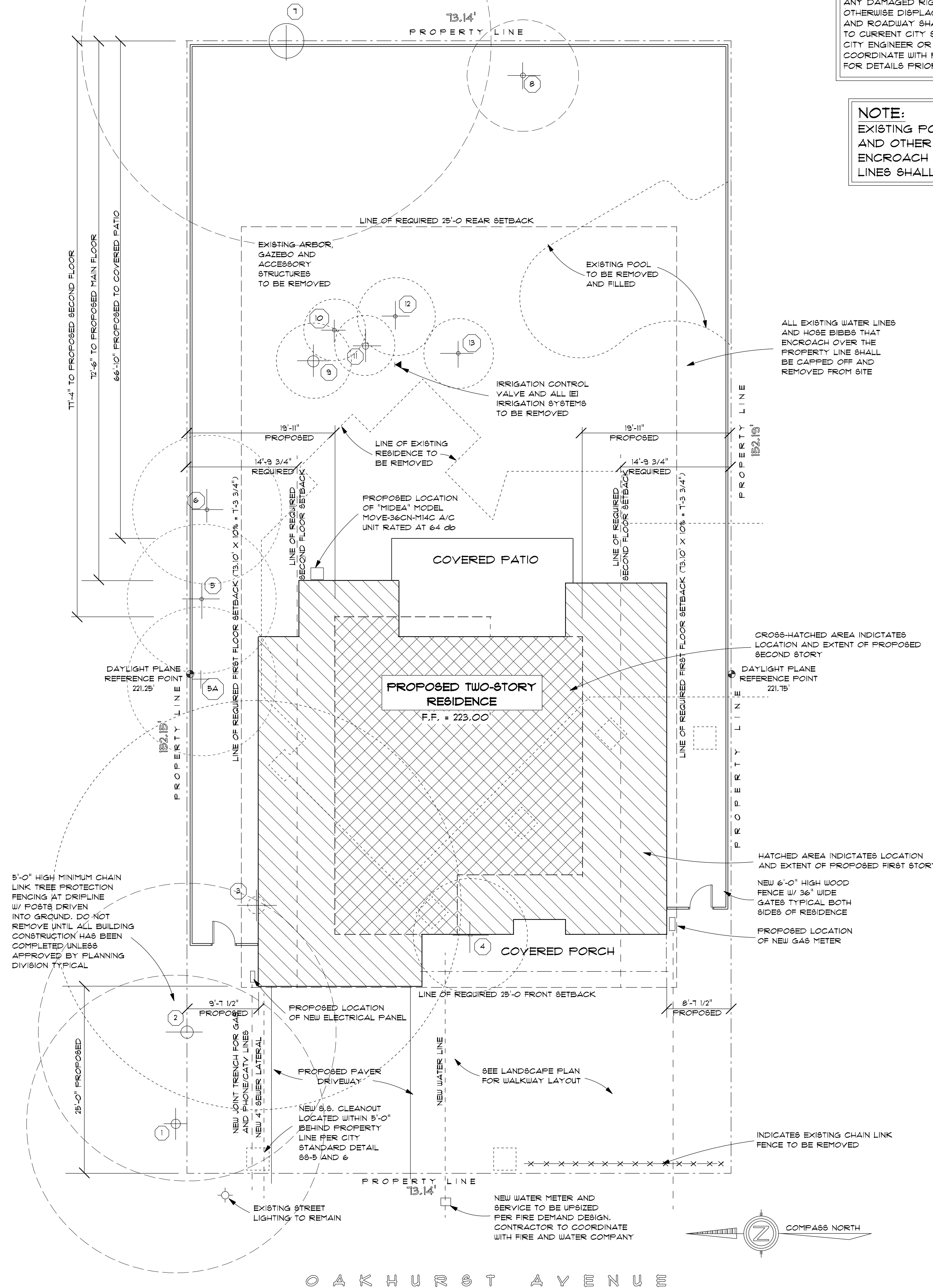
NOTE:

ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURE AND OTHERWISE DISPLACED CURB AND GUTTER, SIDEWALK AND ROADWAY SHALL BE REMOVED AND REPLACED TO CURRENT CITY STANDARDS AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS AT (650) 941-2680 FOR DETAILS PRIOR TO FINALIZING BUILDING PERMITS

NOTE:

EXISTING PORTIONS OF STRUCTURES AND OTHER IMPROVEMENTS THAT ENCR OACH OVER THE PROPERTY LINES SHALL BE REMOVED

TREE SCHEDULE				
KEY	TRUNK DIAMETER	TYPE	STATUS	NOTES
1	14"	COASTAL LIVE OAK	SAVE	
2	20"	COASTAL LIVE OAK	SAVE	
3	28"	ATLANTIC CEDAR	REMOVE	
4	6"	JAPANESE MAPLE	REMOVE	
5	6"	SWEET GUM	REMOVE	
6	6"	SWEET GUM	REMOVE	
7	40"	COASTAL LIVE OAK	SAVE	
8	6"	JAPANESE MAPLE	SAVE	
9	12" 18"	GIANT YUCCA	REMOVE	
10	6"	GIANT YUCCA	REMOVE	
11	15"	GIANT YUCCA	REMOVE	
12	6"	FEAR	REMOVE	
13	6"	FEAR	REMOVE	
5A	4"	SWEET GUM	REMOVE	



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Revisions:

1	per arborist report 07-11-18

1515 OAKHURST AVE LA PARCEL 1 LEE Tuesday, July 17, 2018

GRADING NOTES:

- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENT OF THE CITY OF LOS ALTOS.
- THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF DISCREPANCY IS FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER AND NOT PROCEED WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
- CONTRACTOR TO EXPOSE EXISTING SEWERS AND CHECK INVERTS BEFORE CONSTRUCTING NEW SEWERS. NOTIFY THE ENGINEER 24 HOURS PRIOR TO EXPOSING SEWERS.
- THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
- THE SOIL REPORTS PREPARED FOR THE PROJECT IS A PART OF THIS PLAN. THE MOST STRINGENT REQUIREMENTS BY SOIL ENGINEER OR GOVERNING AGENCIES SHALL PREVAIL.
- GRADING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
- PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES AND TYPES SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPES ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.
- THE LANDSCAPE FINISHED GRADES WITHIN FIVE FEET (TEN FEET IF BUILDING SETBACK ALLOWS) OF THE BUILDING OR STRUCTURE SHALL SLOPE AT A 2% MINIMUM FROM THE FOUNDATION. ALL EXTERIOR HARD SURFACING AREAS (INCLUDING TERRACES) SHALL BE INSTALLED WITH A 2% MINIMUM GRADIENT, AND SHALL DRAIN AWAY FROM THE BUILDING. FINISHED GRADE DRAINAGE SWALES SHALL HAVE A MINIMUM SLOPE OF 1%. MAXIMUM GRADED SLOPE IS 3:1 (3 HORIZONTAL TO 1 VERTICAL). SPOT ELEVATIONS SHOWN ON THE PLAN SHALL DICTATE ACTUAL GRADES. SURFACE SLOPE GRADES NOTED ON THE PLAN ARE APPROXIMATE.
- FOR ALL UTILITY NOTES MARKED "VERIFY", CONTRACTOR SHALL VERIFY LOCATION, SIZE, MATERIAL, ETC. OF EXISTING UTILITIES, SUCH AS WATER, GAS SEWER, ETC., PRIOR TO STARTING CONSTRUCTION.
- SEE ARCHITECTURAL SITE PLAN AND LANDSCAPE PLAN FOR SITE INFORMATION AND NOTES NOT SHOWN HEREIN.

LEGEND

- PROPERTY LINE
- - - CENTERLINE
- SS --- UTILITY LINE-TYPE AS NOTED
- ⊙ STREET LIGHT
- ELEC UTILITY BOX-TYPE AS NOTED
- ⊕ WM WATER METER
- ⊕ WV WATER VALVE
- ▣ CURB CATCH BASIN
- ⊕ FIRE HYDRANT
- MH MANHOLE-TYPE AS NOTED
- CO SANITARY SEWER CLEANOUT
- ⊕ PP OH POWER POLE W/ OVERHEAD WIRE
- ⊕ BENCHMARK
- ⊕ MON MONUMENT
- 200 --- CONTOUR LINE
- ← SWALE @ 1% MIN. (U.O.N.)
- SURFACE FLOW DIRECTION
- ⊕ DS DOWNSPOUT WITH SPLASH-BLOCK
- ⊕ 12" TREE-TRUNK DIAMETER IN INCHES SPECIES NOTED WHEN KNOWN

EARTHWORK TABLE

LOCATION	CUT (CY)	FILL (CY)	EXPORT (CY)
DRIVEWAY & SITE	5	45	
HOUSE	40	0	
TOTAL	45	45	0

NOTE: EARTHWORK QUANTITIES ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR OWN QUANTITIES TAKE-OFF.

TREE PROTECTION FENCING NOTE:
ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND. THE TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE DEMOLITION PERMIT AND SHALL NOT BE REMOVED UNTIL ALL BUILDING CONSTRUCTION HAS BEEN COMPLETED.

ABBREVIATION

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- CONC CONCRETE
- C/G CURB & GUTTER
- DI DRAIN INLET
- DS DOWNSPOUT
- EX EXISTING
- GFF GARAGE FINISH GRADE
- FF FINISH FLOOR GRADE
- FL FLOW LINE GRADE
- PUE PUBLIC UTILITY EASEMENT
- PVC POLYVINYL CHLORIDE
- SW SIDEWALK
- TC TOP OF CURB

SITE BENCHMARK:

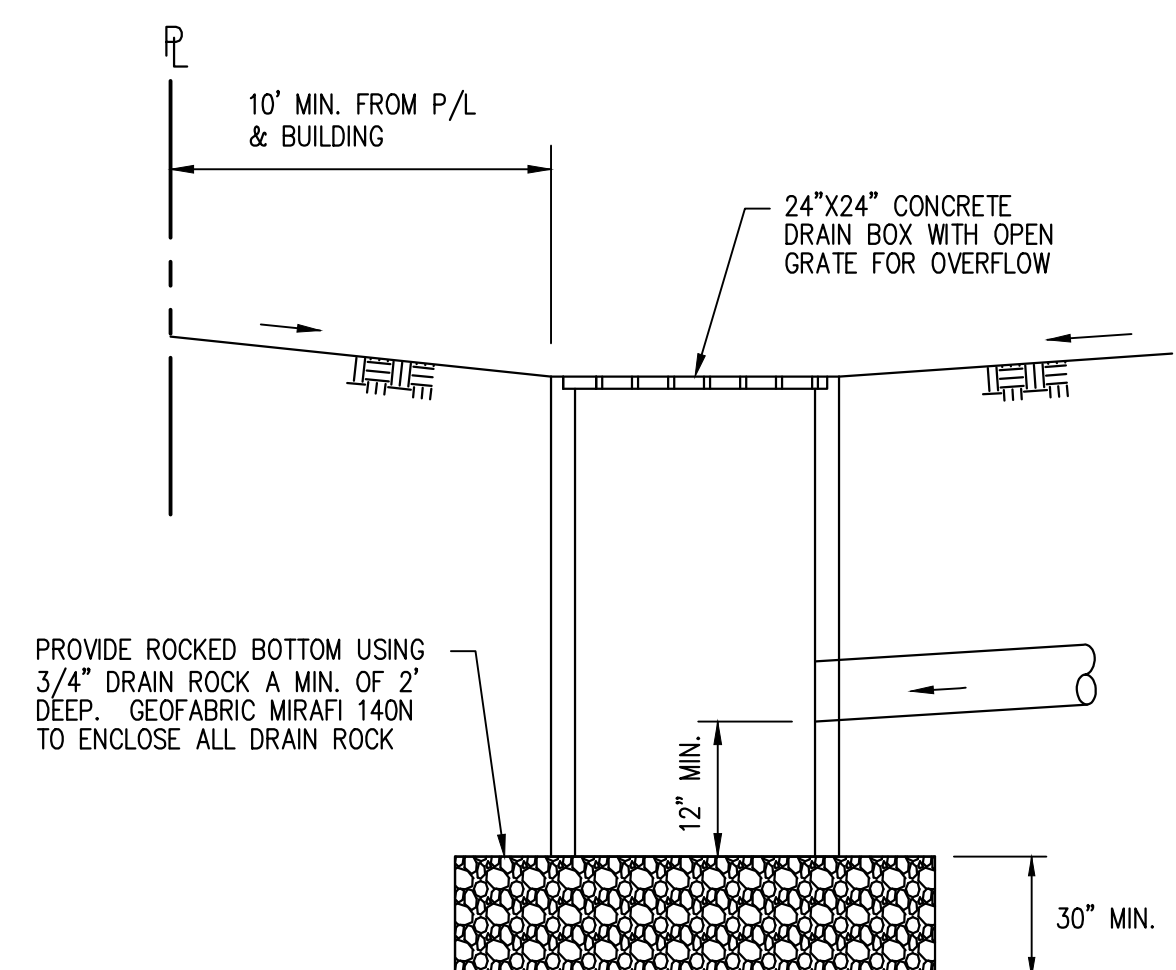
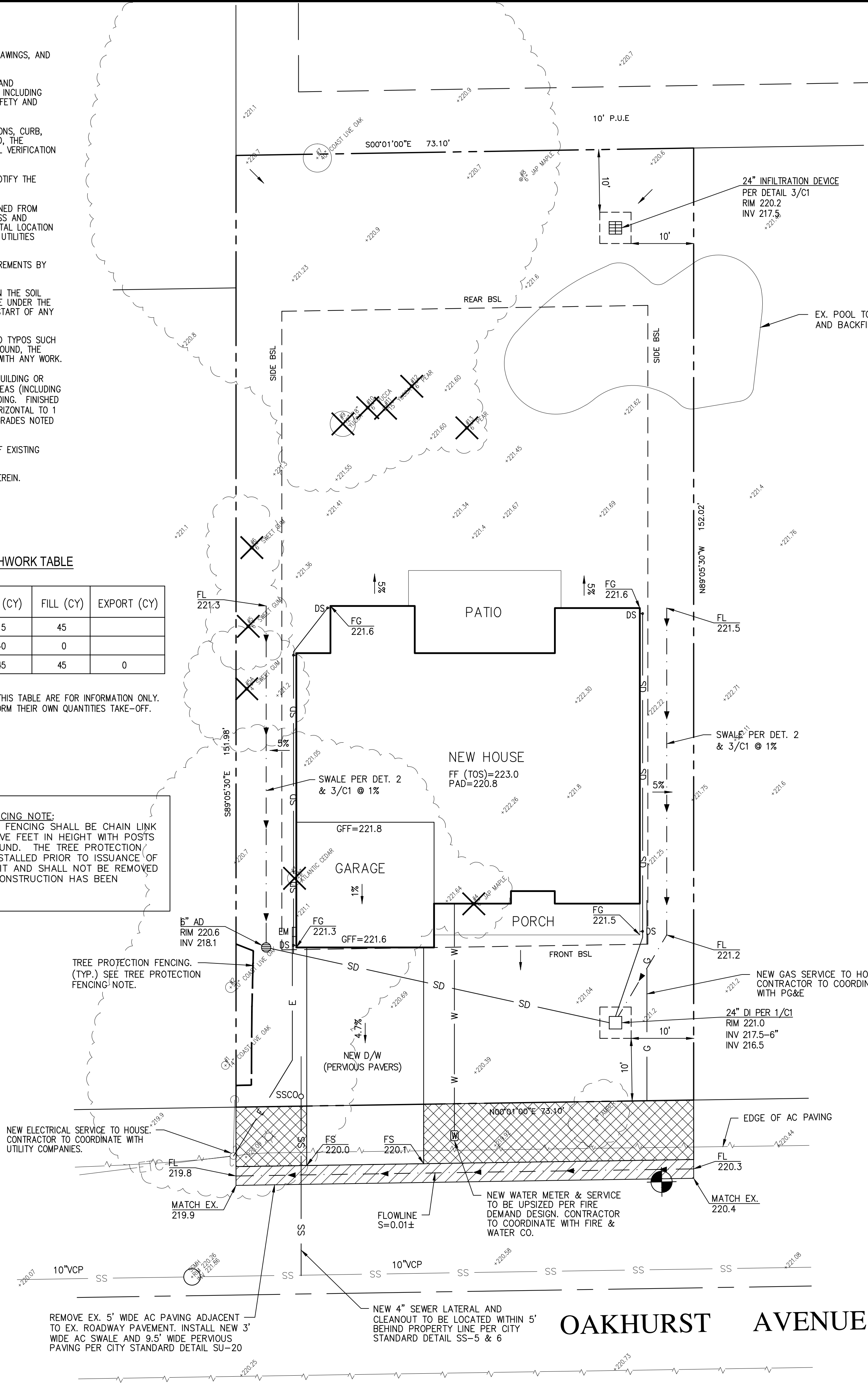
SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 220.30' (NAVD 88 DATUM)

SITE BENCHMARK:

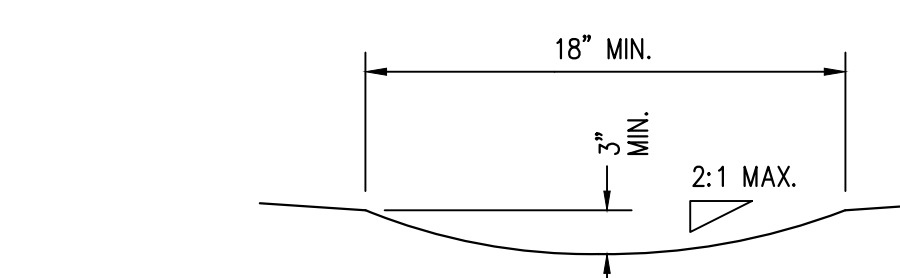
SANTA CLARA VALLEY WATER DISTRICT BENCHMARK "BM1176". FOUND USGS DISK ON TOP OF CURB NORTHEASTERLY SIDE OF GRANT ROAD AT ABOUT 200 FEET SOUTHEAST FROM NEWCASTLE AVENUE. CITY OF LOS ALTOS ELEVATION = 241.47' (NAVD 88 DATUM)

BASIS OF BEARINGS:

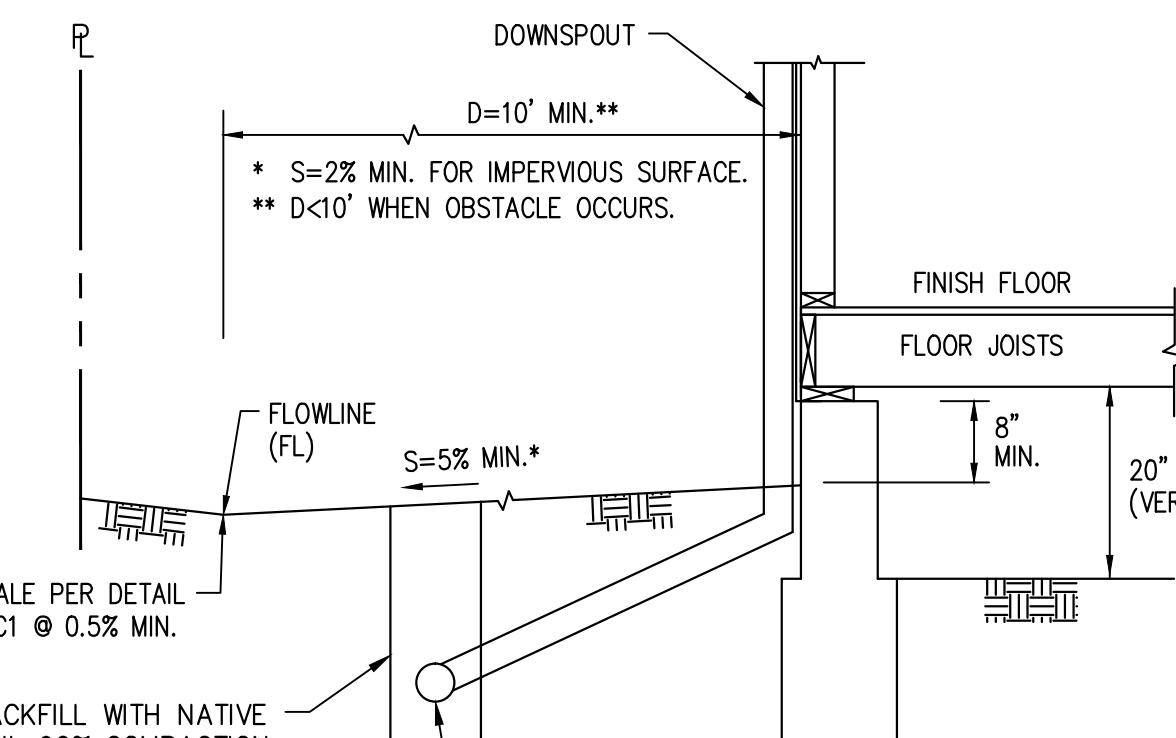
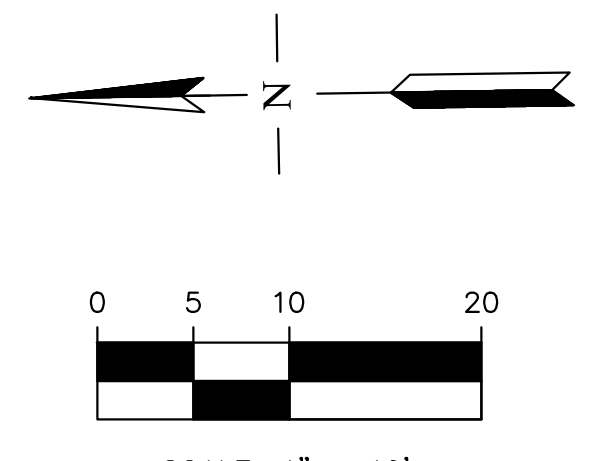
PER PARCEL MAP FILED IN BOOK 252 OF MAPS AT PAGE 26, SANTA CLARA COUNTY RECORDS.



1 DETENTION BASIN
NOT TO SCALE



2 SWALE
NOT TO SCALE



3 TYPICAL GRADING AROUND FOUNDATION
NOT TO SCALE

NOTE TO CONTRACTOR:

- CONTRACTOR SHALL MANAGE AND CONTROL STORMWATER DURING CONSTRUCTION. INTERIM GRADING AND DRAINAGE IMPROVEMENTS SHALL BE PROVIDED TO ENSURE NO STORMWATER WILL FLOW ONTO ADJACENT PROPERTIES AND TO RETAIN AS MUCH STORMWATER AS FEASIBLE ON-SITE UNTIL FINAL GRADING AND DRAINAGE IMPROVEMENTS ARE IN PLACE.
- LOCATION OF DOWNSPOUTS TO BE VERIFIED IN THE FIELD.
- CONTRACTOR SHALL VERIFY PAD ELEVATION WITH ARCHITECTURAL & STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ADJUST ELEVATIONS AS NECESSARY.

CITY RIGHT-OF-WAY NOTES:

- ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER AND/OR PARKING STRIP SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT.
- PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS

505 ALAMOUNT DRIVE
MILPITAS, CA 95035
(P) (408) 262-1899
(FAX) (408) 824-5556
rwengineering@gmail.com

**1515 OAKHURST AVENUE
LOS ALTOS, CA**

SANTA CLARA COUNTY
APN: 193-37-026

GRADING AND DRAINAGE PLAN

DATE: 7/18/18
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO.
C-1

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
2. OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENTS SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND COUNTY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.
2. ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE ROCK BAG.

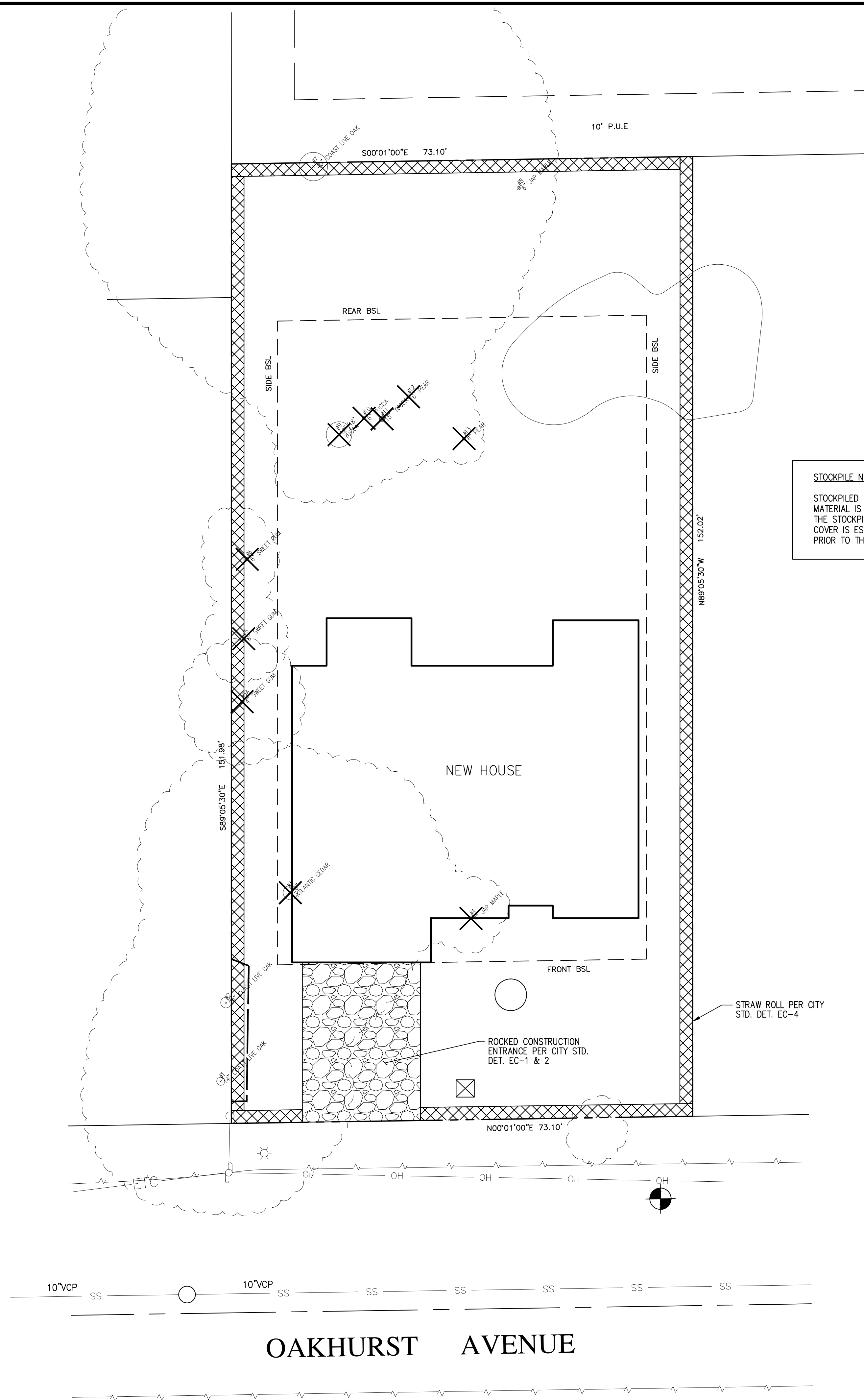
HYDROSEEDING:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALTRANS STANDARD SPECIFICATIONS, AND UNDER THE DIRECTION OF THE SOIL ENGINEER IN THE FIELD.
2. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE (925) 373-4417:

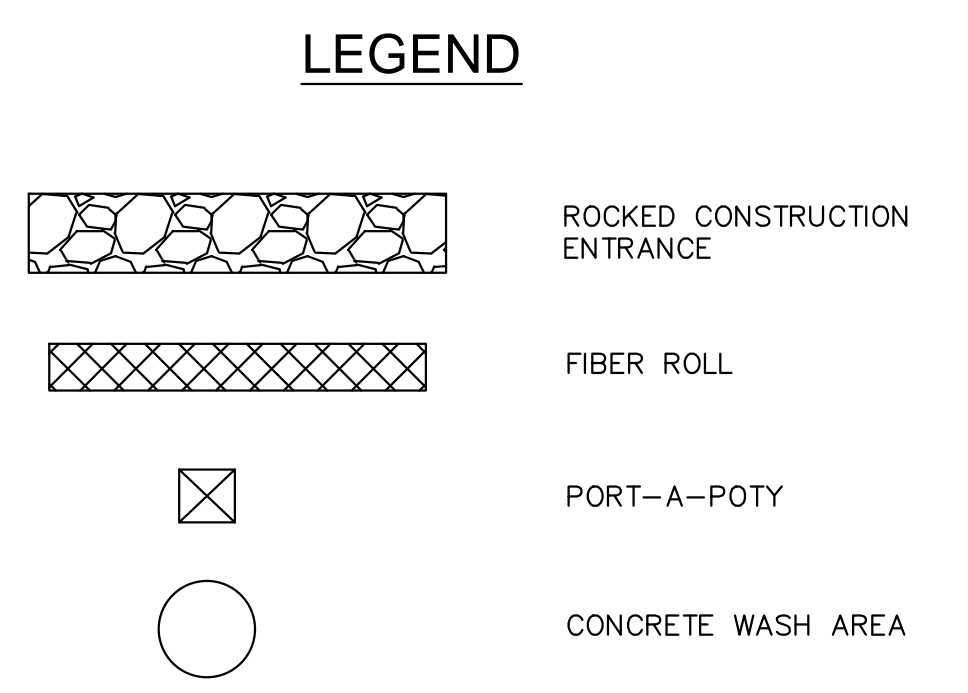
FIBER (HYDROSTRAW AND TACK MULCH)	2500 LBS/ACRE
COLOR (GREEN TO GOLD)	55 LBS/ACRE
FERTILIZER (16-20-0)	350 LBS/ACRE
M-BINDER	125 LB/ACRE
WATER, AS REQUIRED FOR APPLICATION	

ADDITIONAL NOTES:

1. STABILIZE ALL DENUDED AREAS AND INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15TH AND APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
2. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTE PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
3. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING, WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
4. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DETWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
5. AVOID CLEANING, FUELING, OR MAINTENING VEHICLE ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
6. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
8. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
9. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
10. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
11. AVOID TRACKING DIRT OR OTHER MATERIAL OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
12. THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMPs.



STOCKPILE NOTE:
 STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAVE BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINING SEASON.



NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 505 ALTIMONT DRIVE
 MILPITAS, CA 95035
 (P) (408) 262-1899
 (FAX) (408) 824-5556
 rwengineering@gmail.com

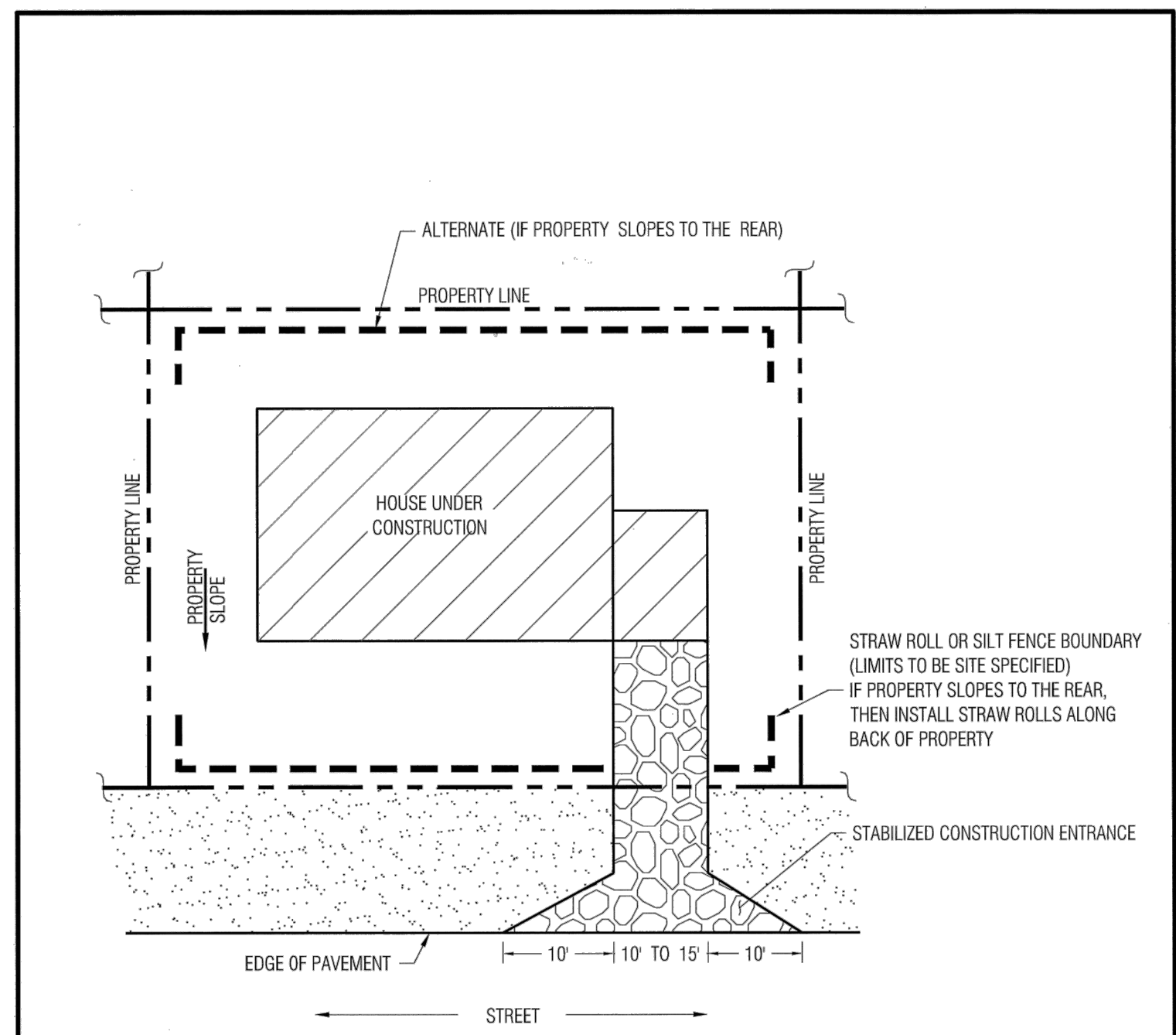
REGISTERED PROFESSIONAL ENGINEER
 PROPERTY Y. WANG
 50541
 Expires: 06-30-19
 CIVIL
 STATE OF CALIFORNIA

**1515 OAKHURST AVENUE
 LOS ALTOS, CA**

SANTA CLARA COUNTY
 APN: 193-37-026

EROSION CONTROL PLAN

DATE: 7/18/18
 SCALE: AS NOTED
 DESIGNED BY: RW
 DRAWN BY: RW
 SHEET NO.
C-2

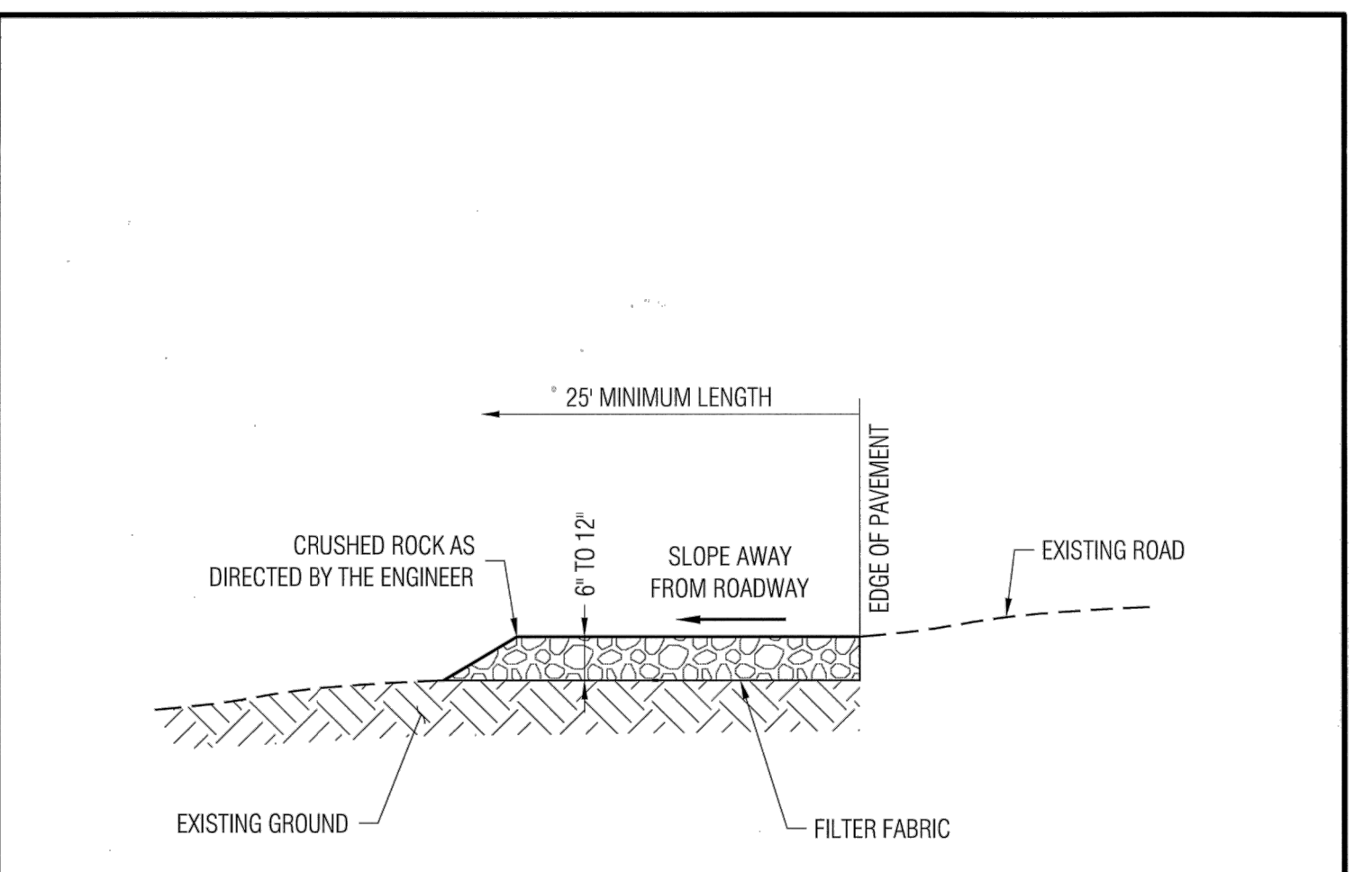


GENERIC CONSTRUCTION SITE PLAN

Approved: 1/4/10
City Engineer Date

REVISION	ENGINEERING DIVISION	
	Description	Date
	TYPICAL EROSION AND SEDIMENT CONTROL AT SINGLE FAMILY CONSTRUCTION SITE	EC-1

STANDARD DETAILS MAY 2010

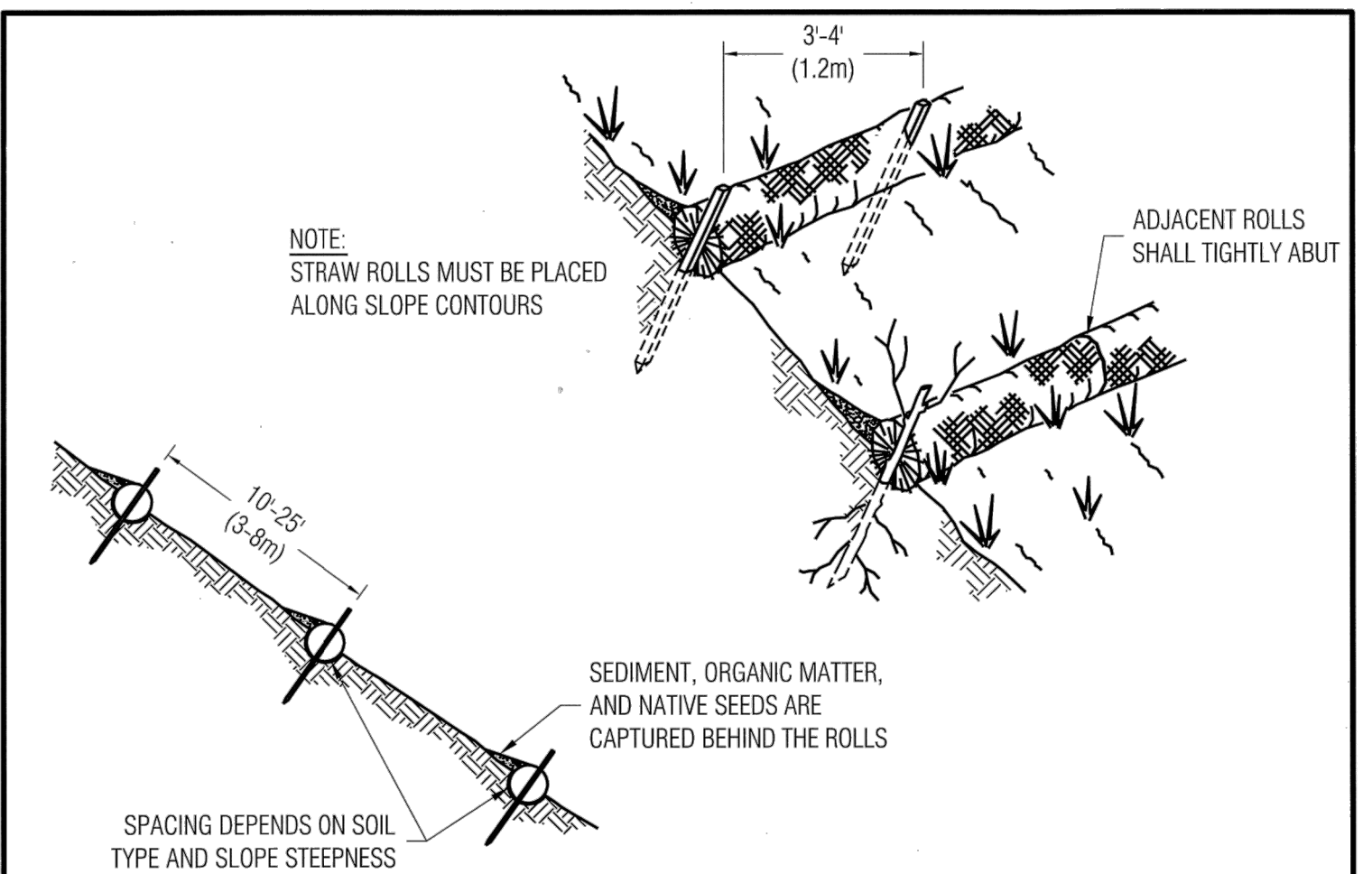


- NOTES:
1. PROVIDE A FINISHED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET
 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

Approved: 1/4/10
City Engineer Date

REVISION	ENGINEERING DIVISION	
	Description	Date
	STABILIZED CONSTRUCTION SITE ENTRANCE	EC-2

STANDARD DETAILS MAY 2010

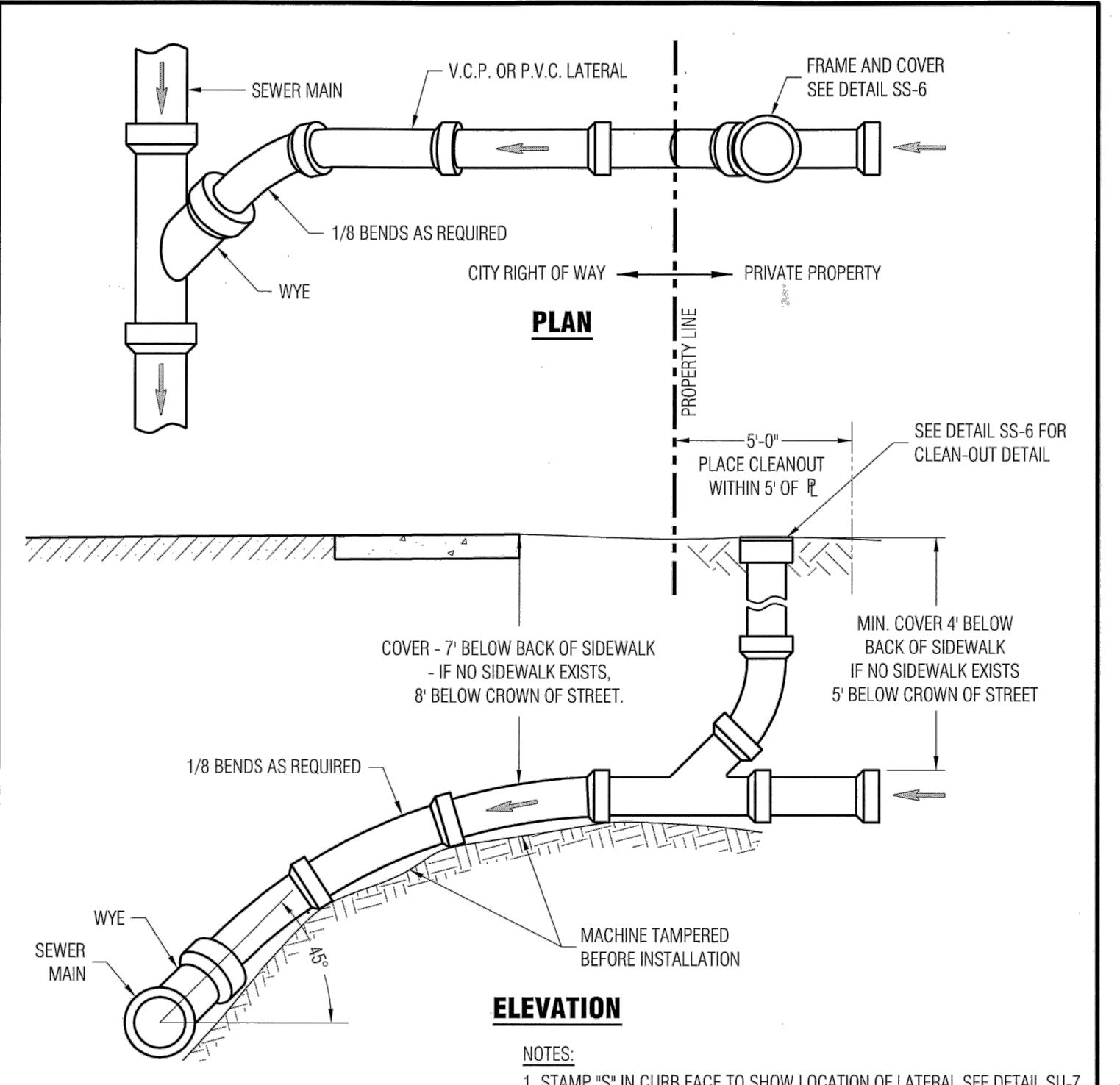


- NOTES:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3'-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL
 2. VERTICAL SPACING FOR SLOPE INSTALLATIONS
1:1 SLOPES = 10 FEET APART
2:1 SLOPES = 20 FEET APART
3:1 SLOPES = 30 FEET APART
4:1 SLOPES = 40 FEET APART
<4:1 SLOPE = ONE ROW AT LOW POINT
 3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED

Approved: 1/4/10
City Engineer Date

REVISION	ENGINEERING DIVISION	
	Description	Date
	STRAW ROLLS	EC-4

STANDARD DETAILS MAY 2010

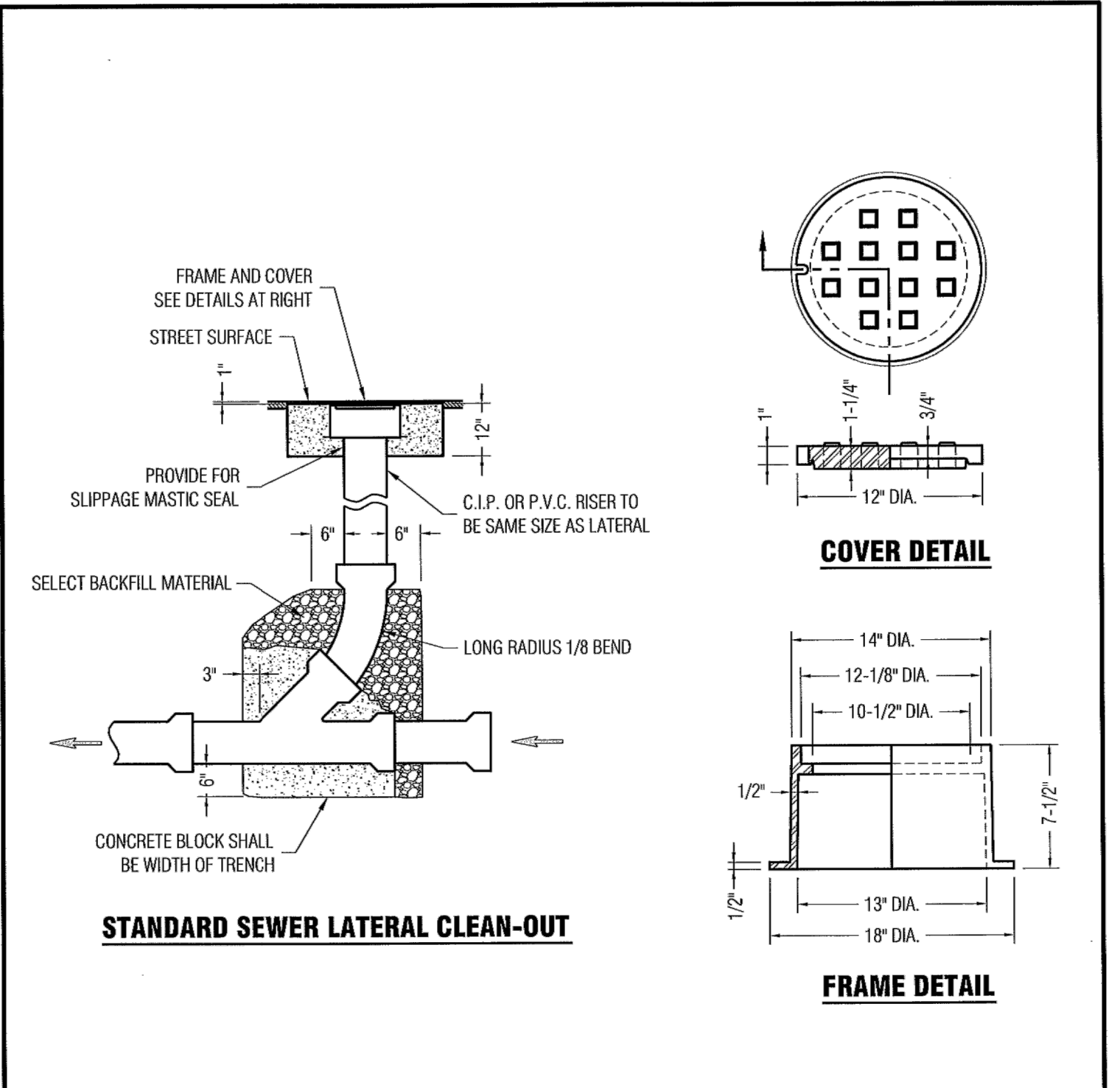


- NOTES:
1. STAMP "S" IN CURB FACE TO SHOW LOCATION OF LATERAL SEE DETAIL SU-7
 2. MINIMUM SLOPE OF LATERAL SHALL BE 1/4" PER 12"

Approved: 1/4/10
City Engineer Date

REVISION	ENGINEERING DIVISION	
	Description	Date
	SEWER LATERAL AND SEWER RISER	SS-5

STANDARD DETAILS MAY 2010



Approved: 1/4/10
City Engineer Date

REVISION	ENGINEERING DIVISION	
	Description	Date
	SEWER LATERAL CLEAN-OUT	SS-6

STANDARD DETAILS MAY 2010

NO.	REVISION	DATE	BY

RW ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
505 ALAMOUNT DRIVE
MILPITAS, CA 95035
(P) (408) 262-1899
(FAX) (408) 824-5556
rweengineering@gmail.com

RW
REGISTERED PROFESSIONAL ENGINEER
PROPERTY Y. WANG
50541
Expires: 06-30-19
CIVIL
STATE OF CALIFORNIA

1515 OAKHURST AVENUE
LOS ALTOS, CA
SANTA CLARA COUNTY
APN: 193-37-026

STANDRAD DETAILS

DATE: 7/18/18
SCALE: AS NOTED
DESIGNED BY: RW
DRAWN BY: RW
SHEET NO.

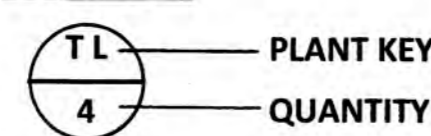
GROUNDCOVER LEGEND

KEY	DESCRIPTION	WATER USE
	ARCTOSTAPHYLLUS 'EMERALD CARPET' 1 GALONS @ 3' 0"/C	LOW
	CAREX 'FROSTY CURLS' 1 GAL @ 18" O/C	MEDIUM
	NASELLA TENUISSIMA 1 GAL @ 18" O/C.	LOW
	PELARGONIUM LAVENDER, 1 GAL AT 24" O/C	LOW
	SOD LAWN	HIGH

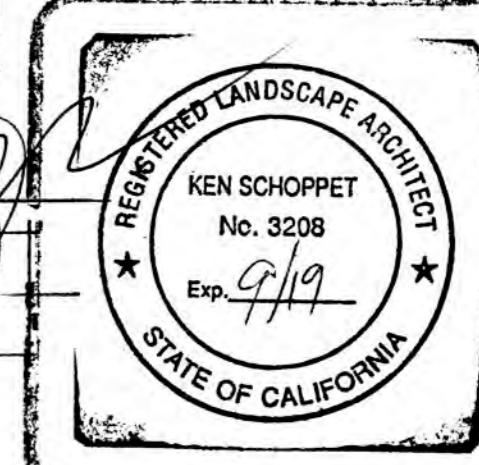
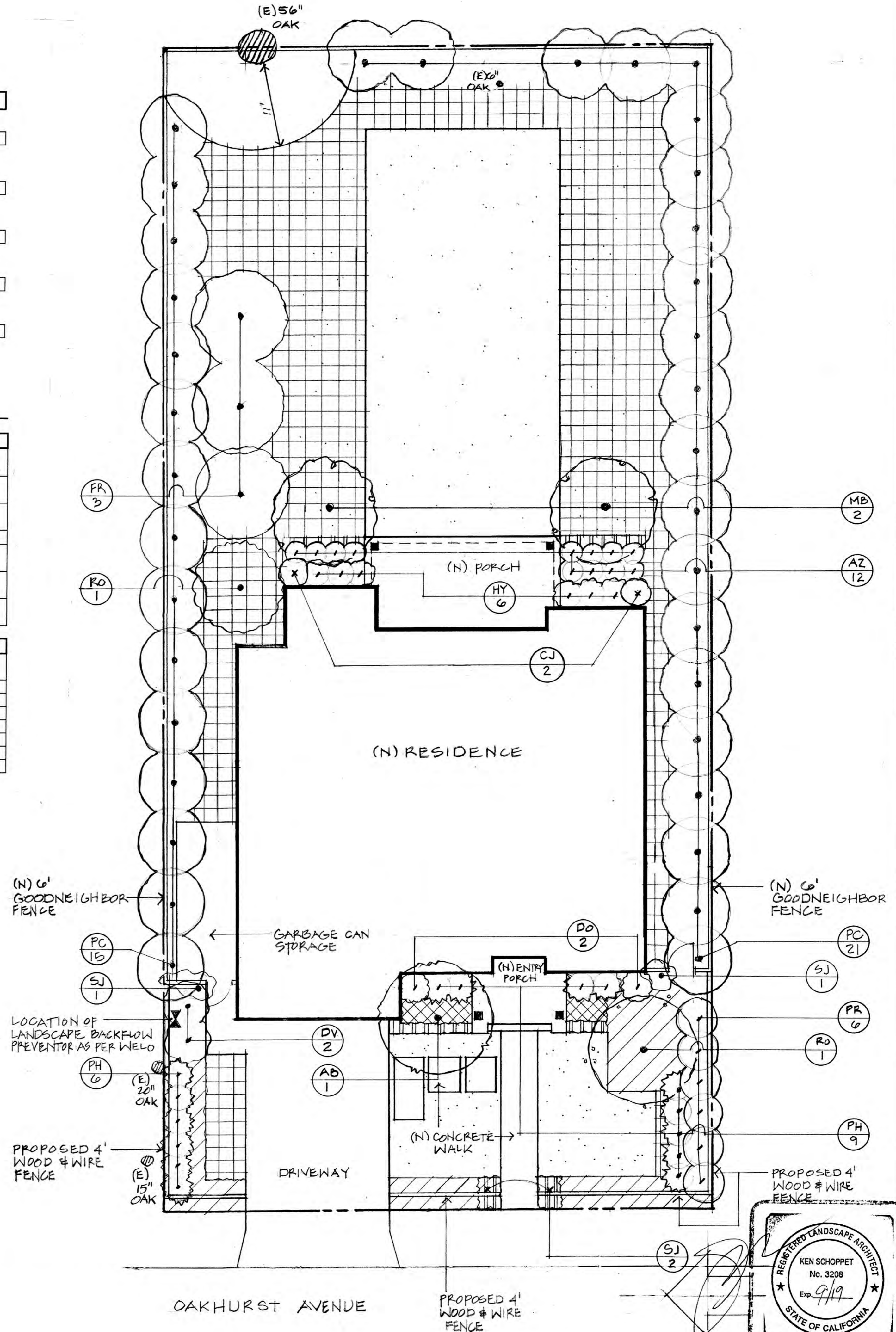
PLANT LEGEND

TREE				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
A B	ACER 'BLOODGOOD', STANDARD, LOW BRANCHING	RED LEAFED MAPLE	24" BOX	MEDIUM
C W	CITRUS WASHINGTONIA, ORANGE	WASHINGTON NAVEL ORANGE TREE	24" BOX	MEDIUM
F R	FRUIT TREES, VARIOUS (APRICOT, PLUM, APPLE, ETC.)	EDIBLE FRUIT TREES, SPECIAL LANDSCAPING	BARE ROOT	MEDIUM
L A	LAGERSTROEMIA 'ZUNI', MULTI STEM	PURPLE CRAPE MYRTLE	24" BOX	LOW
M A	MAYTENUS BOARIA, STANDARD	MAYTEN TREE	24" BOX	MEDIUM
P C	PRUNUNS CAROLINIANA, STANDARD	CAROLINE CHERRY	24" BOX	LOW
R O	ROBINIA 'IDAHOENSIS', STANDARD	IDAHO LOCUST	24" BOX	LOW
SHRUB				
KEY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
A Z	AZALEA 'ALASKA'	EVERBLOOMING WHITE AZALEA	5 GAL	MEDIUM
C J	CAMELLIA JAPONICA, (WHITE)	WHITE CAMELLIA	5 GAL	MEDIUM
D O	DODONAEA VICOSA, ATROPURPUREA	PURPLE HOP SEED BUSH	5 GAL	LOW
D V	DODONAEA VICOSA, ATROPURPUREA	PURPLE HOP SEED BUSH	15 GAL	LOW
H Y	HYDRANGEA MACROPHYLLA	BIGLEAF HYDRANGEA	5 GAL	MEDIUM
P H	PHORMIUM 'PLATT'S BLACK'	RED LEAFED FLAX LEAF	5 GAL	LOW
P R	PRUNUS CAROLINIANA, BUSH	CAROLINE CHERRY	15 GAL	LOW
S J	SOLANUM JASMINOIDES	POTATOE VINE	5 GAL	LOW

LABEL KEY



NOTE:
THIS PLAN HAS BEEN DESIGNED TO COMPLY WITH THE CITY'S WELO REQUIREMENTS



REVISIONS	BY

SCHOPPET LANDSCAPE ARCHITECT INC.
F.O. BOX 598 LOS ALTOS, CALIFORNIA 94023
ken@kls.us
(650) 923-6572

LANDSCAPE PLAN

LEE RESIDENCE
1515 OAKHURST AVE. LOS ALTOS, CA

DRAWN	
CHECKED	
DATE	1-11-18
SCALE	1" = 8'-0"
JOB NO.	
SHEET	11
OF SHEETS	

TREES



Acer 'Bloodgood', Red Maple, 12'w x 14'h at maturity with growth rate of 12"/year



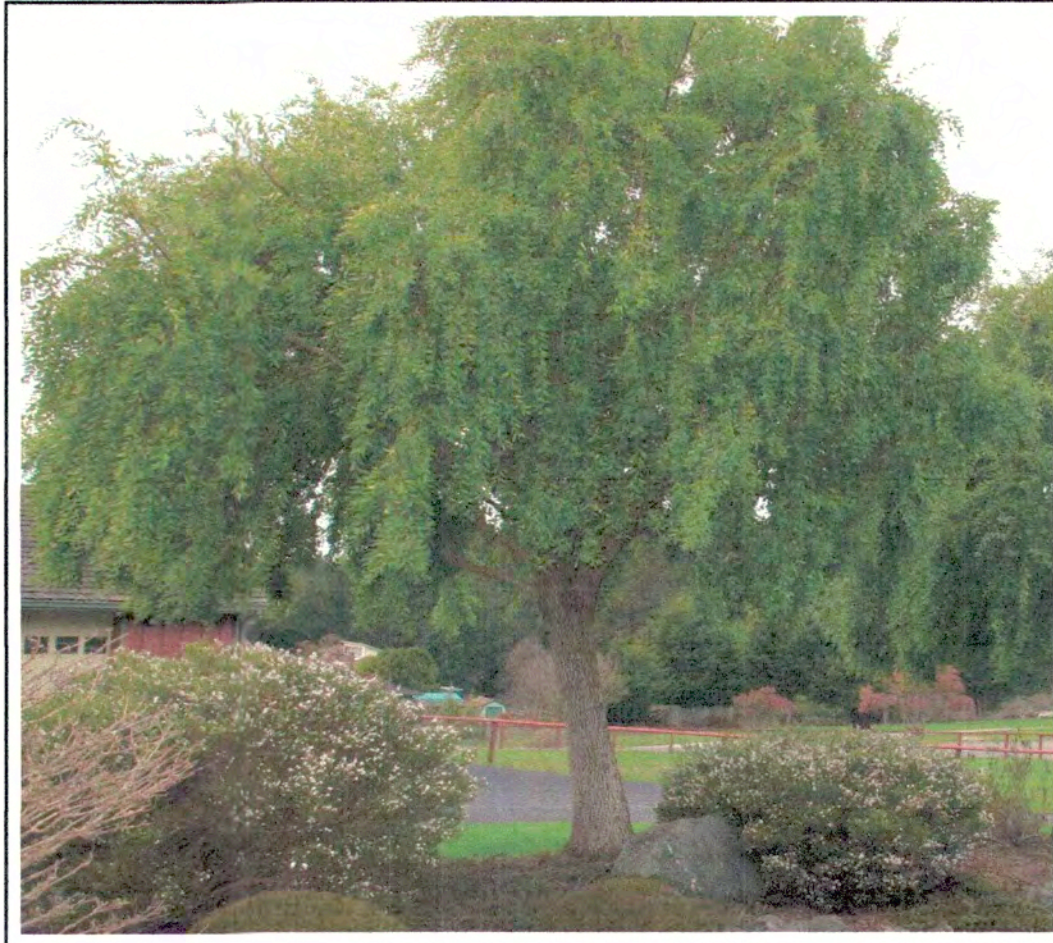
Citrus Washingtonia, Dwarf Navel Orange, 8'w x 10'h at maturity with growth rate of 8"/yr



Malus, Apple Tree, example of a fruit tree 10'w x 10'h at maturity with growth rate of 12"/yr



Lagerstroemia 'Zuni', Purple Crape Myrtle 12'w x 12'h at maturity with growth rate of 8"/yr



Maytenous boaria, Mayten Tree, 18'w x 25'h at maturity with growth rate of 6"/yr



Prunus caroliniana, Caroline cherry 10'w x 18'h at maturity with growth rate of 12"/yr

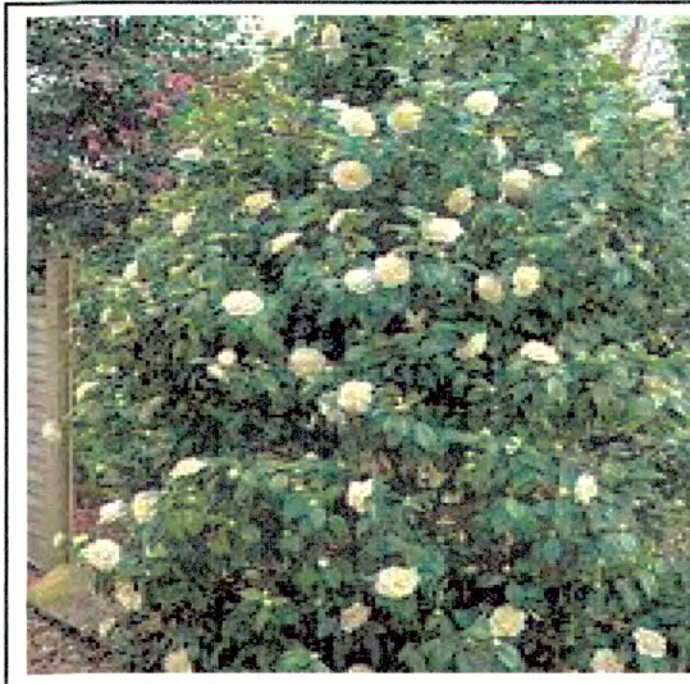


Robinia 'Idahoensis', Idaho Lucust, 20'w x 30'h at maturity with growth rate of 12"/yr

SHRUBS



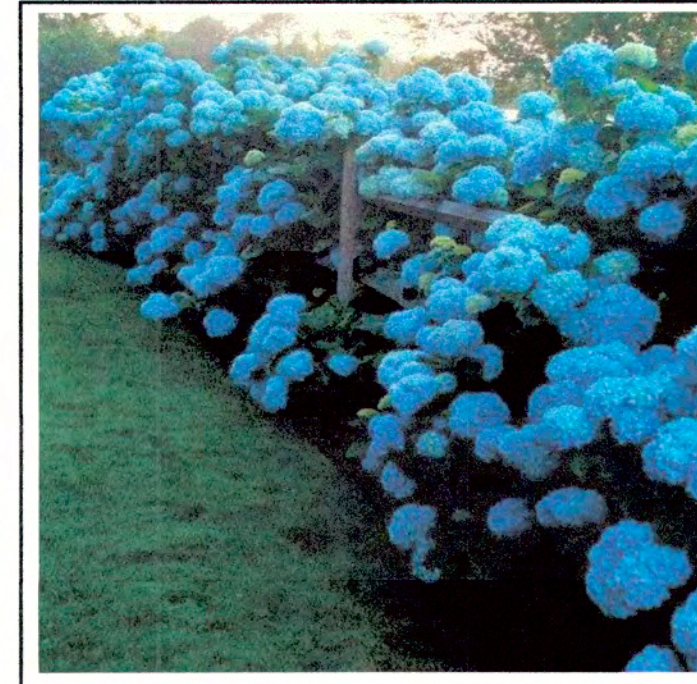
Azalea 'Alaska', White Azalea, 3'w x 3'h at maturity with growth rate of 4"/yr



Camellia japonica, Japanese camellia, white, 4'w x 6'h high at maturity with growth rate of 4"/yr



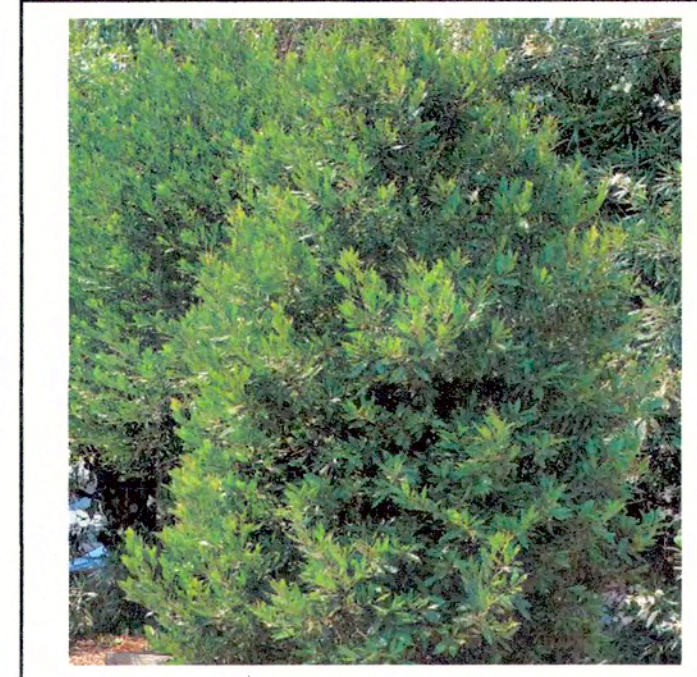
Dondenaea 'Atropurpurea', Purple Hop Seed Bush, 8'w x 12'h at maturity with growth rate of 8"/yr



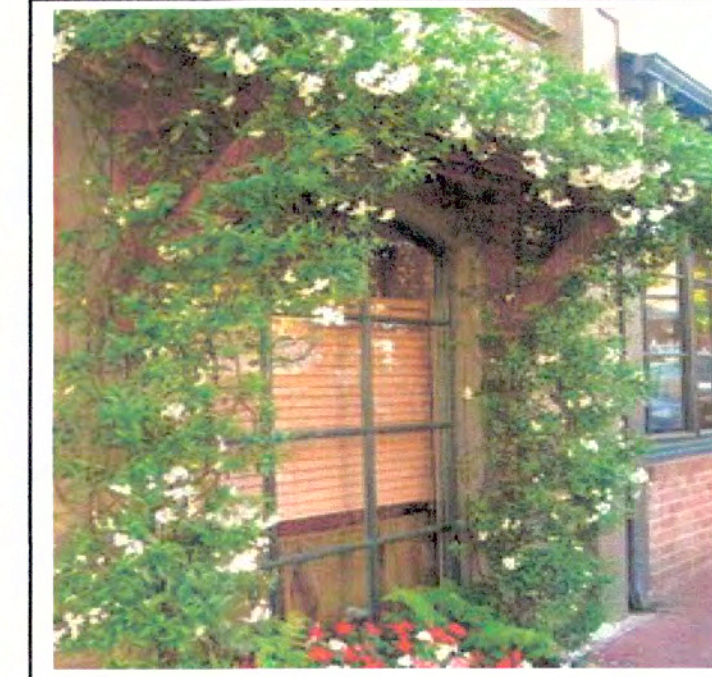
Hydrangea macrophylla, Hydrangea, 4'w x 4'h at maturity growth rate of 36"/yr



Phormium 'Platt's Black', New Zealand Flax, 4'w x 4'h, growth rate of 24"/yr



Prunus caroliniana, Caroline Cherry, 10'w x 18'h @ maturity w/growth rate of 12"/yr



Solanum jasminoides, Potatoe Vine, 6' w x 12' h at maturity, with a growth rate of 3'/yr

REVISIONS	BY

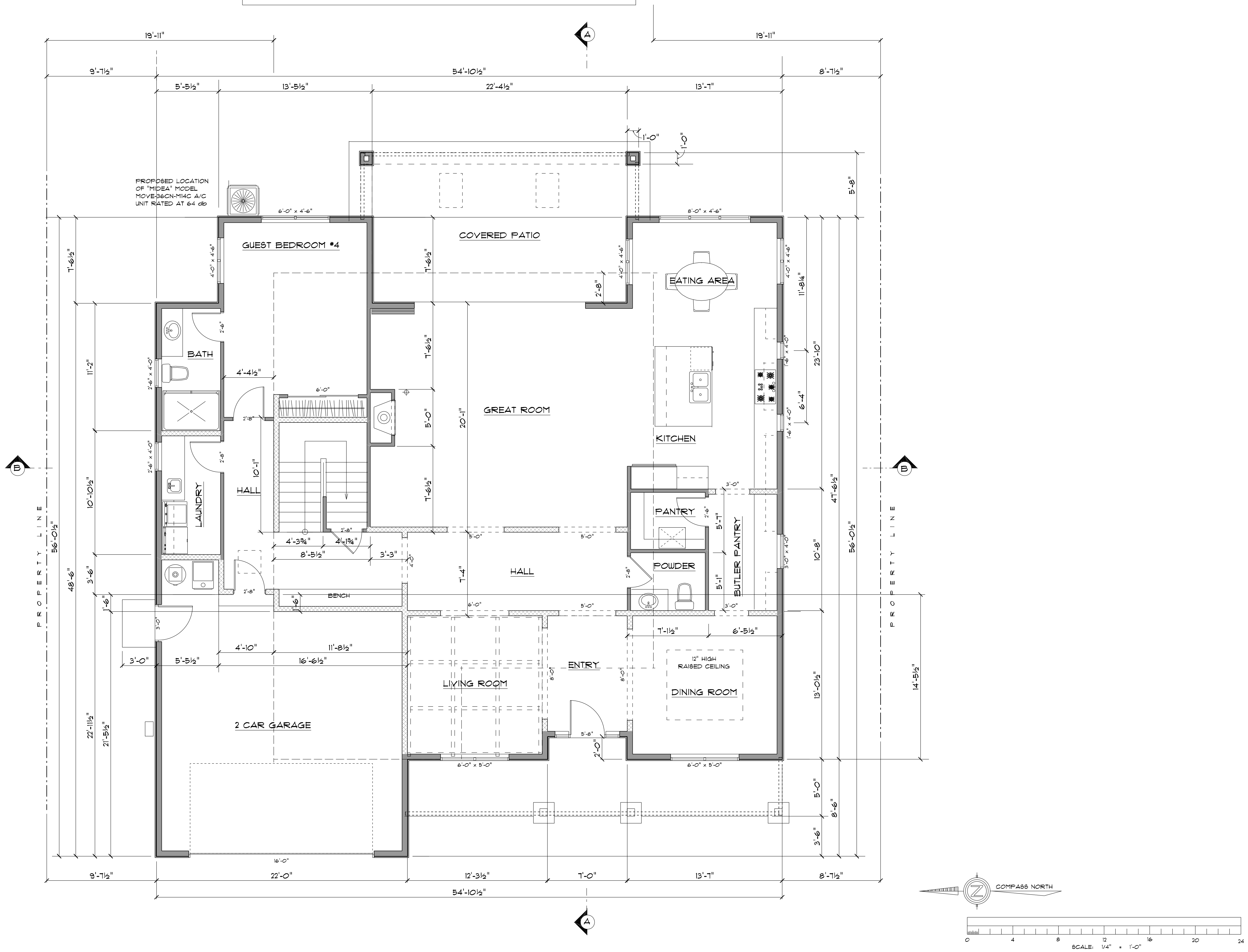
SCHOPPET LANDSCAPE ARCHITECT INC.
 P.O. BOX 508 LOS ALTOS, CALIFORNIA 94025
 ken@slar.us
 (650) 823-6572

PLANT PICTURES

LEE RESIDENCE
 1521 OAKHURST AVE. LOS ALTOS, CA

DRAWN
CHECKED
DATE 9-17-18
SCALE
JOB NO.
SHEET
11.1
OF SHEETS

ALL EXTERIOR WALLS TO BE 2 X 6 FRAMED TYPICAL U.N.O.



proposed new two-story residence
and attached two-car garage for:
MR and MS MATTHEW LEE
1515 Oakhurst Avenue Parcel 1
Los Altos, CA 94024

A.P.N. 183 - 31 - 026

ZONING: RI - 10

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Revisions:

1	per planning review 01-16-18

proposed main
floor plan

scale: 1/4" = 1'-0"

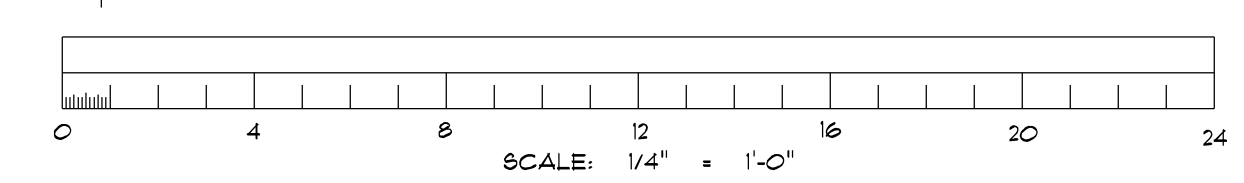
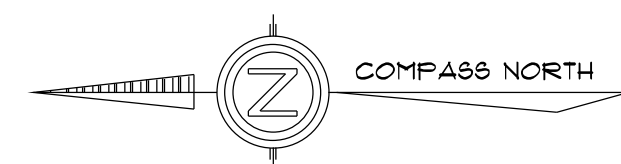
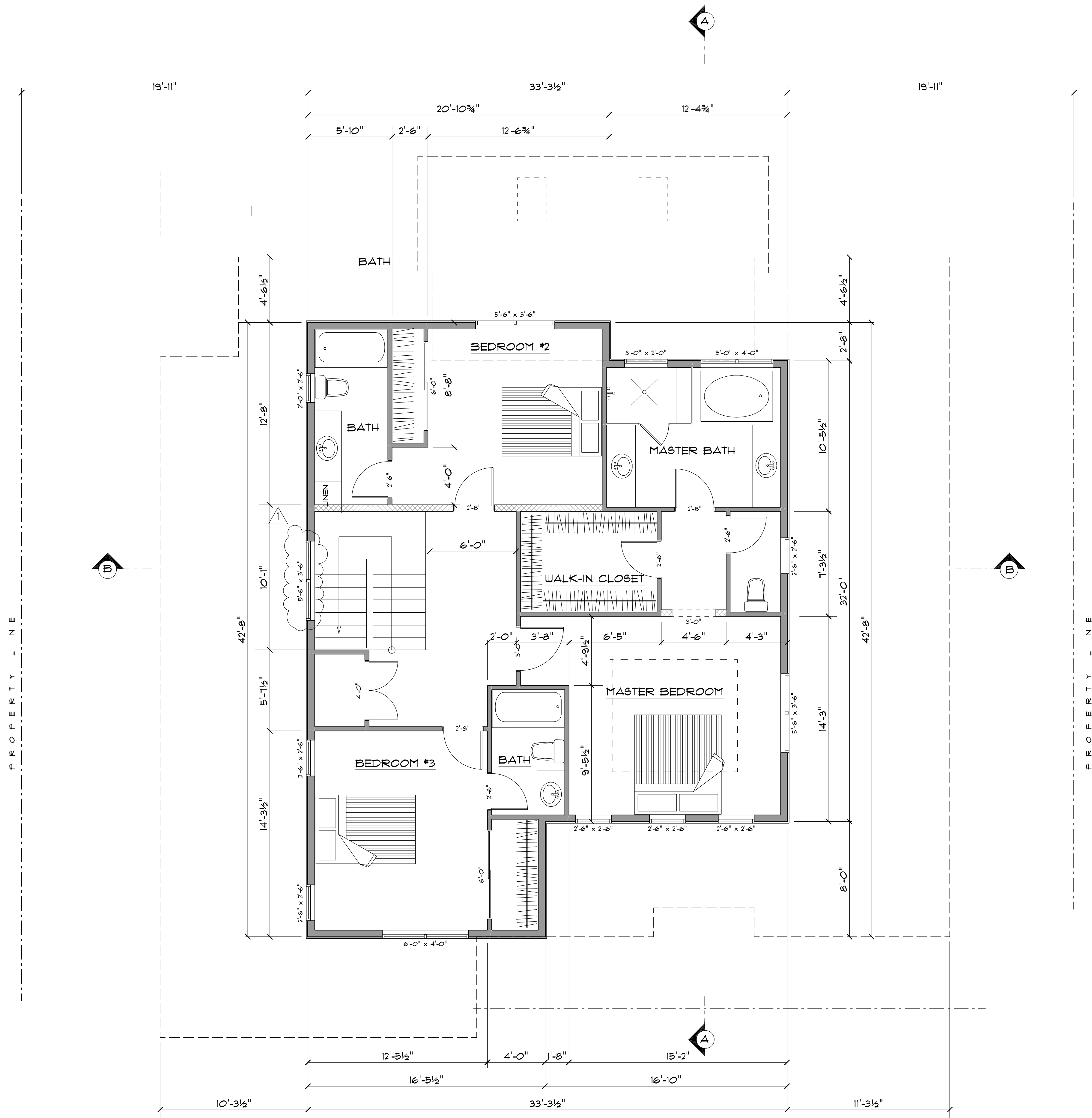
2018 - 01

January 03, 2018

Sheet

A2.0

1515 OAKHURST AVE LA PARCEL 1 / LEE
Tuesday, July 17, 2018



proposed new two-story residence
and attached two-car garage for:
MR and MS MATTHEW LEE
1515 Oakhurst Avenue Parcel 1
Los Altos, CA 94024

A.P.N. 183 - 31 - 026

ZONING: RI - 10

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Revisions:

△	per planning review 01-16-18

proposed second
floor plan

scale: 1/4" = 1'-0"

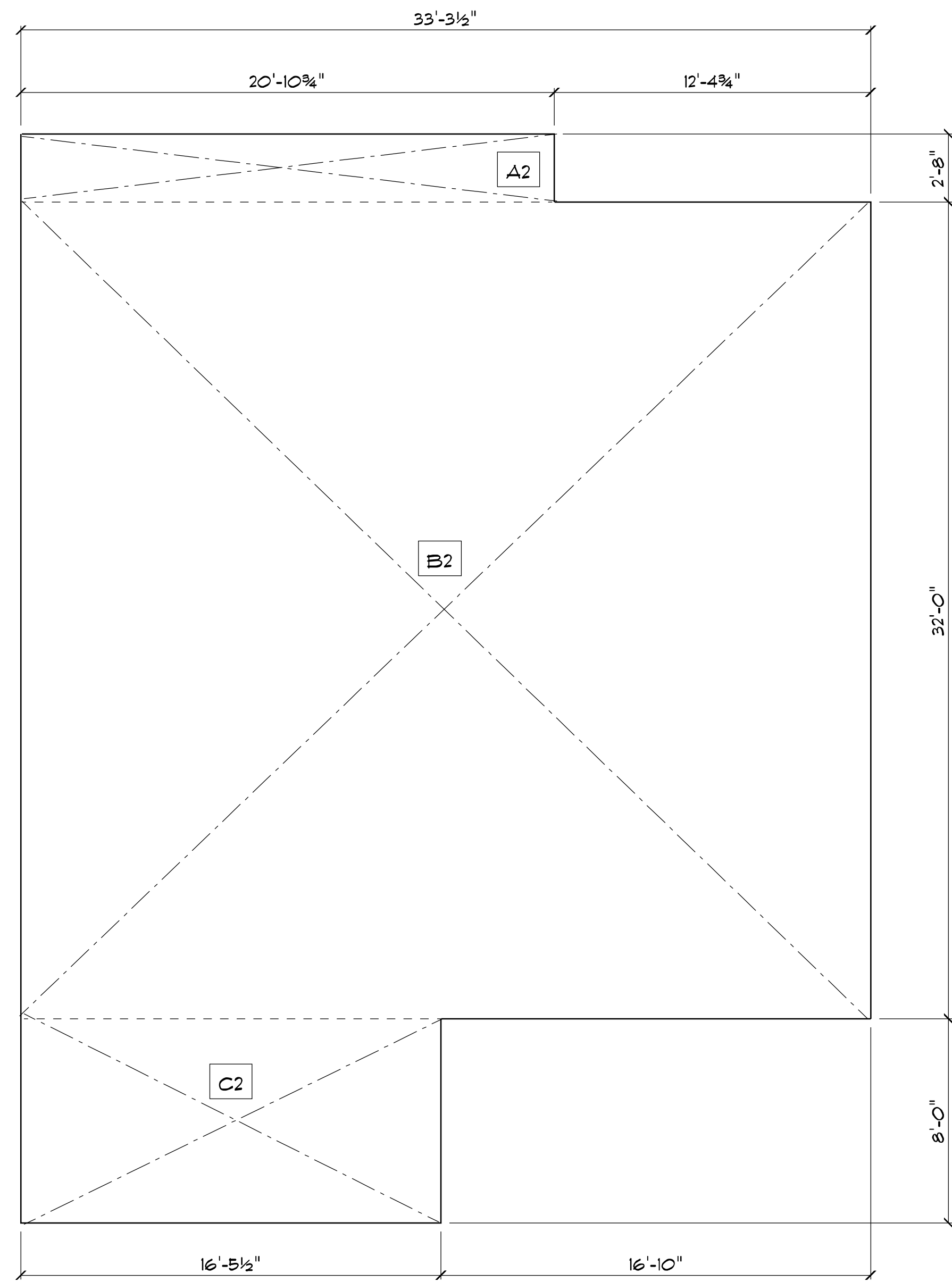
2018 - 01

January 03, 2018

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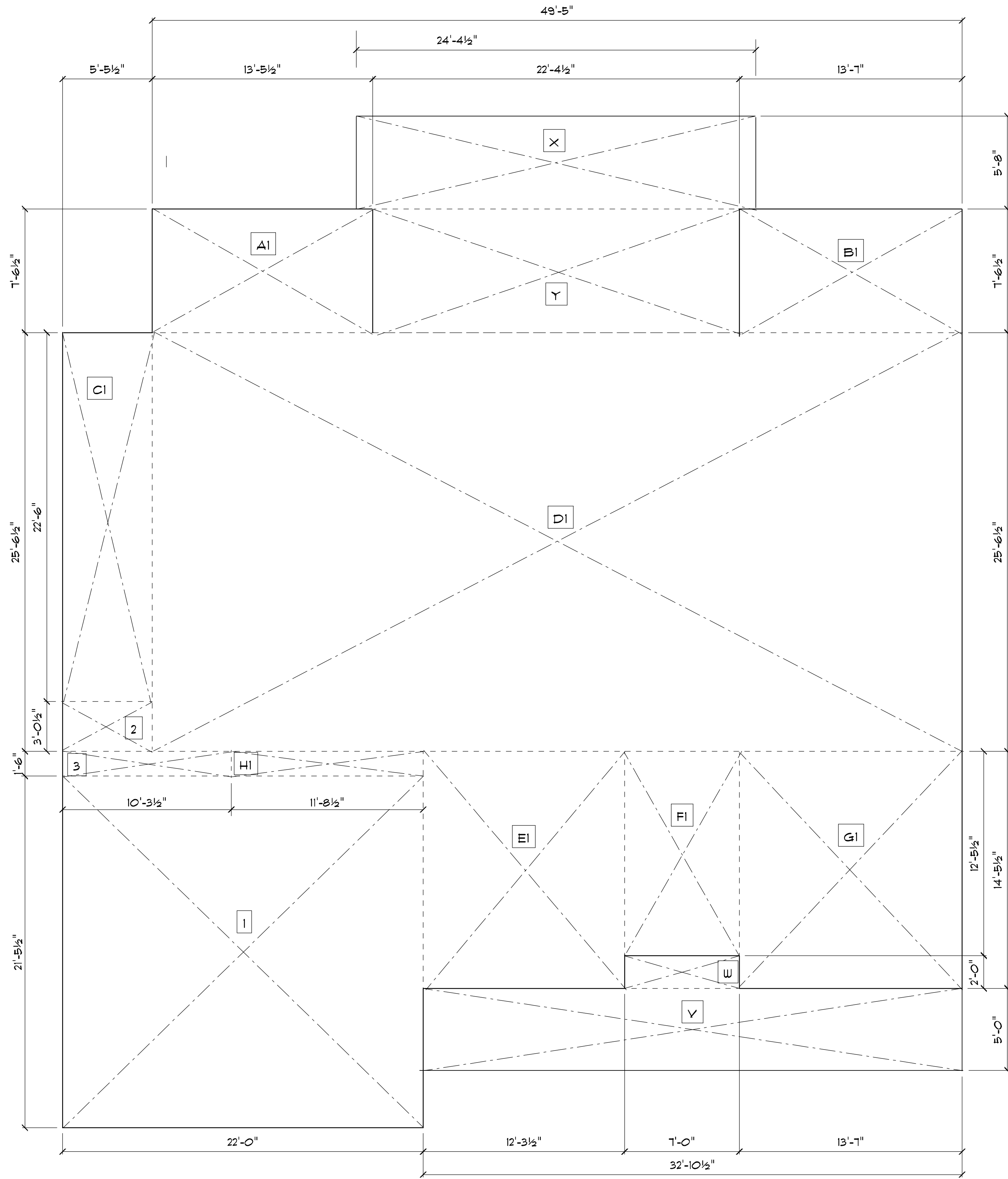
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1515 OAKHURST AVE LA PARCEL 1 / LEE Tuesday, July 17, 2018



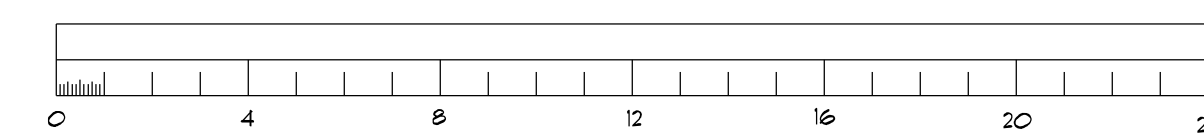
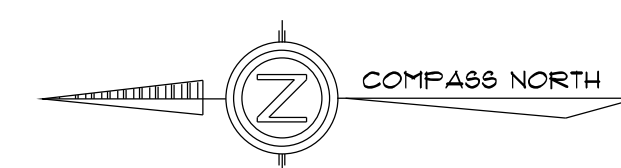
SQUARE FOOT CALCULATIONS:

KEY	SIZE	SQ. FT.
A1	13'-5 1/2" X 7'-6 1/2"	101.49
B1	13'-1" X 7'-6 1/2"	102.44
C1	5'-5 1/2" X 22'-6"	122.81
D1	49'-5" X 25'-6 1/2"	1262.18
E1	12'-3 1/2" X 14'-5 1/2"	177.11
F1	7'-0" X 12'-5 1/2"	87.20
G1	13'-1" X 14'-5 1/2"	196.39
H1	11'-8 1/2" X 1'-6"	17.56
TOTAL MAIN FLOOR LIVABLE AREA		2,067.78
A2	20'-10 3/4" X 2'-8"	55.12
B2	33'-3 1/2" X 32'-0"	1,065.33
C2	16'-5 1/2" X 8'-0"	131.66
TOTAL SECOND FLOOR LIVABLE AREA		1,252.11
1	22'-0" X 21'-5 1/2"	472.08
2	5'-5 1/2" X 3'-0 1/2"	16.60
3	10'-3 1/2" X 1'-6"	15.43
TOTAL GARAGE AREA		504.11
X	24'-4 1/2" X 5'-8"	138.12
Y	22'-4 1/2" X 7'-6 1/2"	168.74
TOTAL COVERED PATIO AREA		306.86
V	32'-10 1/2" X 5'-0"	164.31
W	7'-0" X 2'-0"	14.00
TOTAL COVERED PORCH AREA		178.31
TOTAL COVERED PORCH/PATIO AREA		485.23
TOTAL LIVABLE AREA		3,320.49
TOTAL BUILDING AREA		3,824.60
TOTAL LOT COVERAGE		3,057.12



SECOND FLOOR PLAN

MAIN FLOOR PLAN



SCALE: 1/4" = 1'-0"

proposed new two-story residence
and attached two-car garage for:
MR and MS MATTHEW LEE
1515 Oakhurst Avenue Parcel 1
Los Altos, CA 94024

A.P.N. 183 - 31 - 026

ZONING: RI - 10

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Revisions:

per planning review 01-16-18

calculation plans

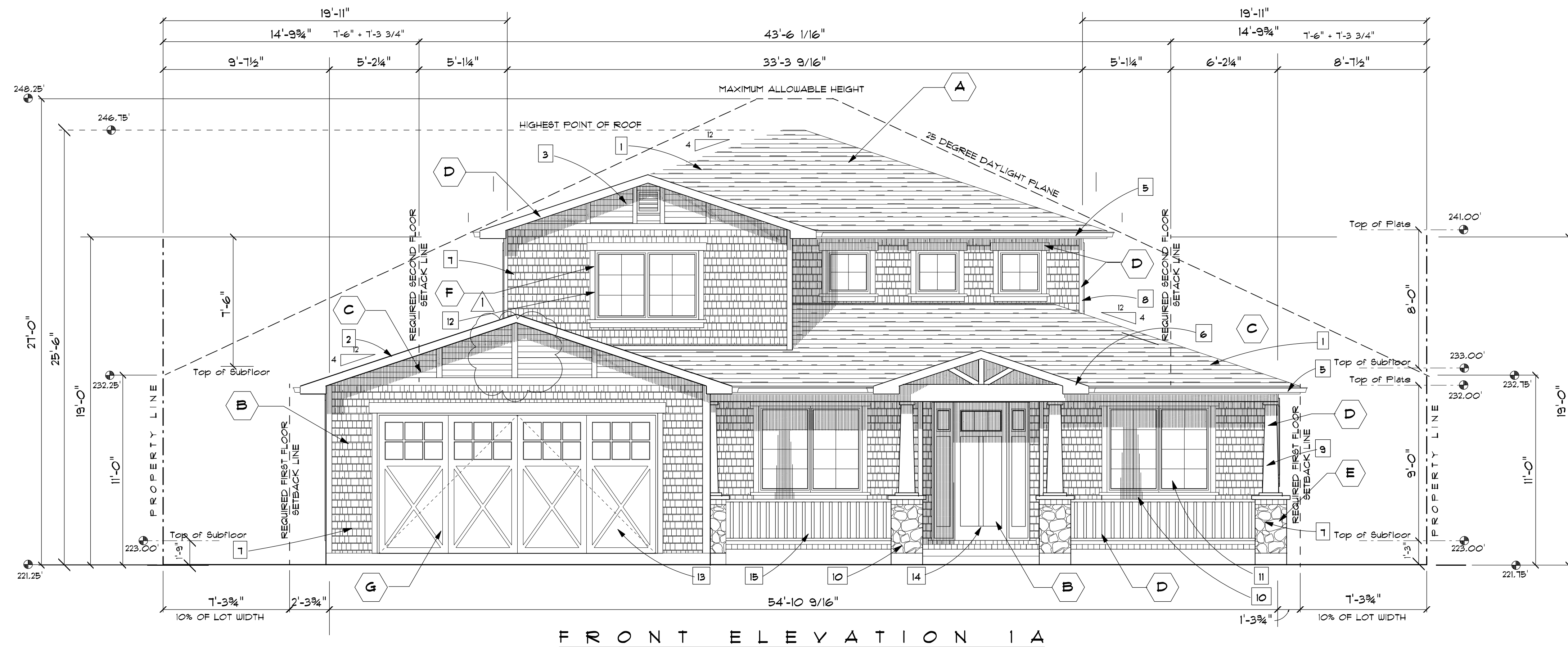
scale: 1/4" = 1'-0"

2018 - 01

January 03, 2018

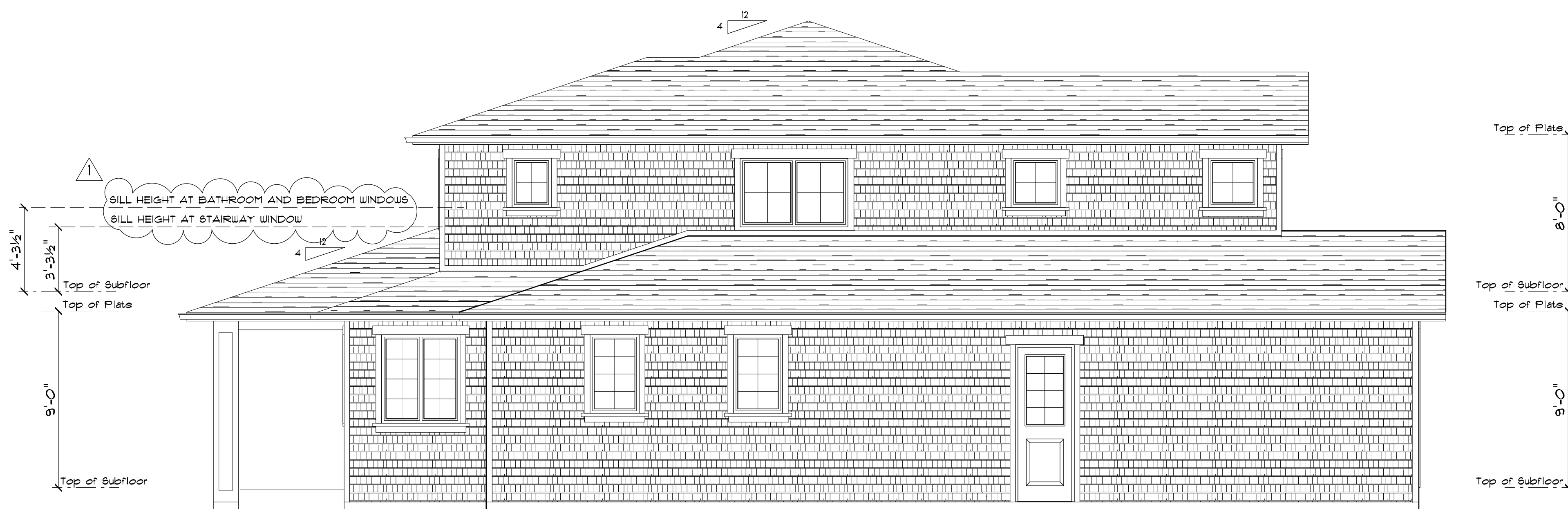
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A3.0



FRONT ELEVATION 1A

SEE MATERIALS SAMPLE BOARD FOR COLORS AND MATERIALS



LEFT SIDE ELEVATION 1A

- EXTERIOR ELEVATION NOTES:**
1. CLASS "A" COMPOSITION ROOFING
 2. PAINTED 2 X 6 BARGE RAFTERS
 3. PAINTED 1 X 2 SIDING AT GABLES
 4. FLAT GLASS SKYLIGHTS W/ ANODIZED FRAMES
 5. PAINTED G.I. GUTTERS AND DOWNSPOUTS / PAINTED 2 X 6 FASCIA BOARDS
 6. PAINTED BEAMS AND BRACES AT ENTRY GABLE
 7. SHINGLE SIDING
 8. PAINTED CORNER TRIM
 9. PAINTED BUILT-UP WOOD POSTS
 10. RIVER-ROCK MANUFACTURED STONE VENEER
 11. WHITE CLAD WINDOW FRAMES AND DIVIDERS
 12. PAINTED 2 X WINDOW TRIM:
2 X 6 HEAD TRIM
2 X 4 SIDE TRIM
2 X 6 SILL
2 X 4 APRON TRIM
 13. PAINTED CUSTOM OVERHEAD SECTIONAL GARAGE DOOR
 14. ENTRY DOOR AND SIDELITE TRIM PAINTED
 15. PAINTED DECORATIVE WOOD RAILING

proposed new two-story residence
and attached two-car garage for:
MR and MS MATTHEW LEE
1515 Oakhurst Avenue Parcel 1
Los Altos, CA 94024

A.P.N. 193 - 31 - 026

ZONING: R1 - 10

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Revisions:

△	per planning review 01-16-18

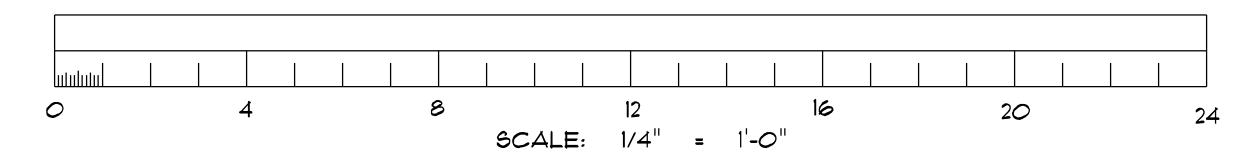
front and left side
exterior elevations

scale: 1/4" = 1'-0"

2018 - 01

January 03, 2018

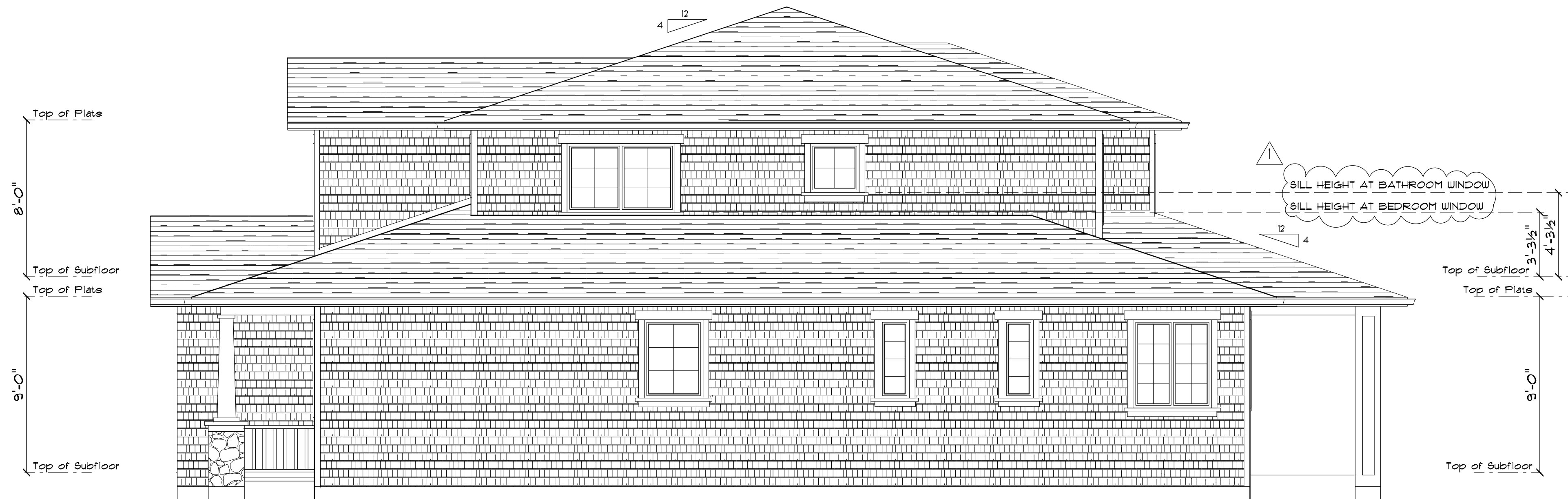
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A4.0



1515 OAKHURST AVE LA PARCEL 1 / LEE Tuesday, July 11, 2018



REAR ELEVATION 1A



RIGHT SIDE ELEVATION 1A

proposed new two-story residence
and attached two-car garage for:
MR and MS MATTHEW LEE
1515 Oakhurst Avenue Parcel 1
Los Altos, CA 94024

A.P.N. 193 - 37 - 026

ZONING: R1 - 10

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Revisions:

△ per planning review 01-16-18

rear and right side
exterior elevations

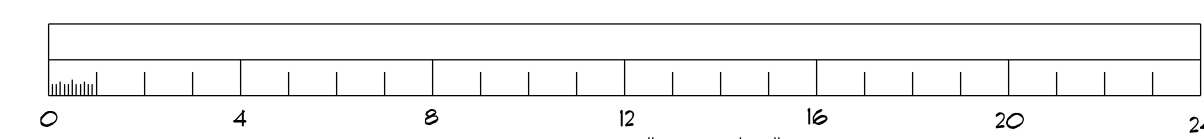
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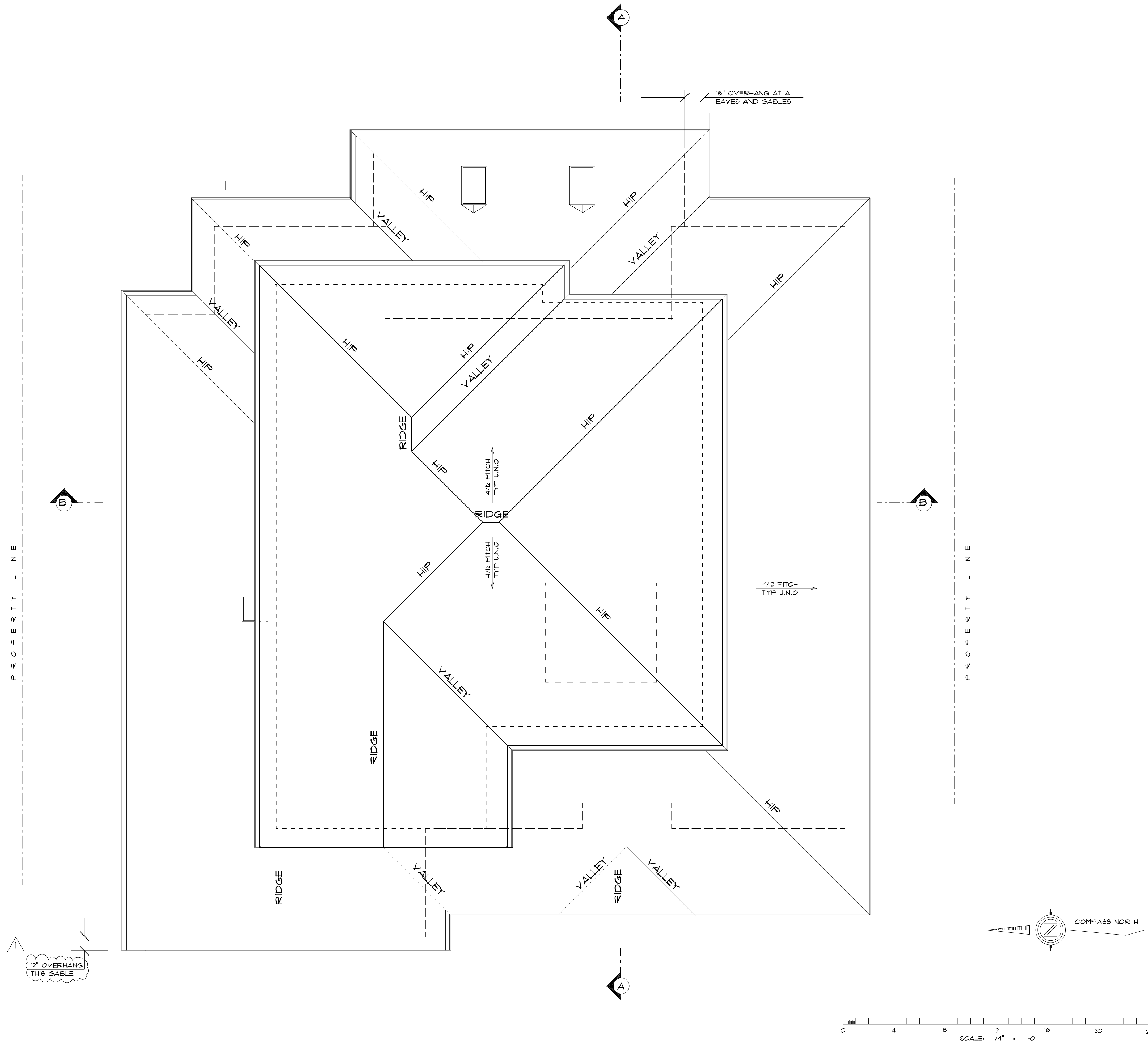
2018 - 01

January 03, 2018

Sheet

A4.1





proposed new two-story residence
and attached two-car garage for:
MR and MS MATTHEW LEE
1515 Oakhurst Avenue Parcel 1
Los Altos, CA 94024

A.P.N. 183 - 31 - 026

ZONING: RI - 10

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Revisions:

1	per planning review 01-16-18

roof plan

scale: 1/4" = 1'-0"

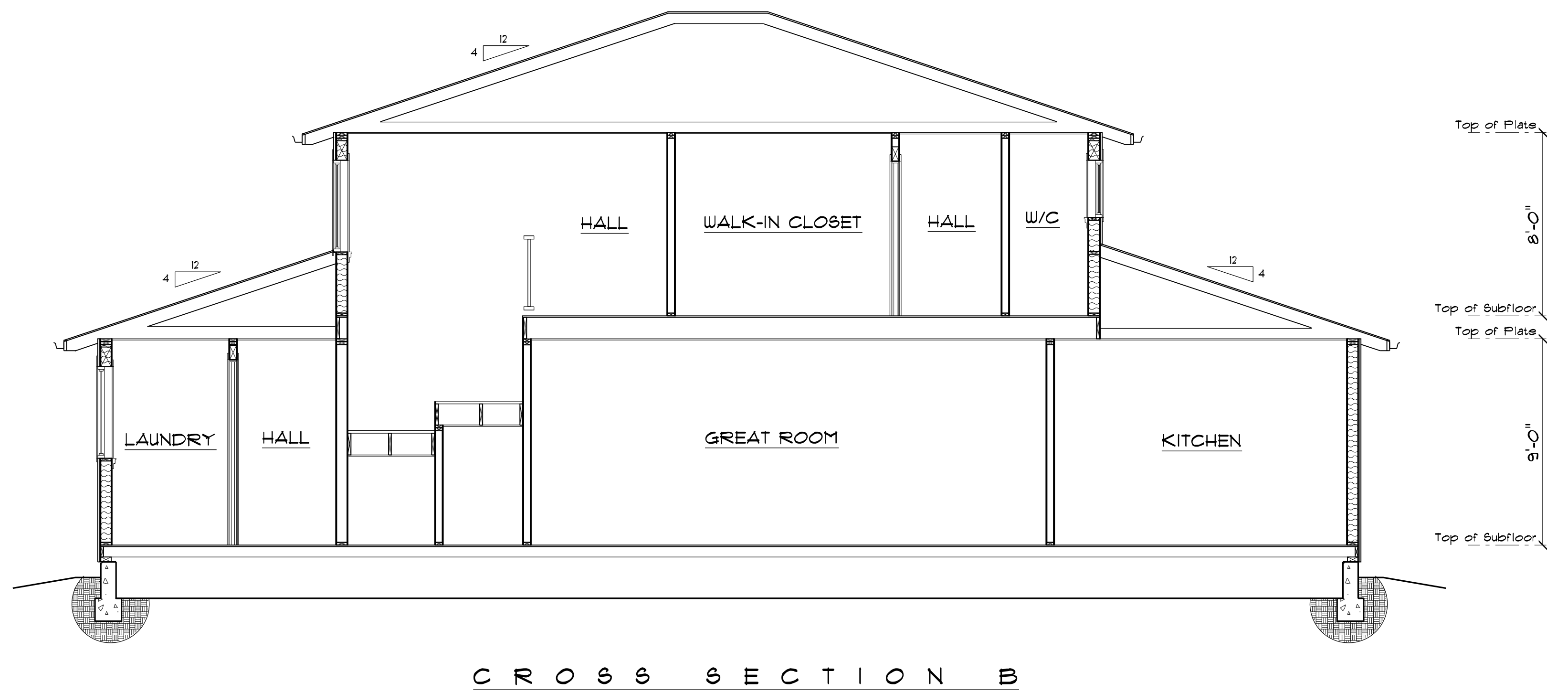
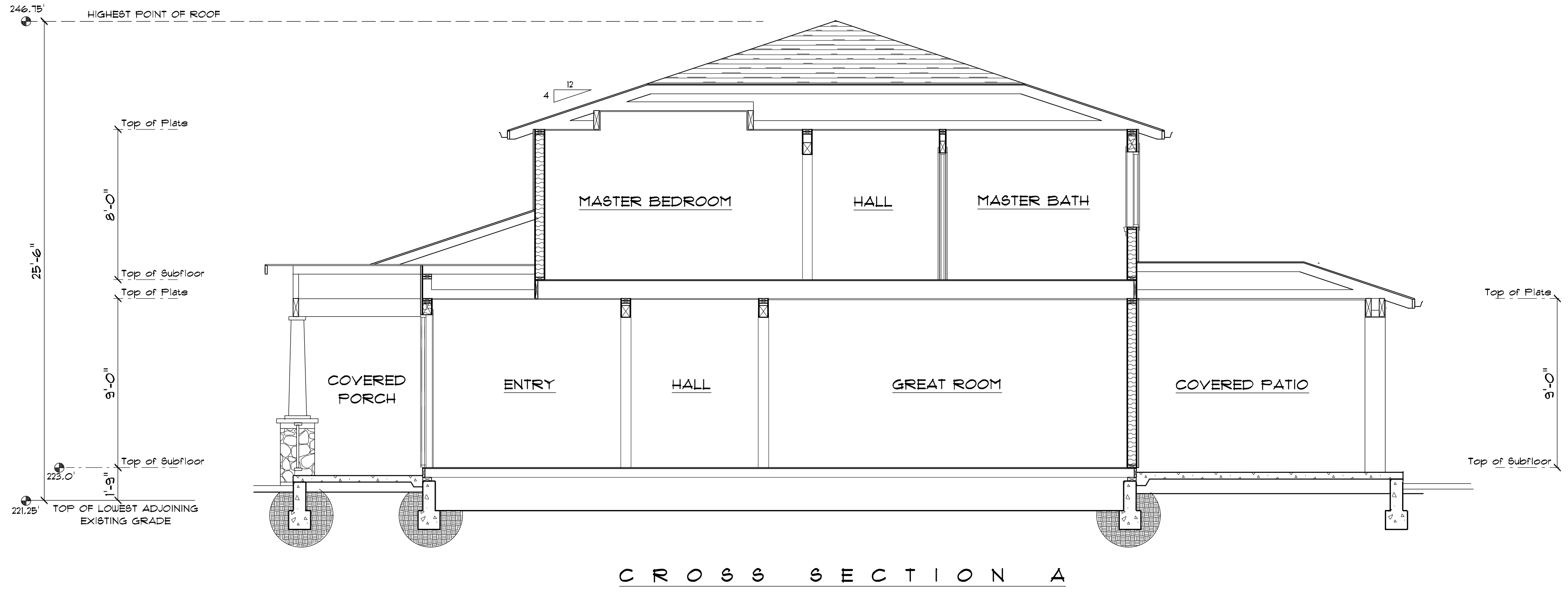
2018 - 01

January 03, 2018

Sheet

A5.0

1515 OAKHURST AVE LA PARCEL 1 / LEE
Tuesday, July 17, 2018



proposed new two-story residence
and attached two-car garage for:
MR and MS MATTHEW LEE
1515 Oakhurst Avenue Parcel 1
Los Altos, CA 94024

A.P.N. 183 - 31 - 026

ZONING: RI - 10

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Revisions:

cross sections

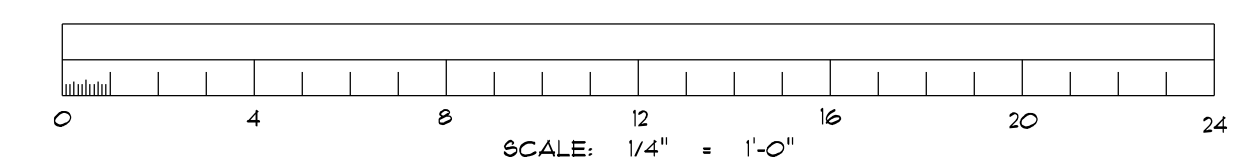
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2018 - 01

January 03, 2018

Sheet

A6.0



1515 OAKHURST AVE LA PARCEL 1 LEE



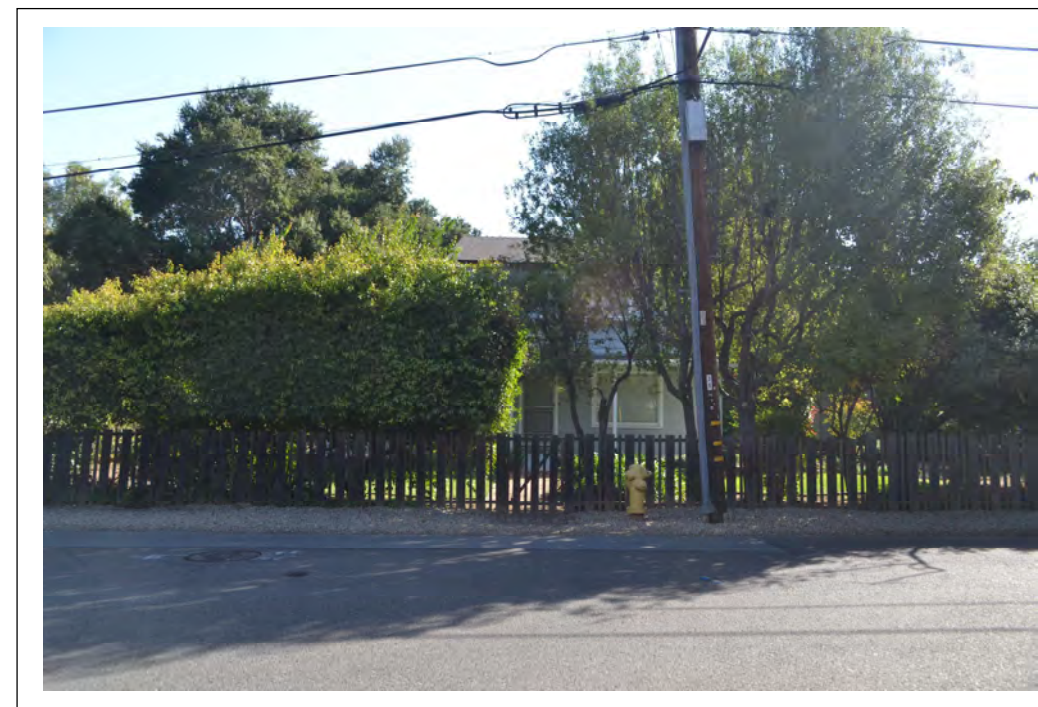
1505



1515 PARCEL 1
(SUBJECT PROPERTY)



1521



1555

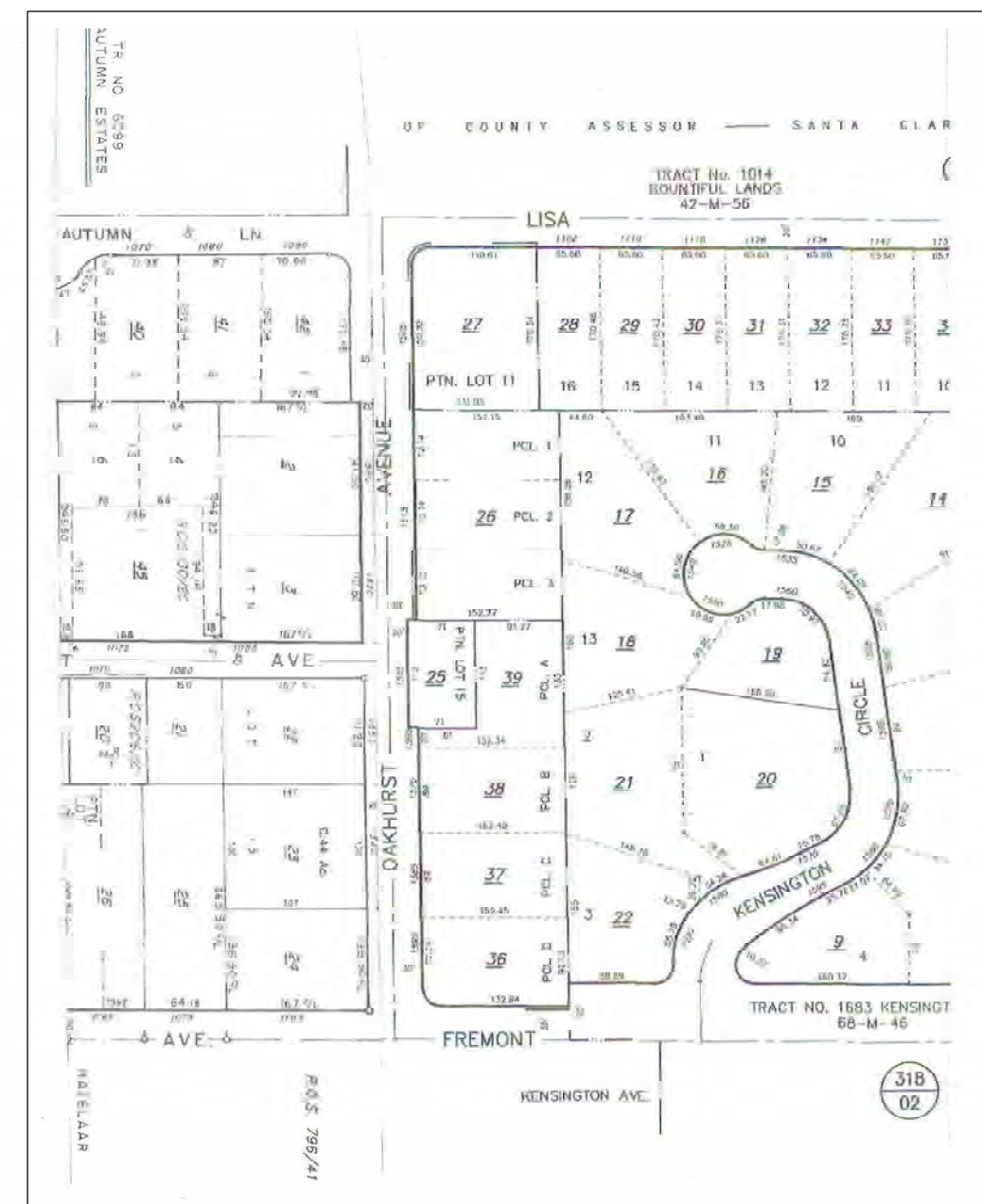


1575

EAST SIDE OAKHURST AVENUE



1550 KENSINGTON CIRCLE



1525 KENSINGTON CIRCLE



1580



1550



1530



1520

WEST SIDE OAKHURST AVENUE

proposed new two-story residence
and attached two-car garage for:
MR and MS MATTHEW LEE
1515 Oakhurst Avenue Parcel 1
Los Altos, CA 94022

A.P.N. 183 - 31 - 026

ZONING: R1 - 10

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Revisions:

photographic streetscape

scale: none

2018 - 01

January 10, 2018

Sheet

AT.O

1515 OAKHURST AVENUE PARCEL 1, LOS ALTOS, CA / LEE