

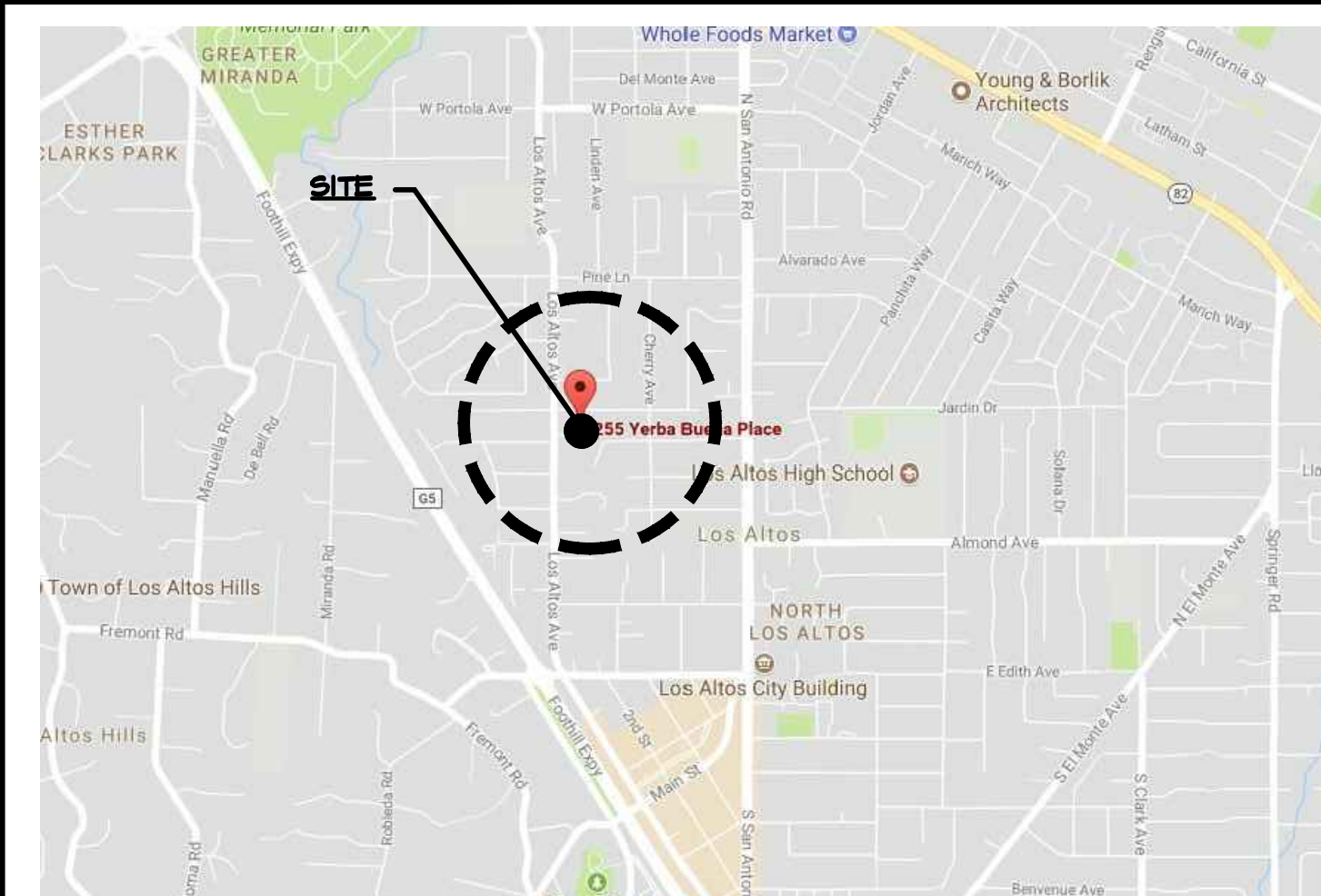
KOHN RESIDENCE

LOS ALTOS, CALIFORNIA



PROPOSED HOUSE RENDERING (FOR REFERENCE ONLY)

7



ARCHITECT
YOUNG AND BORLIK ARCHITECTS, INC.
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 LOS ALTOS, CA 94022
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SOILS ENGINEER
ROMIG ENGINEERS, INC.
 1390 EL CAMINO REAL, SECOND FLOOR
 SAN CARLOS, 94070
 TEL: (650) 591 5224
 www.romigengineers.com

ARBORIST
ADVANCED TREE CARE
 P.O. BOX 5326
 REDWOOD CITY, CA 94063
 TEL: (650) 839-9539

CIVIL ENGINEER:
PRECISION ENGINEERING & CONSTRUCTION INC.
 TRAVIS R. LUTZ
 901 WALTERMIRE STREET
 BELMONT, CA 94002
 TEL: (650) 226-8640
 travis@precision-ec.com

SURVEYOR
CHAPPELL SURVEYING SERVICES
 690 ESTHER WAY
 OAKDALE, CA 95361
 TEL: (209) 845-9694
 FAX: (209) 845-9654
 survey@garlic.com

STRUCTURAL ENGINEER & TITLE 24
ATA ENGINEERING
 1202 MAIN STREET
 REDWOOD CITY, CA 94063
 TEL: (650) 363-2338
 ATTN: ALI ADIB
 ata@ataeng.net

LANDSCAPE ARCHITECT
ENVISION LANDSCAPE STUDIO
 INGRAHAM STREET
 SAN DIEGO, CA 92109
 TEL: (800) 414-1860
 navid@envisionlandscapestudio.com
 ATTN: NAVID MOSTATABI

SCOPE:
 NEW 2 STORY 4,285 SF HOME WITH BASEMENT

PROJECT DESIGN DATA:
 2016 CALIFORNIA BUILDING CODE - VOLUMES 1 & 2
 2016 CALIFORNIA RESIDENTIAL CODE
 2016 CALIFORNIA GREEN BUILDING CODE
 2016 CALIFORNIA MECHANICAL CODE
 2016 CALIFORNIA REFERENCE STANDARDS CODE
 2016 CALIFORNIA PLUMBING CODE
 2016 CALIFORNIA ELECTRIC CODE
 2016 CALIFORNIA FIRE CODE
 2016 CALIFORNIA ENERGY CODE

THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE, I.E. SOILS REPORT, TITLE 24, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.

- ARCHITECTURAL**
- A0.1 COVER SHEET, VICINITY MAP, CONSULTANTS, SHEET INDEX, PROJECT SUMMARY
 - A0.2 SIGHT LINE STUDY
 - A0.3 NEIGHBORHOOD CONTEXT SITE PLAN
 - A0.4 EXISTING SITE PLAN
 - A0.5 PROPOSED SITE PLAN
 - A0.6 AREA CALCULATIONS
 - A2.1.0 PROPOSED BASEMENT FLOOR PLAN
 - A2.1.1 PROPOSED FIRST FLOOR PLAN
 - A2.1.2 PROPOSED SECOND FLOOR PLAN
 - A2.1.3 ROOF PLAN
 - A3.0 PROPOSED FRONT ELEVATION W/ DAYLIGHT PLANE
 - A3.1 PROPOSED FRONT & REAR ELEVATIONS
 - A3.2 PROPOSED LEFT & RIGHT SIDE ELEVATIONS
 - A4.1 PROPOSED SECTION
 - A5.0 COLOR AND MATERIAL BOARD
- CIVIL SURVEY**
- SU-1 TOPOGRAPHIC SURVEY PLAN
- CIVIL**
- C0-C3 GRADING AND DRAINAGE
- LANDSCAPE**
- L1, L2 LANDSCAPE

SHEET INDEX

APN#: 167 - 32 - 019
OWNER: MARLO & SCOTT KOHN
PROJECT ADDRESS: 255 YERBA BUENA PLACE, LOS ALTOS, CA 94022

BUILDING OCCUPANCY: R-1
TYPE OF CONSTRUCTION: V-B
ZONING: R-1-10
LOT SIZE: 15,400 sf (0.35 ACRES)
HISTORIC STATUS: NO
FLOOD ZONE: NO
STORIES: 2
FIRE SPRINKLERS: YES
ALLOWABLE LOT COVERAGE: 4,620 sf (30% OF 15,400)
ALLOWABLE F.A.R.: 4,290 sf [3850 + 10%(15,400 - 11,000)]

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	3,230.91 square feet (20.97%)	4,101.8 square feet (26.66%)	4,620 square feet (30.0%)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 3,230.91 sq ft 2nd Flr. _____ sq ft Total: 3,230.91 sq ft (20.98%)	1st Flr. 2,906.1 sq ft 2nd Flr. 1,378.9 sq ft Total: 4,285.0 sq ft (27.82%)	4,290 square feet (27.85%)
SETBACKS:			
Front	22.56 feet	25 feet	25 feet
Rear	25 feet	23.26 feet	23.25 feet
Right side (1 st /2 nd)	13.25 feet/____feet	17.5 feet/17.5 feet	10 feet/17.5 feet
Left side (1 st /2 nd)	23.6 feet/____feet	40.16 feet/72 feet	10 feet/17.5 feet
HEIGHT:	16 feet	25.16 feet	27 feet

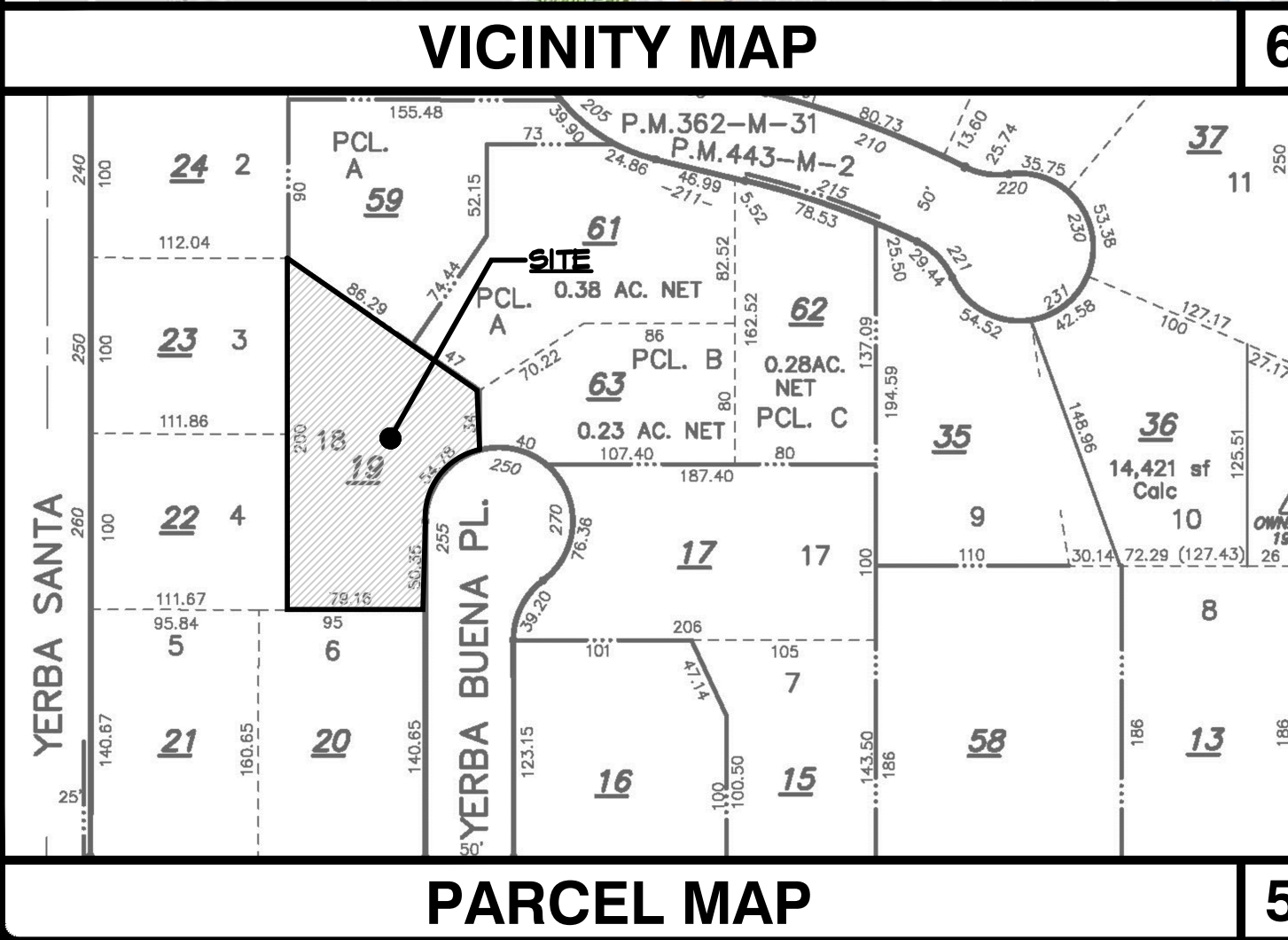
SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes basetank basement areas</i>	2,661.0 square feet	3,290.4 square feet	5,951.4 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	569.89 square feet	47.01 square feet	616.9 square feet

LOT CALCULATIONS

NET LOT AREA:	15,400.0 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	1,303.81 square feet (41.8%) <small>Includes Conc. Driveway, Concrete Walkway, D.O. path.</small>
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 3,655.0 sq ft Existing softscape (undisturbed) area: 8,356.0 sq ft New softscape area: 3,389.0 sq ft <i>Sum of all three should equal the site's net lot area</i>

SEE SHEET A0.6 FOR DETAILED AREA CALCULATIONS AND REAR YARD SETBACK CALCULATIONS



6

5

4

3

2

1

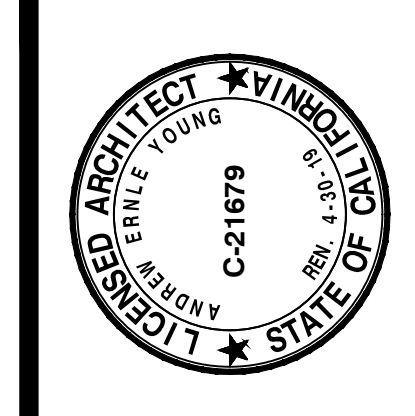
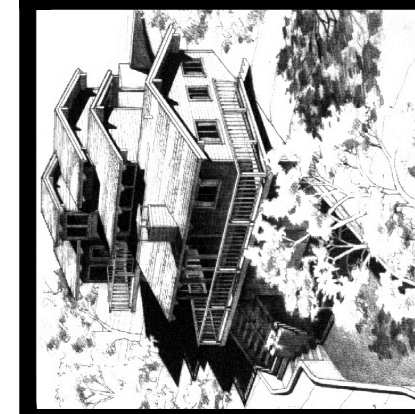
CONSULTANTS

PROPERTY DATA

PROJECT SUMMARY

ISSUE LOG	
CLIENT REVISION	NOV 27, 2017
DESIGN REVIEW SUBMITTAL	FEB 13, 2018
DESIGN REVIEW REV.	MAR 20, 2018

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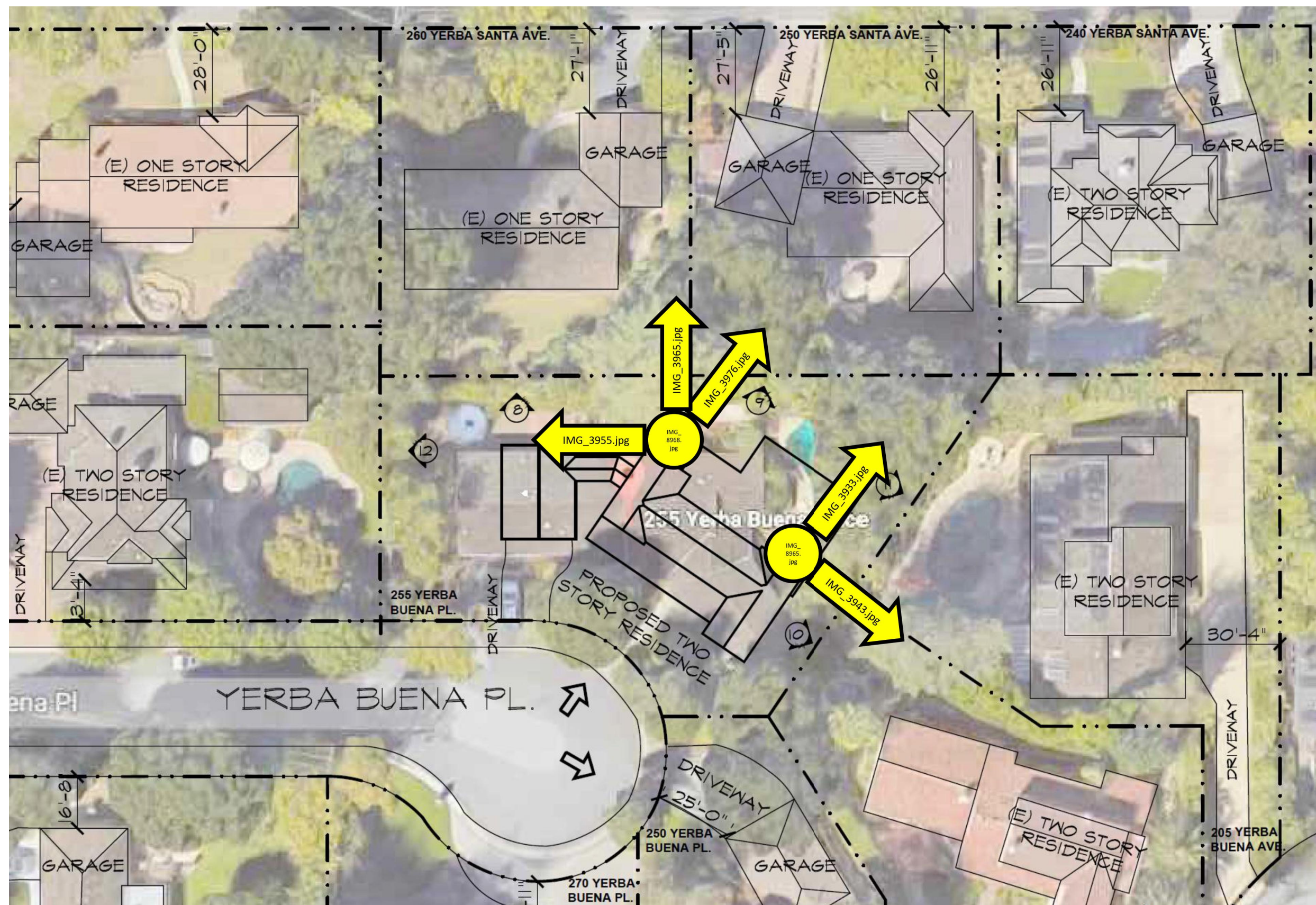
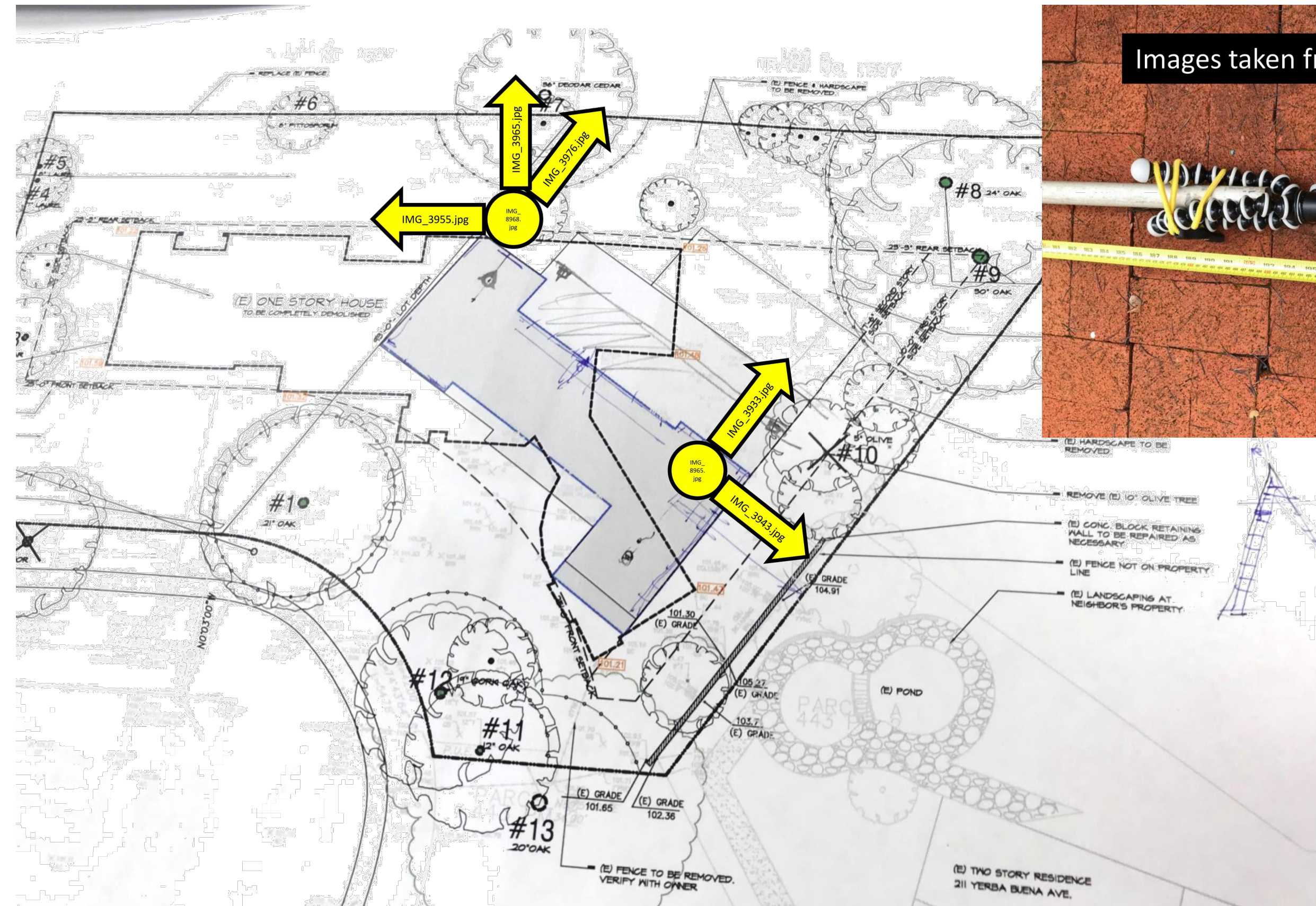


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 LOS ALTOS, CA 94022

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 DATE **SEP. 08. 2017**
 JOB # **KOHN**

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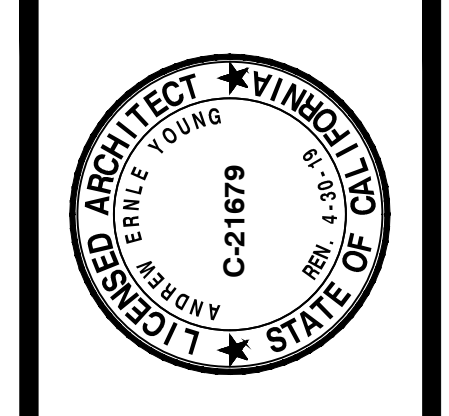
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SIGHT LINE STUDY FROM REAR WINDOWS

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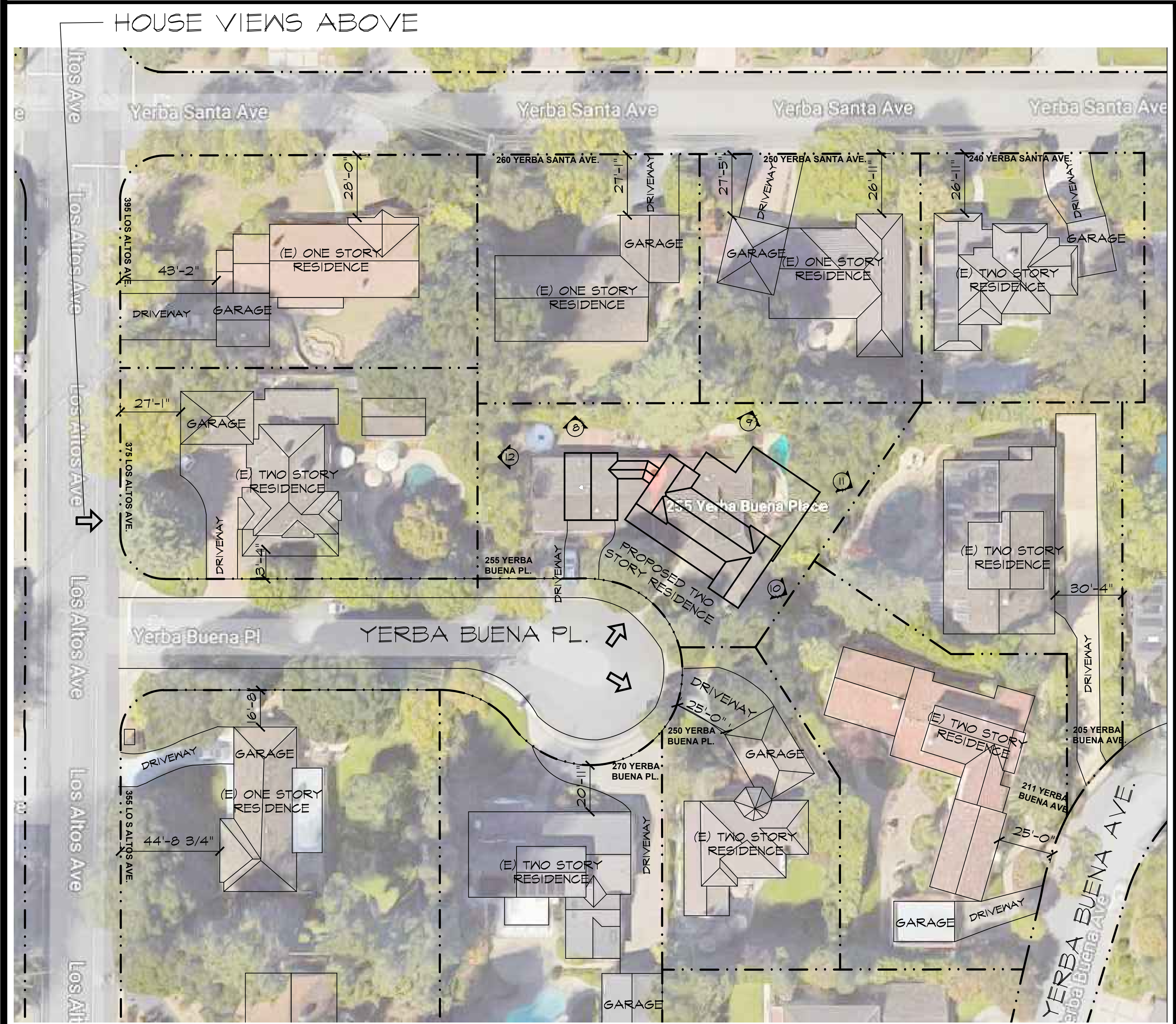
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CONTEXTUAL NEIGHBORHOOD FRONT ELEVATIONS

3/32" = 1'-0" **3**



NEIGHBORHOOD CONTEXT - SITE PLAN

1/32" = 1'-0" **2**



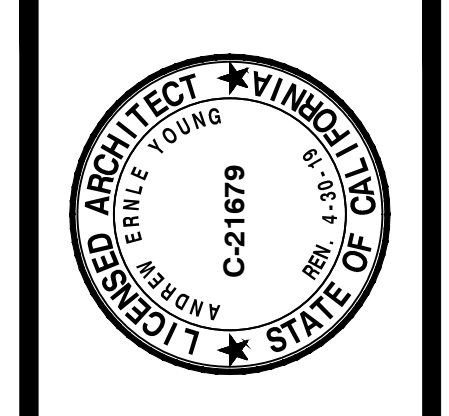
NEIGHBORHOOD PHOTOS

1

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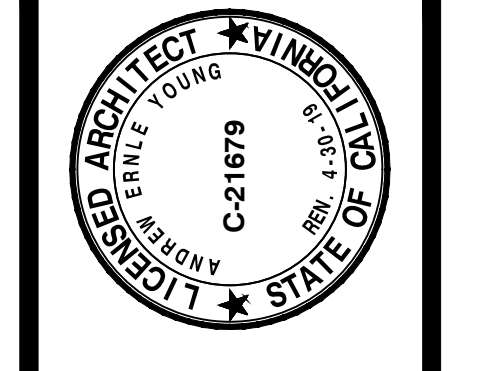
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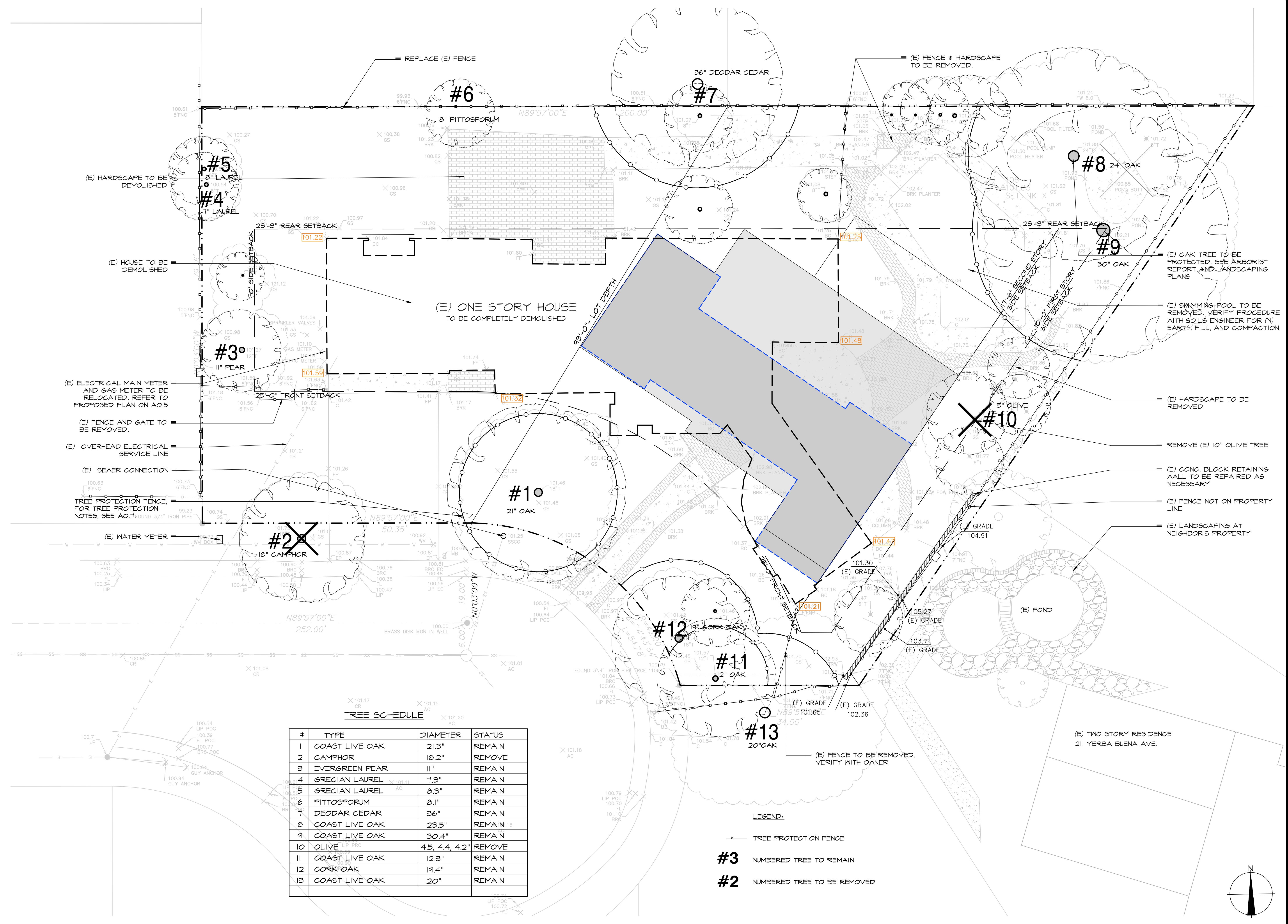
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TREE SCHEDULE

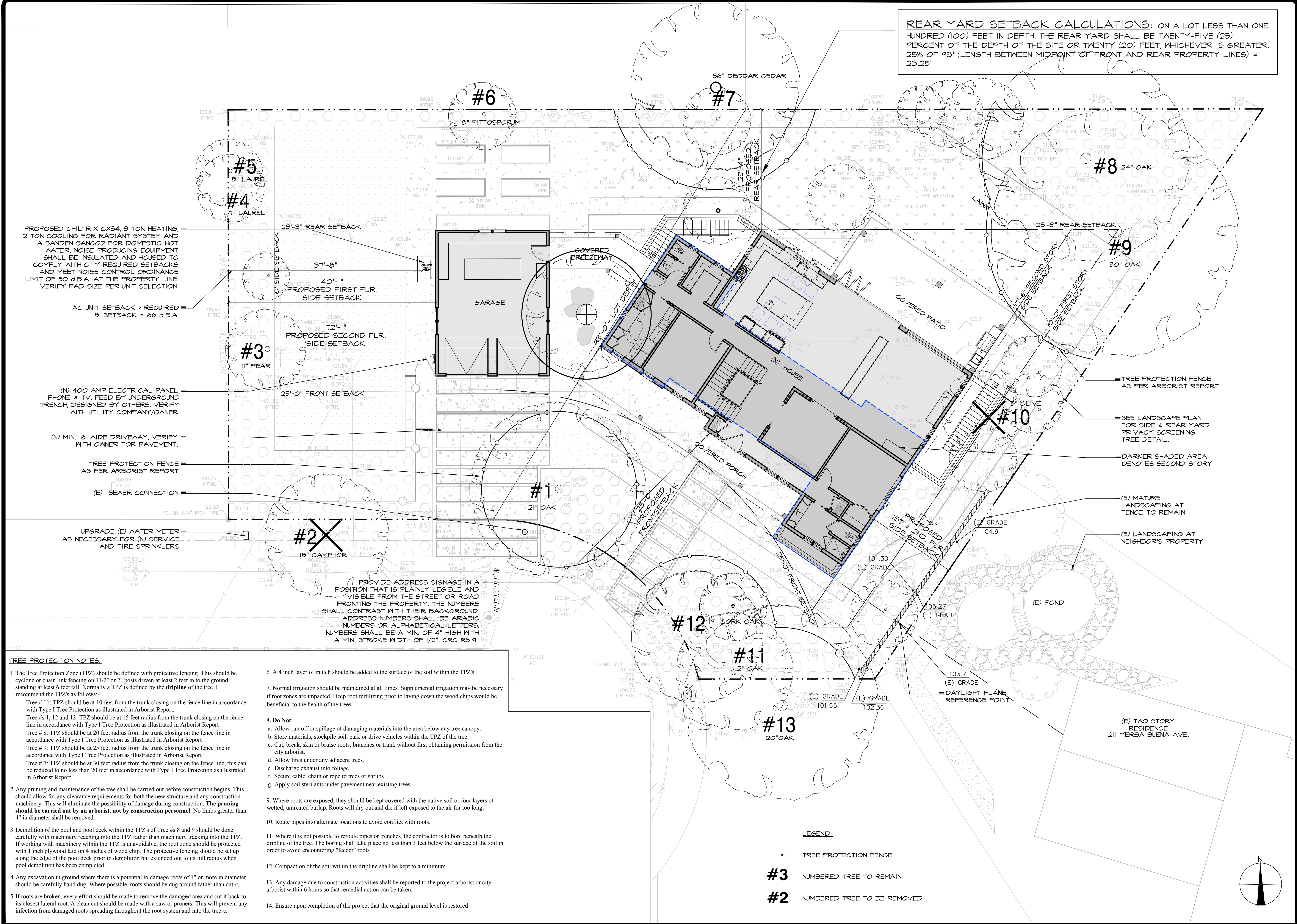
#	TYPE	DIAMETER	STATUS
1	COAST LIVE OAK	21.3"	REMAIN
2	CAMPHOR	18.2"	REMOVE
3	EVERGREEN PEAR	11"	REMAIN
4	GREGIAN LAUREL	7.3"	REMAIN
5	GREGIAN LAUREL	8.3"	REMAIN
6	PITTOSPORUM	8.1"	REMAIN
7	DEODAR CEDAR	36"	REMAIN
8	COAST LIVE OAK	23.5"	REMAIN
9	COAST LIVE OAK	30.4"	REMAIN
10	OLIVE	4.5, 4.4, 4.2"	REMOVE
11	COAST LIVE OAK	12.3"	REMAIN
12	CORK OAK	19.4"	REMAIN
13	COAST LIVE OAK	20"	REMAIN

EXISTING SITE PLAN

1/8" = 1'-0" 1

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REAR YARD SETBACK CALCULATIONS: ON A LOT LESS THAN ONE HUNDRED (100) FEET IN DEPTH, THE REAR YARD SHALL BE TWENTY-FIVE (25) PERCENT OF THE DEPTH OF THE SITE OR TWENTY (20) FEET, WHICHEVER IS GREATER. 25% OF 43' (LENGTH BETWEEN MIDPOINT OF FRONT AND REAR PROPERTY LINES) = 23.25'



PROPOSED CHILTRIX CX34, 3 TON HEATING, 2 TON COOLING FOR RADIANT SYSTEM AND A SANDEN SANC02 FOR DOMESTIC HOT WATER. NOISE PRODUCING EQUIPMENT SHALL BE INSULATED AND HOUSED TO COMPLY WITH CITY REQUIRED SETBACKS AND MEET NOISE CONTROL ORDINANCE LIMIT OF 50 d.B.A. AT THE PROPERTY LINE. VERIFY PAD SIZE PER UNIT SELECTION.

AC UNIT SETBACK > REQUIRED 8' SETBACK = 66 d.B.A.

(N) 400 AMP ELECTRICAL PANEL, PHONE & TV, FEED BY UNDERGROUND TRENCH, DESIGNED BY OTHERS, VERIFY WITH UTILITY COMPANY/OWNER.

(N) MIN. 16' WIDE DRIVEWAY, VERIFY WITH OWNER FOR PAVEMENT.

TREE PROTECTION FENCE AS PER ARBORIST REPORT

(E) SEWER CONNECTION

UPGRADE (E) WATER METER AS NECESSARY FOR (N) SERVICE AND FIRE SPRINKLERS

PROVIDE ADDRESS SIGNAGE IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MIN. OF 4" HIGH WITH A MIN. STROKE WIDTH OF 1/2", CRC R319.1

TREE PROTECTION NOTES:

- The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 11/2" or 2" posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the **dripline** of the tree. I recommend the TPZ's as follows:
 Tree # 11: TPZ should be at 10 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as illustrated in Arborist Report
 Tree #s 1, 12 and 13: TPZ should be at 15 feet radius from the trunk closing on the fence line in accordance with Type I Tree Protection as illustrated in Arborist Report
 Tree # 8: TPZ should be at 20 feet radius from the trunk closing on the fence line in accordance with Type I Tree Protection as illustrated in Arborist Report
 Tree # 9: TPZ should be at 25 feet radius from the trunk closing on the fence line in accordance with Type I Tree Protection as illustrated in Arborist Report
 Tree # 7: TPZ should be at 30 feet radius from the trunk closing on the fence line, this can be reduced to no less than 20 feet in accordance with Type I Tree Protection as illustrated in Arborist Report
- Any pruning and maintenance of the tree shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.
- Demolition of the pool and pool deck within the TPZ's of Tree #s 8 and 9 should be done carefully with machinery reaching into the TPZ rather than machinery tracking into the TPZ. If working with machinery within the TPZ is unavoidable, the root zone should be protected with 1 inch plywood laid on 4 inches of wood chip. The protective fencing should be set up along the edge of the pool deck prior to demolition but extended out to its full radius when pool demolition has been completed.
- Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.(2)
- If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.(2)

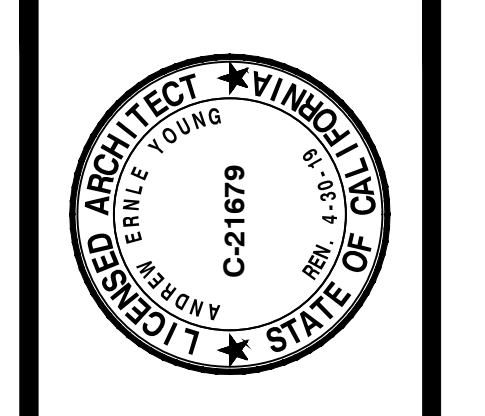
- A 4 inch layer of mulch should be added to the surface of the soil within the TPZ's
- Normal irrigation should be maintained at all times. Supplemental irrigation may be necessary if root zones are impacted. Deep root fertilizing prior to laying down the wood chips would be beneficial to the health of the trees.
- Do Not:**
 - Allow run off or spillage of damaging materials into the area below any tree canopy.
 - Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
 - Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
 - Allow fires under any adjacent trees.
 - Discharge exhaust into foliage.
 - Secure cable, chain or rope to trees or shrubs.
 - Apply soil sterilants under pavement near existing trees.
- Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long.
- Route pipes into alternate locations to avoid conflict with roots.
- Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering "feeder" roots.
- Compaction of the soil within the dripline shall be kept to a minimum.
- Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.
- Ensure upon completion of the project that the original ground level is restored

LEGEND:

- TREE PROTECTION FENCE
- #3** NUMBERED TREE TO REMAIN
- #2** NUMBERED TREE TO BE REMOVED

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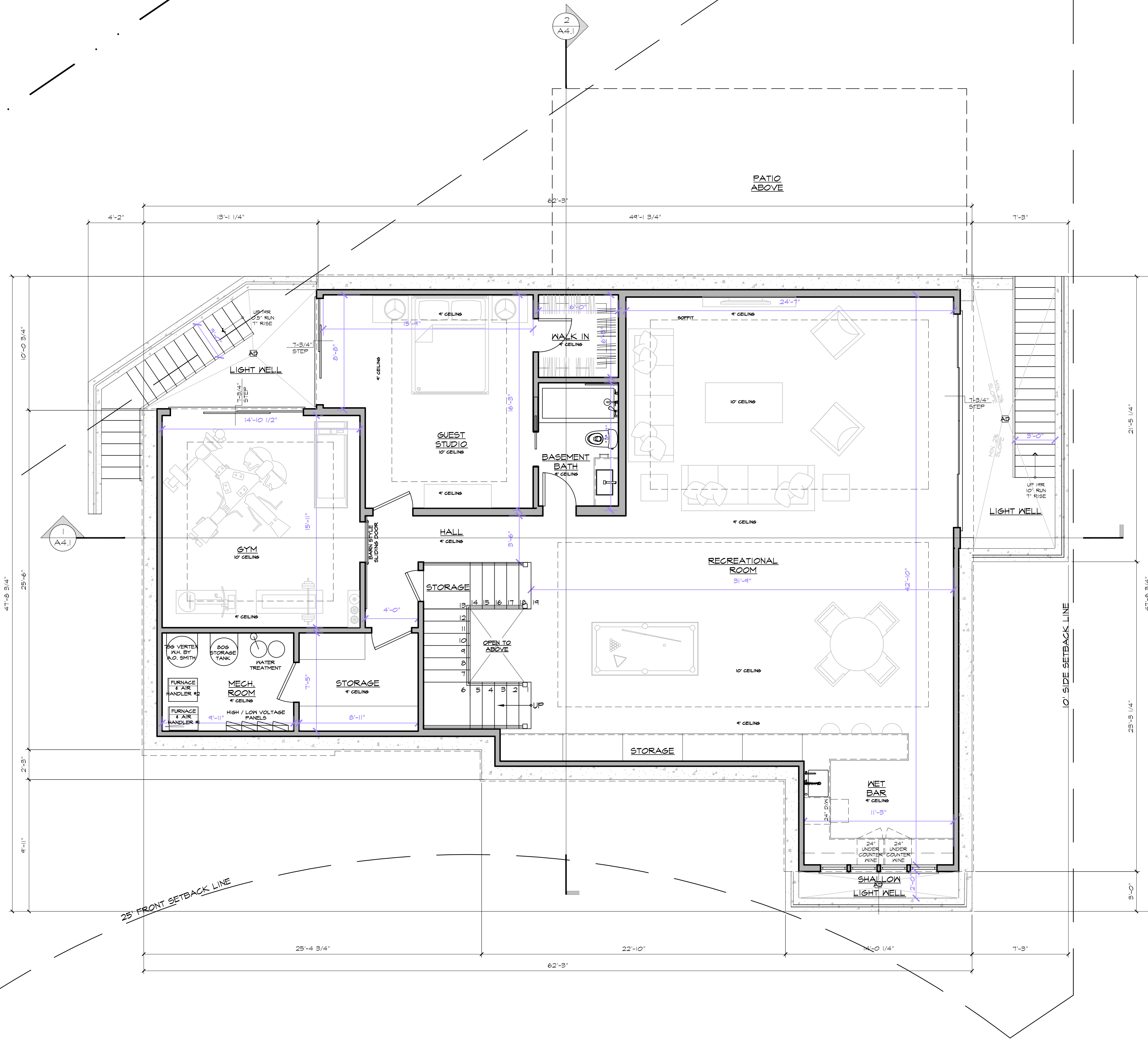
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A0.5

PROPOSED SITE PLAN

1/8" = 1'-0" **1**

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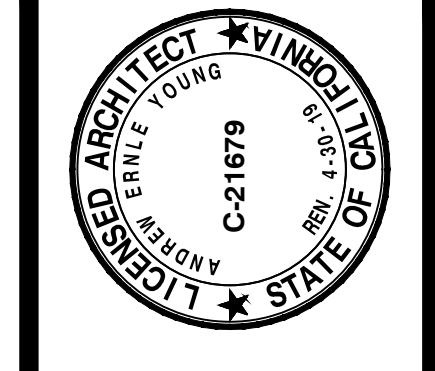
PROPOSED BASEMENT FLOOR PLAN

1/4" = 1'-0"

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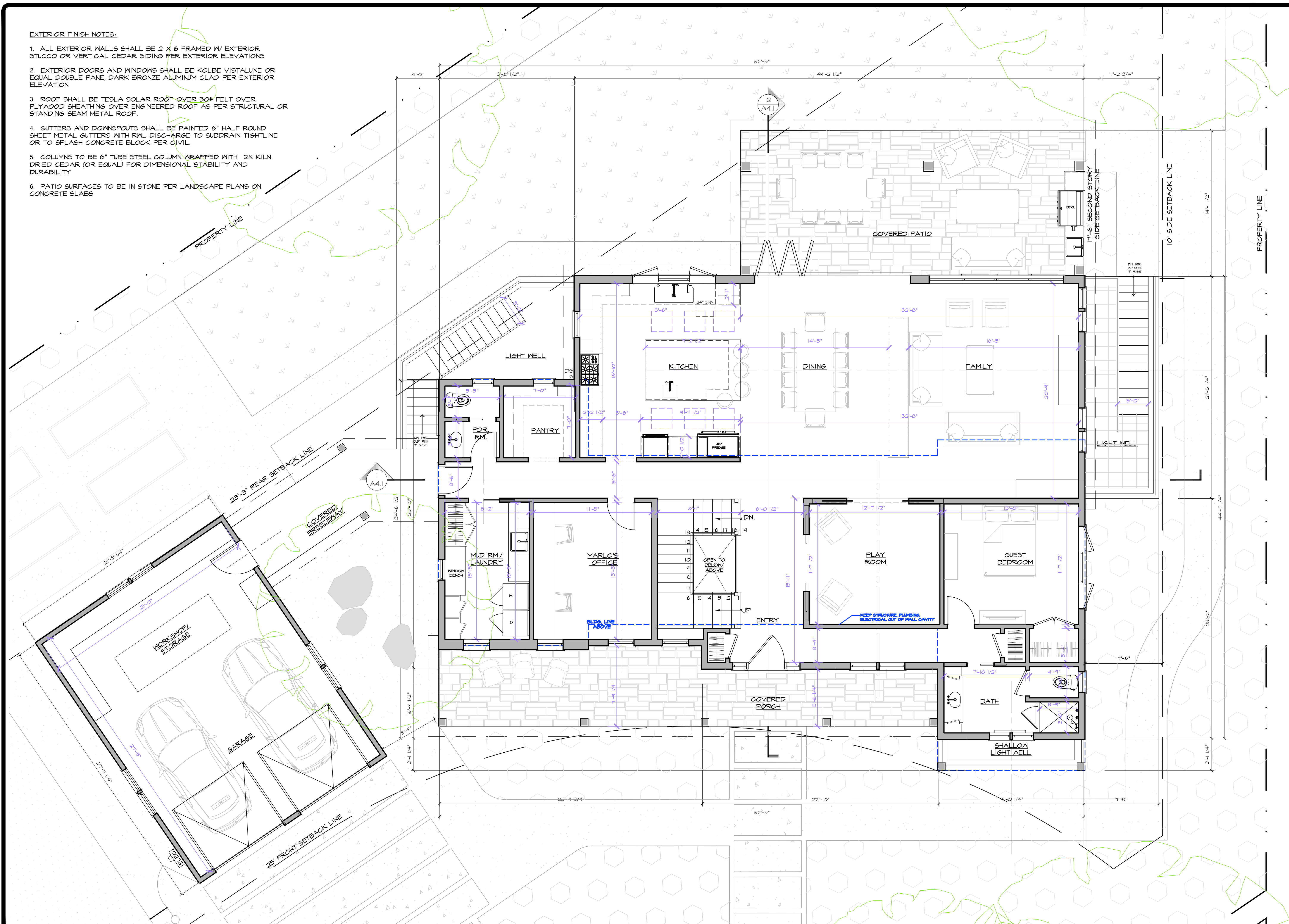
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EXTERIOR FINISH NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2 X 6 FRAMED W/ EXTERIOR STUCCO OR VERTICAL CEDAR SIDING PER EXTERIOR ELEVATIONS
2. EXTERIOR DOORS AND WINDOWS SHALL BE KOLBE VISTALUXE OR EQUAL DOUBLE PANE, DARK BRONZE ALUMINUM CLAD PER EXTERIOR ELEVATION
3. ROOF SHALL BE TESLA SOLAR ROOF OVER 30# FELT OVER PLYWOOD SHEATHING OVER ENGINEERED ROOF AS PER STRUCTURAL OR STANDING SEAM METAL ROOF.
4. GUTTERS AND DOWNSPOUTS SHALL BE PAINTED 6" HALF ROUND SHEET METAL GUTTERS WITH RAIL DISCHARGE TO SUBDRAIN TIGHTLINE OR TO SPLASH CONCRETE BLOCK PER CIVIL.
5. COLUMNS TO BE 6" TUBE STEEL COLUMN WRAPPED WITH 2X KILN DRIED CEDAR (OR EQUAL) FOR DIMENSIONAL STABILITY AND DURABILITY
6. PATIO SURFACES TO BE IN STONE PER LANDSCAPE PLANS ON CONCRETE SLABS

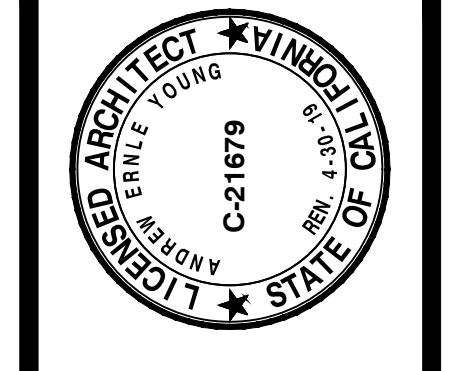


PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0" 1

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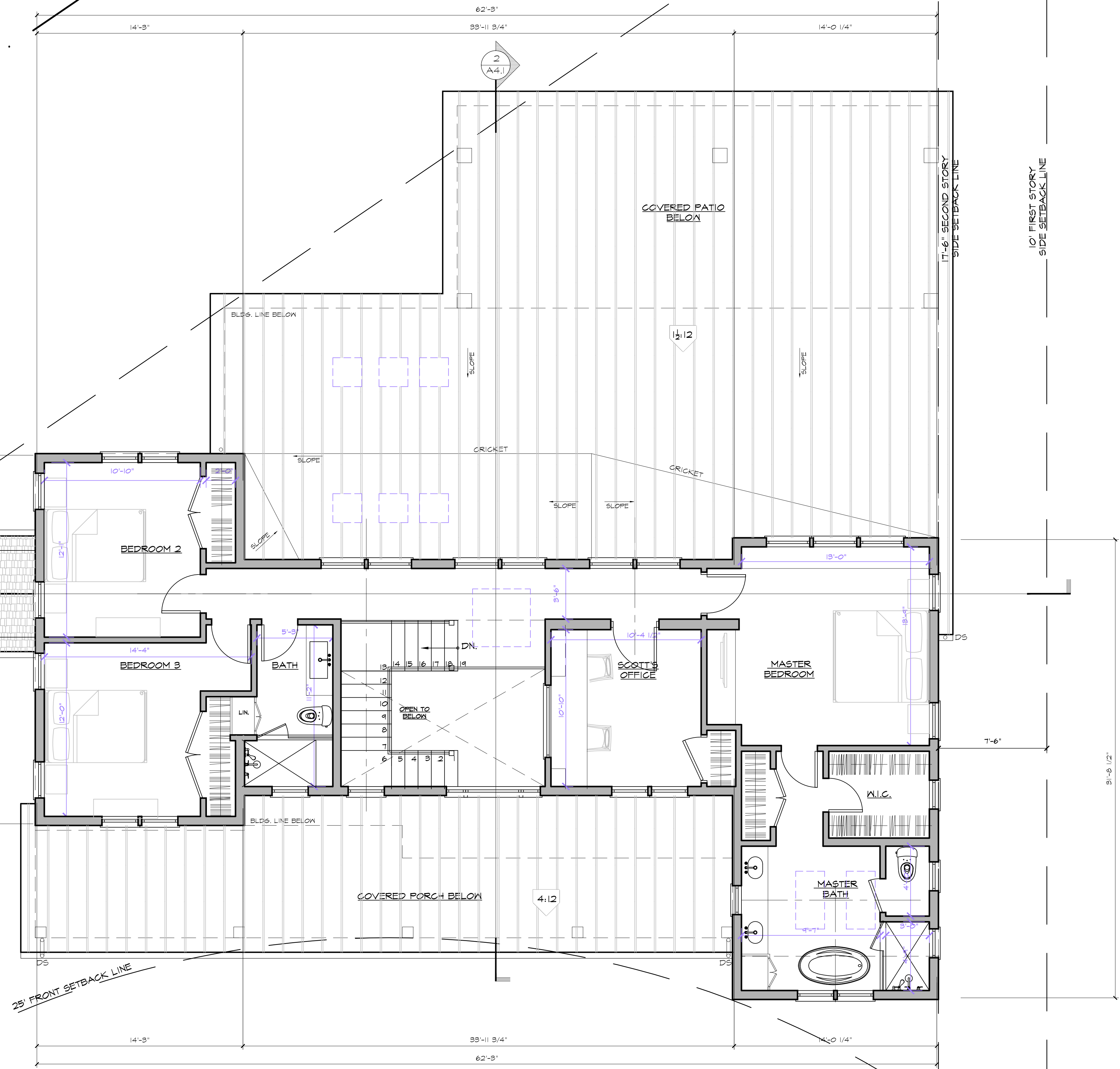
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3. ROOF SHALL BE TESLA SOLAR ROOF OVER 30# FELT OVER PLYWOOD SHEATHING OVER ENGINEERED ROOF AS PER STRUCTURAL OR STANDING SEAM METAL ROOF.
4. GUTTERS AND DOWNSPOUTS SHALL BE PAINTED 6" HALF ROUND SHEET METAL GUTTERS WITH RAL DISCHARGE TO SUBDRAIN TIGHTLINE OR TO SPLASH CONCRETE BLOCK PER CIVIL.
5. COLUMNS TO BE 6" TUBE STEEL COLUMN WRAPPED WITH 2X KILN DRIED CEDAR (OR EQUAL) FOR DIMENSIONAL STABILITY AND DURABILITY
6. PATIO SURFACES TO BE IN STONE PER LANDSCAPE PLANS ON CONCRETE SLABS



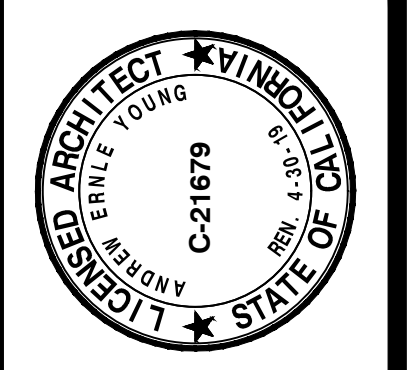
PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0"

1

ISSUE LOG	
CLIENT REVISION	NOV 27, 2017
DESIGN REVIEW SUBMITTAL	FEB 13, 2018
1 DESIGN REVIEW REV	MAR 20, 2018

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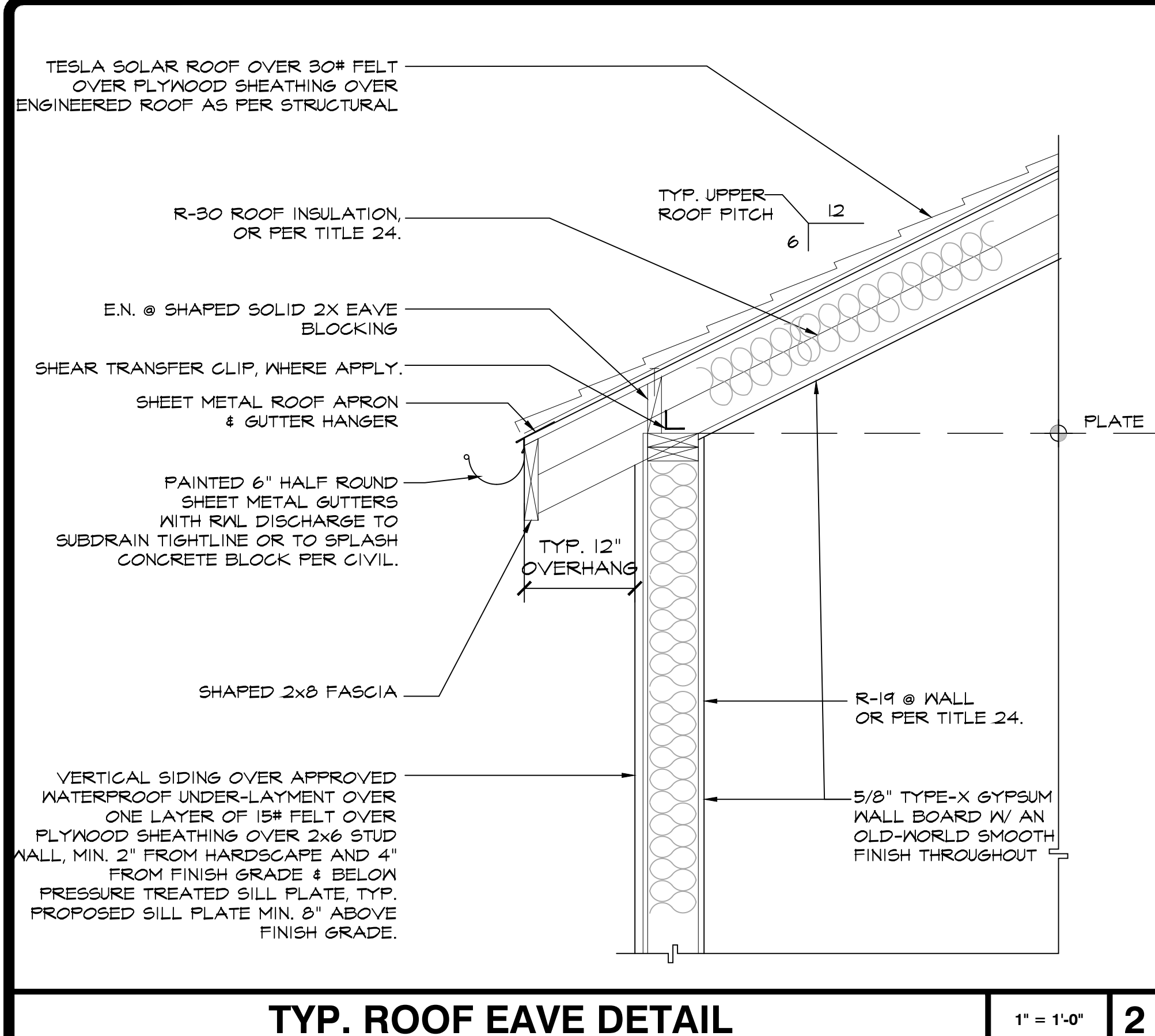


NEW RESIDENCE FOR:
MARLO AND SCOTT KOHN
 255 YERBA BUENA PLACE
 LOS ALTOS, CA 94022

A.P.N. 167-32-019	
CHECKED AEY	DRAWN AS, JT
DATE SEP. 08. 2017	
JOB # KOHN	

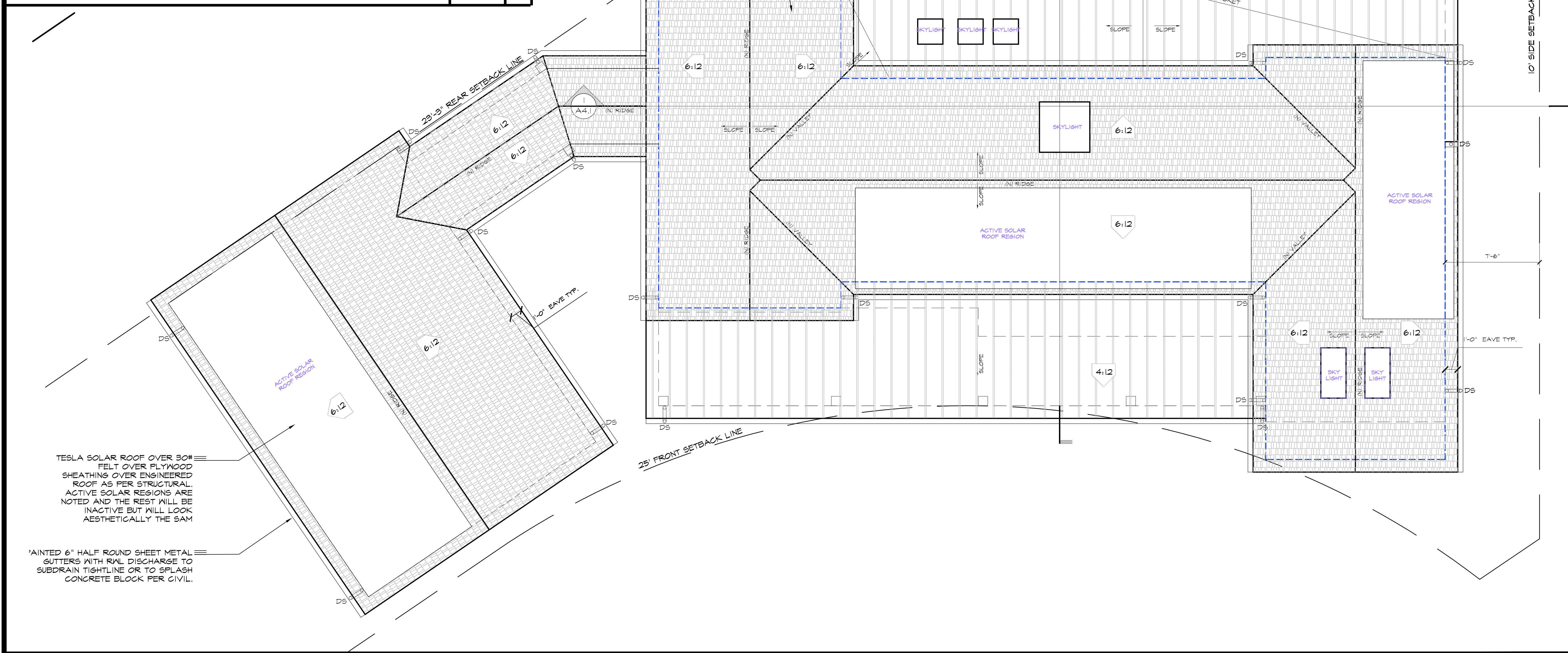
A2.1.2

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TYP. ROOF EAVE DETAIL

1" = 1'-0" 2

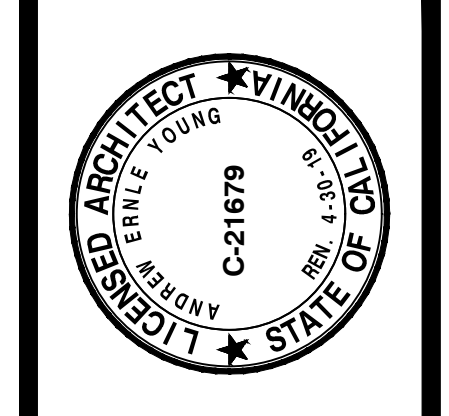


PROPOSED ROOF PLAN

1/4" = 1'-0" 1

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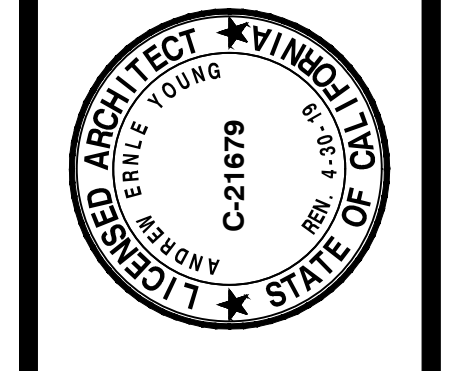
A.P.N. 167-32-019	
CHECKED AEY	DRAWN AS, JT
DATE SEP. 08, 2017	
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A2.1.3

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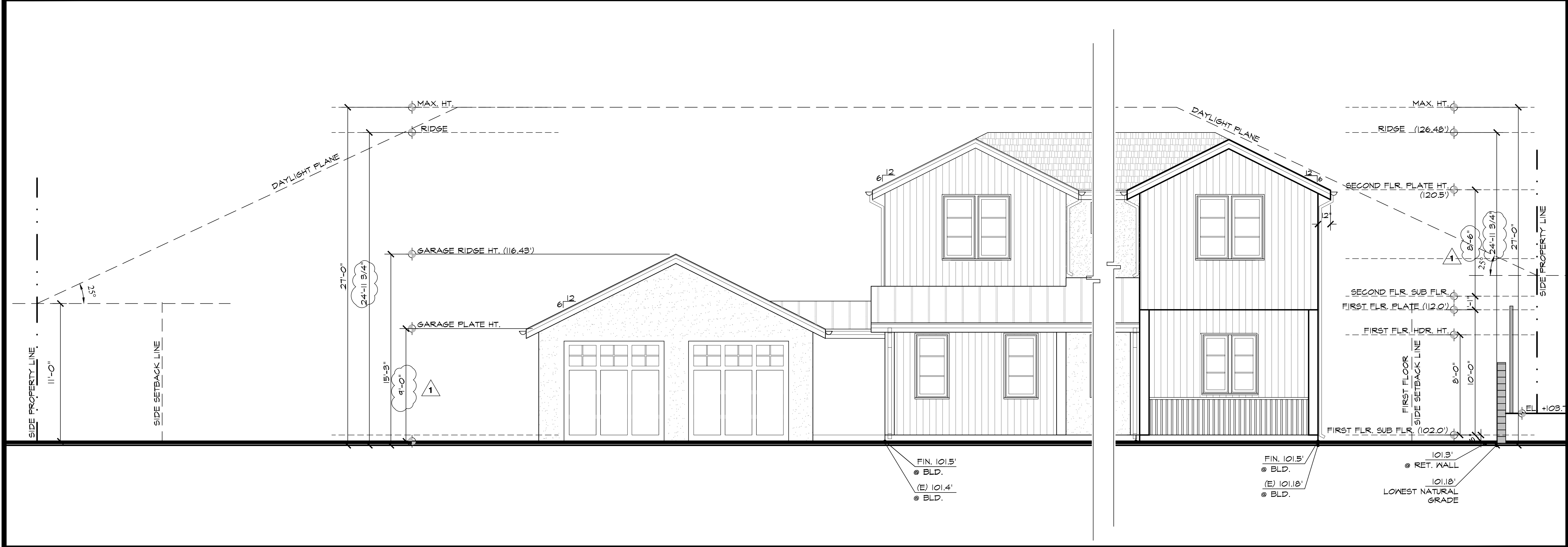
A.P.N. 167-32-019	
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DATE SEP. 08. 2017	
JOB # KOHN	

A3.0



PROPOSED FRONT ELEVATION WITH DAYLIGHT PLANE (reduced scale to fit property lines)

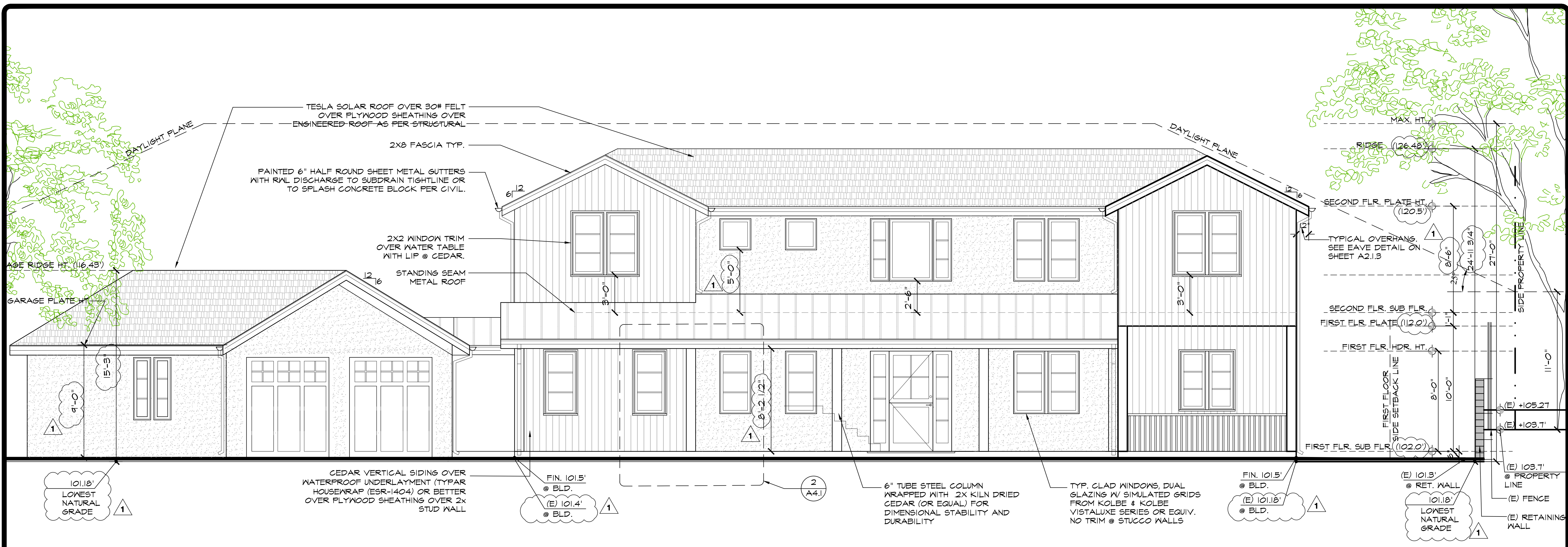
3/16" = 1'-0" **2**



PROPOSED PARTIAL FRONT ELEVATIONS WITH DAYLIGHT PLANE

1/4" = 1'-0" **1**

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PROPOSED FRONT ELEVATION

1/4" = 1'-0" **2**

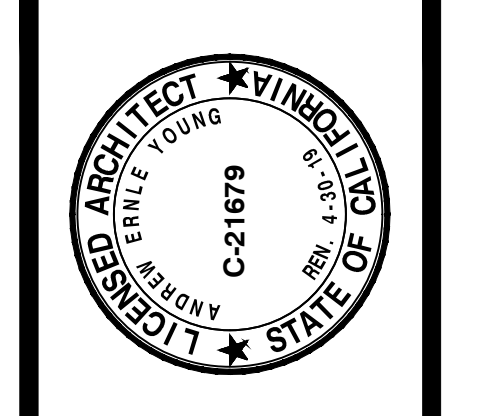


PROPOSED REAR ELEVATION

1/4" = 1'-0" **1**

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A3.1

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PROPOSED LEFT SIDE ELEVATION

1/4" = 1'-0" 2

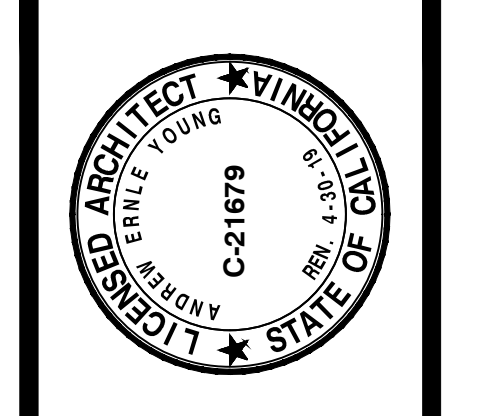


PROPOSED RIGHT SIDE ELEVATION

1/4" = 1'-0" 1

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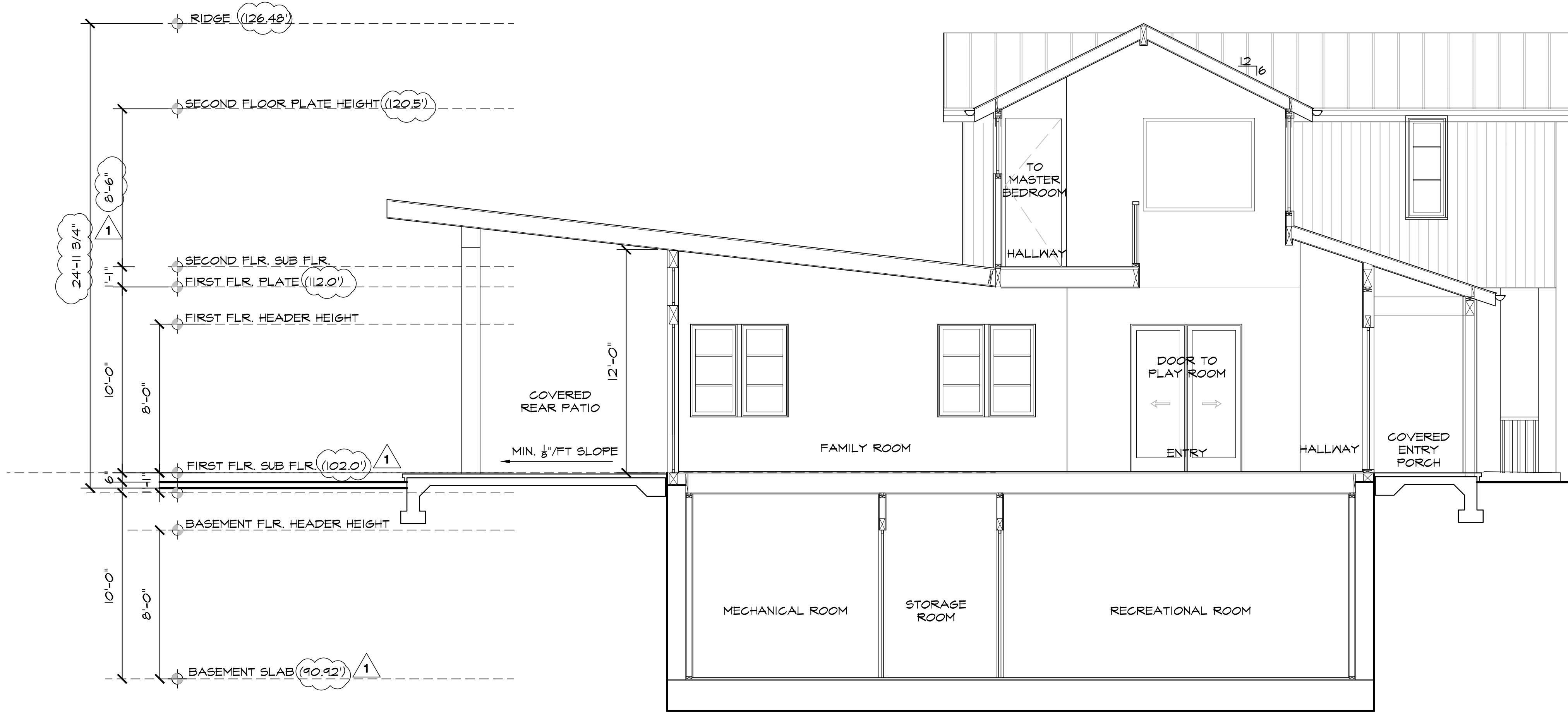


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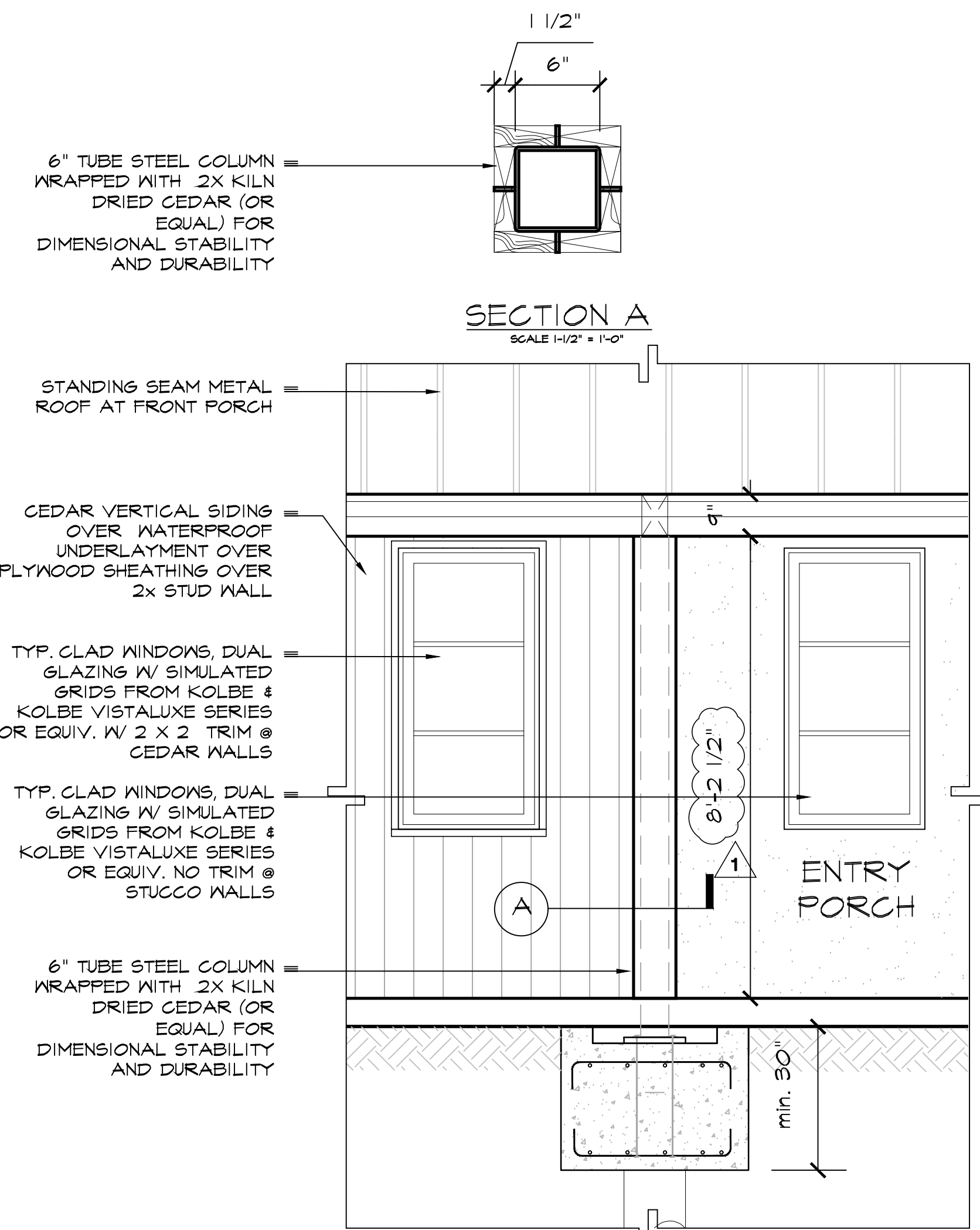
A3.2

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SECTION THROUGH FAMILY ROOM

1/4" = 1'-0" 3



ENTRY COLUMN DETAIL

1/2" = 1'-0" 2

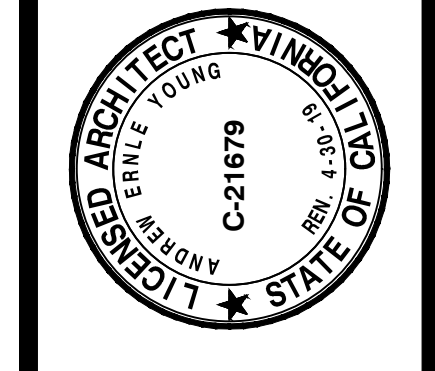


SECTION THROUGH HALLWAY

1/4" = 1'-0" 1

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A4.1

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2 EXISTING HOUSE



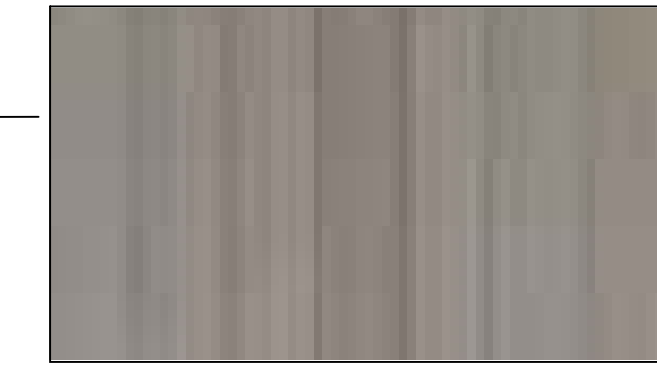
1 PROPOSED HOUSE RENDERING (FOR REFERENCE ONLY)



TESLA SOLAR ROOF- TEXTURED



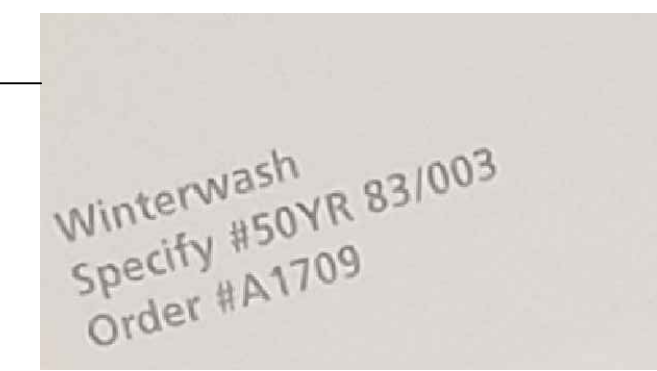
STANDING SEAM METAL ROOF



VERTICAL CEDAR SIDING AND TRIM



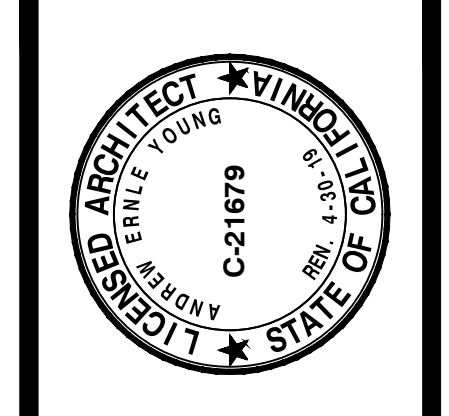
DOORS/WINDOWS: KOLBE VISTALUXE IN DARK BRONZE



EXTERIOR STUCCO COLOR: GLIDDEN WINTERWASH A1709

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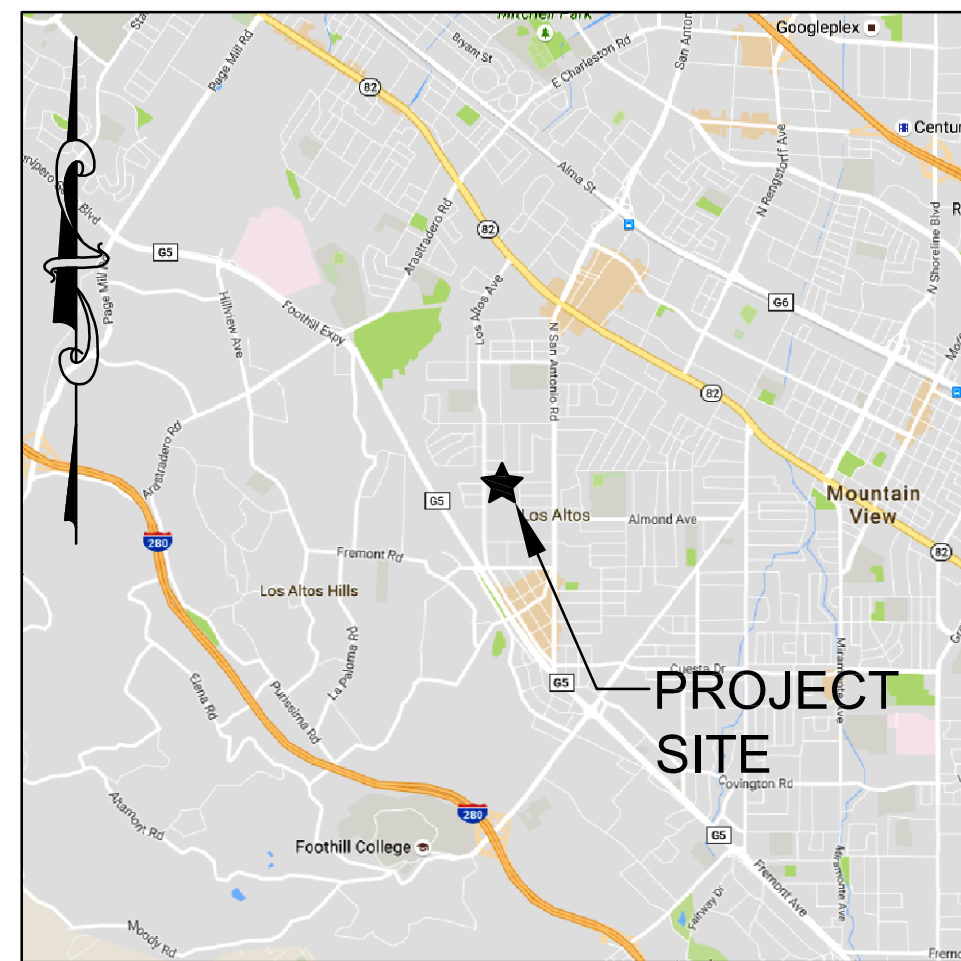
A5.0

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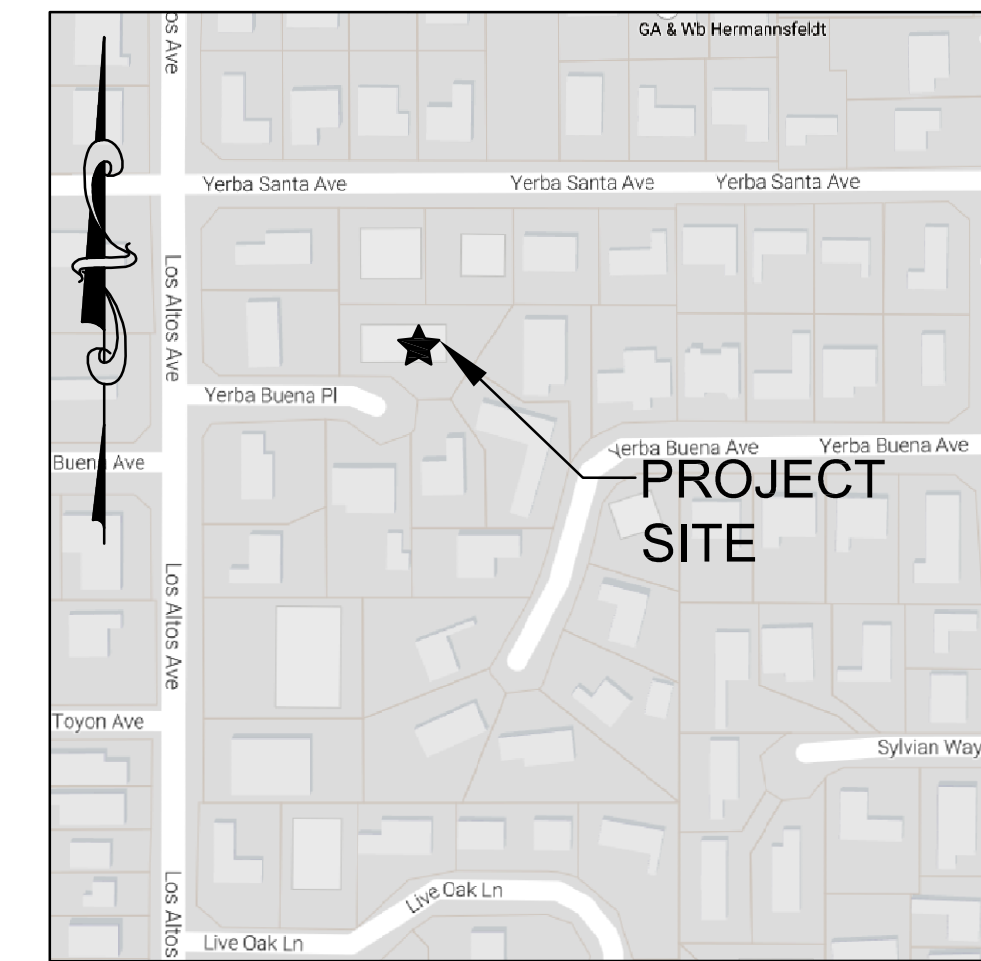
KOHN RESIDENCE

255 YERBA BUENA ROAD

LOS ALTOS CA 94022



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

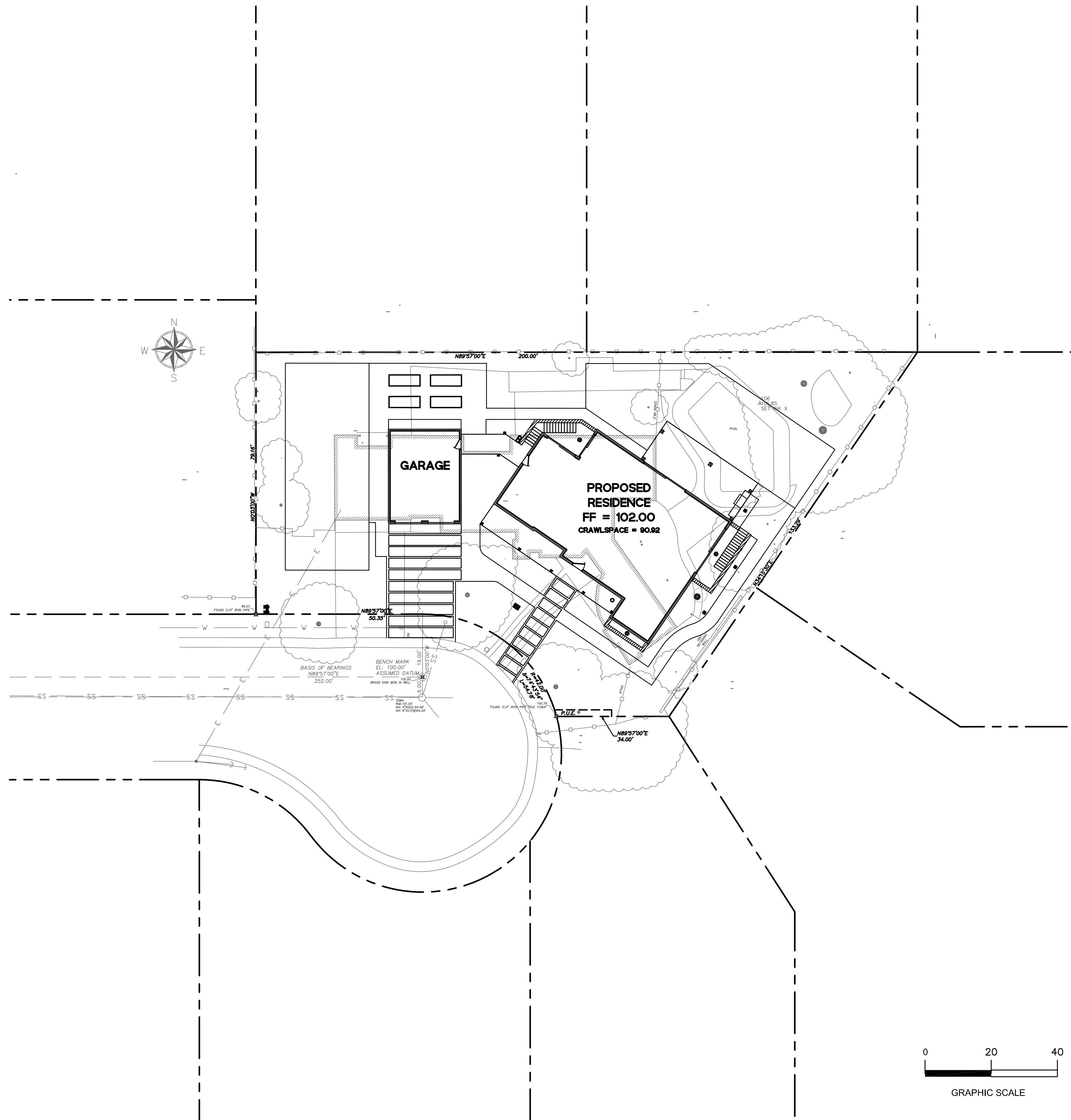
ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFP	BACK FLOW PREVENTION DEVICE
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DG	DECOMPOSED GRANITE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DWY	DRIVEWAY
(E)	EXISTING
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HW	HEATED WATER LINE
INV	PIPE INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PV	POST INDICATOR VALVE
POC	POINT OF CONNECTION
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER

EXISTING	PROPOSED	LEGEND
SS	SS	SANITARY SEWER
SD	SD	STORM DRAIN
	SD	STORM SUB-DRAIN (PERFORATED PIPE)
	---	TRANSITION FROM PERF. PIPE TO SOLID PIPE
FM	FM	FORCE MAIN
FW	FW	FIRE WATER LINE
W	W	DOMESTIC WATER SERVICE
IRR	IRR	IRRIGATION SERVICE
G	G	NATURAL GAS
E	E	ELECTRIC
JT	JT	JOINT TRENCH
X	X	FENCE
O	O	CLEAN OUT
	⊙	DOUBLE DETECTOR CHECK VALVE
	⊙	POST INDICATOR VALVE
	⊙	VALVE
	⊙	METER BOX
	⊙	STREET LIGHT
	⊙	AREA DRAIN
	⊙	CATCH BASIN
	⊙	FIRE HYDRANT
	⊙	FIRE DEPARTMENT CONNECTION
	⊙	BENCHMARK
	⊙	MANHOLE
	⊙	SIGN
	⊙	DOWNSPOUT
	⊙	SPLASH BLOCK
	⊙	CONTOURS
	---	PROPERTY LINE
	---	SETBACK

SHEET INDEX

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-2	GRADING PLAN
C-3	UTILITY PLAN



EARTHWORK QUANTITIES

CUT	1,020 C.Y.
FILL	300 C.Y.
TOTAL TO BE MOVED	1,320 C.Y.
BALANCE	720 C.Y. CUT (OFF-HAUL)

EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.

PRECISION ENGINEERING AND CONSTRUCTION, INC.
901 Waterlute Street
Belmont, CA 94002
Tel: 650.258.8649
Fax: 650.432.1859
Travis@Precision-EC.com

REVISIONS:
DATE:



TITLE SHEET
KOHN RESIDENCE
255 YERBA BUENA ROAD
LOS ALTOS, CA 94022

Date: **02/12/2018**

Scale: **AS SHOWN**

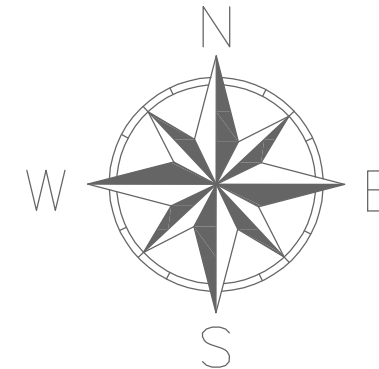
Design: **AJP**

Check: **TRL**

Drawing Number: **C-0**

PEC Job No. **PEC 16-096.10**

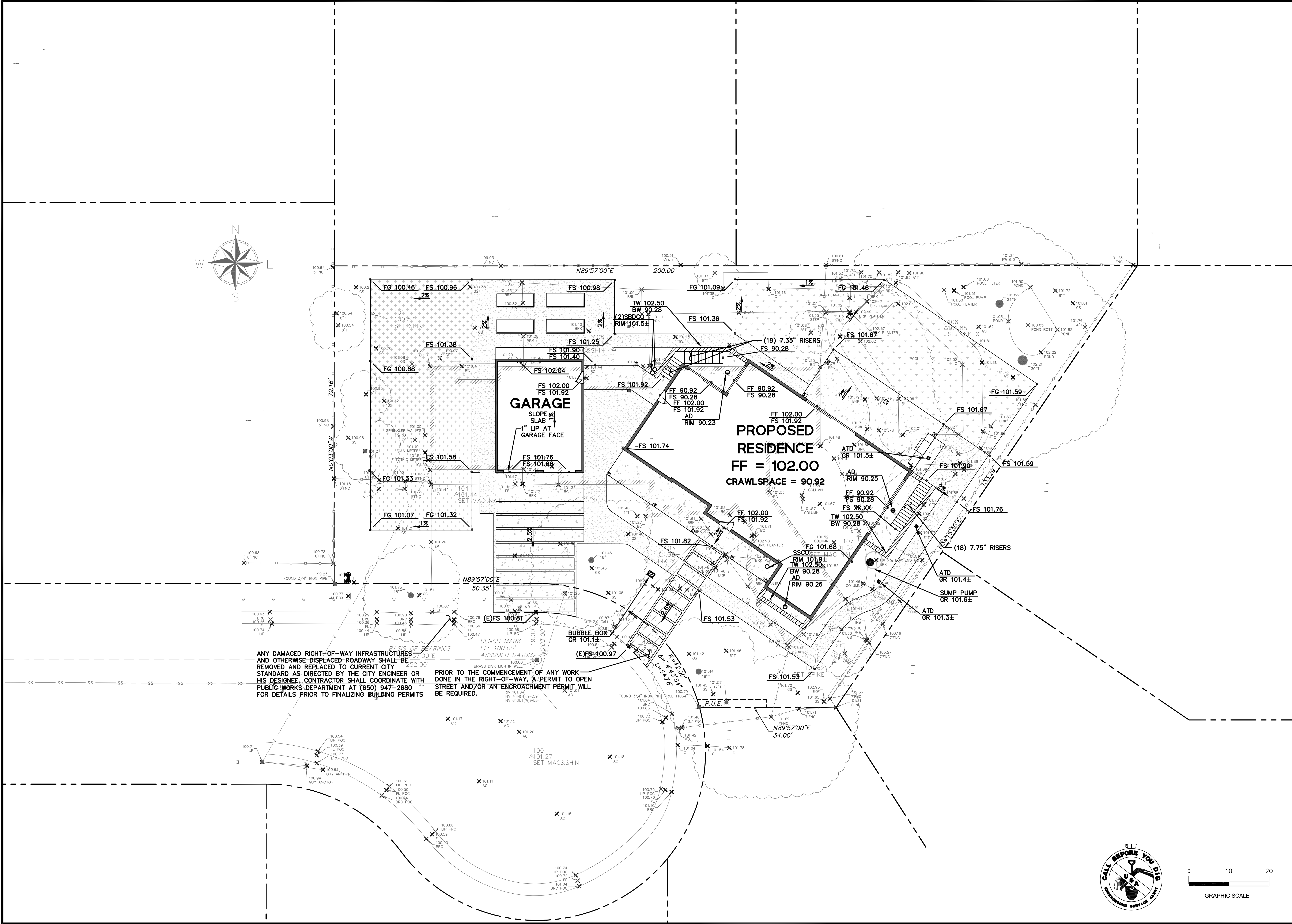




ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED ROADWAY SHALL BE REMOVED AND REPLACED TO CURRENT CITY STANDARD AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2680 FOR DETAILS PRIOR TO FINALIZING BUILDING PERMITS

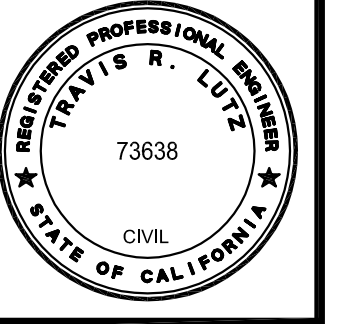
PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

DATE: 02/12/2018
 SCALE: 1" = 10'
 DESIGN: AJP
 CHECK: TRL
 DRAWING NUMBER: C-2
 PEC JOB NO.: PEC 16-096.10



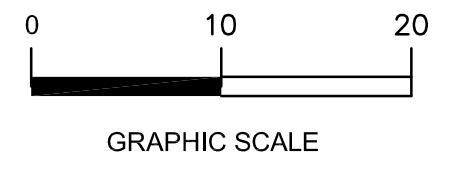
PRECISION ENGINEERING AND CONSTRUCTION, INC.
 901 Waterline Street
 Belmont, CA 94002
 F: 650.258.8649
 E: 650.432.1659
 Travis@Precision-EC.com

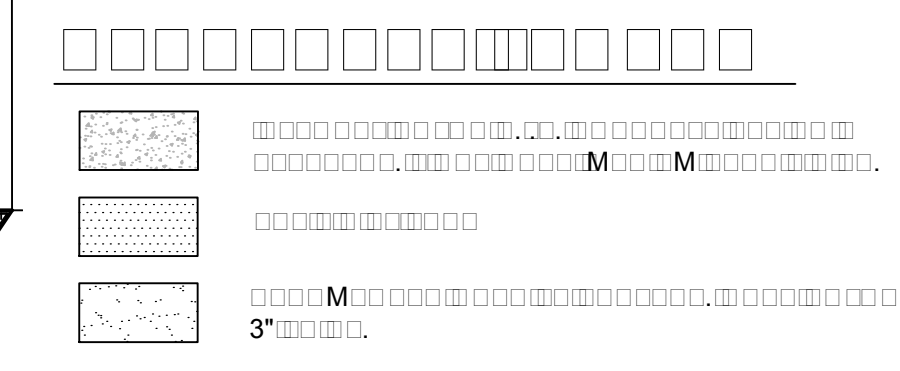
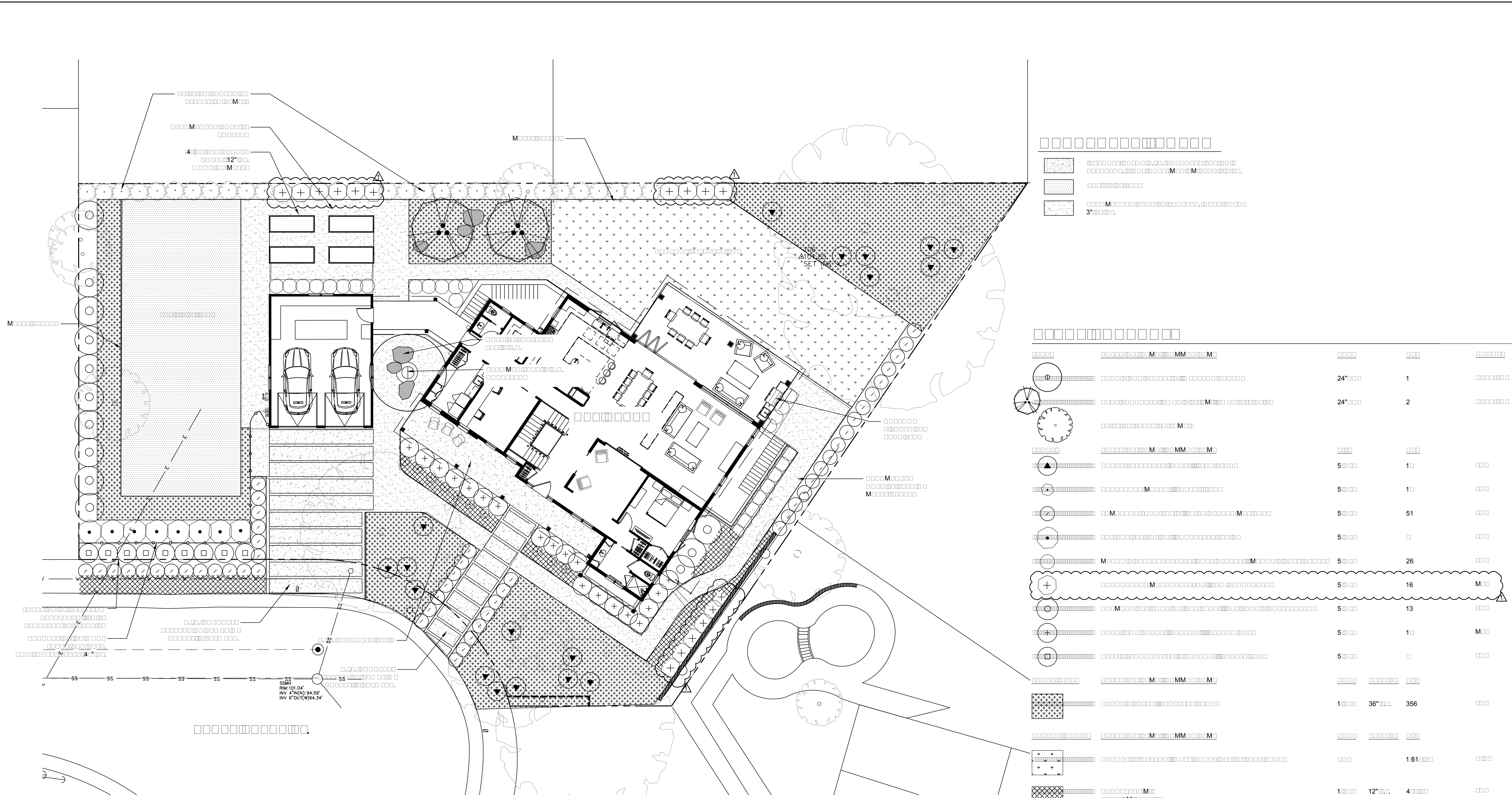
REVISIONS:	DATE:



GRADING PLAN
KOHN RESIDENCE
 255 YERBA BUENA ROAD
 LOS ALTOS, CA 94022

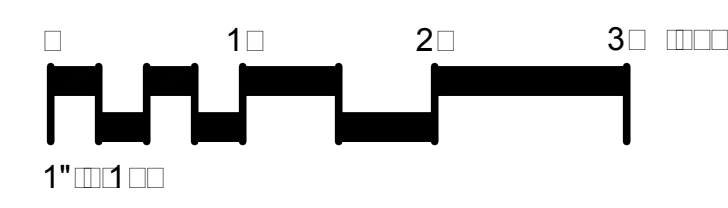
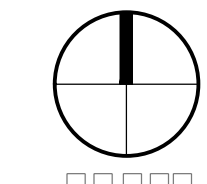
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 Check: TRL
 Drawing Number: C-2
 PEC Job No.: PEC 16-096.10





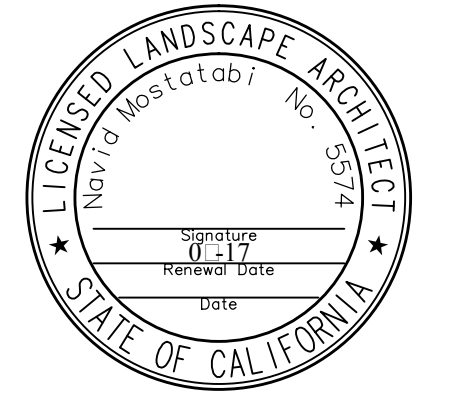
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[Symbol]	5"	10	
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[Symbol]	5"	0	
[Symbol]	5"	26	
[Symbol]	5"	16	M
[Symbol]	5"	13	
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[Symbol]	5"	0	
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[Symbol]			161
[Symbol]	1"	12"	4

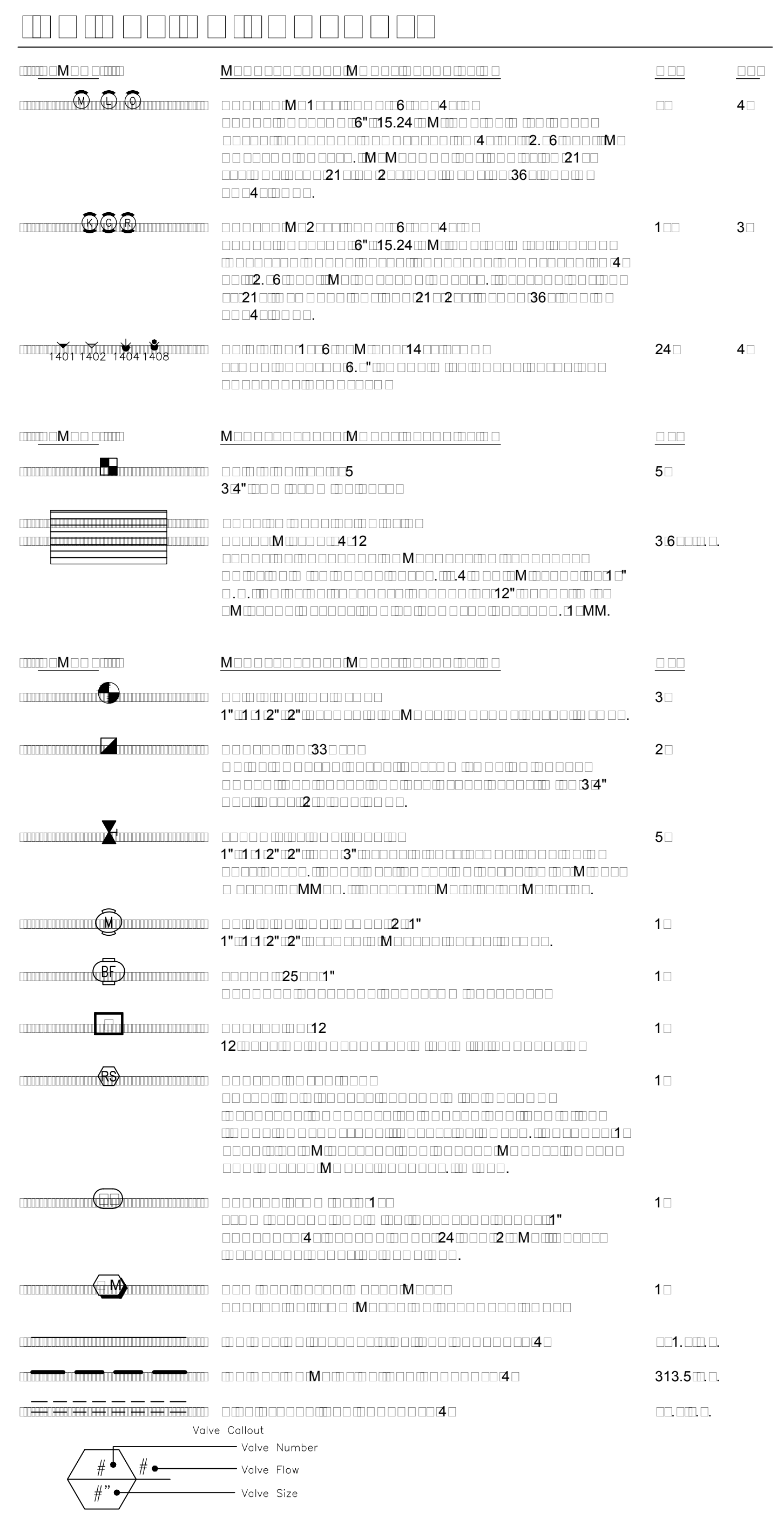
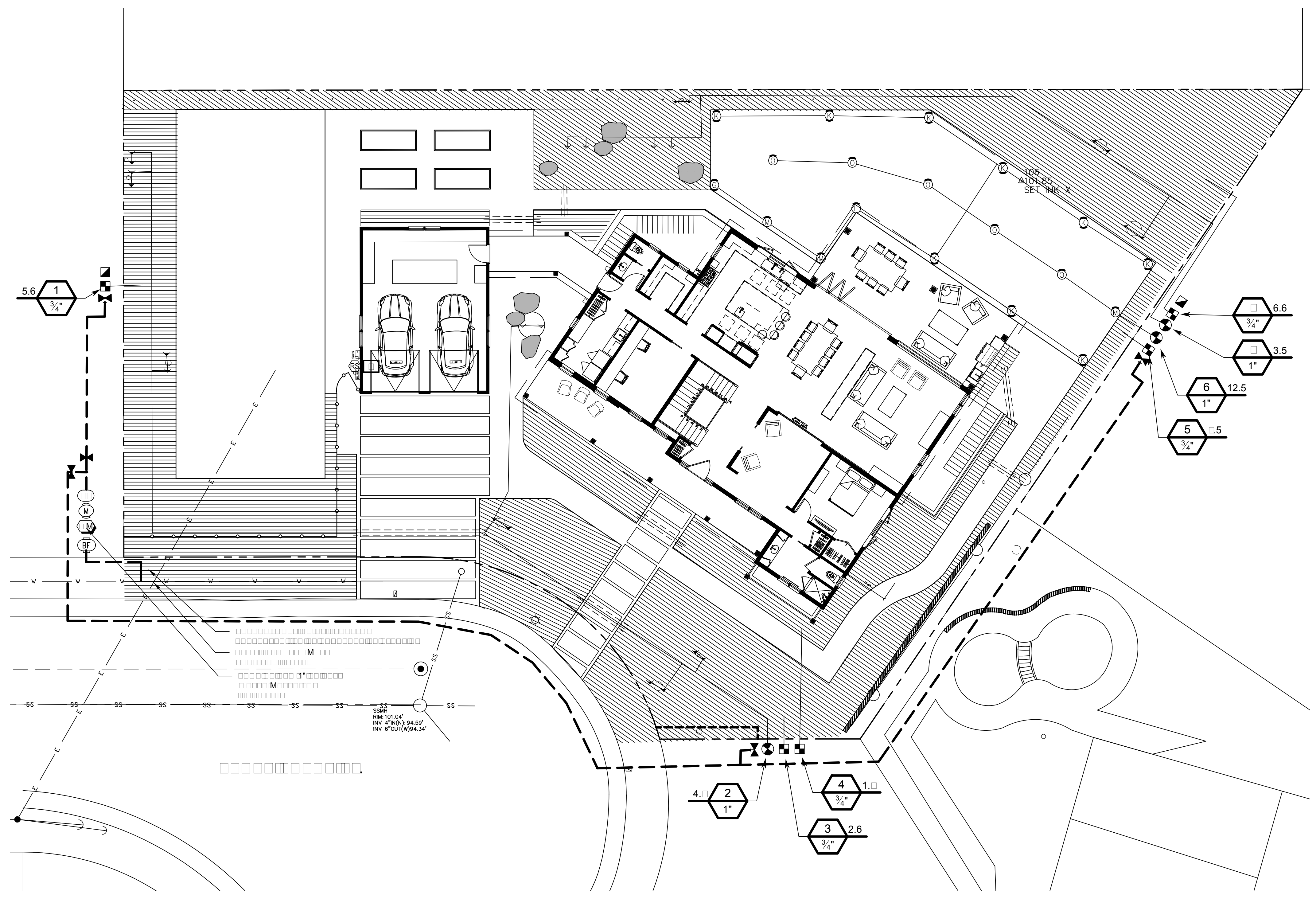
1. [Symbol] M
2. [Symbol] M
3. [Symbol] M
4. [Symbol] M



NOTE:
 THIS PLAN IS DIAGRAMMATIC ONLY. THE INTENT IS TO PORTRAY LANDSCAPE INFORMATION ONLY. THESE PLANS DO NOT PROVIDE SOLUTIONS TO ALL LANDSCAPE RELATED PROBLEMS. MINOR ADJUSTMENTS IN LAYOUT OR FINISH ELEVATIONS MAY OCCUR DUE TO FIELD CONDITIONS OR AT THE DISCRETION OF THE OWNER.

THE HOMEOWNER IS RESPONSIBLE FOR OBTAINING AND PAYING ALL BUILDING PERMITS, PAYING ASSESSMENTS AND CHARGES REQUIRED BY PUBLIC BODIES AND UTILITIES, WATER HOOK-UP CHARGES AND THE LIKE.





Hydrozone #	Planting Description	Plant Factor	Irrigation Method	Irrigation Efficiency	ETAF (PF/IE)	Landscape Area (SF)	ETAF X AREA	ESTIMATED TOTAL WATER USE
Regular Landscape Areas								
1.	Front Yard Landscape (Valve 3) (East of Driveway)	0.3	Drip	0.81	0.37	1,304	482.5	12,869.40
2.	Front/Side Yard Landscape (Valve 1) (West of Driveway)	0.3	Drip	0.81	0.37	1,353	500.6	13,366
3.	Front Yard Foundation Plants (Valve 4)	0.4	Drip	0.81	0.49	493	241.6	6,450.70
4.	Sideyard (East) (Valve 5)	0.3	Drip	0.81	0.37	220	81.4	2,173.40
5.	Backyard Turf (Valve 6)	0.7	Overhead	0.75	0.93	1,609	1,496	39,943.20
6.	Backyard Landscape (Valve 8)	0.4	Drip	0.81	0.49	1,956	723.7	25,552.80
7.	Backyard Trees (New and Existing) (Valve 7)	0.2	Bubbler	0.75	0.27	100	27	720.90
8.	Front Yard Trees (New and Existing) (Valve 2)	0.2	Bubbler	0.75	0.27	140	37.8	1,009.30
Special Landscape Areas								
9.	Artificial Turf Area					1,581		
TOTALS						7,175	3,591	102,086
ETWU TOTAL								368,191
PWB								368,191

- THIS SYSTEM IS DIAGRAMMATIC. ALL PIPE, VALVES, ETC. SHOWN WITHIN PAVED OR OUTSIDE PROPERTY LINES AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE.
- IRRIGATION SYSTEM PROGRAMMED TO WATER BETWEEN THE HOURS OF 8:00 pm AND 10:00 am
- IRRIGATION SYSTEM AND COMPONENTS DESIGNED TO CONSERVE WATER AND PREVENT OVERSPRAY AND RUNOFF.

SLEEVING SCHEDULE

PIPE SIZE	SLEEVE SIZE
1/2"	1-1/4"
3/4"	2"
1"	2-1/2"
1-1/4"	3"
1-1/2"	4"
2"	4"
2-1/2"	6"
3"	6"

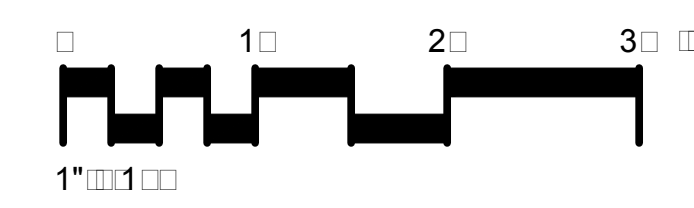
LATERAL PIPE SIZING CHART:

SCH 40 PIPE	GPM	VEL.
3/4"	0-8	4.72
1"	9-15	4.61
1-1/4"	16-22	4.85
1-1/2"	23-35	4.82
2"	36-55	4.85
2-1/2"	57-83	4.82

$$PWB = \{(1.0-0.01)(0.8)(43.0)(0.62) [55 \times (11,243 \text{ SF}) + (0.45 \times 1,581) / 748] + 120\}$$

$$= \{(21.1 [618,365 + 711] / 748) + 120\}$$

$$= 368,191 \text{ GALLONS PER YEAR}$$



NOTE:
 THIS PLAN IS DIAGRAMMATIC ONLY. THE INTENT IS TO PORTRAY LANDSCAPE INFORMATION ONLY. THESE PLANS DO NOT PROVIDE SOLUTIONS TO ALL LANDSCAPE RELATED PROBLEMS. MINOR ADJUSTMENTS IN LAYOUT OR FINISH ELEVATIONS MAY OCCUR DUE TO FIELD CONDITIONS OR AT THE DISCRETION OF THE OWNER.

THE HOMEOWNER IS RESPONSIBLE FOR OBTAINING AND PAYING ALL BUILDING PERMITS, PAYING ASSESSMENTS AND CHARGES REQUIRED BY PUBLIC BODIES AND UTILITIES, WATER HOOK-UP CHARGES AND THE LIKE.