

CAO RESIDENCE

NEW SINGLE FAMILY RESIDENCE



1390 HOLLY AVENUE, LOS ALTOS, CA



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE

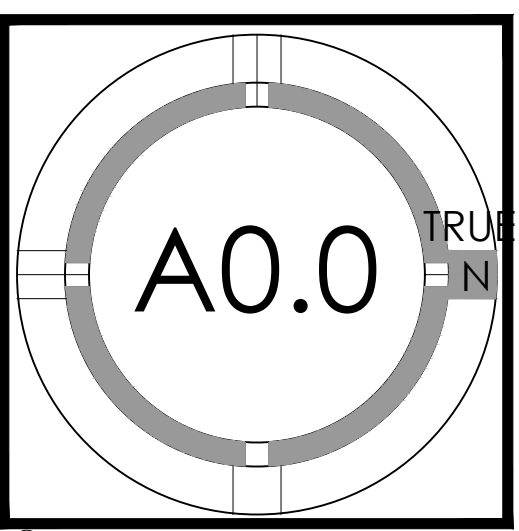
1390 HOLLY AVENUE, LOS ALTOS, CA

SHU CAO

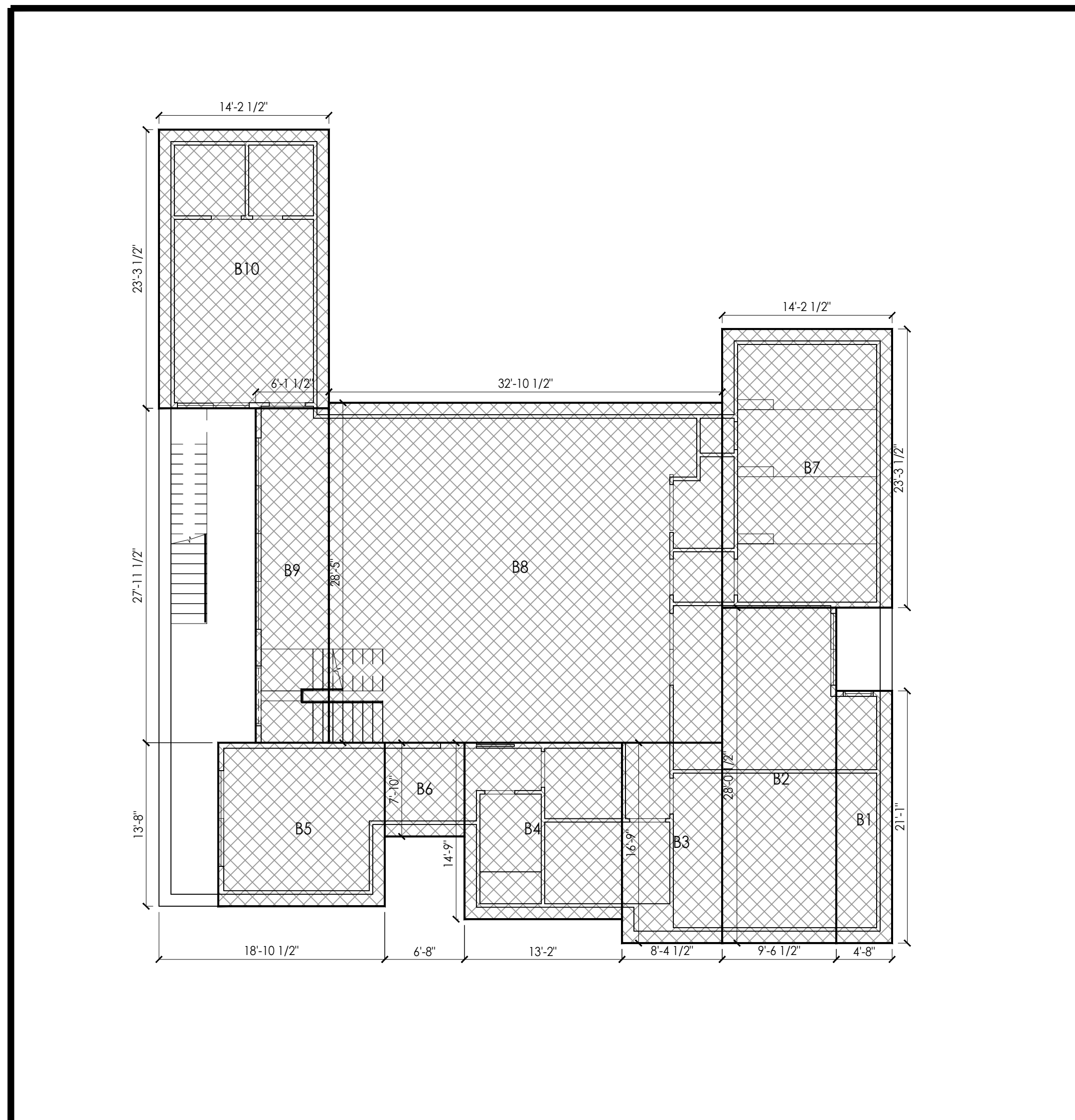


PROJECT NO.	DATE	DESCRIPTION	REVISION	DATE	DESCRIPTION
17-008	09.30.2017	PLANNING PERMIT SUBMITTAL	IV		
	12.04.2017	PLANNING PERMIT RESUBM. 1	IV		
	03.12.2018	PLANNING PERMIT RESUBM. 2	IV		

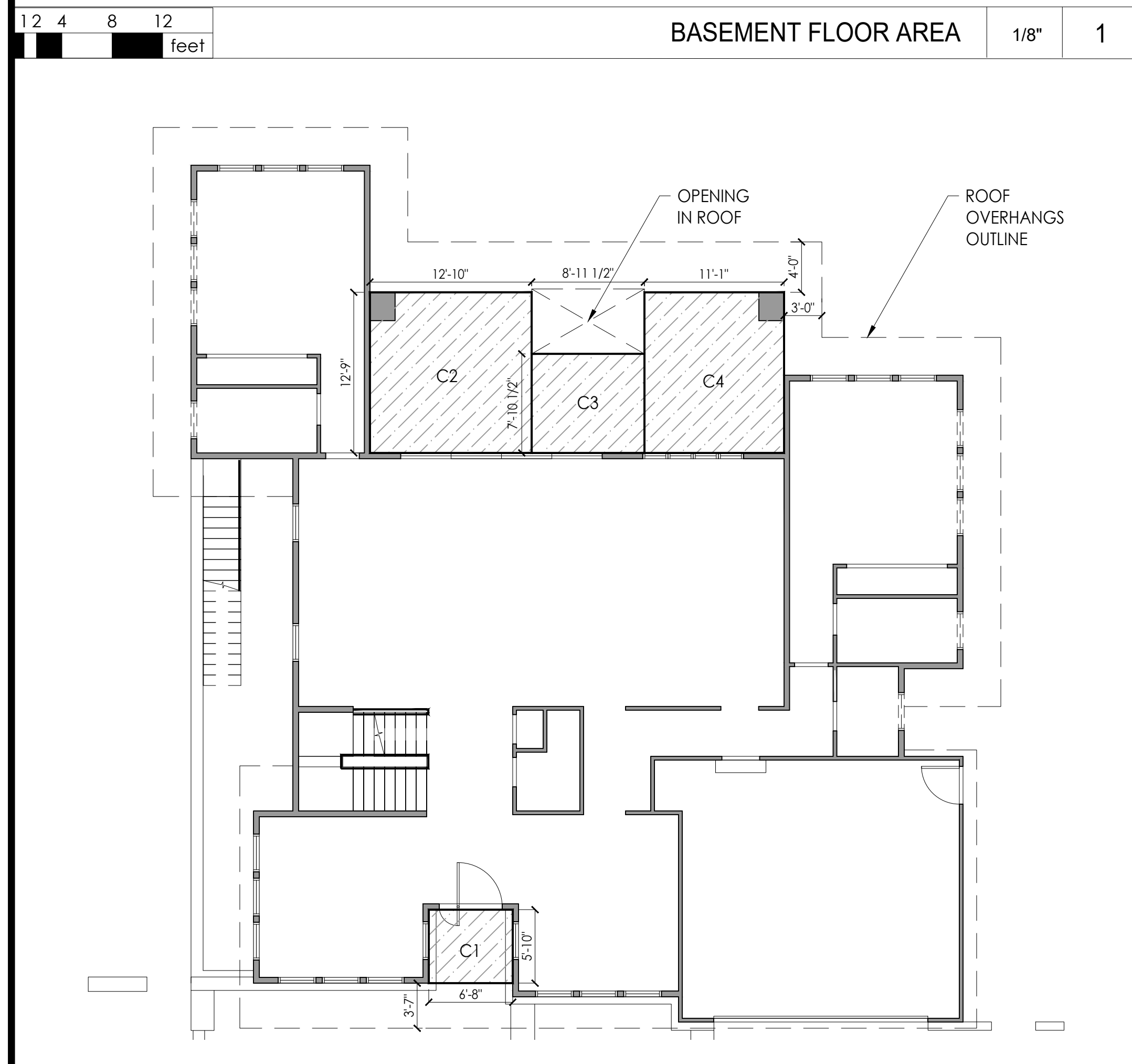
COVER SHEET



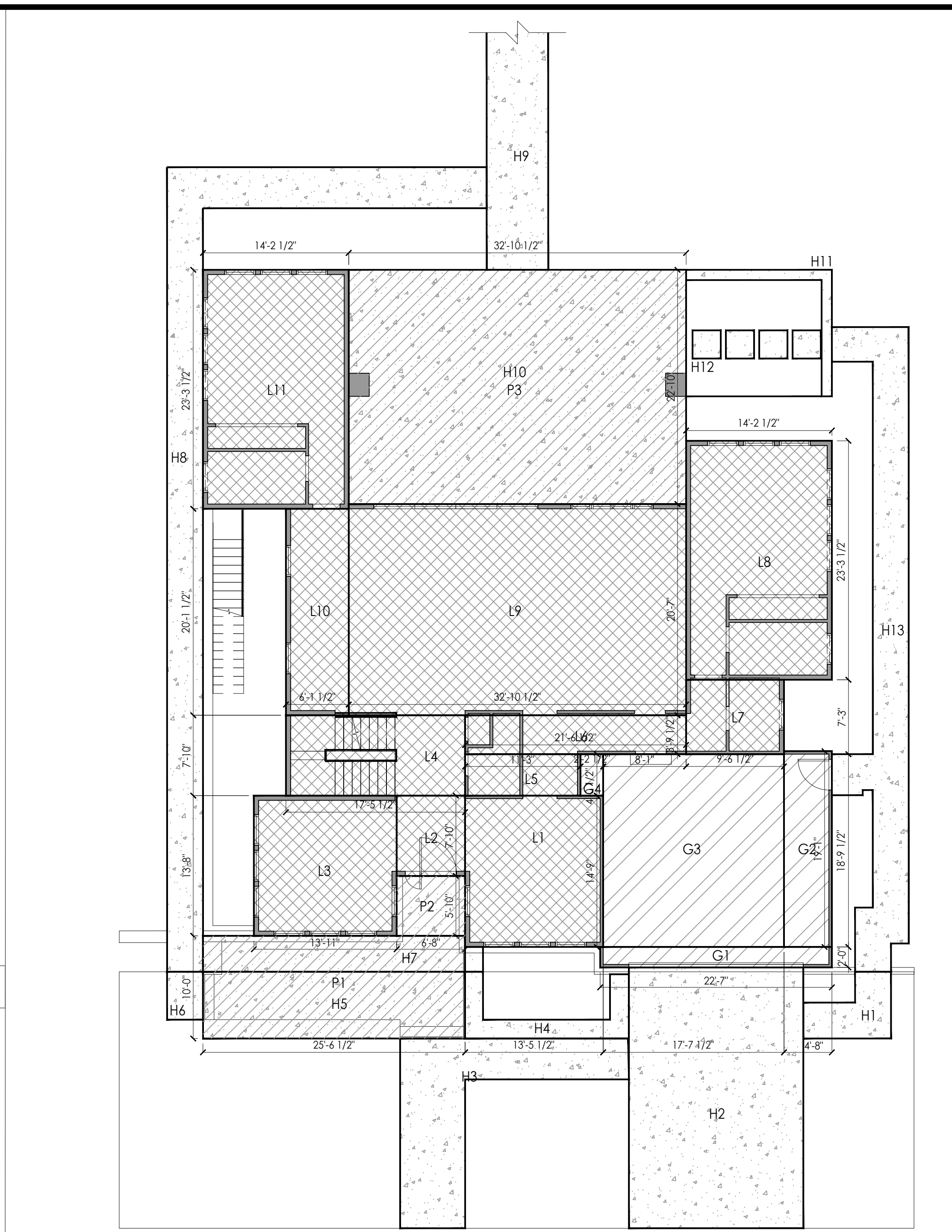
LOCATION MAP	SCOPE OF WORK	DEFERRED SUBMITTALS	SHEET INDEX	PROJECT TEAM																																																																																																
	<p>DEMOLISH AN EXISTING ONE STORY RESIDENCE AND REPLACE WITH A NEW 5934.6 S.F. TWO STORY SINGLE FAMILY RESIDENCE WITH BASEMENT WITH TOTALING 5 BEDROOMS, 5 BATHS, AND 2 POWDERS AND ATTACHED GARAGE AREA OF 474.4 S.F.</p>	<p>1. FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"</p> <p>2. STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D</p>	<p>GENERAL</p> <p>A0.0 COVER SHEET</p> <p>A0.2 FLOOR AREA CALCULATIONS</p> <p>A0.3a EXTERIOR PERSPECTIVES</p> <p>A0.3b EXTERIOR PERSPECTIVES</p> <p>A0.4 DAYLIGHT PLANE</p> <p>A0.5 STREETScape</p> <p>A0.6 NEIGHBORHOOD CONTEXT</p> <p>ARBORIST</p> <p>T-1 TREE PROTECTION PLAN</p> <p>T-2 TREE PROTECTION PLAN</p> <p>CIVIL</p> <p>C.0 TOPOGRAPHIC SURVEY</p> <p>C.1 GRADING & DRAINAGE & EROSION CONTROL PLAN DETAILS</p> <p>C.2</p> <p>ARCHITECTURAL</p> <p>A1.0 SITE PLAN & DEMO SITE PLAN</p> <p>A2.1a BASEMENT</p> <p>A2.1b 1ST FLOOR PLAN</p> <p>A2.1c 2ND FLOOR PLAN</p> <p>A2.2a LOWER ROOF PLAN</p> <p>A2.2b UPPER ROOF PLAN</p> <p>A3.0 EXTERIOR ELEVATIONS</p> <p>A3.1 EXTERIOR ELEVATIONS</p> <p>A3.5 EXISTING ELEVATIONS</p> <p>A5.0 SECTIONS</p> <p>A8.0 DETAILS</p> <p>LANDSCAPE</p> <p>L-1 LANDSCAPE CONCEPT</p> <p>L-2 PLANTING SELECTION</p> <p>L-3 LANDSCAPE IMAGERY</p>	<p>OWNER</p> <p>Shu Cao 1390 Holly Avenue Los Altos, CA email: caoshu@gmail.com</p> <p>ARCHITECT</p> <p>Studio S Squared Architecture, Inc. 1000 S Winchester Blvd San Jose, CA 95128 attn: Eugene H. Sakai, AIA, LEED AP ph: 408 998 0983; 408 404 0144 email: ESakai@StudioS2arch.com</p> <p>CIVIL ENGINEER</p> <p>WEC & Associates attn: Ed Wu email: ed@weceng.com</p> <p>LANDSCAPE ARCHITECT</p> <p>T.H. Norton Landscape Architecture attn: Tom Norton ph: 925 849 6085 email: tom@thnorton.com</p> <p>ARBORIST</p> <p>Kevin Kielty Certified Arborist attn: Keliv Kielty ph: 650 515 9783 email: kkarbor0476@yahoo.com</p>																																																																																																
	<p>PROJECT SUMMARY</p> <table border="1"> <tr> <td>ASSESSOR'S PARCEL NO:</td> <td>193-42-033</td> </tr> <tr> <td>ZONING:</td> <td>R-1-10</td> </tr> <tr> <td>JURISDICTION:</td> <td>City of Los Altos</td> </tr> <tr> <td>TYPE OF CONSTRUCTION:</td> <td>TYPE V-B, SPRINKLERED (NFPA13D)</td> </tr> <tr> <td>BUILDING OCC. GROUPS:</td> <td>R-3/U (SINGLE FAMILY RESIDENTIAL)</td> </tr> </table> <p>LOT CALCULATIONS</p> <table border="1"> <tr> <td>NET LOT AREA:</td> <td>10,458.0</td> </tr> <tr> <td>FRONT YARD HARDSCAPE AREA:</td> <td>881.7</td> </tr> <tr> <td>TOTAL AREA AT FRONT YARD</td> <td>1,936.5</td> </tr> <tr> <td>HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%</td> <td>45.53%</td> </tr> <tr> <td>LANDSCAPING BREAKDOWN:</td> <td></td> </tr> <tr> <td>TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):</td> <td>4,721.84</td> </tr> <tr> <td>EXISTING SOFTSCAPE (UNDISTURBED) AREA:</td> <td>0.0</td> </tr> <tr> <td>NEW SOFTSCAPE AREA:</td> <td>5,736.2</td> </tr> <tr> <td>SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA</td> <td>10,458.00</td> </tr> </table> <p>ZONING COMPLIANCE</p> <table border="1"> <thead> <tr> <th></th> <th>EXISTING (±)</th> <th>PROPOSED</th> <th>ALLOWED/REQUIRED</th> </tr> </thead> <tbody> <tr> <td>LOT COVERAGE:</td> <td></td> <td></td> <td></td> </tr> <tr> <td>LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT</td> <td>2,285.4 SQUARE FEET</td> <td>3,124.7 SQUARE FEET</td> <td>3,137.4 SQUARE FEET</td> </tr> <tr> <td></td> <td>22%</td> <td>29.88%</td> <td>30.00%</td> </tr> <tr> <td>FLOOR AREA:</td> <td></td> <td></td> <td></td> </tr> <tr> <td>MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS</td> <td>1,990.6 SQUARE FEET</td> <td>3,660.1 SQUARE FEET</td> <td>3,660.3 SQUARE FEET</td> </tr> <tr> <td></td> <td>19%</td> <td>35.00%</td> <td>35.00%</td> </tr> <tr> <td>SETBACKS:</td> <td></td> <td></td> <td></td> </tr> <tr> <td>FRONT (1ST/2ND)</td> <td>25'-0"</td> <td>25'-5"/33'-2 1/2"</td> <td>25'-0"/25'-0"</td> </tr> <tr> <td>REAR (1ST/2ND)</td> <td>49'-4 1/2"</td> <td>41'-7"/55'-2"</td> <td>25'-0"/25'-0"</td> </tr> <tr> <td>LEFT SIDE (1ST/2ND)</td> <td>9'-11 1/2"</td> <td>8'-2"/16'-3"</td> <td>7'-9" (10% LOT W)/15'-3"</td> </tr> <tr> <td>RIGHT SIDE (1ST/2ND)</td> <td>11'-1 1/2"</td> <td>8'-0"/22'-2 1/2"</td> <td>7'-9" (10% LOT W)/15'-3"</td> </tr> <tr> <td>HEIGHT:</td> <td>±14'-0"</td> <td>±25'-7"</td> <td>27'-0"</td> </tr> </tbody> </table> <p>SQUARE FOOTAGE BREAKDOWN</p> <table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>CHANGE IN</th> <th>TOTAL PROPOSED</th> </tr> </thead> <tbody> <tr> <td>HABITABLE LIVING AREA:</td> <td>1,521.6 SQUARE FEET</td> <td>4,374.1 SQUARE FEET</td> <td>5,895.7 SQUARE FEET</td> </tr> <tr> <td>INCLUDES HABITABLE BASEMENT AREAS</td> <td></td> <td></td> <td></td> </tr> <tr> <td>NON- HABITABLE AREA:</td> <td>469.0 SQUARE FEET</td> <td>5.4 SQUARE FEET</td> <td>474.4 SQUARE FEET</td> </tr> <tr> <td>DOES NOT INCLUDE COVERED PORCHES</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				ASSESSOR'S PARCEL NO:	193-42-033	ZONING:	R-1-10	JURISDICTION:	City of Los Altos	TYPE OF CONSTRUCTION:	TYPE V-B, SPRINKLERED (NFPA13D)	BUILDING OCC. GROUPS:	R-3/U (SINGLE FAMILY RESIDENTIAL)	NET LOT AREA:	10,458.0	FRONT YARD HARDSCAPE AREA:	881.7	TOTAL AREA AT FRONT YARD	1,936.5	HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	45.53%	LANDSCAPING BREAKDOWN:		TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):	4,721.84	EXISTING SOFTSCAPE (UNDISTURBED) AREA:	0.0	NEW SOFTSCAPE AREA:	5,736.2	SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA	10,458.00		EXISTING (±)	PROPOSED	ALLOWED/REQUIRED	LOT COVERAGE:				LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	2,285.4 SQUARE FEET	3,124.7 SQUARE FEET	3,137.4 SQUARE FEET		22%	29.88%	30.00%	FLOOR AREA:				MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1,990.6 SQUARE FEET	3,660.1 SQUARE FEET	3,660.3 SQUARE FEET		19%	35.00%	35.00%	SETBACKS:				FRONT (1ST/2ND)	25'-0"	25'-5"/33'-2 1/2"	25'-0"/25'-0"	REAR (1ST/2ND)	49'-4 1/2"	41'-7"/55'-2"	25'-0"/25'-0"	LEFT SIDE (1ST/2ND)	9'-11 1/2"	8'-2"/16'-3"	7'-9" (10% LOT W)/15'-3"	RIGHT SIDE (1ST/2ND)	11'-1 1/2"	8'-0"/22'-2 1/2"	7'-9" (10% LOT W)/15'-3"	HEIGHT:	±14'-0"	±25'-7"	27'-0"		EXISTING	CHANGE IN	TOTAL PROPOSED	HABITABLE LIVING AREA:	1,521.6 SQUARE FEET	4,374.1 SQUARE FEET	5,895.7 SQUARE FEET	INCLUDES HABITABLE BASEMENT AREAS				NON- HABITABLE AREA:	469.0 SQUARE FEET	5.4 SQUARE FEET	474.4 SQUARE FEET
ASSESSOR'S PARCEL NO:	193-42-033																																																																																																			
ZONING:	R-1-10																																																																																																			
JURISDICTION:	City of Los Altos																																																																																																			
TYPE OF CONSTRUCTION:	TYPE V-B, SPRINKLERED (NFPA13D)																																																																																																			
BUILDING OCC. GROUPS:	R-3/U (SINGLE FAMILY RESIDENTIAL)																																																																																																			
NET LOT AREA:	10,458.0																																																																																																			
FRONT YARD HARDSCAPE AREA:	881.7																																																																																																			
TOTAL AREA AT FRONT YARD	1,936.5																																																																																																			
HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	45.53%																																																																																																			
LANDSCAPING BREAKDOWN:																																																																																																				
TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):	4,721.84																																																																																																			
EXISTING SOFTSCAPE (UNDISTURBED) AREA:	0.0																																																																																																			
NEW SOFTSCAPE AREA:	5,736.2																																																																																																			
SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA	10,458.00																																																																																																			
	EXISTING (±)	PROPOSED	ALLOWED/REQUIRED																																																																																																	
LOT COVERAGE:																																																																																																				
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	2,285.4 SQUARE FEET	3,124.7 SQUARE FEET	3,137.4 SQUARE FEET																																																																																																	
	22%	29.88%	30.00%																																																																																																	
FLOOR AREA:																																																																																																				
MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1,990.6 SQUARE FEET	3,660.1 SQUARE FEET	3,660.3 SQUARE FEET																																																																																																	
	19%	35.00%	35.00%																																																																																																	
SETBACKS:																																																																																																				
FRONT (1ST/2ND)	25'-0"	25'-5"/33'-2 1/2"	25'-0"/25'-0"																																																																																																	
REAR (1ST/2ND)	49'-4 1/2"	41'-7"/55'-2"	25'-0"/25'-0"																																																																																																	
LEFT SIDE (1ST/2ND)	9'-11 1/2"	8'-2"/16'-3"	7'-9" (10% LOT W)/15'-3"																																																																																																	
RIGHT SIDE (1ST/2ND)	11'-1 1/2"	8'-0"/22'-2 1/2"	7'-9" (10% LOT W)/15'-3"																																																																																																	
HEIGHT:	±14'-0"	±25'-7"	27'-0"																																																																																																	
	EXISTING	CHANGE IN	TOTAL PROPOSED																																																																																																	
HABITABLE LIVING AREA:	1,521.6 SQUARE FEET	4,374.1 SQUARE FEET	5,895.7 SQUARE FEET																																																																																																	
INCLUDES HABITABLE BASEMENT AREAS																																																																																																				
NON- HABITABLE AREA:	469.0 SQUARE FEET	5.4 SQUARE FEET	474.4 SQUARE FEET																																																																																																	
DOES NOT INCLUDE COVERED PORCHES																																																																																																				
<p>ASSESSOR'S PARCEL MAP</p>	<p>DEFERRED SUBMITTALS</p> <p>THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:</p> <ol style="list-style-type: none"> WINDOW/DOOR PACKAGE CABINET SHOP DRAWINGS AND FINISH SAMPLES MECHANICAL DUCTING PLAN STAIR AND RAIL SHOP DRAWINGS MISC. STEEL SHOP DRAWINGS <p>NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.</p> <p>REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE</p> <ol style="list-style-type: none"> LICENSE NUMBER INSURANCE AND WORKER'S COMP POLICIES CONSTRUCTION STAGING PLAN CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2 <p>APPLICABLE CODES</p> <p>APPLICABLE CODES (with City of Los Altos Amendments)</p> <ul style="list-style-type: none"> 2016 CALIFORNIA ADMINISTRATIVE CODE, CAC 2016 CALIFORNIA BUILDING CODE, CBC 2016 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC 2016 CALIFORNIA MECHANICAL CODE, CMC 2016 CALIFORNIA PLUMBING CODE, CPC 2016 CALIFORNIA ENERGY CODE, CEc 2016 CALIFORNIA HISTORICAL CODE, CEC 2016 CALIFORNIA FIRE CODE, CFC 2016 CALIFORNIA EXISTING BUILDING CODE 2016 CALIFORNIA GREEN BUILDING STANDARDS 2016 CALIFORNIA REFERENCED STANDARDS 																																																																																																			



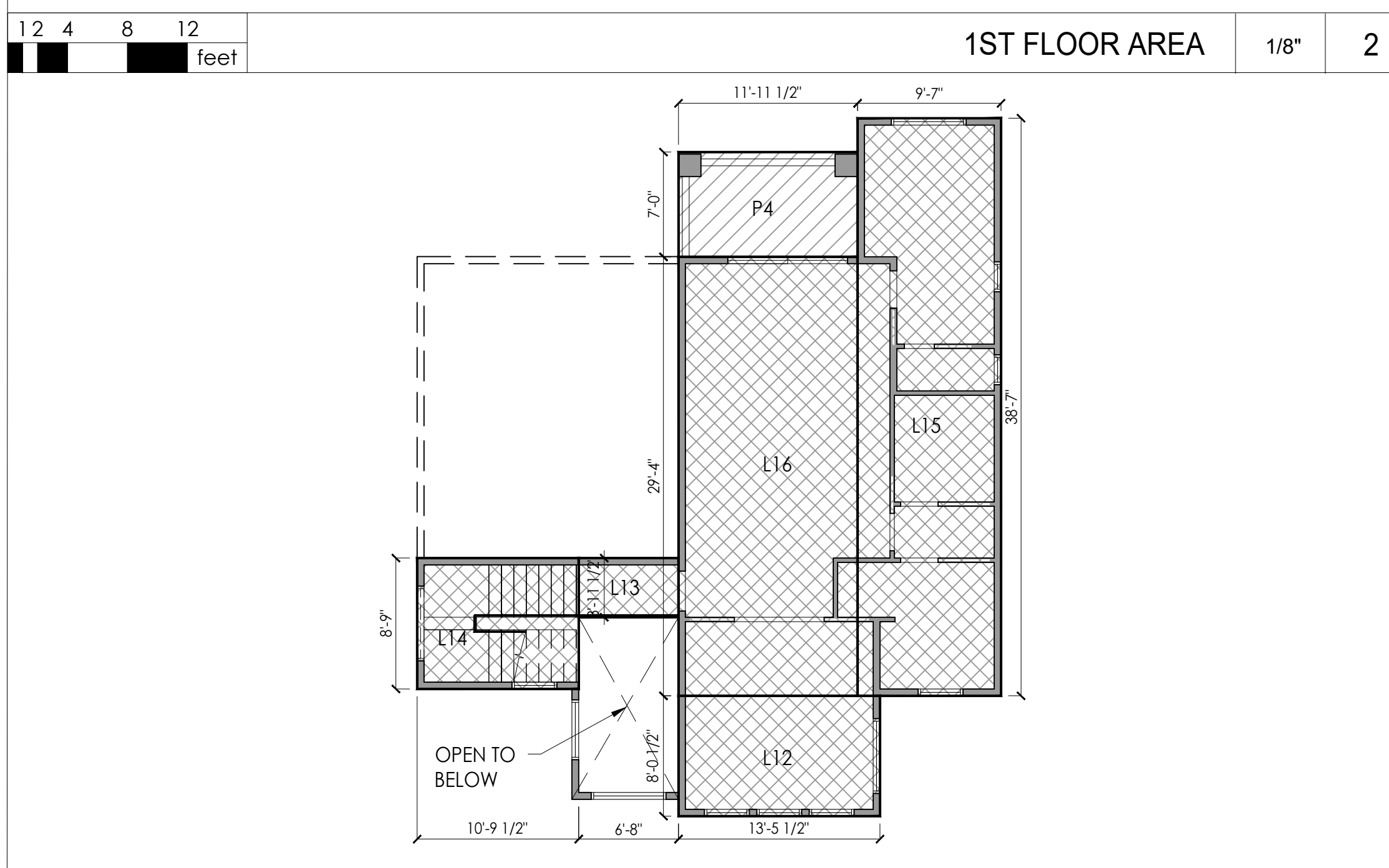
BASEMENT FLOOR AREA 1/8" 1



COVERED PORCH AREA 1/8" 4



1ST FLOOR AREA 1/8" 2



2ND FLOOR AREA 1/8" 3

Tabulation--CAO-SHU Residence

Section	Dimensions(X x Y)	Area (#)
New First Floor Living Area		
L1	13'-5 1/2" x 14'-9"	198.5
L2	6'-8" x 7'-10"	52.2
L3	13'-11" x 13'-8"	190.2
L4	17'-5 1/2" x 7'-10"	136.8
L5	11'-3" x 4'-0 1/2"	45.5
L6	21'-6 1/2" x 3'-9 1/2"	81.7
L7	9'-6 1/2" x 7'-3"	69.2
L8	14'-2 1/2" x 23'-3 1/2"	330.9
L9	32'-10 1/2" x 20'-7"	676.8
L10	6'-1 1/2" x 20'-1 1/2"	123.2
L11	14'-2 1/2" x 23'-3 1/2"	330.9
FL Total		2,235.9
New Second Floor Living Area		
L12	13'-5 1/2" x 8'-0 1/2"	108.2
L13	6'-8" x 3'-11 1/2"	26.4
L14	10'-9 1/2" x 8'-9"	94.4
L15	9'-7" x 38'-7"	370.0
L16	11'-1 1/2" x 29'-4"	350.8
SL Total		949.8
New Garage Area		
G1	22'-7" x 2'-0"	45.2
G2	4'-8" x 19'-1"	89.1
G3	17'-7 1/2" x 18'-9 1/2"	331.2
G4	2'-2 1/2" x 4'-0 1/2"	8.9
G Total		474.4
New Porch/Patio/Balcony Area		
P1	25'-6 1/2" x 10'-0"	255.4
P2	6'-8" x 5'-10"	38.9
P3	32'-10 1/2" x 22'-10"	750.8
P4	11'-11 1/2" x 7'-0"	83.7
P Total		1,128.8
Basement Area (Not Counting Towards FAR)		
B1	4'-8" x 21'-1"	98.4
B2	9'-6 1/2" x 28'-0 1/2"	267.5
B3	8'-4 1/2" x 16'-9"	140.3
B4	13'-2" x 14'-9"	194.2
B5	6'-8" x 7'-10"	52.2
B6	18'-10 1/2" x 13'-8"	190.2
B7	14'-2 1/2" x 23'-3 1/2"	330.9
B8	32'-10 1/2" x 28'-5"	934.3
B9	6'-1 1/2" x 27'-11 1/2"	171.1
B10	14'-2 1/2" x 23'-3 1/2"	330.9
B Total		2,710.0
New Covered Porch Area		
C1	6'-8" x 5'-10"	38.9
C2	12'-10" x 12'-9"	163.7
C3	8'-11 1/2" x 7'-10 1/2"	70.4
C4	11'-1" x 12'-9"	141.4
C Total		414.4
New Hardscape Area		
H1		40.4
H2		432.2
H3		180.7
H4		45.6
H5		166.1
H6		16.7
H7		132.5
H8		385.1
H9		750.8
H10		25.5
H11		25.5
H12 (4*7.56)		30.2
H13		254.7
H Total		2,485.9

LA Lot Area	10,458.0
NL=B+FL+SL Total New Living Area	5,895.7
G Total New Garage Area	474.4
L=FL+SL Total 1st and 2nd Floor Living Area	3,185.7
FAR=L+G Total New Residence	3,660.1
LA*0.35 Floor Area Ratio Max.	3,660.3
FAR/LA FAR Percentage	35.00% <35% (OK)
LA*0.30 Lot Coverage Max.	3,137.4
LC=FL+G+C Proposed Lot Coverage	3,124.7
LC/LA Lot Coverage Percentage	29.9% <30% (OK)
NH=H New Hardscape Area	2,485.9
TH=NH+FL Total Hardscape Area	4,721.8
FS Front Yard Setback Area	1,936.5
SH=(H1:H6) Front Yard Hardscape Area	881.7
R=SH/FS Front Yard Hardscape Area Ratio	45.5% <50% (OK)

	NP# = NEW PORCH AREA		NL# = NEW LIVING AREA
	NH# = NEW HARDSCAPE AREA		NG# = NEW GARAGE AREA

FLOOR AREA LEGEND



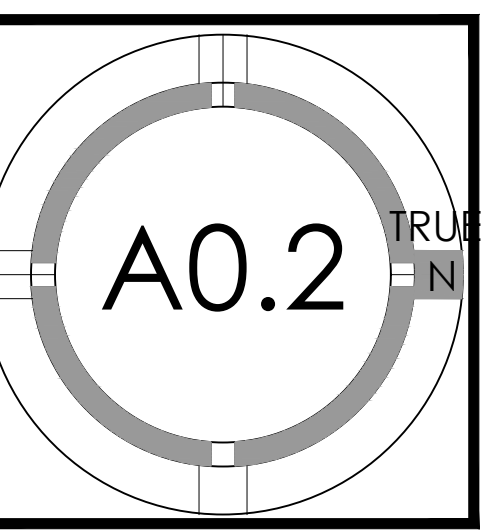
1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
1390 HOLLY AVENUE, LOS ALTOS, CA
SHU CAO



PROJ. NO.	REVISION	DATE	DESCRIPTION	DRAWN BY
17-008				
		09.30.2017	PLANNING PERMIT SUBMITTAL	IV
		12.04.2017	PLANNING PERMIT RESUBM. 1	IV
		03.12.2018	PLANNING PERMIT RESUBM. 2	IV

FLOOR AREA CALCULATIONS





PERSPECTIVE EXTERIOR FRONT ENTRY - 4



PERSPECTIVE EXTERIOR FRONT RIGHT - 1



PERSPECTIVE EXTERIOR RIGHT SIDE - 5



PERSPECTIVE EXTERIOR FRONT LEFT - 2



PERSPECTIVE EXTERIOR LEFT SIDE - 6



PERSPECTIVE EXTERIOR FRONT HIGH - 3



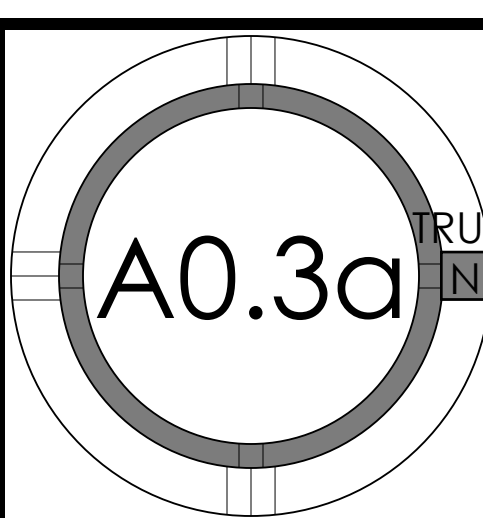
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
1390 HOLLY ANEUVUE, LOS ALTOS, CA
SHU CAO



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
17-008	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBMITTAL 1	IV
	03.12.2018	PLANNING PERMIT RESUBMITTAL 2	IV

EXTERIOR PERSPECTIVES

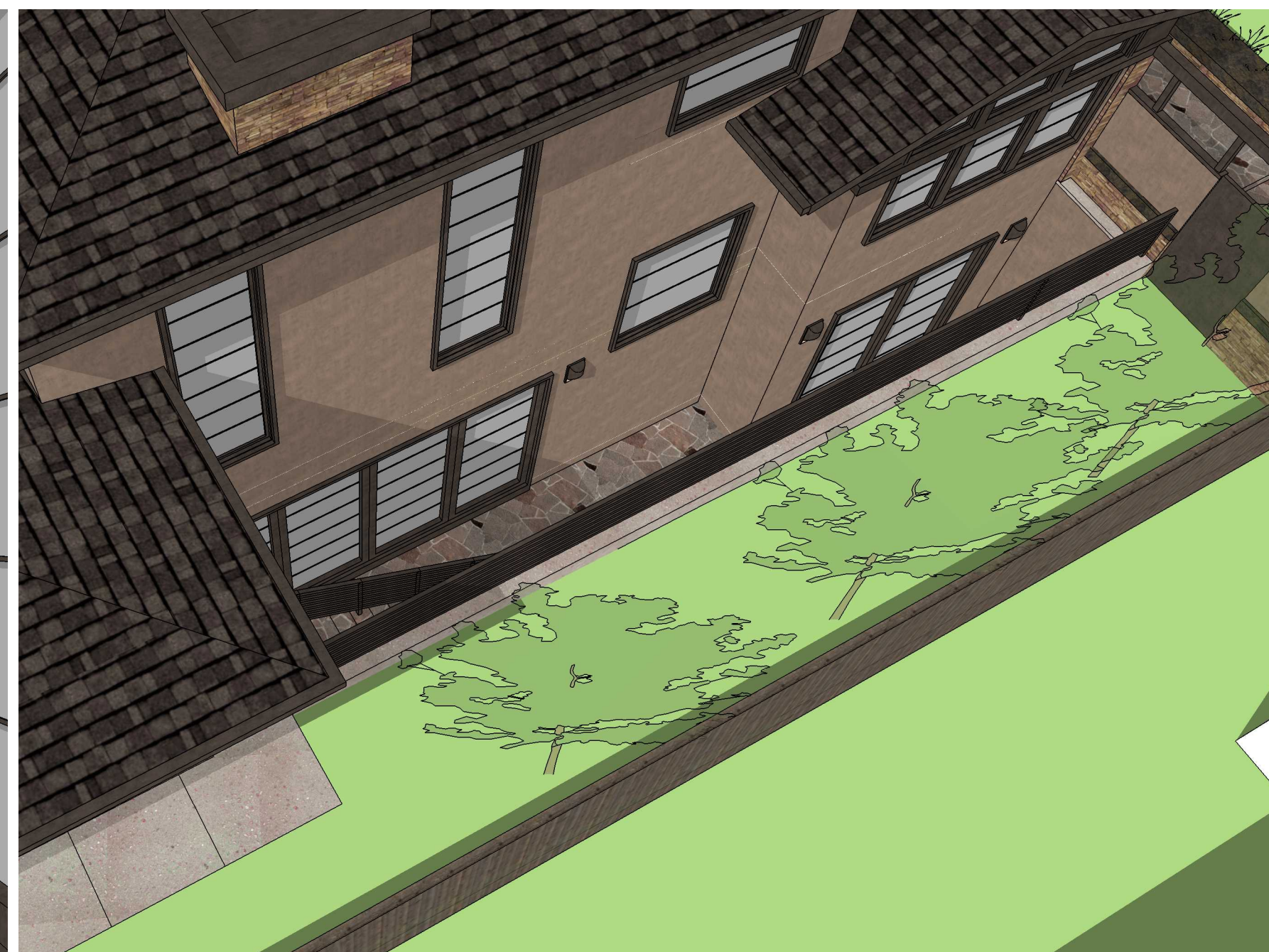




PERSPECTIVE EXTERIOR REAR PATIO - 4



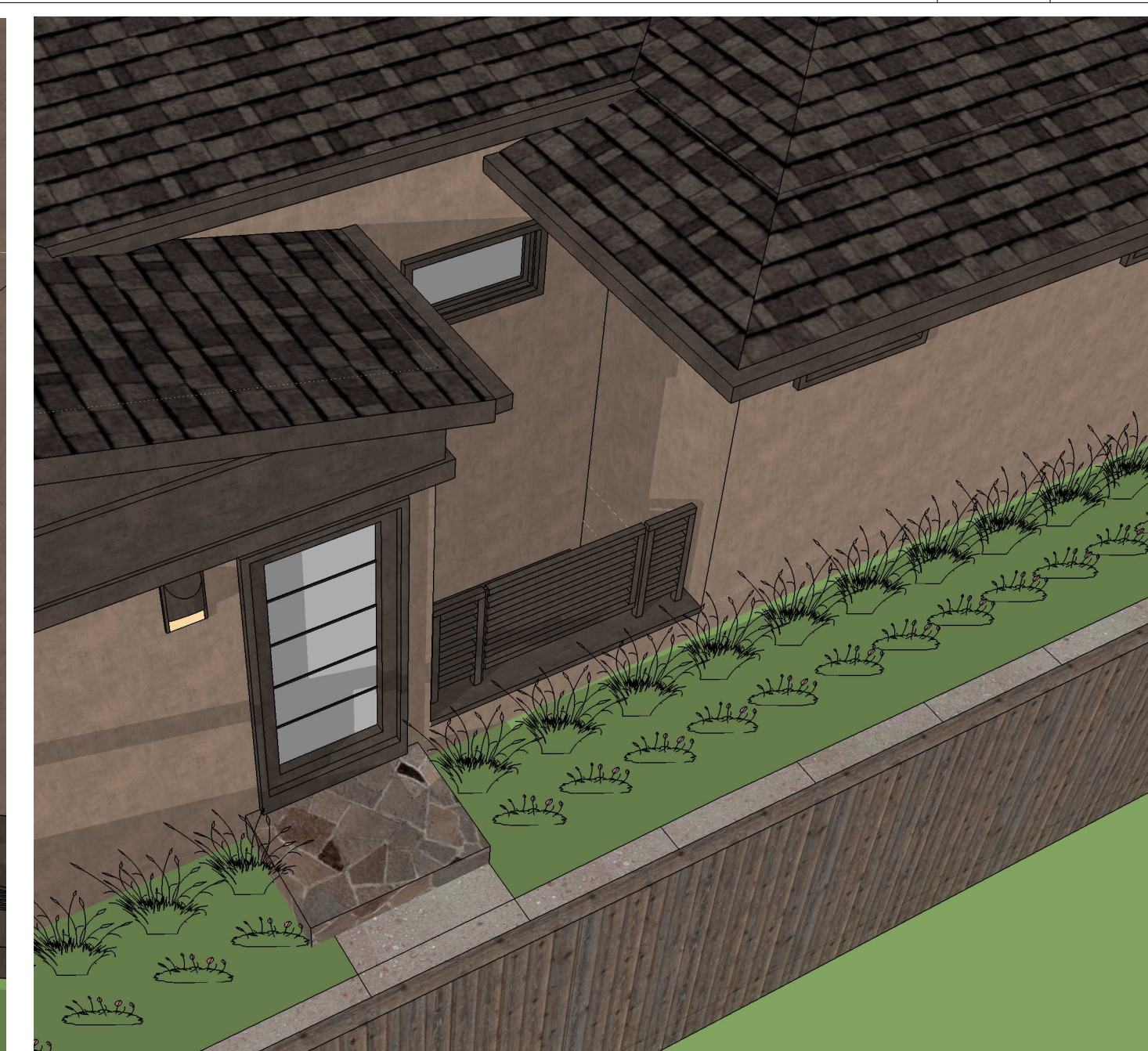
PERSPECTIVE EXTERIOR REAR LEFT - 1



PERSPECTIVE EXTERIOR LIGHTWELL - 5



PERSPECTIVE EXTERIOR REAR RIGHT - 2



PERSPECTIVE EXTERIOR LIGHTWELL - 6



PERSPECTIVE EXTERIOR REAR HIGH - 3



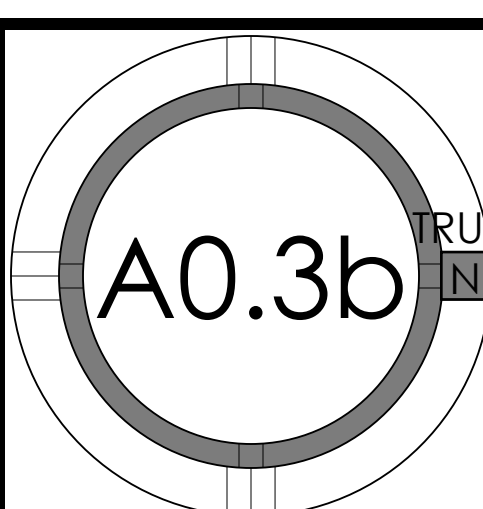
STUDIO 5 SQUARED
ARCHITECTURE
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

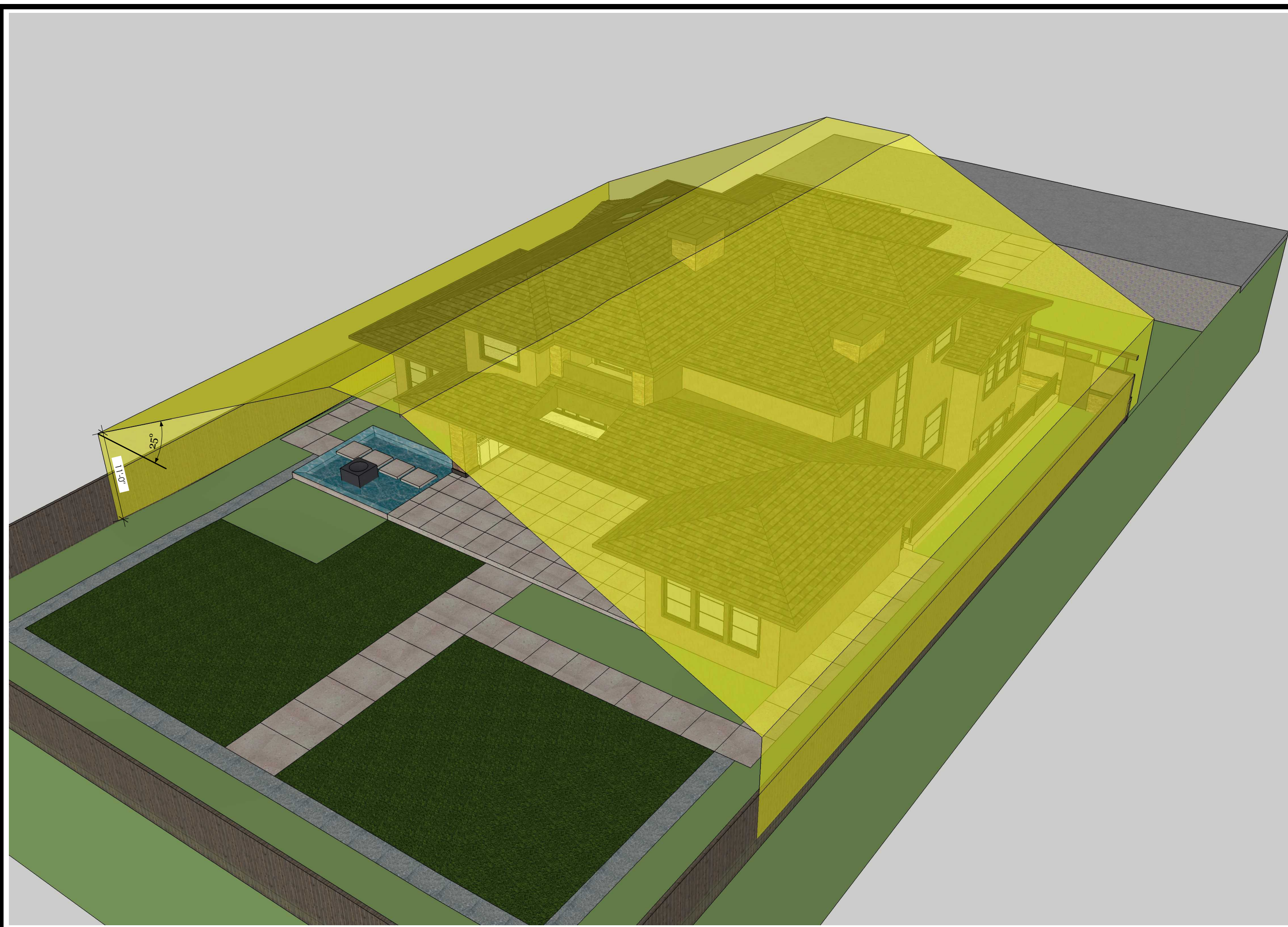
CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
1390 HOLLY ANEJUE, LOS ALTOS, CA
SHU CAO



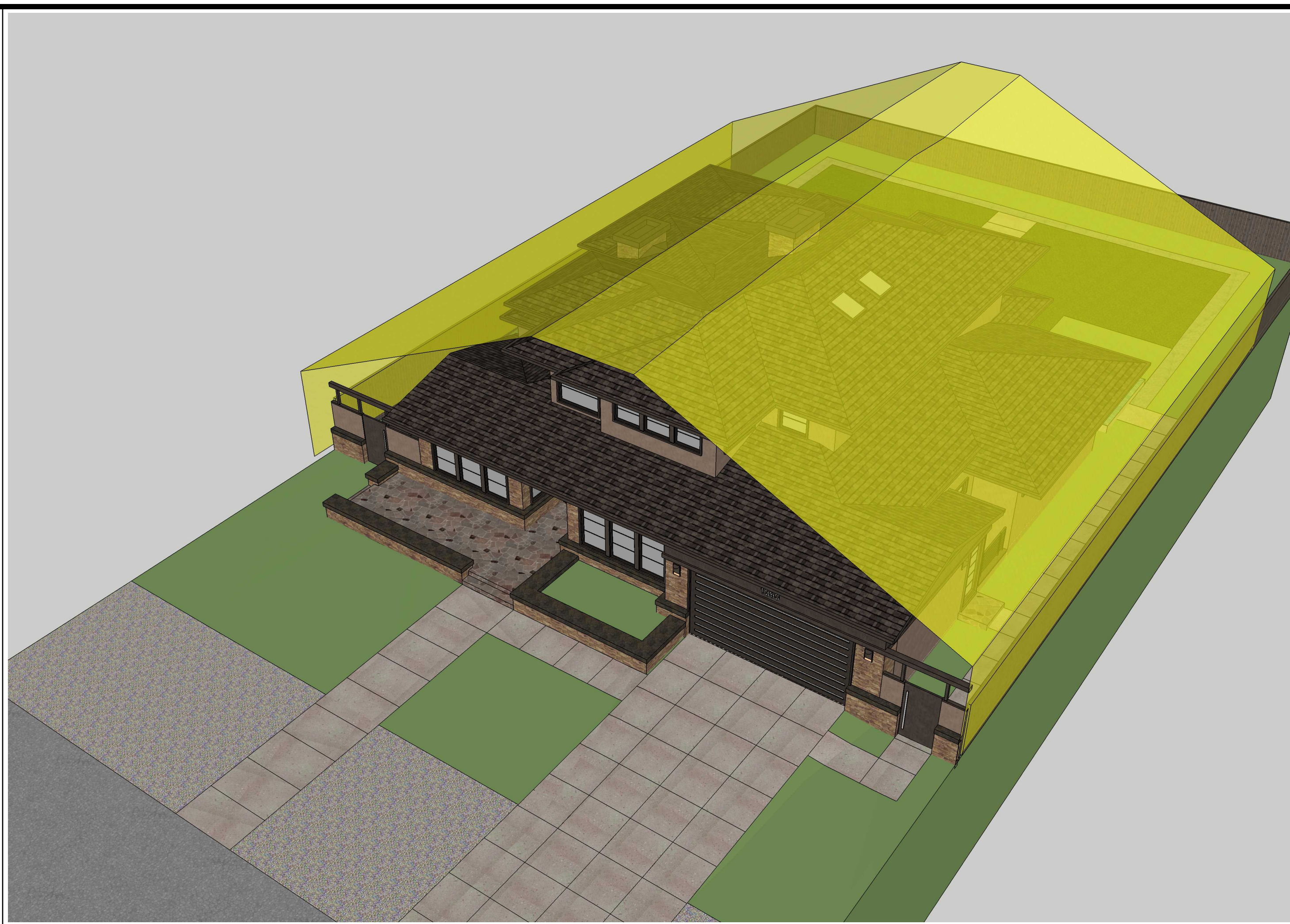
PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
	07.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBMITTAL 1	IV
	03.12.2018	PLANNING PERMIT RESUBMITTAL 2	IV

EXTERIOR
PERSPECTIVES

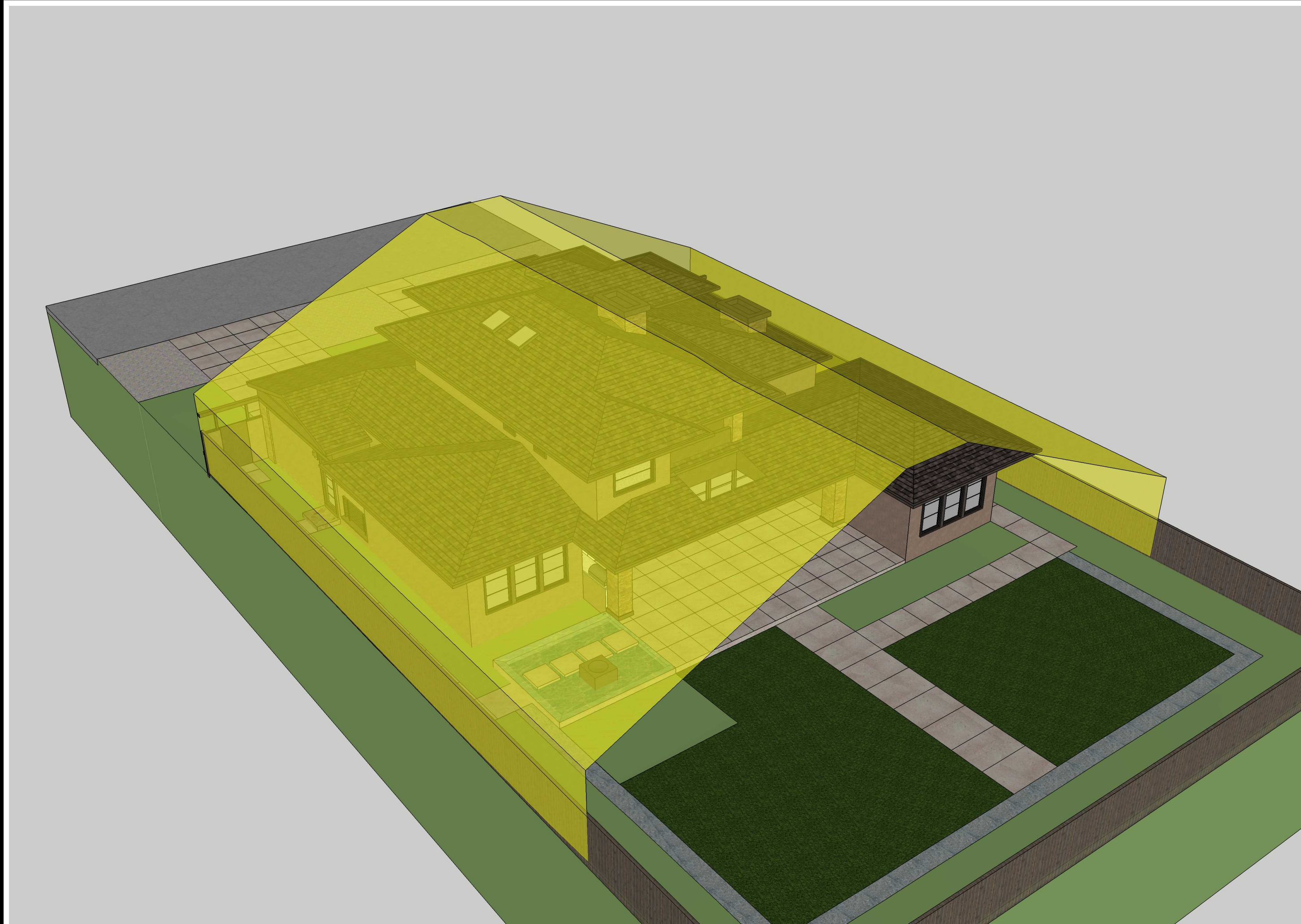




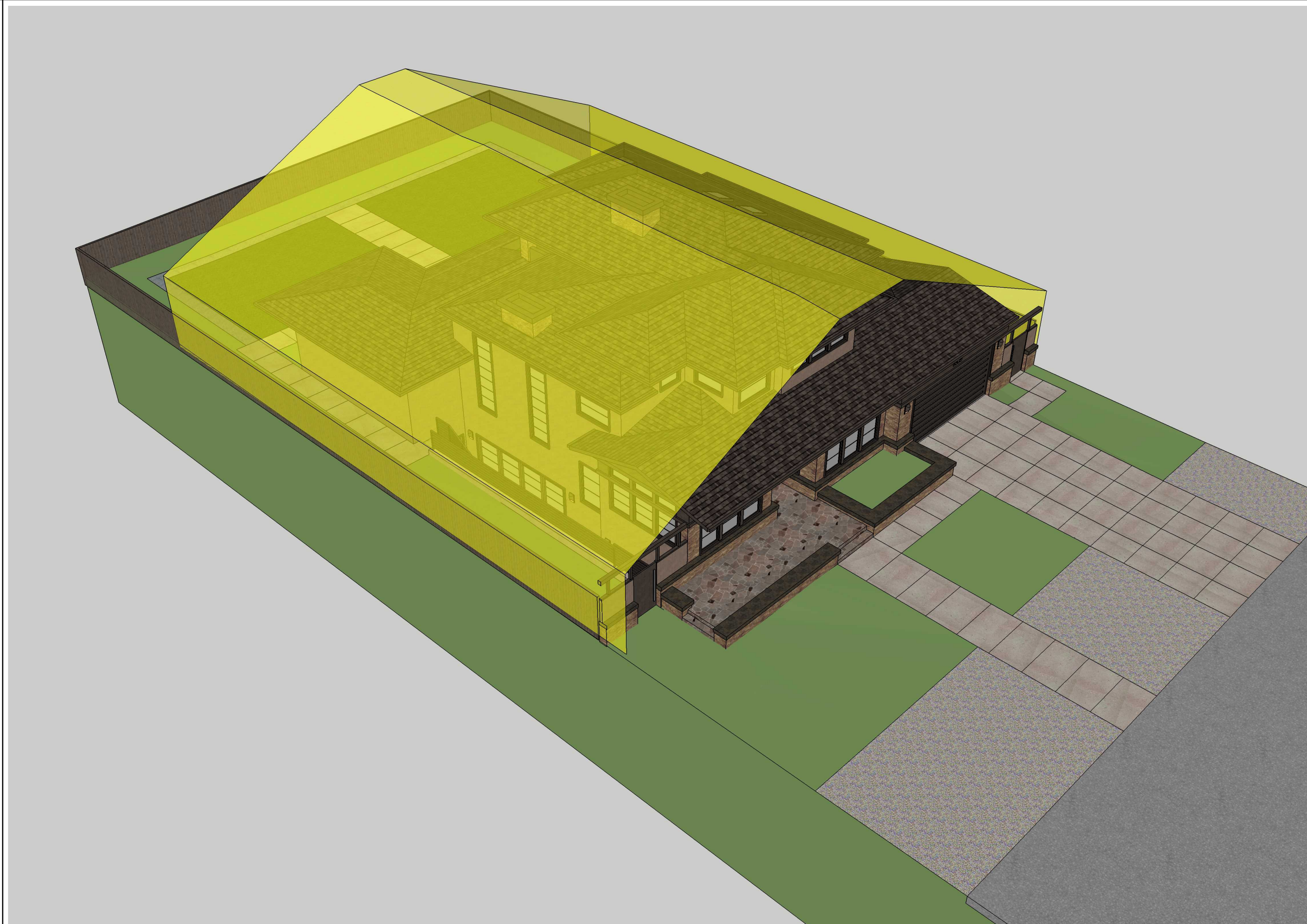
REAR LEFT HIGH VIEW - 3



FRONT RIGHT HIGH VIEW - 1



REAR RIGHT HIGH VIEW - 4



FRONT LEFT HIGH VIEW - 2



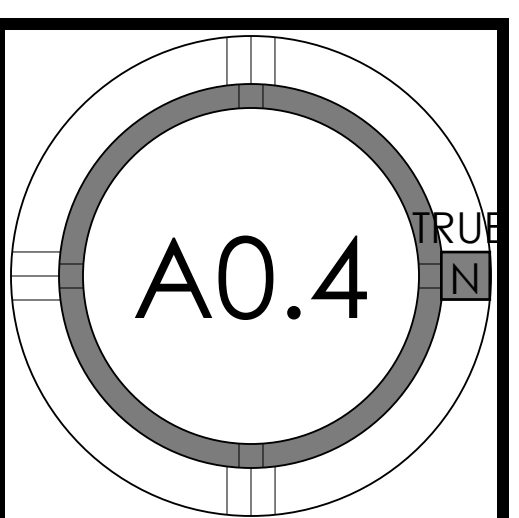
STUDIO S SQUARED
ARCHITECTURE
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
1390 HOLLY ANEUVUE, LOS ALTOS, CA
SHU CAO



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
17-208	07.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBMITTAL 1	IV
	03.12.2018	PLANNING PERMIT RESUBMITTAL 2	IV

DAYLIGHT
PLANE





1385 MCKENZIE STREET



1375 MCKENZIE STREET



1637 MCKENZIE STREET



1400 HOLLY AVENUE - CORNER WITH MCKENZIE STREET



1395 MCKENZIE STREET - CORNER WITH HOLLY AVENUE



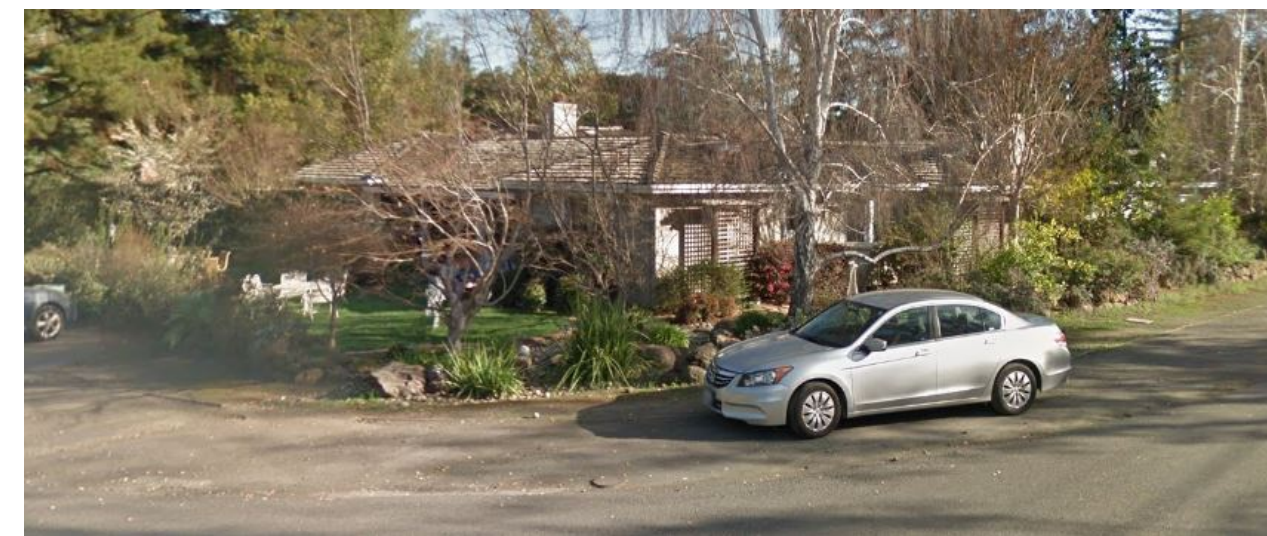
1390 HOLLY AVENUE - SUBJECT PROPERTY



1380 HOLLY AVENUE



1370 HOLLY AVENUE



1400 MCKENZIE STREET- CORNER WITH HOLLY AVENUE



1405 MCKENZIE STREET - CORNER WITH HOLLY AVENUE



1375 HOLLY AVENUE - SUBJECT PROPERTY



1365 HOLLY AVENUE - SUBJECT PROPERTY



1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE

1390 HOLLY AVENUE, LOS ALTOS, CA
SHU CAO



STREETSCAPE IMAGES - 1



1395 MCKENZIE STREET - CORNER WITH HOLLY AVENUE

1390 HOLLY AVENUE SUBJECT PROPERTY

1380 HOLLY AVENUE

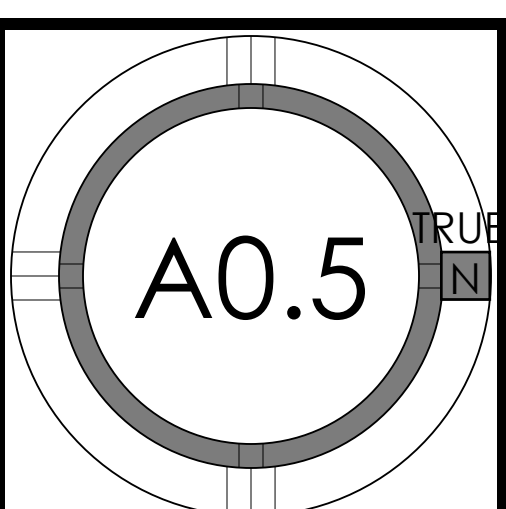
STREETSCAPE ELEVATION 1/8" 3



NEIGHBORS - 2

PROJECT NO.	REGION	DATE	DESCRIPTION	DRAWN BY
17-208		09.30.2017	PLANNING PERMIT SUBMITTAL	IV
		12.04.2017	PLANNING PERMIT RESUBMITTAL 1	IV
		03.12.2018	PLANNING PERMIT RESUBMITTAL 2	IV

STREETSCAPE





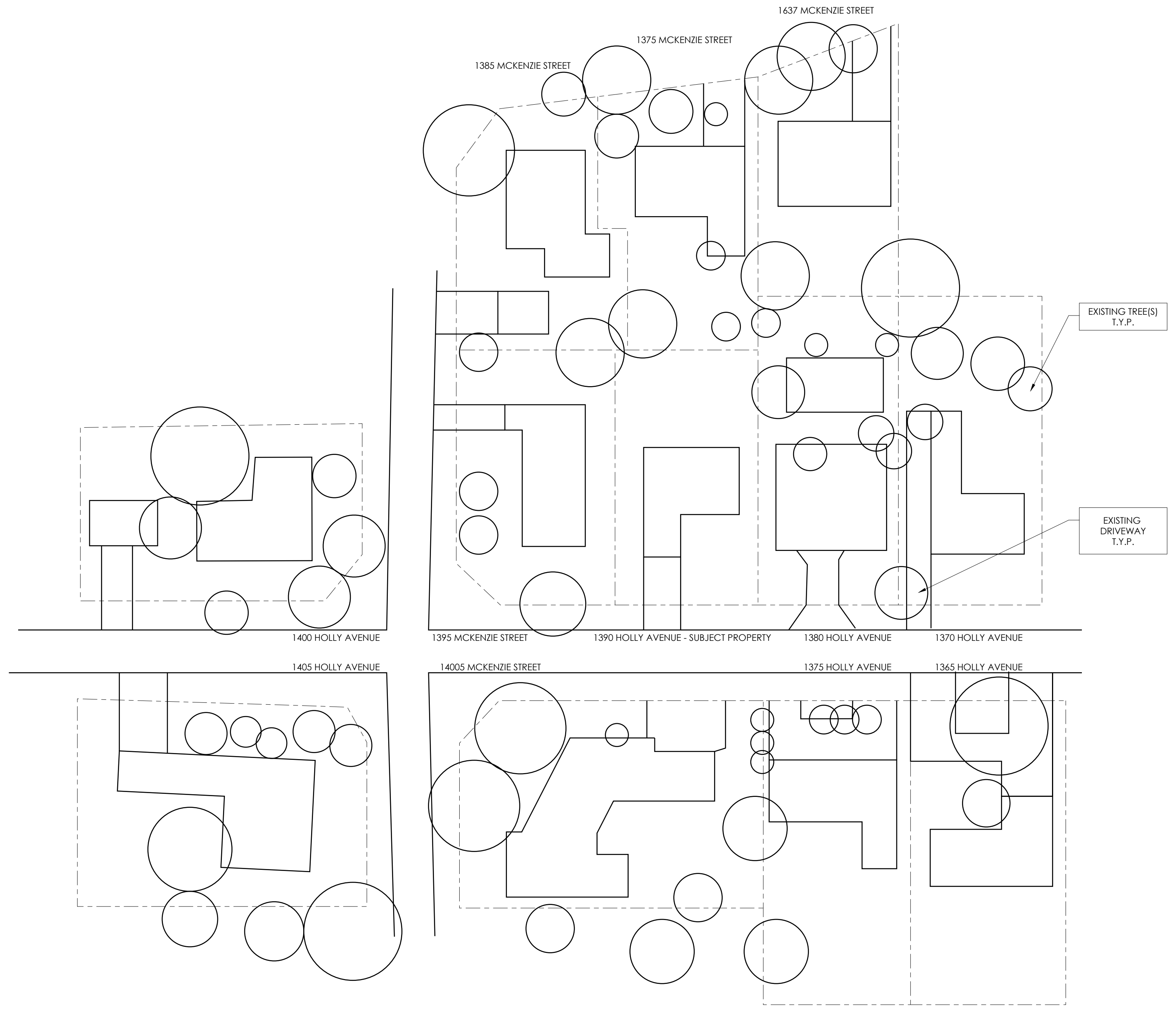
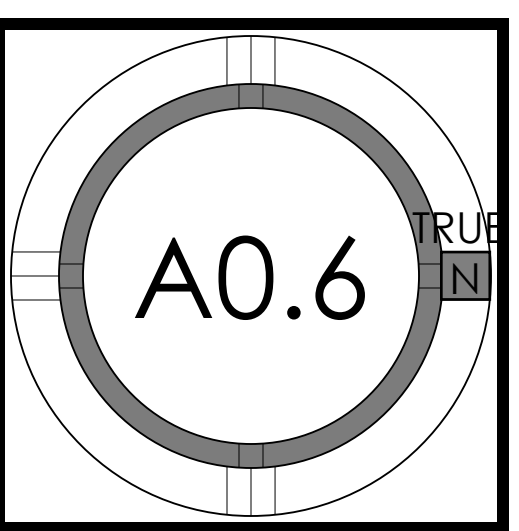
1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983
 F : (408) 404 - 0144

CAO RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 1390 HOLLY ANEVEUE, LOS ALTOS, CA
 SHU CAO



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
17-208	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBMITTAL 1	IV
	03.12.2018	PLANNING PERMIT RESUBMITTAL 2	IV

NEIGHBORHOOD CONTEXT

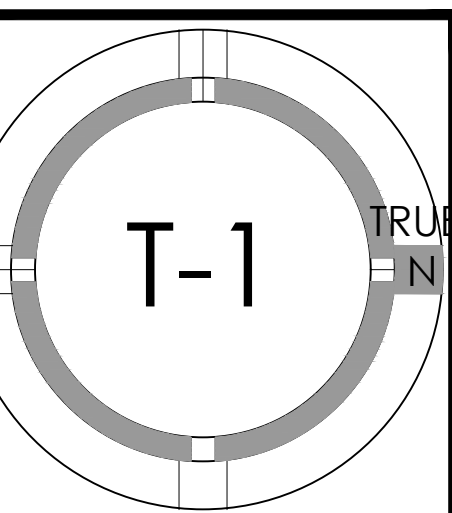


NOTE: OUTLINES OF THE NEIGHBORHOOD STRUCTURES, DRIVEWAYS AND TREES ARE DRAWN USING GOOGLE MAPS VIEWS

48 16 48 feet

PROJECT NO.	REVISION	DATE	DESCRIPTION
17-008			DRAWN BY
	IV	09.30.2017	PLANNING PERMIT SUBMITTAL
	IV	12.04.2017	PLANNING PERMIT RESUBM. 1
	IV	03.12.2018	PLANNING PERMIT RESUBM. 2

TREE PROTECTION PLAN



City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

TREE DISCLOSURE STATEMENT

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: 1390 HOLLY AVENUE, LOS ALTOS, CA

Are there Regulated trees on or adjacent to the property? YES NO (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

- On the property
- On adjacent property overhanging the project site
- In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? YES (Check where applicable) NO

- Protected Tree (s)
- Designated Tree (s)
- On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? YES NO

If Yes, a Tree Protection Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM, Section 6.25). Attach this report to Sheet T-1, Tree Protection, in Part of the Plans, per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? YES NO

**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/tree-forms.htm> (See also TTM, Section 2.15 for areas to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: _____ Print: _____ Date: 10/11/2017
(Prop. Owner or Agent)

FOR STAFF USE:

Protective Fencing
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. YES NO
(NA if there are no protected trees, check here [X])

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. YES NO
(NA if there are no street trees, check here [X])

Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger; Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.

Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at http://www.cityofpaloalto.org/planning-community/tree_technical-manual.html

S:\Plan\Draw\Arborist\Tree Protection Info\Tree Disclosure Statement Revised 08/06

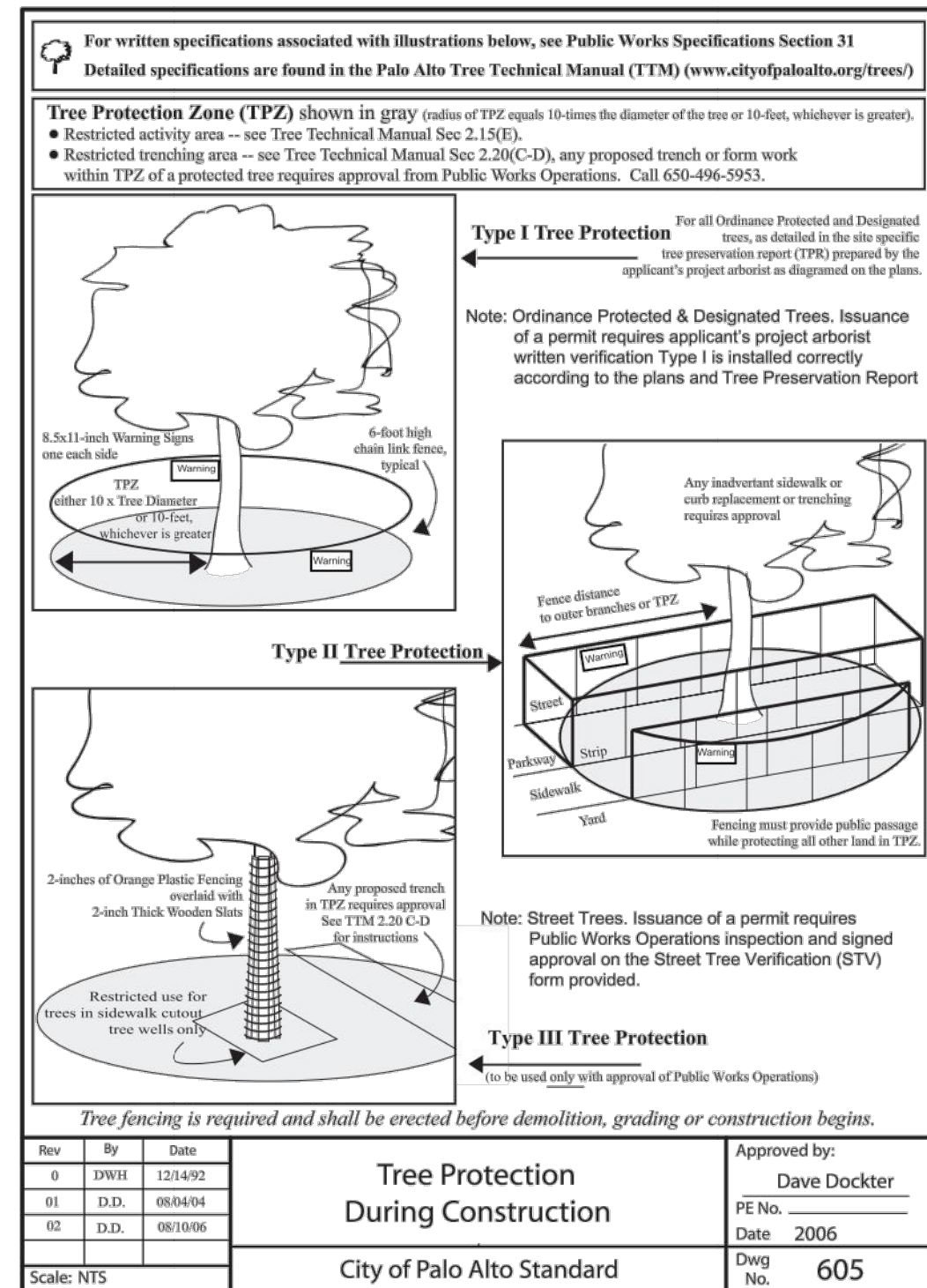


Table 2-2 Palo Alto Tree Technical Manual

CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- Inspection of Protective Tree Fencing. For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the tree and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39)
- Pre-Construction Meeting. Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).
- Inspection of Rough Grading or Trenching. Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- Monthly Tree Activity Report Inspections. The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17)
- Special activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- Landscape Architect Inspection. For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

Respectfully submitted,

Project site arborist
Consultant contact information (Include email, cell#, and mailing)
Cc: _____

Enter Date: _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

City of Palo Alto Tree Technical Manual ADDENDUM 11

Arborist Firm Data Here

Contractor: _____ #1 Job site superintendent
Main Site Contact Information: Company: _____, Email: _____, Job site: _____, Office: _____, Cell: _____, Mail: _____

Also present: _____

Dave Dockter: dave.dockter@cityofpaloalto.org
650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation list relevant visits)
 - Pre-construction meeting requirement with sub-contractors
 - Inspect to verify that tree protection measures are in place
 - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
 - Tree Protection Fences (TPF) are ...
 - Trenching has/will occur ...
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
 - Tree Protection Fence (TPF) needs adjusting (tree #, x, y)
 - Root zone buffer material (wood chips) can be installed next
 - Schedule sewer trench, foundation dig work ...
- Photographs (use often)
- Tree Location Map (mandatory 8.5 x 11 sheet)
- Recommendations, notes or monitor items for project/staff/schedule
- Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,

Project site arborist
Consultant contact information (Include email, cell#, and mailing)
Cc: _____

Enter Date: _____ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

---WARNING---

Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city-palo-alto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS

PLANNING DEPARTMENT

TREE PROTECTION INSPECTIONS MANDATORY

PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

BUILDING PERMIT DATE: _____

DATE OF 1ST TREE ACTIVITY REPORT: _____

CITY STAFF: _____

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.090. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

APPENDIX J

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS -SECTION 31-

31-1 General

- Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.
- The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents

- Detail #65 - Illustration of situations described below.
- Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)
 - Trenching Restrictions (TTM, Section 2.20(C))
 - Arborist Reporting Protocol (TTM, Section 6.31)
 - Site Plan Requirements (TTM, Section 6.25)
 - Tree Disclosure Statement (TTM, Appendix J)
- Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/tree-forms.htm>)

31-3 Execution

- Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.
- Type II Tree Protection:** For trees situated within a planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.
- Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require the City Arborist.
- Size, type and area to be fenced.** All trees to be preserved shall be protected with six (6') foot high chain link fences. Fences are to be installed on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet or no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.
- Warning Signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."
- Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

31-4 During construction

- All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.64(D) of the Palo Alto Municipal Code.
- The following tree preservation measures apply to all trees to be retained:
 - No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.
 - The ground under and around the tree canopy area shall not be altered.
 - Trees to be retained shall be irrigated, weeded and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWL, Section 31
Revised 08/06

City of Palo Alto Tree Department

Public Works Operations
PO Box 10250 Palo Alto, CA 94303
650-496-5953 FAX: 650-493-0289
treeprotection@CityofPaloAlto.org

Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: _____

ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: _____

APPLICANT'S NAME: _____

APPLICANT'S ADDRESS: _____

APPLICANT'S TELEPHONE & FAX NUMBERS: _____

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: _____ * If NO, go to #2 below

Inspected by: _____

Date of inspection: _____

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: _____

Indicate how the required modifications were communicated to the applicant: _____

Subsequent inspection

Street trees at above address were found to be adequately protected: YES NO * If NO, indicate in "Notes" below the disposition of case.

Inspected by: _____

Date of inspection: _____

Notes: List City street trees by species, size, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.
S:\PW\GIS\Tree\SSR_TheProject 9/7/06

City of Palo Alto
250 Hamilton Avenue, Palo Alto, CA 94301

Search: _____ Advanced _____ Browse By Topic _____

Home > Planning & Community Environment

Tree Technical Manual

To purchase the Tree Technical Manual

June, 2001 First Edition

View by section:

- Table of Contents (PDF, 67KB)
- Intent and Purpose (PDF, 1.05MB)
- Introduction - Use of Manual (PDF, 1.05MB)
- Section 3.0 - Definitions (PDF, 96KB)
- Section 2.0 - Protection of Trees During Construction (PDF, 259KB)
- Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB)
- Section 4.0 - Hazardous Trees (PDF, 105KB)
- Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)
- Section 6.0 - Tree Reports (PDF, 64KB)

View ALL sections:

- Tree Technical Manual - Full (PDF, 1.84MB)

APPENDICES

- Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management Regulations
- Tree City - USA
- ISA Hazard Evaluation Form
- List of Inherent Failure Patterns for Selected Species (Reference source)
- ISA Tree Pruning Guidelines (PDF, 1.89MB)
- Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source)
- Pruning Performance Standards, ANSI A300-1995 (Reference source)
- Tree Planting Details, Diagram 504 & 505
- Tree Disclosure Statement
- Palo Alto Standard Tree Protection Instructions

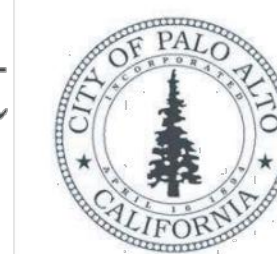
T-1



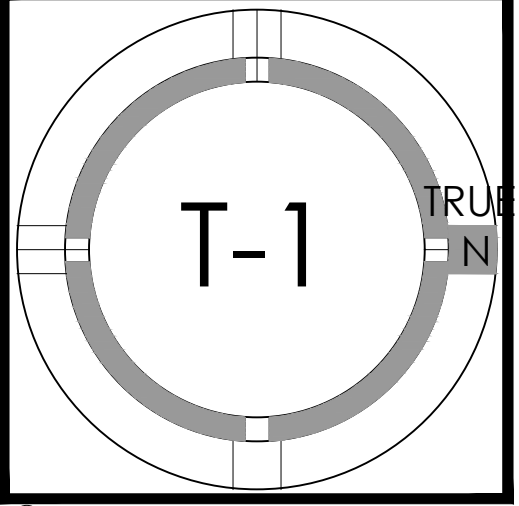
All other tree-related reports shall be added to the space provided on this sheet (adding as needed). Include this sheet(s) on Project Sheet Index or Legend Page. A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet

City of Palo Alto



T-1



City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.** For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

Kielty Arborist Services LLC
Certified Arborist WE#0476A
P.O. Box 6187
San Mateo, CA 94403
650-515-9783

October 10, 2017

Studio S. Squared Architecture, Inc.
Attn: Cao Shu
1000 S. Winchester Blvd.
San Jose, CA 95128

Site: 1390 Holly Avenue, Los Altos, CA

As requested on Monday, October 9, 2017, I visited the above site to inspect and comment on the trees. New home construction is proposed for this site and your concern as to the future health and safety of the trees on site has prompted this visit.

Method:
All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a to scale map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition ratings are based on 50 percent vitality and 50 percent form, using the following scale.

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

1390 Holly/10/10/17 (2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1	Apricot (<i>Prunus armeniaca</i>)	11.6	40	5/20	Poor vigor, fair form, in decline, brown rot.
2*	Fig (<i>Ficus carica</i>)	8est	50	20/20	Fair vigor, poor form, shared tree. Ivy on trunk.
3	Fruitless mulberry (<i>Morus alba</i>)	18.9	45	30/35	Good vigor, poor form, pollarded, decay on trunk.
4*	Redwood (<i>Sequoia sempervirens</i>)	40est	75	70/35	Good vigor, good form, 15 feet from property line corner.
5*	Redwood (<i>Sequoia sempervirens</i>)	38est	70	70/35	Good vigor, good for, 5 feet from property line corner.
6	Black walnut (<i>Juglans californica</i>)	26.1	65	30/40	Good vigor, fair form, heavily topped in past.
7	Avocado (<i>Persea americana</i>)	12.7	50	25/35	Good vigor, poor-fair form, growing through fence.
8	Black walnut (<i>Juglans californica</i>)	24.1	40	20/25	Fair vigor, poor form, heavily topped and headed, decay.

Summary:

The trees on and off the site are a mix of native walnuts and non-native trees. Several of the trees on the site have been poorly maintained and should be removed. Walnut #8 and fruitless mulberry #3 have been heavily topped and are decayed.

Walnut #6 and avocado #7 are in the rear corner of the property and can be retained. Redwoods #4 and #5 are near the southern corner of the property and should not be affected. Apricot #1 is in poor condition and should be removed. The following tree protection plan should be followed for any retained trees.

Tree Protection Plan:

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6-foot-tall metal chain link type supported by 2-inch diameter metal poles pounded into the ground to a depth of no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be placed at 10X the trees diameter where possible.

1390 Holly/10/10/17 (3)

Where not possible tree protection should be placed as close as possible to the proposed work while still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips. The following tree protection distances should be followed throughout the entire length of the project:

Root Cutting

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend irrigation at that time. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist by spraying the burlap multiple times a day.

Trenching and Excavation

Trenching for irrigation, electrical, drainage or any other reason, should be hand dug when beneath the dripline of desired trees. Hand digging and careful placement of pipes below or beside protected roots will dramatically reduce root loss, thus reducing trauma to desired trees. Trenches should be back filled as soon as possible using native materials and compacted to near original levels. Trenches to be left open with exposed roots shall be covered with burlap and kept moist. Plywood laid over the trench will help to protect roots below. The site arborist will be on site during any excavation within the driplines of protected trees.

Irrigation

Normal irrigation should be maintained throughout the entire length of the project. Irrigation should consist of surface flooding, with enough water to wet the entire root zone. If the root zone is traumatized this type of irrigation should be carried out two times per month during the warm dry season.

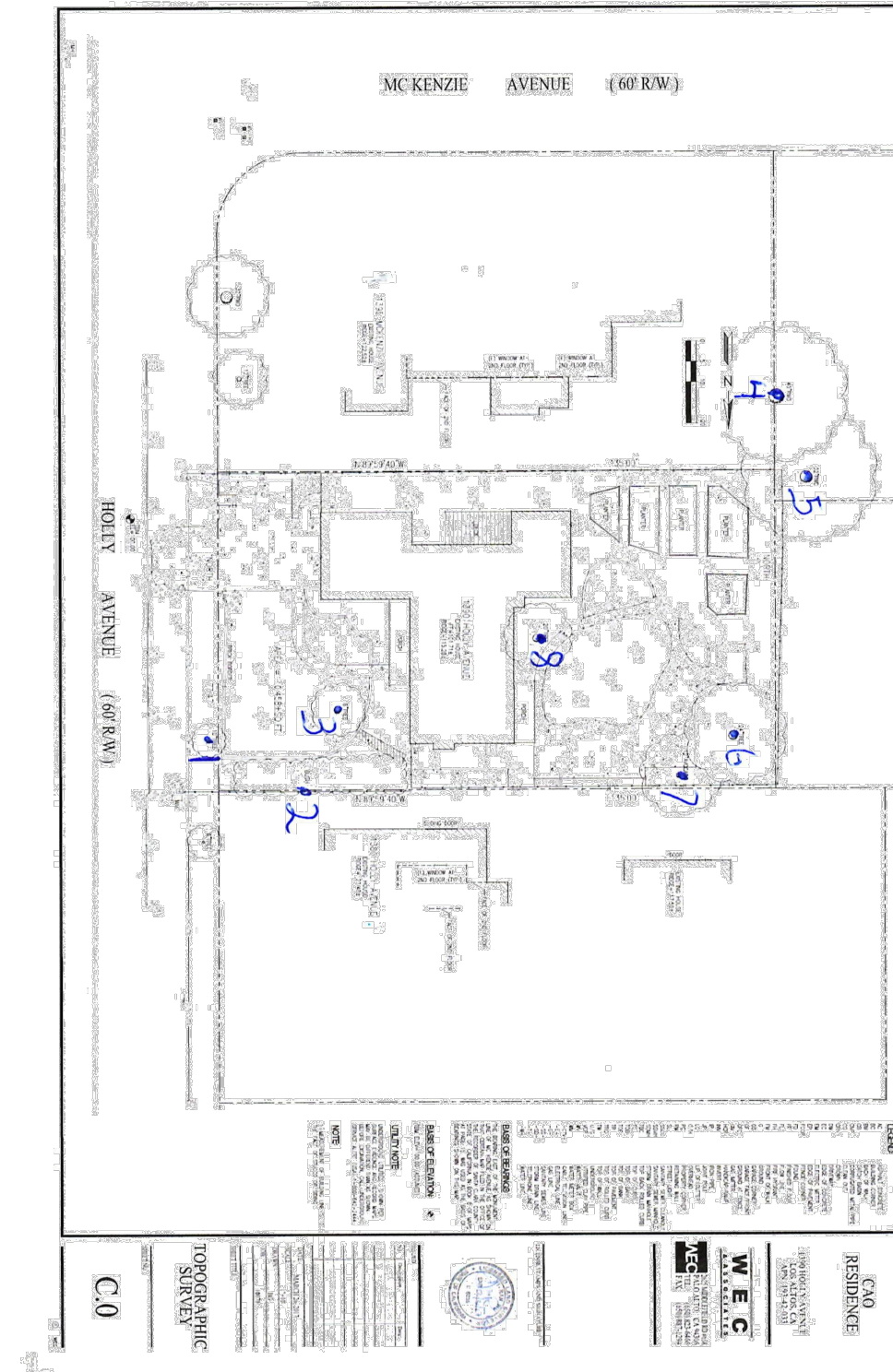
The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty
Certified Arborist WE#0476A

David P. Beckham
Certified Arborist WE#10724A

Apply Tree Protection Report on sheet(s) T-2
Use additional "T" sheets as needed



Project
Data



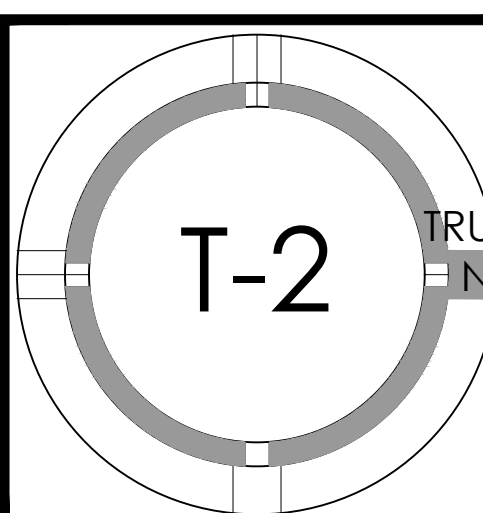
1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
1390 HOLLY AVENUE, LOS ALTOS, CA
SHU CAO



PROJECT NO.	DATE	DESCRIPTION	REVISION
17-008	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBM. 1	IV
	03.12.2018	PLANNING PERMIT RESUBM. 2	IV

TREE
PROTECTION
PLAN



© STUDIO S SQUARED ARCHITECTURE, INC.

T-2



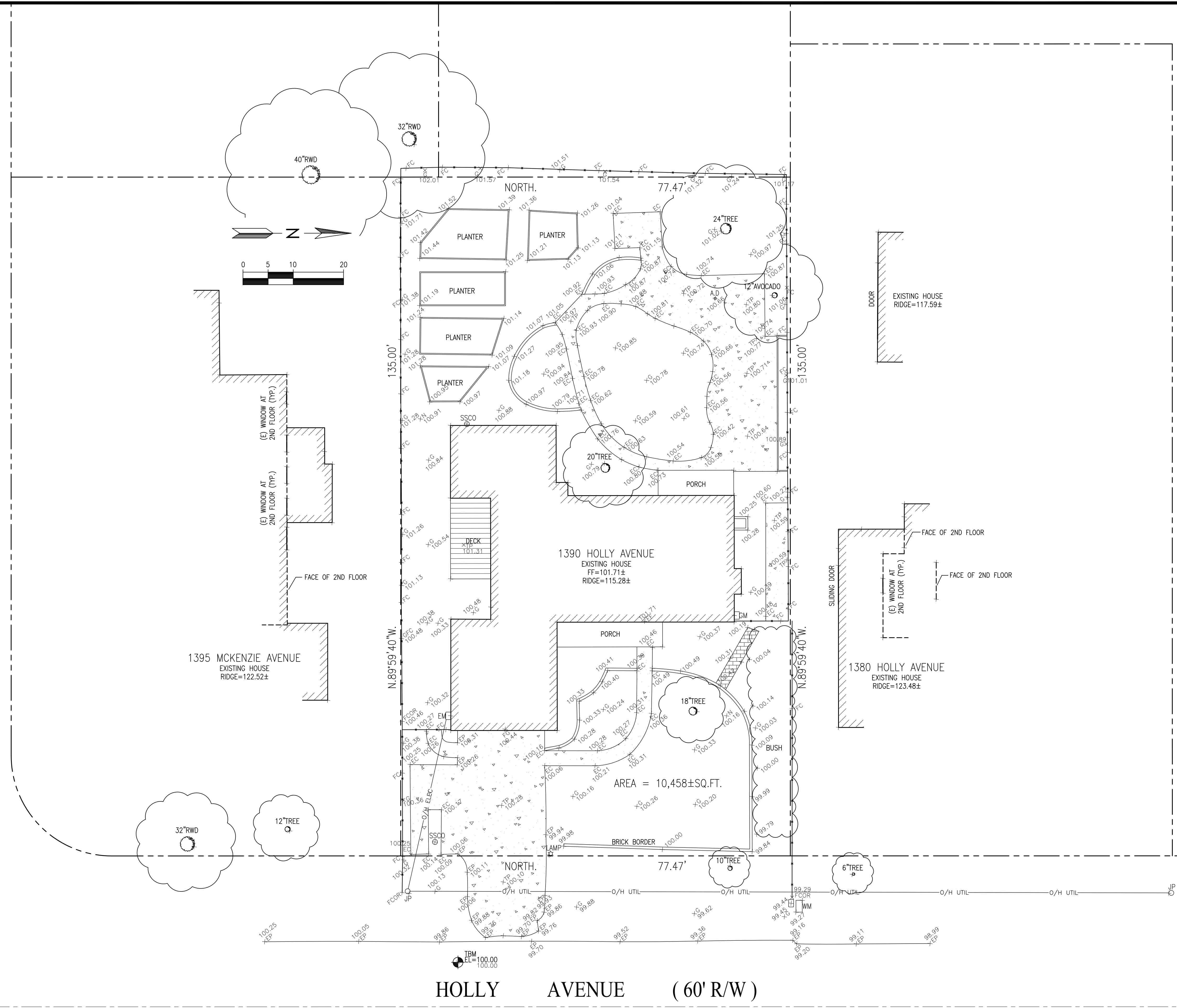
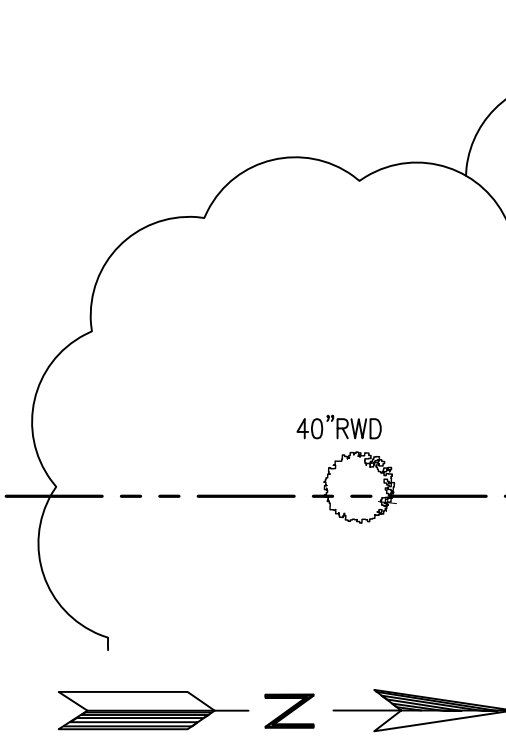
All other tree-related reports shall be added to the space provided on this sheet (adding as needed). Include this sheet(s) on Project Sheet Index or Legend Page. A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto



T-2

MC KENZIE AVENUE (60' R/W)



LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- LG OVERHEAD
- PC PROPERTY CORNER
- PC RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOE OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

BASIS OF BEARINGS:

THE BEARING, EAST, OF THE MONUMENT LINE OF MC KENZIE AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 8 OF MAPS AT PAGE 15, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV=100.00 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES: SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

NOTE:

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

CAO RESIDENCE

1390 HOLLY AVENUE
LOS ALTOS, CA
APN: 193-42-033



2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MARCH 26, 2017
SCALE: 1"=10'
DRAWN: BG
JOB: 10078

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NO.

C.0

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.

2. THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% SLOPE AWAY FROM THE BUILDING PERIMETER AND ADJACENT PROPERTY LINES. EXISTING DRAINAGE COMINGS FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.

3. THE HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.

4. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.

5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

6. IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.

2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.

3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.

4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.

5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.

6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.

7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

UTILITY NOTES:

1. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES.

CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL GRAVITY SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION. ALL WORK FOR GRAVITY SYSTEMS SHALL BEGIN AT THE 1. DOWNSTREAM CONNECTION POINT. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION. ELBOWS AND TEE SHOULD BE AVOIDED.

2. CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS.

3. A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.

4. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE (5) FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

GEOTECHNICAL INVESTIGATION REPORT

A GEOTECHNICAL INVESTIGATION REPORT HAS BEEN PREPARED BY JOEL BALDWIN, EARTH INVESTIGATIONS CONSULTANTS, P.O. BOX 795, PACIFICA, CA. 650-557-0262 (DATE: APRIL 29, 2014, JOB NO 2513.02.00)

EARTHWORK QUANTITIES:	
CUT(OUTSIDE BLDG FOOTPRINT)	350 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	1450 C.Y.
FILL	355 C.Y.
BALANCE	1445 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

CUT AND FILL EST. 3

—SS— SANITARY SEWER	—SL— STREET LIGHT
—E— ELECTRIC	—IRR— IRRIGATION
—TV— TV/CABLE TV	—X— FENCE
—FS— FIRE SERVICE	—JT— JOINT TRENCH
—W— DOMESTIC WATER SERVICE	—O/H— OVERHEAD WIRES
—T— TELEPHONE	× 16.07 (E) SPOT ELEVATION
—G— NATURAL GAS	× 16.07 (N) SPOT ELEVATION
—FM— FORCE MAIN	
—DS— SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG.	
—DOWNSPOUT	

LEGEND 4

AB AGGREGATE BASE	GB GRADE BREAK
AC ASPHALT CONCRETE	GM GAS METER
AD AREA DRAIN	GR GRATE ELEVATION
BW BOTTOM OF WALL	HP HIGH POINT
CB CATCH BASIN	INV INVERT ELEVATION
CIP CAST IRON PIPE	JT JOINT TRENCH
CL CENTER LINE	JP JOINT POLE
CONC CONCRETE	LD LANDSCAPE DRAIN
CS CRAWL SPACE ELEV.	LF LINEAR FEET
DD DECK DRAIN	(N) NEW
DIP DUCT IRON PIPE	PKG PARKING
DS DOWNSPOUT	PKC POINT OF CONNECTION
DWY DRIVEWAY	RET RETAINING WALL
(E) EXISTING	RIM RIM ELEVATION
EG EXISTING GRADING	S SLOPE
EM ELECTRICAL METER	SD STORM DRAIN LINE
EP EDGE OF PAVEMENT	SDCO STORM DRAIN CLEANOUT
FC FACE OF CURB ELEV.	SDFM STORM DRAIN FORCED MAIN
FD FRENCH DRAIN	SS SANITARY SEWER
FF FINISH FLOOR ELEVATION	SSCO SANITARY SEWER CLEANOUT
FG FINISHED GROUND ELEV.	TW TOP OF WALL ELEVATION
FL FLOW LINE ELEVATION	TYP TYPICAL
FM FORCE MAIN LINE	W DOMESTIC WATER LINE
FP FINISHED PAVEMENT	WM WATER METER
FS FINISH SURFACE ELEV	
FW FIRE WATER LINE	

ABBREVIATION 5

- 1] FLOW REDUCTION BOX, RIM=100.3 INV=97.8 SEE DETAIL 3/C.2
- 2] SUMP PUMP, SEE DETAIL 9/C.2, GR=89.40 PUMP ON=88.40 PUMP OFF=86.40, SEE 6/C.2
- 3] STABILIZE DISCHARGE AREA W/ DRAIN ROCK (2'X4') FOR EROSION CONTROL
- 4] MAINTAIN STABILIZED CONSTRUCTION ENTRANCE AREA. SEE DETAIL 2/C.2
- 5] MAINTAIN FIBER ROLL AROUND ENTIRE PROPERTY LINES FOR EROSION CONTROL. SEE DETAIL 1/C.2
- 6] DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
- 7] INFILTRATION DEVICE, 6'X8', 3' DEEP, SEE 7/C.1
- 8] PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
- 9] PERF. DRAIN PIPE AROUND BASEMENT WALL. SEE STRUCTURAL PLAN FOR DRAIN PIPE PLACEMENT. CONNECT TO LIGHTWALL SUMP PUMP

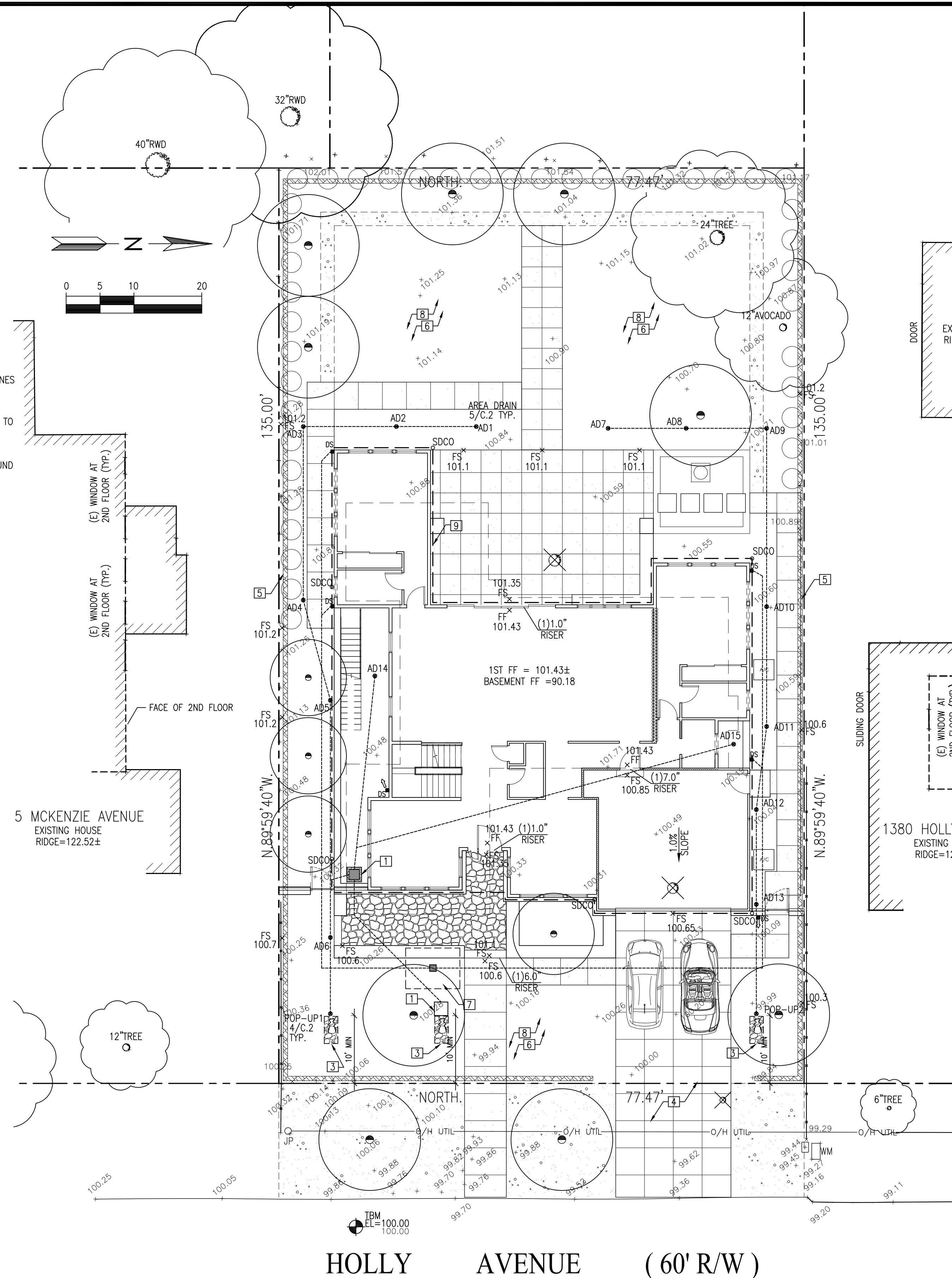
PROPERTY LINE	---
PERF PVC SD LINE	- - - - -
SOLID PVC SD LINE	_____
GRADE BREAK	-----

NOTE: CONTRACTOR TO DETERMINE TOP OF BASEMENT RETAINING WALL (MIN 8" ABOVE PROPOSED OUTSIDE GRADE.) SEE STRUCTURAL PLAN FOR BASEMENT WALL DETAILS. COORDINATE WITH WATER PROOFING CONSULTANT

DRAINAGE FEATURE TABLE

FEATURE	RIM	INV
AD1	100.9	99.7
AD2	100.9	99.6
AD3	100.9	99.5
AD4	100.9	99.4
AD5	100.9	99.3
AD6	100.5	99.2
POP-UP1	100.3	98.8
AD7	100.9	99.7
AD8	100.9	99.6
AD9	100.9	99.5
AD10	100.7	99.4
AD11	100.6	99.3
AD12	100.3	99.2
AD13	100.3	99.1
POP-UP2	100.0	98.5
AD14	89.47	NOTE1
AD15	89.47	NOTE1

NOTE1: INV TO BE DETERMINED IN THE FIELD BASED ON WATER PROOFING CONTRACTOR RECOMMENDATION



GENERAL NOTES 2

GRADING AND DRAINAGE PLAN & EROSION CONTROL PLAN SCALE: 1"=10' 1

CAO RESIDENCES

1390 HOLLY AVENUE
LOS ALTOS, CA
APN: 193-42-033

W E C & ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date
1	REVISION	3/14/18

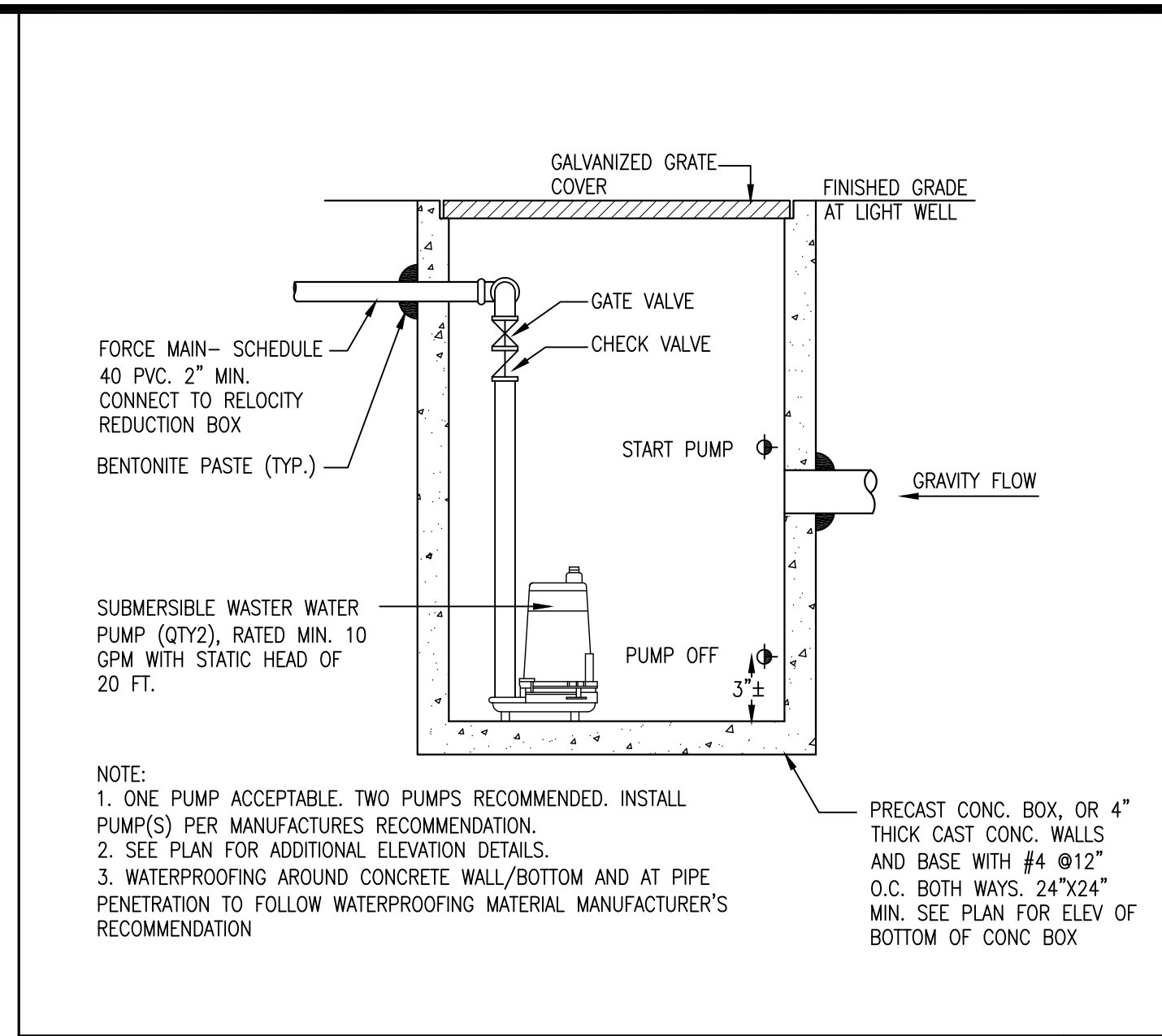
DATE: SEPT 12, 2017
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

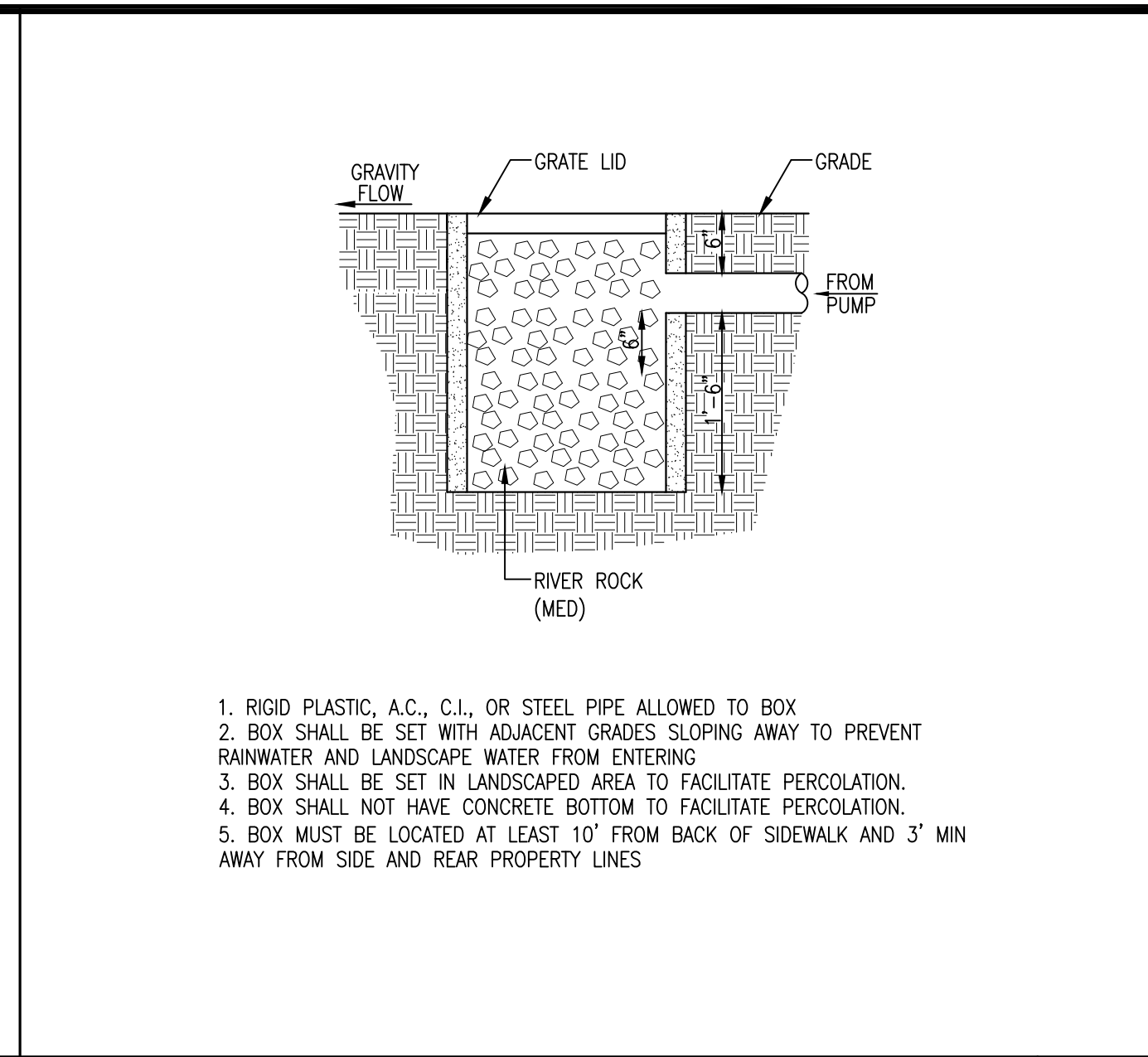
GRADING AND DRAINAGE & EROSION CONTROL PLAN

SHEET NO.



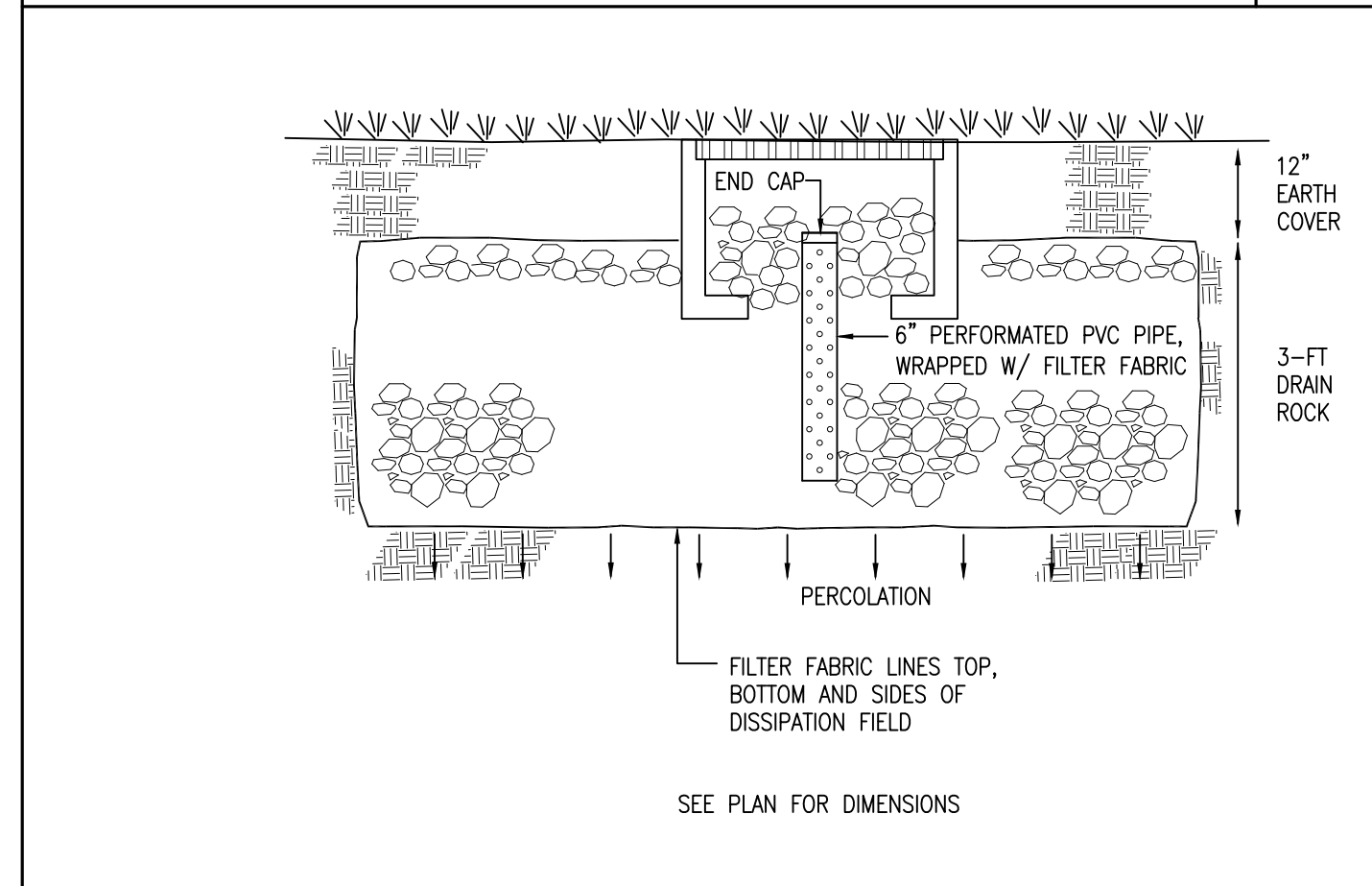


LIGHTWELL DRAIN SUMP PUMP N.T.S. 6

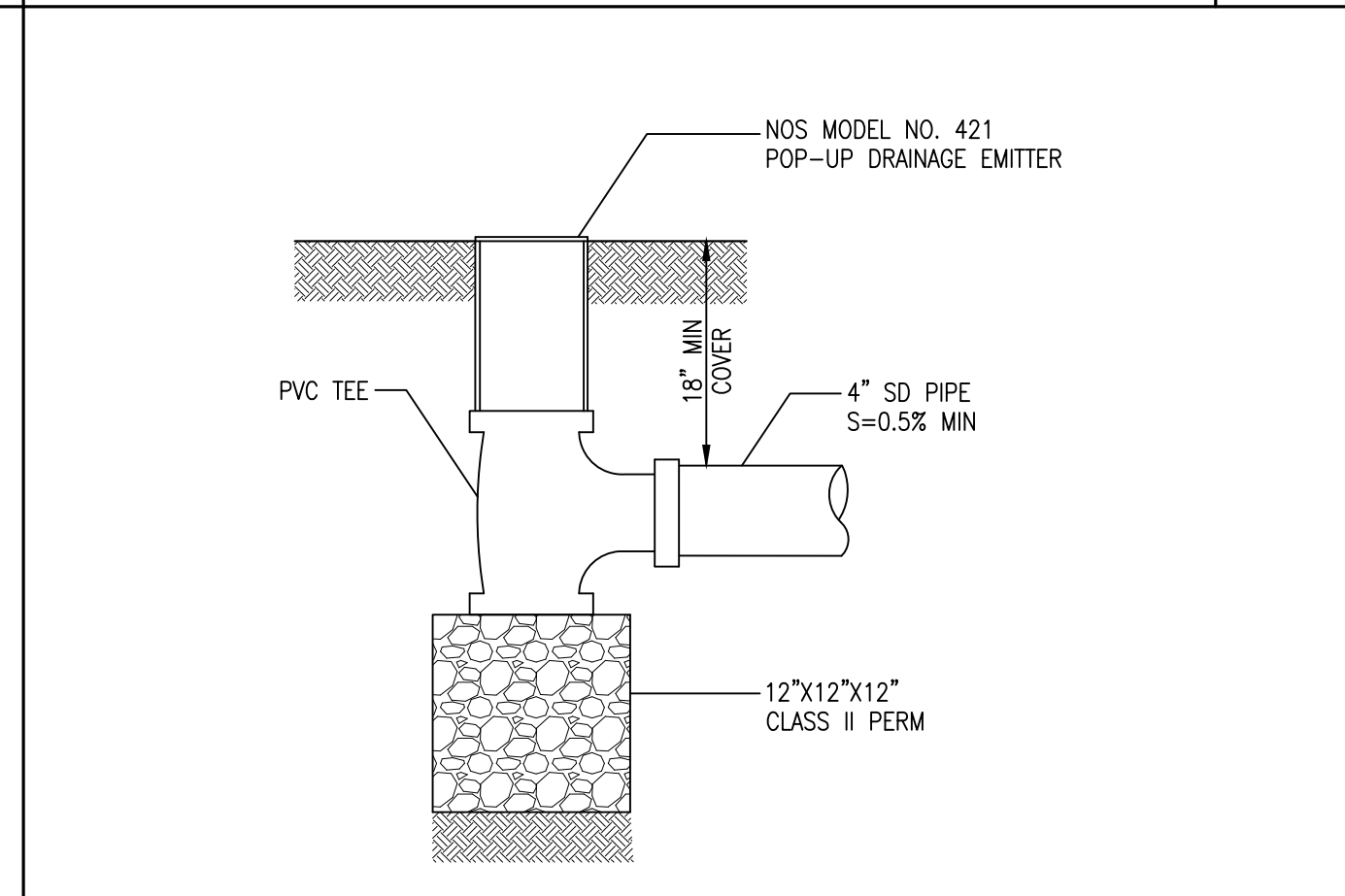


1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX
2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER AND LANDSCAPE WATER FROM ENTERING
3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
5. BOX MUST BE LOCATED AT LEAST 10' FROM BACK OF SIDEWALK AND 3' MIN AWAY FROM SIDE AND REAR PROPERTY LINES

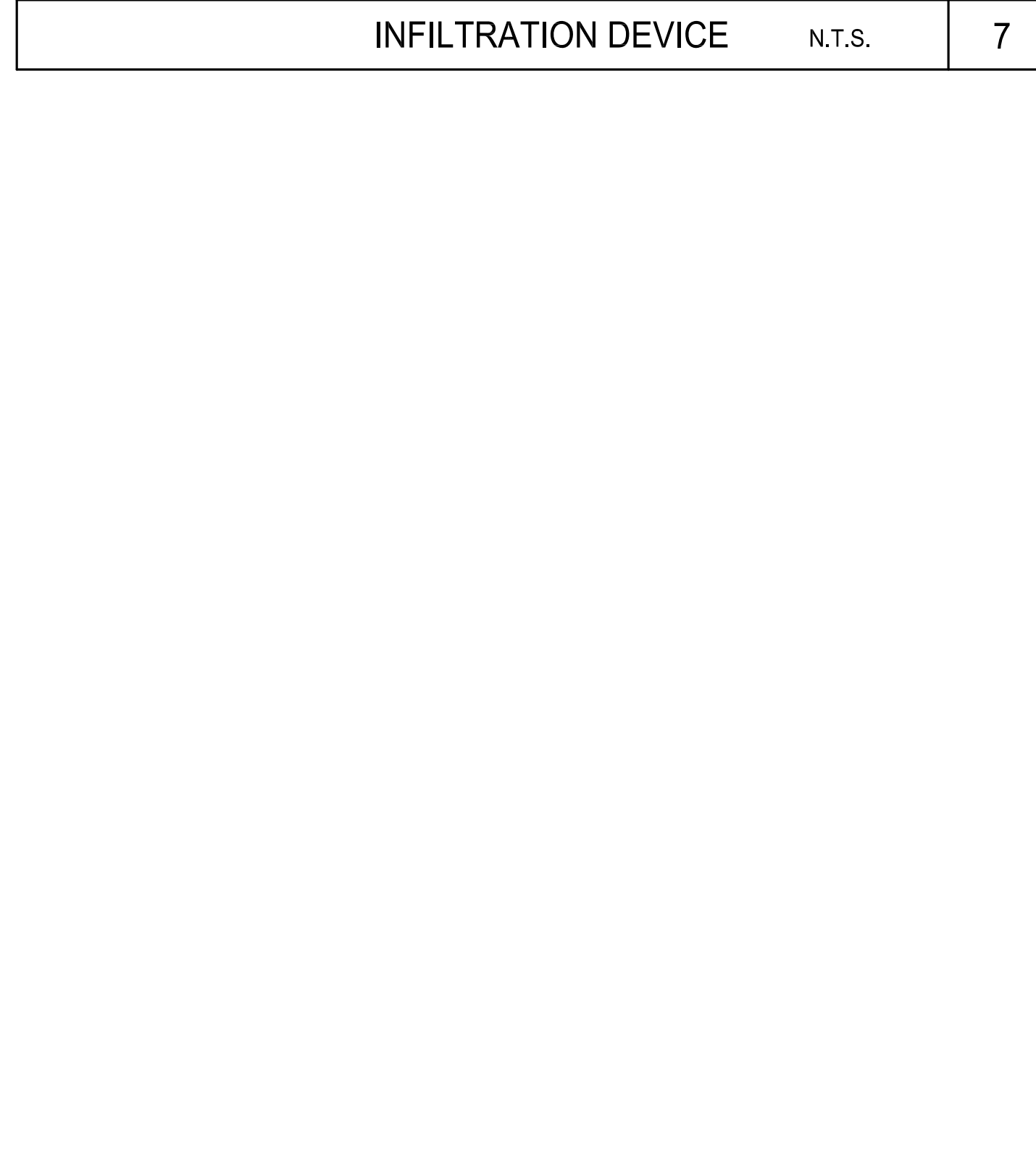
FLOW REDUCTION BOX N.T.S. 3



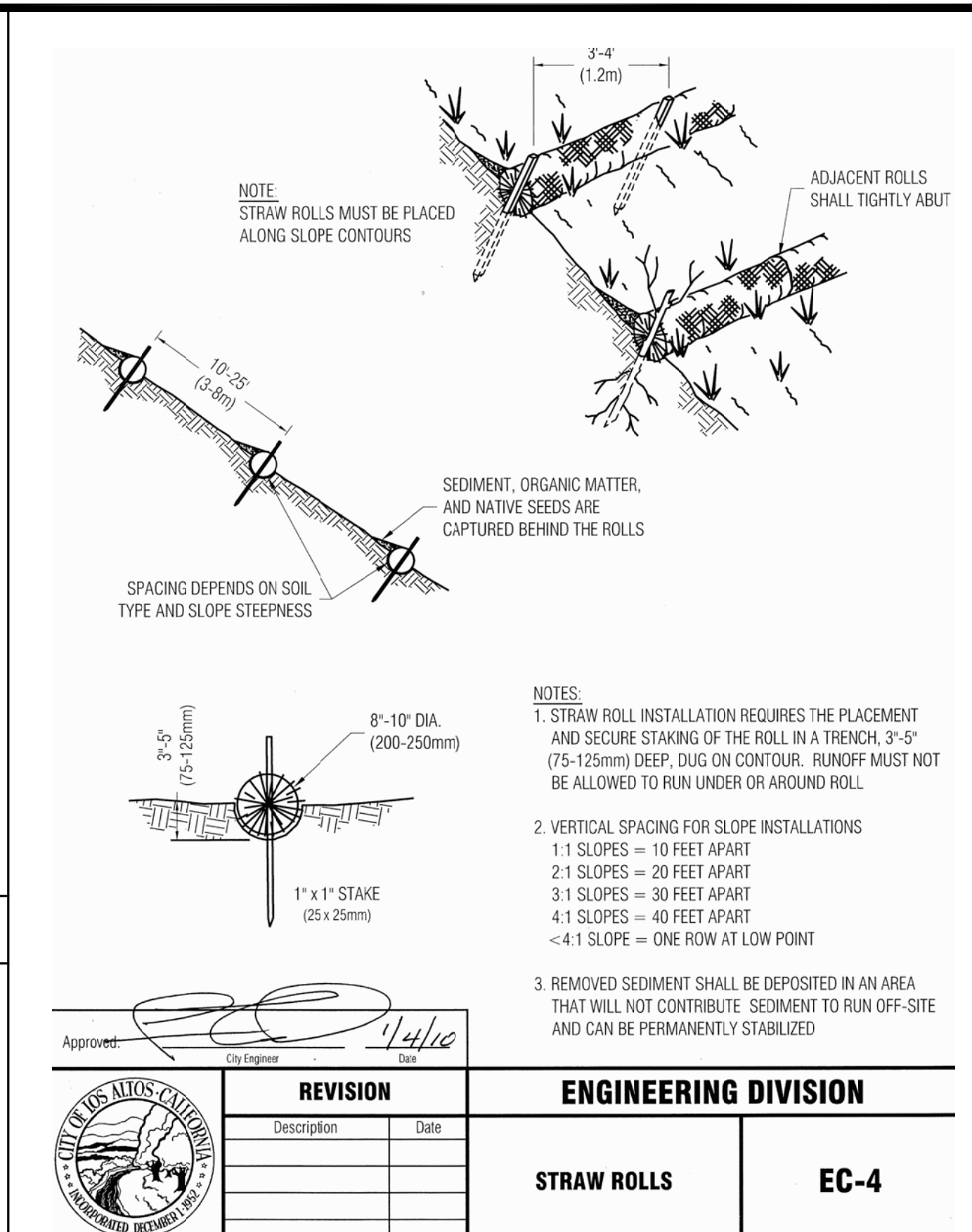
INFILTRATION DEVICE N.T.S. 7



POP-UP DRAIN DETAIL N.T.S. 4

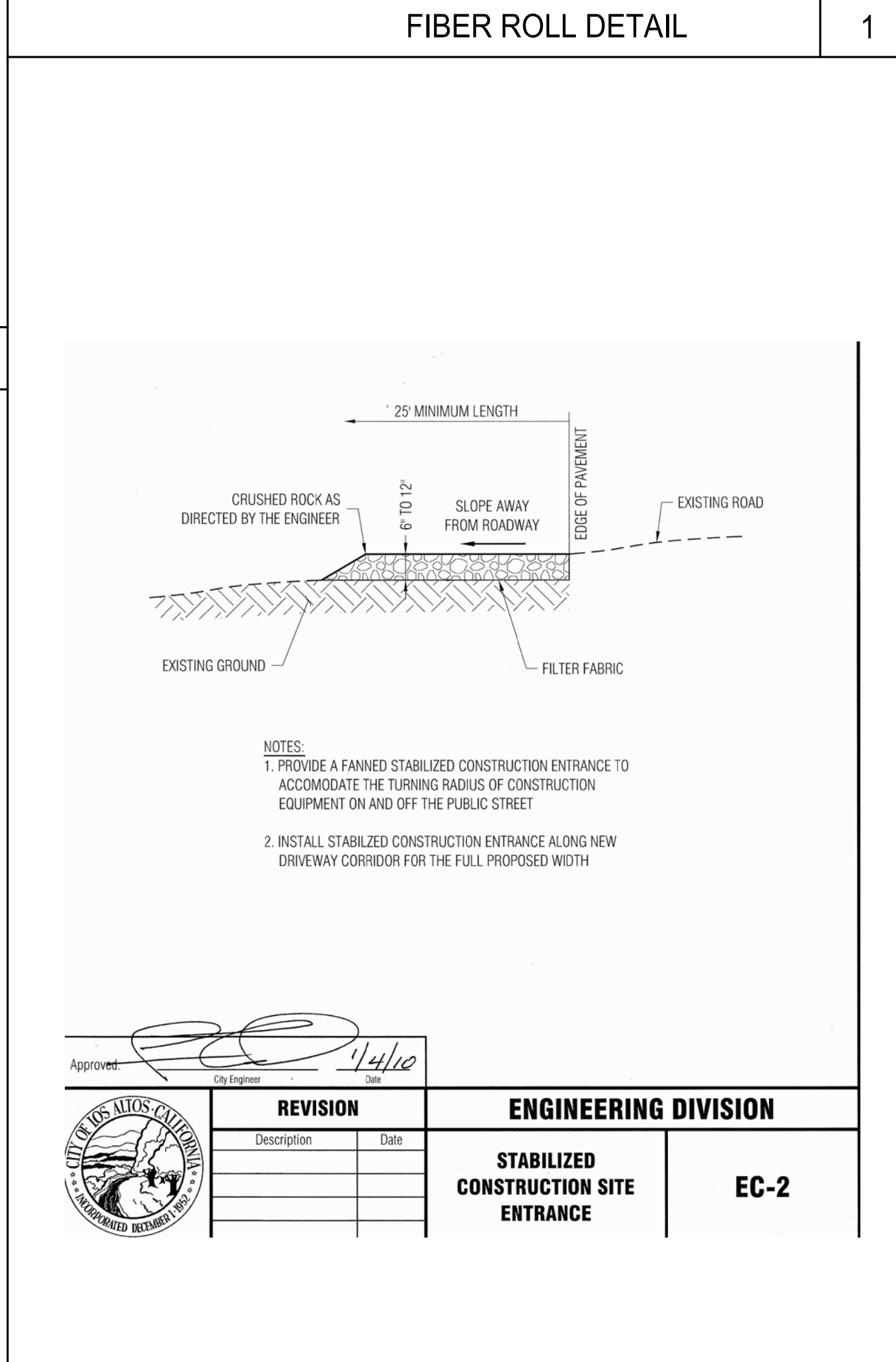


AREA DRAIN DETAILS N.T.S. 5



- NOTE: STRAW ROLLS MUST BE PLACED ALONG SLOPE CONTOURS
- ADJACENT ROLLS SHALL TIGHTLY ABUT
- SEDIMENT, ORGANIC MATTER, AND NATIVE SEEDS ARE CAPTURED BEHIND THE ROLLS
- SPACING DEPENDS ON SOIL TYPE AND SLOPE STEEPNESS
- NOTES:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3'-5\"/>
 2. VERTICAL SPACING FOR SLOPE INSTALLATIONS
 - 1:1 SLOPES = 10 FEET APART
 - 2:1 SLOPES = 20 FEET APART
 - 3:1 SLOPES = 30 FEET APART
 - 4:1 SLOPES = 40 FEET APART
 - <4:1 SLOPE = ONE ROW AT LOW POINT
 3. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED

FIBER ROLL DETAIL 1



- NOTES:
1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET
 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

- Approved: [Signature] 1/4/10 Date
- | REVISION | | ENGINEERING DIVISION | |
|-------------|------|---------------------------------------|------|
| Description | Date | STABILIZED CONSTRUCTION SITE ENTRANCE | EC-2 |
| | | | |

STABILIZED CONSTRUCTION ENTRANCE 2

CAO RESIDENCES

1390 HOLLY AVENUE
LOS ALTOS, CA
APN: 193-42-033

W E C & ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

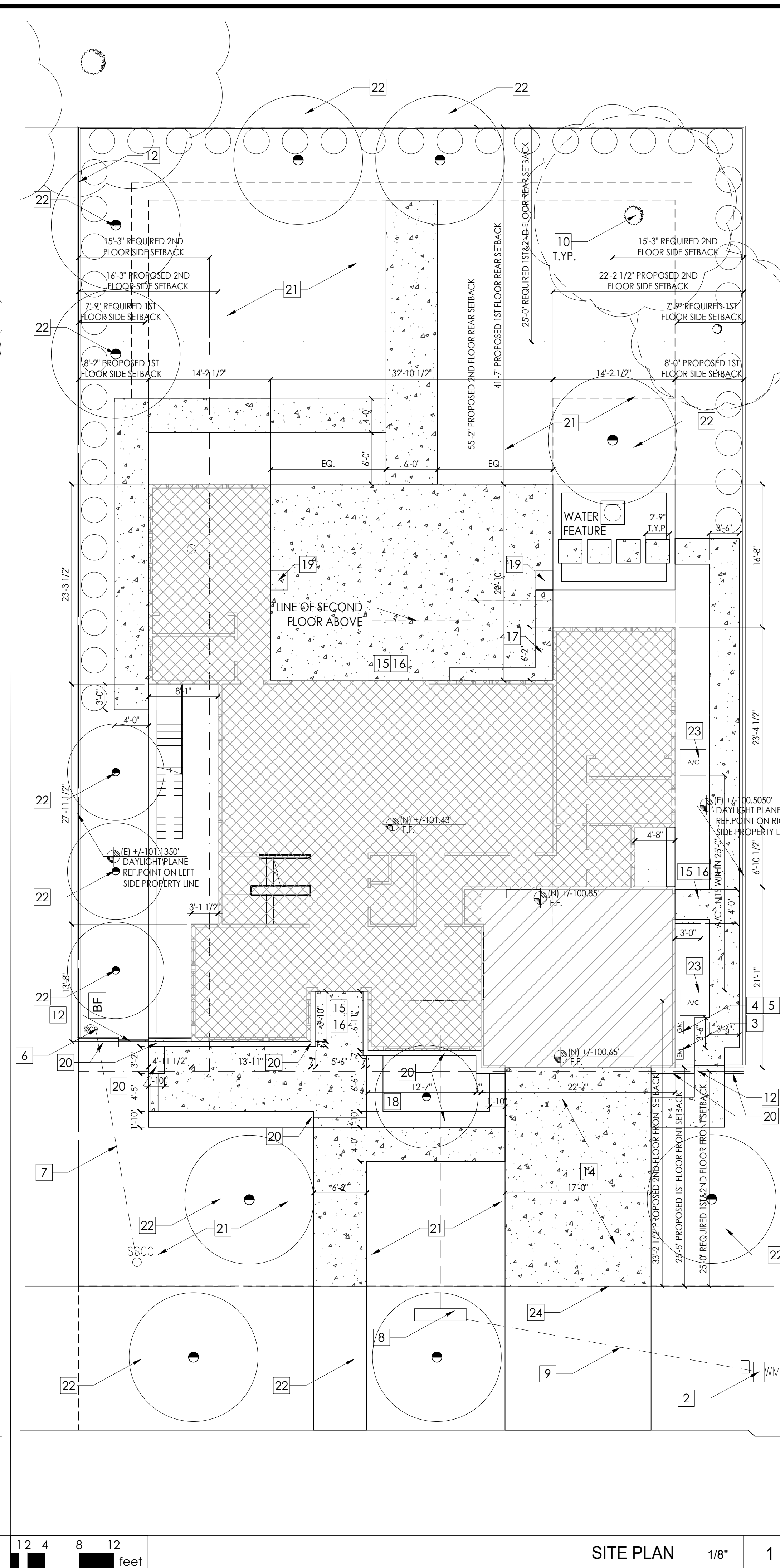
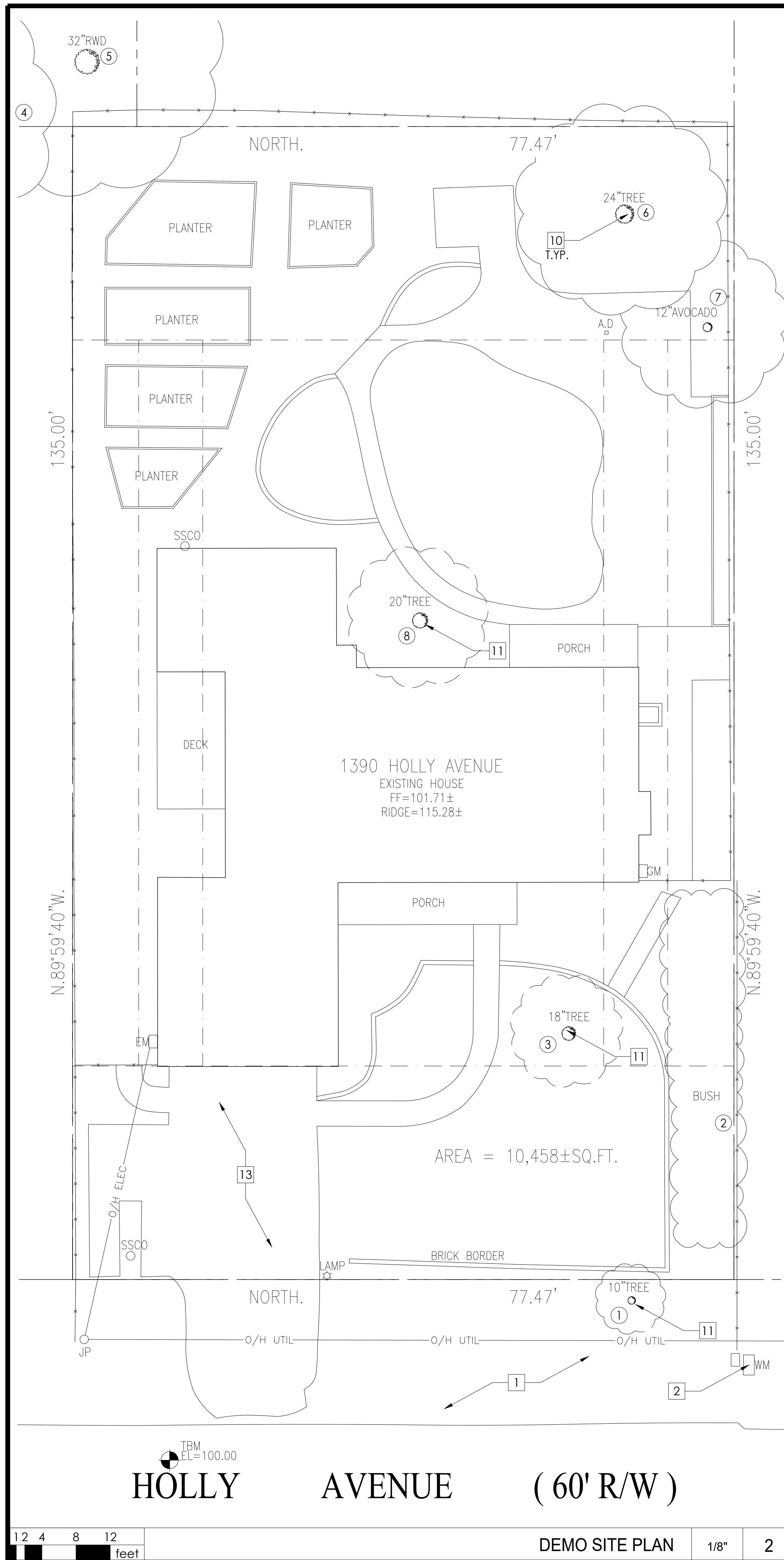
No.	Description	Date

DATE: SEPT 12, 2017
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

DETAILS

SHEET NO.

C.2



- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
 - (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
 - (N) GAS METER LOCATION
 - (N) ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE (200AMPS) TO (E) ELECTRICAL SERVICE
 - UFER GROUND CONNECTION PER CEC 250-52
 - (N) 4" SEWER LATERAL--CONTRACTOR TO VERIFY LOCATION IN FIELD AND CONNECT TO (E) LINE SEWER CLEANOUT
 - (N) SANITARY SEWER LINE
 - (N) IRRIGATION BACK FLOW PREVENTER
 - (N) WATER SERVICE LINE
 - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
 - (E) TREE(S) TO BE RELOCATED ON SITE UNDER DIRECTION OF CERTIFIED ARBORIST
 - (N) FENCE AND GATE--VERIFY FINAL DESIGN AND FINISH WITH OWNER
 - (E) DRIVEWAY TO BE REMOVED
 - (N) DRIVEWAY, PAVERS OVER 8" BASE ROCK AND 2" SAND -- VERIFY PAVER DESIGN WITH OWNER
 - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
 - (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
 - (N) OUTDOOR KITCHEN
 - NOT USED
 - (N) PORCH COLUMNS
 - (N) LOW STONE WALLS
 - (N) SOFTSCAPE--PROVIDE DRIP IRRIGATION
 - (N)/RELOCATED TREE LOCATION
 - (N) A/C UNIT CONDENSER PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. A/C UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE
 - (N) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL

SITE PLAN KEYNOTES

- PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
- REQUIRED YARD SETBACK/EASEMENT
- NEW LIVING AREA
- NEW GARAGE AREA
- NEW HARDSCAPE--SEE LANDSCAPE PLAN FOR MORE INFO
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

- NOTES:
- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
 - (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE

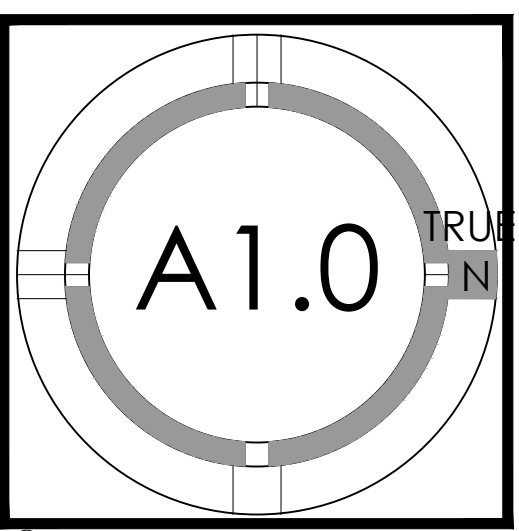
1390 HOLLY AVENUE, LOS ALTOS, CA

SHU CAO



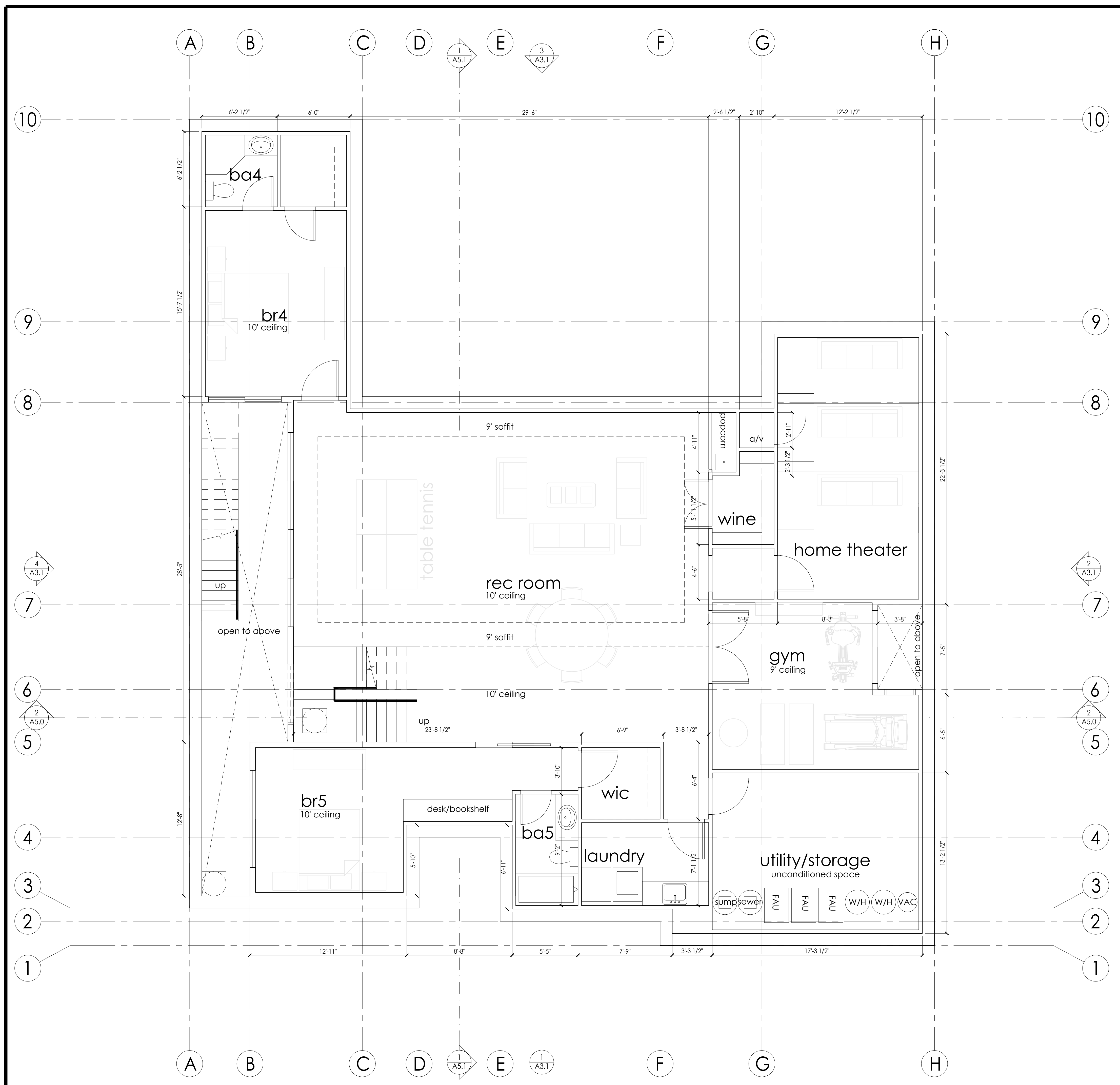
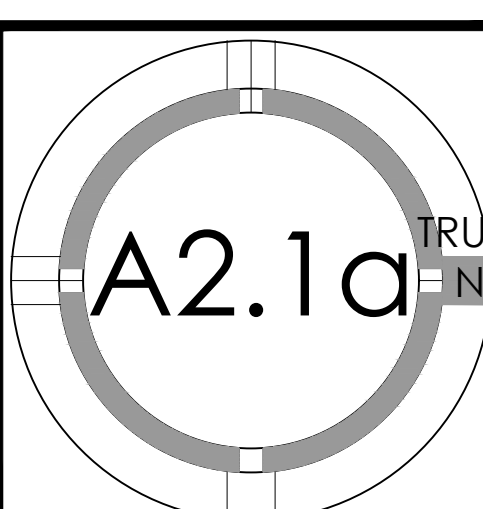
PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY
17-008		09.30.2017	PLANNING PERMIT SUBMITTAL	IV
		12.04.2017	PLANNING PERMIT RESUBM. 1	IV
		03.12.2018	PLANNING PERMIT RESUBM. 2	IV

SITE PLAN & DEMO SITE PLAN



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
17-008	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBM. 1	IV
	03.12.2018	PLANNING PERMIT RESUBM. 2	IV

BASEMENT



#

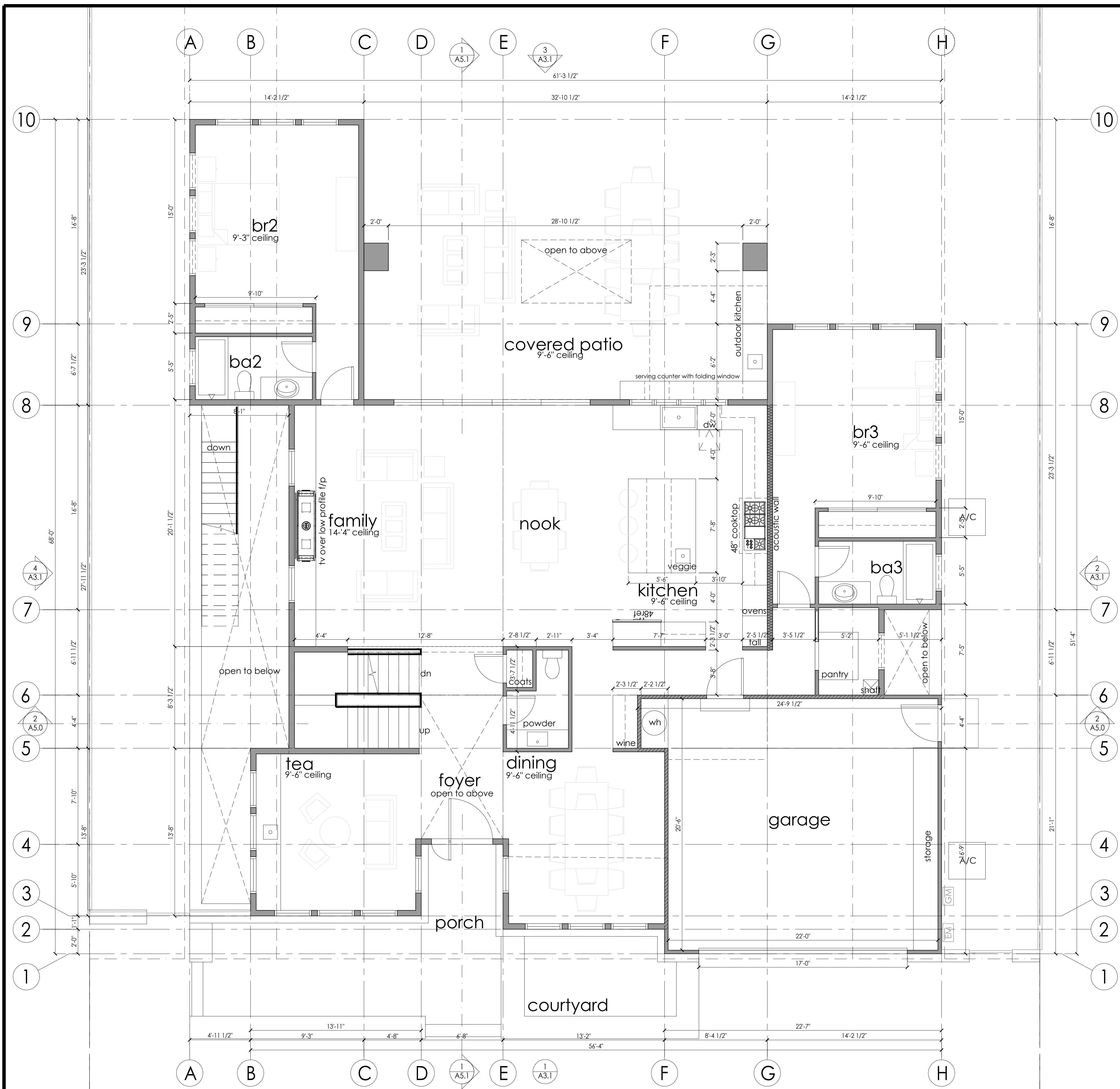
FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C.-SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2-INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

(N)/EXISTING WALL W/ 1 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING

(N) STAGGERED STUD ACOUSTICAL WALL PER DETAIL [X/XXX]

FLOOR PLAN LEGEND



#

FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C.-SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2-INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

(N)/EXISTING WALL W/ 1 HOUR SEPARATION-5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING

(N) STAGGERED STUD ACOUSTICAL WALL PER DETAIL [X/XXX]

FLOOR PLAN LEGEND

1 2 3 4 6 feet

1ST FLOOR PLAN 1/4" 1



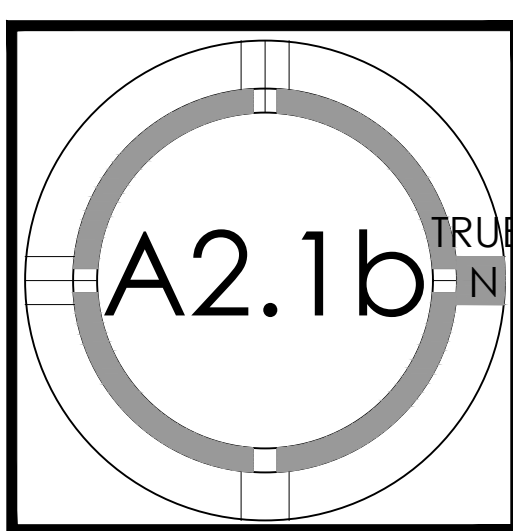
1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

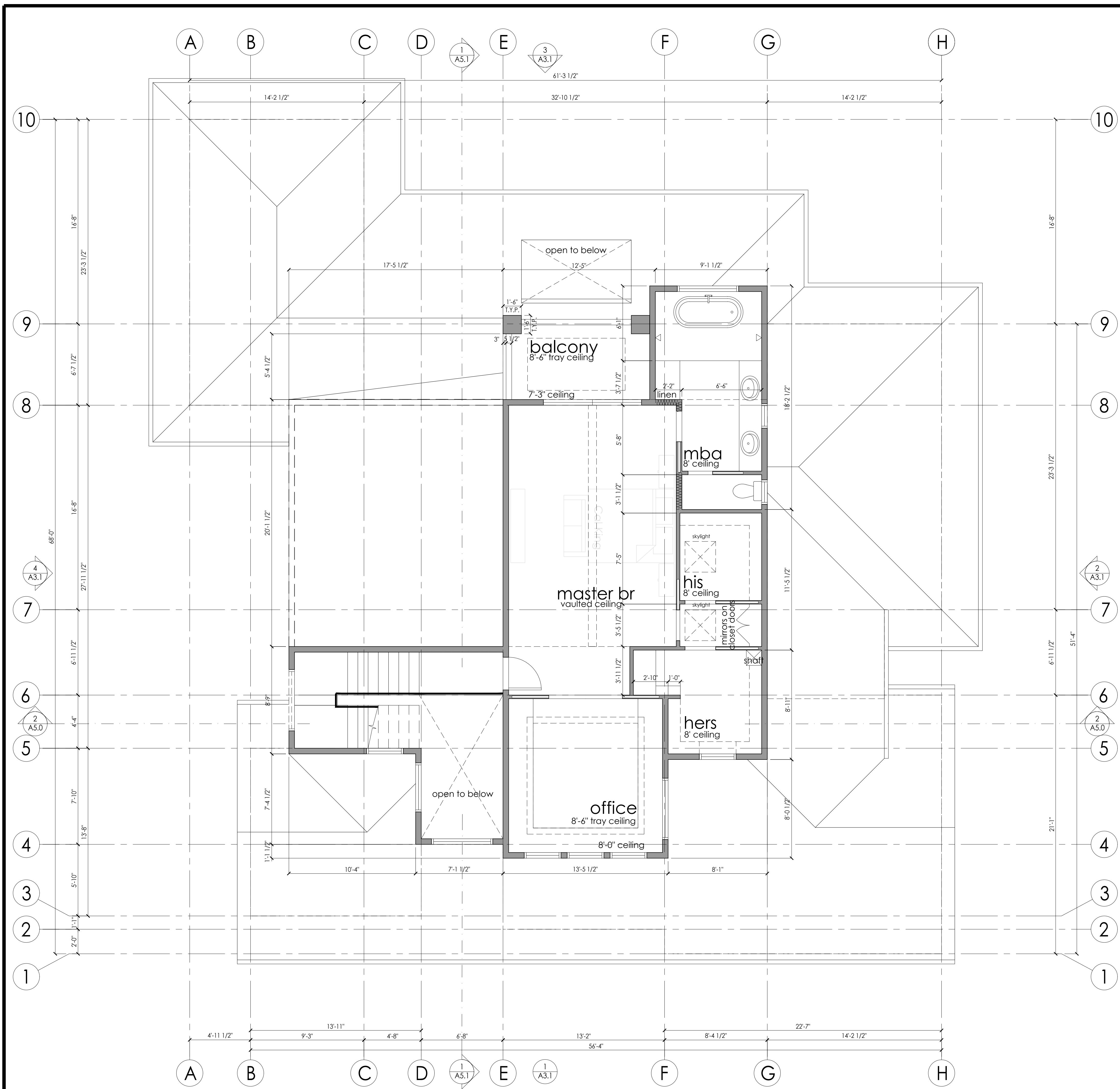
CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
1390 HOLLY AVENUE, LOS ALTOS, CA
SHU CAO



REVISION	DATE	DESCRIPTION	DRAWN BY
17-008	09.30.2017	PLANNING PERMIT SUBMITAL	IV
	12.04.2017	PLANNING PERMIT RESUBM. 1	IV
	03.12.2018	PLANNING PERMIT RESUBM. 2	IV

1ST FLOOR PLAN





#

FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C.-SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2-INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

(N)/EXISTING WALL W/ 1 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING

(N) STAGGERED STUD ACOUSTICAL WALL PER DETAIL [X/XXX]

FLOOR PLAN LEGEND

1 2 3 4 6 feet

2ND FLOOR PLAN 1/4" 1



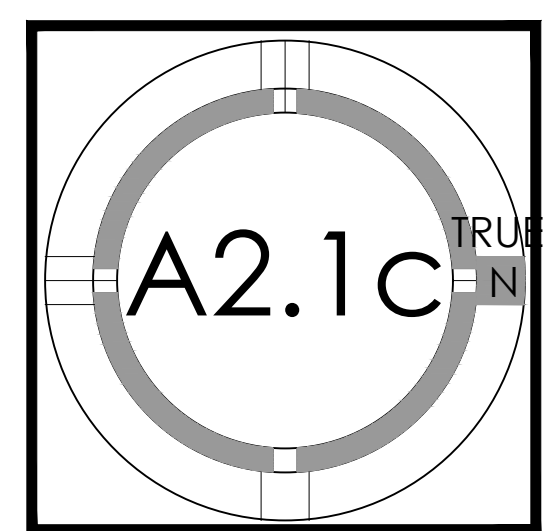
1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
1390 HOLLY AVENUE, LOS ALTOS, CA
SHU CAO



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
17-008	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBM. 1	IV
	03.12.2018	PLANNING PERMIT RESUBM. 2	IV

2ND FLOOR PLAN





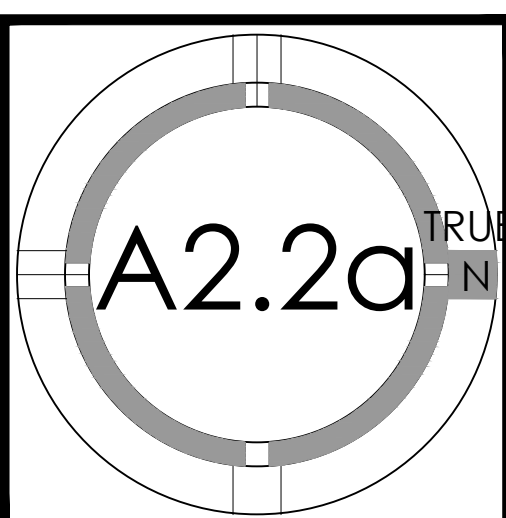
1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
1390 HOLLY AVENUE, LOS ALTOS, CA
SHU CAO



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
17-008	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBM. 1	IV
	03.12.2018	PLANNING PERMIT RESUBM. 2	IV

LOWER ROOF PLAN



- (N) ROOFING--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
- PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
- RUN PLUMBING/HVAC VENTS TO FALSE CHIMNEY PROVIDED. NO ROOF PENETRATIONS THROUGH ROOF. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2. RUN TO FALSE CHIMNEYS
- ROUTE PLUMBING VENTS WITHIN ATTIC SPACE SO THAT ROOF PENETRATIONS ARE BEHIND MAIN ROOF RIDGE AND ARE NOT VISIBLE FROM THE STREET
- PROVIDE (N) GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
- PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN
- ALL (N) PLATE HEIGHTS PER SECTIONS AND RCP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONNECT ALL (N) DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION SPECIFIED BY CIVIL PLANS

LOWER ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

ASPHALT COMPOSITION SHINGLES o/ 1 LAYER 15# ROOF FELT (EXCEPT FOR AT ROOF SLOPES BETWEEN 2:4:12, INSTALL 2 LAYERS) PER CRC 905.2.7--MIN. CLASS C--MANUF: CERTAINTEED; STYLE: PRESIDENTIAL SHAKE TL; COLOR: MAX DEF HEATER BLEND; LIFE EXPECTANCY: 30 YEAR MINIMUM--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-1389

SINGLE PLY ROOFING, MIN CLASS "C"--MANUF: GAF OR EQUAL; STYLE: EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL 3/8" ROOFING GRAVEL o/ 6-OZ MIN. POLYMAT o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. WARRANTY INSTRUCTIONS.

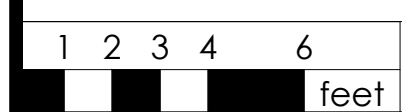
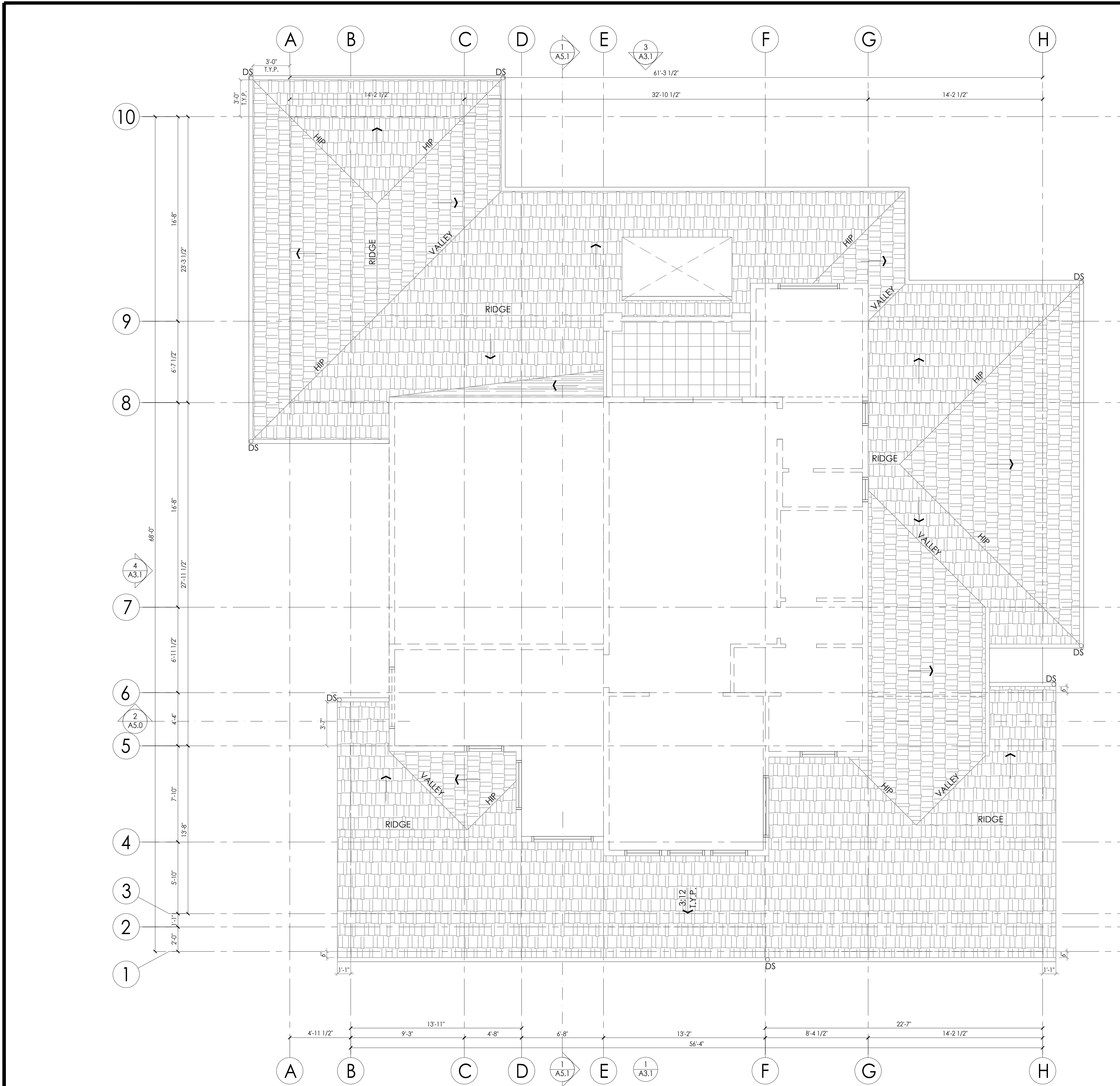
BALCONY TO BE TILE o/ BISON DECK SUPPORTS (bisonip.com) o/ 40+ PSI DENSITY CLOSED CELL EXTRUDED POLYSTYRENE INSULATION (MIN. 1.5 INCHES THICK) o/ ROOFING MEMBRANE SLOPED MIN. 3/8:12--INSTALL ALL COMPONENTS PER MANUFACTURER'S WARRANTY INSTRUCTIONS. THE CONTRACTOR ASSUMES THE RESPONSIBILITY FOR AND MUST TAKE INTO CONSIDERATION THE STRUCTURAL CAPABILITY AND ADEQUACY OF THE STRUCTURE TO CARRY THE DEAD AND LIVE LOAD WEIGHT(S) INVOLVED, AND THAT THE DENSITY OF ANY INSULATION IS SATISFACTORY TO RESIST CRUSHING AND DAMAGING THE WATERPROOFING MEMBRANE.

☒ DENOTES FLAT ROOF DRAIN CONNECTED TO HARDPIPED 2" RAIN WATER LEADER AND 2" ROOF OVERFLOW. OVERFLOW TO BE CONNECTED TO ESCUTCHEON--SEE DETAILS [XXX/XXXX]--ENSURE ROOFING OVERLAPS ROOF DRAIN PER BOTH DRAIN AND ROOF MANUF. DIRECTIONS

DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - FIELD VERIFY COLOR W/ OWNER. INSTALL PER MFR. INSTRUCTIONS

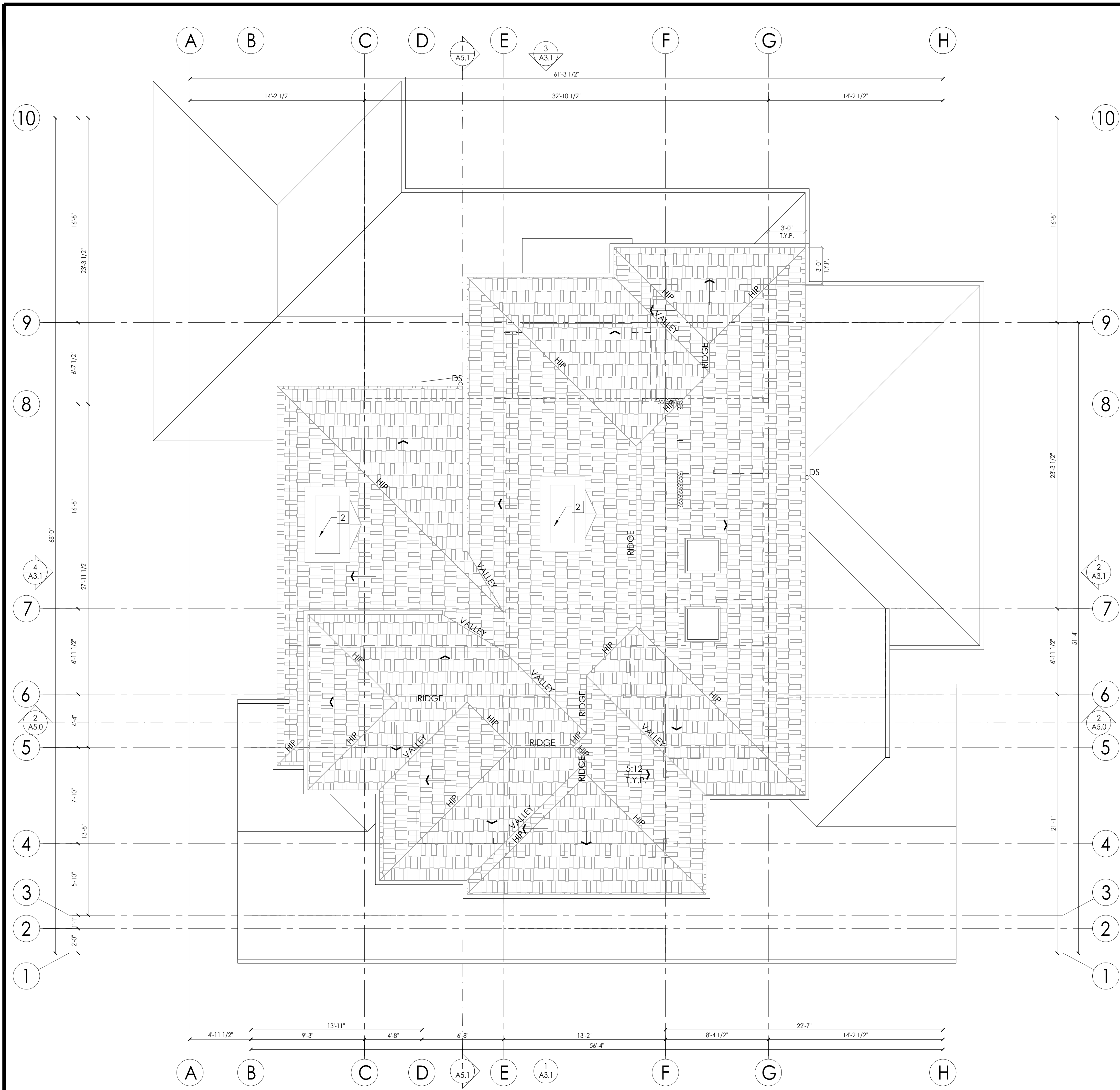
← DENOTES DIRECTION OF SLOPE--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

--- LINE OF BLDG. BELOW



LOWER ROOF PLAN 1/4" 1

LOWER ROOF PLAN LEGEND



1. (N) ROOFING--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. RUN PLUMBING/HVAC VENTS TO FALSE CHIMNEY PROVIDED. NO ROOF PENETRATIONS THROUGH ROOF. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2. RUN TO FALSE CHIMNEYS
3. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN
4. ALL (N) PLATE HEIGHTS PER SECTIONS AND RCP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
5. CONNECT ALL (N) DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION SPECIFIED BY CIVIL PLANS

UPPER ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

ASPHALT COMPOSITION SHINGLES o/ 1 LAYER 15# ROOF FELT (EXCEPT FOR AT ROOF SLOPES BETWEEN 2-4:12, INSTALL 2 LAYERS) PER CRC 905.2.7--MIN. CLASS C--MANUF. CERTAINTED; STYLE: PRESIDENTIAL SHAKE TL; COLOR: MAX DEF HEATER BLEND; LIFE EXPECTANCY: 30 YEAR MINIMUM--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-1389

DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - FIELD VERIFY COLOR W/ OWNER. INSTALL PER MFR. INSTRUCTIONS

DENOTES DIRECTION OF SLOPE--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

--- LINE OF BLDG. BELOW

LOWER ROOF PLAN 1/4" 1

UPPER ROOF PLAN LEGEND



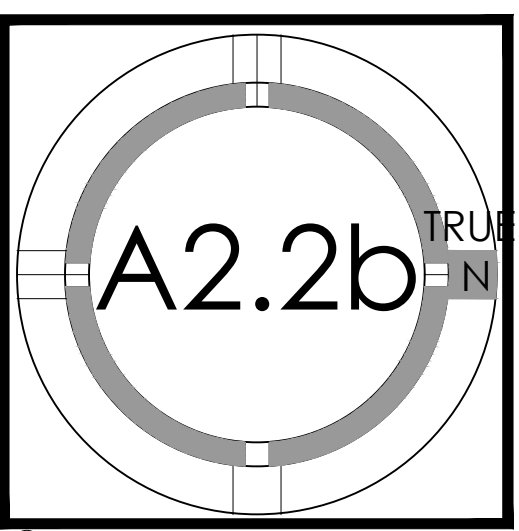
1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
1390 HOLLY AVENUE, LOS ALTOS, CA
SHU CAO



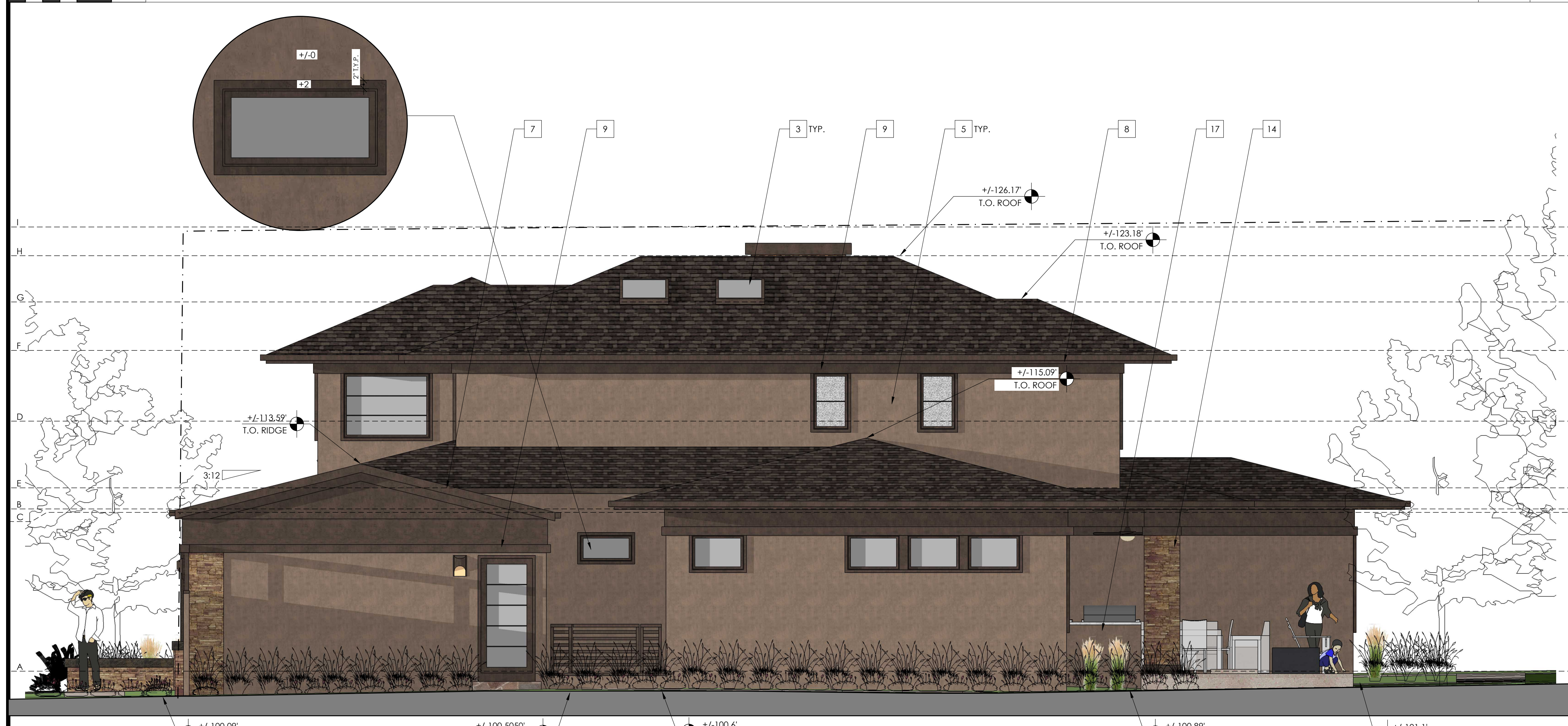
REVISION	DATE	DESCRIPTION	PROJECT NO.	17-008	DRAWN BY
	09.30.2017	PLANNING PERMIT SUBMITTAL		IV	
	12.04.2017	PLANNING PERMIT RESUBM. 1		IV	
	03.12.2018	PLANNING PERMIT RESUBM. 2		IV	

UPPER ROOF PLAN





EAST ELEVATION (FRONT) 1/4" 1



NORTH ELEVATION (RIGHT) 1/4" 2

- # = NUMBER OF KEYNOTE BELOW
- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
 - 2 ASPHALT COMP SHINGLE ROOFING--SEE ROOF PLAN FOR MORE INFO
 - 3 SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
 - 4 WOOD FRAMED CHIMNEY WITH 8" TALL METAL HOUSE ROOFED SHROUD--www.chimneyking.com--SEE ROOF PLAN FOR LOCATION
 - 5 PAINTED COLOR STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" CEMENT PLASTER O/ METAL LATH O/ 2 LAYERS GRADE D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE-- SEE DETAILS [XX/XX]
 - 6 ADHERED LIGHTWEIGHT STONE VENEER (<15 LBS/SF)--MANUF.: ELDORADO STONE; STYLE: MOUNTAIN LEDGE; COLOR: DURANGO; INSTALLATION STYLE: DRystack; WAINSCOT SILL: VERISTONE - STONE BRUSH KHAKI; SILL COLOR: KHAKI--www.eldoradostone.com AND www.veristone.com--INSTALL PER MANUF. INSTRUCTIONS, ICC-ES EVALUATION REPORT ESR-1215, AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780
 - 7 PAINTED REDWOOD OR A.Y.C. TRIM--2x10 BARGEBOARD AND 1x2 DRIP EDGE
 - 8 PAINTED REDWOOD OR A.Y.C. TRIM--2x10 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
 - 9 PAINTED REDWOOD OR A.Y.C. TRIM--3x6 BELLYBAND
 - 10 FRONT DOOR, INSTAL PER MANUF. INSTRUCTIONS--MANUF: MODERN STEEL DOORS; STYLE: PARAGON SINGLE DOOR; COLOR: ARCH. BRONZE WITH FROSTED GLASS--www.modernsteeldoors.com
 - 11 FACTORY-FINISHED ALUMINUM GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS--SEE DOOR SCHEDULE FOR MORE INFO--www.clopay.com
 - 12 WINDOW/DOOR OPENING WITH SIMULATED DIVIDED LITES; GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS AND A SPACER BAR BETWEEN THE PANES OF GLASS--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO HAVE 2" PAINT GRADE WOOD TRIM TYPICAL, U.N.O.
 - 13 OPENING THROUGH ROOF--WRAP ALL SIDES WITH FLEXIBLE SELF-ADHERED FLASHING AND LAP VERTICAL WALL SURFACES 8" MIN.
 - 14 1"-10" SQUARE STONE COLUMN WITH 4" TALL 2"-0" SQUARE PAINTED STUCCO BASE AND CAP, AND WITH 1"-0" TALL 1"-10" SQUARE PAINTED STUCCO COLUMN TOP--SEE PERSPECTIVES FOR MORE INFO
 - 15 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: HINKLEY; STYLE: CASCADE 1830SK; COLOR: BRONZE--www.hinkleylighting.com
 - 16 PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET--HEIGHT: 8"; STYLE: LUXELLO LED, MODERN NEUTRA HOUSE NUMBERS LED BACKLIT; FINISH: ANODIZED--www.surrounding.com/products/luxello--PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
 - 17 OUTDOOR KITCHEN--OWNER TO PROVIDE SPECS
 - 18 NEW FENCE AND GATE - STUCCO WITH LOW STONE WALL, WOOD POST AND CONTINUED BELLY BAND--SEE PERSPECTIVES FOR MORE INFO
 - 19 NEW FENCE AND GATE AT LIGHTWELLS--SEE PERSPECTIVES FOR MORE INFO

KEYNOTES		-	-
ELEVATION GRID LINE KEY			
X	BASEMENT FINISH FLOOR = -11'-3"; +/90.18'		
Y	BASEMENT CEILING HEIGHT (U.N.O.) = -1'-3"; +/100.18'		
A	1ST FLOOR FINISH FLOOR = 0'-0"; +/ 101.43'		
B	1ST FLOOR CEILING HEIGHT (U.N.O.) = 9'-6"; +/110.93'		
C	1ST FLOOR BEDROOM CEILING HEIGHT = 9'-3"; +/110.68'		
D	FAMILY ROOM CEILING HEIGHT = 14'-4"; +/115.82'		
E	2ND FLOOR FINISH FLOOR (U.N.O.) = 11'-3"; +/112.18'		
F	2ND FLOOR CEILING HEIGHT (U.N.O.) = 19'-3"; +/ 120.18'		
G	MASTER BR CEILING HEIGHT = 21'-9"; +/122.72'		
H	PROPOSED BUILDING HEIGHT = 24'-9"; +/ 126.17' (MEASURED FROM NATURAL GRADE: +/ 25'-4")		
I	MAX ALLOWED BUILDING HEIGHT = 27'-0"; +/ 127.5'		
ELEVATION GRID LINE KEY			
		-	-



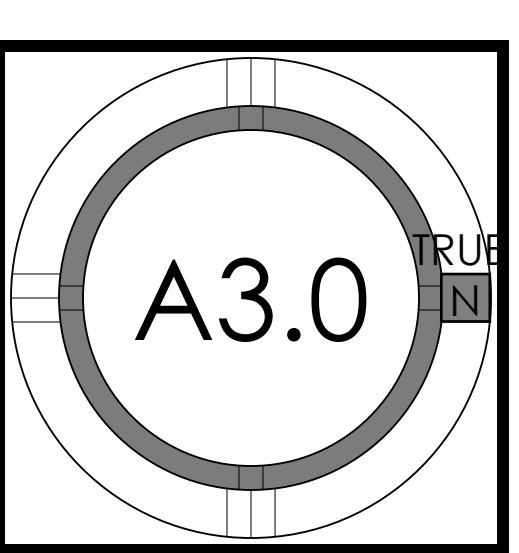
1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983
 F : (408) 404 - 0144

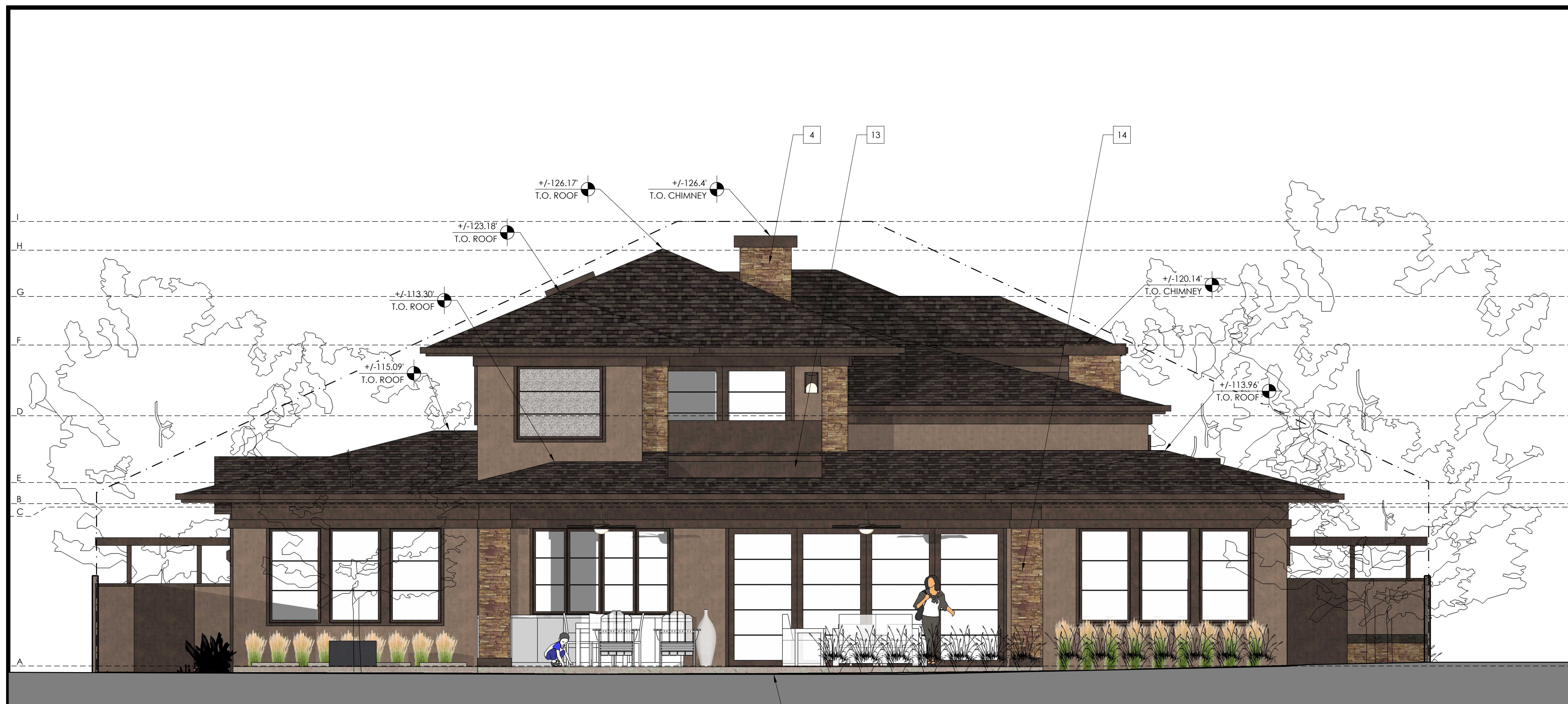
CAO RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 1390 HOLLY AVENUE, LOS ALTOS, CA
 SHU CAO



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
17-208	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBMITTAL 1	IV
	03.12.2018	PLANNING PERMIT RESUBMITTAL 2	IV

EXTERIOR ELEVATIONS





WEST ELEVATION (REAR) 1/4" 1

1 2 3 4 6 feet



SOUTH ELEVATION (LEFT) 1/4" 2

1 2 3 4 6 feet

- # = NUMBER OF KEYNOTE BELOW
- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
 - 2 ASPHALT COMP SHINGLE ROOFING--SEE ROOF PLAN FOR MORE INFO
 - 3 SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
 - 4 WOOD FRAMED CHIMNEY WITH 8" TALL METAL HOUSE ROOFED SHROUD--www.chimneyking.com--SEE ROOF PLAN FOR LOCATION
 - 5 PAINTED COLOR STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" CEMENT PLASTER O/ METAL LATH O/ 2 LAYERS GRADE D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE-- SEE DETAILS [XX/XX]
 - 6 ADHERED LIGHTWEIGHT STONE VENEER (<15 LBS/SF)--MANUF.: ELDORADO STONE; STYLE: MOUNTAIN LEDGE; COLOR: DURANGO; INSTALLATION STYLE: DRystack; WAINSCOT SILL: VERISTONE - STONE BRUSH KHAKI; SILL COLOR: KHAKI--www.eldoradostone.com AND www.veristone.com--INSTALL PER MANUF. INSTRUCTIONS, ICC-ES EVALUATION REPORT ESR-1215, AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780
 - 7 PAINTED REDWOOD OR A.Y.C. TRIM--2x10 BARGEBOARD AND 1x2 DRIP EDGE
 - 8 PAINTED REDWOOD OR A.Y.C. TRIM--2x10 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
 - 9 PAINTED REDWOOD OR A.Y.C. TRIM--3x6 BELLYBAND
 - 10 FRONT DOOR, INSTAL PER MANUF. INSTRUCTIONS--MANUF: MODERN STEEL DOORS; STYLE: PARAGON SINGLE DOOR; COLOR: ARCH. BRONZE WITH FROSTED GLASS--www.modernsteeldoors.com
 - 11 FACTORY-FINISHED ALUMINUM GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS--SEE DOOR SCHEDULE FOR MORE INFO--www.clappay.com
 - 12 WINDOW/DOOR OPENING WITH SIMULATED DIVIDED LITES; GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS AND A SPACER BAR BETWEEN THE PANES OF GLASS--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO HAVE 2" PAINT GRADE WOOD TRIM TYPICAL, U.N.O.
 - 13 OPENING THROUGH ROOF--WRAP ALL SIDES WITH FLEXIBLE SELF-ADHERED FLASHING AND LAP VERTICAL WALL SURFACES 8" MIN.
 - 14 1"-10" SQUARE STONE COLUMN WITH 6" TALL 2'-0" SQUARE PAINTED STUCCO BASE AND CAP, AND WITH 1'-0" TALL 1'-10" SQUARED PAINTED STUCCO COLUMN TOP--SEE PERSPECTIVES FOR MORE INFO
 - 15 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF.: HINKLEY; STYLE: CASCADE 1830SK; COLOR: BRONZE--www.hinkleylighting.com
 - 16 PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET--HEIGHT: 8"; STYLE: LUXELLO LED, MODERN NEUTRA HOUSE NUMBERS LED BACKLIT; FINISH: ANODIZED--www.surrounding.com/products/luxello--PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
 - 17 OUTDOOR KITCHEN--OWNER TO PROVIDE SPECS
 - 18 NEW FENCE AND GATE - STUCCO WITH LOW STONE WALL, WOOD POST AND CONTINUED BELLY BAND--SEE PERSPECTIVES FOR MORE INFO
 - 19 NEW FENCE AND GATE AT LIGHTWELLS--SEE PERSPECTIVES FOR MORE INFO

ELEVATION GRID LINE KEY			
X	BASEMENT FINISH FLOOR = -11'-3"; +/90.18'		
Y	BASEMENT CEILING HEIGHT (U.N.O.) = -1'-3"; +/100.18'		
A	1ST FLOOR FINISH FLOOR = 0'-0"; +/ 101.43'		
B	1ST FLOOR CEILING HEIGHT (U.N.O.) = 9'-6"; +/110.93'		
C	1ST FLOOR BEDROOM CEILING HEIGHT = 9'-3"; +/110.68'		
D	FAMILY ROOM CEILING HEIGHT = 14'-4"; +/115.82'		
E	2ND FLOOR FINISH FLOOR (U.N.O.) = 11'-3"; +/112.18'		
F	2ND FLOOR CEILING HEIGHT (U.N.O.) = 19'-3"; +/ 120.18'		
G	MASTER BR CEILING HEIGHT = 21'-9"; +/122.72'		
H	PROPOSED BUILDING HEIGHT = 24'-9"; +/ 126.17' (MEASURED FROM NATURAL GRADE: +/ 25'-4")		
I	MAX ALLOWED BUILDING HEIGHT = 27'-0"; +/127.5'		

ELEVATION GRID LINE KEY - -



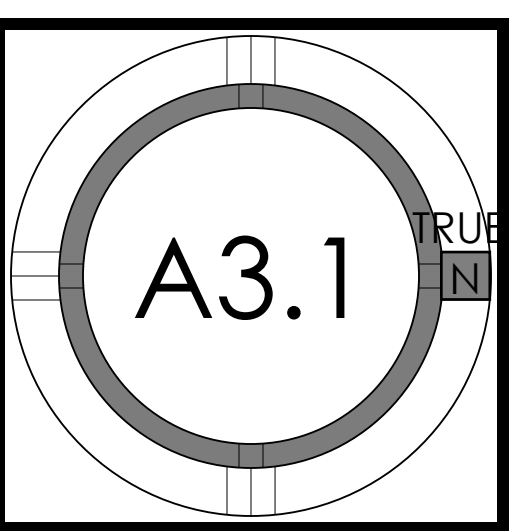
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983
F : (408) 404 - 0144

CAO RESIDENCE
NEW SINGLE FAMILY RESIDENCE
1390 HOLLY ANEUVUE, LOS ALTOS, CA
SHU CAO



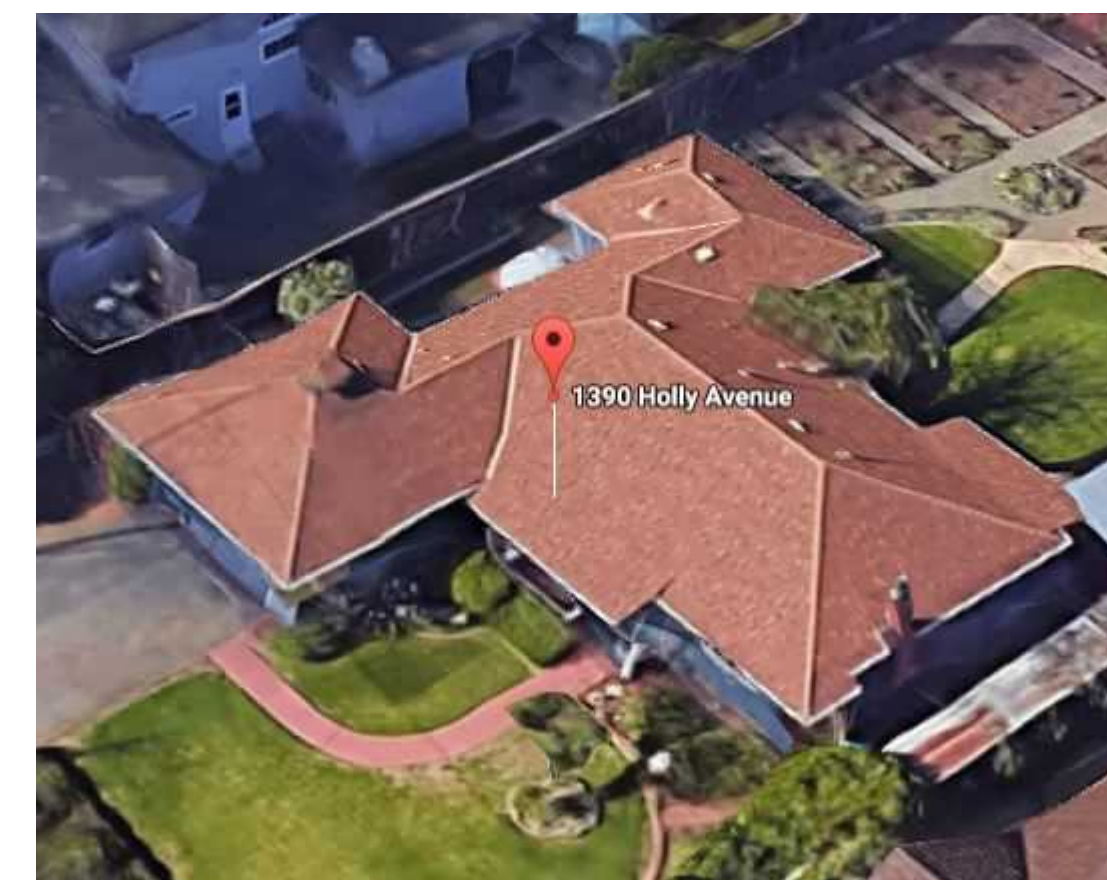
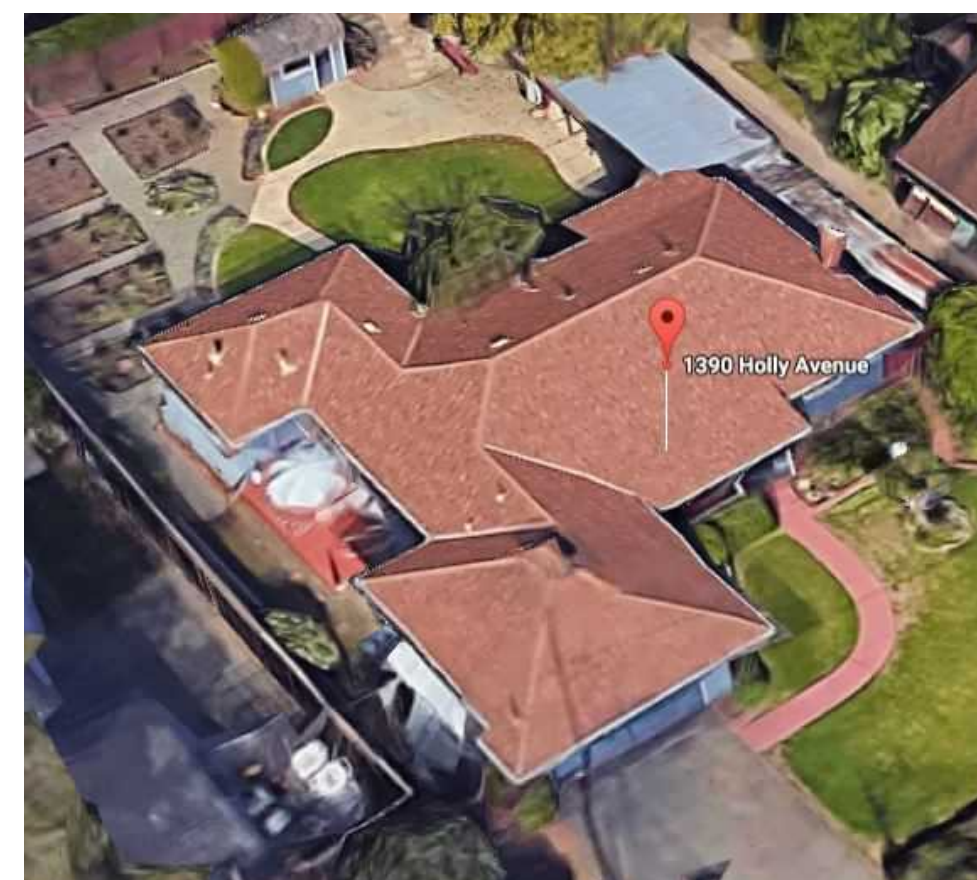
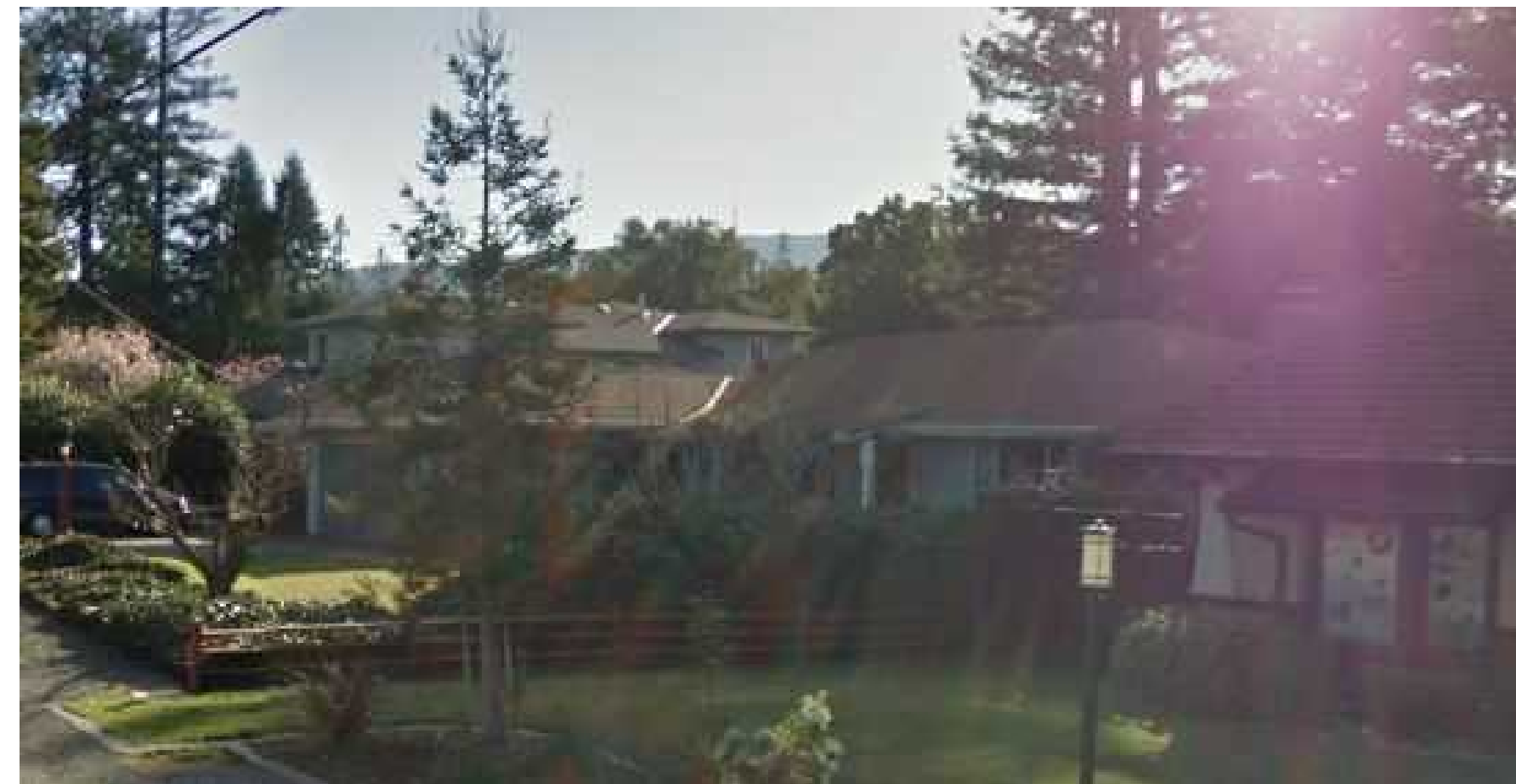
PROJECT NO.	REGION	DATE	DESCRIPTION	DRAWN BY
17-208		09.30.2017	PLANNING PERMIT SUBMITTAL	IV
		12.04.2017	PLANNING PERMIT RESUBMITTAL 1	IV
		03.12.2018	PLANNING PERMIT RESUBMITTAL 2	IV

EXTERIOR ELEVATIONS





EXISTING FRONT ELEVATION - 1



EXISTING SIDE ELEVATIONS - 2

KEYNOTES - -



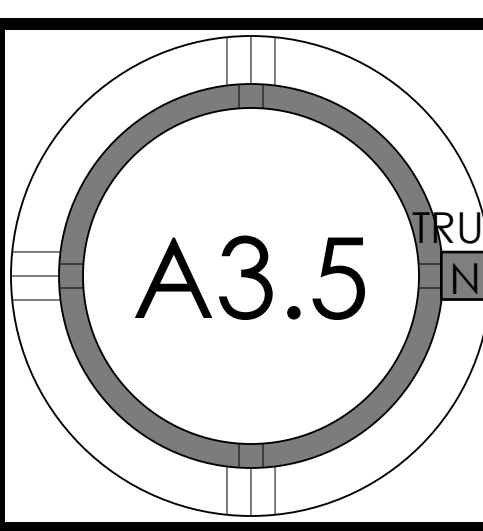
1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983
 F : (408) 404 - 0144

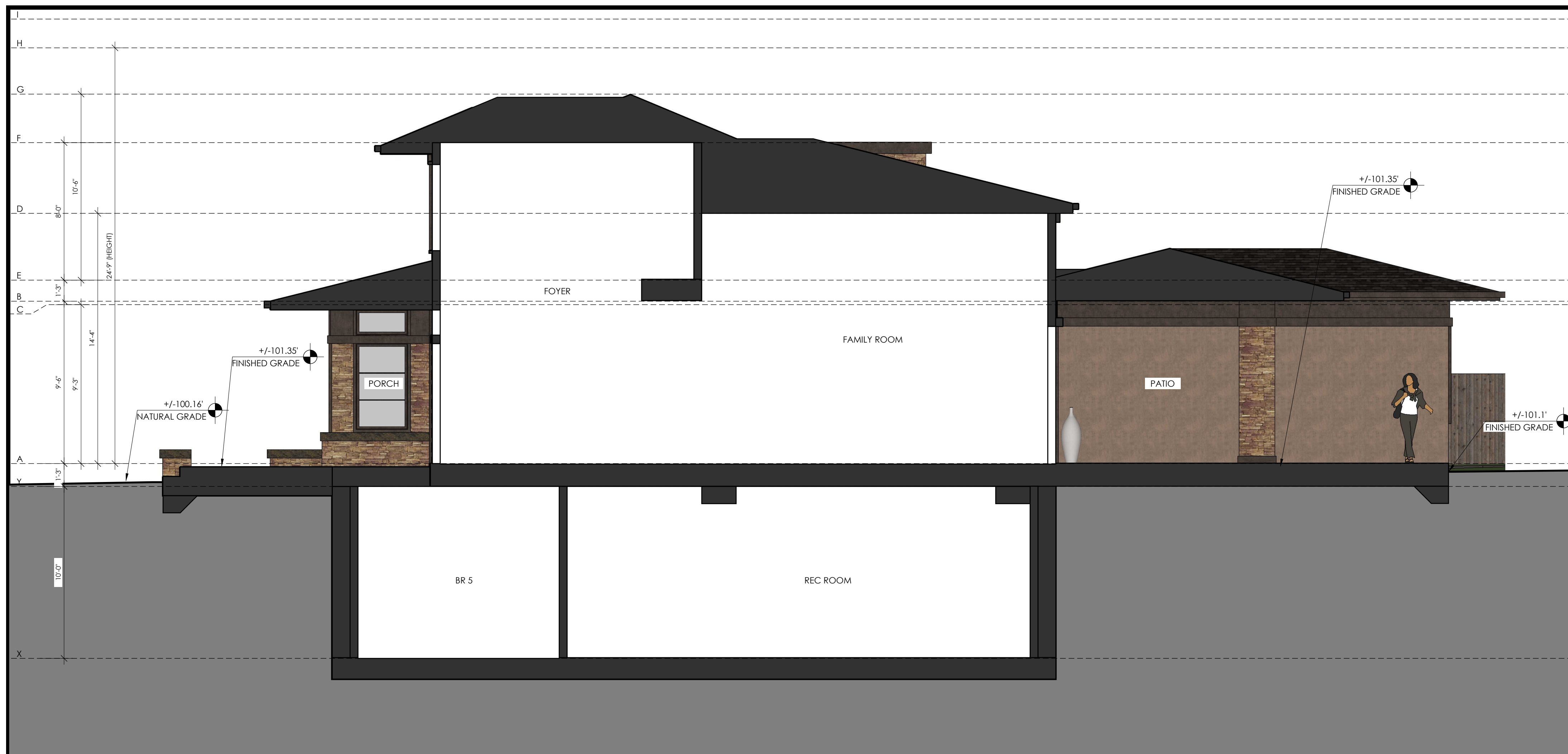
CAO RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 1390 HOLLY ANEVEUE, LOS ALTOS, CA
 SHU CAO



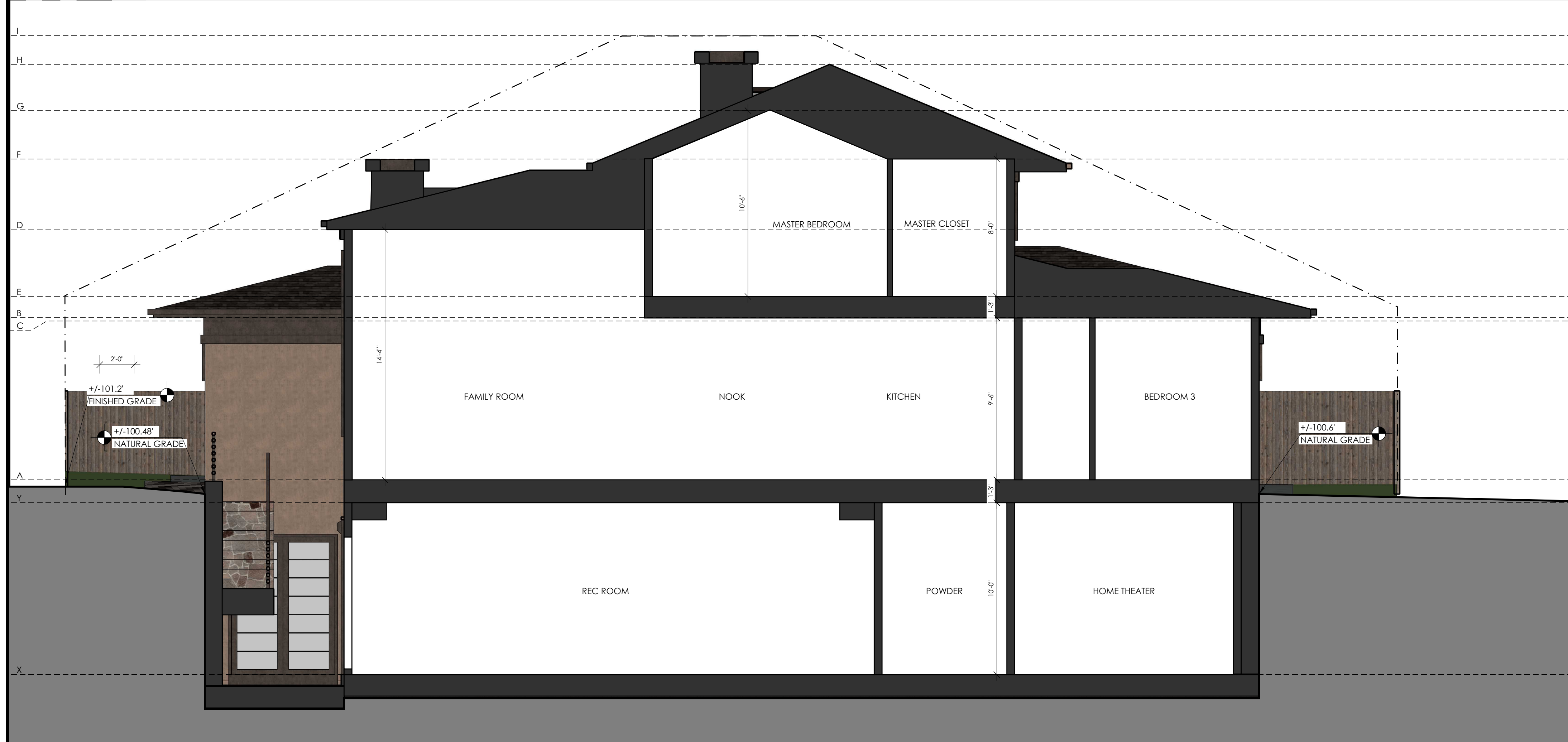
PROJECT NO.	REVISION	DATE	DESCRIPTION	DRAWN BY
17-208		09.30.2017	PLANNING PERMIT SUBMITTAL	IV
		12.04.2017	PLANNING PERMIT RESUBMITTAL 1	IV
		03.12.2018	PLANNING PERMIT RESUBMITTAL 2	IV

EXISTING ELEVATIONS





SECTION 1 1/4" 1



SECTION 2 1/4" 2

= NUMBER OF KEYNOTE BELOW

- NOTES:
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
 2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
 3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
 4. SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
 5. SEE BID INSTRUCTIONS FOR INSULATION VALUES. INSULATION TO BE NOT LESS THAN AS INDICATED IN T24 REPORT

KEYNOTES	-	-
SEE EXTERIOR ELEVATIONS FOR ELEVATION GRID LINE KEY		
ELEVATION GRID LINE KEY	-	-



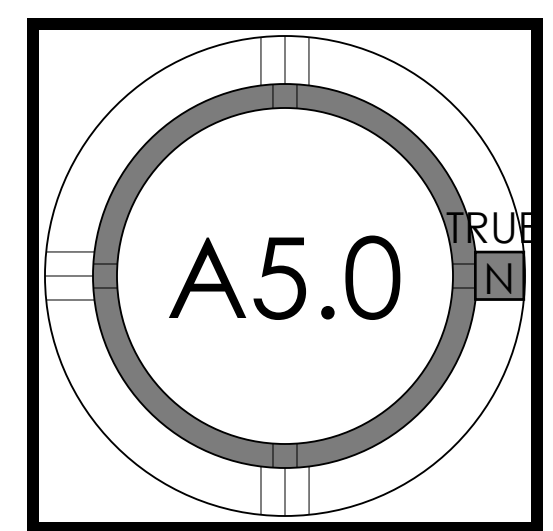
1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983
 F : (408) 404 - 0144

CAO RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 1390 HOLLY ANEVEUE, LOS ALTOS, CA
 SHU CAO



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
17-208	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBMITTAL 1	IV
	03.12.2018	PLANNING PERMIT RESUBMITTAL 2	IV

SECTIONS



CAO RESIDENCE

1390 HOLLY AVE.

LOS ALTOS, CA

LANDSCAPE CONCEPT

PRELIMINARY
NOT FOR
CONSTRUCTION

LOT COVERAGE CALCULATIONS:

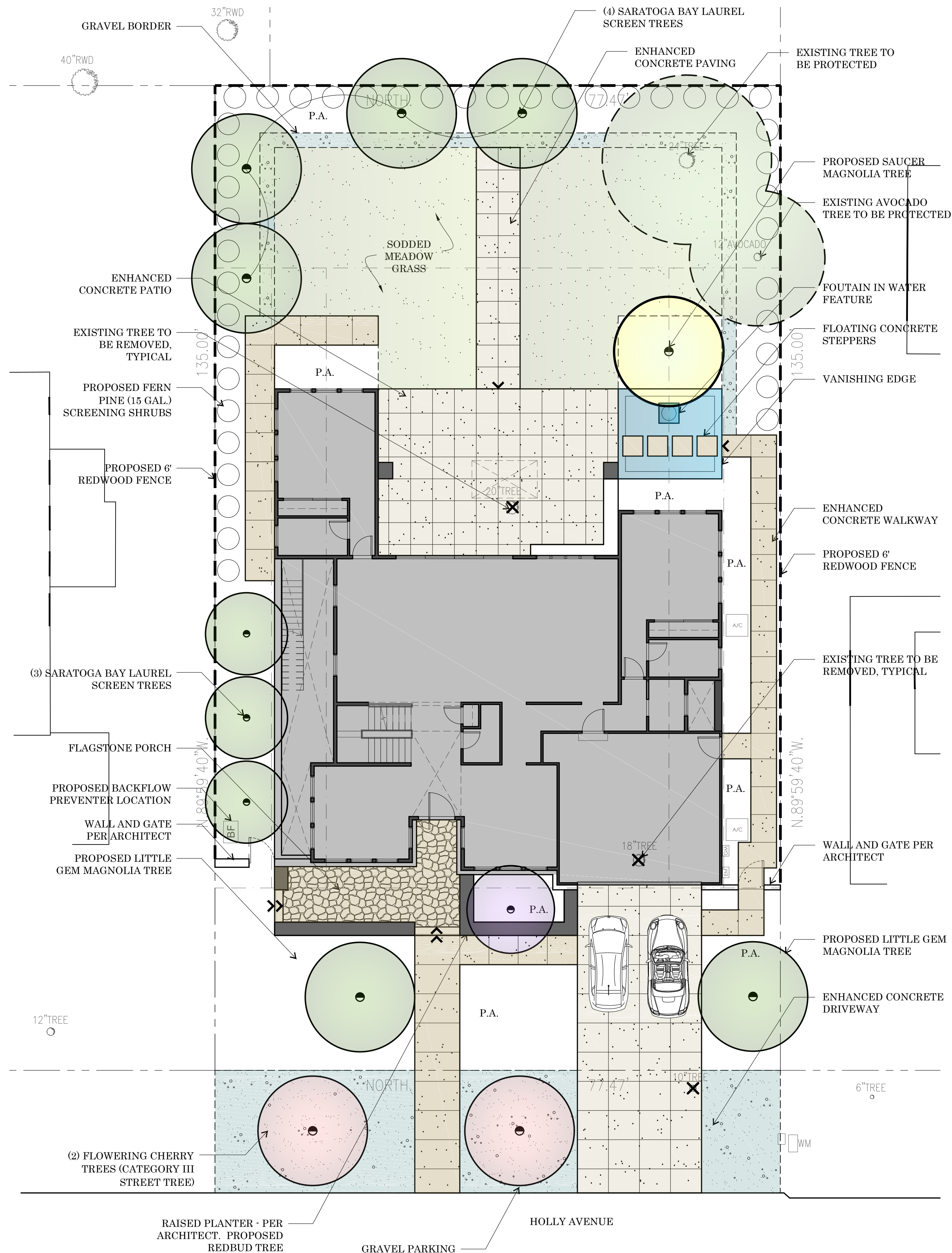
• NET LOT AREA -	10,458 SF
• HARDSCAPE COVERAGE: ARCHITECTURE -	3064 SF
• HARDSCAPE COVERAGE: LANDSCAPE -	5625 SF
• TOTAL SOFTSCAPE -	4833 SF
• FRONT YARD AREA -	1937 SF
• FRONT YARD HARDSCAPE -	857 SF (44.2%)

PRELIMINARY PLANT LIST:

BOTANICAL NAME	COMMON NAME
TREES	
CERCIS CANADENSIS 'ALBA'	WHITE REDBUD
GINKGO BILOBA	GINKGO TREE
LAURUS NOBILIS 'SARATOGA'	SARATOGA BAY LAUREL
MAGNOLIA 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA
PRUNUS SERRULATA 'KWANZAN'	KWANZAN FLOWERING CHERRY
SHRUBS	
GAURA LINDHEIMERI	N. C. N.
LOMANDRA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH
LOROPETALUM 'PLUM DELIGHT'	CHINESE FRINGE FLOWER
MUHLENBERGIA DUBIA	PINE MUHLY
NANDINA DOM. 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO
RHAPHIOLEPIS UMBELLATA	YEDDO HAWTHORNE
WESTRINGIA F. 'SMOKEY'	SMOKEY COAST ROSEMARY
GROUND COVER	
CAREX TUMULICOLA	BERKELEY SEDGE
MUHLENBERGIA CAP. 'WHITE CLOUD'	WHITE AWN MUHLY
SALVIA GREGGII 'RED'	RED AUTUMN SAGE
WESTRINGIA F. 'LOW HORIZON'	LOW HORIZON COAST ROSEMARY
VINES:	
HARDENBERGIA VIOLACEA	LILAC VINE
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE

PRELIMINARY WATER BUDGET:

1390 HOLLY AVE, LOS ALTOS		ZONE	WATER USE	PF	METHOD	IE	ETAF	HA	ETAF*HA	ETWU
Eto	42.9	1- SHRUB FRONT	L	0.2	DRIP	0.81	0.2	1,228	303	8,065
Total HA	5,528	2- TREE FRONT	M	0.5	DRIP	0.81	0.6	200	123	3,284
Special HA	175	3- SHRUB BACK	M	0.5	DRIP	0.81	0.6	2,060	1,272	33,822
ETAF Average	0.52	4- TREE BACK	M	0.4	DRIP	0.81	0.5	320	158	4,203
ETAF Total	0.54	5- SEED MIX BACK	M	0.5	DRIP	0.81	0.6	1,545	954	25,367
IS TOTALS								5,353	2,810	74,740
MAWA = (Eto) (0.62) [(0.55x LA)] + [(1-0.55) x SLA]		SLA	WATER USE				ETAF	HA	ETAF*HA	ETWU
MAWA	82,963 Gallons	WATER FEATURE	HIGH				1.0	175	175	4,655
	11,091 HCF	SLA TOTALS						175	175	4,655
ETWU=(Eto)(0.62)(ETAF)(AREA)		SHRUB				5,353	100%			
ETWU	79,395 Gallons	LAWN (25% MAX.)				0	0%			



L-1
1/8" = 1'-0"

T H NORTON
landscape architecture, inc.
1630 CONTRA COSTA BLVD.
SUITE 216
PLEASANT HILL CA 94523
phone: 925 822 3085
www.thnorton.com

PLOTS: 08/29/17, 09/07/17, 09/12/17, 12/07/17, 03/07/18

CAO RESIDENCE 1390 HOLLY AVE. LOS ALTOS, CA PLANTING SELECTION



LITTLE GEM SOUTHERN MAGNOLIA
MATURE SIZE: 25' Hx25' W GROWTH: SLOW USE: SCREEN/ACCENT



WHITE REDBUD
MATURE SIZE: 15' Hx15' W GROWTH: SLOW USE: SPECIMEN



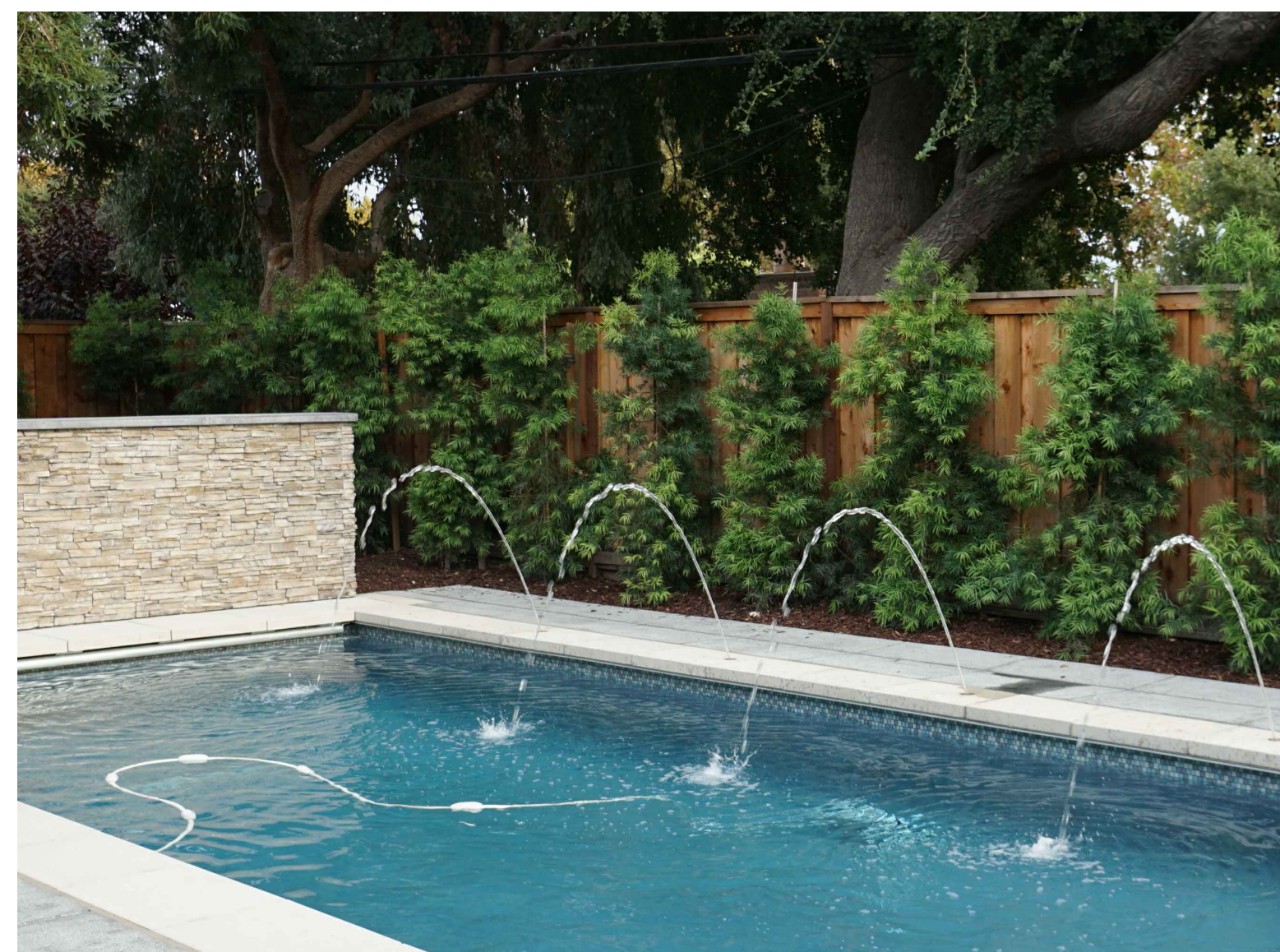
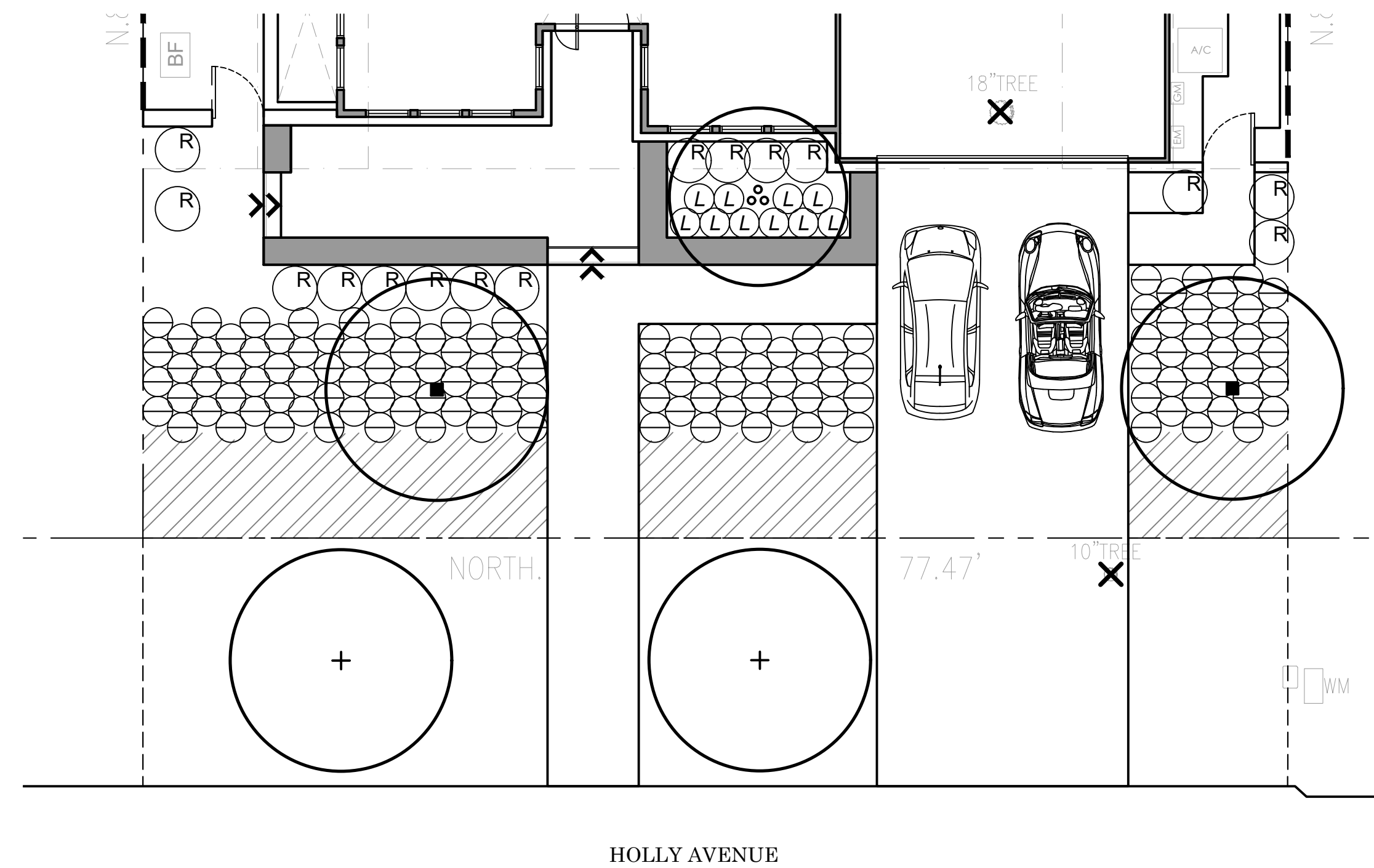
KWANZAN FLOWERING CHERRY
MATURE SIZE: 20' Hx15' W GROWTH: MODERATE USE: STREET TREE



SARATOGA BAY LAUREL
MATURE SIZE: 20' Hx15' W GROWTH: MODERATE USE: SCREEN



SAUCER MAGNOLIA
MATURE SIZE: 25' Hx25' W GROWTH: MODERATE-FAST USE: SPECIMEN



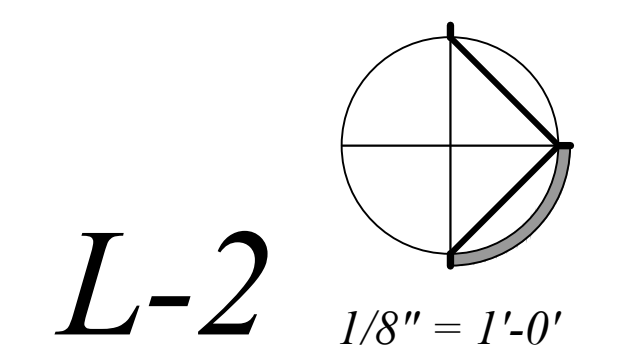
FERN PINE
MATURE SIZE: 15' Hx5' W GROWTH: FAST USE: SCREEN

PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	SIZE/SPACING	QTY.	WUCOLS	NOTES
TREES					
⊗ CERCIS CANADENSIS 'ALBA'	WHITE REDBUD	24" BOX MULTI.	1	LOW	BEST AVAILABLE
+ PRUNUS SERRULATA 'KWANZAN'	FLOWERING CHERRY	24" BOX STD.	2	MODERATE	CAT. III STREET TREE
■ MAGNOLIA G. 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA	24" BOX STD.	2	MODERATE	BEST AVAILABLE
SHRUBS					
Ⓛ LOMANDRA L. 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	5 GALLON	10	LOW	
Ⓚ MUHLENBERGIA DUBIA	PINE MUHLY	5 GALLON	129	LOW	
Ⓡ RHAPHIOLEPIS UMBELLATA	YEDDO HAWTHORN	5 GALLON	15	LOW	
GROUNDCOVER					
▨ SALVIA GREGGII 'RED'	RED AUTUMN SAGE	1 GAL @ 24" O.C.	109	LOW	377 SF

SUNSET ZONE: 15

PRELIMINARY
NOT FOR
CONSTRUCTION



T H NORTON
landscape architecture, inc.
1630 CONTRA COSTA BLVD.
SUITE 216
PLEASANT HILL CA 94523
phone: 925 822 3085
www.thnorton.com

PLANTING PLAN - FRONT YARD

*CAO RESIDENCE
1390 HOLLY AVE.
LOS ALTOS, CA
LANDSCAPE IMAGERY*



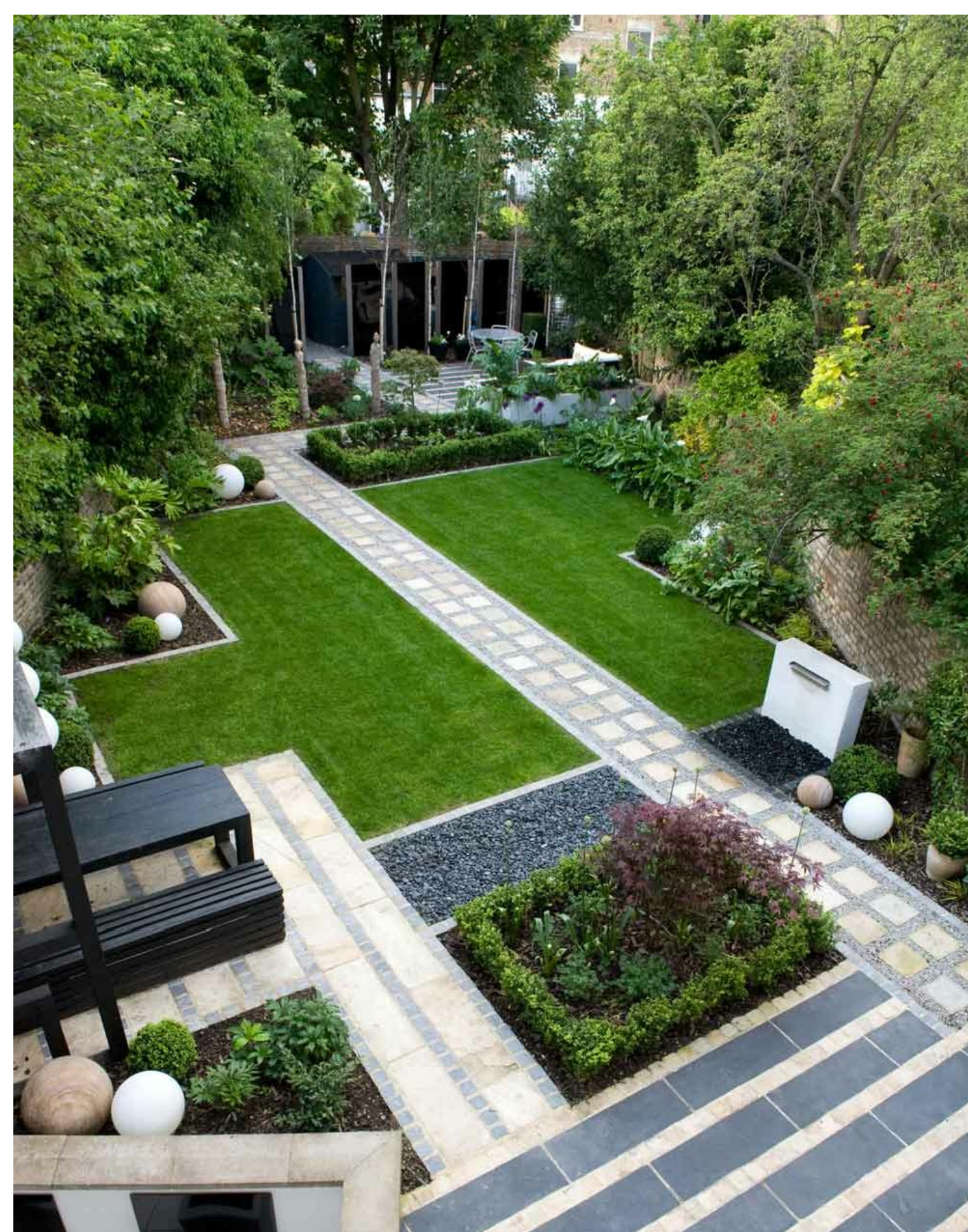
FRONT YARD



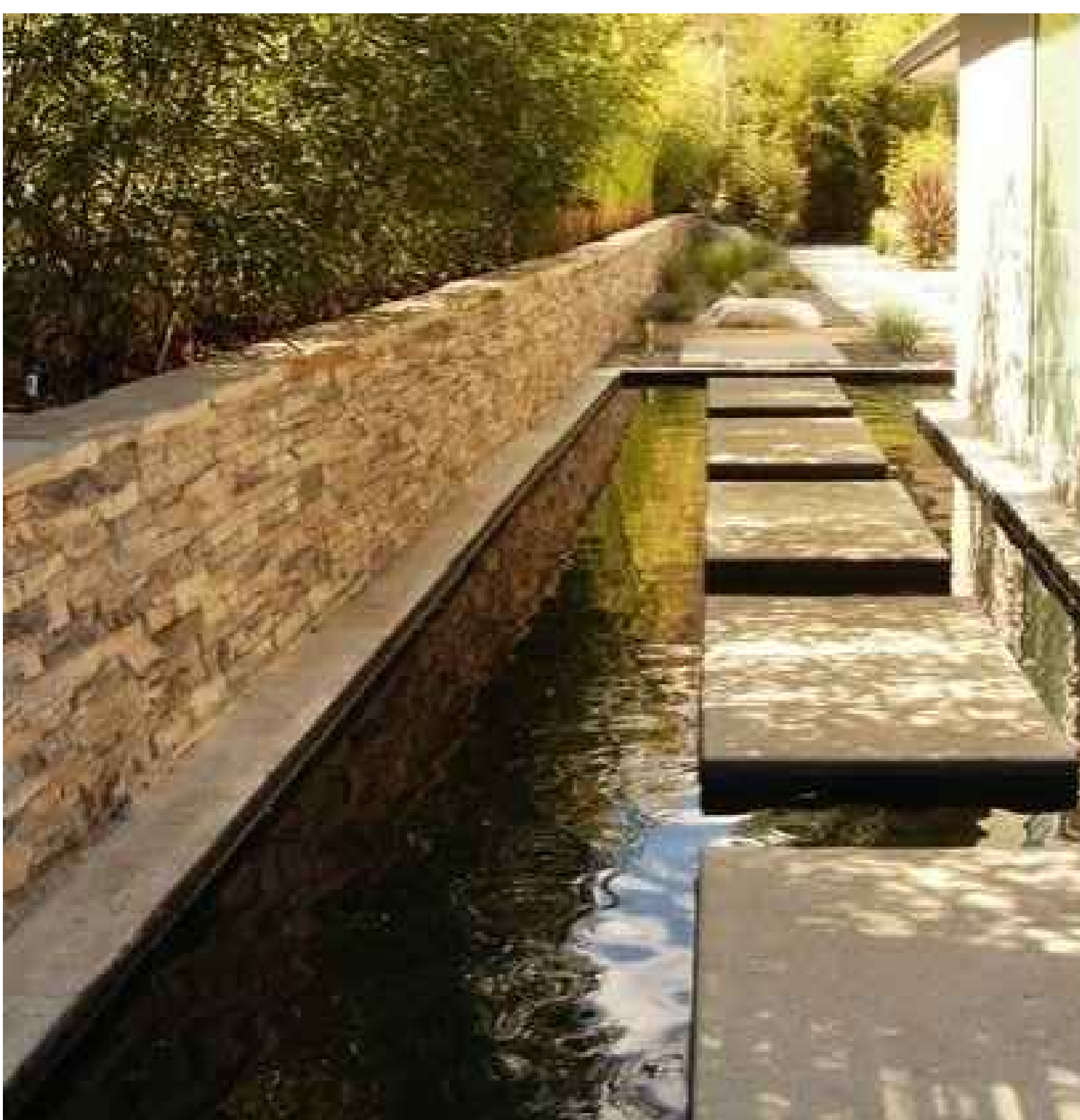
BACK YARD - WATER FEATURE



BACK YARD - WATER FEATURE



DESIGN INSPIRATION



WATER FEATURE WITH FLOATING STEPPERS



FOUNTAIN

*PRELIMINARY
NOT FOR
CONSTRUCTION*

L-3
T H NORTON
landscape architecture, inc.
1630 CONTRA COSTA BLVD.
SUITE 216
PLEASANT HILL CA 94523
phone: 925 822 3085
www.thnorton.com

PLOTS: 12.07.17, 03.07.18