



PROPOSED FRONT RENDERING

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SCOPE OF WORK

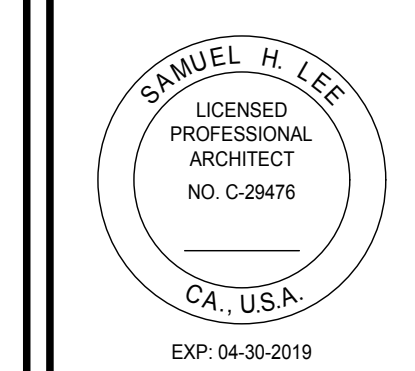
1. REMOVE CURRENT SWIMMING POOL AND BUILD NEW
- 2 STORY STRUCTURE WITH ATTACHED 2 CAR GARAGE.

PROJECT INFORMATION

APN: 175-11-047
 CONSTRUCTION TYPE: V-B (NON RATED)
 NO. OF BLDG STORY: 2
 COVERED PARKING SPACE: 2
 UNCOVERED PARKING SPACE: 2
 OCCUPANCY GROUP: R-3 & U
 SPRINKLER REQUIRED: YES
 ZONING : R1-10
 LOT SIZE: 11,041 sf
 FAR PROPOSED: REFER TO FAR TABLE

GARAGE: 426 sf
 HABITABLE SQFT 1ST FLOOR: 1,869 sf
 HABITABLE SQFT 2ND FLOOR: 1,526 sf
 HABITABLE SQFT BASEMENT: 1,826 sf

S.H.L. ARCHITECTURE
 ARCHITECTURAL AND PLANNING
 P.O. BOX 609
 MOUNTAIN VIEW, CA 94021
 T: 415.235.2034
 EMAIL: sam@shlarch.com



PRIVATE RESIDENCE
 13 CYPRESS CT.,
 LOS ALTOS, CA. 94022

DATE	ISSUE
10/18/17	SCHEMATIC DESIGN
11/22/17	DESIGN REVIEW SUBMITTAL
01/29/18	DESIGN REVIEW SUBMITTAL #2
02/20/18	DESIGN REVIEW SUBMITTAL #3

PROJECT #:	17-11
DRAWN BY:	LS
CHECKED BY:	SL



PROPOSED FRONT CORNER VIEW MODEL



PROPOSED REAR CORNER VIEW MODEL



PROPOSED FRONT VIEW MODEL



PROPOSED REAR VIEW MODEL

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
A1.01

GENERAL NOTES

- These drawings were prepared by SHL ARCHITECTURE. The Architect assumes no responsibility for unauthorized use of these drawings.
- The work included under this contract consists of all labor, materials, transportation, tools, and equipment necessary for the construction of the project, leaving all work ready for use.
- These drawings alone, represent the Construction Documents.
- The plans indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All new work necessary to allow for a finished job in accordance with the intention of the drawings is included regardless of whether shown on the drawings or mentioned in the notes.
- Any errors, omissions, or conflicts found in the various parts of the Construction Documents shall be brought to the attention of the Architect and the Owner immediately for clarification before proceeding with the work.
- The General Contractor shall maintain a current and complete set of Construction Documents on the job site during all phases of construction for use by all trades, and shall provide all sub-contractors with current Construction Documents as required.
- The General Contractor shall verify and assume responsibility for all dimensions and site conditions. The General Contractor shall inspect the existing premises and take note of existing conditions. No claim shall be allowed for difficulties encountered that could have reasonably been inferred from such examination.
- Written dimensions take precedence. DO NOT SCALE FROM DRAWINGS.
- All dimensions when shown in plan are to face of exterior wall stud, face of CMU, or face of interior stud, unless otherwise noted.
- All dimensions are to top of subfloor in section or elevation, unless otherwise noted.
- The General Contractor shall review all building dimensions for accuracy prior to laying out any buildings on site, and shall notify the Architect well in advance of any discrepancies or errors.
- Details shown are typical. Similar details apply in similar conditions.
- Verify all architectural details with the structural drawings before the ordering of, or installation of, any item of work.
- Where locations of windows and doors are not dimensioned, they shall be centered in the wall or placed @ min. three stud widths from adjacent wall as indicated on the drawings.
- All changes in floor materials occur at centerline of door or framed opening, unless otherwise indicated on the drawings.
- Install all equipment and materials per manufacturer's recommendations.
- Verify clearances before any construction, ordering of, or installation of any item of work.
- Follow manufacturer's installation recommendations, standard industry, and building practices for installation of all sealant, caulking, flashing, etc.
- The General Contractor shall remove all rubbish and waste materials on a regular basis of all sub-contractors and trades, and shall exercise strict control over job cleaning to prevent any dirt, debris, or dust from affecting, in any way, finished areas inside or outside the job site.
- The General Contractor shall provide solid blocking as required for the installation of all equipment, casework, cabinets, wood trim, accessories, handrails, etc.
- The General Contractor must adhere to COUNTY OF SANTA CLARA Construction and Builder Regulations.
- Plumbing contractor shall provide an indirect connection to sewer system for all equipments which produce liquid waste.
- All interior materials and equipment to be directed by Owner unless otherwise stated.
- Equipment contractors shall provide Electrical and Plumbing data and exact rough in to electrical and plumbing contractor. electrical and Plumbing permit to be supplied by electrical and plumbing contractor.
- Plumbing and Electrical contractor shall verify all utility location with all equipment and requirements and shall be responsible for their work. All of their works must comply with local codes and approved by area inspector.
- Contractor shall adequately shore and support existing structure if found necessary during construction.
- All new walls at property line shall be one hr. construction.
- Contractor must conform to local codes and ordinances before construction or fabrication.



1 PROPOSED FRONT ELEVATION
SCALE: NTS

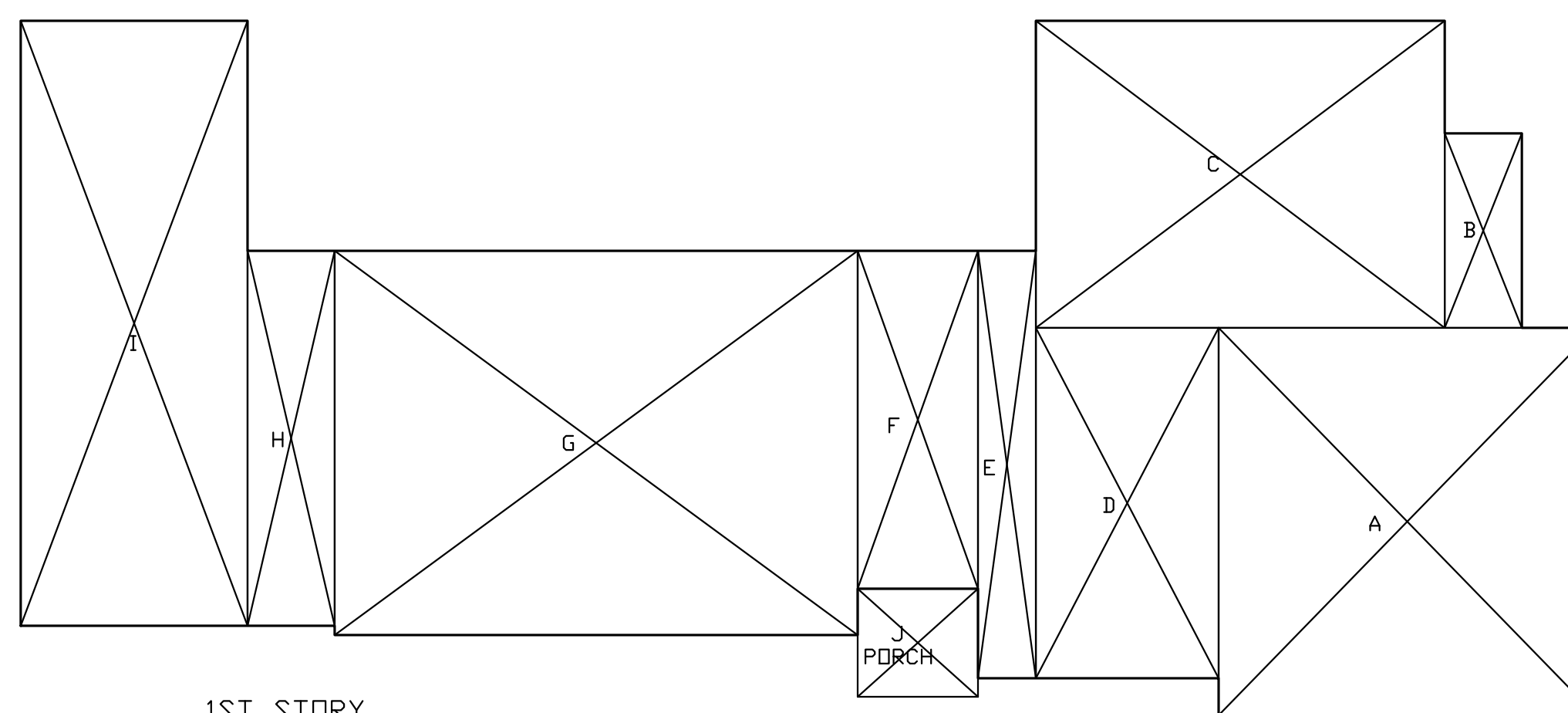
FLOOR AREA CALCULATION

SECTION	DIMENSIONS	AREA
1ST STORY		
A	20'-11" X 20'-4 1/2"	426 sqft
B	10'-6" X 4'-2"	43 sqft
C	17'-7" X 22'-1"	366 sqft
D	18'-11" X 9'-10 1/2"	187 sqft
E	23'-1" X 3'-1 1/2"	72 sqft
F	18'-3" X 6'-6"	118 sqft
G	20'-9" X 28'-3"	586 sqft
H	20'-3" X 4'-8 1/2"	95 sqft
I	32'-8" X 12'-3"	400 sqft
FIRST STORY SUBTOTAL		2295 sqft
J (PORCH)	5'-10" X 6'-6"	38 sqft
TOTAL LOT COVERAGE		2333 sqft

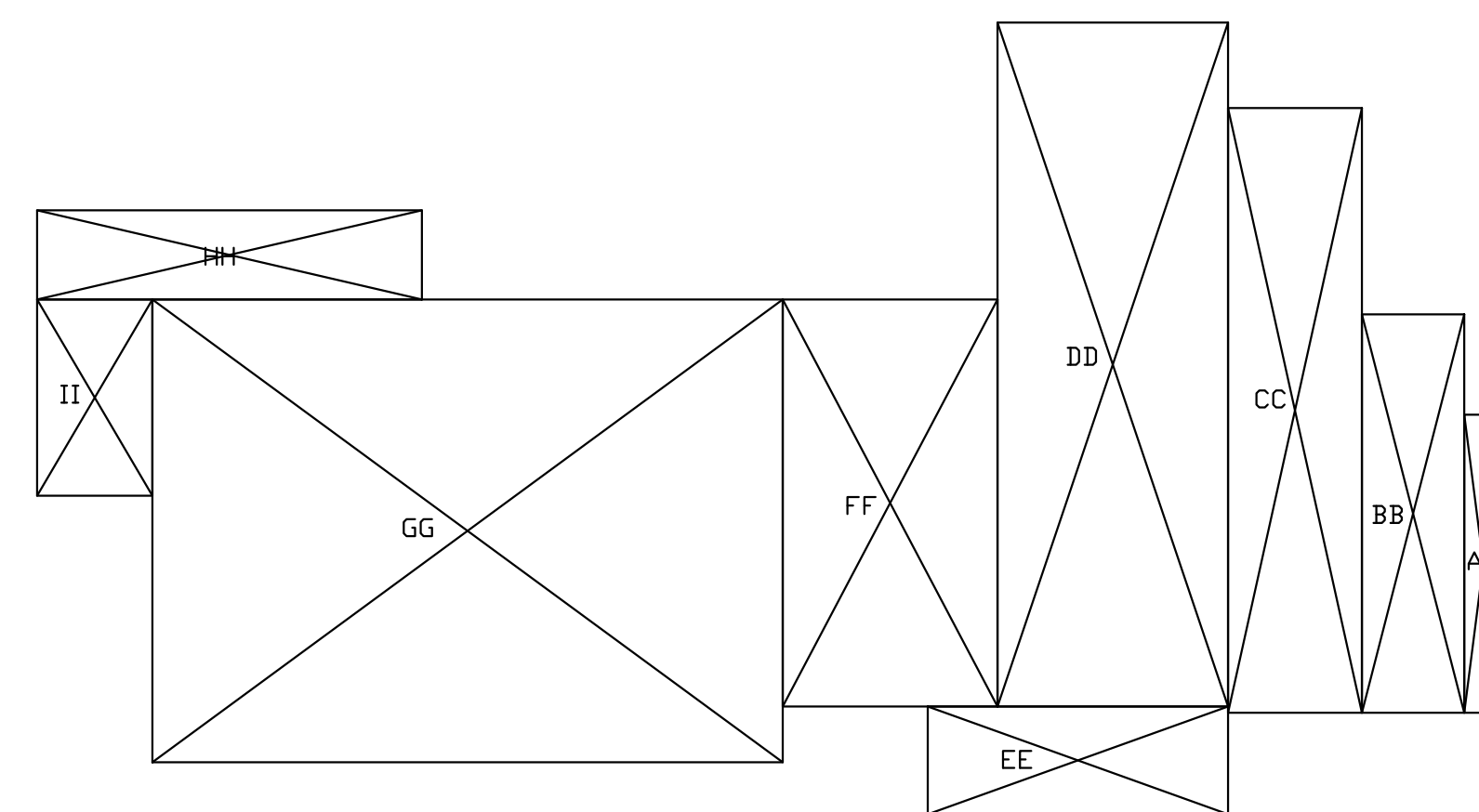
2ND STORY		
AA	13'-4 7/8" X 1'-8 1/2"	23 sqft
BB	17'-10 3/8" X 4'-7"	82 sqft
CC	26'-10" X 6'-0"	162 sqft
DD	30'-8" X 10'-4"	316 sqft
EE	4'-10" X 3'-5 1/2"	65 sqft
FF	18'-3" X 9'-7 1/2"	176 sqft
GG	20'-9" X 28'-3"	586 sqft
HH	4'-0" X 17'-3"	69 sqft
II	8'-9 5/8" X 5'-2"	45 sqft
SECOND STORY SUBTOTAL		1526 sqft
TOTAL 1ST AND 2ND FLOOR AREA		3821 sqft

BASEMENT		
AAA	20'-11" X 20'-4 1/2"	426 sqft
BBB	12'-2 1/2" X 16'-7"	202 sqft
CCC	9'-2 1/2" X 12'-5"	123 sqft
DDD	13'-0" X 23'-1"	300 sqft
EEE	6'-6" X 18'-3"	119 sqft
FFF	28'-3" X 20'-9"	176 sqft
GGG	20'-3" X 4'-8 1/2"	95 sqft
HHH	32'-8" X 12'-3"	400 sqft
TOTAL BASEMENT		2252 sqft
TOTAL ALL HABITABLE FLOOR AREA		5221 sqft
TOTAL ALL FLOOR AREA		6073 sqft

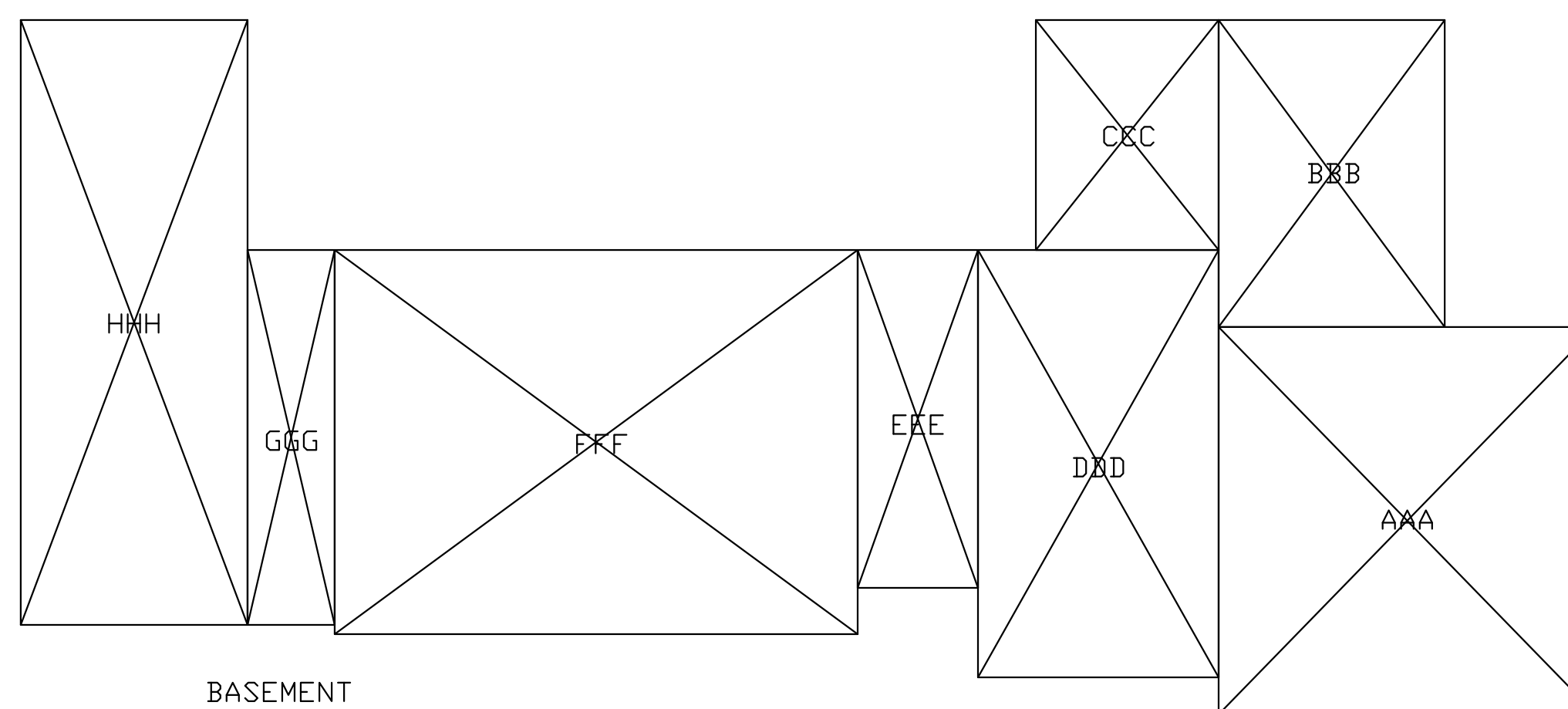
1 FAR CALCULATION
SCALE: 1" = 1/8"



1ST STORY



2ND STORY



BASEMENT

Materials Board



Wall light #1
Barn Light – Barn Light Electric

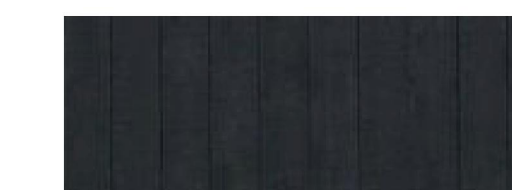
Wall light #2
Wedge Light – Bega Lighting



Roof Material – Standing Seam Metal
– Bronze color – Custom Built Metals



Wood window clad with dark bronze exterior – Andersen 400 or equal



Wall Stain color – Blue/Grey



Horizontal Siding Material - Hardie Artisan V Rustic - painted



Board and Batten Stained – Vertical grain Cedar

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	212 square feet (1.9%)	2333 square feet (21.1%)	3,312.3 square feet (30%)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 212 sq ft 2nd Flr. 0 sq ft Total: 212 sq ft (1.9%)	1st Flr. 2295 sq ft 2nd Flr. 1526 sq ft Total: 3821 sq ft (34.6%)	3854 square feet (34.9%)
SETBACKS:			
Front	39.5 feet	25 feet	25 feet
Rear	50 feet	26.5 feet	25.0 feet
Right side (1 st /2 nd)	-2 feet/NA feet	10 feet/17.5 feet	10 feet/17.5 feet
Left side (1 st /2 nd)	NA feet/NA feet	10 feet/17.5 feet	10 feet/17.5 feet
HEIGHT:	9.5 feet	26'-11 3/4" feet	27 feet

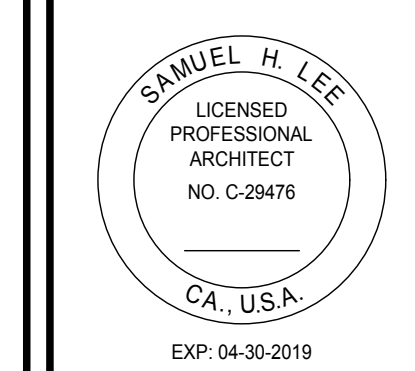
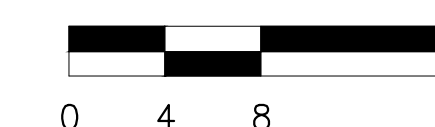
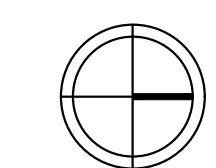
SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	0 square feet	5,221 square feet	5,221 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	212 square feet	640 square feet	852 square feet

LOT CALCULATIONS

NET LOT AREA:	11,041 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	941 square feet (8.5%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 3,841 sq ft Existing softscape (undisturbed) area: 4,599 sq ft New softscape (new or replaced landscaping) area: 2,801 sq ft <i>Sum of all three should equal the site's net lot area</i>

REFERENCE



PRIVATE RESIDENCE
13 CYPRESS CT.,
LOS ALTOS, CA. 94022

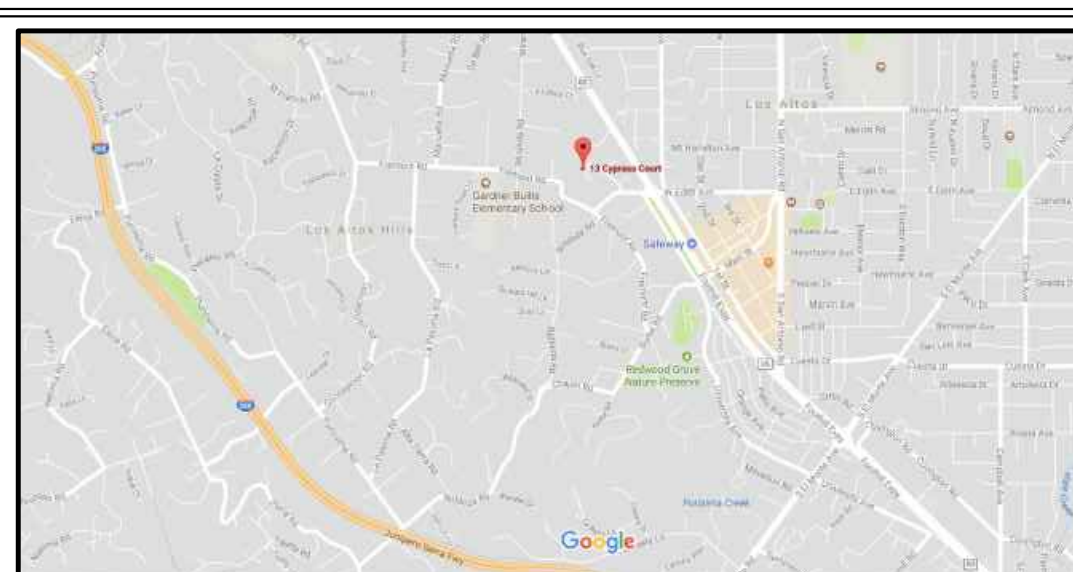
DATE	ISSUE
10/18/17	SCHEMATIC DESIGN
11/22/17	DESIGN REVIEW SUBMITTAL
01/29/18	DESIGN REVIEW SUBMITTAL #2
02/20/18	DESIGN REVIEW SUBMITTAL #3

PROJECT #: 17-11
DRAWN BY: LS
CHECKED BY: SL

SHEET TITLE:
FAR CALCULATIONS AND PROJECT INFO

SHEET NUMBER:
A1.01A

VICINITY MAP



PERMIT NOTES

- FIRE SPRINKLER SYSTEM PER R313.2 TO BE UNDER SEPARATE PERMIT. – THE MAIN HOUSE AND ATTACHED GARAGE WILL BE REQUIRED TO HAVE NFPA13D.
- THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE ADDRESS NEEDS TO BE MIN. 4" HIGH AND 3/4" THICK.

ALL APPLICABLE CODES:

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA GREEN CODE
- 2016 CALIFORNIA FIRE CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE

INFORMATION

OWNER
SHL PROPERTIES, LLC
PO BOX 669
MOUNTAIN VIEW, CA. 94041
(T) 415.235.2034

CONTRACTOR
GBM BUILDERS
PO BOX 8305
SAN JOSE, CA. 95155
(T) 408.499.0276

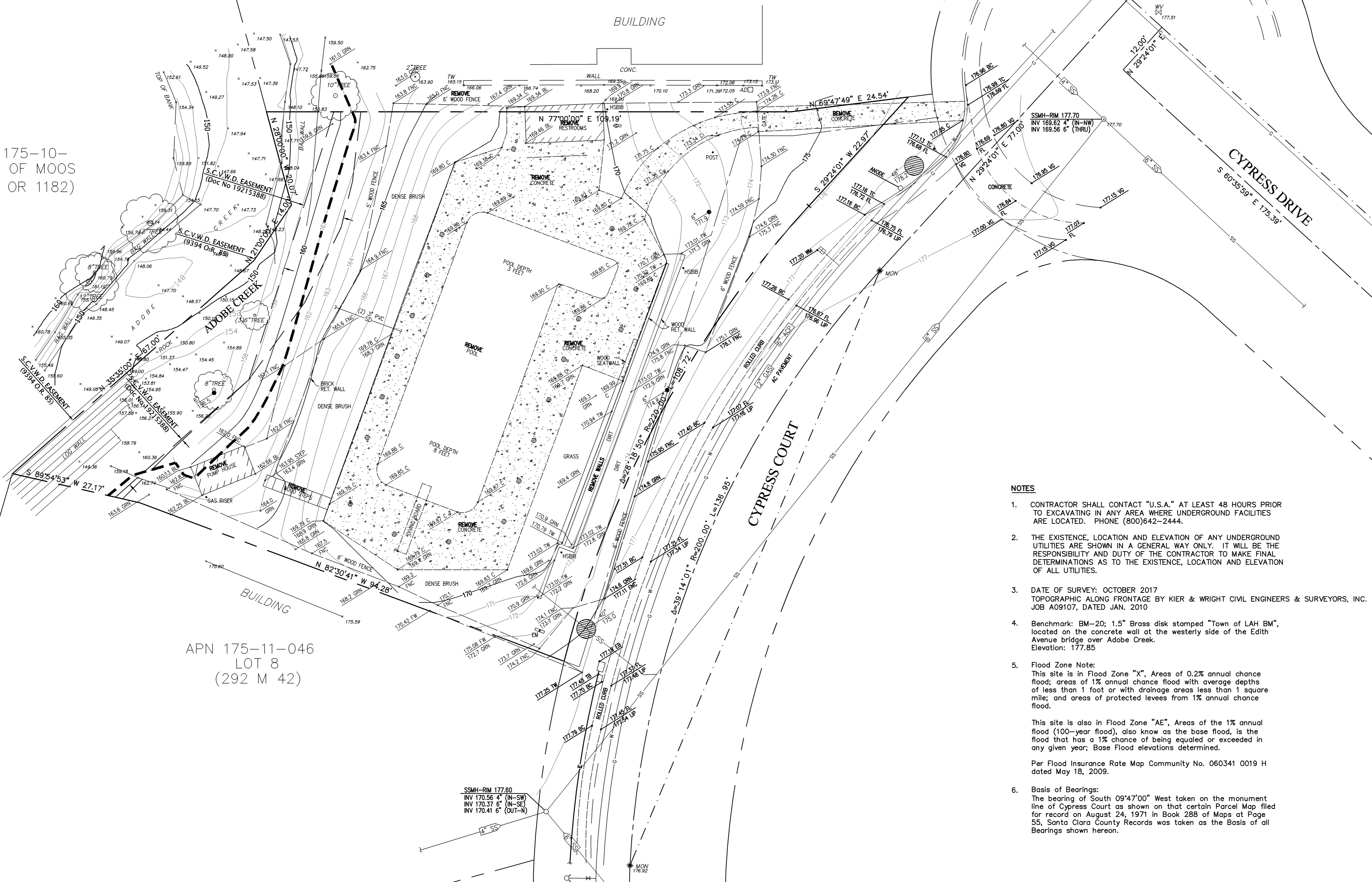
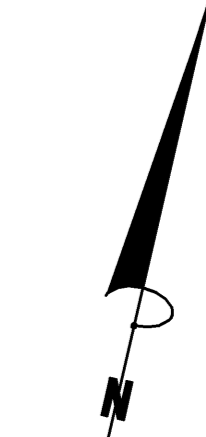
CIVIL ENGINEERS
MISSION ENGINEERS
2355 DE LA CRUZ BLVD
SANTA CLARA, CA. 95050
(T) 408.727.8262

APN 175-11-024
LOT 22
(55 M 32-33)

APN 175-10-
LANDS OF MOOS
(N859 OR 1182)

APN 175-11-046
LOT 8
(292 M 42)

SCALE: 1"=10'



NOTES

- CONTRACTOR SHALL CONTACT "U.S.A." AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
- DATE OF SURVEY: OCTOBER 2017
TOPOGRAPHIC ALONG FRONTAGE BY KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. JOB A09107, DATED JAN. 2010
- Benchmark: BM-20; 1.5" Brass disk stamped "Town of LAH BM", located on the concrete wall at the westerly side of the Edith Avenue bridge over Adobe Creek. Elevation: 177.85
- Flood Zone Note:
This site is in Flood Zone "X", Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas of protected levees from 1% annual chance flood.

This site is also in Flood Zone "AE", Areas of the 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year; Base Flood elevations determined.

Per Flood Insurance Rate Map Community No. 060341 0019 H dated May 18, 2009.
- Basis of Bearings:
The bearing of South 09°47'00" West taken on the monument line of Cypress Court as shown on that certain Parcel Map filed for record on August 24, 1971 in Book 288 of Maps at Page 55, Santa Clara County Records was taken as the Basis of all Bearings shown hereon.

PRELIMINARY

BOUNDARY/TOPOGRAPHIC MAP
AND DEMOLITION PLAN
13 CYPRESS COURT
LOS ALTOS, CALIFORNIA

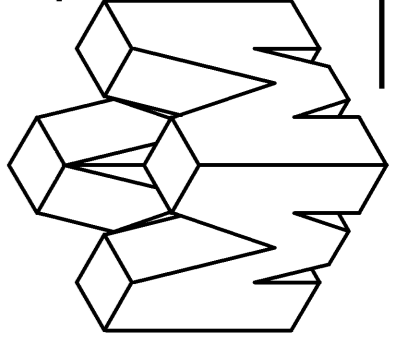
REVISIONS

DATE	BY CHDK	DESCRIPTION

SCALE 1"=10'
DATE 2/13/18
DWN DN ME40
CHKD
JOB NO. 17078
DWG. NO. L14857

SHEET
C1
OF 2 SHEET

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-16, L.S. 9212-EXPIRES 09-30-19
PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING
MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953
2355 De La Cruz Blvd. Santa Clara, California 95050
Ph: (408) 727-8285 FAX: (408) 727-8285 E-mail: missionengineersinc.com



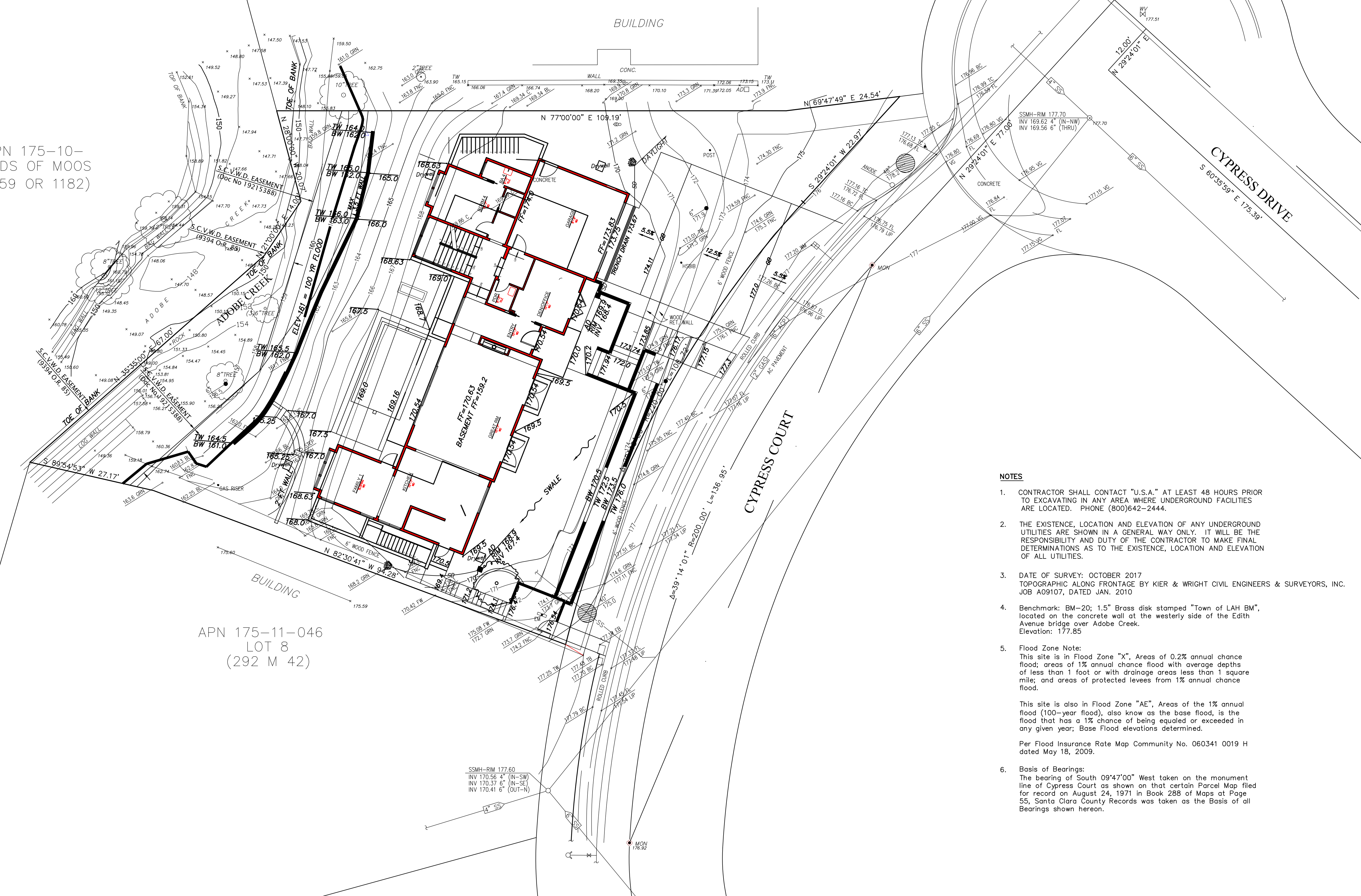
ALL DOWNSPOUTS TO DRAIN OVER SPLASH BLOCKS ONTO LANDSCAPING/VEGETATION.

APN 175-11-024
LOT 22
(55 M 32-33)

APN 175-10-
LANDS OF MOOS
(N859 OR 1182)

APN 175-11-046
LOT 8
(292 M 42)

SCALE: 1"=10'



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PRELIMINARY

GRADING & DRAINAGE PLAN
APN 175-11-047
13 CYPRESS COURT
LOS ALTOS HILLS, CALIFORNIA

DATE	BY	DESCRIPTION
	CHKD	

SCALE 1"=10'
DATE 02-13-18
DWN DN ME40
CHKD
JOB NO. 17078
DWG. NO. L14873

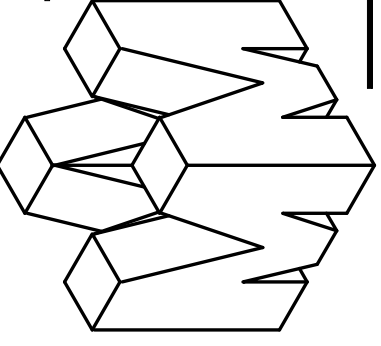
SHEET
C2
OF 2 SHEET

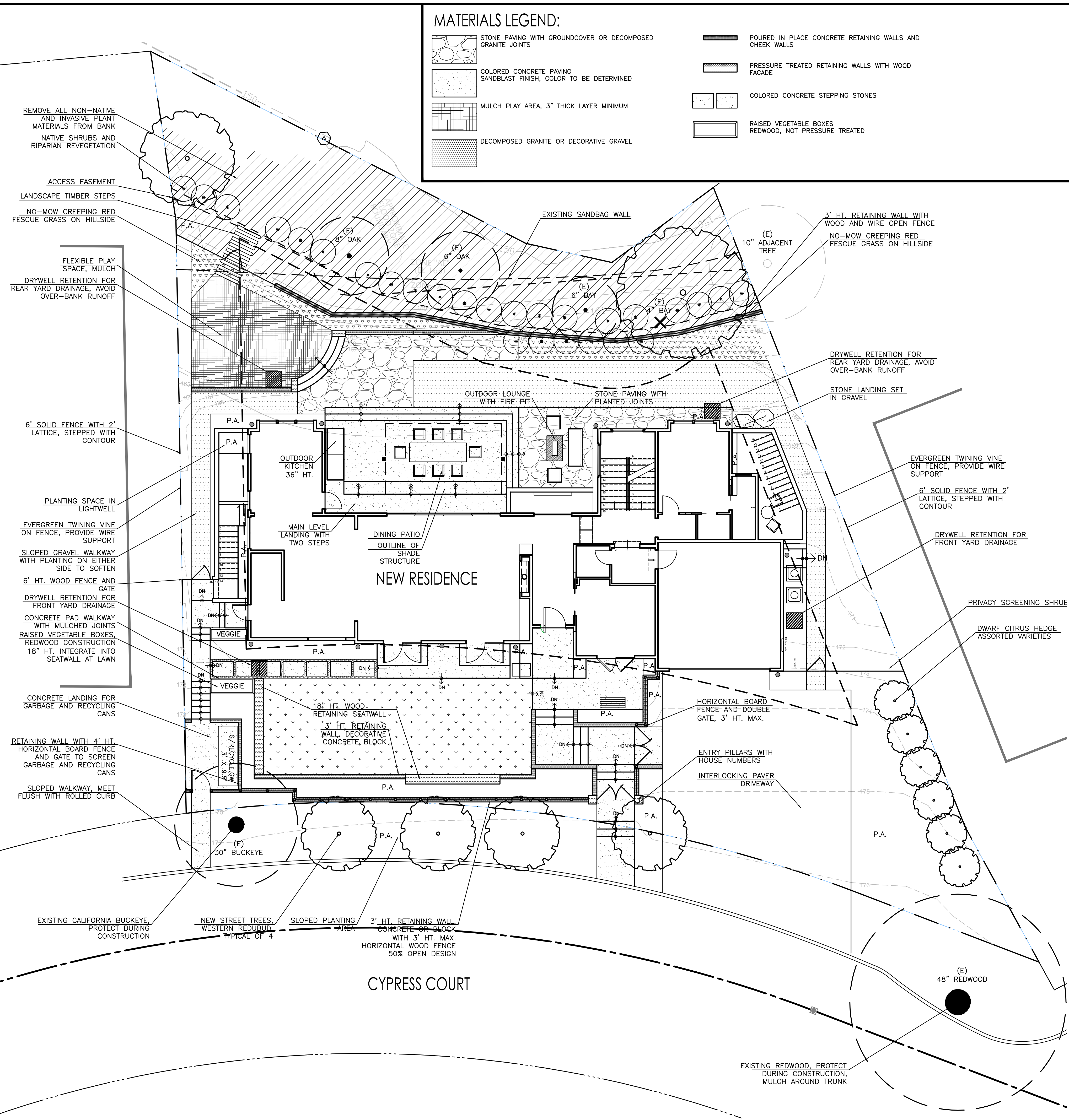
PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-19
DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-18, L.S. 9212-EXPIRES 09-30-19

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

MISSION ENGINEERS, INC.
RESPONSIVE, RELIABLE RESULTS SINCE 1953

2355 De La Cruz Blvd., Santa Clara, California 95050
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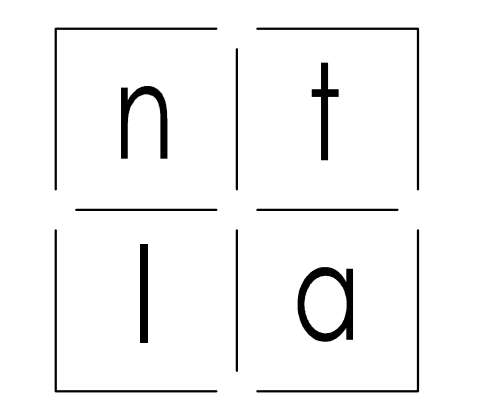




MATERIALS LEGEND:

- STONE PAVING WITH GROUNDCOVER OR DECOMPOSED GRANITE JOINTS
- COLORED CONCRETE PAVING SANDBLAST FINISH, COLOR TO BE DETERMINED
- MULCH PLAY AREA, 3" THICK LAYER MINIMUM
- DECOMPOSED GRANITE OR DECORATIVE GRAVEL
- POURED IN PLACE CONCRETE RETAINING WALLS AND CHEEK WALLS
- PRESSURE TREATED RETAINING WALLS WITH WOOD FACADE
- COLORED CONCRETE STEPPING STONES
- RAISED VEGETABLE BOXES REDWOOD, NOT PRESSURE TREATED

INSPIRATIONAL IMAGES:



NATALIE TAN
 LANDSCAPE ARCHITECTURE
 P. O. Box 972
 Ben Lomond, California 95005
 +1 408.605.7228
 www.NTLAdesign.com

PRIVATE RESIDENCE

13 Cypress Court
 Los Altos, CA 94022

SCHEMATIC LANDSCAPE PLAN

issue	date	description
00	01/04/18	SD - CLIENT REVIEW
01	01/12/18	SD - CLIENT REVIEW
02	01/23/18	DESIGN REVIEW COMMISSION - CLIENT REVIEW
03	01/25/18	DESIGN REVIEW COMMISSION
04	02/08/18	DESIGN REVIEW COMMISSION
05	02/16/18	DESIGN REVIEW COMMISSION

drawn by: NT
 reviewed by: NT
 approved by: NT
 project number:



EXISTING TREE LIST:

#	COMMON NAME	BOTANICAL NAME	DIA. (IN.)	CONDITION	TO BE REMOVED
1	COASTAL REDWOOD	SEQUOIA SEMPERVIRENS	48	GOOD	NO
2	CALIFORNIA BUCKEYE	AESCULUS CALIFORNICA	30	GOOD	NO
3	CALIFORNIA BAY	UMBELLULARIA CALIFORNICA	4	FAIR	YES
4	CALIFORNIA BAY	UMBELLULARIA CALIFORNICA	4	FAIR	NO
5	COAST LIVE OAK	QUERCUS AGRIFOLIA	6	FAIR	NO
6	COAST LIVE OAK	QUERCUS AGRIFOLIA	8	FAIR	NO

PROPOSED TREE LIST:

#	COMMON NAME	BOTANICAL NAME	MATURE HT (FT)	MATURE W (FT)	RATE OF GROWTH	NATIVE
7	BIG LEAF MAPLE	ACER MACROPHYLLUM	30	65	24-36"/SEASON	YES
8	BLUE ELDERBERRY	SAMBUCUS MEXICANA	20	20	24-36"/SEASON	YES
9	WESTERN REDBUD	CERCIS OCCIDENTALIS	12-20	10-15	12-24"/SEASON	YES
10	WESTERN REDBUD	CERCIS OCCIDENTALIS	12-20	10-15	12-24"/SEASON	YES
11	WESTERN REDBUD	CERCIS OCCIDENTALIS	12-20	10-15	12-24"/SEASON	YES
12	WESTERN REDBUD	CERCIS OCCIDENTALIS	12-20	10-15	12-24"/SEASON	YES

PLANTING NOTES:
 1. 75% OF PLANTING TO BE CALIFORNIA NATIVE OR NON-INVASIVE SPECIES.
 2. HIGH EFFICIENCY IRRIGATION SYSTEM USING ONLY LOW-FLOW DRIP, BUBBLERS OR SPRINKLERS TO BE INSTALLED.
 3. SURFACE DRAINAGE TO FLOW TO ADOBE CREEK. DOWNSPOUTS TIED DIRECTLY TO DRY WELL PITS IN REAR.
 4. CONTOUR 168.9 USED FOR BASEMENT REFERENCE.
 5. ALL NON TURF PLANTING AREAS TO RECEIVE MINIMUM 3" THICK BARK MULCH.

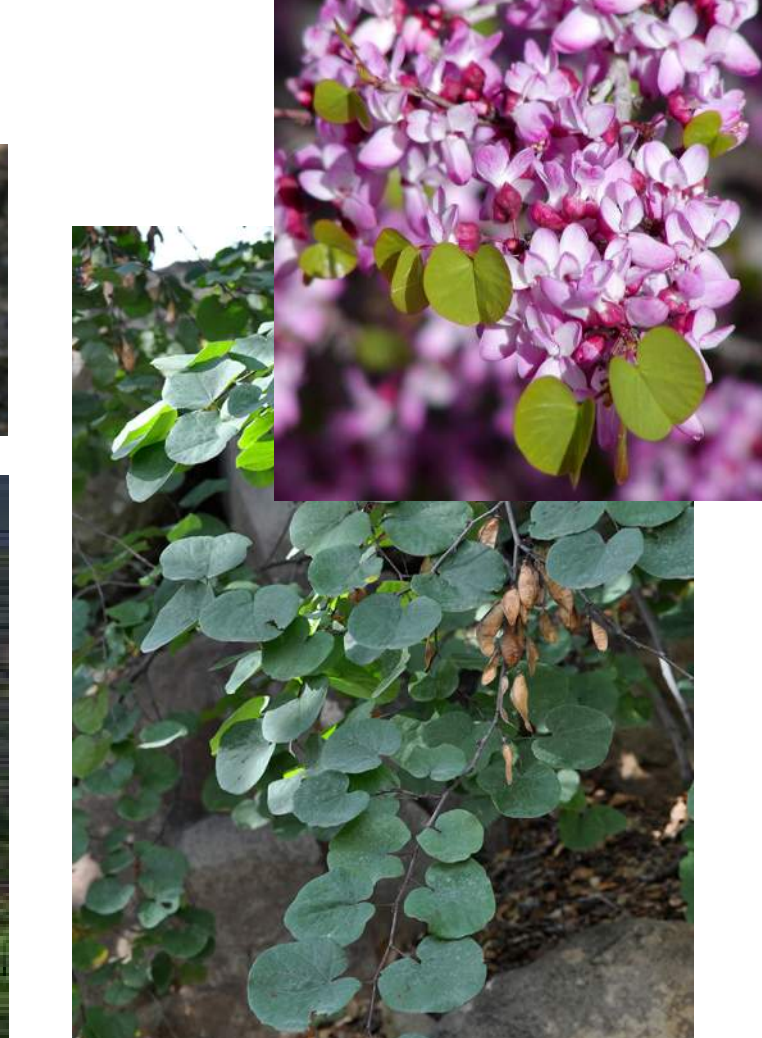
PROPOSED TREE IMAGES:



BIGLEAF MAPLE - ACER MACROPHYLLUM

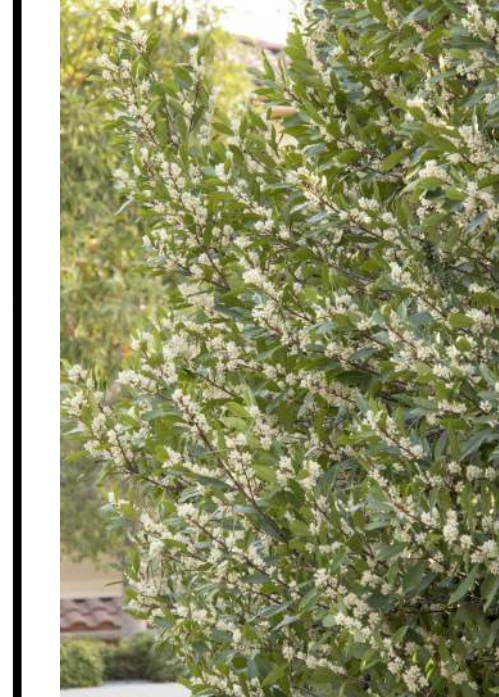


BLUE ELDERBERRY - SAMBUCUS MEXICANA



WESTERN REDBUD - CERCIS OCCIDENTALIS

SCREENING SHRUBS & VINES:



PRUNUS C. 'COMPACTA' - COMPACT CAROLINA CHERRY
10-12' HT. X 6-8' WIDE



DWARF CITRUS HEDGE ASSORTED VARIETIES
6-8' HT. X 6-8' WIDE



CLEMATIS ARMANDII EVERGREEN CLEMATIS
20' HT. X 25' WIDE

SHRUBS AND GRASSES:

PLANTING AREA FOR SHRUBS AND GRASSES
LOW TO MEDIUM WATER USE PLANTS



ACACIA 'COUSIN ITT' WATTLE ACACIA
2-3' HT. X 4-6' WIDE



AEONIUM 'KIWI' KIWI AEONIUM
2-3' HT. X 1-2' WIDE



CALAMAGROSTIS 'STRICTA' FEATHER REED GRASS
2-3' HT. X 2-3' WIDE



CHONDROPETALUM TECTORUM CAPE REED GRASS
2-3' HT. X 3-4' WIDE

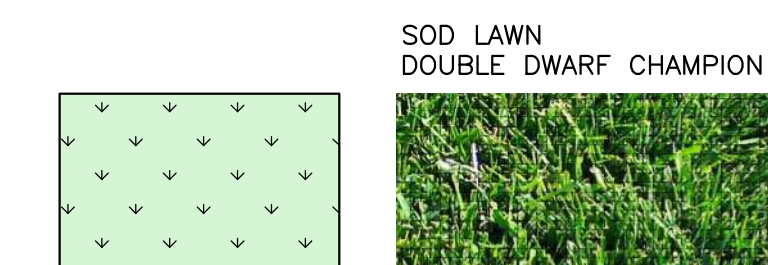


LOROPETALUM C. 'EMERALD SNOW' WHITE FRINGE FLOWER
3-4' HT. X 3-4' WIDE

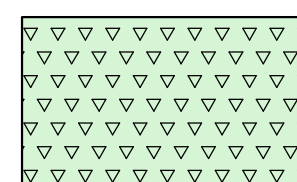


WESTRINGIA 'MORNING LIGHT' VARIEGATED COAST ROSEMARY
3-4' HT. X 3-4' WIDE

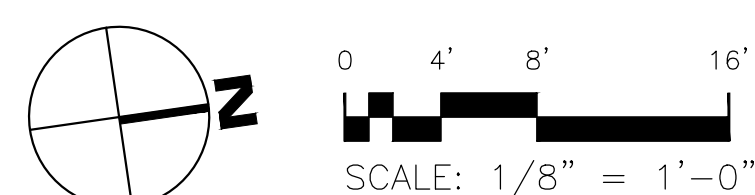
GRASSES & GROUNDCOVERS



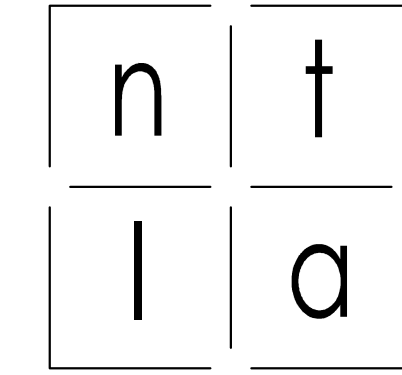
SOD LAWN DOUBLE DWARF CHAMPION



NO-MOW CREEPING FESCUE BLEND OF SHEEP, HARD, AND CREEPING RED FESCUES



SCALE: 1/8" = 1'-0"



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 LANDSCAPE ARCHITECTURE
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 Ben Lomond, California 95005
 +1 408.605.7228
 www.NTLAdesign.com

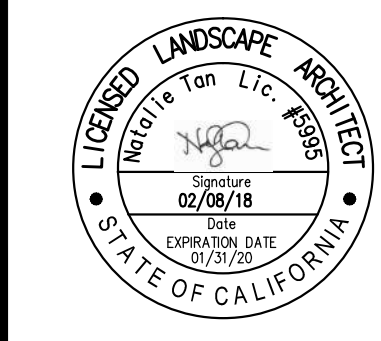
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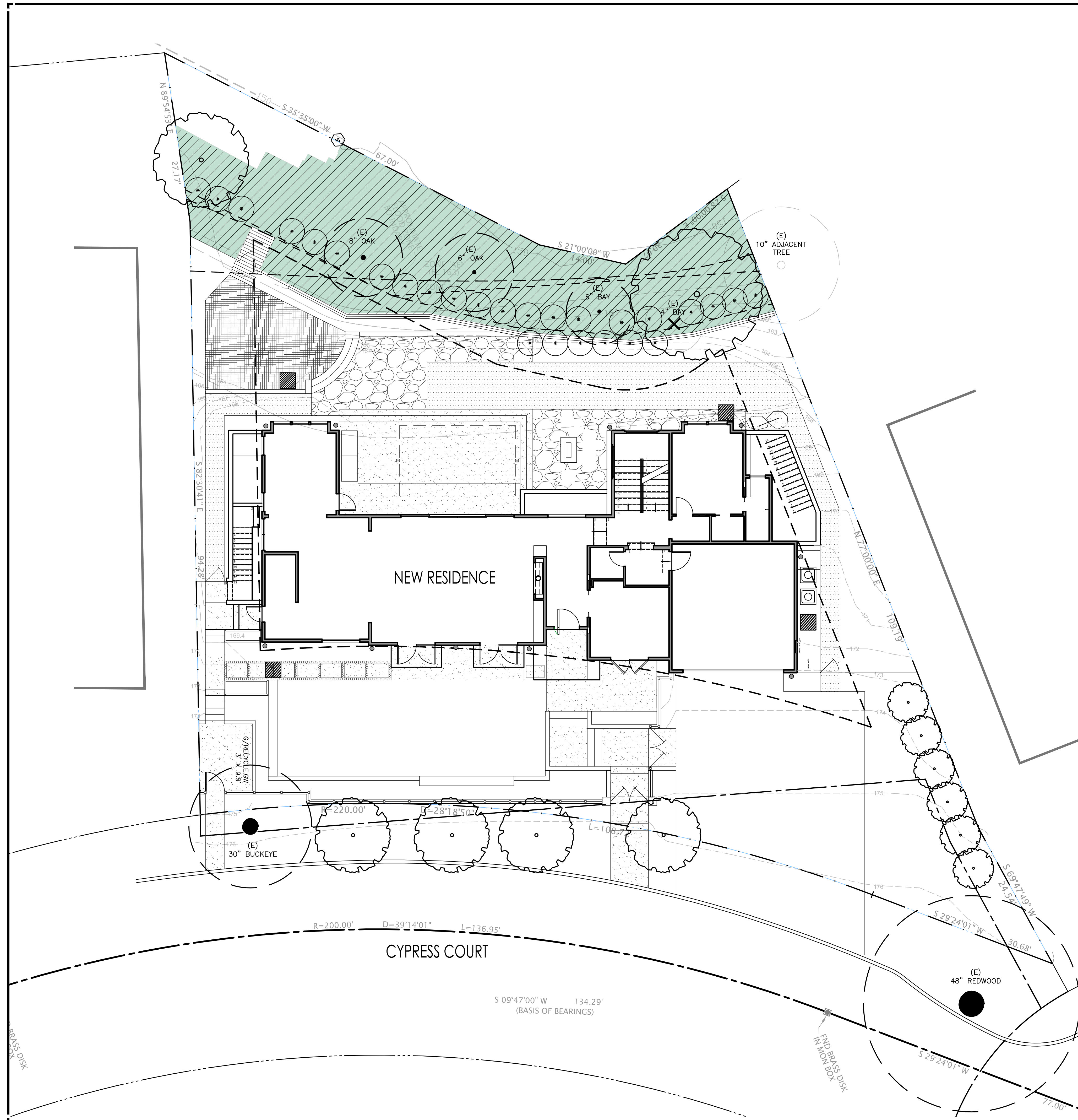
13 Cypress Court
 Los Altos, CA 94022

PLANTING SCHEMATIC

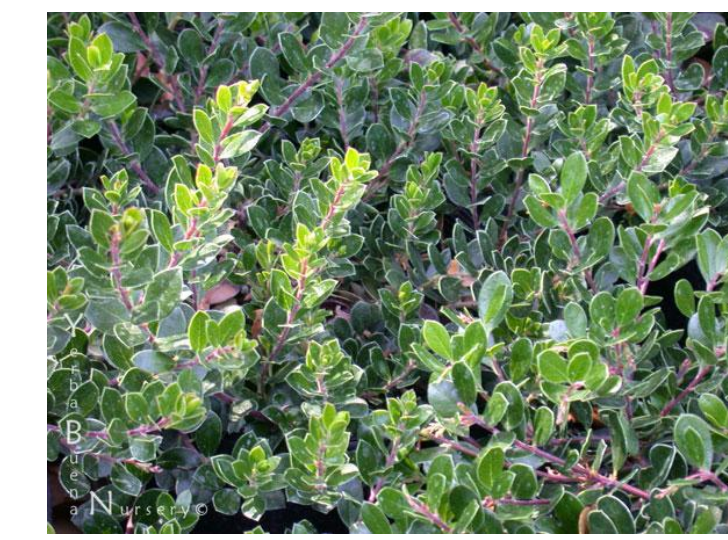
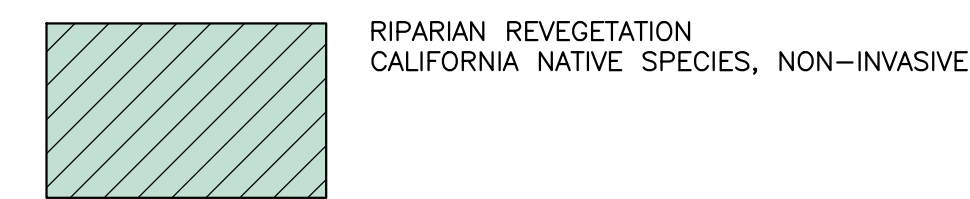
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00	01/23/18	DESIGN REVIEW COMMISSION
01	02/08/18	DESIGN REVIEW COMMISSION
02	02/16/18	DESIGN REVIEW COMMISSION

drawn by: NT
 reviewed by: NT
 approved by: NT
 project number:





REVEGETATION NARRATIVE:



ARCTOSTAPHYLOS 'EMERALD CARPET'
EMERALD CARPET MANZANITA
8-14" HT. X 5' WIDE



ASARUM CAUDATUM - WILD GINGER
6" HT. X 18" WIDE



CAREX DIVULSA
BERKELEY SEDGE
18" HT X 18" WIDE



CARPENTERIA CALIFORNICA
BUSH ANEMONE
4-6" HT. X 4-6" WIDE

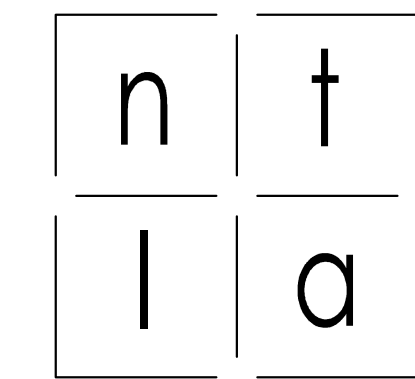
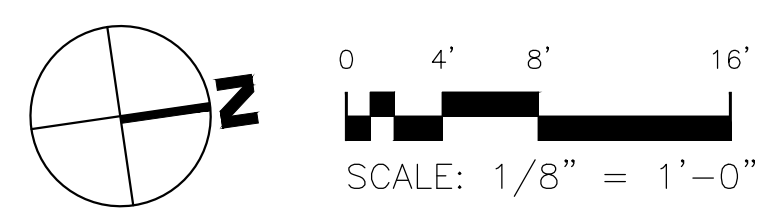


RIBES SANGUINEUM
CALIFORNIA CURRANT
8" HT. X 4" WIDE



WOODWARDIA FIMBRIATA
GIANT CHAIN FERN
4-6" HIT X 4-6" WIDE

- NOTES:
1. MAINTAIN AND MONITOR PLANTINGS FOR A 3 TO 5 YEAR PERIOD TO ENSURE HEALTHY ESTABLISHMENT. PERFORMANCE AND SUCCESS CRITERIA INCLUDE PERCENTAGE OF ALLOWABLE MORTALITY AND GOALS FOR AN ANNUAL PERCENTAGE OF VEGETATIVE COVER.
 2. SLOWLY ELIMINATE THE NEED FOR HUMAN INTERVENTION, INCLUDING IRRIGATION, WEED CONTROL, REPLANTING, PRUNING, ETC. THE FINAL GOAL IS TO DISCONTINUE MAINTENANCE ACTIVITIES WHEN HABITAT IS SELF SUSTAINABLE.
 3. SLOPES GREATER THAN 2:1 TO RECEIVE JUTE EROSION CONTROL NETTING, STAPLED INTO HILLSIDE.



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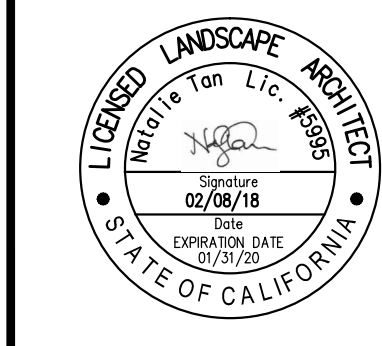
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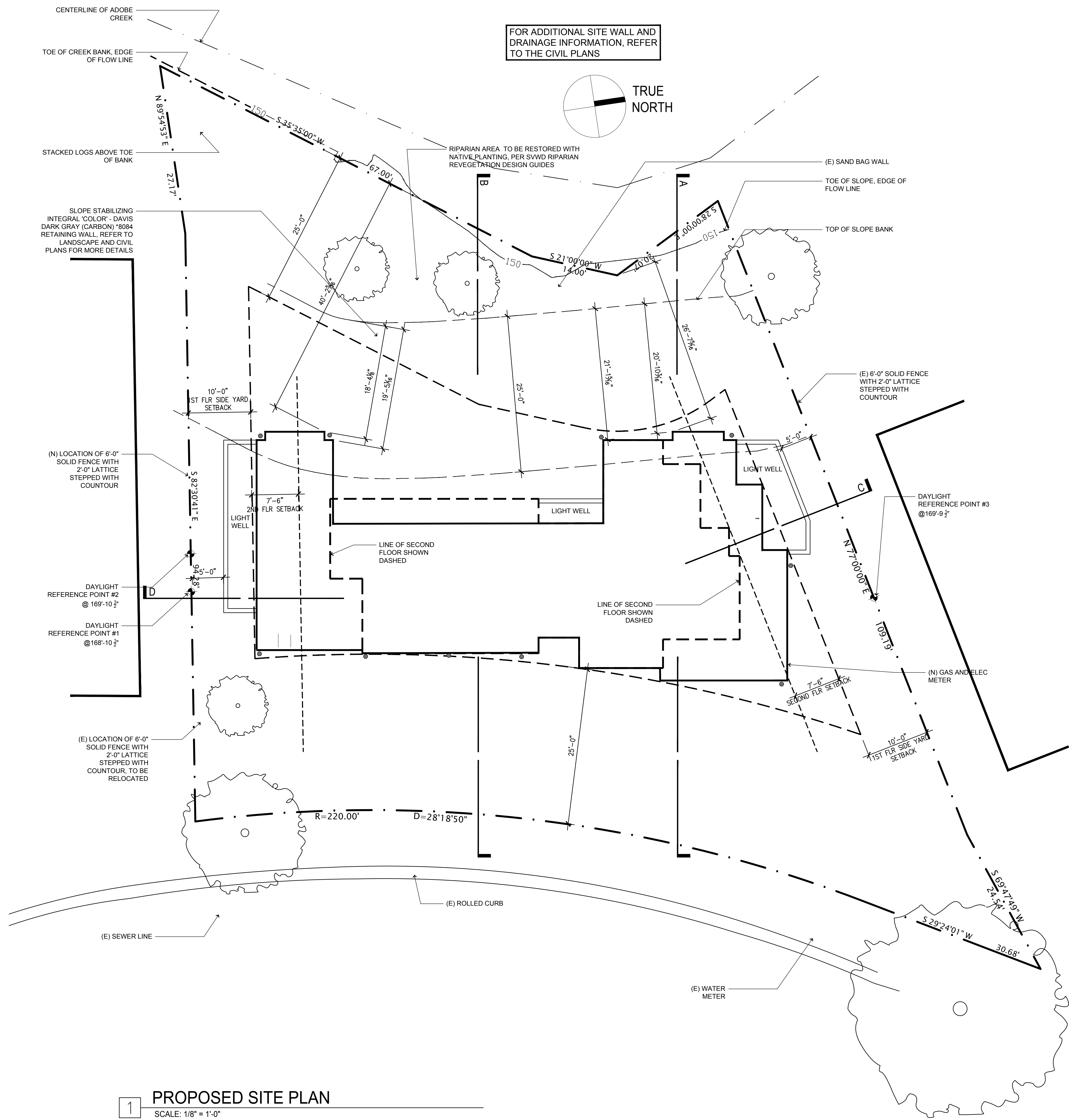
13 Cypress Court
Los Altos, CA 94022

RIPARIAN CORRIDOR
REVEGETATION PLAN

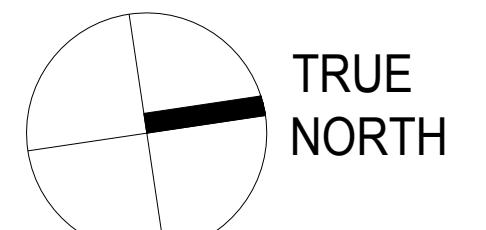
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01	02/08/18	DESIGN REVIEW COMMISSION
02	02/16/18	DESIGN REVIEW COMMISSION

drawn by: NT
reviewed by: NT
approved by: NT
project number:

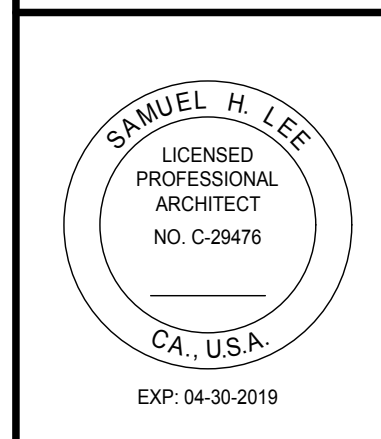
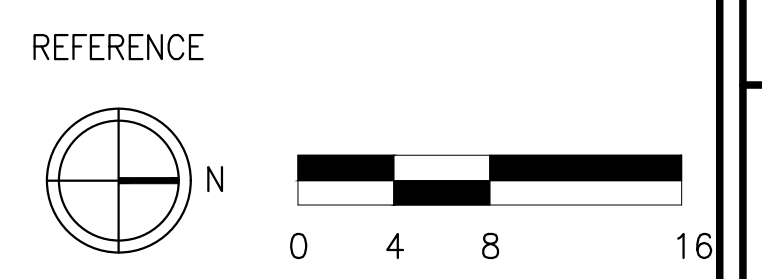




FOR ADDITIONAL SITE WALL AND DRAINAGE INFORMATION, REFER TO THE CIVIL PLANS



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



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13 CYPRESS CT.,
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DATE	ISSUE
10/18/17	SCHEMATIC DESIGN
11/22/17	DESIGN REVIEW SUBMITTAL
01/29/18	DESIGN REVIEW SUBMITTAL #2
02/20/18	DESIGN REVIEW SUBMITTAL #3

PROJECT #:	17-11
DRAWN BY:	LS
CHECKED BY:	SL

SHEET TITLE:
SITE PLAN



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DATE	ISSUE
10/18/17	SCHEMATIC DESIGN
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01/29/18	DESIGN REVIEW SUBMITTAL #2

PROJECT #:	17-11
DRAWN BY:	LS
CHECKED BY:	SL

SHEET TITLE:
SITE CONTEXT

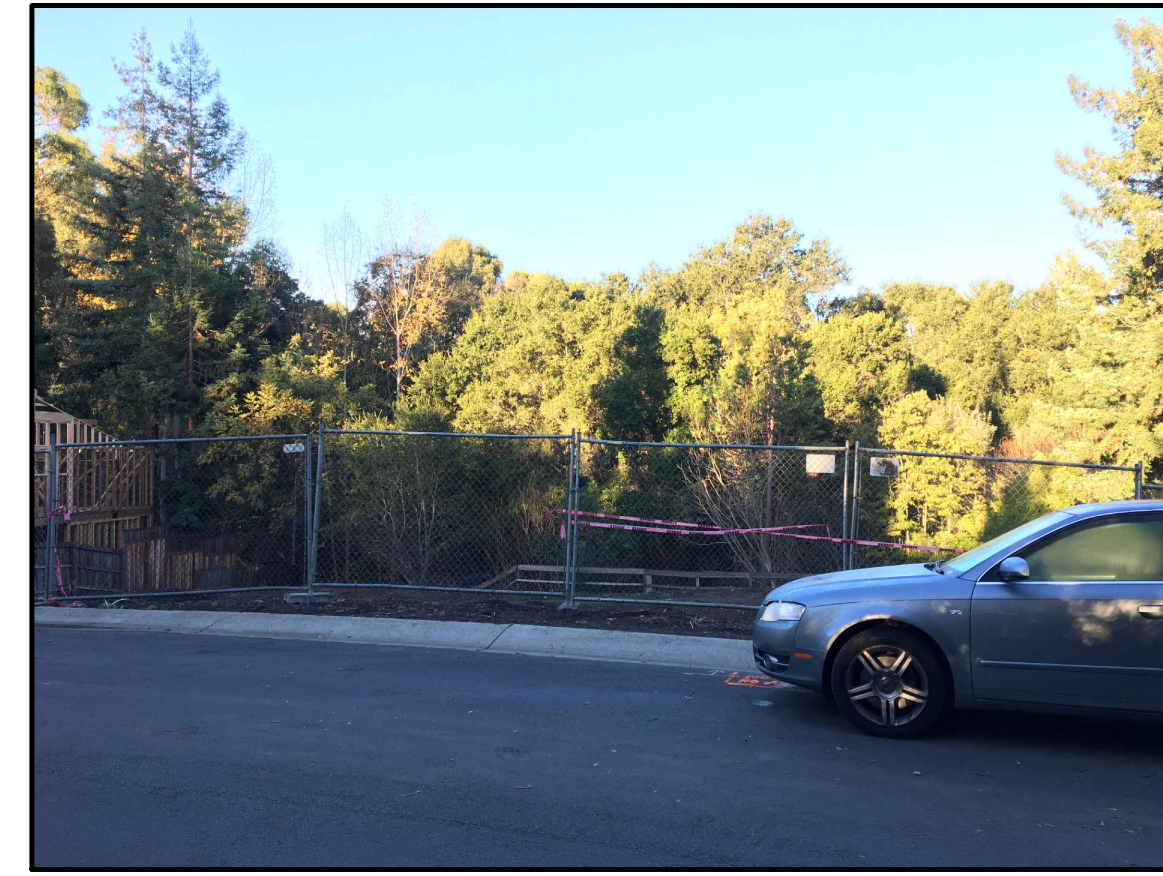
SHEET NUMBER:
A1.03



SUBJECT PROPERTY - SOUTH EDGE



SUBJECT PROPERTY - VIEW FROM PROPOSED BALCONY



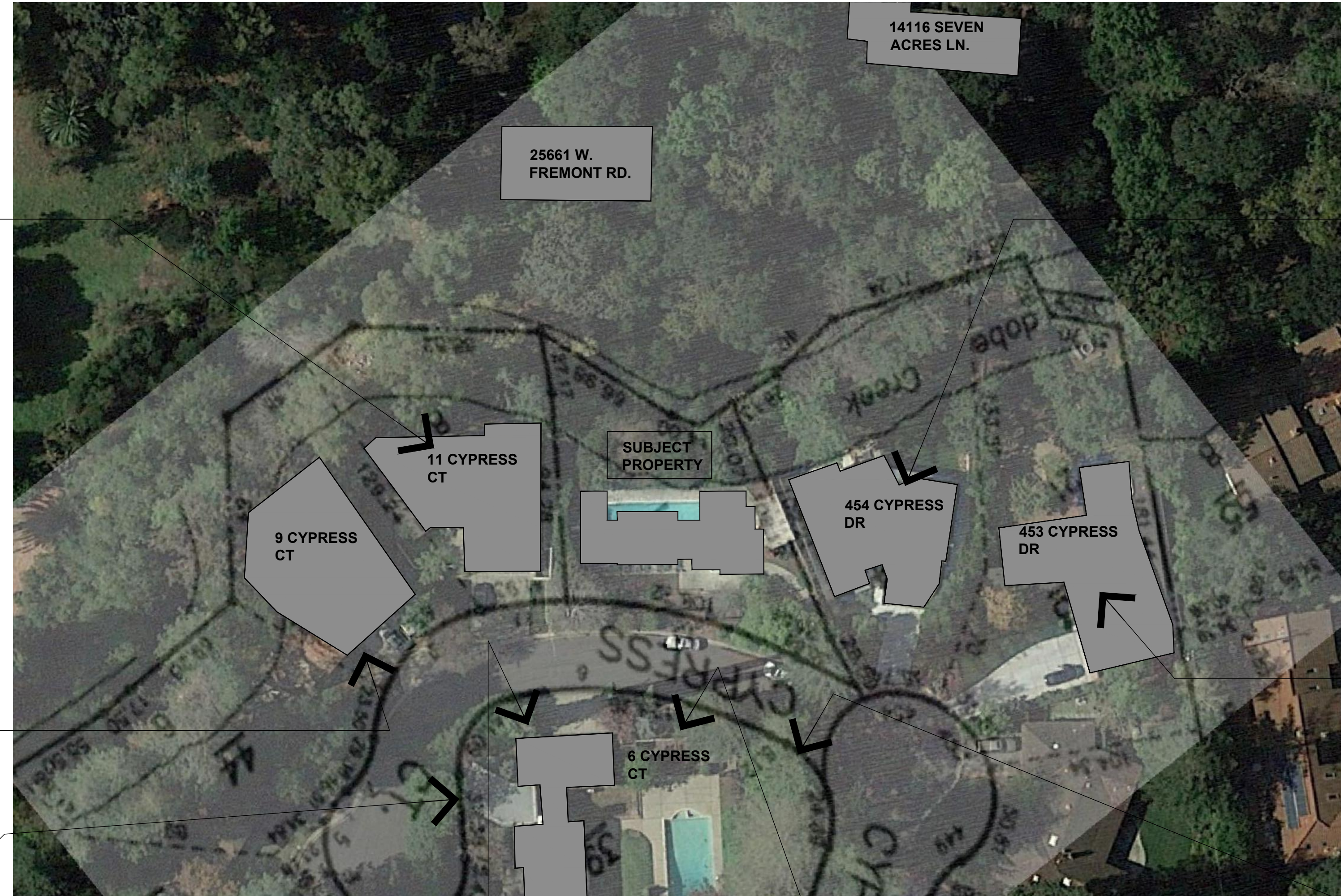
SUBJECT PROPERTY - MIDDLE



SUBJECT PROPERTY - NORTH EDGE



11 CYPRESS CT



454 CYPRESS DR



9 CYPRESS CT



453 CYPRESS DR



6 CYPRESS CT



6 CYPRESS CT



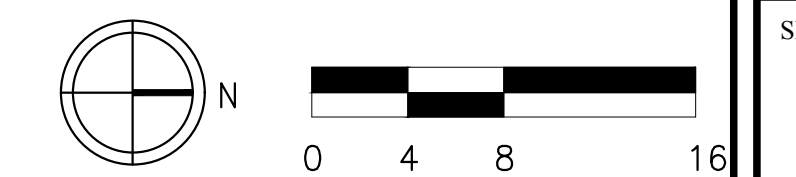
6 CYPRESS CT



6 CYPRESS CT

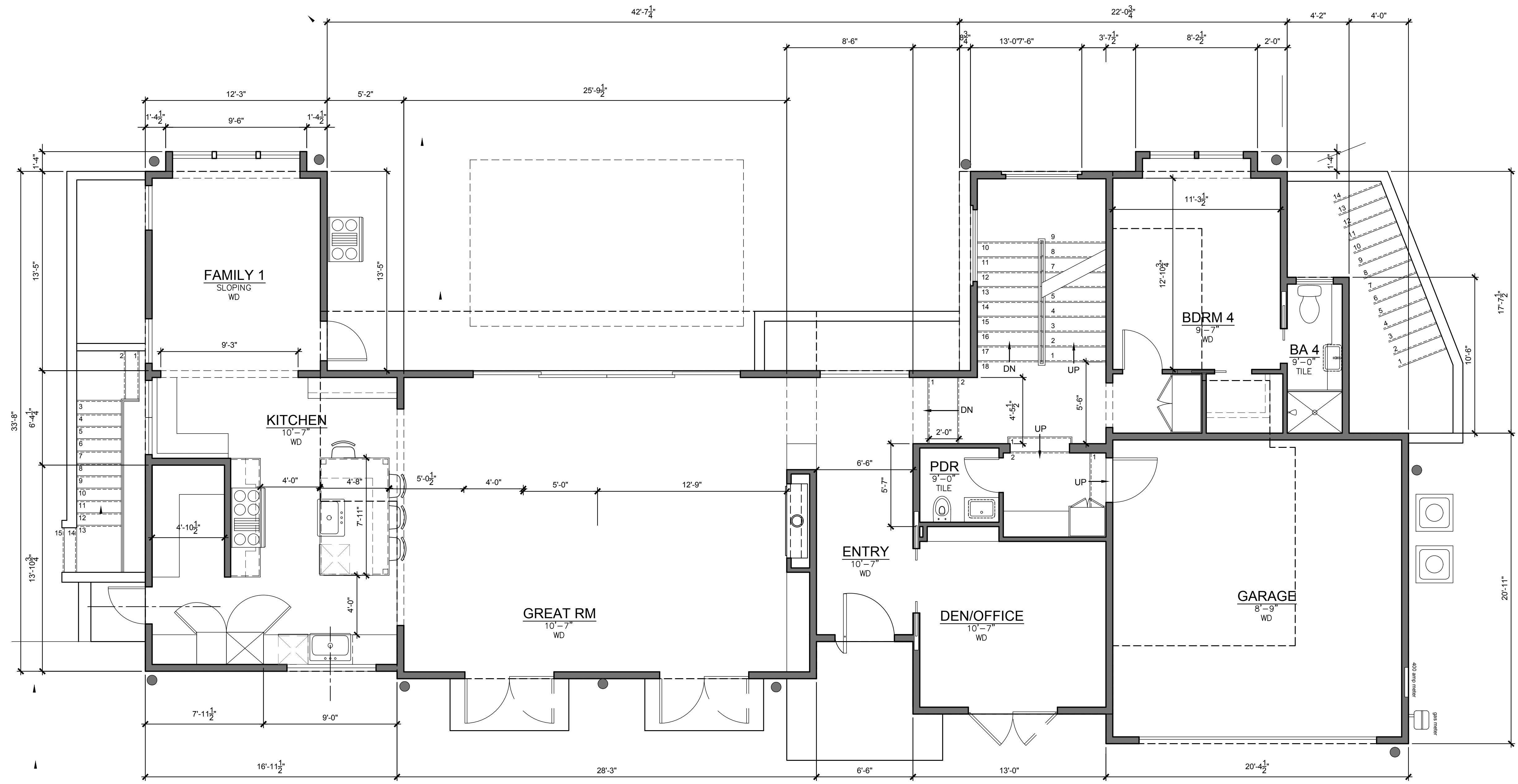
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1 NEIGHBORHOOD CONTEXT MAP
SCALE: 1" = 40'



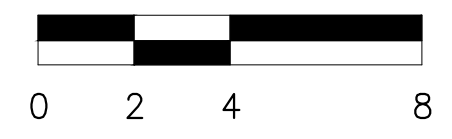
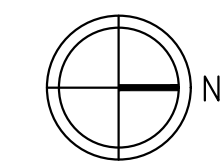
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PROJECT #:	17-11
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CHECKED BY:	SL



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

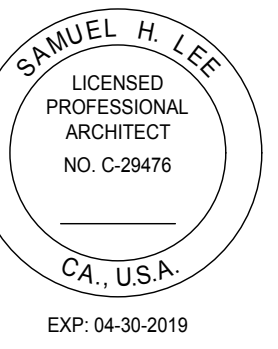
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SHEET TITLE:
 FIRST FLOOR
 PLAN

SHEET NUMBER:

A2.01



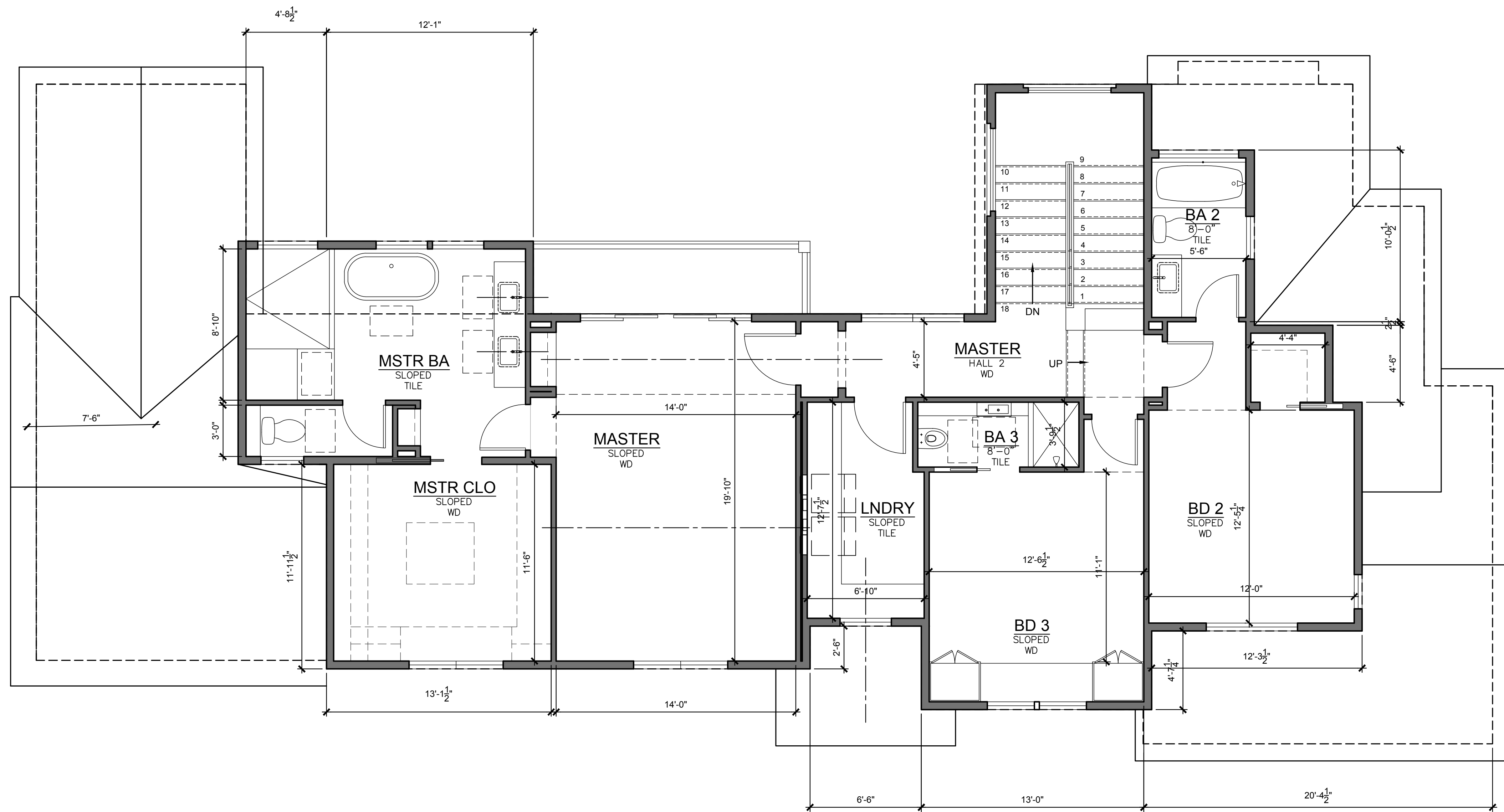
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PROJECT #:	17-11
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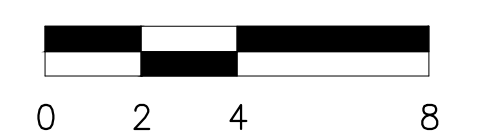
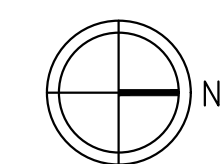
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SECOND FLOOR PLAN

SHEET NUMBER:
A2.02



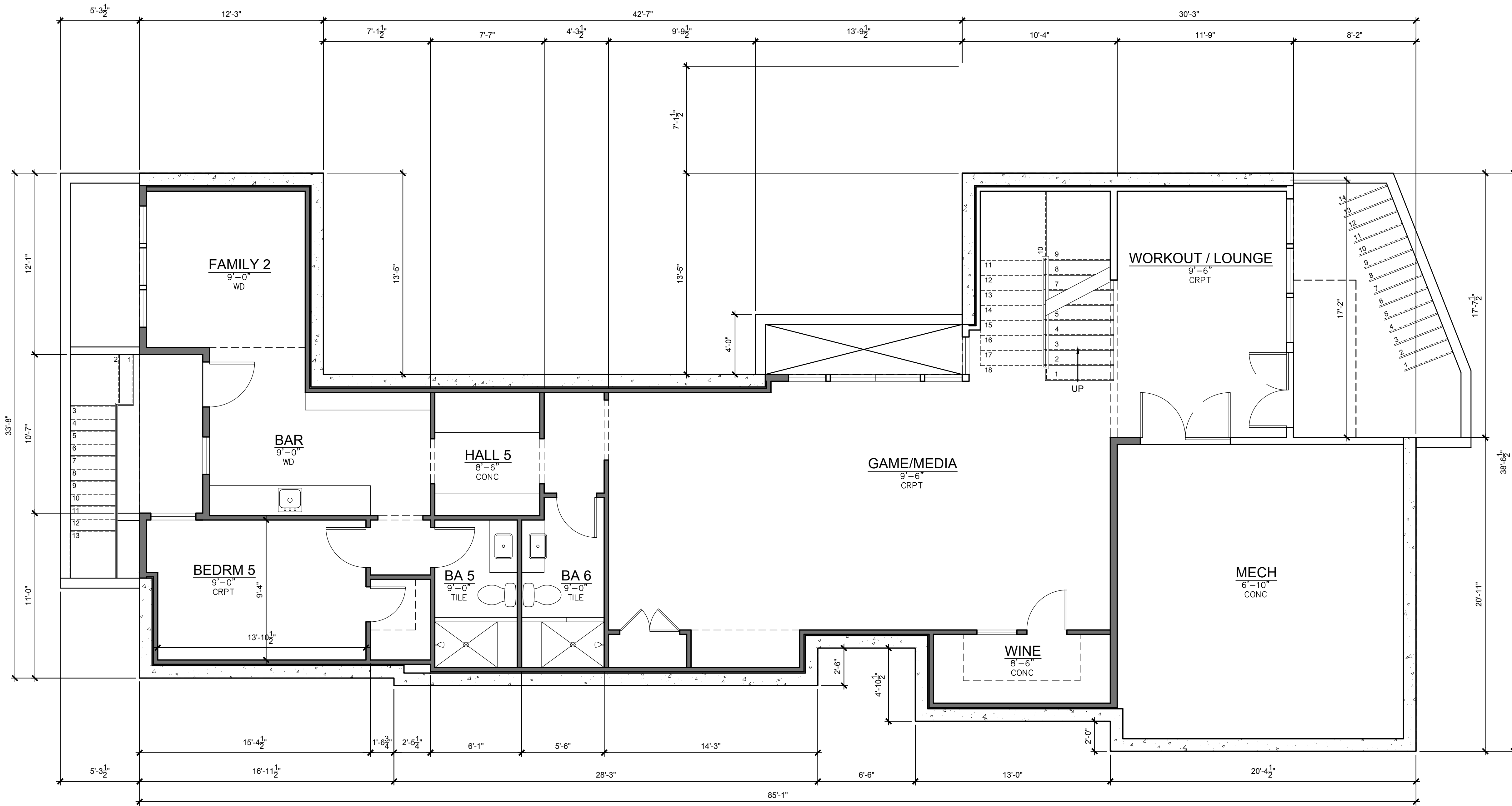
1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REFERENCE



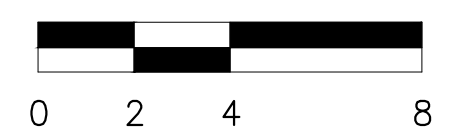
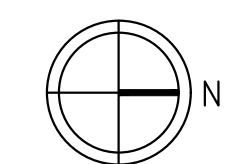
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11/22/17	DESIGN REVIEW SUBMITTAL
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02/20/18	DESIGN REVIEW SUBMITTAL #3

PROJECT #:	17-11
DRAWN BY:	LS
CHECKED BY:	SL



1 BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

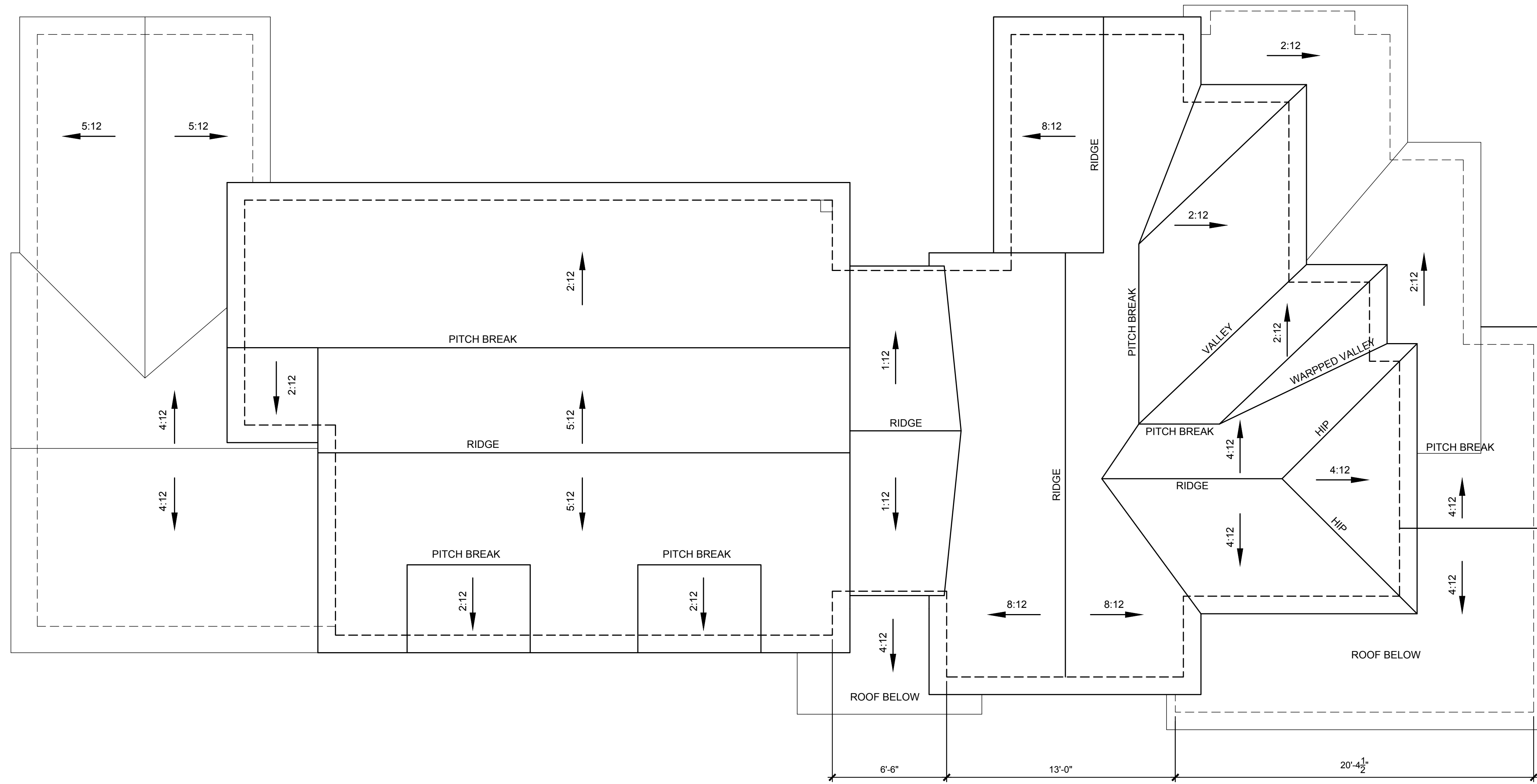
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SHEET TITLE:
 BASEMENT FLOOR
 PLAN

SHEET NUMBER:

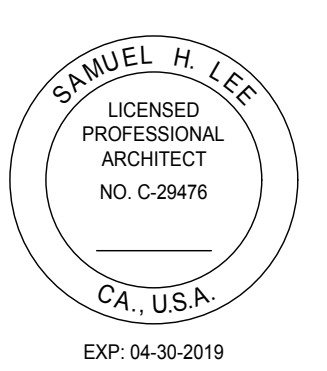
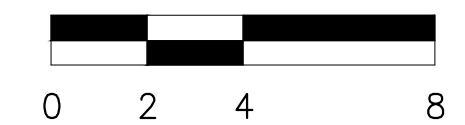
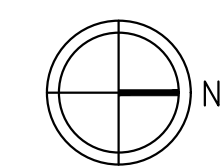
A2.03



1 ROOF PLAN

SCALE: 1/4" = 1'-0"

REFERENCE



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 LOS ALTOS, CA. 94022

DATE	ISSUE
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11/22/17	DESIGN REVIEW SUBMITTAL
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02/20/18	DESIGN REVIEW SUBMITTAL #3

PROJECT #:	17-11
DRAWN BY:	LS
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SHEET TITLE:
ROOF PLAN

SHEET NUMBER:
A2.04

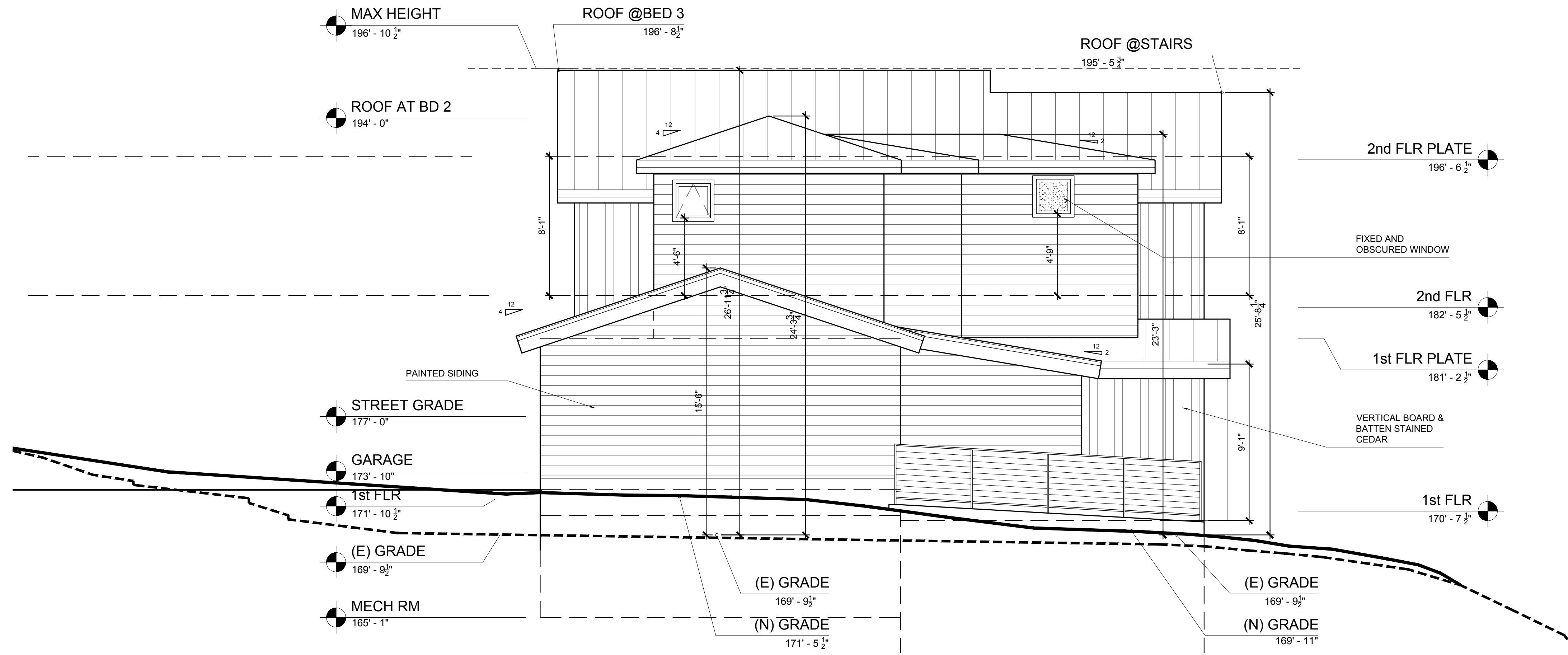
DATE	ISSUE
10/18/17	SCHEMATIC DESIGN
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02/20/18	DESIGN REVIEW SUBMITTAL #3

PROJECT #:	17-11
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CHECKED BY:	SL

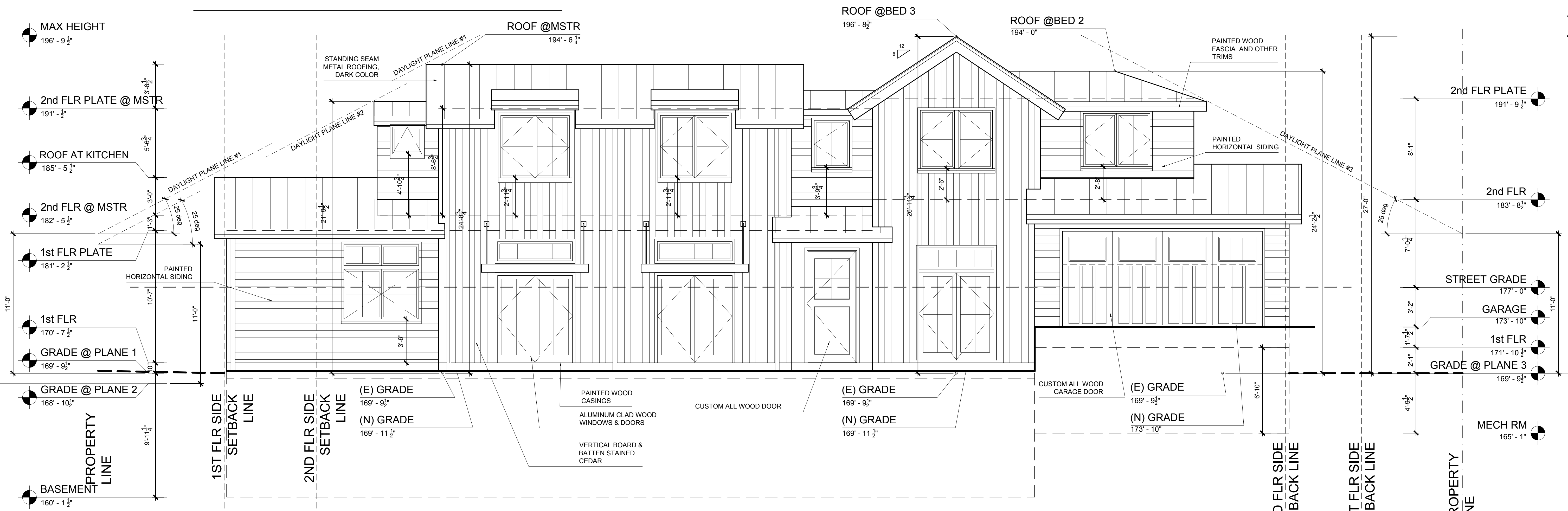
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EXTERIOR ELEVATIONS

SHEET NUMBER:

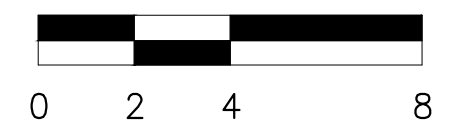
A3.01



2 RIGHT (NORTH) ELEVATION
 SCALE: 1/4" = 1'-0"



1 FRONT (EAST) ELEVATION
 SCALE: 1/4" = 1'-0"

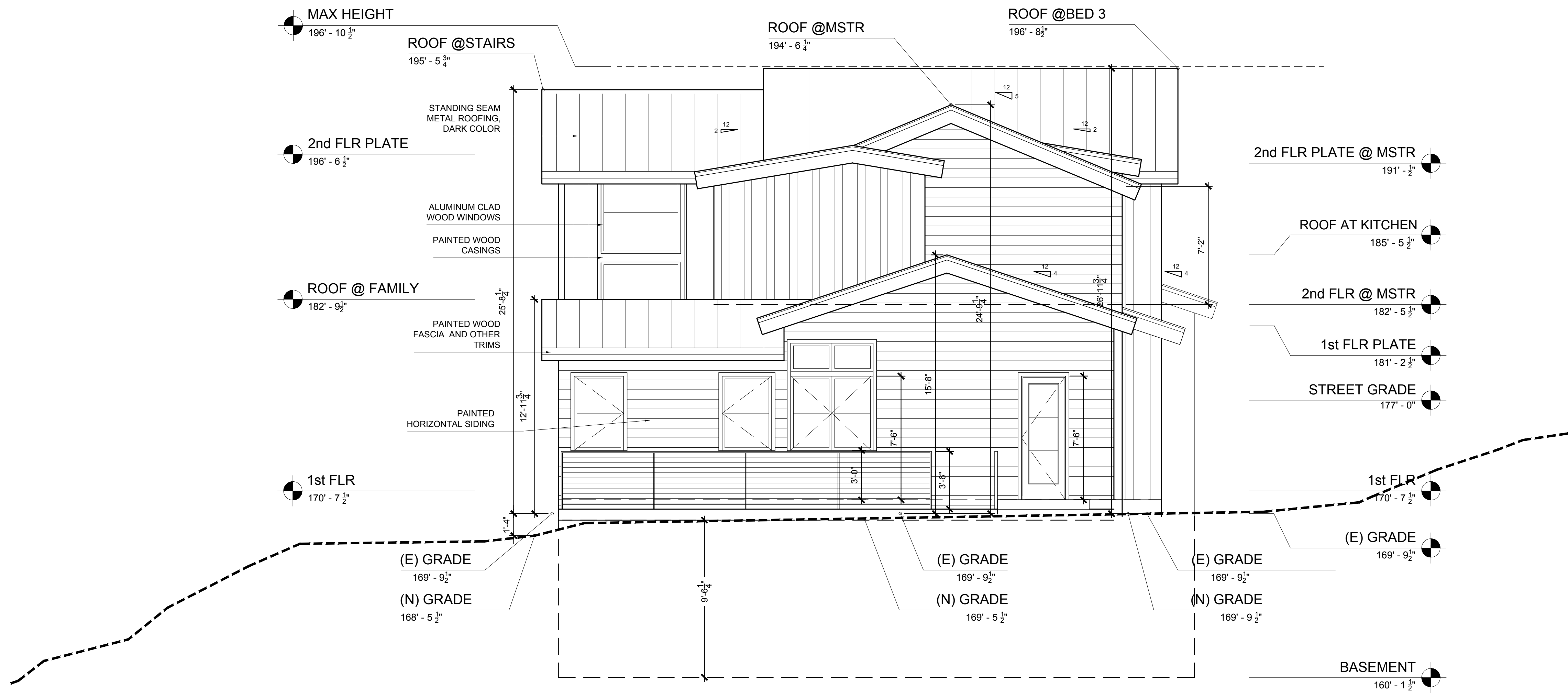


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01/29/18	DESIGN REVIEW SUBMITTAL #2
02/20/18	DESIGN REVIEW SUBMITTAL #3

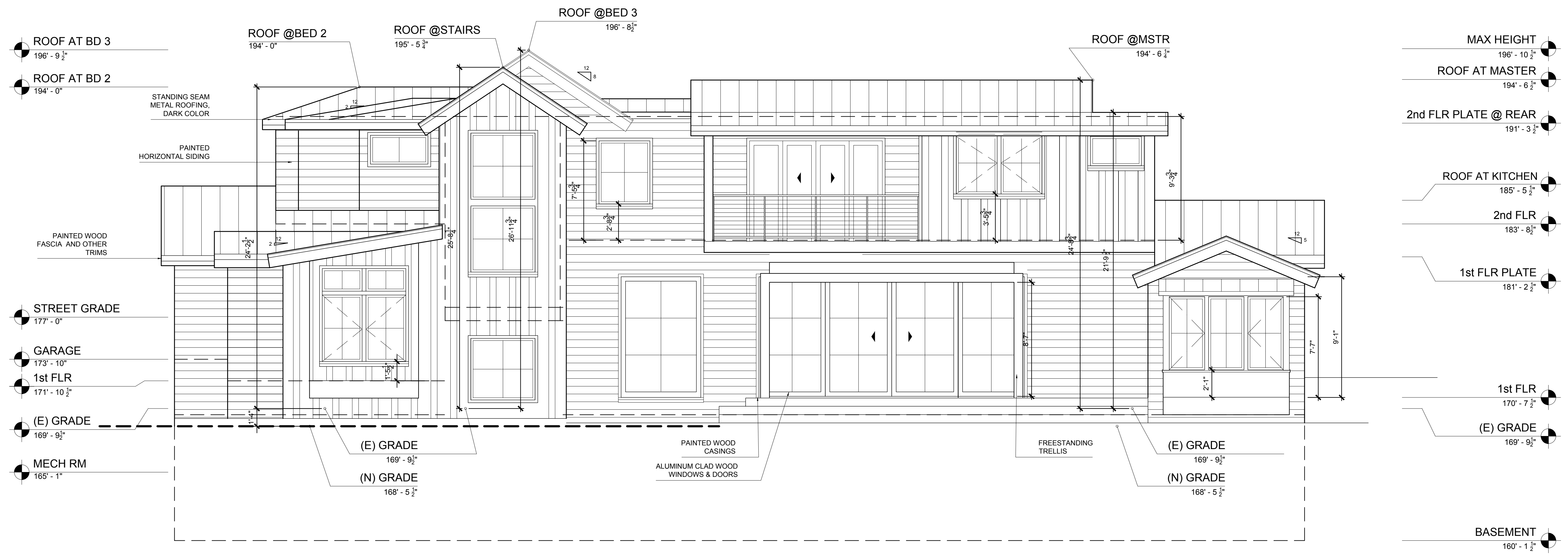
PROJECT #:	17-11
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CHECKED BY:	SL

SHEET TITLE:
 EXTERIOR ELEVATIONS

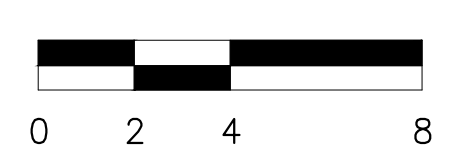
SHEET NUMBER:
 A3.02



2 LEFT (SOUTH) ELEVATION
 SCALE: 1/4" = 1'-0"



1 REAR (WEST) ELEVATION
 SCALE: 1/4" = 1'-0"



11/21/2017

Project Name: 13 Cypress Court
Project #: 17-11
Regarding: Slope Stability Recommendations

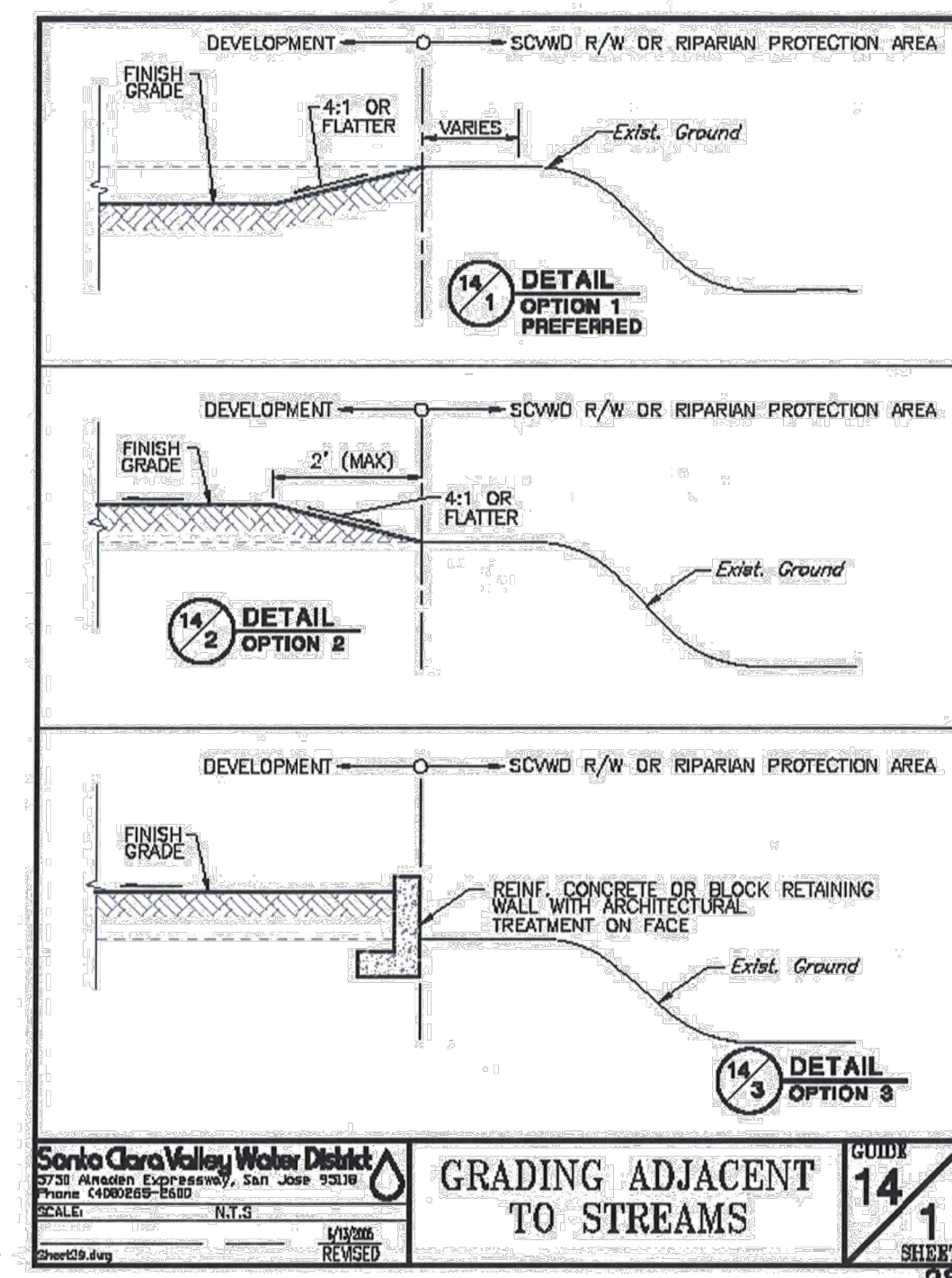
To the City Los Altos Planning Department,

The proposed design intends to use concrete retaining walls to stabilize the riparian corridor on 13 Cypress Court. This area over the years has been covered with fill and the retaining wall will not only help prevent erosion into the creek bank, but will stabilize and alleviate pressure from the foundation of the future home. After close coordination with soils, civil, and structural engineers, a pier and grade beam foundation design is being proposed along the western edge of the setback toward Adobe Creek. Drilled pier walls shall be embedded deeply enough into a bearing stratum to provide resistance against lateral forces transmitted from the unstable soil mass. The depth of the piers should pass through the potential critical slip surface.

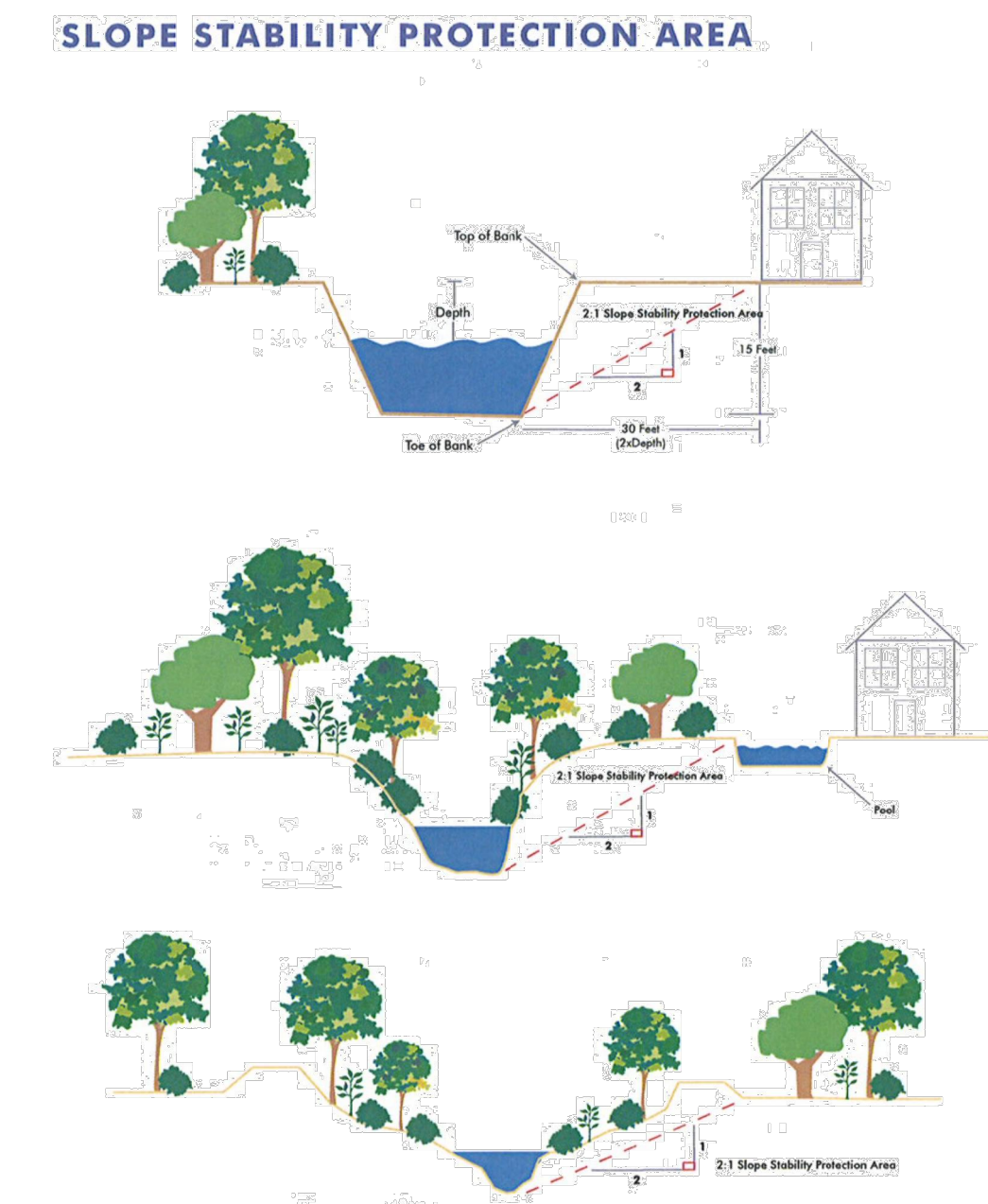
Sincerely,

Samuel Lee
AIA

Tel: 415.235.2034 email: samleearch@aia.com
PO Box 669, Mountain View, CA. 94042



USER MANUAL: GUIDELINES & STANDARDS FOR LAND USE NEAR STREAMS 4.17



Note: While accessory structures are typically exempt, it is still recommended to locate them outside the 2:1 Slope Stability Protection Area in order to protect the structures, creek bank, and habitat.

4.14 USER MANUAL: GUIDELINES & STANDARDS FOR LAND USE NEAR STREAMS

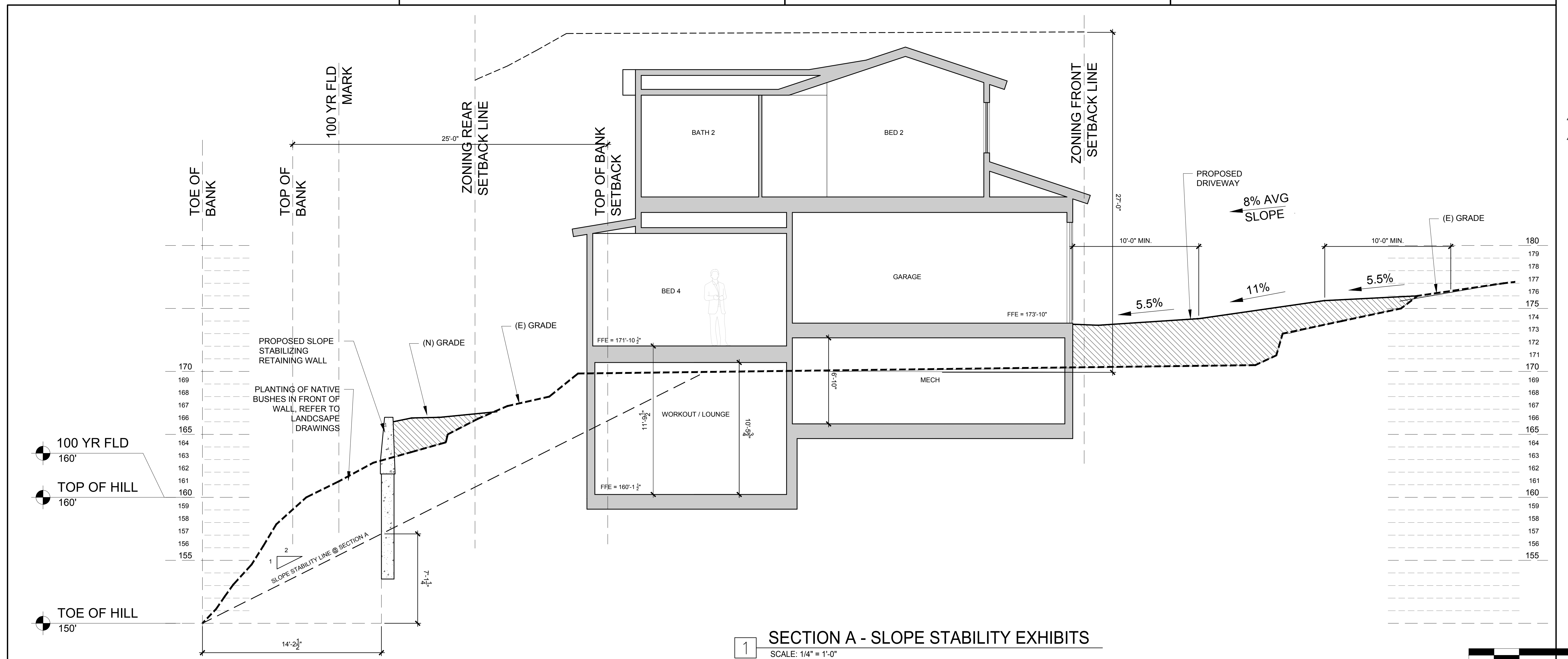
DATE	ISSUE
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01/29/18	DESIGN REVIEW SUBMITTAL #2
02/20/18	DESIGN REVIEW SUBMITTAL #3

PROJECT #:	17-11
DRAWN BY:	LS
CHECKED BY:	SL

SHEET TITLE:
SECTIONS

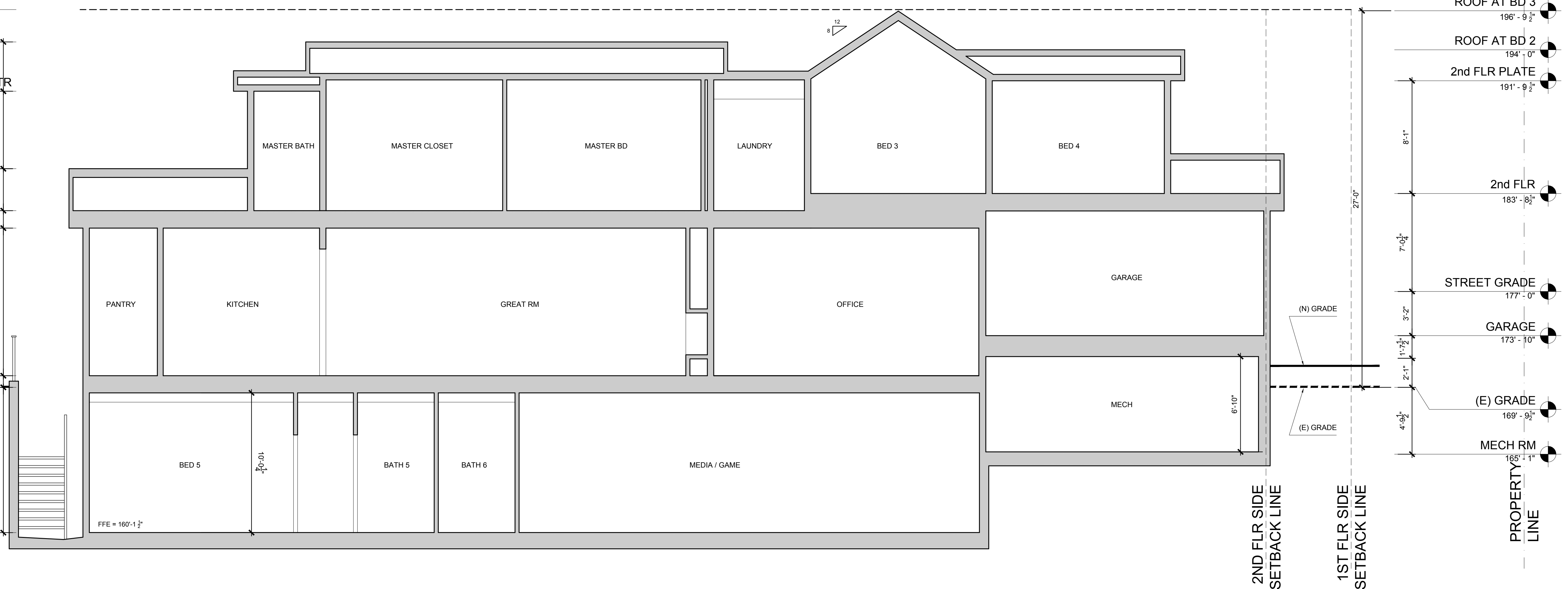
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A3.03



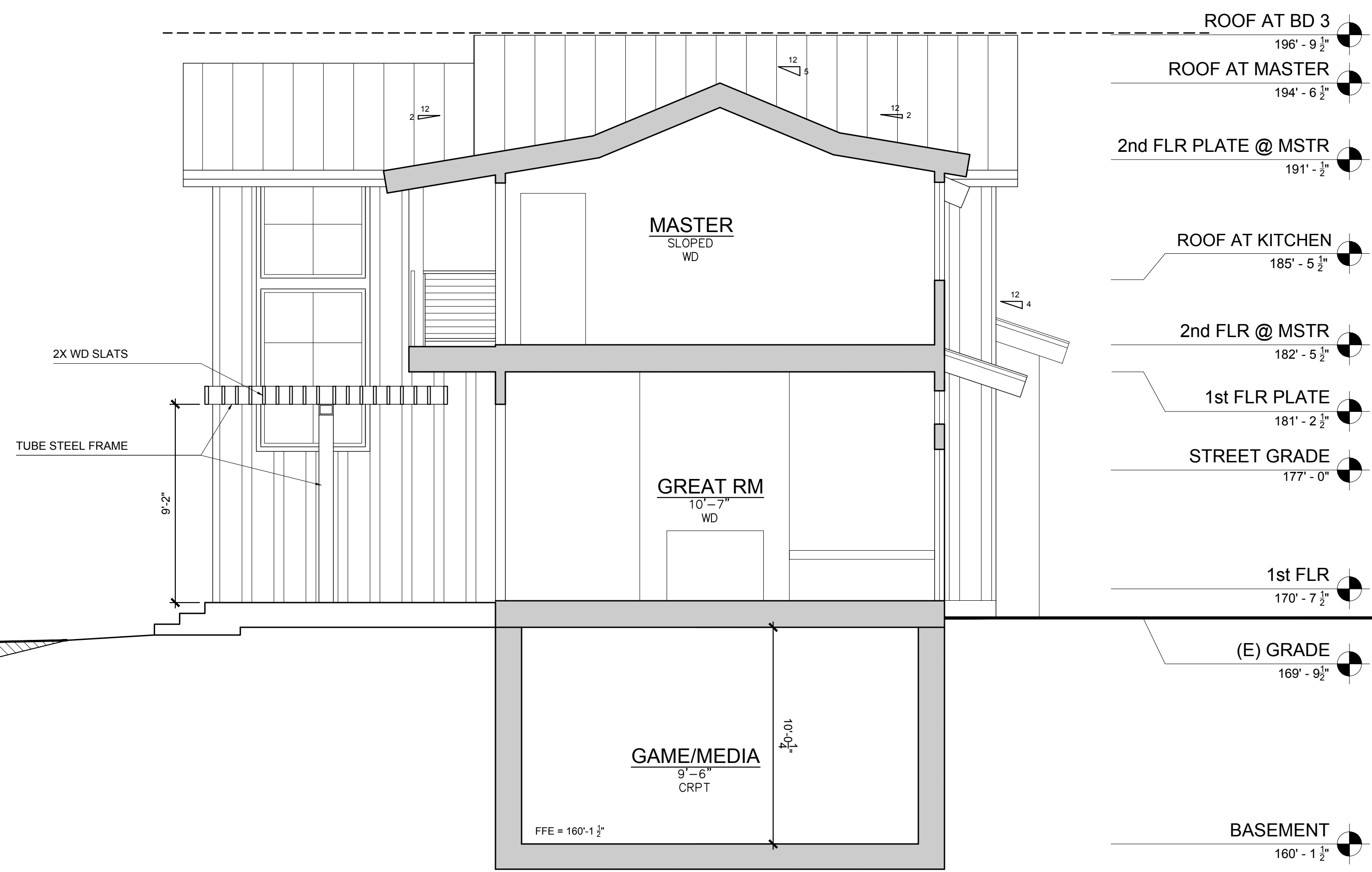
1 SECTION A - SLOPE STABILITY EXHIBITS
SCALE: 1/4" = 1'-0"

- MAX HEIGHT
196' - 10 1/2"
- ROOF AT MASTER
194' - 6 1/2"
- 2nd FLR PLATE @ MSTR
191' - 1/2"
- ROOF AT KITCHEN
185' - 5 1/2"
- 2nd FLR @ MSTR
182' - 5 1/2"
- 1st FLR PLATE
181' - 2 1/2"
- 1st FLR
170' - 7 1/2"
- (E) GRADE
169' - 9 1/2"
- BASEMENT
160' - 1 1/2"



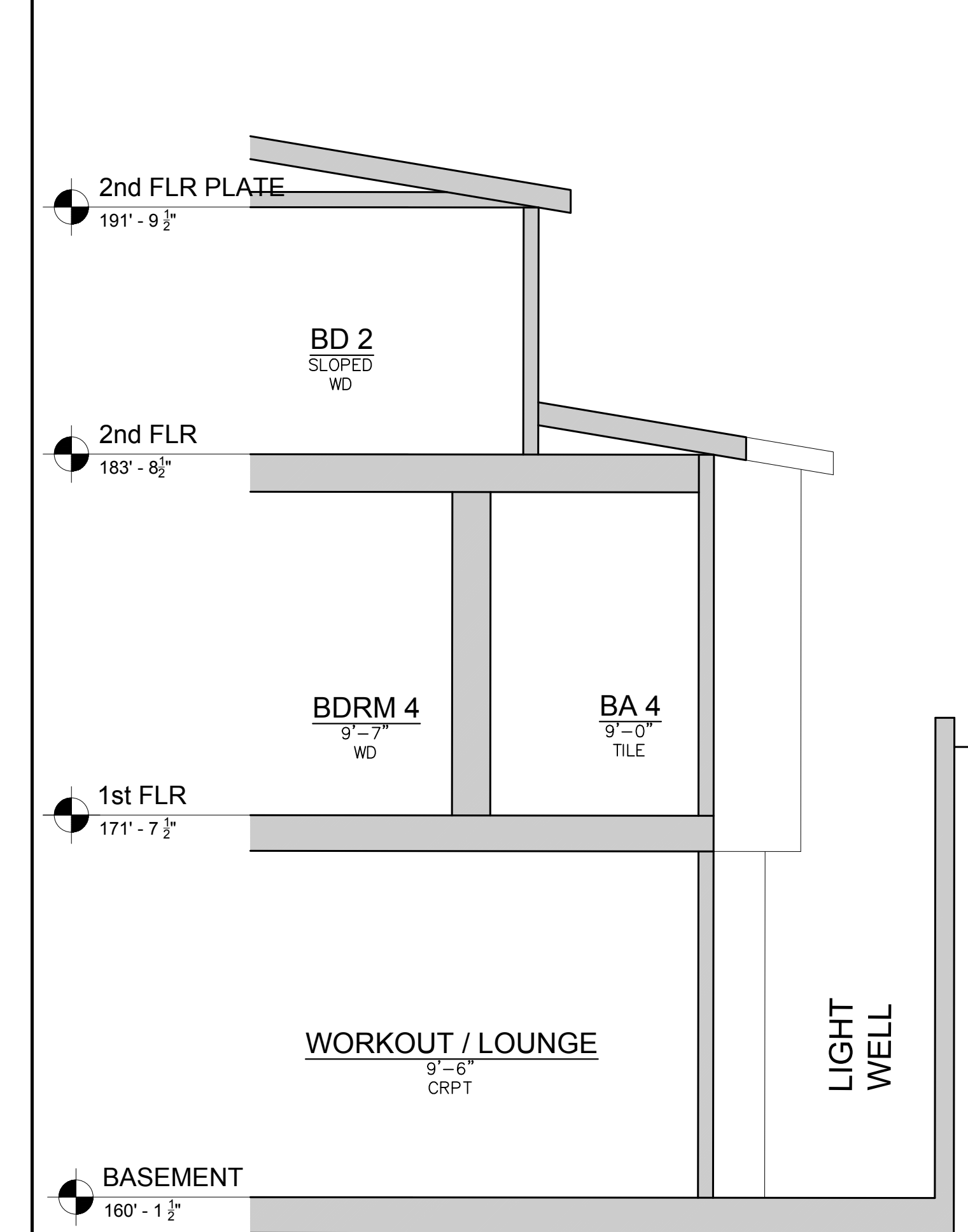
- ROOF AT BD 3
196' - 9 1/2"
- ROOF AT BD 2
194' - 0"
- 2nd FLR PLATE
191' - 9 1/2"
- 2nd FLR
183' - 8 1/2"
- STREET GRADE
177' - 0"
- GARAGE
173' - 10"
- (E) GRADE
169' - 9 1/2"
- MECH RM
165' - 11"

SECTION D
SCALE: 1/4" = 1'-0"



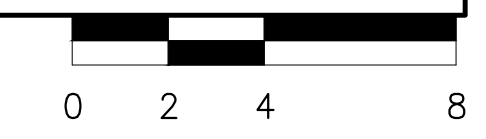
- ROOF AT BD 3
196' - 9 1/2"
- ROOF AT MASTER
194' - 6 1/2"
- 2nd FLR PLATE @ MSTR
191' - 1/2"
- ROOF AT KITCHEN
185' - 5 1/2"
- 2nd FLR @ MSTR
182' - 5 1/2"
- 1st FLR PLATE
181' - 2 1/2"
- STREET GRADE
177' - 0"
- 1st FLR
170' - 7 1/2"
- (E) GRADE
169' - 9 1/2"
- BASEMENT
160' - 1 1/2"

SECTION B
SCALE: 1/4" = 1'-0"



- 2nd FLR PLATE
191' - 9 1/2"
- 2nd FLR
183' - 8 1/2"
- 1st FLR
171' - 7 1/2"
- BASEMENT
160' - 1 1/2"

SECTION C
SCALE: 1/4" = 1'-0"



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PROJECT #:	17-11
DRAWN BY:	LS
CHECKED BY:	SL