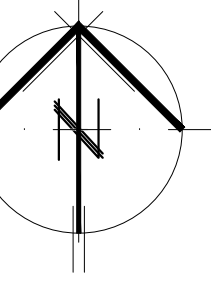


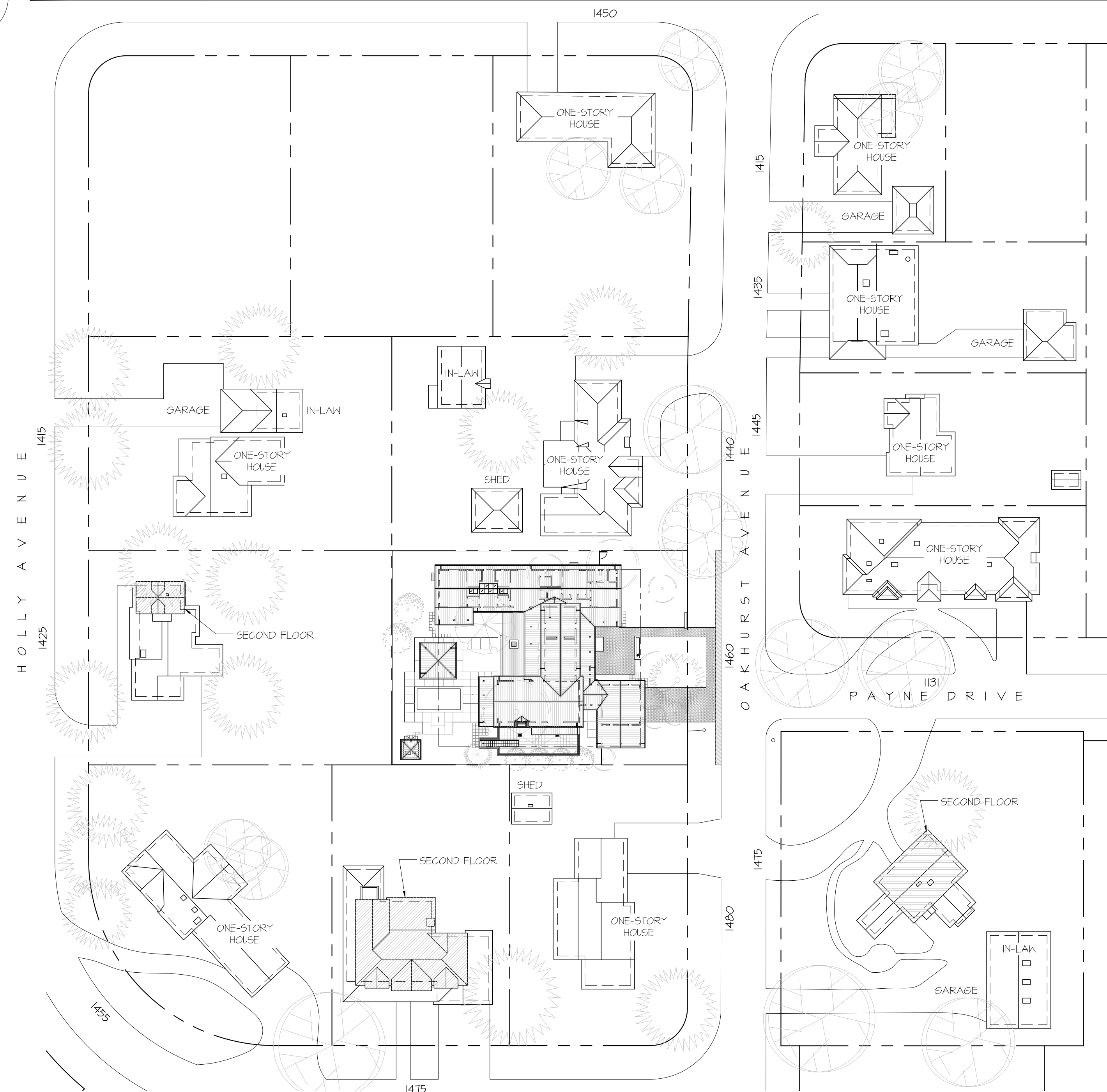
FLOOR AREA AND COVERAGE CALCULATIONS

SCALE: 1/8" = 1'-0"



NEIGHBORHOOD CONTEXT MAP

SCALE: 1" = 40'-0"



PROJECT SUMMARY TABLE

ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE	3340 sf 18.5 %	5426 sf 24.9 %	5426 sf 25 % (UNDER REGS FOR 1-STORY APPLICATION)
FLOOR AREA	3340 sf 18.5%	4957 sf 25.2%	4560 sf 25.2 %
SETBACKS			
FRONT	33 ft	31'-6" (HOUSE) 25'-1" (GAR)	25 ft
REAR	60 ft	25'-1"	25 ft
RIGHT SIDE	10 ft	10'-1"	10 ft
LEFT SIDE	35 ft	22'-1" (HOUSE) 11'-1" (GAR)	10 ft
HEIGHT	11 ft	11'-11" (2)	20 ft (UNDER REGS FOR 1-STORY APPLICATION)

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	2120 sf	4052 sf	6172 sf
NON-HABITABLE AREA	1120 sf	-658 sf	462 sf

LOT CALCULATIONS

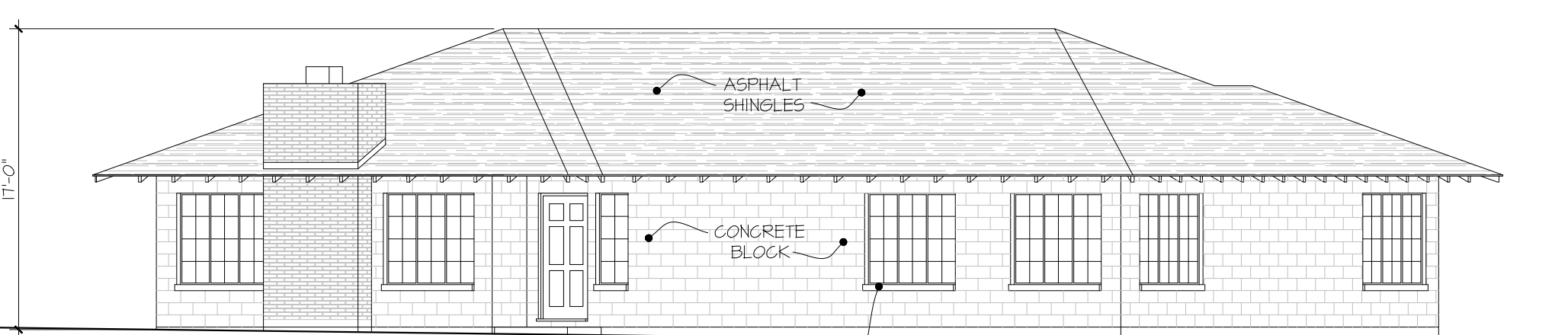
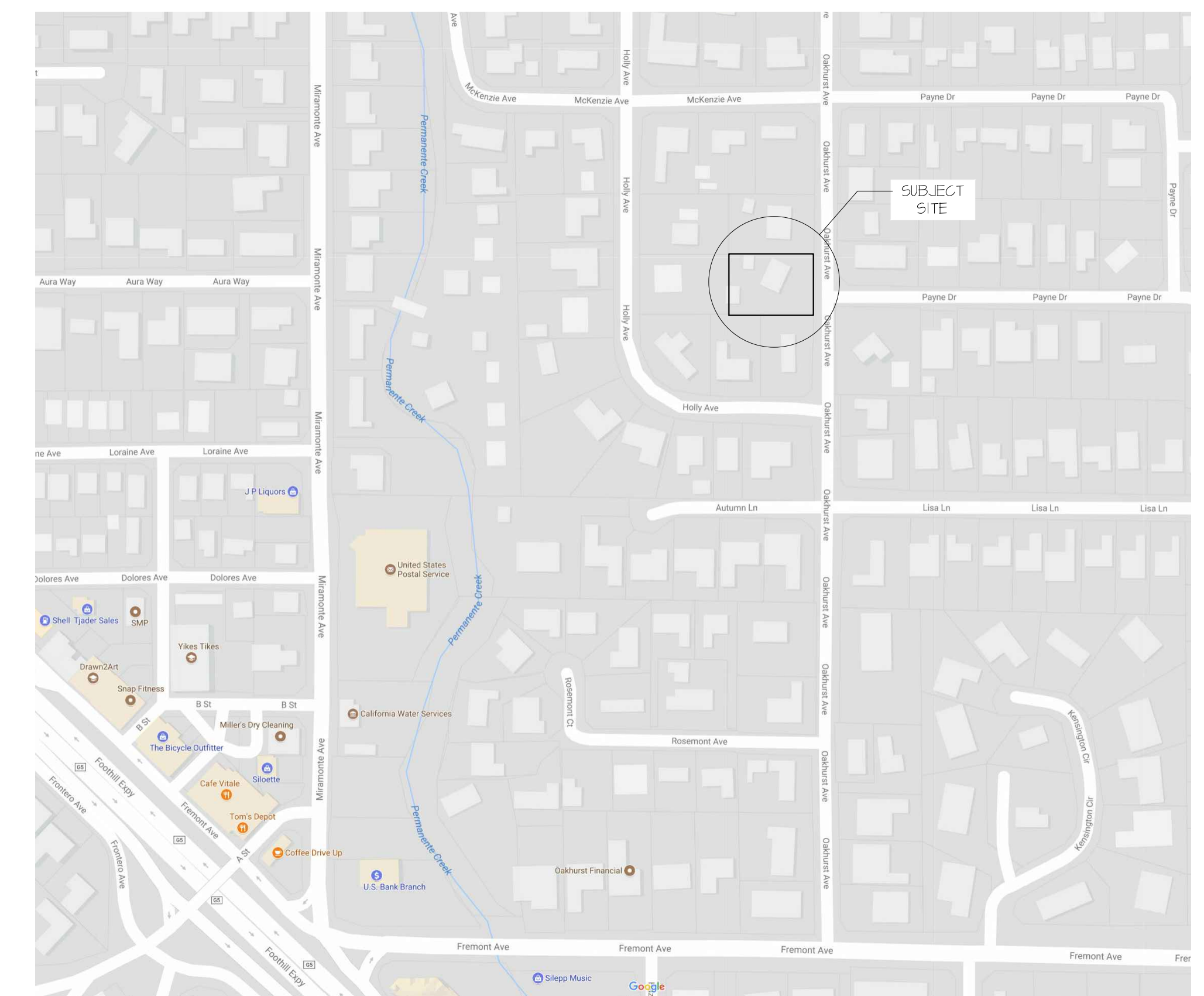
NET LOT AREA:	18,087 sf
FRONT YARD HARDSCAPE AREA:	1450 sf = 38%
LANDSCAPE BREAKDOWN:	
TOTAL HARDSCAPE AREA:	4475 sf
NEW SOFTSCAPE AREA:	8206 sf
HOUSE FOOTPRINT:	5408 sf
	18087 sf

SITE STATISTICS

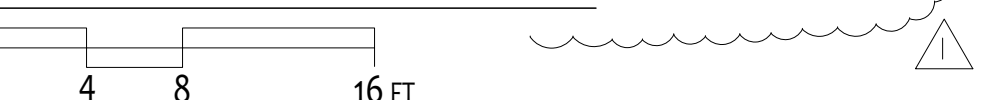
ZONING	R1-10	PROPOSED HOUSE	FLOOR AREA ALLOWED: 3850 + 10% (18,087 - 11,000) = 4560 SF
LOT AREA	18,087 SF (114'-6" WIDE X 158'-0")	MAIN HOUSE	4045 sf
SETBACKS		GARAGE	462 sf
FRONT (25H MIN)		COVERED PORCHES	851 sf
MAIN HOUSE	31'-6"	TOTAL LOT COVER	5408 sf
GARAGE	25'-1"	LOT COVERAGE (30% MAX)	24.9%
REAR (25H MIN)		HOUSE HEIGHT (20 FT MAX)	11'-11" (2)
LIVING WING	50'-1"	PARKING (2 TOTAL, 1 COVERED)	2 TOTAL, 2 ENCLOSED (GAR INT 21'-0" W X 20'-0" D)
BORM WING	25'-1"	OCCUPANCIES	R-3, U
GAZEBO (5'-0" MIN)	15'-1"	CONSTRUCTION	V-B, w/ FIRE SPRINKLERS
SIDE (10H MIN)		SCOPE OF WORK:	
MAIN HOUSE- NORTH	10'-1"	1) NEW 1-STORY HOUSE WITH 4044 SF INTERIOR, 462 SF GARAGE, 1274 SF OF COVERED PORCH, AND A 200 SF FREE-STANDING POOL, GAZEBO,	
GARAGE- SOUTH	11'-1"	2) NEW HOOD DECKS- 850 SF (PLUS 750 SF COVERED PORCHES- 1600 SF OF DECKS, TOTAL). ALL-NEW LANDSCAPING (RETAIN MONTEREY PINE, BACK YARD REDWOOD, CAROB, & VARIOUS FRUIT TREES).	
MAIN HOUSE- SOUTH	22'-1"	3) NOTE: POOL AND SPA WILL BE SEPARATELY PERMITTED- NOT PART OF THIS FLANCHICK.	
EXISTING STRUCTURES TO BE DEMOLISHED AND REMOVED		4) NOTE: REMOVE ALL EXISTING STRUCTURES FROM SITE (SEE SHEET A1). ABANDON ALL UTILITIES. REMOVE TREES LISTED (SEE SHEET A1).	
HOUSE	1820 sf		
IN-LAN	300 sf		
GARAGE	1120 sf		
TOTAL FLOOR AREA	3340 sf		

VICINITY MAP

SCALE: 1" = 150'-0"



EXISTING ELEVATION (Oakhurst Avenue)



DRAWING INDEX

- A0 AREA CALCS, PROJ. SUMMARY
- A1 SITE/ ROOF/ TREE PROTECTION
- A2 FLOOR PLAN- MAIN FLOOR
- A3 FLOOR PLAN- CLERESTORY
- A4 EXTERIOR ELEVATIONS E & W
- A5 EXTERIOR ELEVATIONS N & S
- A6 BUILDING SECTIONS A & B
- C1 GRADING & DRAINAGE PLAN
- C2 STAGING & EROSION CONTROL
- L1 LANDSCAPE PLANTING PLAN
- L2 IRRIGATION PLAN & CALCS
- P1 TOPO AND EXISTING COND'S

CODES AND CONDITIONS

DESIGN BASED ON THE CALIFORNIA BUILDING CODE 2016 EDITION, CONSTRUCTION TO CONFORM TO ALL APPLICABLE SECTIONS OF THIS CODE AND THE 2016 CALIFORNIA RESIDENTIAL CODE.

ALL ELECTRICAL MATERIALS & METHODS TO CONFORM TO THE 2016 CALIFORNIA ELECTRICAL CODE AND CALGREEN 2016.

ALL MECHANICAL & PLUMBING MATERIALS & METHODS TO CONFORM TO THE 2016 CALIFORNIA PLUMBING & MECH CODES AND CALGREEN 2016.

SITE IS LOCATED WITHIN SEISMIC DESIGN CATEGORY D.

SITE IS CLASSIFIED AS WIND EXPOSURE CATEGORY B.

SITE IS IN CALIFORNIA ENERGY COMMISSION CLIMATE ZONE 4.

OCCUPANCY TYPES: R-3, U CONSTRUCTION TYPE: VB

PER SECTION 12.10 OF THE LOS ALTOS MUNICIPAL CODE, RESIDENCE REQUIRED TO HAVE A FIRE SPRINKLER SYSTEM DESIGNED PER NFPA 13D AND SANTA CLARA COUNTY FIRE DISTRICT AMENDMENTS. SUBMIT SHOP DRAWINGS, CALCS, AND PERMIT APPLICATION TO THE SANTA CLARA COUNTY FIRE DEPARTMENT FOR APPROVAL PRIOR TO SYSTEM INSTALLATION. THIS CAN BE A DEFERRED SUBMITTAL (AFTER BUILDING PERMIT ISSUANCE). INCLUDE THE PLAN CHECK NUMBER ON YOUR SUBMITTAL AND IN ALL CORRESPONDENCE. NOTE: REQUIRED MINIMUM FIRE HYDRANT FLOW AT 20 PSI = 1500 GPM- VERIFY FLOWS WITH CALIFORNIA WATER CO.

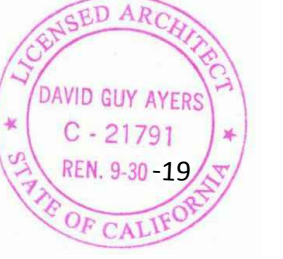
WE HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN (IRRIGATION DRAWINGS SIGNED BY THE LICENSED LANDSCAPE PROFESSIONAL), AND, WE AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND WILL SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE (SIGNED BY THE OWNER/APP).

Guy Ayers, Architect
 26969 Moody Road
 Los Altos Hills, CA 94022
 office: 650-949-2255
 guyayers@comcast.net

PROJECT # 1008
 DATE: 27 MAR 2016
 SCALE: AS NOTED
 DRAWING E.A.
 CHECKED:
 TITLE SHEET: DRAWING INDEX, VICINITY MAP
 AREA CALCS, NEIGHBORHOOD CONTEXT MAP

PROJECT # 1008
 DATE: 27 MAR 2016
 SCALE: AS NOTED
 DRAWING E.A.
 CHECKED:
 New Residence for Glen Yonekura
 1460 OAKHURST AVE, LOS ALTOS
 APN# 185-41-025

NO.	REVISIONS	DATE
1	DESIGN REVIEW COMMENTS INCORPORATE LETTER	22 DEC 2017
2	DESIGN REVIEW COMMENTS INCORPORATE LETTER	18 JAN 2018
3	DESIGN REVIEW COMMENTS INCORPORATE LETTER	14 FEB 2018



DWG. NO. A0

SITE / ROOF PLAN NOTES

- GLASS 1/2" x 12" x 12" OVER PORCH PAINTED METAL CONCEALED FASTENER STANDING SEAM ROOF SYSTEM (7500 SF); METANO MGRIN 24x30 SWL-16 VERTICAL SEAM FLAT PAN w/ 1/4" RIBS @ 16" OC. COLOR: VALSPAR ZING GRAY. PROVIDE ONE LAYER CERTAINTED WINTERSHIELD HARBORLAND MEMBRANE UNDERLAYMENT (OR EQUIVALENT) MEETING ASTM D1701 OVER ENTIRE ROOF. PROVIDE FACTORY-FINISHED GABLE AND VALLEY FLASHINGS TO MATCH ROOFING COLOR & FINISH. PROVIDE FACTORY-FINISHED SIDEWALL FLASHING TO MATCH ROOF AT ALL GABLES, SKYLIGHT CURBS, AND SIDEWALLS - SEE ROOF DETAILS.
- CATHEDRAL CEILING IS UNVENTILATED - CONSTRUCTION TO FOLLOW CRC SECTION R406.4 (5.3) INSULATION REQUIREMENTS - SEE ARCHITECTURAL BUILDING SECS.
- PROVIDE 1/2" HALF-ROUND 24 GA UNFINISHED GALVALUME GUTTERS (NO SLOPE) WITH 45° SLOPE 24 GA UNFINISHED DOWNSPOUTS - SEE ROOF PLAN FOR LOCATIONS. THE DOWNSPOUTS TO PERCOLATION TRENCHES - SEE CIVIL GRADING & DRAINAGE PLAN.
- ALL SKYLIGHTS TO BE FIXED DOUBLE PANE "ENER-G-ADVANTAGE" GLASS IN CURB-MOUNTED CLEAR ANODIZED ALUMINUM FRAMES - PROVIDE TEMPERED GLASS EXTERIOR PANE OVER CLEAR LOW-E LAMINATED GLASS INTERIOR PANE WITH .030" THICK POLYVINYL BUTYRAL INTERLAYER PER CBC SECT. 2401. SKYLITE FABRICATOR: INTERLITE (CAPITOLA, CA (931-462-1100)). SEE ROOF PLAN AND STRUCTURAL ROOF FRAMING DRAWINGS FOR SKYLIGHT CURB DIMS. SEE HALL SECTIONS FOR CURB DETAILS.
- MAINTAIN 8" MINIMUM CLEARANCE BETWEEN SOIL AND WOOD FRAMING AT FOUNDATIONS. SLOPE FINISHED GRADE 5% AWAY FROM FOUNDATIONS FOR 5'-0" MIN. FINISHED GRADE ± 25.33 @ FND, TYP.
- PROVIDE 2" SHOTCRETE VAPOR RETARDER IN CRAWLSPACE TO MEET CRC 408.2 REQUIREMENTS - PROVIDE (2) 5/16" x 1/4" 1/4" OPNG WIRE MESH CRAWLSPACE VENTS @ 18'-0" OC - SEE FND PLAN FOR LOC. CLEAR VENT AREA: (2) 5'-0" x 1'-0" EPXY WIRE MESH TO INSIDE FACE OF FND WALLS - SEE DETAIL 1/ A4. VENT AREA REQ'D: 3800 SF/150± 26 SF. AREA PROVIDED: 52 x 0.525 SF = 27 SF.
- DRIVEWAY GRAVEL PAVING: GRANITE ROCK "CRUSHED GRANITE FINES" IN HARBOR MULTI-COLOR (TERRA-COTTA YELLOW) OVER 4" COMPACTED ROAD BASE.
- PER SECTION 12.10 OF THE MUNICIPAL CODE RESIDENCE REQUIRED TO HAVE FIRE SPRINKLER SYSTEM DESIGNED PER NFPA 13D AND SANTA CLARA COUNTY FIRE DISTRICT AMENDMENTS. SUBMIT SHOP DRAWINGS, CALCUS, AND A PERMIT APPLICATION TO THE SANTA CLARA COUNTY FIRE DEPARTMENT FOR APPROVAL PRIOR TO SYSTEM INSTALLATION. THIS WILL BE A DEFERRED SUBMITTAL (AFTER BUILDING PERMIT IS ISSUED). INCLUDE THE PLAN CHECK NUMBER ON YOUR SUBMITTAL AND ALL CORRESPONDENCE. NOTE: REQUIREMENT FOR HYDRANT WATER CO. 20 PSI = 1500 GPM - VERIFY FLOWING W/ CALIFORNIA WATER CO.
- PROVIDE 6'-0" WOOD FENCE MEETING CRC AG105.2 (1-1) POOL BARRIER REQUIREMENTS WITH 48" HIDE x 12" TALL WOOD OUTSILING ACCESS GATES MEETING CRC SECT. AG105.2 (5) AND GATE LATCH MEETING SECT. AG105.2 (8.1 & 8.2). PROVIDE MIN. 12" TALL WOOD LATTICE AT SIDYARD FENCES PER PLANNING CONDITIONS OF APPROVAL.
- PROVIDE 6'-0" TALL CHAIN-LINK TREE PROTECTION FENCING @ TREES # 1, 12, & 22 PER PLANNING CONDITIONS OF APPROVAL. PROVIDE 6"2" STEEL FENCE POSTS DRIVEN 24" INTO GROUND @ 10'-0" OC MAX. - SEE ARBORIST TREE PROTECTION PLAN NOTES, BELOW.
- ANY DAMAGED ROAD INFRASTRUCTURE AND DISPLACED CURB & GUTTER OR SIDEWALK & ROADWAY SHALL BE REPLACED TO CURRENT CITY S.D.'S AS DIRECTED BY THE CITY ENGINEER. CONTRACTOR SHALL COORDINATE W/ PUBLIC WORKS DEPT. AT 650-947-2650 FOR DETAILS PRIOR TO PULLING PERMIT.
- PRIOR TO THE COMMENCEMENT OF WORK DONE IN PUBLIC R.O.W., A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQ'D.
- AIR CONDITIONING EQUIPMENT MUST BE LOCATED TO COMPLY WITH THE CITY OF LOS ALTOS NOISE CONTROL ORDINANCE (L.A.M. 16.6). SETBACKS LESS THAN 25'-0" MAY REQUIRE CERTIFICATION FROM AN ACOUSTICAL ENGINEER.

Tree Protection Plan:
 Tree protection zones should be established and maintained throughout the entire length of the project. Tree protection is mandatory for trees that are of a protected size. Fencing for the protection zones should be 6-foot tall metal chain link type supported by 2-inch diameter metal posts installed into the ground to a depth of no less than 2 feet. The support posts should be spaced no more than 10 feet apart on center. The location for the protection fencing should be placed at a minimum distance equal to the tree height, and a maximum distance of 10 times the tree diameters where possible. Where tree protection fencing cannot be placed at the dripline because of the proposed work, tree protection should be placed as close as possible to the proposed work while still allowing room for construction activities. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. If tree protection zones need to be placed for access then a landscape buffer shall be installed where tree protection does not extend to 10 times the tree diameters for the protected trees on site. For the smaller non-protected trees no protection is required, although it is recommended if a tree is to be retained by placing fencing at the dripline of the trees.

Landscape Buffer
 Where tree protection does not cover the entire root zone of the trees (10 times diameter), or where a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone.

Tree Pruning
 During construction any trimming will be supervised by the site arborist and must stay underneath 25% of the tree's foliage. At this time no pruning is proposed. All pruning shall be done by a licensed tree care provider.

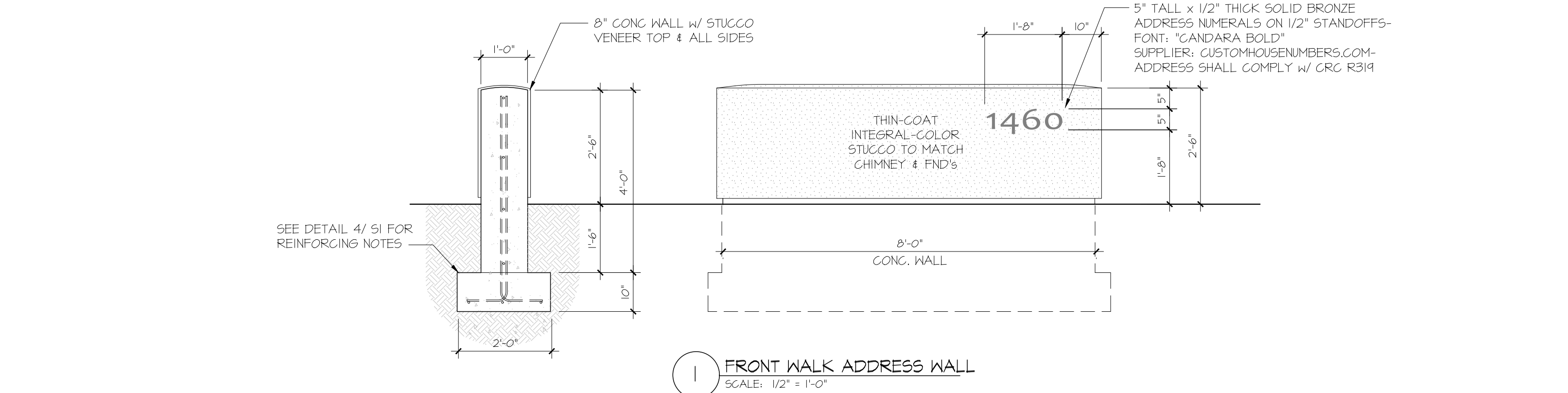
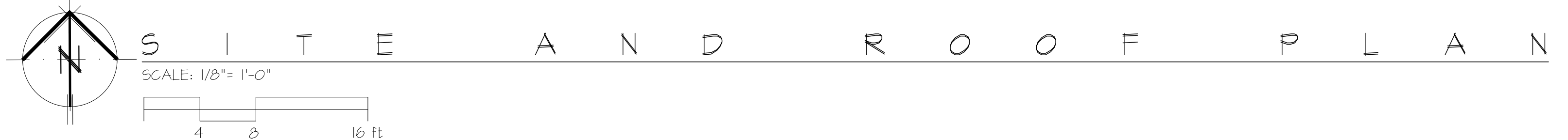
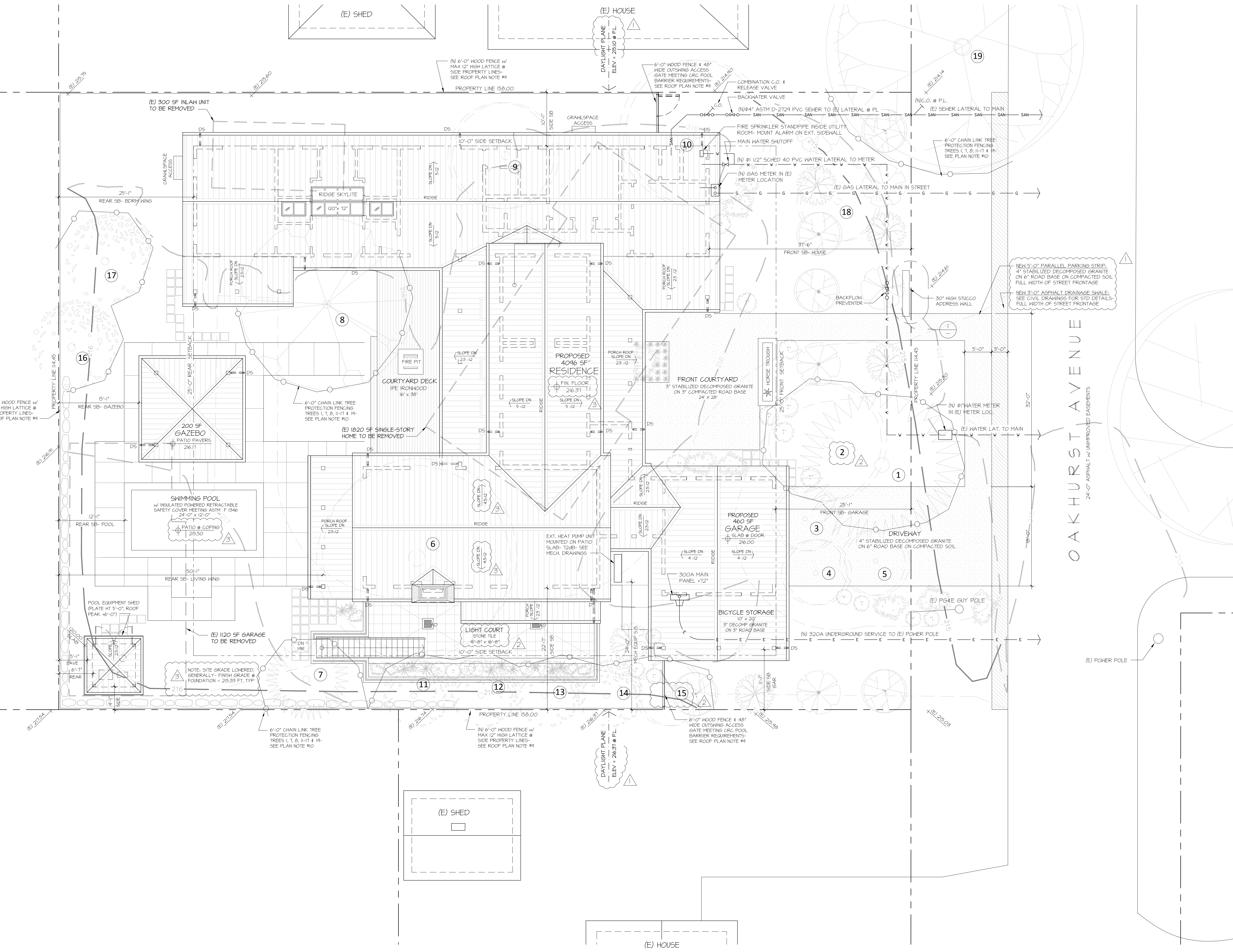
Root Cutting
 Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend irrigation and a tree monitoring program at that time. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Trenching and Excavation
 Trenching and excavation shall strive to stay outside of the tree protection zones. If root protection for any reason, should be hand dug when beneath the dripline of desired trees. Hand digging and careful placement of pipes below or beside protected roots will dramatically reduce root loss, thus reducing trauma to desired trees. Trenches should be back filled as soon as possible using native materials and compacted to near original levels. Trenches to be left open shall be covered with burlap and kept moist. Plywood laid over the trench will help to protect roots below.

Irrigation
 Normal irrigation should be maintained throughout the entire length of the project. Irrigation should consist of surface flooding, with enough water to wet the entire root zone once a month during the dry season. The top 18 inches of soil shall be saturated. If a root zone is translocated this type of irrigation should be carried out two times per month during the dry season. No irrigation shall be applied to the native oak tree on site unless its root zone is translocated.

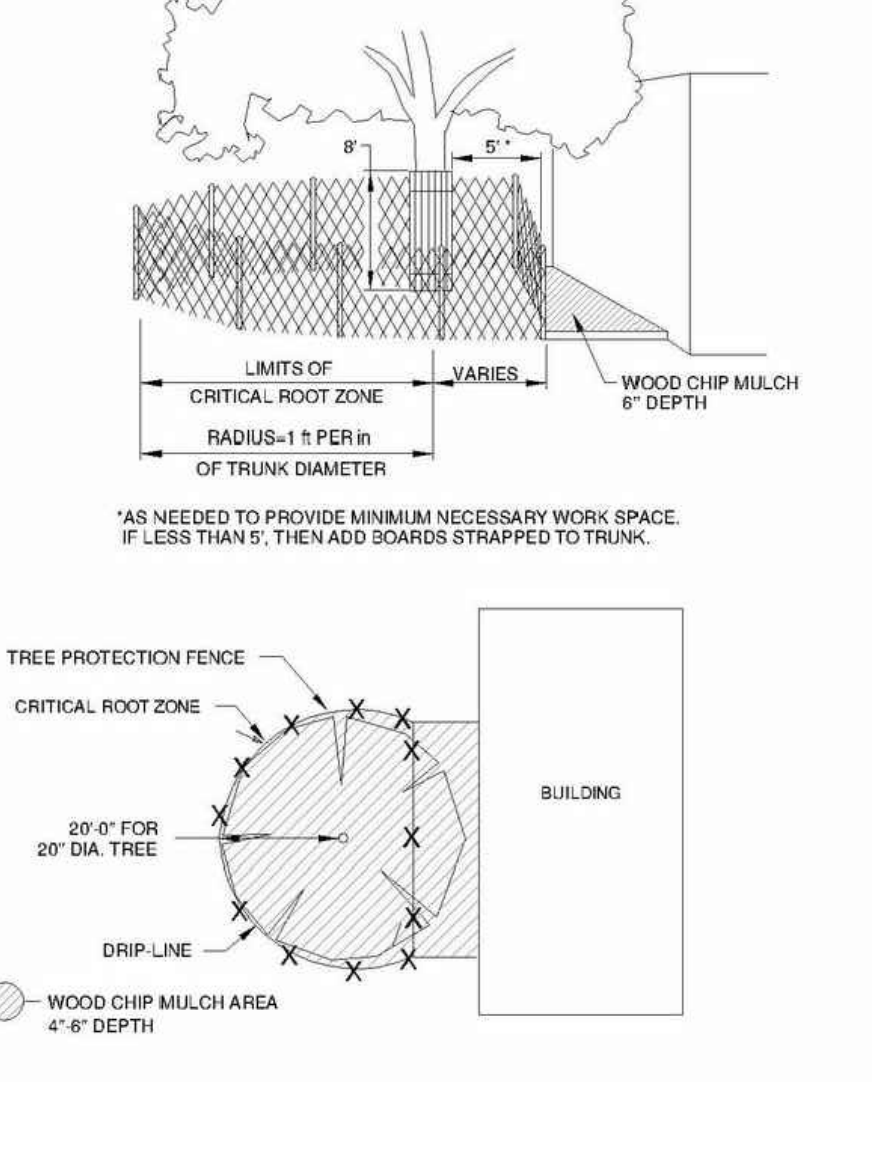
Inspections
 The site will be inspected after the tree protection measures are installed and before the start of construction. It is the contractor's responsibility to notify the site arborist when construction is to start, and whenever there is to be work performed within the 10 times the diameter of a protected tree or a neighbor tree on site at least 48 hours in advance. Ready Arborist Services can be reached at 650-513-9783(Kevin), 650-532-4418(David), or by email at kbarbor47@yahoo.com

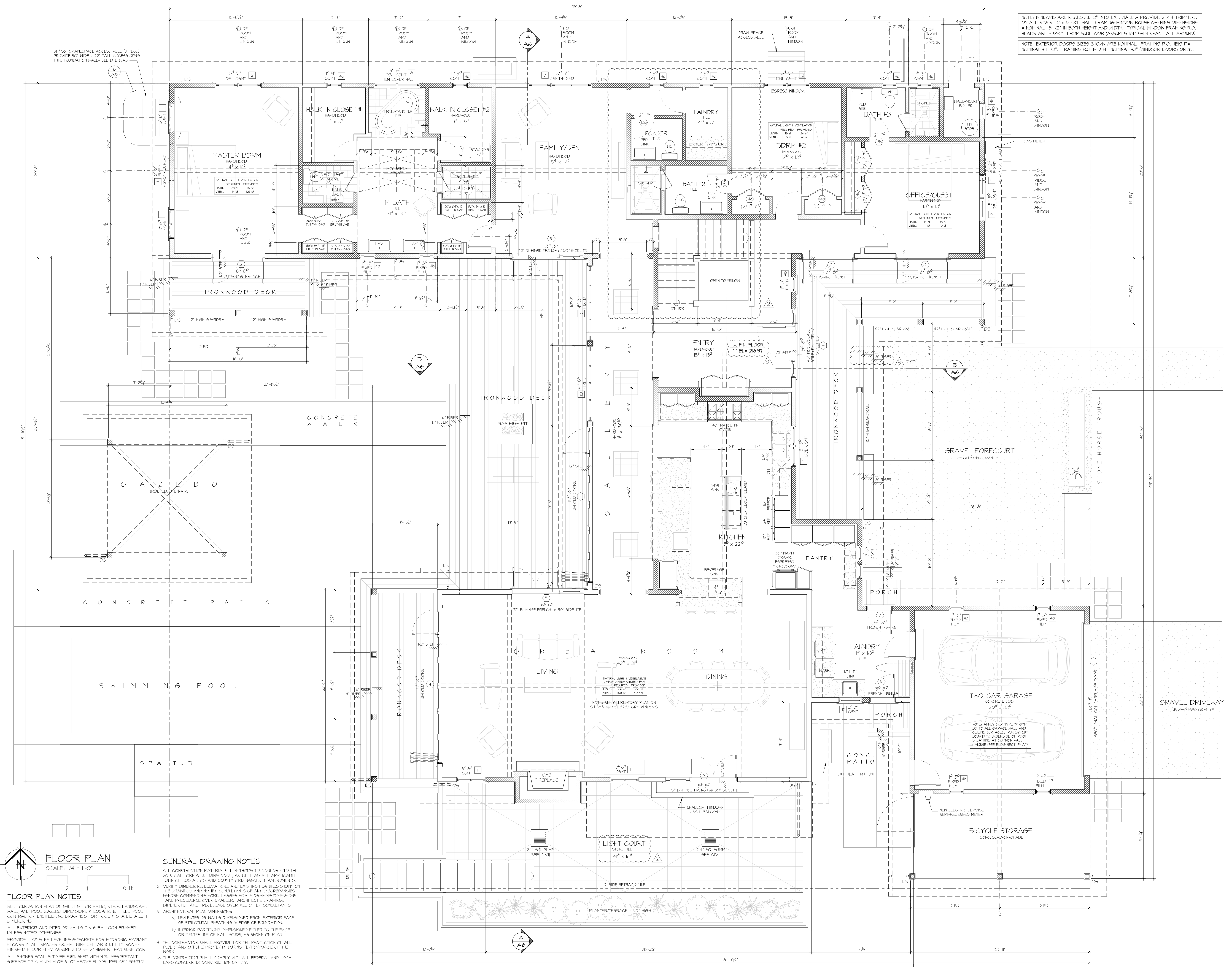
This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.



EXISTING TREE SCHEDULE

1. 28" Monterey Pine	RETAIN	24'-0" Canopy
2. 16" Deodar Cedar	RETAIN	
3. 8" Deodar Cedar	REMOVE	
4. 8" Deodar Cedar	REMOVE	
5. 7" Deodar Cedar	REMOVE	
6. 30" Deodar Cedar	REMOVE	
7. 12" Redwood	RETAIN	10'-0" Canopy
8. 17" Carob	RETAIN	15'-0" Canopy
9. 14" Fig	REMOVE	
10. 23" Douglas Fir	REMOVE	
11. 3" Persimmon	RETAIN	
12. 4" Lime	REMOVE	
13. 4" Lime	REMOVE	
14. 5" Lemon	RETAIN	
15. 6" Peach	RETAIN	
16. 6" Apricot	RETAIN	
17. 6" Apricot	RETAIN	
18. 6" Redwood	REMOVE	
19. 33" Live Oak	Neighbor's (Protect)	28'-0" Canopy





FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

SEE FOUNDATION PLAN ON SHEET S1 FOR PATIO, STAIR, LANDSCAPE WALL, AND POOL GAZEBO DIMENSIONS & LOCATIONS. SEE POOL CONTRACTOR ENGINEERING DRAWINGS FOR POOL & SPA DETAILS & DIMENSIONS.

ALL EXTERIOR AND INTERIOR WALLS 2 x 6 BALLOON-FRAMED UNLESS NOTED OTHERWISE.

PROVIDE 1 1/2" SLEEP-LEVELING GYPCRETE FOR HYDRONIC RADIANT FLOORS IN ALL SPACES EXCEPT WINE CELLAR & UTILITY ROOM. FINISHED FLOOR ELEV. ASSUMED TO BE 2" HIGHER THAN SUBFLOOR.

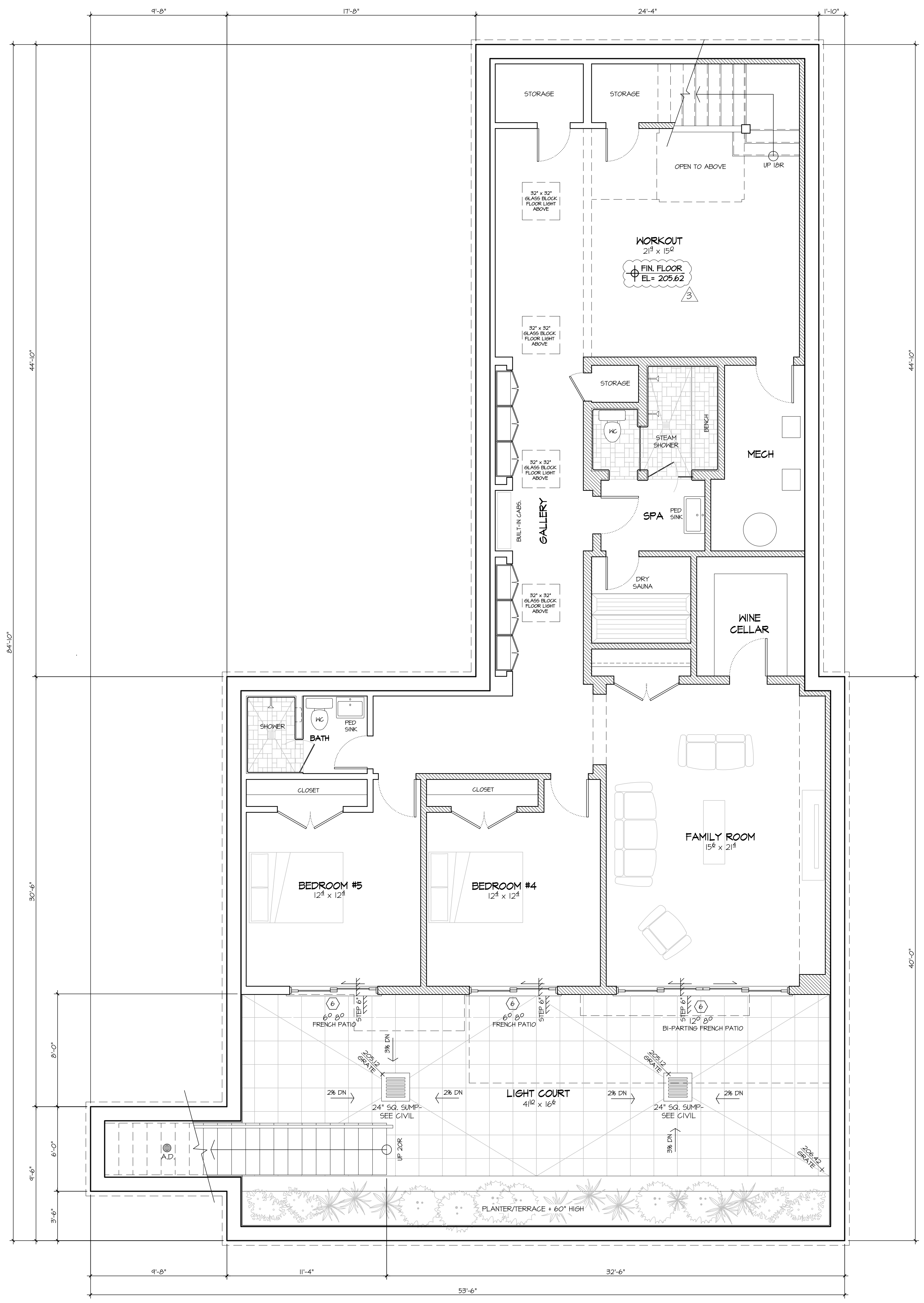
ALL SHOWER STALLS TO BE FURNISHED WITH NON-ABSORBANT SURFACE TO A MINIMUM OF 6'-0" ABOVE FLOOR, PER CRC R307.2

GENERAL DRAWING NOTES

- ALL CONSTRUCTION MATERIALS & METHODS TO CONFORM TO THE 2016 CALIFORNIA BUILDING CODE, AS WELL AS ALL APPLICABLE TOWNSHIP OF LOS ALTOS AND COUNTY ORDINANCES & AMENDMENTS.
- VERIFY DIMENSIONS, ELEVATIONS, AND EXISTING FEATURES SHOWN ON THE DRAWINGS AND NOTIFY CONSULTANTS OF ANY DISCREPANCIES BEFORE COMMENCING WORK. LARGER SCALE DRAWING DIMENSIONS TAKE PRECEDENCE OVER SMALLER. ARCHITECT'S DRAWINGS DIMENSIONS TAKE PRECEDENCE OVER ALL OTHER CONSULTANTS.
- ARCHITECTURAL PLAN DIMENSIONS:
 - NEW EXTERIOR WALLS DIMENSIONED FROM EXTERIOR FACE OF STRUCTURAL SHEATHING (+ EDGE OF FOUNDATION).
 - INTERIOR PARTITIONS DIMENSIONED EITHER TO THE FACE OR CENTERLINE OF WALL STUDS, AS SHOWN ON PLAN.
- THE CONTRACTOR SHALL PROVIDE FOR THE PROTECTION OF ALL PUBLIC AND OPPOSITE PROPERTY DURING PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND LOCAL LAWS CONCERNING CONSTRUCTION SAFETY.

NOTE: WINDOWS ARE RECESSED 2" INTO EXT. WALLS- PROVIDE 2 x 4 TRIMMERS ON ALL SIDES, 2 x 6 EXT. WALL FRAMING WINDOW ROUGH OPENING DIMENSIONS = NOMINAL + 3 1/2" IN BOTH HEIGHT AND WIDTH. TYPICAL WINDOW FRAMING R.O. HEADS ARE + 8'-2" FROM SUBFLOOR (ASSUMES 1/4" SHIM SPACE ALL AROUND).

NOTE: EXTERIOR DOORS SIZES SHOWN ARE NOMINAL - FRAMING R.O. HEIGHT = NOMINAL + 1 1/2". FRAMING R.O. WIDTH = NOMINAL + 3" (WINDOW DOORS ONLY).



B A S E M E N T P L A N
 SCALE: 1/4" = 1'-0"

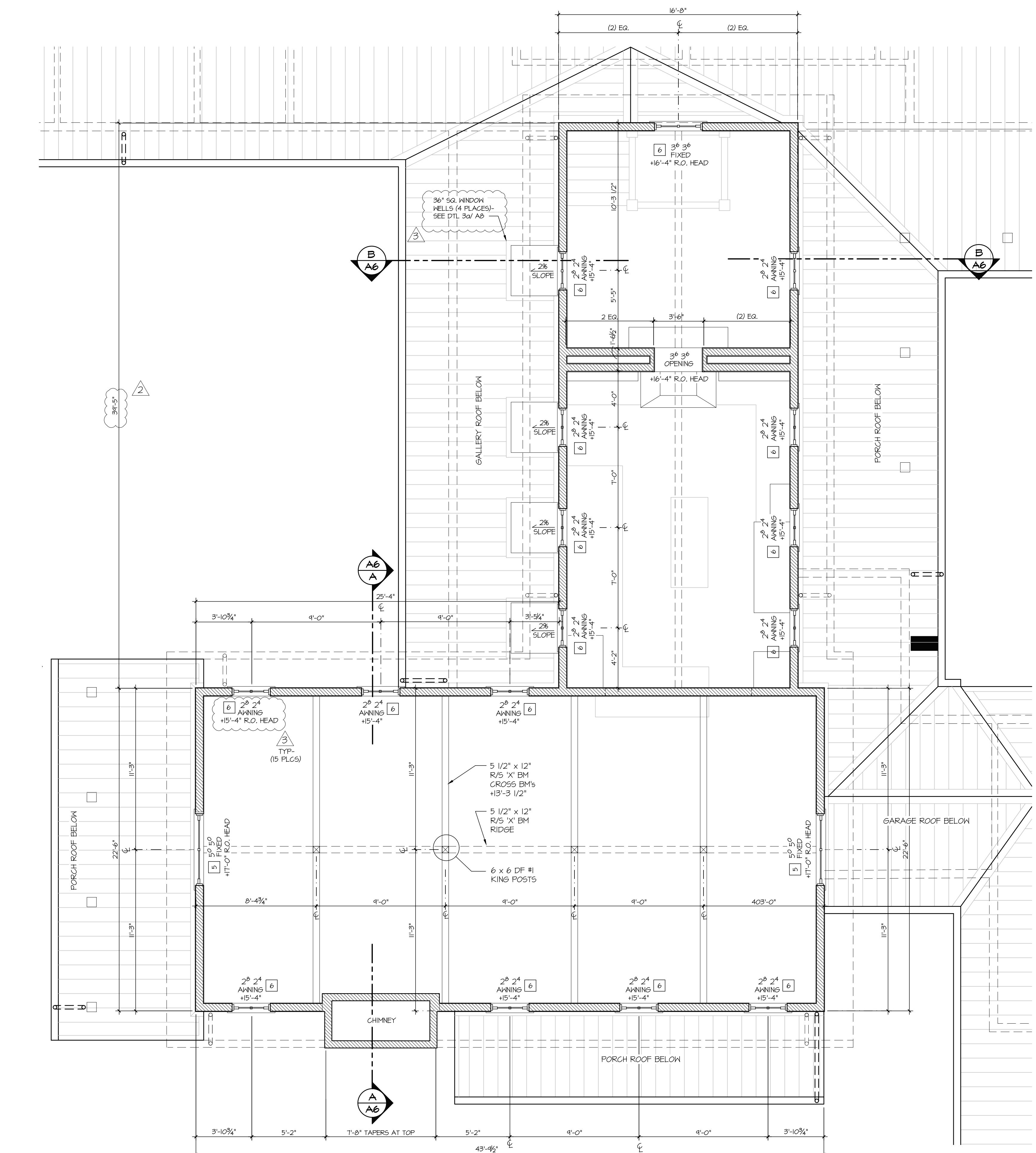
- FLOOR PLAN NOTES**
- SEE FOUNDATION PLAN ON SHEET 51 FOR PATIO, STAIR, LANDSCAPE WALL AND POOL. GAZEBO DIMENSIONS & LOCATIONS. SEE POOL CONTRACTOR ENGINEERING DRAWINGS FOR POOL & SPA DETAILS & DIMENSIONS.
 - ALL EXTERIOR AND INTERIOR FRAME WALLS 2" x 6" STUD BALLOON-FRAMED UNLESS NOTED OTHERWISE.
 - PROVIDE 1 1/2" SLEEVES FOR HYDRONIC RADIANT FLOORS IN ALL SPACES EXCEPT WINE CELLAR & UTILITY ROOM. FINISHED FLOOR ELEV ASSIGNED TO BE 2" HIGHER THAN SUBFLOOR.
 - ALL SHOWER STALLS TO BE FINISHED WITH NON-ABSORBENT SURFACE TO A MINIMUM OF 6'-0" ABOVE FLOOR, PER CRC R3012.

NOTE: WINDOWS ARE RECESSED 2" INTO EXT. WALLS- PROVIDE 2" x 4" TRIMMERS ON ALL SIDES. 2" x 6" EXT. WALL FRAMING WINDOW ROUGH OPENING DIMENSIONS = NOMINAL +3/16" IN BOTH HEIGHT AND WIDTH. TYPICAL WINDOW FRAMING R.O. HEADS ARE + 8'-2" FROM SUBFLOOR. (ASSUMES 1/4" SHIM SPACE ALL AROUND).

NOTE: EXTERIOR DOORS SIZES SHOWN ARE NOMINAL- FRAMING R.O. HEIGHT = NOMINAL + 1 1/2". FRAMING R.O. WIDTH = NOMINAL + 3" (HINDSOR DOORS ONLY).

DOOR & WINDOW U & SHG VALUES

WINDSOR "PINNACLE" CLAD WINDOWS	U-VALUE	SHGC
CASEMENT/AWNING	0.33	0.19
FIXED/PICTURE	0.32	0.21
WINDSOR "PINNACLE" CLAD BI-FOLD OUTSLINGS	0.31	0.16
WINDSOR "PINNACLE" CLAD OUTSLING FRENCH	0.36	0.21
WINDSOR "PINNACLE" CLAD SLIDING FRENCH	0.35	0.13



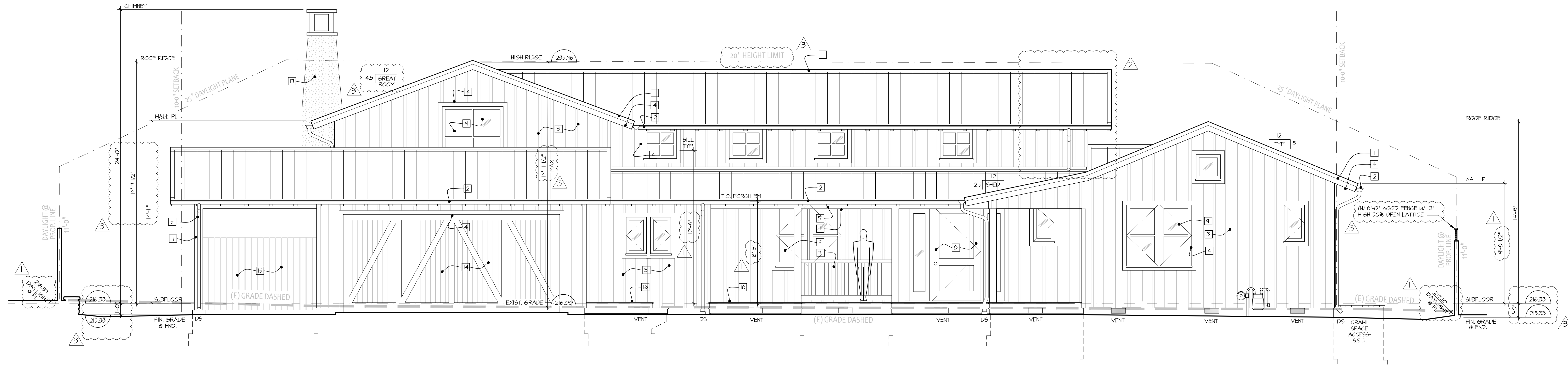
C L E R E S T O R Y P L A N
 SCALE: 1/4" = 1'-0"

DOOR & WINDOW NOTES

- WINDOWS ARE RECESSED 2" ON 2" x 4" TRIMMERS. WINDOW SIZES SHOWN ON PLAN ARE NOMINAL. 2" x 6" FRAMING ROUGH OPENING DIMENSIONS ARE NOMINAL + 3" IN HEIGHT & WIDTH- SEE TYP WINDOW DETAILS.
- FIXED, AWNING AND CASEMENT WINDOWS TO BE WINDSOR "PINNACLE" CLAD (DARK BRONZE) NAIL FIN WITH PAINT-GRADE INTERIORS (SITE-APPLIED SEMI-GLOSS ACRYLIC). APPLIED MINTING TO BE 1 1/8" WIDE "SDL (2") WITH GLASS SPACERS AND OGEE APPLIED WOOD MINTING ON INTERIOR. ALL AWNINGS AND CASEMENTS TO HAVE ROTO HARDWARE WITH FOLDING HANDLES IN OIL-RUBBED BRONZE FINISH. TYP WINDOW FRAMING R.O. HEAD = 8'-4 1/2" FROM SUBFLOOR.
- ALL ALUMINUM PATIO DOORS & WINDOWS TO HAVE KINAR FACTORY-PAINTED EXTERIOR IN CUSTOM COLOR (APPROXIMATING DARK BRONZE ANODIZED- DOORS AND WINDOWS MUST MATCH). INTERIORS TO HAVE SITE-APPLIED GLOSS ACRYLIC PAINT FINISH TO MATCH INTERIOR WALL COLOR. ALL WINDOW AND DOOR SCREENS TO HAVE BLACK ANODIZED ALUMINUM MESH.
- ALL EXTERIOR DOORS AND WINDOWS TO HAVE TEMPERED SELECTIVE LOW-E SQUARED OVER TEMPERED CLEAR DOUBLE GLAZING (THICKNESS PER WINDOW MANUF). MASTER BATH, POWDER ROOM, AND GARAGE WINDOWS TO HAVE "MILKY WHITE" OBTURATE GLASS ON THE INTERIOR.
- PER TITLE 24, ALL EXTERIOR DOORS & WINDOWS TO BE LABELED WITH CERTIFIED INFILTRATION @ U-VALUES. ALL EXTERIOR DOORS & WINDOWS TO BE WEATHERSTRIPPED TO PREVENT AIR LEAKAGE. PROVIDE BUTYLANE FLASHING AROUND ALL OPENINGS AND POLYURETHANE CAULKING BETWEEN FLASHING AND WINDOW AND DOOR FRAMES.
- EGRESS WINDOWS TO HAVE 5.7 SF MINIMUM CLEAR OPENABLE AREA, 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM SILL HEIGHT PER UBC SECTION 310-4. EGRESS WINDOW LOCATIONS SHOWN ON PLAN & SCHEDULE.
- FRONT DOUBLE DOOR TO BE TRUSTILE 2 1/4" FIR "TS2020" STILE & RAIL, REPLACING BOTH PANELS W/ TEMPERED INSULATED GLASS (SINGLE MIDDLE RAIL @ +3'-0"). CABOTS #B042 CLEAR SATIN ALKYD-DF SPAR VARNISH EXTERIOR & INTERIOR. MORTISE/OIL-RUBBED BRONZE.
- GARAGE MAN DOORS TO BE TRUSTILE 1 3/4" FIR "V52030" STILE & RAIL (VERT. GROOVED PANELS W/ SINGLE MIDDLE RAIL CENTERED @ +3'-0"). SPAR VARNISH INT. & EXT. CYLINDER 4 DEADBOLT HDWR- OIL-RUBBED BRONZE.
- EXTERIOR OUTSLING/ INSLING DOORS OTHER THAN FRONT & GARAGE DOORS TO BE WINDSOR "PINNACLE" CLAD "FRENCH" NAIL FIN (DARK BRONZE) W/ PAINT GRADE INTERIORS (SEMI-GLOSS ACRYLIC). APPLIED MINTING TO BE 1 1/8" WIDE "SDL (2") WITH GLASS SPACERS AND OGEE APPLIED WOOD MINTING ON INTERIOR. DOOR SIZES SHOWN ARE NOMINAL- FRAMING R.O. HEIGHT = NOM. + 1 1/2". FRAMING R.O. WIDTH = NOM. + 3".
- BI-FOLD PATIO DOORS TO BE WINDSOR "PINNACLE" CLAD "OUTSLING" (DARK BRONZE) W/ PAINT-GRADE INTERIORS (SEMI-GLOSS ACRYLIC). APPLIED MINTING TO BE 1 1/8" WIDE "SDL (2") WITH GLASS SPACERS AND BEVELED APPLIED WOOD MINTING ON INTERIOR. DOOR SIZES SHOWN ARE NOMINAL- FRAMING R.O. HEIGHT = NOM. + 1 1/2". FRAMING R.O. WIDTH = NOM. + 3".
- ALL EXTERIOR WINDOW AND DOOR SCREENS TO HAVE BLACK ANODIZED ALUMINUM MESH.
- ALL INTERIOR HINGING DOORS TO BE TRUSTILE 1 3/4" W/ "V52030" STILE & RAIL (VERT. GROOVED PANELS W/ SINGLE MIDDLE RAIL CENTERED @ +3'-0"). SEMI-GLOSS ACRYLIC PAINT.
- HINGING DOOR DIMENSIONS SHOWN ON ARCHITECTURAL FLOOR PLANS ARE SASH DIMENSIONS. FOR INTERIOR DOORS, ADD 2" TO WIDTH AND 1" TO HEIGHT, MEASURED FROM SUBFLOOR (SEE DOOR DETAILS ON A12).
- GARAGE SECTIONAL OVERHEAD DOOR TO BE WOOD CONSTRUCTION WITH 1" x 6" S4S CEDAR VERTICAL BEVELED T & 6" SIDING AND 1" x 6" & 1" x 10" BATTERS. CLEAR WOOD SEALER (MESSIERS W/ FLUSH COLOR, NATURAL).

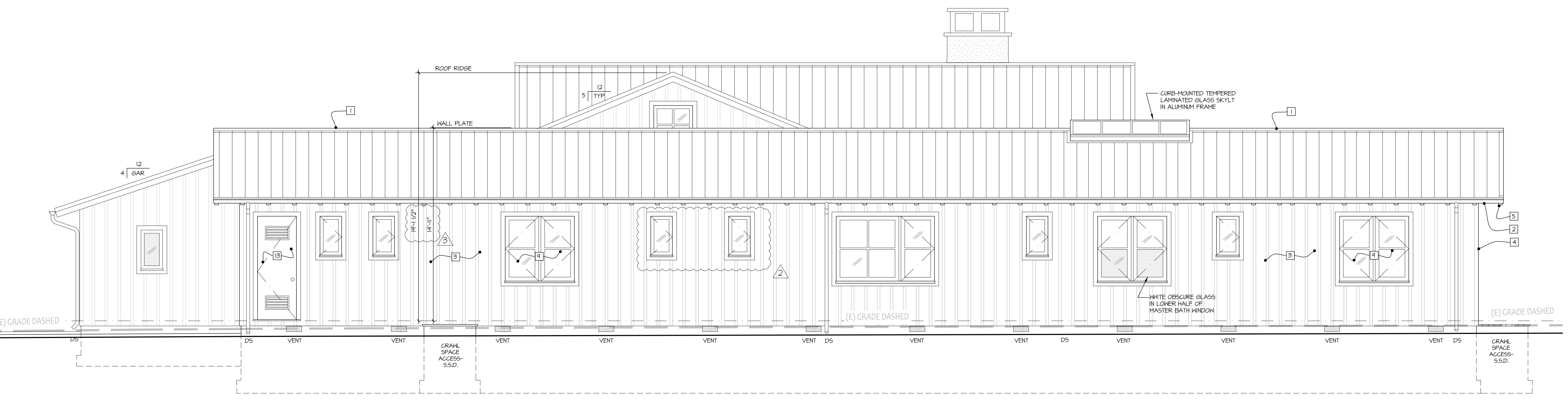
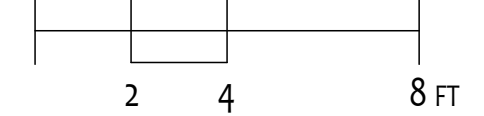


NOTE: PROVIDE 1/2" MIN. 60 MIL FEEL & STICK FLASH & COUNTER FLASH AROUND ALL OPENINGS- SEE DOOR & WINDOW SCHEDULE



EAST ELEVATION (Oakhurst Avenue)

NOTE: PROVIDE (2) 5 1/2" x 4 1/2" x 1/4" OPEN WIRE MESH CRANKSPACE VENTS @ 18'-0" OC - SEE FND. PLAN FOR LOC'S (CLR. VENT AREA = 0.525 sq-ft) EPOXY WIRE MESH TO INSIDE FACE OF FND. - SEE DETAIL V.44. VENT AREA REQ'D: 3900 SF / 101 - 26 SF. AREA PROVIDED: 52 x 0.525 SF = 27 SF.



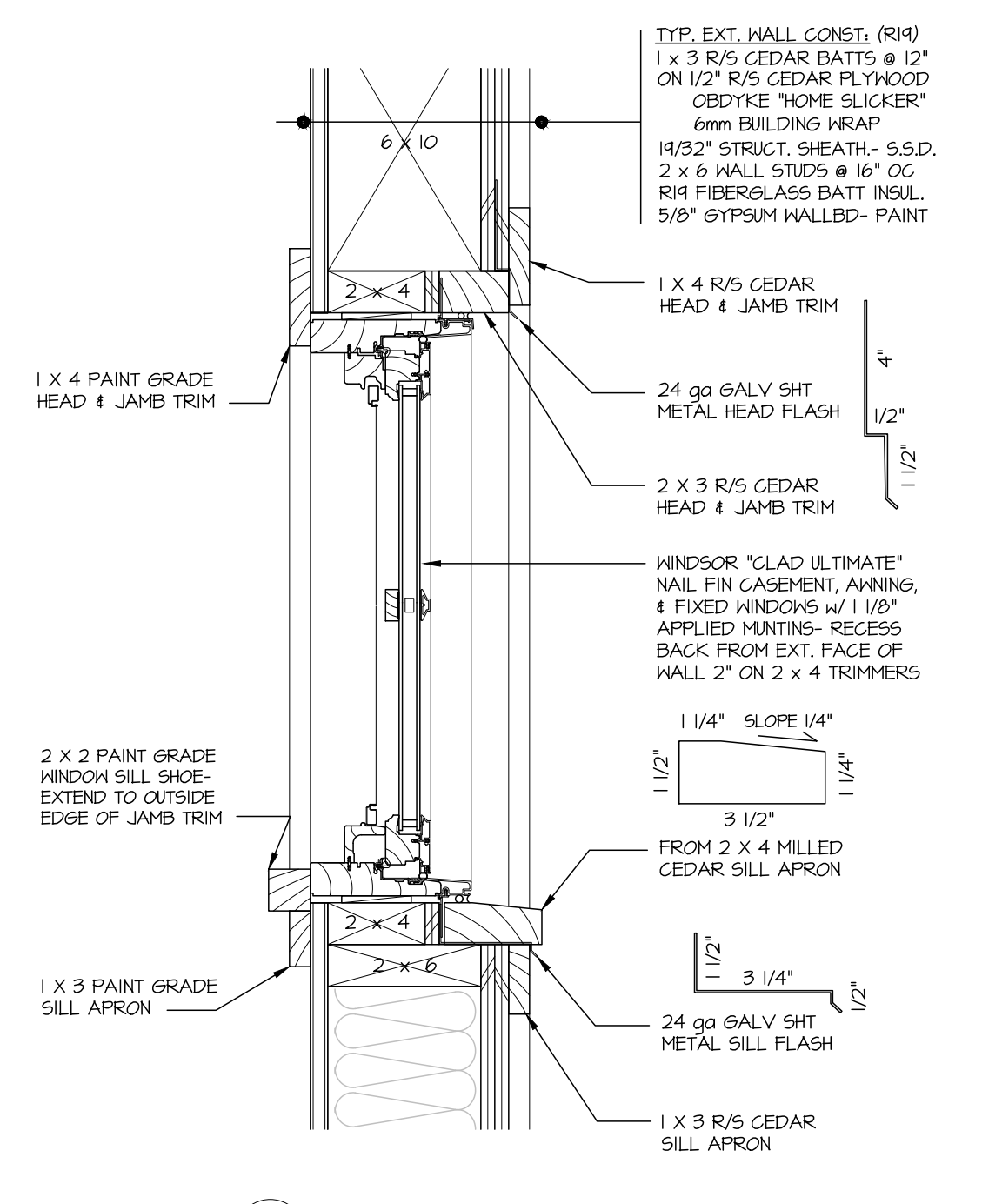
NORTH ELEVATION

NOTE: WINDOWS ARE RECESSED 2" INTO EXT. WALLS - PROVIDE 2 x 4 TRIMMERS ON ALL SIDES. 2 x 6 EXT. WALL FRAMING WINDOW ROUGH OPENING DIMENSIONS = NOMINAL +3 1/2" IN BOTH HEIGHT AND WIDTH. TYPICAL WINDOW FRAMING R.O. HEADS ARE + 8'-2" FROM SUBFLOOR (ASSUMES 1/4" SHIM SPACE ALL AROUND).

NOTE: EXTERIOR DOORS SIZES SHOWN ARE NOMINAL - FRAMING R.O. HEIGHT = NOMINAL +1 1/2". FRAMING R.O. WIDTH = NOMINAL +3" (WINDOWS DOORS ONLY).

DOOR & WINDOW U & SHG VALUES

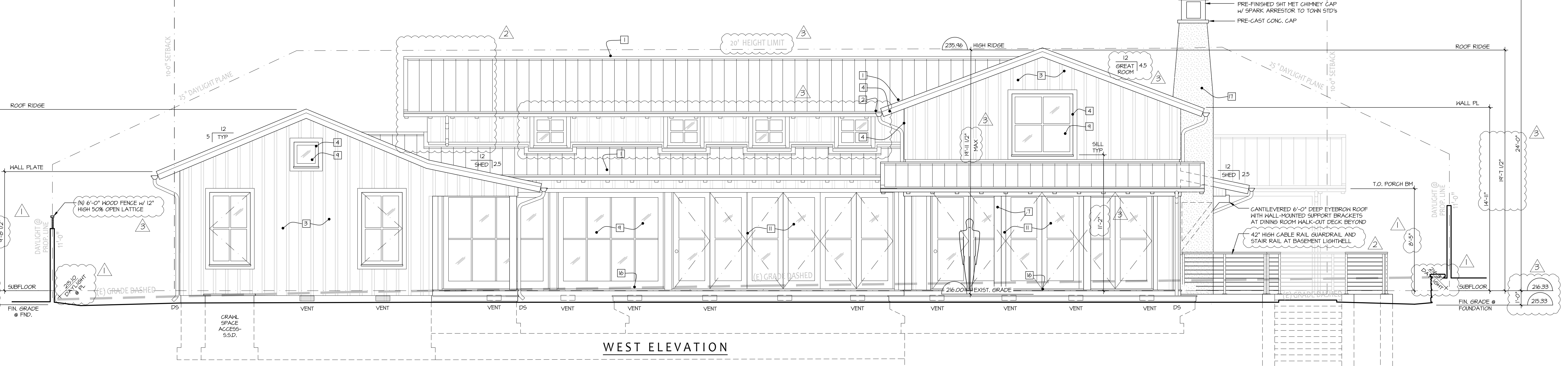
WINDSOR "PINNACLE" GLAD WINDOWS	U-VALUE	SHGC
CASERMENT/WAINING	0.33	0.14
FIXED/ PICTURE	0.32	0.21
WINDSOR "PINNACLE" GLAD BI-FOLD OUTSLING	0.31	0.16
WINDSOR "PINNACLE" GLAD OUTSLING FRENCH	0.36	0.21
WINDSOR "PINNACLE" GLAD SLIDING FRENCH	0.35	0.13



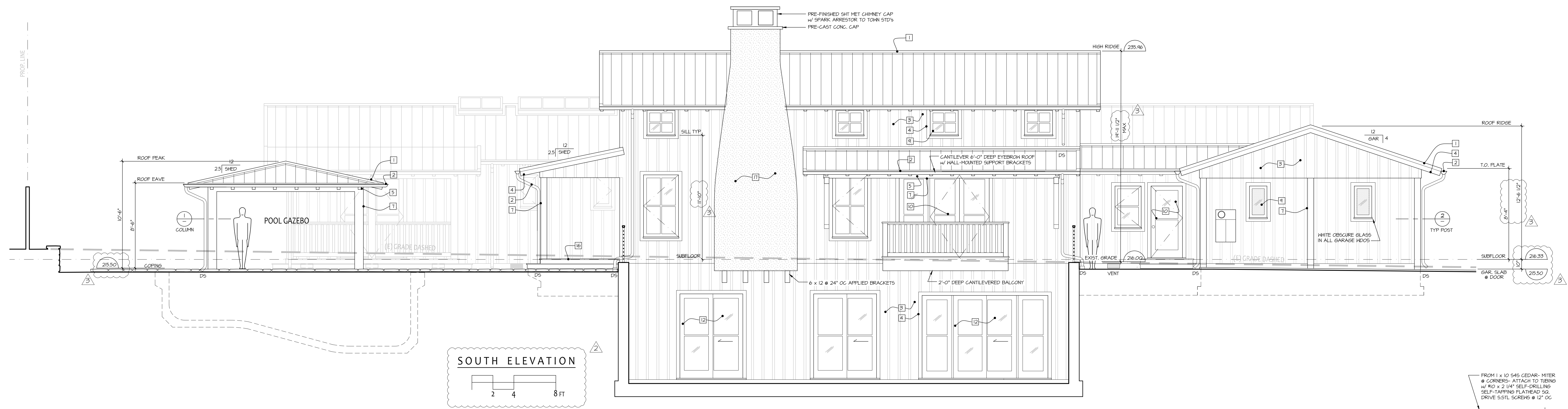
TYP. WINDOW DTL.
 SCALE: 2" = 1'-0"

EXTERIOR FINISH SCHEDULE

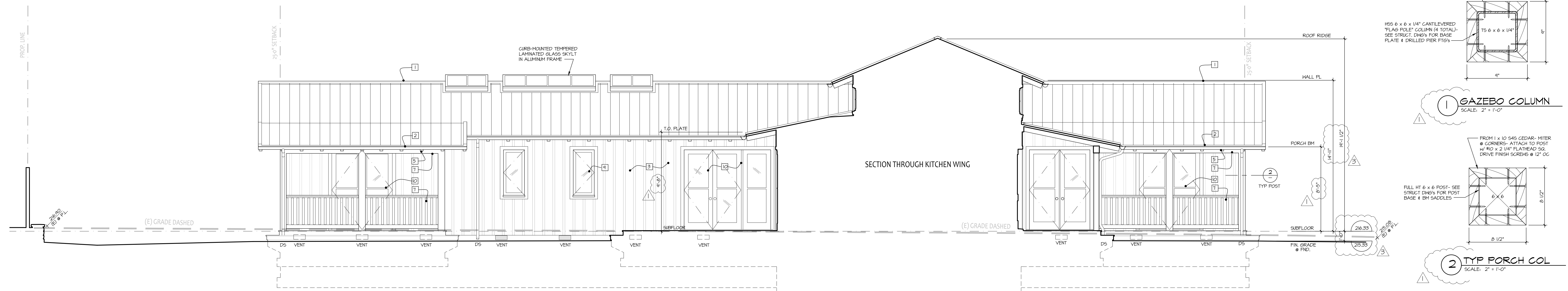
MATERIAL	COLOR/ FINISH MANUF.
1 24 ga 1" x 12" SMOOTH STANDING SEAM "ZINC-LOOK" ROOFING	VALSPAR "ZINC GRAY"/ METEORO-MORIN METALS
2 24 ga GALVALUME HALF-ROUND GUTTERS & ROUND DOWNSPOUTS	NATURAL (UNFINISHED) / 6" GUTTERS, 3" DIA. DOWNSPOUTS
3 ROUGHBARK CEDAR BOARD & BATT - HARM OFF-WHITE STAIN	SHERWIN-HILLIAMS "SITIOS WHITE"/ 1 x 3 R/S CEDAR BATTS ON 1/2" R/S CEDAR PLYWOOD
4 ROUGHBARK CEDAR FASCIAS, WINDOW AND CORNER TRIM	SHERWIN-HILLIAMS "SITIOS WHITE"/ 2 x 10 FASCIAS, 1 x 4 WINDOW & CORNER TRIM
5 3 x 6 @ 24" OC ROOF RAFTERS AND RAFTER TAILS	TRANSPARENT SATIN UV-RESISTANT ALKYD-OIL STAIN- MESSGERS UV PLUS/ COLOR: NATURAL
6 2 x 6 T & 6 FIR ROOF DECKING AT EXTERIOR SOFFITS	TRANSPARENT SATIN UV-RESISTANT ALKYD-OIL STAIN- MESSGERS UV PLUS/ COLOR: NATURAL
7 ROUGHBARK CEDAR CLAD DECK COLUMNS AND GUARDRAILS	SHERWIN-HILLIAMS "SITIOS WHITE"/ 2 x 10 FASCIAS, 1 x 4 WINDOW & CORNER TRIM
8 2 1/4" FIR STILE & RAIL FRONT DOOR WITH SOFFITS	CASOTS ROKAZ CLEAR SATIN ALKYD-OIL SPARE VARNISH BURNERS 9000 ALL FRAME/ MATCH SIDING
9 ALUMINUM CLAD FIXED AND CASERMENT WINDOWS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ WINDSOR "PINNACLE CLAD"
10 ALUMINUM CLAD STILE & RAIL OUTSLING DOORS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ WINDSOR "PINNACLE CLAD OUTSLING"
11 ALUMINUM CLAD BI-FOLD PATIO DOORS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ WINDSOR "PINNACLE CLAD FRENCH"
12 ALUMINUM CLAD SLIDING PATIO DOORS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ WINDSOR "PINNACLE CLAD FRENCH"
13 HOLLOW-CORE STEEL COVERED MECH. ROOM DOOR	ALKYD-OIL PAINT TO MATCH SIDING
14 O/H GARAGE DOOR w/ R/S CEDAR VENEER & BATTENS	SHERWIN-HILLIAMS "SITIOS WHITE"/ 1 x 3 R/S CEDAR BATTS ON 1/2" R/S CEDAR PLYWOOD
15 CEDAR FENCING & GATES	MESSGERS UV PLUS FOR HARDWOOD DECKS/ COLOR: MH-500 NATURAL/ PAINTED TUBE STEEL FRAME
16 1" x 5 1/2" @ 5 3/4" OC IPE IRONWOOD DECKS	MESSGERS UV PLUS FOR HARDWOOD DECKS/ COLOR: MH-500 NATURAL
17 SMOOTH INTEGRAL-COLORED STICCO CHIMNEY	LA HABRA "VARIANCE ASED LIMESTONE COARSE" TEXTURE COLOR: "PURE IVORY" / EXP. METAL LATH



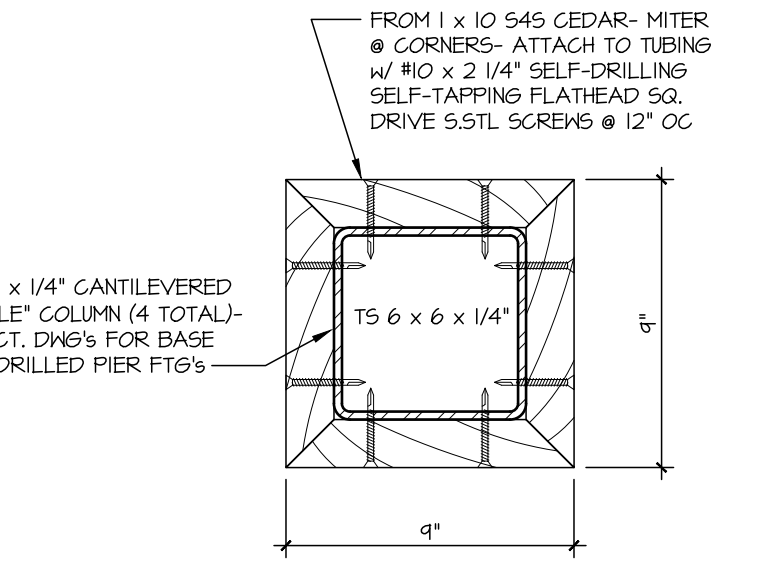
WEST ELEVATION



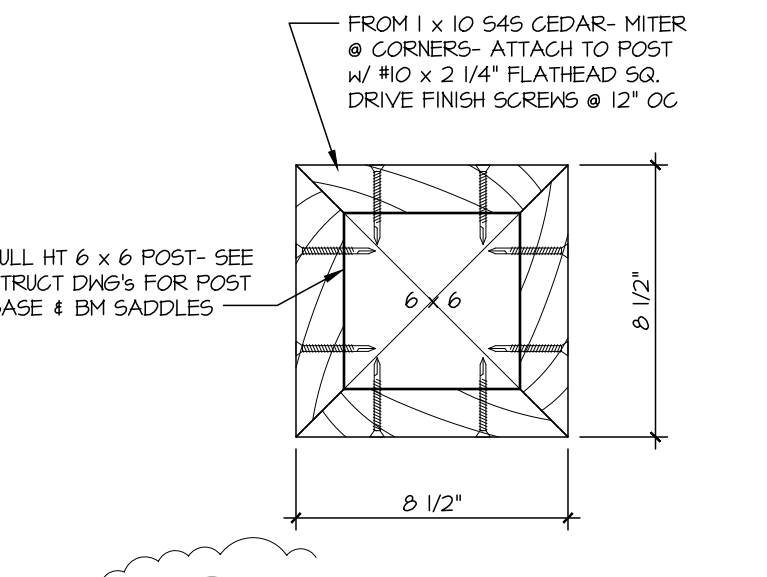
SOUTH ELEVATION
 2 4 8 FT



SECTION THROUGH KITCHEN WING



GAZEBO COLUMN
 SCALE: 2" = 1'-0"



TYP PORCH COL
 SCALE: 2" = 1'-0"

BEDROOM WING SOUTH

NOTE: WINDOWS ARE RECESSED 2" INTO EXT. WALLS- PROVIDE 2 x 4 TRIMMERS ON ALL SIDES, 2 x 6 EXT. WALL FRAMING HINDON ROUGH OPENING DIMENSIONS + NOMINAL #3/2" IN BOTH HEIGHT AND WIDTH. TYPICAL WINDOW FRAMING R.O. HEADS ARE 1 @ 2" FROM SUBFLOOR (ASSUMES 1/4" SHIM SPACE ALL AROUND).
 NOTE: EXTERIOR DOORS SIZES SHOWN ARE NOMINAL- FRAMING R.O. HEIGHT- NOMINAL + 1/2", FRAMING R.O. WIDTH- NOMINAL +3" (WINDSOR DOORS ONLY).

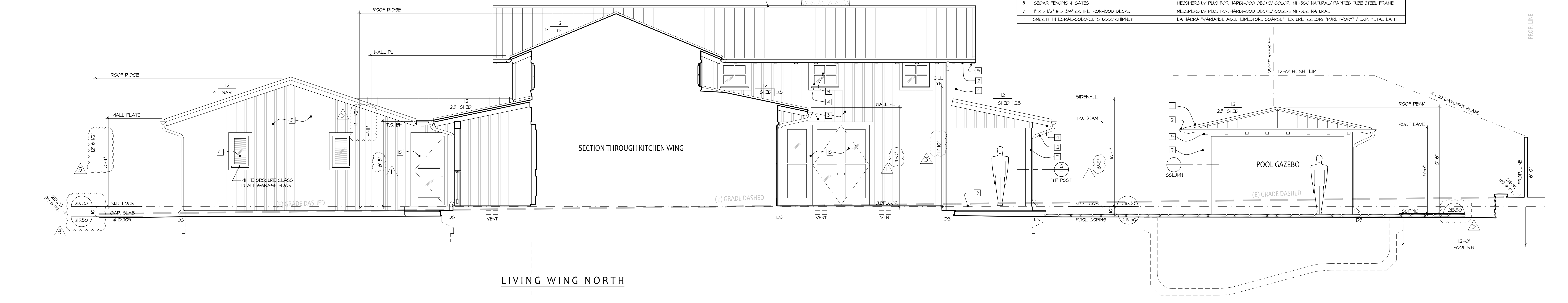
DOOR & WINDOW U & SHG VALUES

WINDSOR "PINNACLE" GLAD WINDOWS	U-VALUE	SHGC
CASEMENT/TAWNING	0.35	0.18
FIXED/PICTURE	0.32	0.21
WINDSOR "PINNACLE" GLAD BI-FOLD OUTSLING	0.31	0.16
WINDSOR "PINNACLE" GLAD OUTSLING FRENCH	0.36	0.21
WINDSOR "PINNACLE" GLAD SLIDING FRENCH	0.35	0.13

EXTERIOR FINISH SCHEDULE

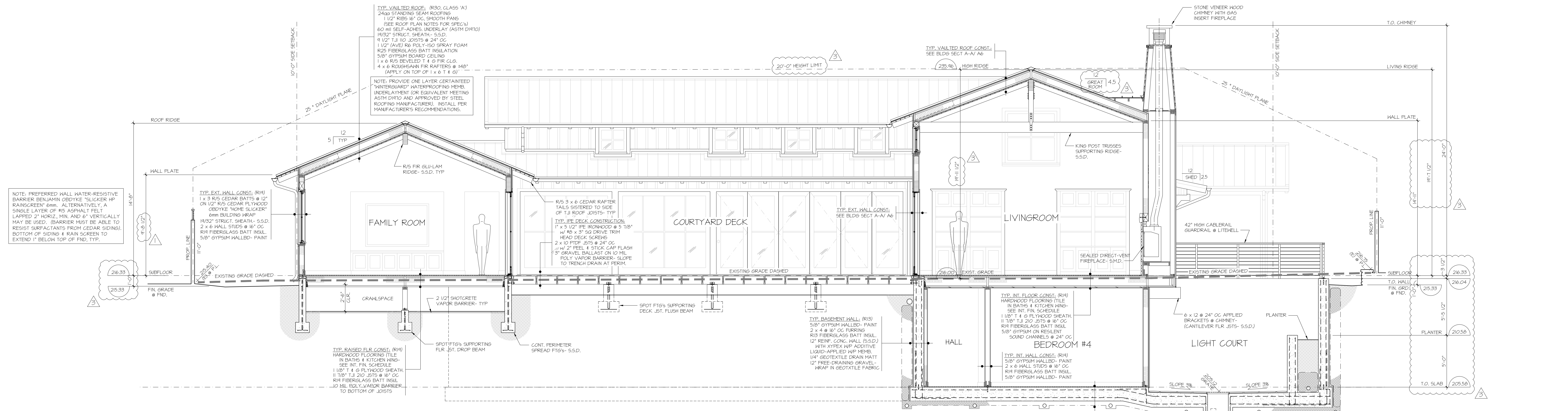
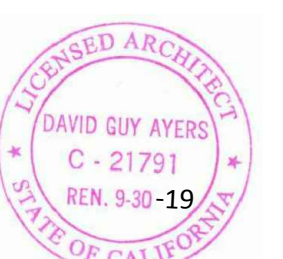
MATERIAL	COLOR/ FINISH/ MANUF.
1 24 ga 1" x 12" SMOOTH STANDING SEAM "ZINC-LOCK" ROOFING	NALSIPAR "ZINC GRAY"/ METEORO-HORN METALS
2 24 ga GALVALUME HALF-ROUND GUTTERS & ROUND DOWNSPOUTS	NATURAL (UNFINISHED)/ 7/8" GUTTERS, 3" DIA. DOWNSPOUTS
3 ROUGHSAWN CEDAR BOARD & BATT- WARM OFF-WHITE STAIN	SHERWIN-HILLIAMS "SINTOS WHITE/TAL" 1 x 3 R/5 CEDAR BATTIS ON 1/2" R/5 CEDAR PLYWOOD
4 ROUGHSAWN CEDAR FASCIAS, HINDON & CORNER TRIM	SHERWIN-HILLIAMS "SINTOS WHITE/TAL" 2 x 10 FASCIAS, 1 x 4 HINDON & CORNER TRIM
5 3 x 6 @ 24" OC ROOF RAFTERS AND RAFTER TAILS	TRANSPARENT SATIN UV-RESISTANT ALKYD-OIL STAIN- HESSGERS UV PLUS/ COLOR: NATURAL
6 2 x 6 T & S FIR ROOF DECKING AT EXTERIOR SOFFITS	TRANSPARENT SATIN UV-RESISTANT ALKYD-OIL STAIN- HESSGERS UV PLUS/ COLOR: NATURAL
7 ROUGHSAWN CEDAR GLAD DECK COLLING AND GUARDRAILS	SHERWIN-HILLIAMS "SINTOS WHITE/TAL" 2 x 10 FASCIAS, 1 x 4 HINDON & CORNER TRIM
8 2 1/4" FIR STILE & RAIL FRONT DOOR WITH SIDELIGHTS	CABOTS #8042 CLEAR SATIN ALKYD-OIL SPAR VARNISH/ BLOMBERG #3000 ALU. FRAME/ MATCH SIDING
9 ALUMINUM CLAD FIXED AND CASEMENT WINDOWS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ WINDSOR "PINNACLE GLAD"
10 ALUMINUM CLAD STILE & RAIL OUTSLING DOORS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ WINDSOR "PINNACLE GLAD FRENCH"
11 ALUMINUM CLAD BI-FOLD PATIO DOORS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ WINDSOR "PINNACLE GLAD OUTSLING"
12 ALUMINUM GLAD SLIDING PATIO DOORS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ WINDSOR "PINNACLE GLAD FRENCH"
13 HOLLOW-CORE STEEL LOVERED MECH. ROOM DOOR	ALKYD-OIL PAINT TO MATCH SIDING
14 DM GARAGE DOOR w/ R/5 CEDAR VENEER & BATTENS	SHERWIN-HILLIAMS "SINTOS WHITE/TAL" 1 x 3 R/5 CEDAR BATTIS ON 1/2" R/5 CEDAR PLYWOOD
15 CEDAR FENCING & GATES	HESSGERS UV PLUS FOR HARDWOOD DECKS/ COLOR: M4-500 NATURAL/ PAINTED TUBE STEEL FRAME
16 1" x 5 1/2" @ 5 3/4" OC. IPE IRONWOOD DECKS	HESSGERS UV PLUS FOR HARDWOOD DECKS/ COLOR: M4-500 NATURAL
17 SMOOTH INTEGRAL-COLORED STUCCO CHIMNEY	LA HABRA "VARIANCE ASIED LIMESTONE COARSE" TEXTURE COLOR: "PURE IVORY" / EXP. METAL LATH

SECTION THROUGH KITCHEN WING



LIVING WING NORTH

NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT COMPLETE LETTER	22 DEC 2011



SECTION A-A
 SCALE: 1/4" = 1'-0"

CATHEDRAL CEILINGS ARE UN-VENTILATED. CONSTRUCTION TO FOLLOW CRC SECTION R302.4 (0.3) INSULATION REQUIREMENTS.

PROVIDE 1/2" MIN. 60 MIL. FEEL & STICK FLASH & COUNTER-FLASH AROUND ALL OPENINGS. SEE DOOR & WINDOW SCHEDULE.

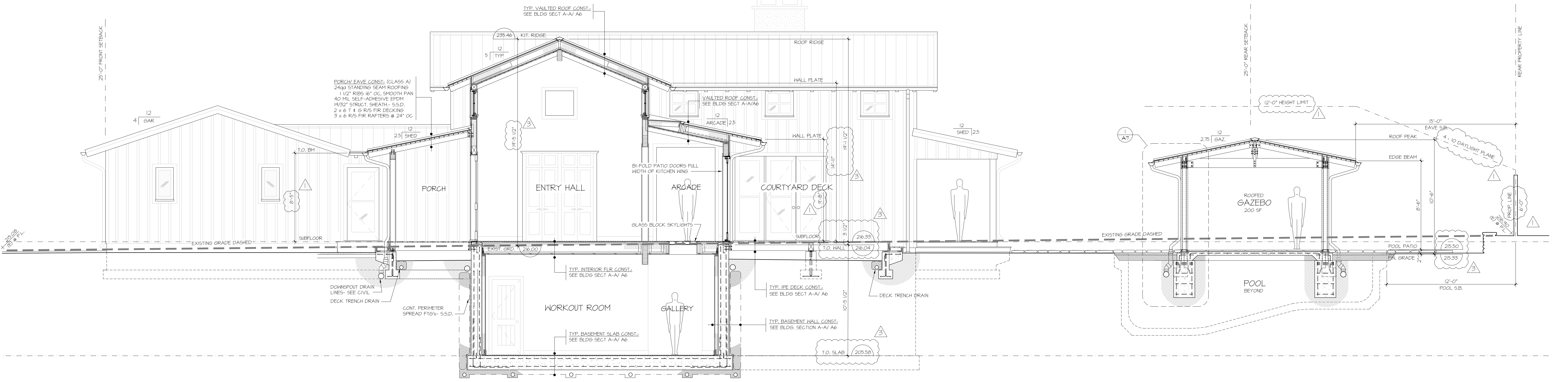
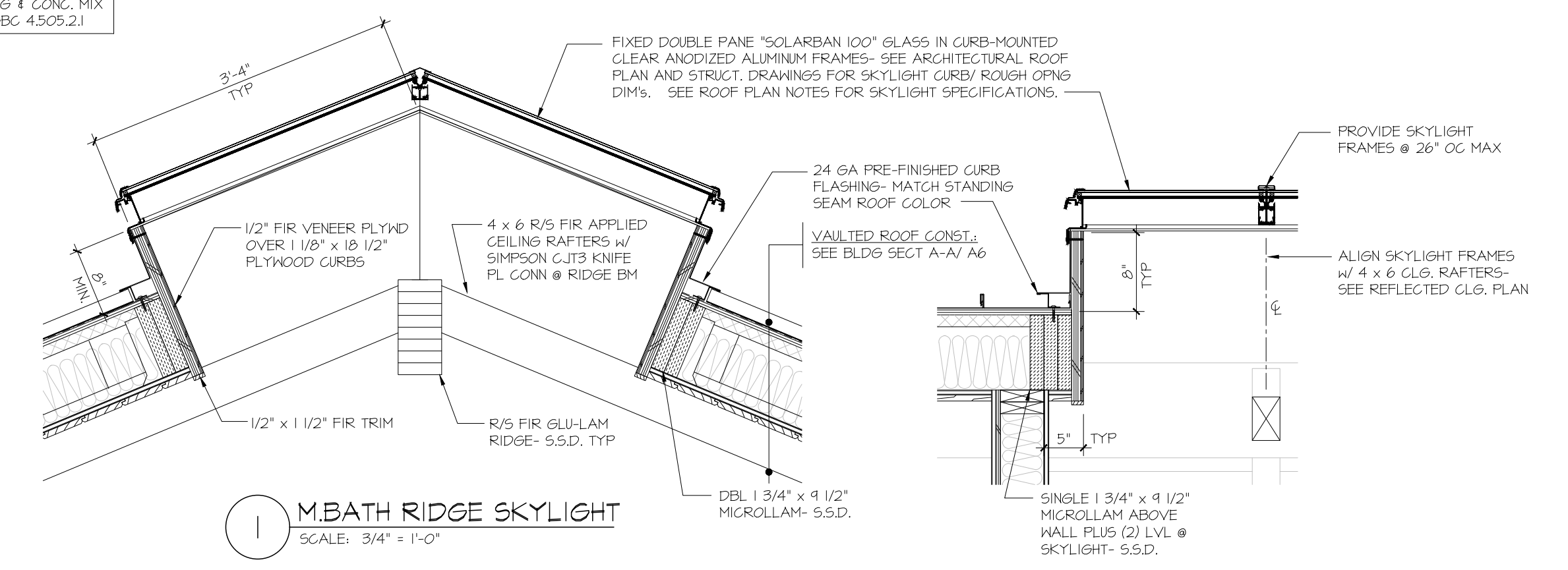
FIRE BLOCKING SHALL BE INSTALLED IN ALL LOCATIONS SPECIFIED IN CRC SECTION R302.11.

PROVIDE 2 1/2" CONCRETE VAPOR RETARDER IN CRAWLSPACE TO MEET CRC 409.2 REQUIREMENTS. SEE FND. PLAN FOR LOC'S.

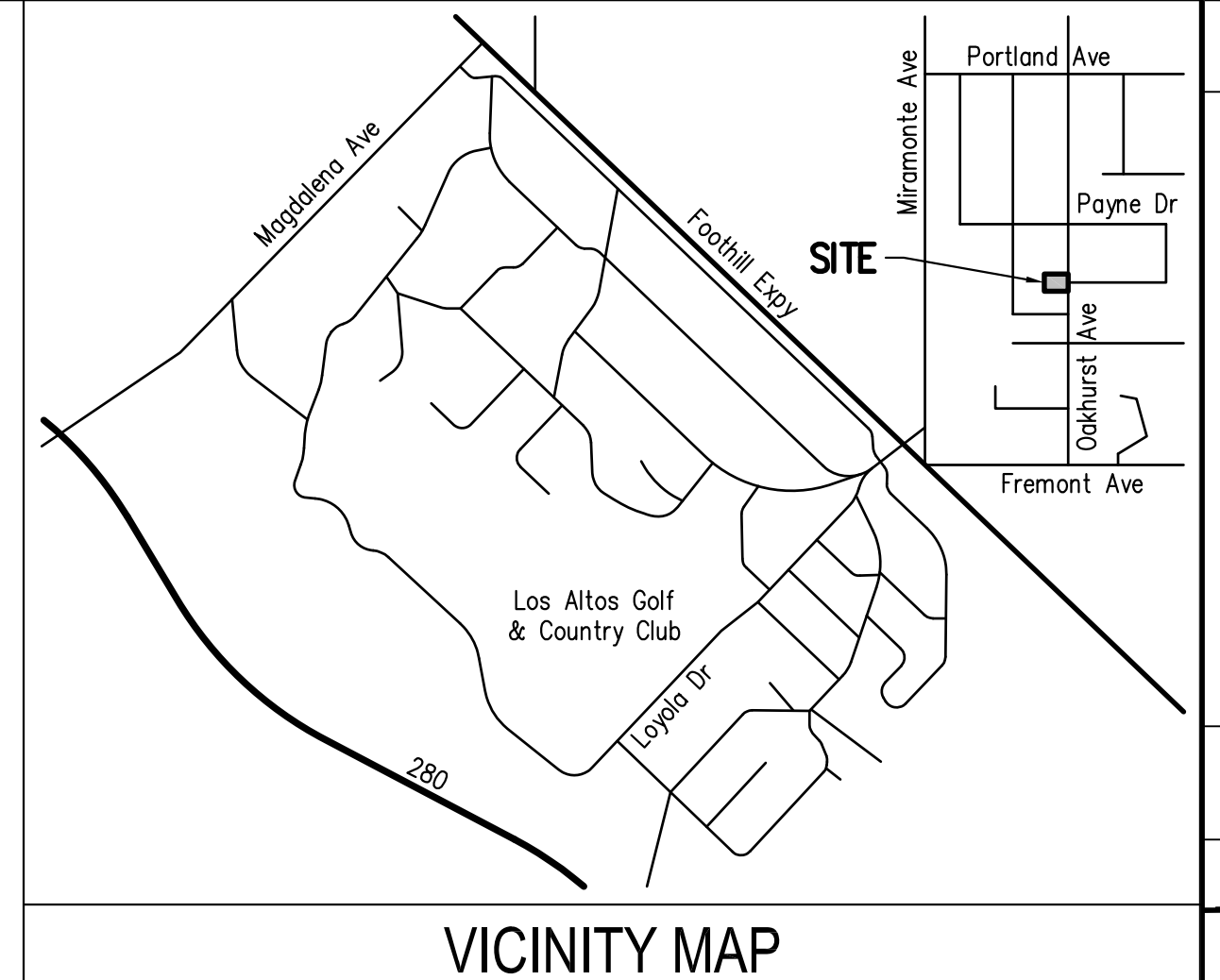
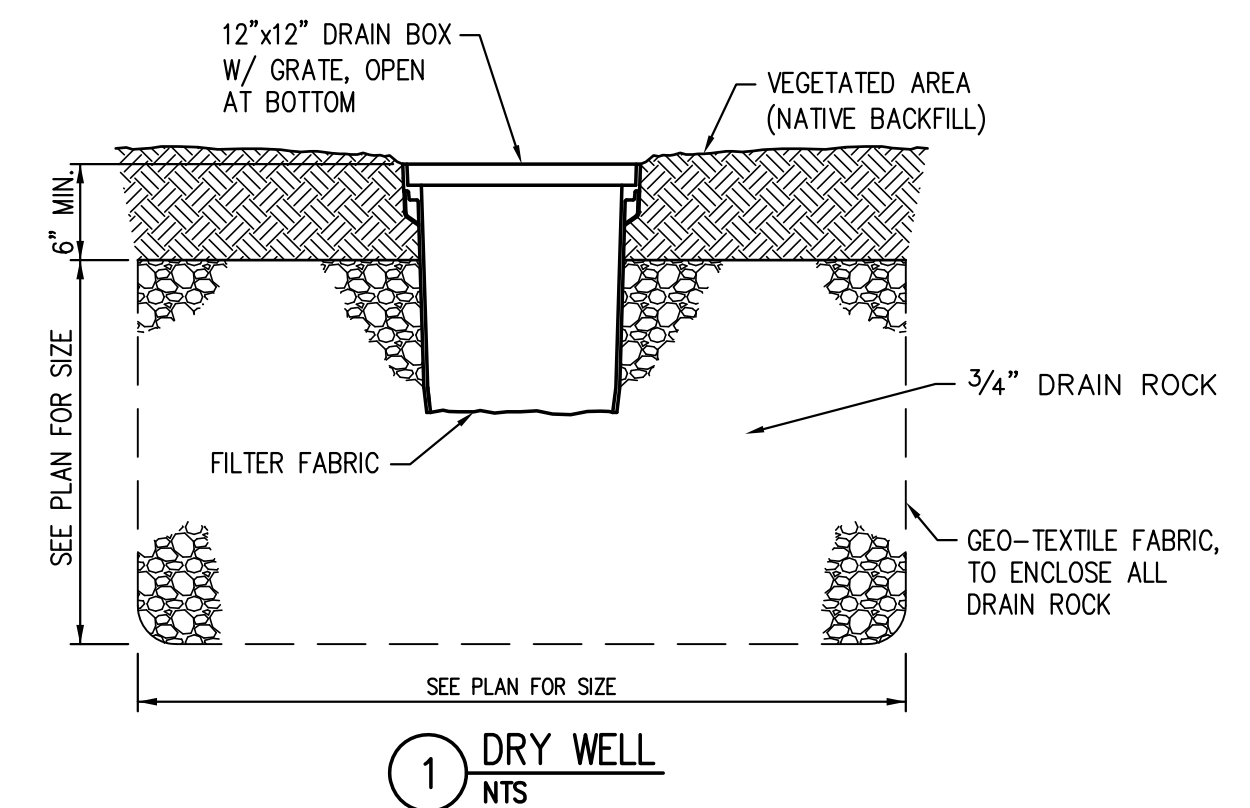
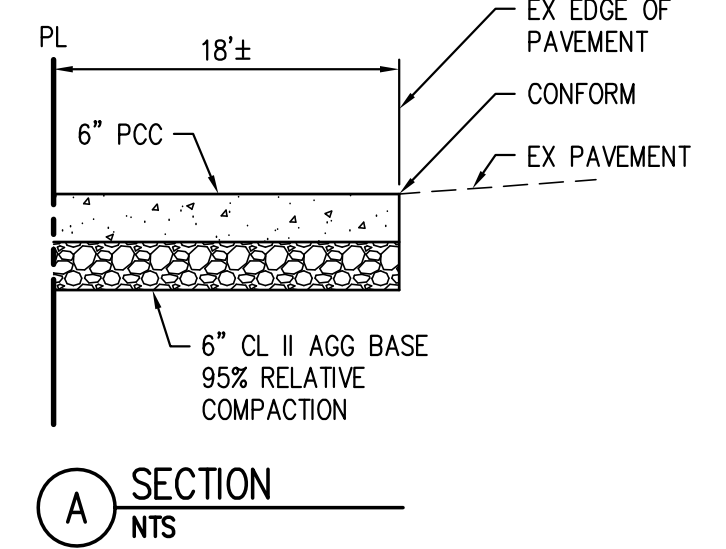
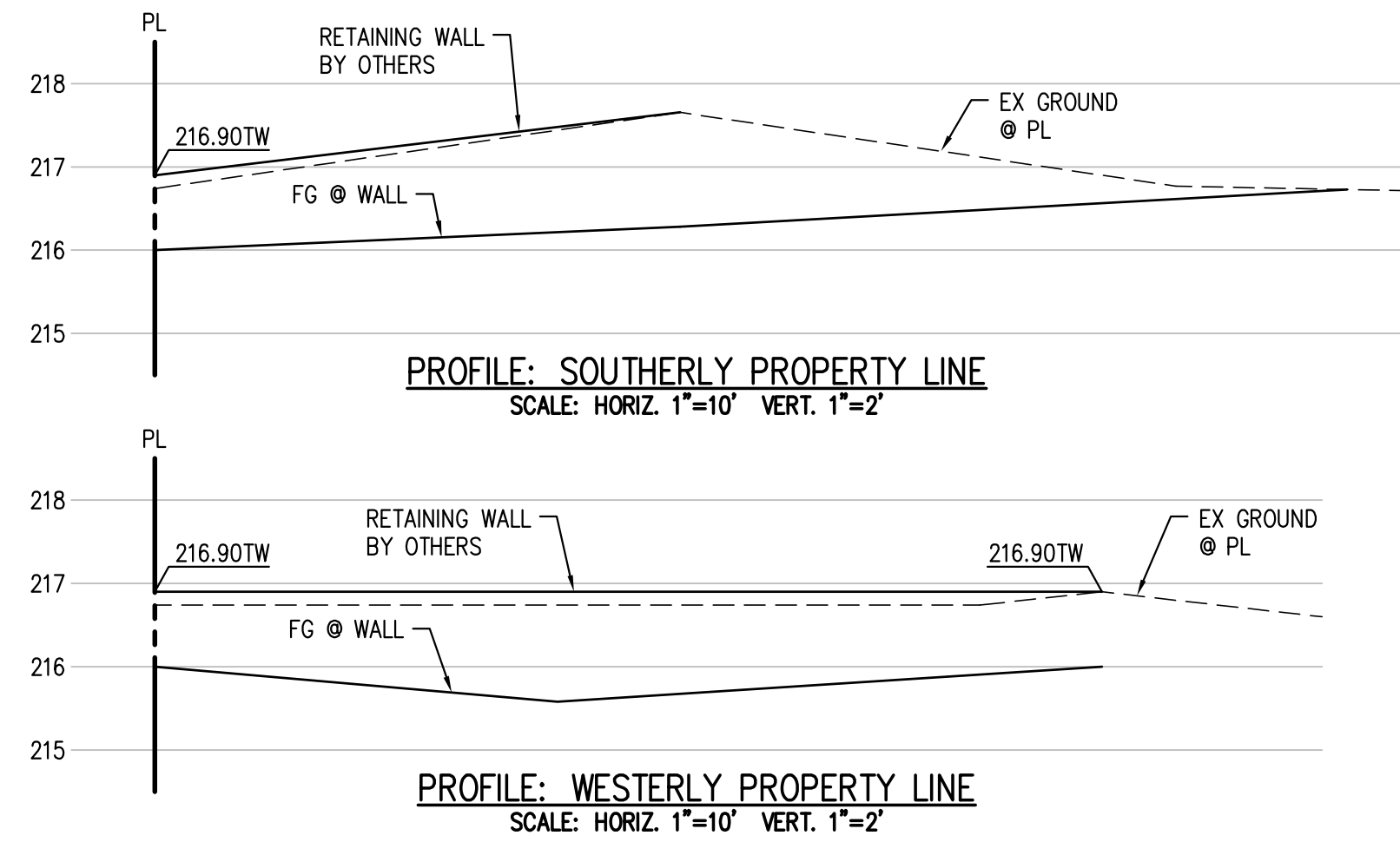
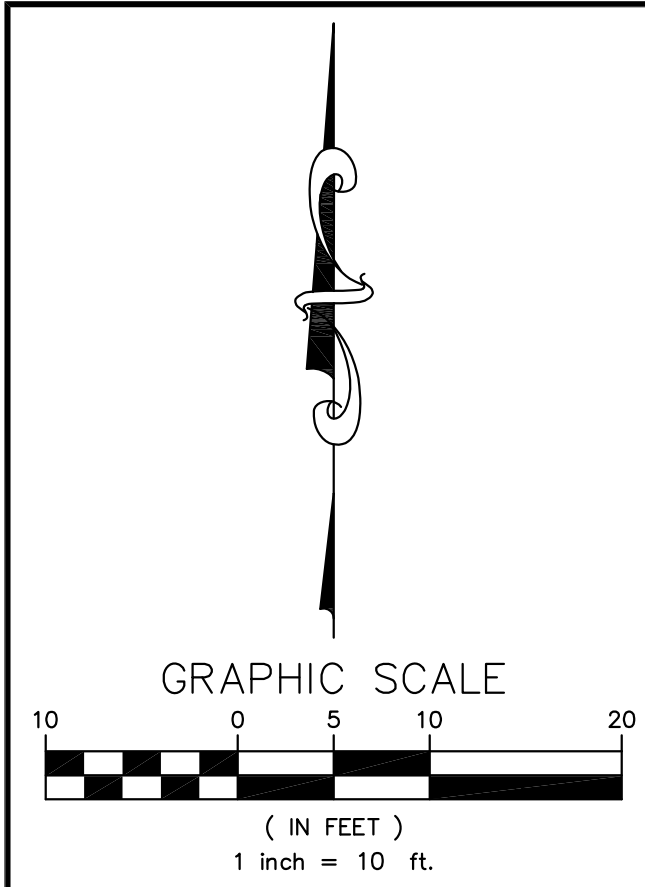
NOTE: ALL BASEMENT WALL FRAMING IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESURE TREATED. SEE GEN. NOTE #8/51.

NOTE: WINDOWS ARE RECESSED 2" INTO EXT. WALLS. PROVIDE 2 x 4 TRIMMERS ON ALL SIDES. 2 x 6 EXT. HALL FRAMING WINDOW ROUGH OPENING DIMENSIONS = NOMINAL +3 1/2" IN BOTH HEIGHT AND WIDTH. TYPICAL WINDOW FRAMING R.O. HEADS ARE + 8'-2" FROM SUBFLOOR. (ASSUMES 1/4" SHIM SPACE ALL AROUND).

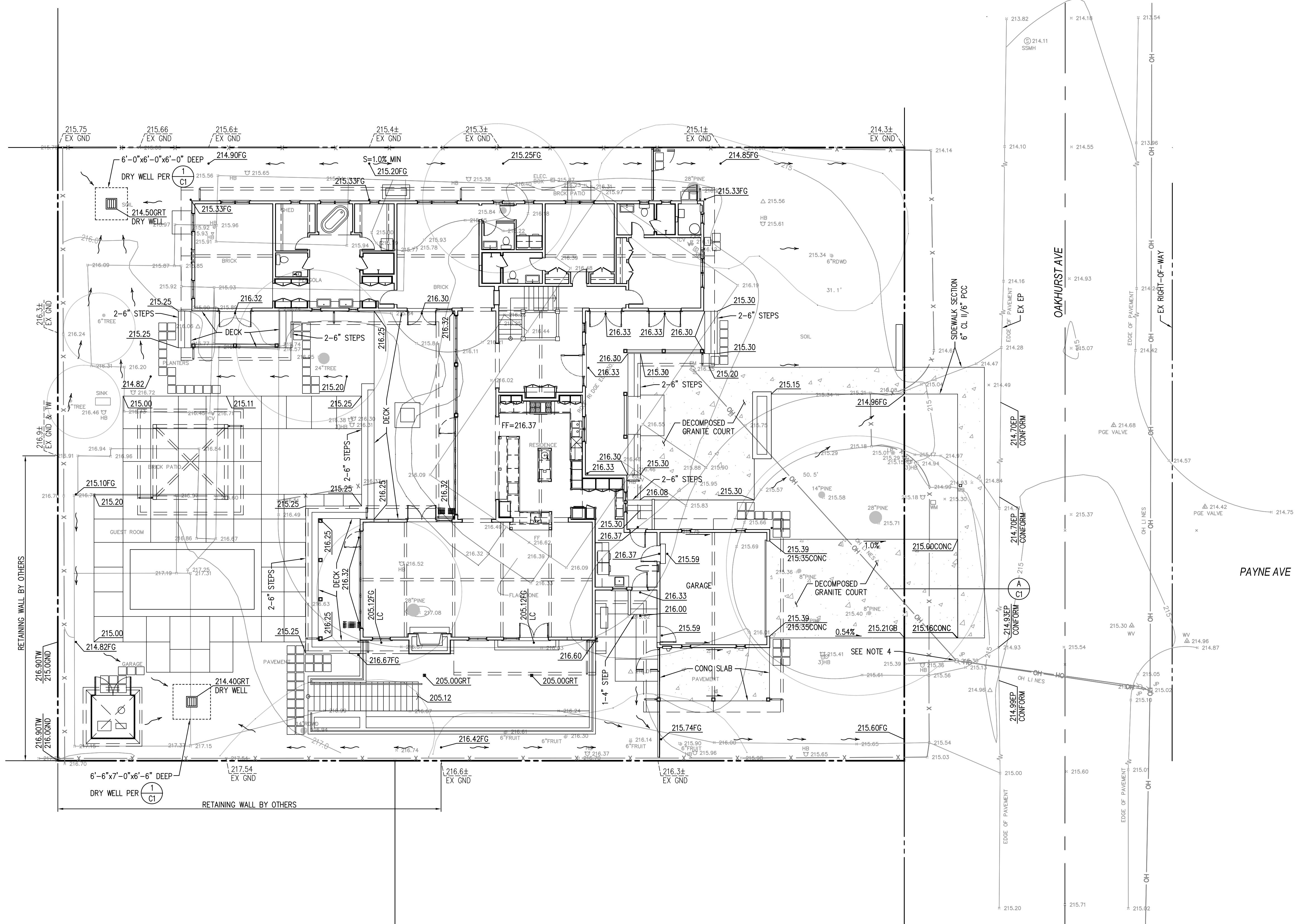
NOTE: EXTERIOR DOORS SIZES SHOWN ARE NOMINAL. FRAMING R.O. HEIGHT: NOMINAL + 1 1/2". FRAMING R.O. WIDTH: NOMINAL +3" (HINDOR DOORS ONLY).



SECTION B-B
 SCALE: 1/4" = 1'-0"



NO.	DATE	REVISIONS	BY



SHEET INDEX

C1	GRADING AND DRAINAGE PLAN
C2	EROSION CONTROL PLAN

EXISTING PERVIOUS & IMPERVIOUS AREAS

SITE AREA:	17,955± SF
PERVIOUS AREA:	9,915± SF
IMPERVIOUS AREA:	8,040± SF

POST DEVELOPMENT PERVIOUS & IMPERVIOUS AREAS

SITE AREA:	17,955± SF
PERVIOUS AREA:	7,774± SF
IMPERVIOUS AREA:	10,200± SF

- NOTES**
- SEE ARCHITECTURAL PLANS FOR TREE PROTECTION NOTES AND DETAILS, SEE SHEET A-1.
 - EXISTING SANITARY SEWER LATERALS SHALL BE EXPOSED AND LOCATION, INVERT ELEVATIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. IF CONDITION OF EXISTING LATERALS CAN'T PASS INSPECTION THEY SHALL BE REMOVED AND REPLACED.
 - EXISTING DOMESTIC WATER METER AND WATER FIXTURES SHALL BE RELOCATED OR REMOVED TO THE SATISFACTION OF THIS CITY ENGINEER.
 - EXISTING JOINT POLES AND SERVICES SHALL BE RELOCATED BY OTHERS.
 - SEE ARCHITECTURAL PLANS SHEET A-1 FOR UTILITY CONNECTIONS.

LEGEND

CONC	CONCRETE
FG	FINISH GRADE
FF	FINISH FLOOR
GND	GROUND
GRT	GRATE
LC	LIGHT COURT
TW	TOP OF WALL
---	EXISTING ELEVATION
- - -	EDGE EXISTING PAVEMENT

CALIFORNIA

**1460 OAKHURST AVENUE
GRADING AND DRAINAGE PLAN**

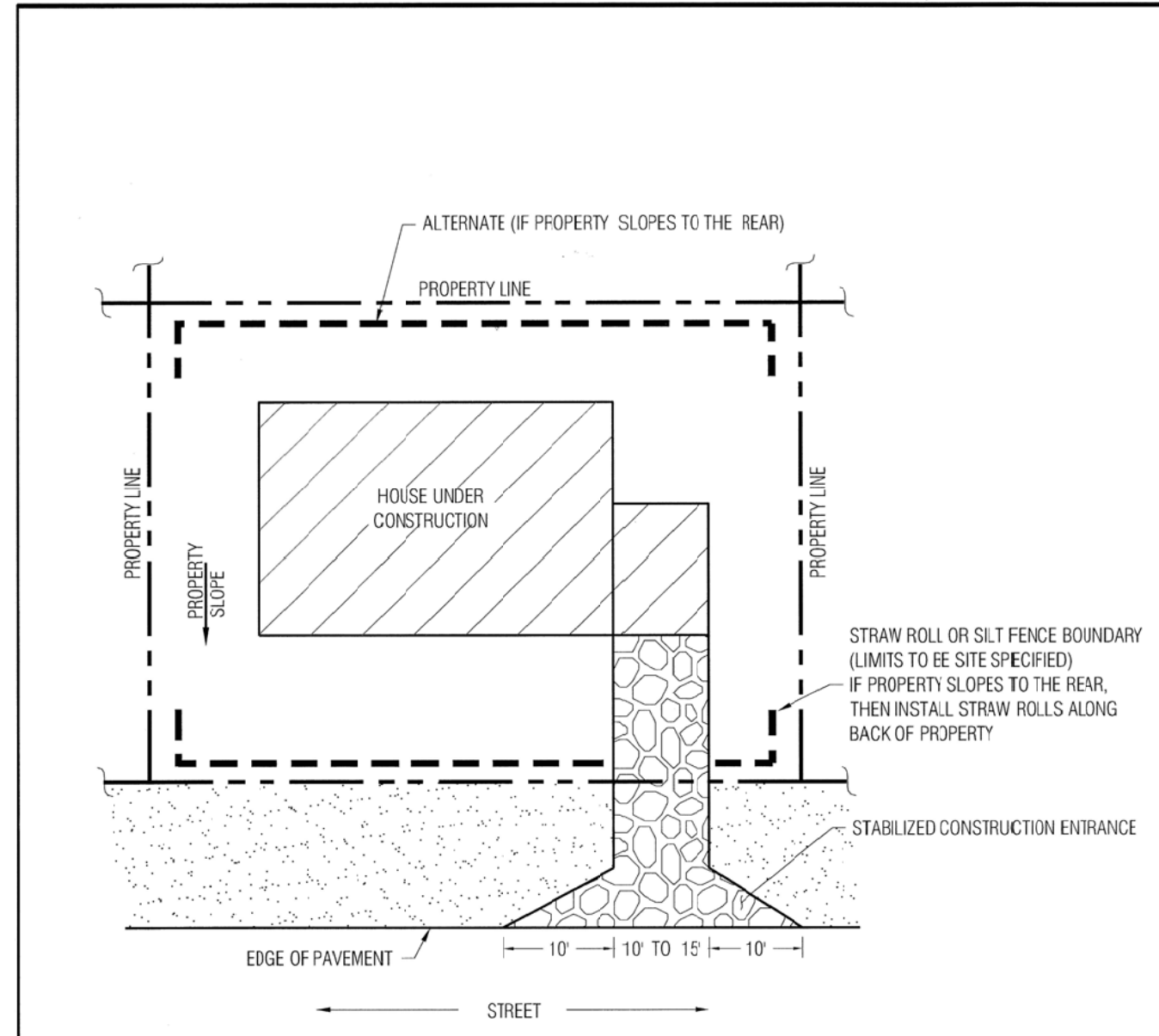
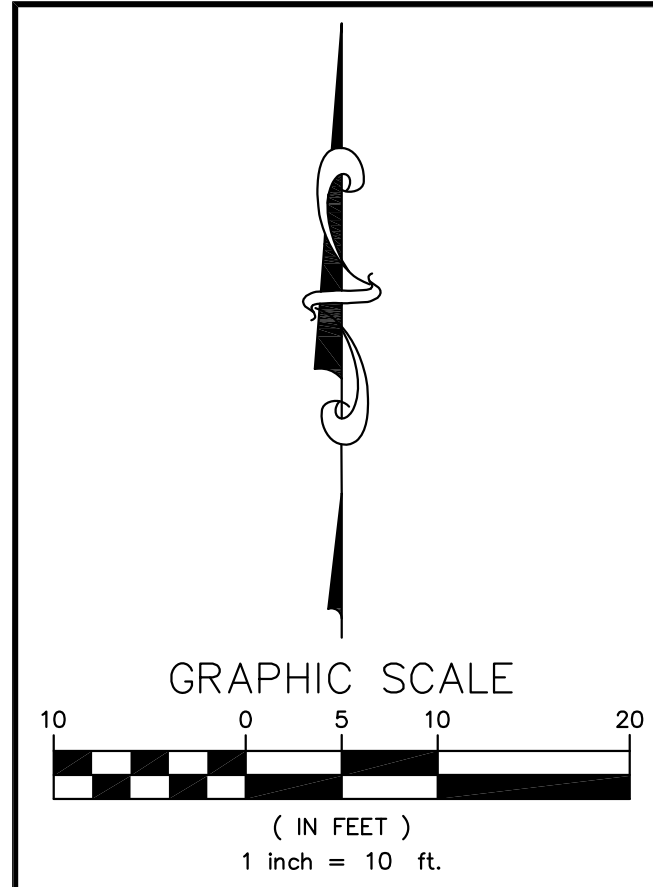
LOS ANGELES

JAD Engineering, Inc.
CIVIL ENGINEERS
1545 Santa Monica Avenue
Santa Monica, CA 90404
(408) 316-9281



REGISTERED PROFESSIONAL ENGINEER
No. C58854
Exp. 6-30-19
CIVIL
STATE OF CALIFORNIA

DATE	2/27/2018
SCALE	1"=10'
DRAWN BY	COH
SHEET NO.	C1
OF SHEETS	

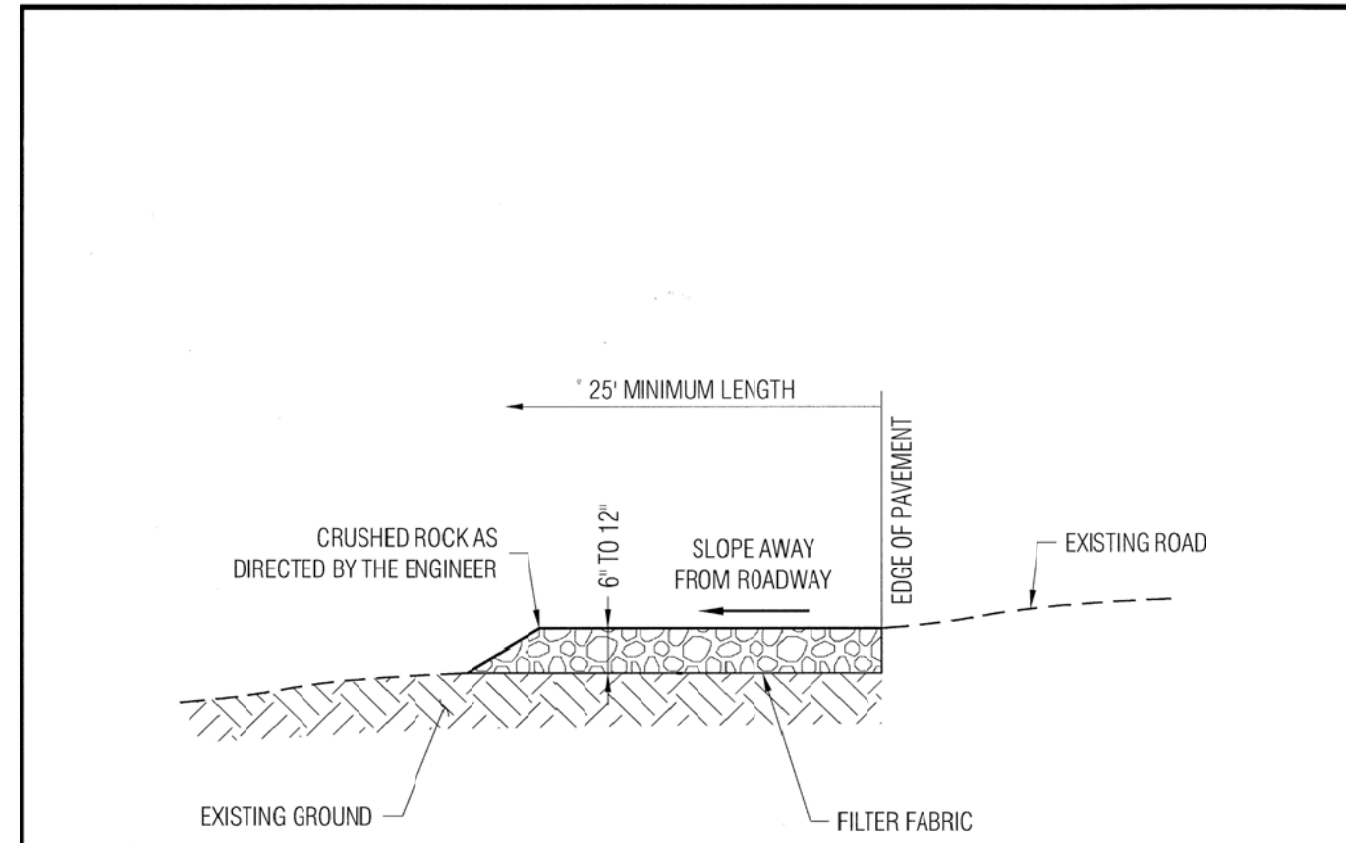


Approved: *[Signature]*
City Engineer

REVISION	DESCRIPTION	DATE

ENGINEERING DIVISION
TYPICAL EROSION AND SEDIMENT CONTROL AT SINGLE FAMILY CONSTRUCTION SITE
EC-1

STANDARD DETAILS MAY 2010



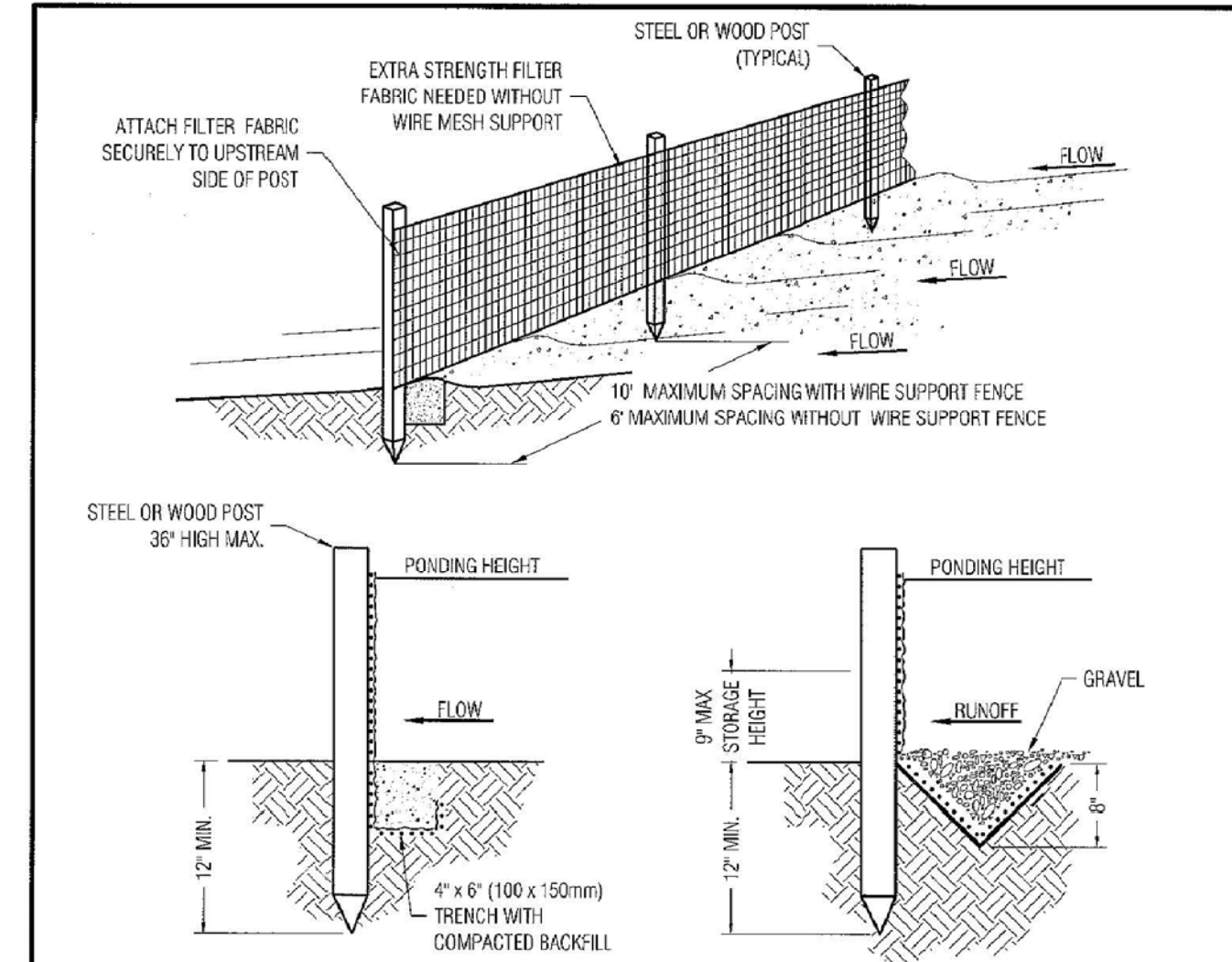
Approved: *[Signature]*
City Engineer

NOTES:
1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

REVISION	DESCRIPTION	DATE

ENGINEERING DIVISION
STABILIZED CONSTRUCTION SITE ENTRANCE
EC-2

STANDARD DETAILS MAY 2010

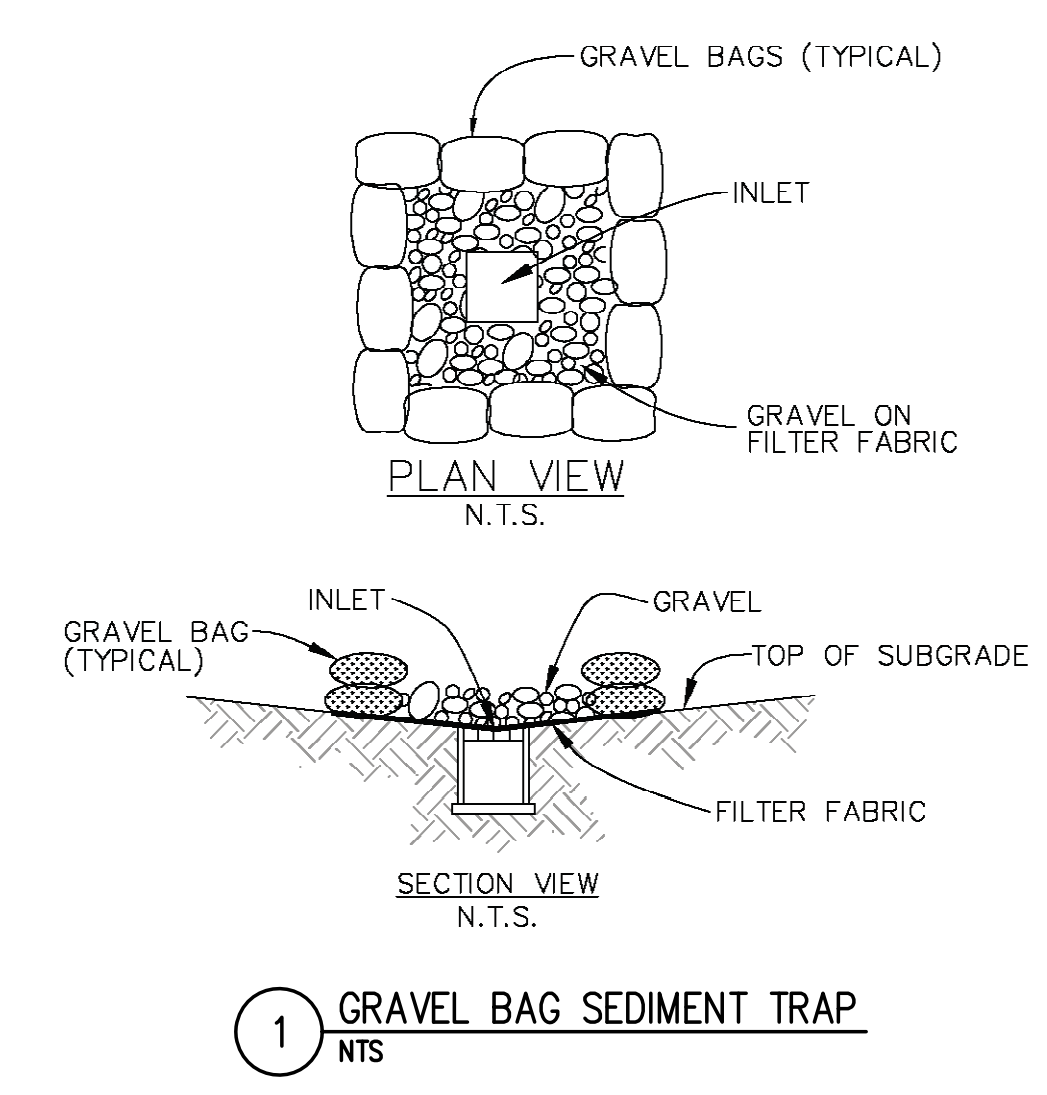
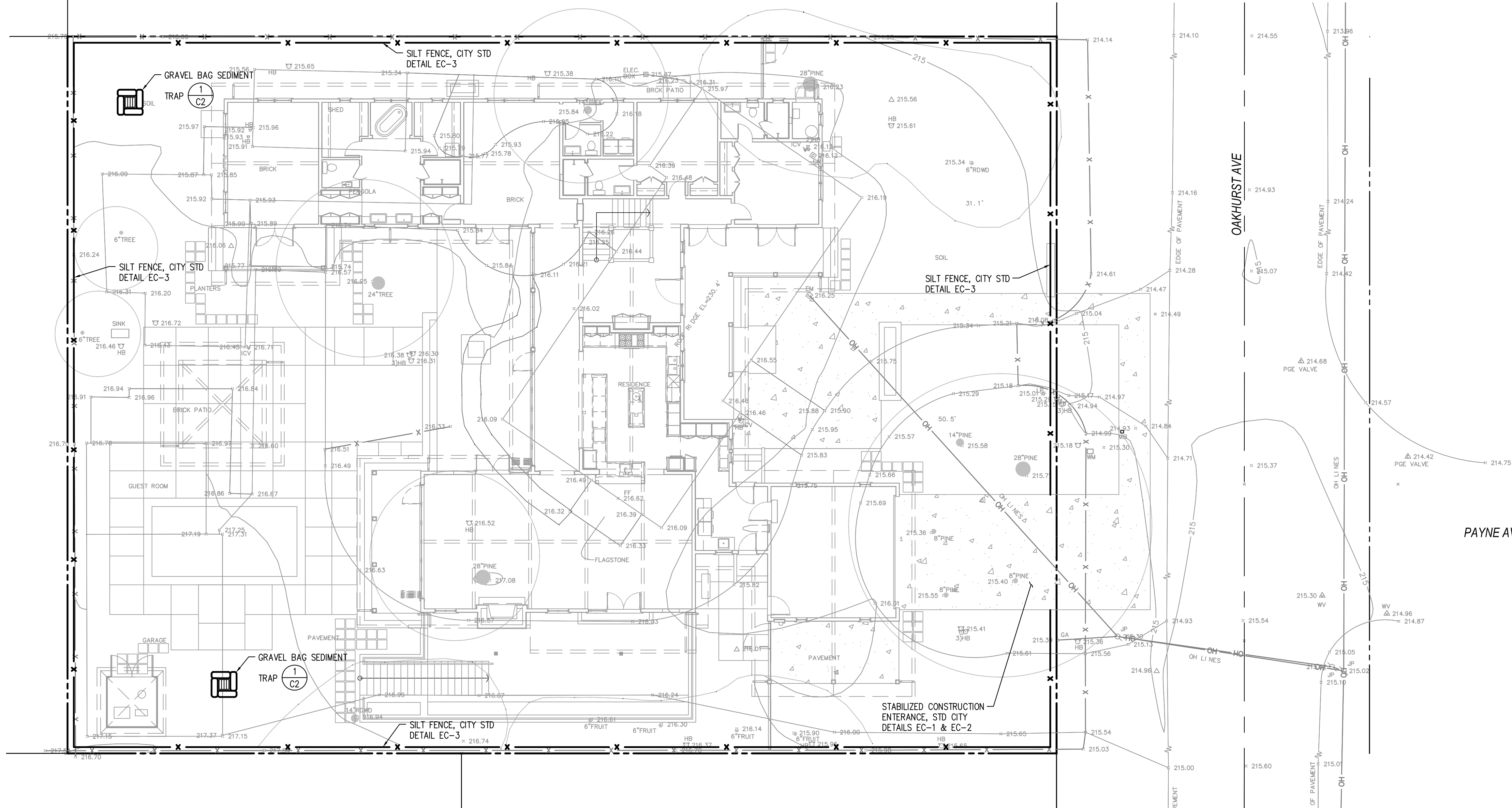


REVISION	DESCRIPTION	DATE

ENGINEERING DIVISION
SILT FENCE
EC-3

STANDARD DETAILS MAY 2010

NOTES:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHERE NECESSARY
2. REMOVE SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY



BY	
REVISIONS	
DATE	
NO.	

CALIFORNIA

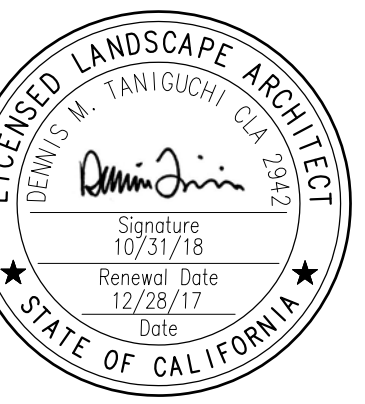
1460 OAKHURST AVENUE
EROSION CONTROL PLAN

LOS ALTOS

JAD Engineering, Inc.
CIVIL ENGINEERS
1545 Santa Monica Avenue
Santa Monica, CA 90404
(408) 316-9281

PROFESSIONAL ENGINEER
NO. 058895
Exp. 6-30-19
CIVIL
STATE OF CALIFORNIA

DATE 2/27/2018
SCALE 1"=10'
DRAWN BY COH
SHEET NO. **C2**
OF - SHEETS



ISSUE: DESCRIPTION:	DATE:
1 PLANNING SUBMITTAL	11/15/17
2 PLANNING RESUBMITTAL	12/28/17

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 17025.001

SHEET TITLE

SCHEMATIC LANDSCAPE PLAN: ALTERNATIVE A

SHEET NO.

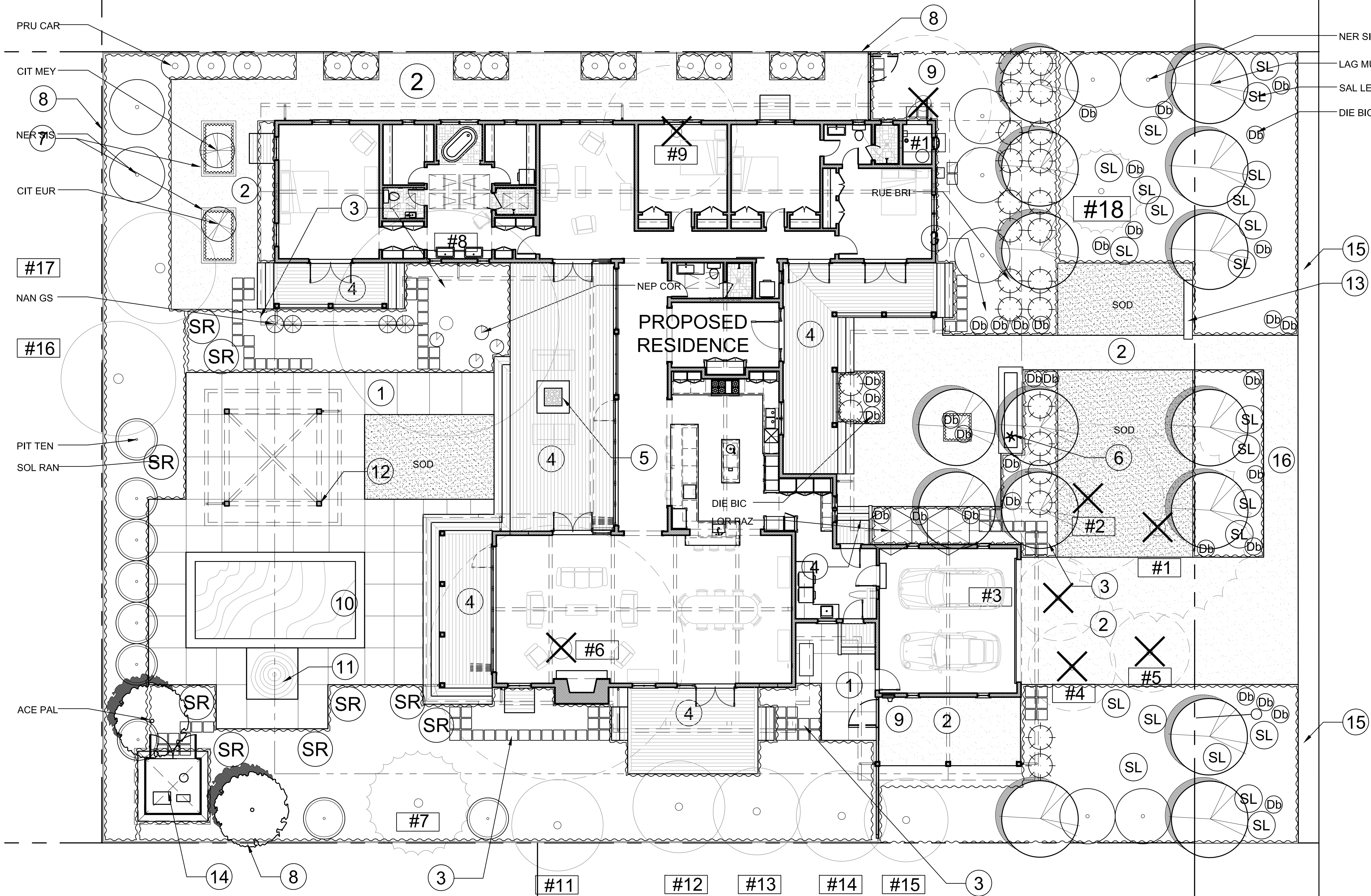
LA-1

KEY NOTES: PROPOSED IMPROVEMENTS

- 1 CONCRETE PAVING
- 2 GRAVEL PAVING
- 3 CONCRETE STEP STONES
- 4 WOOD DECK--SEE ARCHITECTURAL DRAWINGS
- 5 FIRE PIT
- 6 TROUGH FEATURE
- 7 WOOD RAISED PLANTING BEDS
- 8 WOOD FENCE (6 FT HIGH) AT PROPERTY LINE
- 9 WOOD GATE (6FT HIGH TO MATCH WOOD FENCING)
- 10 SWIMMING POOL
- 11 SPA
- 12 GAZEBO--SEE ARCHITECTURAL DRAWINGS
- 13 ADDRESS MARKER--SEE ARCHITECTURAL DRAWINGS
- 14 POOL MECHANICAL--SEE ARCHITECTURAL DRAWINGS
- 15 DRAINAGE SWALE--SEE CIVIL DRAWINGS
- 16 SHOULDER PARKING STRIP (5 FT WIDE)

LEGEND

- PROPOSED TREES
- SHRUB AND GROUNDCOVER AREA
- EXISTING TREES TO REMAIN
- TREE NUMBER IN ARBORIST REPORT
- EXISTING TREES TO BE REMOVED



OAKHURST AVENUE

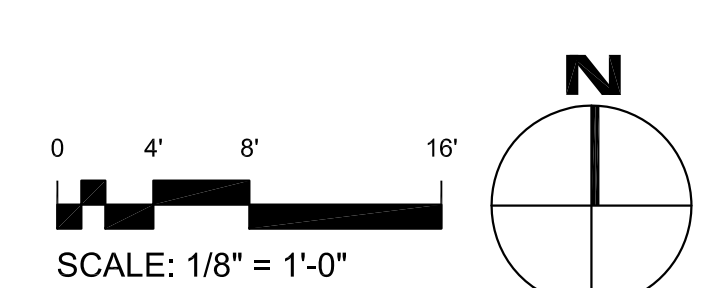
ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE	MISC. NOTES & REQUIREMENTS
TREES				
ACE PAL	<i>Acer palmatum</i>	Japanese Maple	15 G.C.	Mult. SL/N.V.S.-45°/Stem up.
LAG MUS	<i>Lagerstroemia x Musk ogee'</i>	Crape Myrtle (Lavender)	24" Box	Hi. Br./SL/Match
SHRUBS				
CIT MEY	<i>Citrus sp.</i>	Meyer Lemon	15 G.C.	F & B/Br. Gr./Match/S.F.
CIT EUR	<i>Citrus sp.</i>	Eureka Lemon	15 G.C.	F & B/Br. Gr./Match/S.F.
DIE BIC	<i>Dietes bicolor</i>	Fortnight Lily	1 G.C.	
LOR RAZ	<i>Loropetalum chinense 'Razzeleber'</i>	N.C.N.	5 G.C.	
NAN GS	<i>Nandina domestica 'Gulf Stream'</i>	Dwarf Heavenly Bamboo	1 G.C.	F & B
NEP COR	<i>Nephrolepis cordifolia</i>	Southern Sword Fern	1 G.C.	F & B
NER SIS	<i>Merium oleander 'Sister Agnes'</i>	Oleander (White)	5 G.C.	
PIT TEN	<i>Pittosporum tenuifolium</i>	N.C.N.		
PRU CAR	<i>Prunus caroliniana 'Compacta'</i>	Dwarf Carolina Cherry Laurel	5 G.C.	
RUE BRI	<i>Ruellia x Brittonia</i>	Mexican Primrose	5 G.C.	
SAL LEU	<i>Salvia leucantha</i>	Mexican Bush Sage	1 G.C.	F & B/N. Dp. Br.
SOL RAN	<i>Solanum nortonii (Lycianthes)</i>	Paraguay Nightshade	5 G.C.	S.F./Br. Gr./F & B
LAWN (SOD)				
SOD	Sodded lawn shall be "Blue/Rye" mix 100% special blend of Trailblazer and Amigo fescue, available through Mello Turf Ranch, (800) 533-2428, or equal.			

PLANT LIST ABBREVIATIONS:
Note: This list together with the plant list prepared by Taniguchi Landscape Architecture must accompany the contractor's nursery order(s).

- SL Single main, straight, dominant, leader
- H. Br. High branched--lowest limbs held above rootball 5' min. for 15 gallon can 6' min. for 24" box trees
- No Top No topping or pruning of upper branches
- Br. Gr. Branched to ground
- F & B Full dense, bushy, vigorous plants, with young growth closely spaced on branches, no old/woody plants.
- N.V.S.-30 deg. Narrow upright vase shape 30 degrees or less spread in branch/trunk structure
- N.V.S.-45 deg. Narrow upright vase shape 45 degrees or less spread in branch/trunk structure
- No. Whorl. Br. No closely spaced whorled branches. Select even symmetrical branch distribution
- Match Matched size, form, caliper, branching and cultivar. Select from one lot, one grower, for guaranteed consistency through life of plants.
- In general plants within a group or area are to be matched, unless noted otherwise.
- T.F. Tree Form
- S.F. Shrub Form
- N.U.F. Narrow upright Form
- B.R. Bare Root
- B & B Baled and Burlap
- Mult. St. Multi stemmed
- Flat Rooted cuttings from flats at on center distance specified in list. See groundcover/shrub o.c. planting detail for layout.
- Cal. Caliper
- EV. Evergreen
- G.C. Gallon Can
- N.C.N. No Common Name
- Trail F. Select trailing forms for prostrate growth
- Veg. Gr. Vegetative Grown
- Head. F. Hedge Form (clipped)
- Stem up. Stem up to expose trunk and lower branch pattern
- o.c. On center
- N. Dp. Br. No long heavy drooping branches

EXISTING TREE SUMMARY (Refer to arborist report)

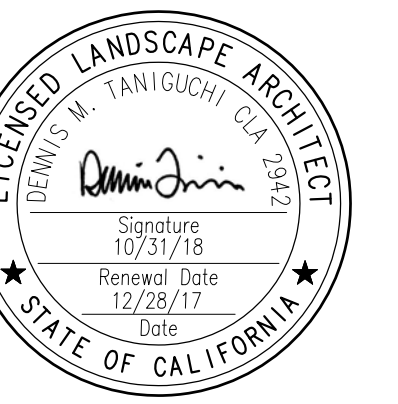
Number	Tree species/Common Name	Trunk Diameter (DBH)	Height (feet)	Spread (feet)	Arborist Summary	Disposition
1	Pinus radiata/Monterey Pine	28.0	65	40	Poor vigor and form	Remove
2	Cedrus deodara/Deodar cedar	15.6	70	25	Fair vigor, poor form	Remove
3	Cedrus deodara/Deodar cedar	7.6	35	15	Good vigor, good form	Remove
4	Cedrus deodara/Deodar cedar	8.1	35	15	Good vigor, good form	Remove
5	Cedrus deodara/Deodar cedar	7.4	31	15	Good vigor, good form	Remove
6	Cedrus deodara/Deodar cedar	29.9	90	45	Good vigor, fair-poor form--limb loss	Remove
7	Sequoia sempervirens/Coast Redwood	11.9	45	15	Poor vigor and form	Remove
8	Ceratonia siliqua/Carob	17.1	25	35	Good vigor, fair form	Retain
9	Ficus carica/Fig	13.7	20	25	Good vigor, fair form	Remove
10	Pseudotsuga menziesii/Douglas Fir	22.5	80	35	Good vigor, fair form	Remove
11	Diospyros kaki/Persimmon	3.0	12	6	Good vigor, good form	Retain
12	Citrus spp./Lime	4.00	10	10	Good vigor, good form	Retain
13	Citrus spp./Lime	4.0	8	10	Good vigor, good form	Retain
14	Citrus spp./Lemon	5.0	12	10	Fair vigor, fair form	Retain
15	Prunus persica/Peach	5.6	12	10	Fair vigor, poor form	Retain
16	Prunus armeniaca/Apricot	6.4	15	12	Good vigor, good form	Retain
17	Prunus spp./Plum	5.6	15	12	Good vigor, good form	Retain
18	Sequoia sempervirens/Coast Redwood	6	15	8	Fair to poor vigor	Retain



I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

Dennis M. Taniguchi

DENNIS M TANIGUCHI, CLA 2942



ISSUE: DESCRIPTION: DATE:
1 PLANNING SUBMITTAL 11/15/17
2 PLANNING RESUBMITTAL 12/28/17

SCALE: 1/8" = 1'-0"
PROJECT NUMBER: 17025.001
SHEET TITLE

IRRIGATION HYDROZONE PLAN: ALTERNATIVE A

SHEET NO.
LA-2

HYDROZONE LEGEND

- LOW WATER USE (6812 SF OR 82% OF PLANTING AREA) (SUBSURFACE DRIP AND/OR DRIP EMITTERS)
- MEDIUM WATER USE (583 SF OR 7% OF PLANTING AREA) (SUBSURFACE DRIP AND/OR DRIP EMITTERS)
- HIGH WATER USE (952 SF OR 11% OF PLANTING AREA) (TURF AREA-POP-UP SPRAY HEADS)

CONCEPTUAL IRRIGATION STATEMENT

- 1 IRRIGATION DESIGN SHALL BE ZONED FOR 1) TURF AND ANNUALS AND OTHER MODERATE TO HIGHER WATER USE PLANT MATERIALS; 2) GROUNDCOVERS, AND 3) NATIVE AND WATER CONSERVING PLANT MATERIALS.
- 2 IRRIGATION DESIGN SHALL ALSO BE ZONED FOR MICRO CLIMATES INCLUDING COOL, SHADED AND PROTECTED AREAS, AS WELL AS HOT, SUNNY AND WINDY AREAS.
- 3 PART SHADE AREAS INCLUDE MODERATE WATER USE AREAS HAVING MORNING AND/OR AFTERNOON SHADE.
- 4 COOL AND FULL SHADY AREAS INCLUDE LOW WATER USE AREAS FOR PLANTS REQUIRING LITTLE OR NO IRRIGATION WATER AND/OR LOCATIONS THAT WILL PROVIDE MOIST CONDITIONS.
- 5 LAYOUT SHALL BE DESIGNED FOR MINIMUM RUNOFF AND OVERSPRAY ONTO NON-LANDSCAPED AREAS.
- 6 LOW VOLUME SPRINKLERS SHALL BE USED WHEREVER POSSIBLE WITH HEAD TO HEAD COVERAGE.
- 7 DRIP EMITTER OR BUBBLER IRRIGATION SHALL BE UTILIZED AT TREES TO PROMOTE DEEP WATERING WHEREVER POSSIBLE.
- 8 DRIP IRRIGATION SHALL BE UTILIZED AT NON-TRAFFIC OR ISOLATED PLANTING AREAS TO DECREASE THE POSSIBILITY OF VANDALISM TO THE MICRO-TUBING.
- 9 THE IRRIGATION CONTROLLER SHALL HAVE AMPLE CAPACITY IN TERMS OF PROGRAMS AND CYCLES THAT WILL MATCH THE COMPLEXITY OF THE LANDSCAPE PLAN FOR MORE EFFICIENT WATERING. FOR EXAMPLE, THE CONTROLLER SHALL HAVE THE ABILITY TO HAVE MULTIPLE CYCLES TO PERMIT A NUMBER OF SHORT DURATION WATERINGS THAT WILL ALLOW WATER TO SOAK INTO THE SOIL RATHER THAN RUN OFF.
- 10 INDIVIDUAL BUBBLERS OR DRIP EMITTERS SHALL BE UTILIZED TO ISOLATE WATER FOR PLANT MATERIALS AND ELIMINATE WATERING OF "BARE GROUND."

STANDARDS FOR IRRIGATION EQUIPMENT

- 1 MAINLINES SHALL BE 1120 PVC-SCHEDULE 40 FOR PIPE SIZE 1 1/2" AND SMALLER, 1120 PVC-CLASS 315 FOR PIPE SIZES 2" AND 2 1/2", BELL AND RING PVC-CLASS 160 FOR PIPE SIZES 3" AND LARGER.
- 2 LATERAL LINES SHALL BE 1120 PVC-CLASS 200.
- 3 DEPTH OF MAINLINE: 24" OF COVER
DEPTH OF LATERAL LINE: 18" OF COVER
DEPTH OF PIPE UNDER PAVING: 24" OF COVER ENCASED IN A SLEEVE
- 4 BACKFLOW PREVENTER SHALL BE A TYPE APPROVED BY AND INSTALLED PER LOCAL CODES.
- 5 SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE CIRCUIT.
- 6 PRECIPITATION RATES FOR SPRINKLERS SHALL MATCH SOIL ABSORPTION RATE.
- 7 SPRINKLERS SHALL HAVE PRESSURE COMPENSATING FEATURE WHENEVER POSSIBLE TO PREVENT FOGGING AND MISTING AND TO PREVENT WIND DRIFT.
- 8 SPRINKLER CIRCUIT SHALL HAVE A CHECK VALVE INSTALLED WHERE NECESSARY TO MINIMIZE OR PREVENT LOW HEAD DRAINAGE.
- 9 RAIN SENSING OVERRIDE DEVICES SHALL BE INSTALLED WITH CONTROLLER.
- 10 IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION OF THE PRIMARY POWER SOURCE.
- 11 PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO MAINTAIN DYNAMIC PRESSURE WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
- 12 MANUAL SHUT-OFF VALVES TO BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE IRRIGATION WATER SUPPLY.

NOTES:

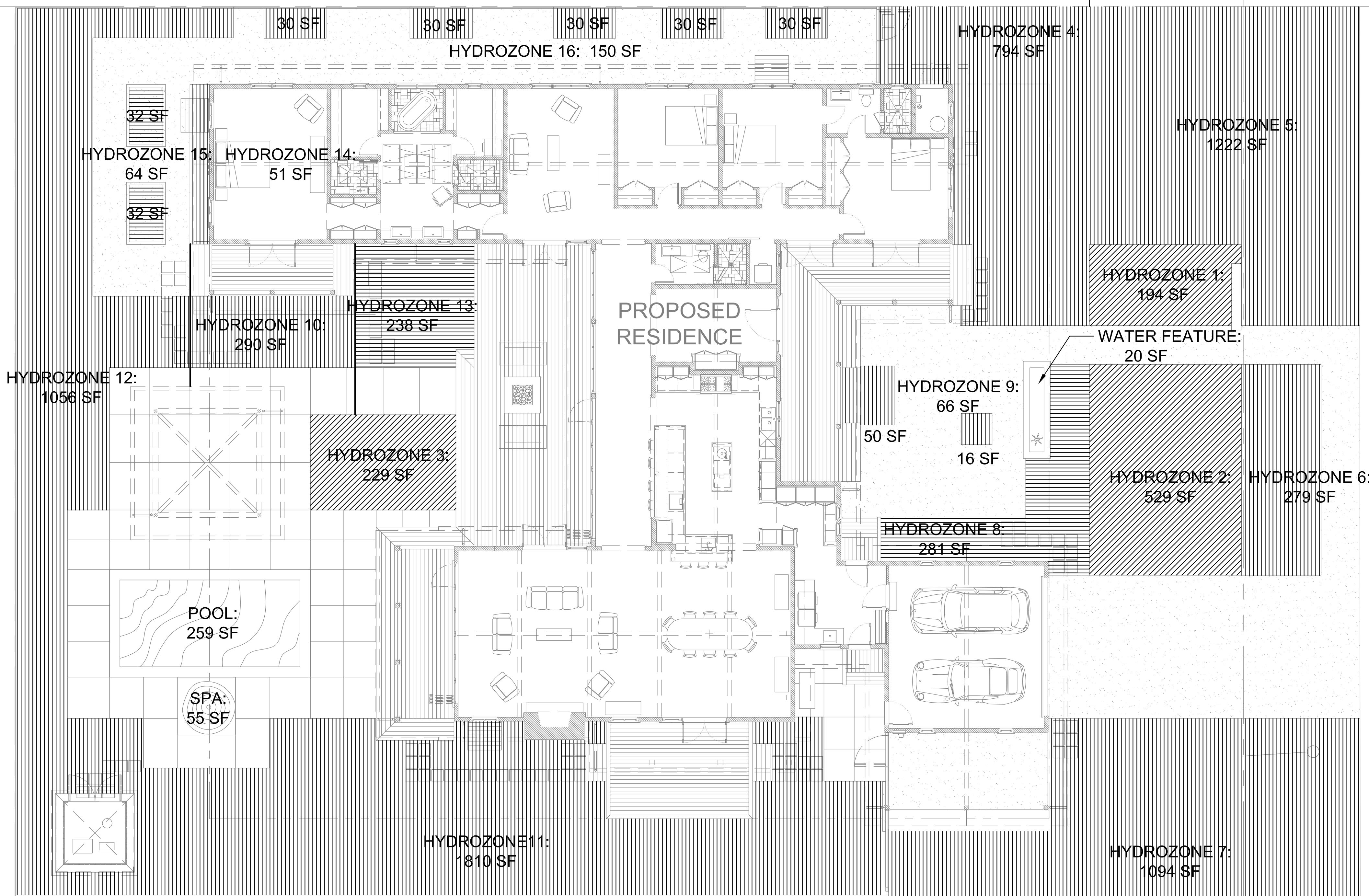
- 1 IRRIGATED PLANTED AREA= 8347 SF
TURF IS 11% (952 SF) OF THAT PLANTED AREA
- 2 A MINIMUM 3-INCH LAYER OF 1/2" TO 1" DIAMETER FIR OR PINE BARK MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS.
- 3 UNLESS CONTRAINDICATED BY A HORTICULTURAL SOILS ANALYSIS, SOIL AMENDMENT TO INCLUDE COMPOST AT A MINIMUM OF 4 CUBIC YARDS PER 1000 SF OF PLANTING AREA INCORPORATED TO A DEPTH OF 6 INCHES.
- 4 PLANT MATERIAL SPECIES ARE DROUGHT TOLERANT INTRODUCED OR NATIVE AND NON-INVASIVE PLANT SPECIES (AS DEFINED BY THE CALIFORNIA INVASIVE PLANT COUNCIL). DROUGHT TOLERANCE IS AS DEFINED IN "PLANTS AND LANDSCAPES FOR SUMMER-DRY CLIMATES OF THE SAN FRANCISCO BAY REGION" BY THE EAST BAY MUNICIPAL UTILITY DISTRICT.

SOD IS SELECTED FROM A REDUCED IRRIGATION NEED SEED MIX.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

Dennis M. Taniguchi

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OAKHURST AVENUE

Water Efficient Landscape Worksheet: 1460 Oakhurst (12/28/2017)

Reference Evapotranspiration (Eto)	43 (Los Altos)						Estimated Total Water Use (ETWU)
	ETWU requirement	ETWU requirement	ETWU requirement	ETWU requirement	MAWA requirement	ETWU requirement	
Hydrozone#/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	
Regular Landscape Areas							
#1 Turf	0.7	Overhead Sprink	0.75	0.933	194	181.07	4,827
#2 Turf	0.7	Overhead Sprink	0.75	0.933	529	493.73	13,163
#3 Turf	0.7	Overhead Sprink	0.75	0.933	229	213.73	5,698
#4 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	794	196.05	5,227
#5 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	1,222	301.73	8,044
#6 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	279	68.89	1,837
#7 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	1,094	270.12	7,201
#8 Mixed shrubs/groundcover	0.5	Drip	0.81	0.617	281	173.46	4,624
#9 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	66	16.30	434
#10 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	209	51.60	1,376
#11 Mixed shrubs/groundcover	0.7	Drip	0.81	0.864	1,810	1,564.20	41,702
#12 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	1,056	260.74	6,951
#13 Mixed shrubs/groundcover	0.5	Drip	0.81	0.62	238	147	3,917
#14 Mixed shrubs/groundcover	0.2	Drip	0.81	0.25	51	13	336
#15 Kitchen garden	0.5	Drip	0.81	0.62	64	40	1,053
#16 Mixed shrubs/groundcover	0.2	Drip	0.81	0.25	150	37	27
				Totals		8,266	4,027.67
Special Landscape Areas (SLA)							
1) Pool				1	259	259	6,905
2) Spa				1	55	55	1,466
3) Water feature				1	20	20	533
				Totals	334	334	8,904
						Estimated Total Water Use (ETWU)	107,378
						Maximum Allowed Water Allowance (MAWA)	108,072

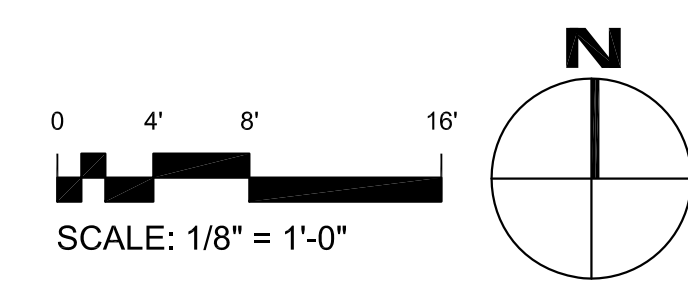
Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0.4-0.6		
high	0.7-1.0		

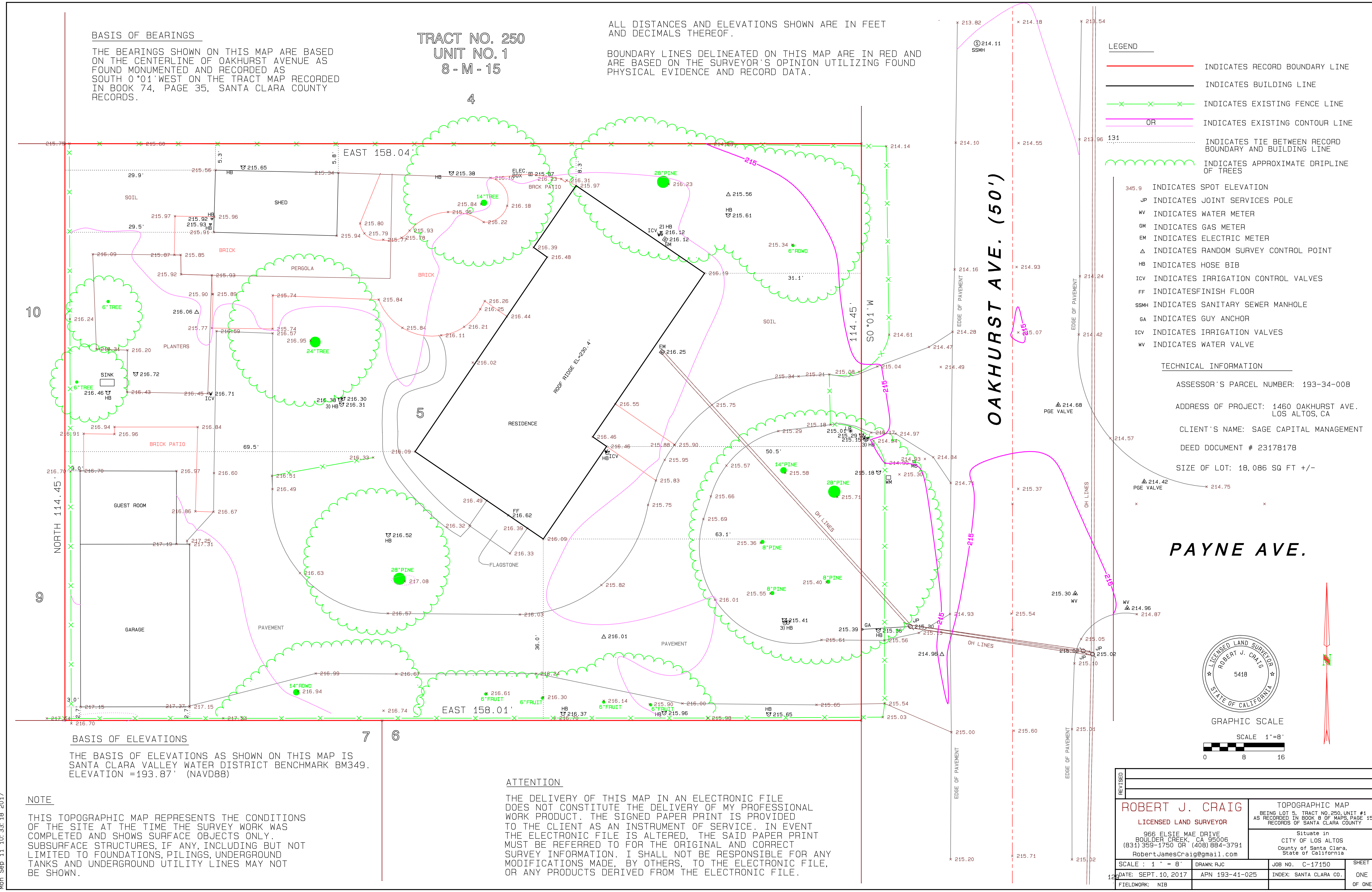
MAWA (annual gallons allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]

where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area	4,028
Total Area	8,266
Average ETAF	0.49

All Landscape Areas	
Total ETAF x Area	4,362
Total Area	8,600
Sitewide ETAF	0.51





BASIS OF BEARINGS
 THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF OAKHURST AVENUE AS FOUND MONUMENTED AND RECORDED AS SOUTH 0°01' WEST ON THE TRACT MAP RECORDED IN BOOK 74, PAGE 35, SANTA CLARA COUNTY RECORDS.

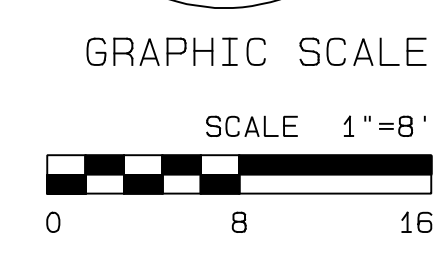
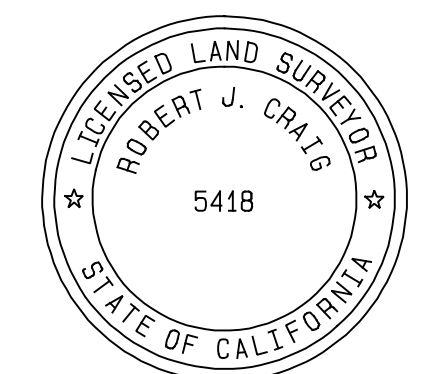
**TRACT NO. 250
 UNIT NO. 1
 8 - M - 15**

ALL DISTANCES AND ELEVATIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
 BOUNDARY LINES DELINEATED ON THIS MAP ARE IN RED AND ARE BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA.

- LEGEND**
- INDICATES RECORD BOUNDARY LINE
 - INDICATES BUILDING LINE
 - x—x—x— INDICATES EXISTING FENCE LINE
 - OR — INDICATES EXISTING CONTOUR LINE
 - INDICATES TIE BETWEEN RECORD BOUNDARY AND BUILDING LINE
 - ~~~~~ INDICATES APPROXIMATE DRIPLINE OF TREES
 - 345.9 INDICATES SPOT ELEVATION
 - JP INDICATES JOINT SERVICES POLE
 - WV INDICATES WATER METER
 - GM INDICATES GAS METER
 - EM INDICATES ELECTRIC METER
 - Δ INDICATES RANDOM SURVEY CONTROL POINT
 - HB INDICATES HOSE BIB
 - ICV INDICATES IRRIGATION CONTROL VALVES
 - FF INDICATES FINISH FLOOR
 - SSMH INDICATES SANITARY SEWER MANHOLE
 - GA INDICATES GUY ANCHOR
 - ICV INDICATES IRRIGATION VALVES
 - WV INDICATES WATER VALVE

TECHNICAL INFORMATION
 ASSESSOR'S PARCEL NUMBER: 193-34-008
 ADDRESS OF PROJECT: 1460 OAKHURST AVE. LOS ALTOS, CA
 CLIENT'S NAME: SAGE CAPITAL MANAGEMENT
 DEED DOCUMENT # 23178178
 SIZE OF LOT: 18,086 SQ FT +/-

PAYNE AVE.



BASIS OF ELEVATIONS
 THE BASIS OF ELEVATIONS AS SHOWN ON THIS MAP IS SANTA CLARA VALLEY WATER DISTRICT BENCHMARK BM349. ELEVATION = 193.87' (NAVD88)

NOTE
 THIS TOPOGRAPHIC MAP REPRESENTS THE CONDITIONS OF THE SITE AT THE TIME THE SURVEY WORK WAS COMPLETED AND SHOWS SURFACE OBJECTS ONLY. SUBSURFACE STRUCTURES, IF ANY, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, PILING, UNDERGROUND TANKS AND UNDERGROUND UTILITY LINES MAY NOT BE SHOWN.

ATTENTION
 THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. I SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.

ROBERT J. CRAIG LICENSED LAND SURVEYOR		TOPOGRAPHIC MAP BEING LOT 5, TRACT NO. 250, UNIT #1 AS RECORDED IN BOOK 8 OF MAPS, PAGE 15 RECORDS OF SANTA CLARA COUNTY	
966 ELSTE MAE DRIVE BOULDER CREEK, CA 95006 (831) 359-1750 OR (408) 884-3791 RobertJamesCraig@gmail.com		SITUATE IN CITY OF LOS ALTOS County of Santa Clara, State of California	
SCALE: 1" = 8'	DRAWN: RJC	JOB NO.: C-17150	SHEET ONE
DATE: SEPT. 10, 2017	APN 193-41-025	INDEX: SANTA CLARA CO.	OF ONE
FIELDWORK: N18			

Mon Sep 11 10:33:18 2017