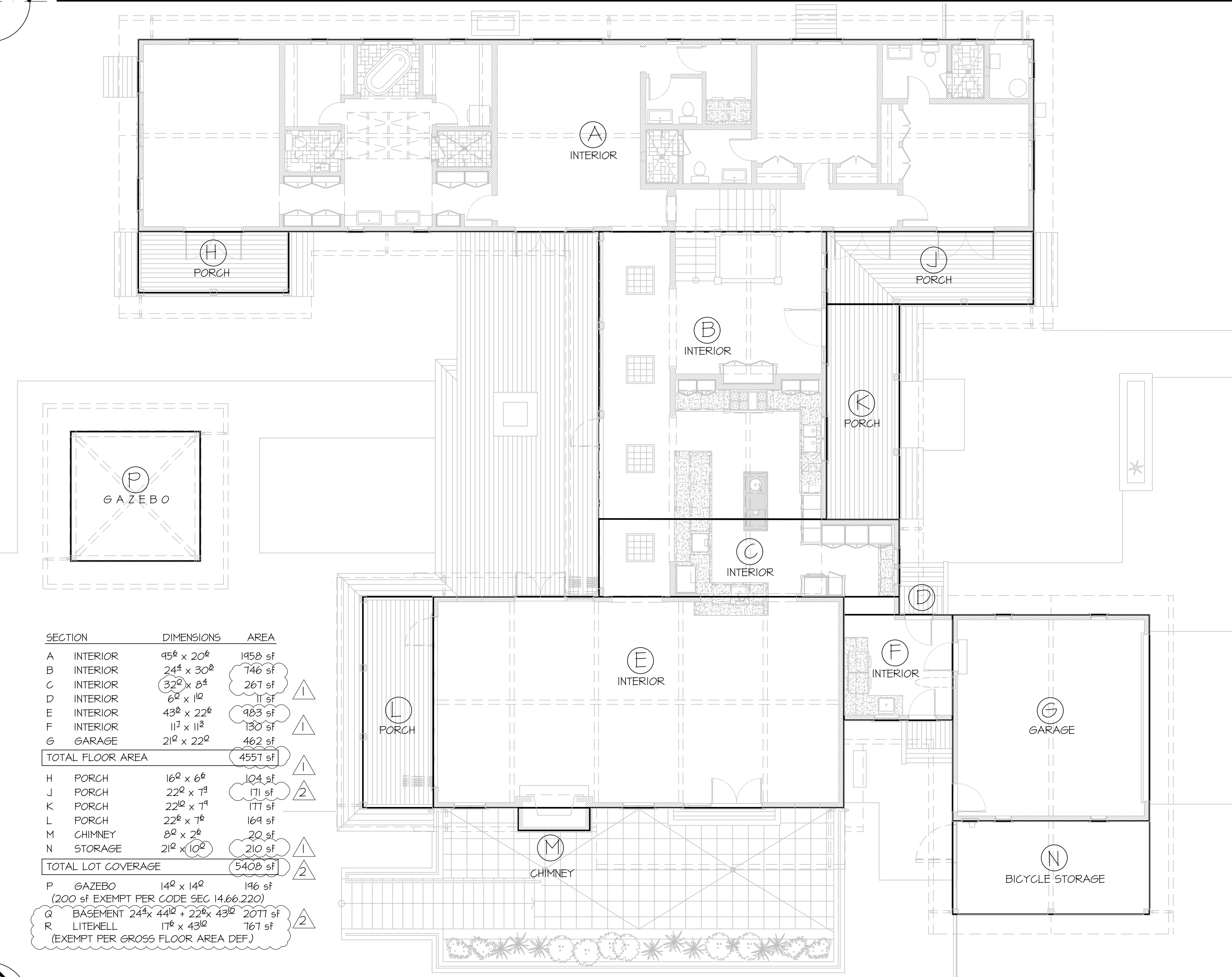


# FLOOR AREA AND COVERAGE CALCULATIONS

SCALE: 1/8" = 1'-0"



# PROJECT SUMMARY TABLE

## ZONING COMPLIANCE

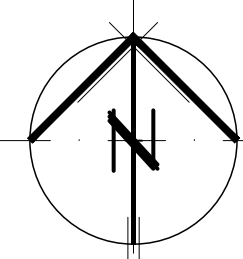
	EXISTING	PROPOSED	ALLOWED / REQUIRED
LOT COVERAGE	3340 sf 18.5%	5408 sf 29.4%	5426 sf 30% (UNDER REG'S FOR 2-STORY APPLICATION)
FLOOR AREA	3340 sf	4551 sf	4560 sf 25.2%
SETBACKS			
FRONT	33 ft	37'-6" (HOUSE) 25'-1" (GAR)	25 ft
REAR	68 ft	25'-1"	25 ft
RIGHT SIDE	10 ft	10'-1"	10 ft
LEFT SIDE	35 ft	22'-1" (HOUSE) 11'-1" (GAR)	10 ft
HEIGHT	17 ft	23'-0"	21 ft (UNDER REG'S FOR 2-STORY APPLICATION)

## SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	2120 sf	4052 sf	6172 sf
NON-HABITABLE AREA	1120 sf	-658 sf	462 sf

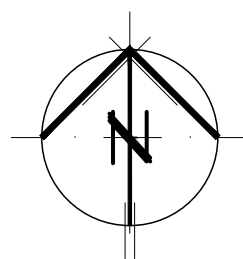
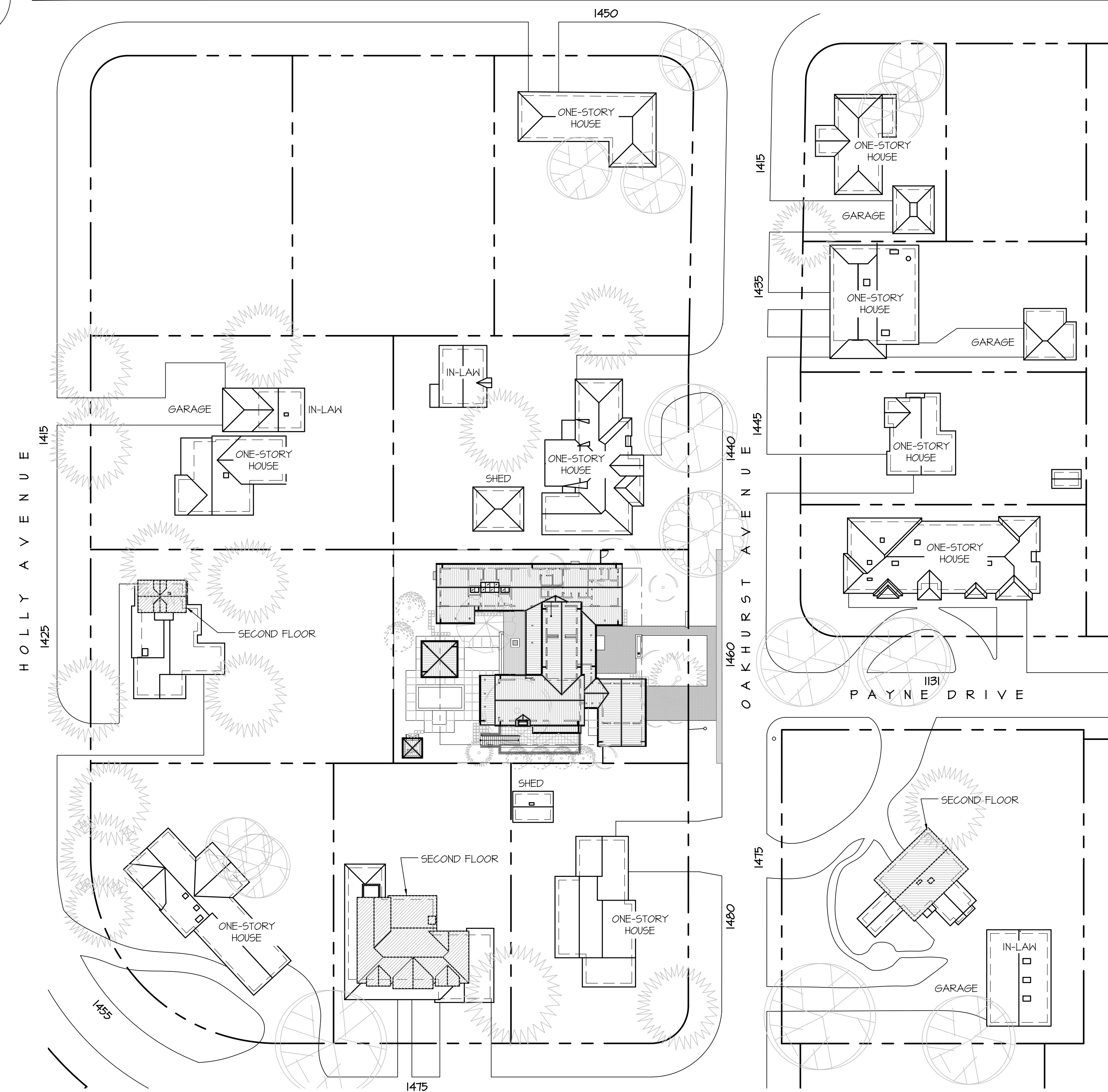
## LOT CALCULATIONS

NET LOT AREA:	18,081 sf
FRONT YARD HARDSCAPE AREA:	1450 sf = 8.0%
LANDSCAPE BREAKDOWN:	
TOTAL HARDSCAPE AREA:	4473 sf
NEW SOFTSCAPE AREA:	8206 sf
HOUSE FOOTPRINT:	5408 sf



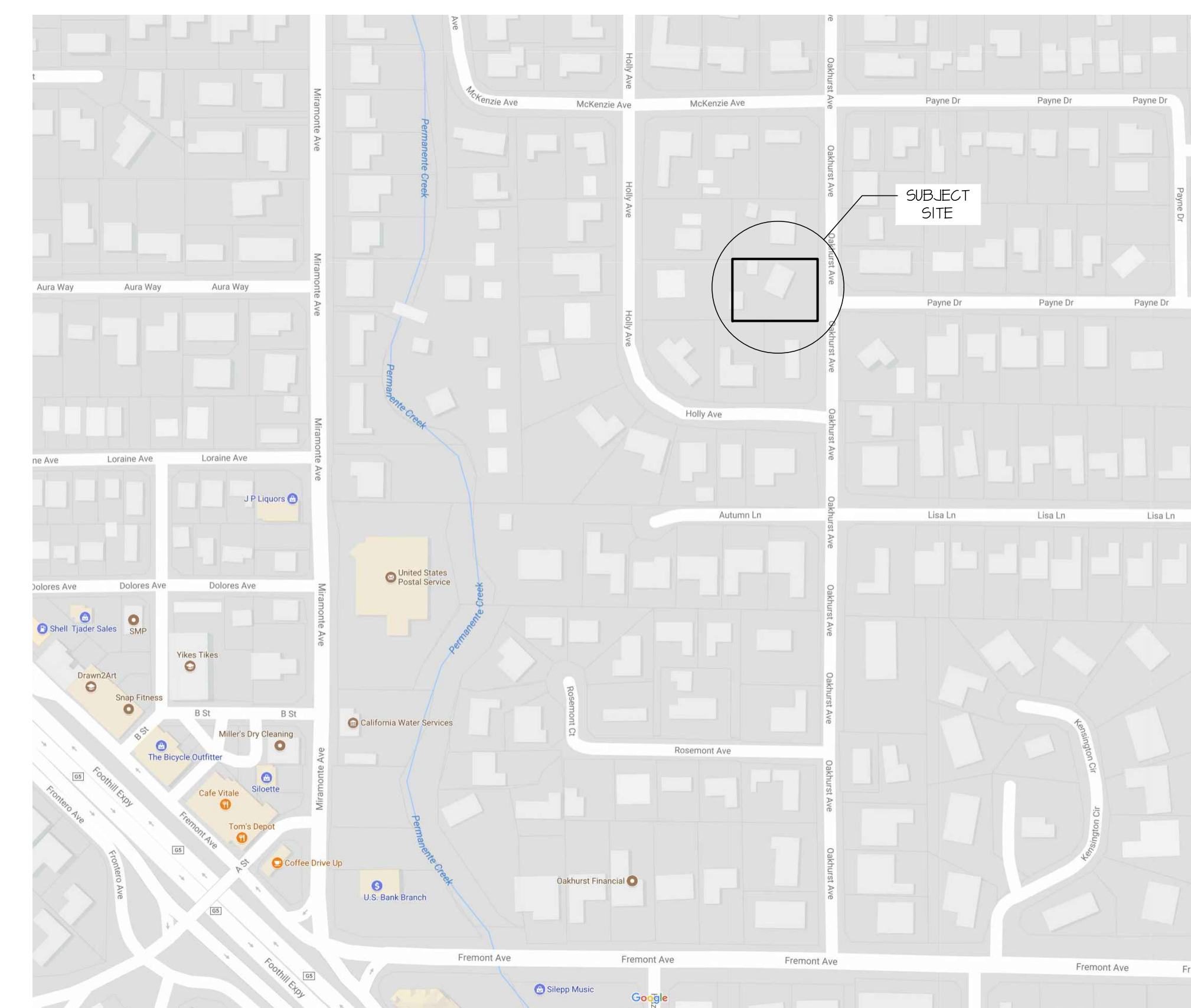
# NEIGHBORHOOD CONTEXT MAP

SCALE: 1" = 40'-0"



# VICINITY MAP

SCALE: 1" = 150'-0"



# DRAWING INDEX

- A0 AREA CALCS, PROJ. SUMMARY
- A1 SITE/ ROOF/ TREE PROTECTION
- A2 FLOOR PLAN- MAIN FLOOR
- A3 FLOOR PLAN- CLERESTORY
- A4 EXTERIOR ELEVATIONS E & W
- A5 EXTERIOR ELEVATIONS N & S
- A6 BUILDING SECTIONS A & B
- C1 GRADING & DRAINAGE PLAN
- C2 STAGING & EROSION CONTROL
- L1 LANDSCAPE PLANTING PLAN
- L2 IRRIGATION PLAN & CALCS
- PI TOPO AND EXISTING COND'S

# SITE STATISTICS

ZONING	RI-10
LOT AREA	18,081 SF (114'-6" WIDE X 158'-0")
SETBACKS	
FRONT (25ft MIN)	
MAIN HOUSE	37'-6"
GARAGE	25'-1"
REAR (25ft MIN)	
LIVING WING	50'-1"
BDRM WING	25'-1"
GAZEBO (5'-0" MIN)	15'-1"
SIDE (10ft MIN)	
MAIN HOUSE- NORTH	10'-1"
GARAGE- SOUTH	11'-1"
MAIN HOUSE- SOUTH	22'-1"
EXISTING STRUCTURES TO BE DEMOLISHED AND REMOVED	
HOUSE	1820 sf
IN-LAM	300 sf
GARAGE	1120 sf
TOTAL FLOOR AREA	3340 sf
PROPOSED HOUSE	
FLOOR AREA ALLOWED: 3850 + 10% (18,081 - 11,000) = 4560 SF	
HOUSE	4044 sf
GARAGE	462 sf
TOTAL FLOOR AREA	4551 sf
COVERED PORCHES	851 sf
TOTAL LOT COVER	5408 sf
LOT COVERAGE (30% MAX)	29.9%
HOUSE HEIGHT (21 FT MAX)	23'-0"
PARKING (2 TOTAL, 1 COVERED)	2 TOTAL, 2 ENCLOSED (GAR. INT. 21'-0" W X 20'-0" D)
OCCUPANCIES	R-3, U
CONSTRUCTION	V-B, W FIRE SPRINKLERS

# CODES AND CONDITIONS

DESIGN BASED ON THE CALIFORNIA BUILDING CODE 2016 EDITION, CONSTRUCTION TO CONFORM TO ALL APPLICABLE SECTIONS OF THIS CODE AND THE 2016 CALIFORNIA RESIDENTIAL CODE.

ALL ELECTRICAL MATERIALS & METHODS TO CONFORM TO THE 2016 CALIFORNIA ELECTRICAL CODE AND CALGREEN 2016.

ALL MECHANICAL & PLUMBING MATERIALS & METHODS TO CONFORM TO THE 2016 CALIFORNIA PLUMBING & MECHANICAL CODES AND CALGREEN 2016.

SITE IS LOCATED WITHIN SEISMIC DESIGN CATEGORY D.

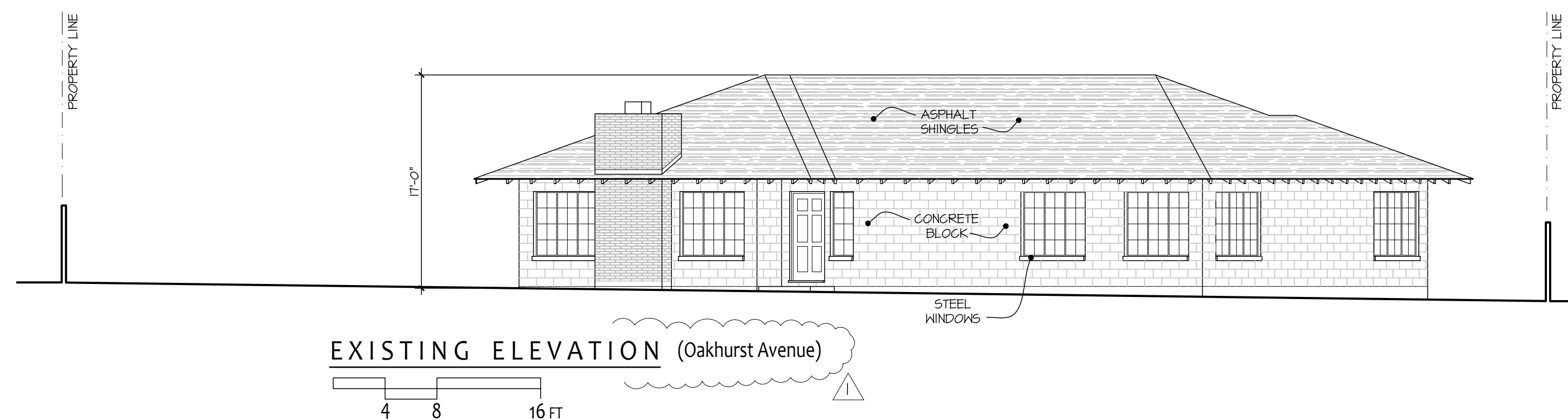
SITE IS CLASSIFIED AS WIND EXPOSURE CATEGORY B.

SITE IS IN CALIFORNIA ENERGY COMMISSION CLIMATE ZONE 4.

OCCUPANCY TYPES: R3, U CONSTRUCTION TYPE: VB

# SCOPE OF WORK

- NEW 1-STORY HOUSE WITH 4044 SF INTERIOR, 462 SF GARAGE, 1274 SF OF COVERED PORCH, AND A 200 SF FREE-STANDING POOL GAZEBO.
  - NEW WOOD DECKS- 850 SF (PLUS 750 SF COVERED PORCHES= 1600 SF OF DECKS, TOTAL). ALL-NEW LANDSCAPING (RETAIN MONTEREY PINE, BACK YARD REDWOOD, CAROB, & VARIOUS FRUIT TREES).
  - NOTE: POOL AND SPA WILL BE SEPARATELY PERMITTED- NOT PART OF THIS FLAGSHIP.
  - NOTE: REMOVE ALL EXISTING STRUCTURES FROM SITE (SEE SHEET A1). ABANDON ALL UTILITIES. REMOVE TREES LISTED (SEE SHEET A1).
- WE HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN (IRRIGATION DRAWINGS SIGNED BY THE LICENSED LANDSCAPE PROFESSIONAL); AND, WE AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND WILL SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE (SIGNED BY THE OWNER/APPLICANT).



**Guy Ayers, Architect**  
 26969 Moody Road  
 Los Altos Hills, CA 94022  
 gvyayer@comcast.net

PROJECT BOOK  
 DATE: 21 MAR 2016  
 SCALE: AS NOTED  
 DRAWN: EA  
 CHECKED:

**New Residence for Glen Yonekura**  
 1460 OAKHURST AVE, LOS ALTOS  
 APN 143-41-025

REVISIONS  
 NO. DESCRIPTION  
 01 DESIGN REVIEW COMMENTS INCORPORATE LETTER  
 02 DESIGN REVIEW COMMENTS INCORPORATE LETTER

DATE: 21 MAR 2016  
 18 JAN 2016

REGISTERED ARCHITECT  
 GUY AYERS  
 C - 21791  
 REG. 9/31/19

DWG. NO.  
**A0**

**SITE / ROOF PLAN NOTES**

- CLASS 1' 5" 12 (2.5) OVER PORCH PAINTED METAL CONCEALED FASTENER SEAM ROOF SYSTEM (7500 SFI) METEORO MORIN 24ga 58L-16 VERTICAL SEAM FLAT PAN w/ 1 3/4" RIBS @ 16" OC. COLOR: VALSPAR ZINC GRAY. PROVIDE ONE LAYER CERTAINTED WATERGUARD WATERPROOFING MEMBRANE UNDERLAYMENT (OR EQUIVALENT MEETING ASTM D707) OVER ENTIRE ROOF. PROVIDE FACTORY-FINISHED GABLE AND VALLEY FLASHINGS TO MATCH ROOFING COLOR & FINISH. PROVIDE FACTORY-FINISHED SIDEWALL FLASHING TO MATCH ROOF AT ALL CHIMNEYS, SKYLIGHT CURBS, AND SIDEWALLS- SEE ROOF DETAILS.
- CATHEDRAL CEILINGS ARE UNVENTILATED- CONSTRUCTION TO FOLLOW CRC SECTION R202.4 (5.3) INSULATION REQUIREMENTS- SEE ARCHITECTURAL BUILDING SECT'S.
- PROVIDE 48" HALF-ROUND 24 GA UNFINISHED DOWNSPOUTS- SEE ROOF PLAN FOR LOCATIONS. THE DOWNSPOUTS TO PERCOLATION TRENCHES- SEE CIVIL GRADING & DRAINAGE PLAN.
- ALL SKYLIGHTS TO BE FIXED DOUBLE PANE "ENER-G-ADVANTAGE" GLASS IN CURB- MOUNTED CLEAR ANODIZED ALUMINUM FRAMES- PROVIDE TEMPERED GLASS EXTERIOR PANE OVER CLEAR LOW-E LAMINATED GLASS INTERIOR PANE WITH 230" THICK POLYVINYL BUTIRAL INTERLAYER PER CSC SECT. 2401. SKYLITE FABRICATOR: INTERLITE, CAPITOLA, CA (931-462-1100). SEE ROOF PLAN AND STRUCTURAL ROOF FRAMING DRAWINGS FOR SKYLIGHT CURB DIMS. SEE WALL SECTIONS FOR CURB DETAILS.
- MAINTAIN 8" MINIMUM CLEARANCE BETWEEN SOIL AND WOOD FRAMING AT FOUNDATIONS. SLOPE FINISHED GRADE 5% AWAY FROM FOUNDATIONS FOR 5'-0" MIN.
- PROVIDE 2" SHOTCRETE VAPOR RETARDER IN CRAWLSPACE TO MEET CRC 402.2 REQUIREMENTS- PROVIDE (2) 5 1/2" x 14 1/2" x 1/4" OPEN WIRE MESH CRAWLSPACE VENTS @ 18"-0" OC- SEE FND PLAN FOR LOKS CLEAR VENT AREA (0.25% MIN). EPOXY WIRE MESH TO INSIDE FACE OF FND WALLS- SEE DETAIL 1/4. VENT AREA REQ'D: 3800 SF / 150' 26 SF. AREA PROVIDED= 52 x 0.525 SF= 27 SF.
- DRIVEWAY GRAVEL PAVING: GRANITE ROCK "CRUSHED GRANITE FINES" IN HARBIN MULTI-COLOR (TERRA-GOTTA YELLOW) OVER 4" COMPACTED ROAD BASE.
- PER SECTION 1210 OF THE MUNICIPAL CODE RESIDENCE REQUIRED TO HAVE FIRE SPRINKLER SYSTEM DESIGNED PER NFPA 13D AND SANTA CLARA COUNTY FIRE DISTRICT AMENDMENTS. SUBMIT SHOP DRAWINGS, CALCUS AND A PERMIT APPLICATION TO THE SANTA CLARA COUNTY FIRE DEPARTMENT FOR APPROVAL PRIOR TO SYSTEM INSTALLATION. THIS WILL BE A DEFERRED SUBMITTAL (AFTER BUILDING PERMIT IS ISSUED). INCLUDE THE PLAN CHECK NUMBER ON YOUR SUBMITTAL AND IN ALL CORRESPONDENCE. NOTE: REQUIRED FIRE HYDRANT LOCATIONS AT 20 PSI = 1800 GPM- VERIFY FLOWS W/ CALIFORNIA WATER CO.
- PROVIDE 6'-0" WOOD FENCE MEETING CRC AG105.2 (1-1) POOL BARRIER REQUIREMENTS WITH 48" HIGH X 12" TALL WOOD OUTSINKING ACCESS GATES MEETING CRC SECT. AG105.2 (2) AND GATE LATCH MEETING SECT'S AG105.2 (3) & (4) & (5). PROVIDE MIN. 12" TALL WOOD LATTICE AT SIDEWALK FENCES PER PLANNING CONDITIONS OF APPROVAL.
- PROVIDE 6'-0" TALL CHAINLINK TREE PROTECTION FENCING @ TREES #1, 12, & 22 PER PLANNING CONDITIONS OF APPROVAL. PROVIDE 6"x2" STEEL FENCE POSTS DRIVEN 24" INTO GROUND @ 10'-0" OC MAX- SEE ARBORIST TREE PROTECTION PLAN NOTES, BELOW.
- ANY DAMAGED R.O.W. INFRASTRUCTURE AND DISPLACED CURB & GUTTER OR SIDEWALK & ROADWAY SHALL BE REPLACED TO CURRENT CITY STDS AS DIRECTED BY THE CITY ENGINEER. CONTRACTOR SHALL COORDINATE W/ PUBLIC WORKS DEPT. AT 650-441-2650 FOR DETAILS PRIOR TO PAVING PERMIT.
- PRIOR TO THE COMMENCEMENT OF WORK DONE IN PUBLIC R.O.W., A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQ'D.
- AIR CONDITIONING EQUIPMENT MUST BE LOCATED TO COMPLY WITH THE CITY OF LOS ALTOS NOISE CONTROL ORDINANCE (L.A.M.C. 16.8). SETBACKS LESS THAN 25'-0" MAY REQUIRE CERTIFICATION FROM AN ACOUSTICAL ENGINEER.

**Tree Protection Plan:**  
 Tree protection zones should be established and maintained throughout the entire length of the project. Tree protection is mandatory for trees that are of a protected size. Fencing for the protection zones should be 6 feet tall metal chain link type supported by 2 inch diameter metal posts pounded into the ground to a depth of no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be placed at a minimum distance equal to the tree drip lines, and at a maximum distance of 10 times the trees diameters where possible. Where tree protection fencing cannot be placed at the dripline because of the proposed work, tree protection should be placed as close as possible to the proposed work while still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. If tree protection zones need to be reduced for access then a landscape buffer shall be installed where tree protection does not extend out to 10 times the trees diameters for the protected trees on site. For the smaller non-protected trees no protection is required, although it is recommended if a tree is to be retained by placing fencing at the dripline of the trees.

**Landscape Buffer**  
 Where tree protection does not cover the entire root zone of the trees (10 times diameter), or where a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone.

**Tree Pruning**  
 During construction any trimming will be supervised by the site arborist and must stay underneath 25% of the trees total foliage. At this time no pruning is proposed. All pruning shall be done by a licensed tree care provider.

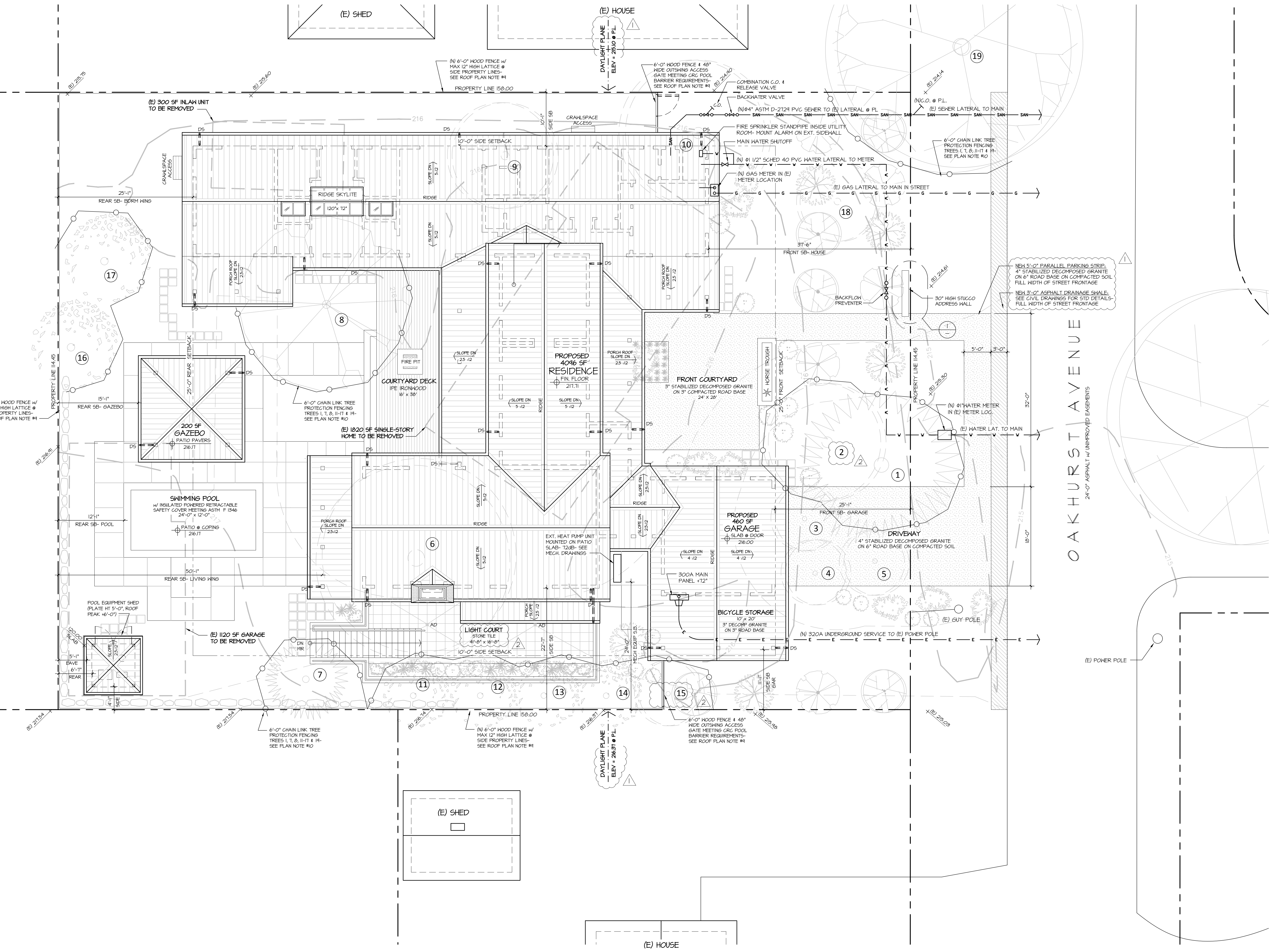
**Root Cutting**  
 Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend irrigation and a tree monitoring program at that time. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with burlap and kept moist.

**Trenching and Excavation**  
 Trenching and excavation shall strive to stay outside of the tree protection zones. If not possible trenching for any reason, should be hand dug when beneath the dripline of desired trees. Hand digging and careful placement of pipes below or beside protected roots will dramatically reduce root loss, thus reducing trauma to desired trees. Trenches should be back filled as soon as possible using native materials and compacted to near original levels. Trenches to be left open shall exposed roots shall be covered with burlap and kept moist. Plywood laid over the trench will help to protect roots below.

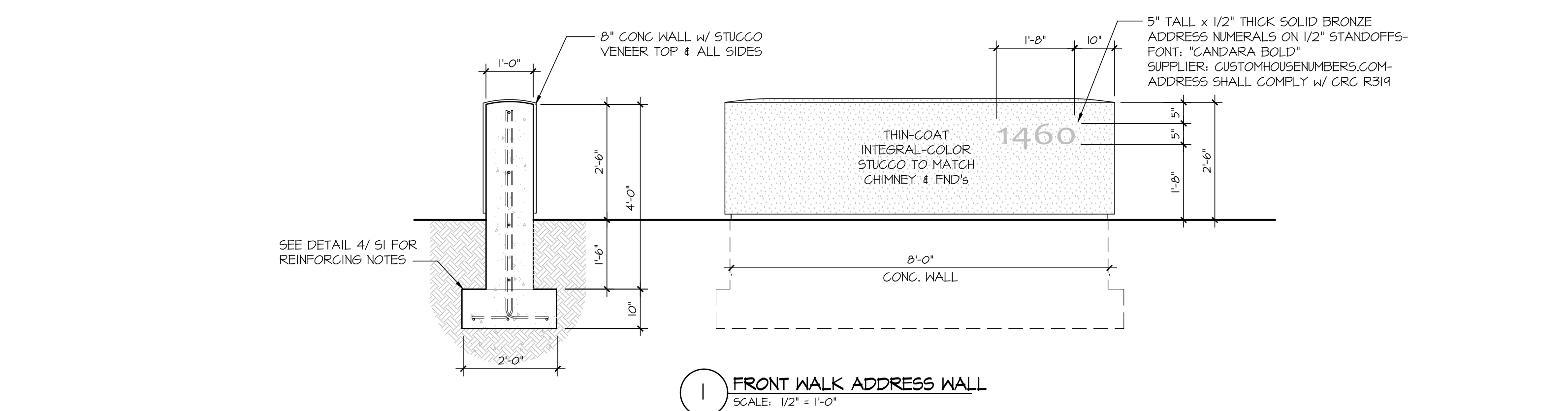
**Irrigation**  
 Normal irrigation should be maintained throughout the entire length of the project. Irrigation should consist of surface flooding, with enough water to wet the entire root zone once a month during the dry season. The top 18 inches of soil shall be saturated. If a root zone is transpired the type of irrigation should be carried on two times per month during the dry season. No irrigation shall be applied to the native oak tree on site unless its root zone is transpired.

**Inspections**  
 The site will be inspected after the tree protection measures are installed and before the start of construction. It is the contractor's responsibility to notify the site arborist when construction is to start, and whenever there is to be work performed within the 10 times the diameter of a protected tree or a neighbor tree on site at least 48 hours in advance. Kathy Adreest Services can be reached at 650-515-9783(Kovav), 650-532-4418(David), or by email at kkar0604@yahoo.com

This information should be kept on site at all times. The information included in this report is believed to be true and based on sound arboricultural principles and practices.

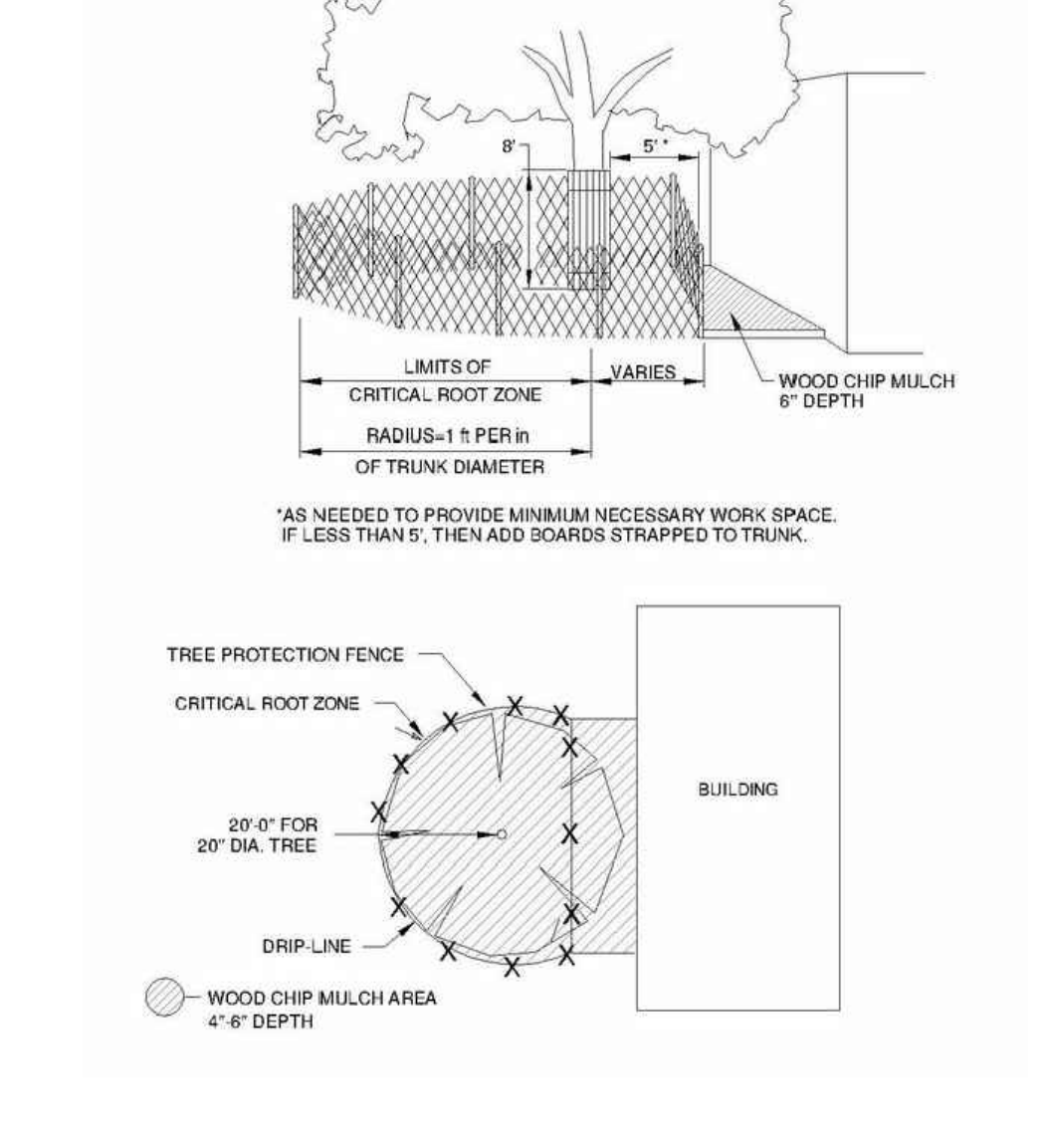


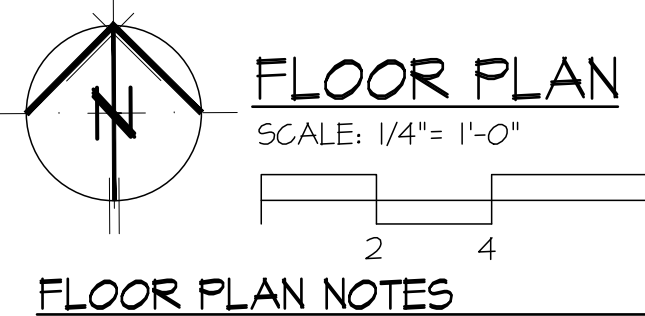
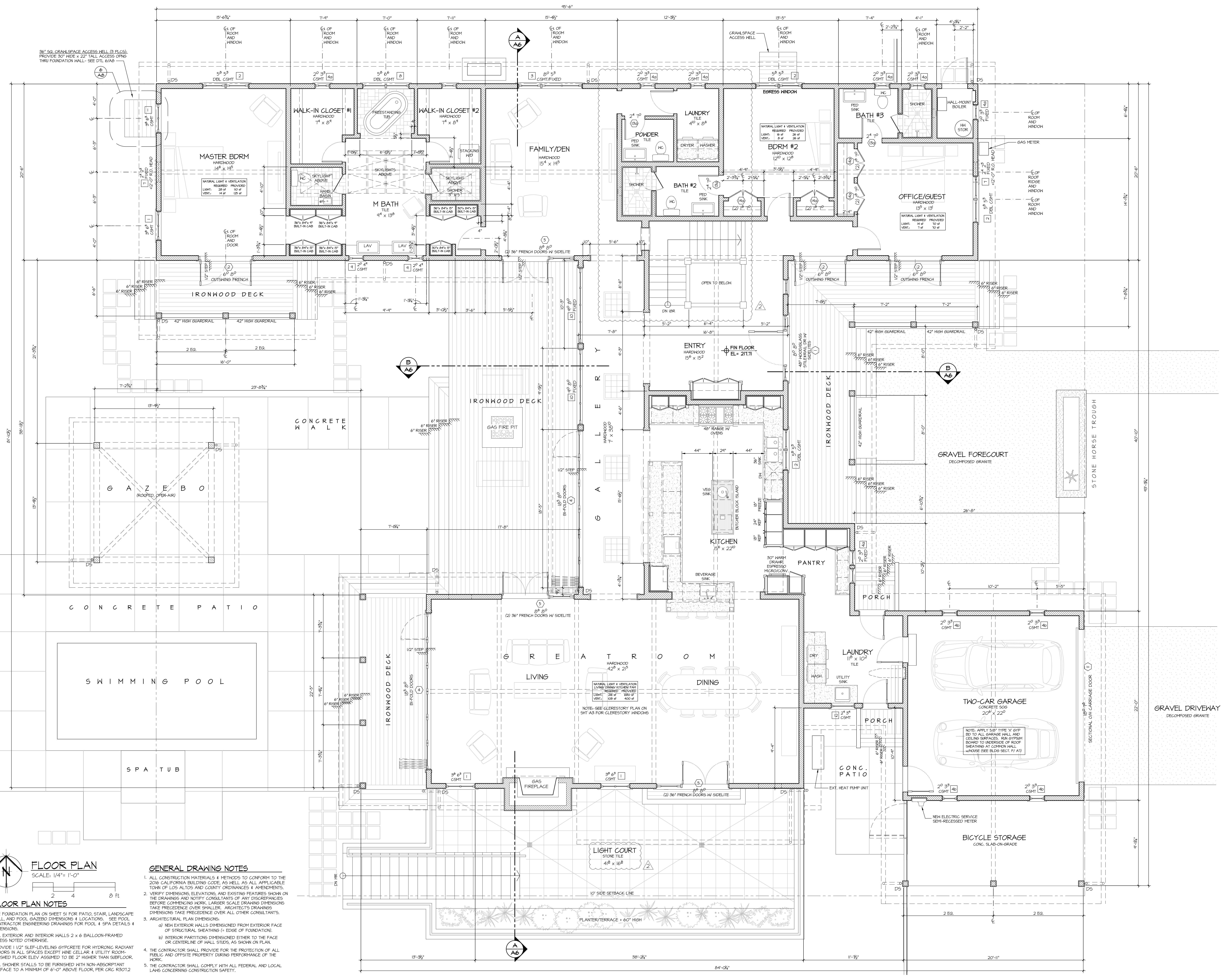
**S I T E A N D R O O F P L A N**  
 SCALE: 1/8" = 1'-0"  
 4 8 16 FT



**EXISTING TREE SCHEDULE**

Tree ID	Species	Retention Status	Canopy Size
1	28" Monterey Pine	RETAIN	24'-0" Canopy
2	16" Deodar Cedar	RETAIN	24'-0" Canopy
3	8" Deodar Cedar	REMOVE	
4	8" Deodar Cedar	REMOVE	
5	7" Deodar Cedar	REMOVE	
6	30" Deodar Cedar	REMOVE	
7	12" Redwood	RETAIN	10'-0" Canopy
8	17" Carob	RETAIN	15'-0" Canopy
9	14" Fig	REMOVE	
10	23" Douglas Fir	REMOVE	
11	3" Persimmon	RETAIN	
12	4" Lime	REMOVE	
13	4" Lime	REMOVE	
14	5" Lemon	RETAIN	
15	6" Peach	REMOVE	
16	6" Apricot	RETAIN	
17	6" Apricot	RETAIN	
18	6" Redwood	REMOVE	
19	33" Live Oak	Neighbor's (Protect)	28'-0" Canopy





**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

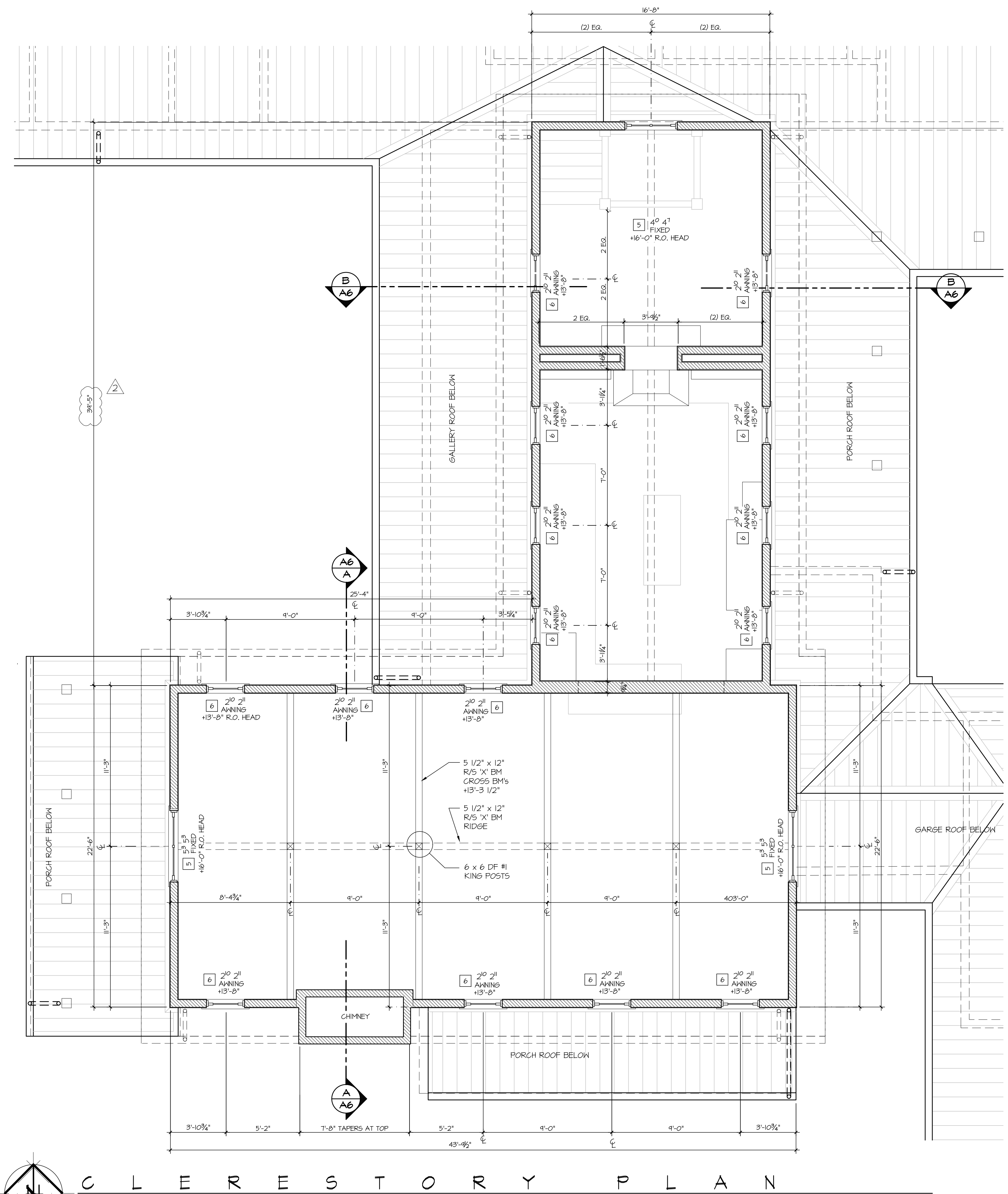
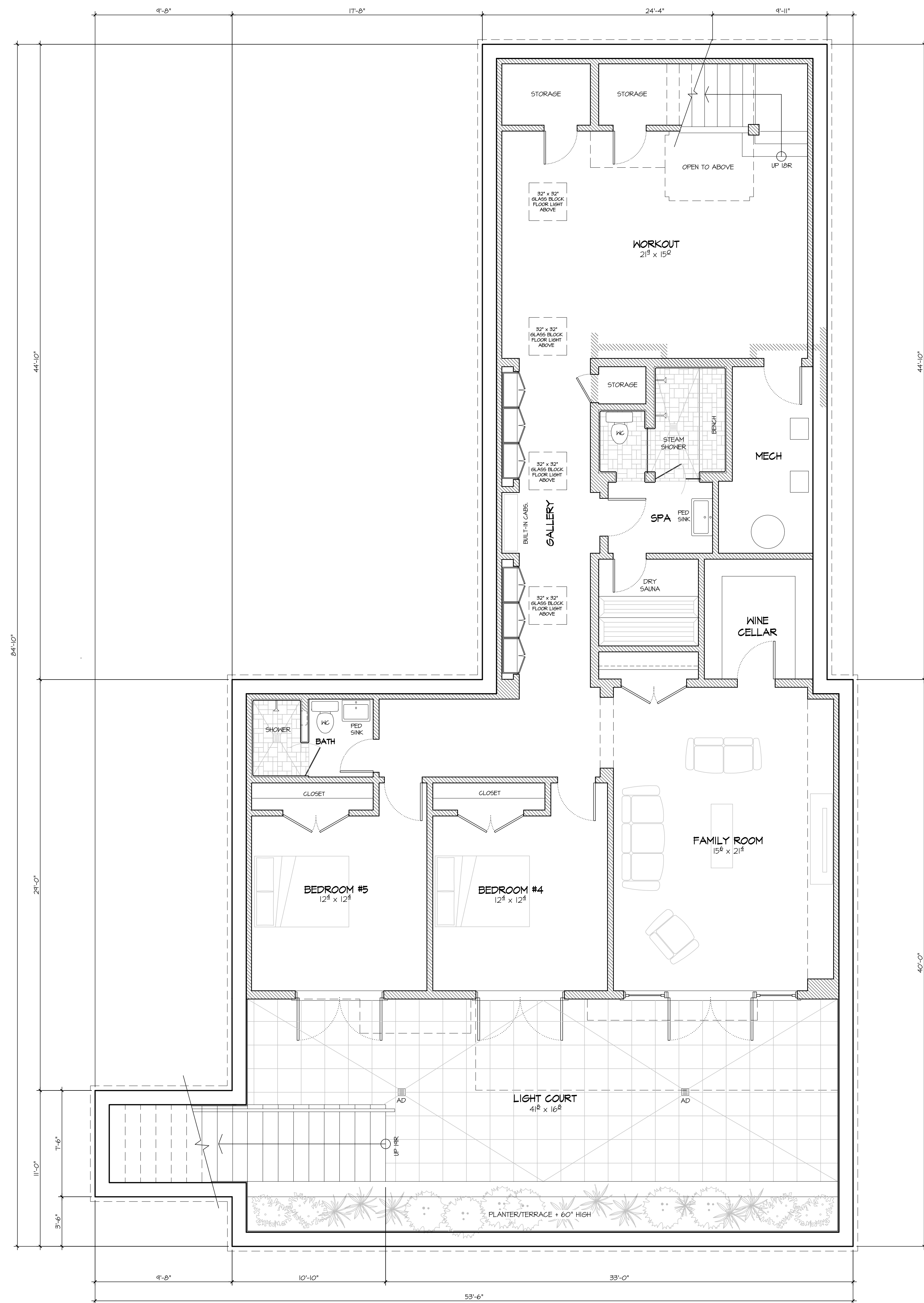
**FLOOR PLAN NOTES**

SEE FOUNDATION PLAN ON SHEET 51 FOR PATIO, STAIR, LANDSCAPE WALL, AND POOL GAZEBO DIMENSIONS & LOCATIONS. SEE FLOOR CONTRACTOR ENGINEERING DRAWINGS FOR POOL & SPA DETAILS & DIMENSIONS.  
 ALL EXTERIOR AND INTERIOR WALLS 2 x 6 BALLOON-FRAMED UNLESS NOTED OTHERWISE.  
 PROVIDE 1/2" SLEEF-LEVELING GYPCRETE FOR HYDRONIC RADIANT FLOORS IN ALL SPACES EXCEPT WINE CELLAR & UTILITY ROOM-FINISHED FLOOR ELEV ASSIGNED TO BE 2" HIGHER THAN SUBFLOOR.  
 ALL SHOWER STALLS TO BE FURNISHED WITH NON-ABSORBANT SURFACE TO A MINIMUM OF 6'-0" ABOVE FLOOR, PER CRC R307.2

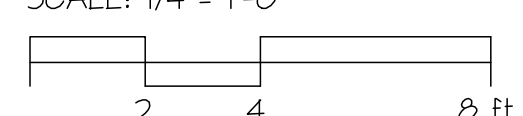
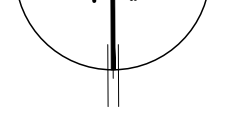
**GENERAL DRAWING NOTES**

- ALL CONSTRUCTION MATERIALS & METHODS TO CONFORM TO THE 2016 CALIFORNIA BUILDING CODE, AS WELL AS ALL APPLICABLE TOWNSHIP OF LOS ALTOS AND COUNTY ORDINANCES & AMENDMENTS.
- VERIFY DIMENSIONS, ELEVATIONS, AND EXISTING FEATURES SHOWN ON THE DRAWINGS AND NOTIFY CONSULTANTS OF ANY DISCREPANCIES BEFORE COMMENCING WORK. LARGER SCALE DRAWING DIMENSIONS TAKE PRECEDENCE OVER SMALLER. ARCHITECT'S DRAWINGS DIMENSIONS TAKE PRECEDENCE OVER ALL OTHER CONSULTANTS.
- ARCHITECTURAL PLAN DIMENSIONS:
  - NEW EXTERIOR WALLS DIMENSIONED FROM EXTERIOR FACE OF STRUCTURAL SHEATHING (+ EDGE OF FOUNDATION).
  - INTERIOR PARTITIONS DIMENSIONED EITHER TO THE FACE OR CENTERLINE OF WALL STUDS, AS SHOWN ON PLAN.
- THE CONTRACTOR SHALL PROVIDE FOR THE PROTECTION OF ALL PUBLIC AND OFFSITE PROPERTY DURING PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND LOCAL LAWS CONCERNING CONSTRUCTION SAFETY.

C:\DrawActive\Yonekura\Oakhurst\Oakhurst A01-3 + A10plan w. Item.dwg, 2/15/2016 5:45:54 PM



**C L E R E S T O R Y P L A N**



**DOOR & WINDOW NOTES**

- 1) WINDOW SIZES SHOWN ON PLAN REPRESENT ROUGH FRAMING DIMENSIONS. PROVIDE 2 x 4 TRIMMERS ALL SIDES OF WINDOW OPENINGS (WINDOW ROUGH OPENING DIMENSIONS ARE THEREFORE 3" SMALLER THAN FRAMING RO'S IN EA. DIRECTION (SEE TYP WINDOW DETAILS ON A12).
- 2) FIXED AWNING AND CASEMENT WINDOWS TO BE MARVIN "GLAD ULTIMATE" ALUMINUM CLAD HOOD NAIL FIN (SITE-APPLIED GLOSS ACRYLIC PAINT INTERIOR). APPLIED MINTING TO BE 1 1/8" WIDE "SOL (24)" WITH GLASS SPACERS AND OSEE APPLIED HOOD MINTING ON INTERIOR. ALL AWNING AND CASEMENTS TO HAVE ROTO HARDWARE WITH FOLDING HANDLES IN OIL-RUBBED BRONZE FINISH. TYP WINDOW FRAMING R.O. HEADS = 8'-3" FROM SUBFLOOR.
- 3) ALL ALUMINUM PATIO DOORS & WINDOWS TO HAVE KYNAR FACTORY-PAINTED EXTERIOR IN CUSTOM COLOR (APPROXIMATING BLACK ANODIZED). DOORS AND WINDOWS MUST MATCH. INTERIORS TO HAVE SITE-APPLIED GLOSS ACRYLIC PAINT FINISH TO MATCH INTERIOR WALL COLOR. ALL WINDOW AND DOOR SCREENS TO HAVE BLACK ANODIZED ALUMINUM MESH.
- 4) ALL EXTERIOR DOORS AND WINDOWS TO HAVE TEMPERED SELECTIVE LOW-E SQUARED OVER TEMPERED CLEAR DOUBLE GLAZING (THICKNESS PER WINDOW MANUF). MASTER BATH, POWDER ROOM, AND GARAGE WINDOWS TO HAVE "MILKY WHITE" OBTUSCURE GLASS ON THE INTERIOR.
- 5) PER TITLE 24, ALL EXTERIOR DOORS & WINDOWS TO BE LABELED WITH CERTIFIED INFILTRATION & U-VALUES. ALL EXTERIOR DOORS & WINDOWS TO BE WEATHERSTRIPPED TO PREVENT AIR LEAKAGE. PROVIDE BUTYLS/FLASHPAST FLASHERS AROUND ALL OPENINGS AND POLYURETHANE GULKING BETWEEN FLASHING AND WINDOW AND DOOR FRAMES.
- 6) EGRESS WINDOWS TO HAVE 5.7 SF MINIMUM CLEAR OPENABLE AREA, 20" MINIMUM WIDTH, 24" MINIMUM HEIGHT, AND 44" MAXIMUM SILL HEIGHT PER UBC SECTION 310-4. EGRESS WINDOW LOCATIONS SHOWN ON PLAN & SCHEDULE.
- 7) FRONT DOUBLE DOOR TO BE TRUSTLE 1/4" FIR "522020" STYLE 4 RAIL, REPLACING BOTH PANELS w/ TEMPERED INSULATED GLASS (SINGLE MIDDLE RAIL @ 13'-0"). CABOTS #8042 CLEAR SATIN ALKYL-OIL SPAR VARNISH EXTERIOR & INTERIOR. MORTISE/ OIL-RUBBED BRONZE.
- 8) GARAGE MAIN DOORS TO BE TRUSTLE 1/4" FIR "522020" STYLE 4 RAIL (VERT. GROOVED PANELS w/ SINGLE MIDDLE RAIL CENTERED @ 3'-0"). SPAR VARNISH INT. & EXT. CYLINDER & DEADBOLT HDWR- OIL-RUBBED BRONZE.
- 9) EXTERIOR OUTSILING DOORS (OTHER THAN FRONT & GARAGE DOORS) TO BE MARVIN "GLAD ULTIMATE" 1 3/4" ALU CLAD NAIL FIN (DARK BRONZE) w/ PAINT GRADE INTERIORS (SEMI-GLOSS ACRYLIC). APPLIED MINTING TO BE 1 1/8" WIDE "SOL (24)" WITH GLASS SPACERS AND OSEE APPLIED HOOD MINTING ON INTERIOR. DOOR SIZES SHOWN ARE NOMINAL- DOORS TO HAVE 2 x 4 TRIMMERS AT HEAD & JAMB, 2 x 6 PLATE AT SILL- FRAMING R.O. HEIGHT = NOM. + 3". FRAMING R.O. WIDTH = NOM. + 3".
- 10) MULTI-SLIDE AND SLIDING PATIO DOORS TO BE WESTERN "SERIES 3600" ALUMINUM CLAD MEDIUM STYLE (DARK BRONZE) w/ PAINT-GRADE INTERIORS (SEMI-GLOSS ACRYLIC). APPLIED MINTING TO BE 1 1/2" #2621 WITH GLASS SPACERS AND BEVELED APPLIED HOOD MINTING ON INTERIOR. HARDWARE: 1 1/2" WATER BARRIER SILL TRACK, 3" S-51L ROLLERS, & CUSTOM PULL HANDLE IN OIL-RUBBED BRONZE ON EXTERIOR, STANDARD FLUSH PULL (BLACK- PAINT TO MATCH OIL-RUBBED BRONZE COLOR) ON INTERIOR (THUMB TURN ONLY- NO LOCK). TYP EXT. PATIO DOOR FRAMING R.O. HEAD HT = 8'-1" FROM SUBFLOOR (5/8" BOTTOM 5/8" TO FLUSH w/ FIN. FLOOR). ROUGH OPENING WIDTH = PLAN + 1/2".
- 11) ALL EXTERIOR WINDOW AND DOOR SCREENS TO HAVE BLACK ANODIZED ALUMINUM MESH.
- 12) ALL INTERIOR HINGED DOORS TO BE TRUSTLE 1/4" FIR "522020" STYLE 4 RAIL (VERT. GROOVED PANELS w/ SINGLE MIDDLE RAIL CENTERED @ 3'-0"). SEMI-GLOSS ACRYLIC PAINT.
- 13) HINGED DOOR DIMENSIONS SHOWN ON ARCHITECTURAL FLOOR PLANS ARE SASH DIMENSIONS. FOR EXTERIOR DOOR ROUGH FRAMING OPENINGS, ADD 3" TO SASH WIDTH AND 3" TO HEIGHT, MEASURED FROM SUBFLOOR. FOR INTERIOR DOORS, ADD 2" TO WIDTH AND 2 1/2" TO HEIGHT (SEE DOOR DETAILS ON A12).
- 14) GARAGE SECTIONAL OVERHEAD DOOR TO BE HOOD CONSTRUCTION WITH 1 x 6 S4S CEDAR VERTICAL BEVELED T & 6 SIDING AND 1 x 6 1 x 10 BATTENS. CLEAR HOOD SEALER (MESHES IN FLUSH COLOR, NATURAL).

**DOOR & WINDOW U & SHG VALUES**

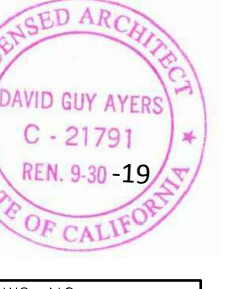
MARVIN CLAD ULTIMATE WINDOWS	U-VALUE	SHGC
CASEMENT/AWNING	0.32	0.26
FIXED/PICTURE	0.32	0.26
MARVIN CLAD ULTIMATE DOORS	0.32	0.18
WESTERN SLIDING PATIO DOORS	0.42	0.32

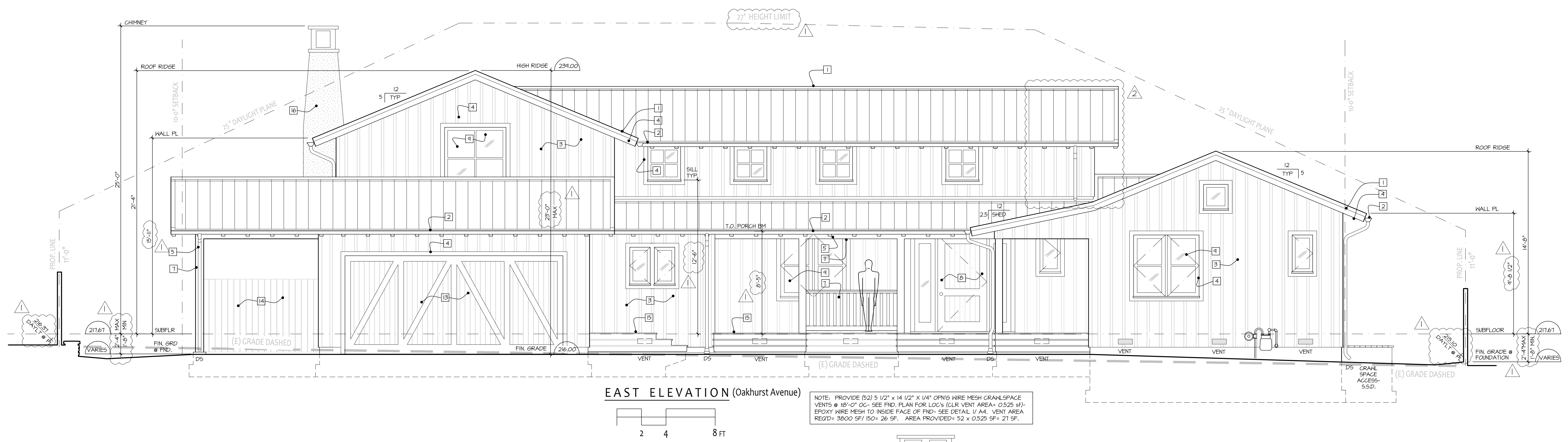
**FLOOR PLAN NOTES**

1. SEE FOUNDATION PLAN ON SHEET 51 FOR PATIO, STAIR, LANDSCAPE WALL, AND POOL GAZEO DIMENSIONS & LOCATIONS. SEE POOL CONTRACTOR ENGINEERING DRAWINGS FOR POOL & SPA DETAILS & DIMENSIONS.
2. ALL EXTERIOR AND INTERIOR FRAME WALLS 2 x 6 5/10 BALLOON-FRAMED (UNLESS NOTED OTHERWISE).
3. PROVIDE 1/2" SLEEF-LEVELING GYPCRETE FOR HYDRONIC RADIANT FLOORS IN ALL SPACES EXCEPT MINE CELLAR & UTILITY ROOM- FINISHED FLOOR ELEV ASSUMED TO BE 2" HIGHER THAN SUBFLOOR.
4. ALL SHOWER STALLS TO BE FURNISHED WITH NON-ABSORPTANT SURFACE TO A MINIMUM OF 6'-0" ABOVE FLOOR, PER CRC R301.2

REVISIONS

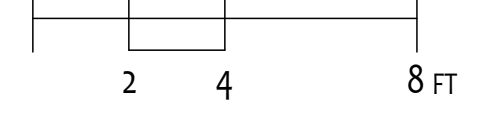
NO.	DESCRIPTION	DATE
1	DESIGN REVIEW COMMENTS INCORPORATE LETTER	



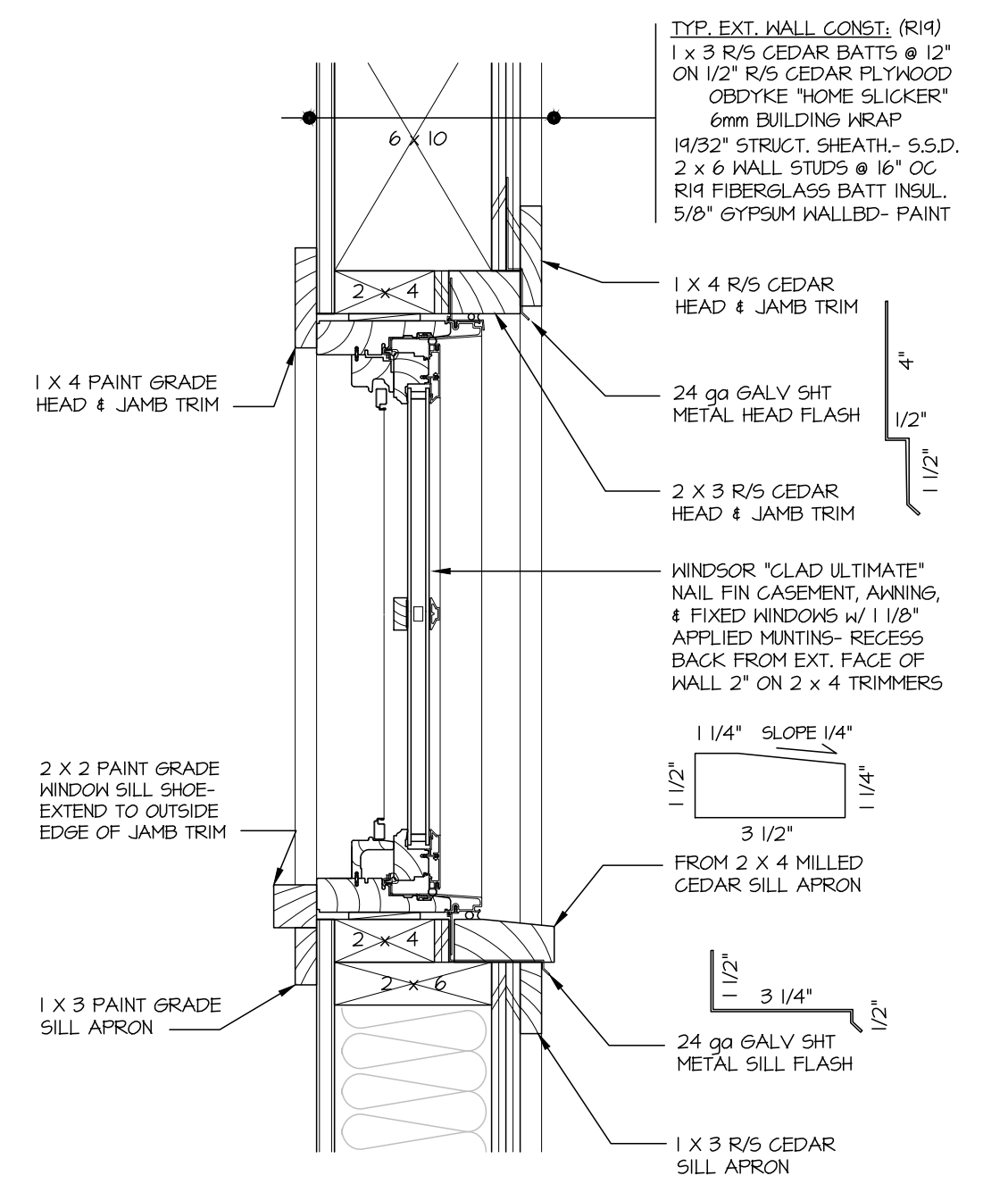


**EAST ELEVATION (Oakhurst Avenue)**

NOTE: PROVIDE (02) 5 1/2" x 14 1/2" x 1/4" OPNG WIRE MESH CRASHSPACE VENTS @ 18'-0" OC- SEE FND. PLAN FOR LOC'S (CLR VENT AREA= 0.525 SF)- EPOXY WIRE MESH TO INSIDE FACE OF FND- SEE DETAIL V. 04. VENT AREA REQ'D= 3900 SF / 150' x 26 SF. AREA PROVIDED= 52 x 0.525 SF = 27 SF.

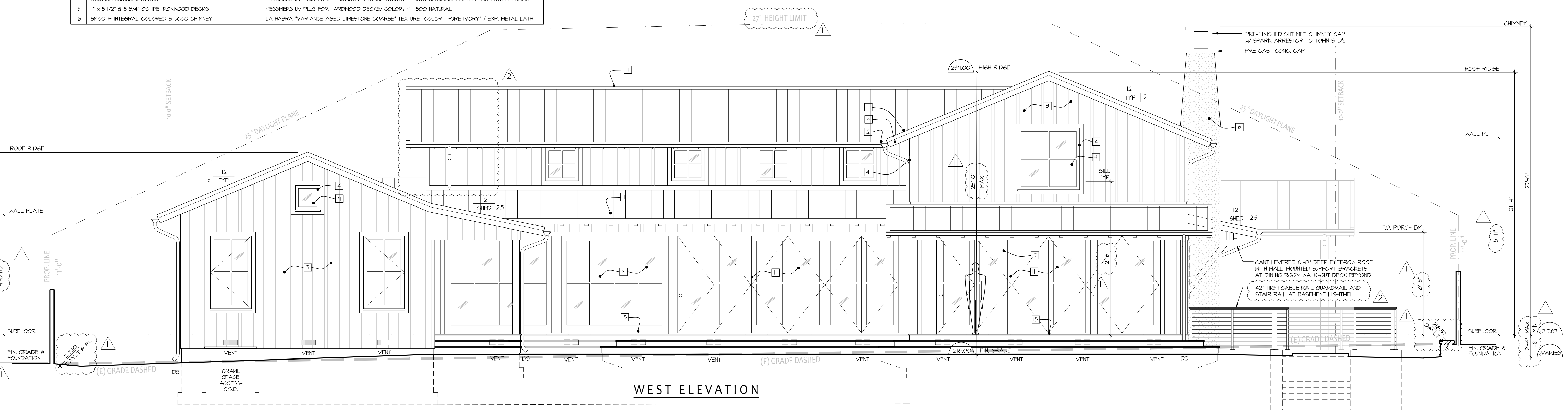


**NORTH ELEVATION**



**EXTERIOR FINISH SCHEDULE**

MATERIAL	COLOR/ FINISH/ MAKE
1 24 ga 1" x 12" SMOOTH STANDING SEAM "ZINC-LOOK" ROOFING	VALSPAR "ZINC GRAY" METEORO-HORIN METALS
2 24 ga GALVALUME HALF-ROUND GUTTERS & ROUND DOWNPOUTS	NATURAL (UNFINISHED) / 6" GUTTERS, 3" DIA. DOWNPOUTS
3 ROUGH-SAWN CEDAR BOARD & BATT- WASH OFF-WHITE STAIN	SHERWIN-ILLIAMS "SK103 WHITETAL" / 1 x 3 R/5 CEDAR BATTS ON 1/2" R/5 CEDAR PLYWOOD
4 ROUGH-SAWN CEDAR FASCIA, WINDOK AND CORNER TRIM	SHERWIN-ILLIAMS "SK103 WHITETAL" / 2 x 10 FASCIA, 1 x 4 WINDOK & CORNER TRIM
5 3 x 6 @ 24" OC ROOF RAFTERS AND RAFTER TAILS	TRANSPARENT SATIN UV-RESISTANT ALKYL-OIL STAIN- MESSMERS UV PLUS/ COLOR: NATURAL
6 2 x 6 T & 6 FIR ROOF DECKING AT EXTERIOR SOFFITS	TRANSPARENT SATIN UV-RESISTANT ALKYL-OIL STAIN- MESSMERS UV PLUS/ COLOR: NATURAL
7 ROUGH-SAWN CEDAR GLAD DECK COLUMN AND GUARDRAILS	SHERWIN-ILLIAMS "SK103 WHITETAL" / 2 x 10 FASCIA, 1 x 4 WINDOK & CORNER TRIM
8 2 1/4" FIR STILE & RAIL FRONT DOOR WITH SIDELIGHTS	CABOTS #8042 CLEAR SATIN ALKYL-OIL SPAR VARNISH/ BLOMBERS #700 ALU. FRAME/ MATCH SIDING
9 ALUMINUM CLAD FIBER AND CASERMENT WINDOWS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ HARVIN "ULTIMATE"
10 ALUMINUM CLAD STILE & RAIL OUTSWING DOORS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ HARVIN "CONTemporary"
11 ALUMINUM CLAD BI-FOLD PATIO DOORS	DARK BRONZE EXTERIOR/ SEMI-GLOSS WHITE INTERIOR/ HARVIN "CONTemporary"
12 HOLLOW-GORE STEEL LOVERED MECH ROOM DOOR	ALKYL-OIL PAINT TO MATCH SIDING
13 GVI GARAGE DOOR w/ R/5 CEDAR VENEER & BATTENS	SHERWIN-ILLIAMS "SK103 WHITETAL" / 1 x 3 R/5 CEDAR BATTS ON 1/2" R/5 CEDAR PLYWOOD
14 CEDAR FENCING & GATES	MESSMERS UV PLUS FOR HARDWOOD DECKS/ COLOR: MH-500 NATURAL/ PAINTED TUBE STEEL FRAME
15 1" x 5 1/2" @ 5 3/4" OC IPE IRONWOOD DECKS	MESSMERS UV PLUS FOR HARDWOOD DECKS/ COLOR: MH-500 NATURAL
16 SMOOTH INTEGRAL-COLORED STUCCO CHIMNEY	LA HABRA "VARIANCE AGED LIMESTONE COARSE" TEXTURE COLOR: "PURE IVORY" / EXP. METAL LATH

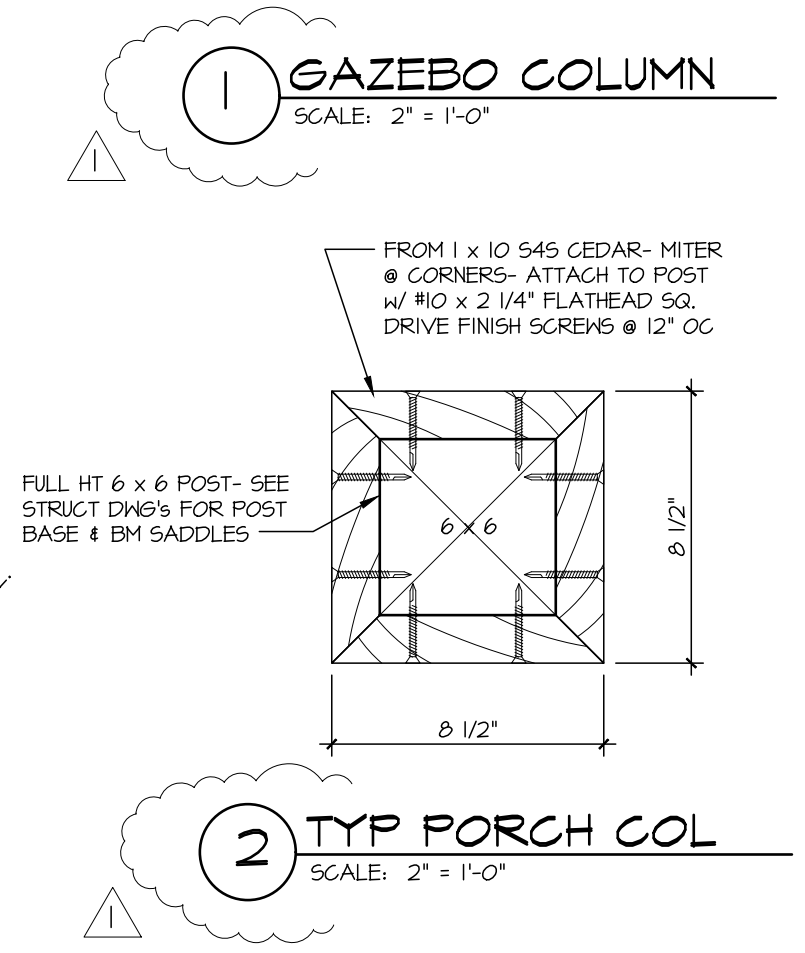
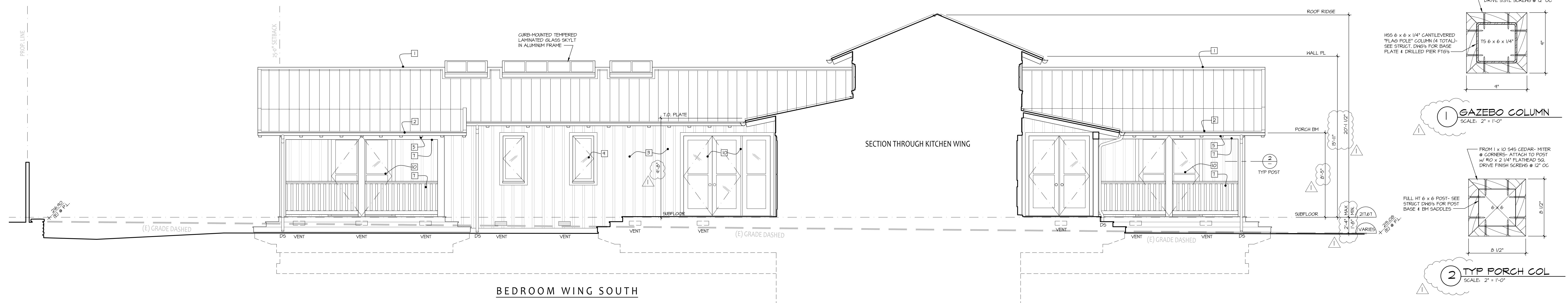


**WEST ELEVATION**

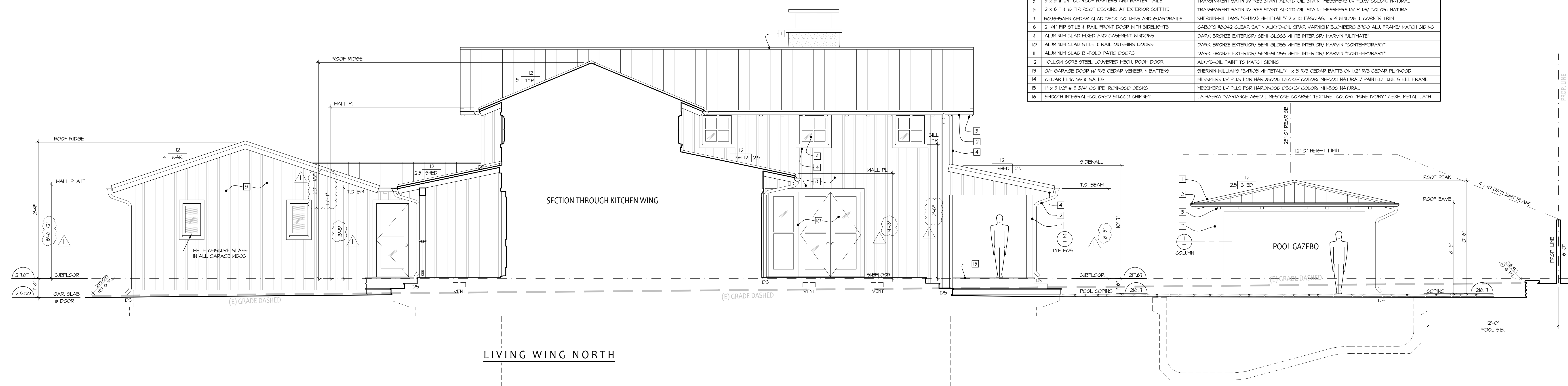
CANTILEVERED 4'-0" DEEP EYEBROW ROOF WITH WALL-MOUNTED SUPPORT BRACKETS AT DINING ROOM HALI-OUT DECK BEYOND  
 42" HIGH CABLE RAIL GUARDRAIL AND STAIR RAIL AT BASEMENT LIGHTWELL



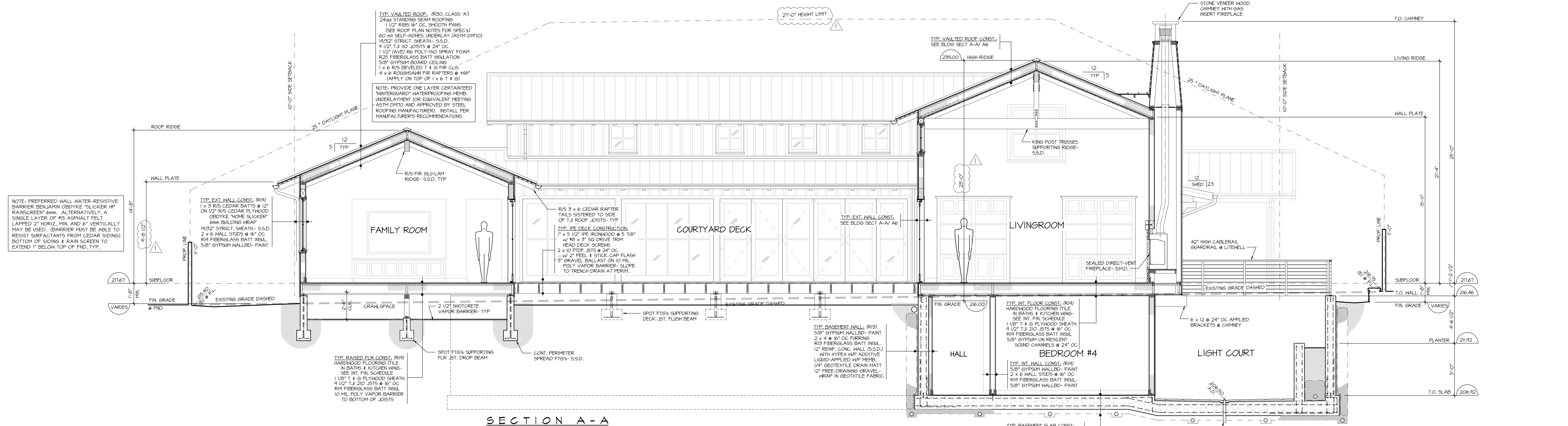
**SOUTH ELEVATION**  
 2 4 8 FT



EXTERIOR FINISH SCHEDULE	
MATERIAL	COLOR/ FINISH MANUF.
1 24 ga 1\"/>	



**LIVING WING NORTH**



**SECTION A-A**  
 SCALE: 1/4" = 1'-0"

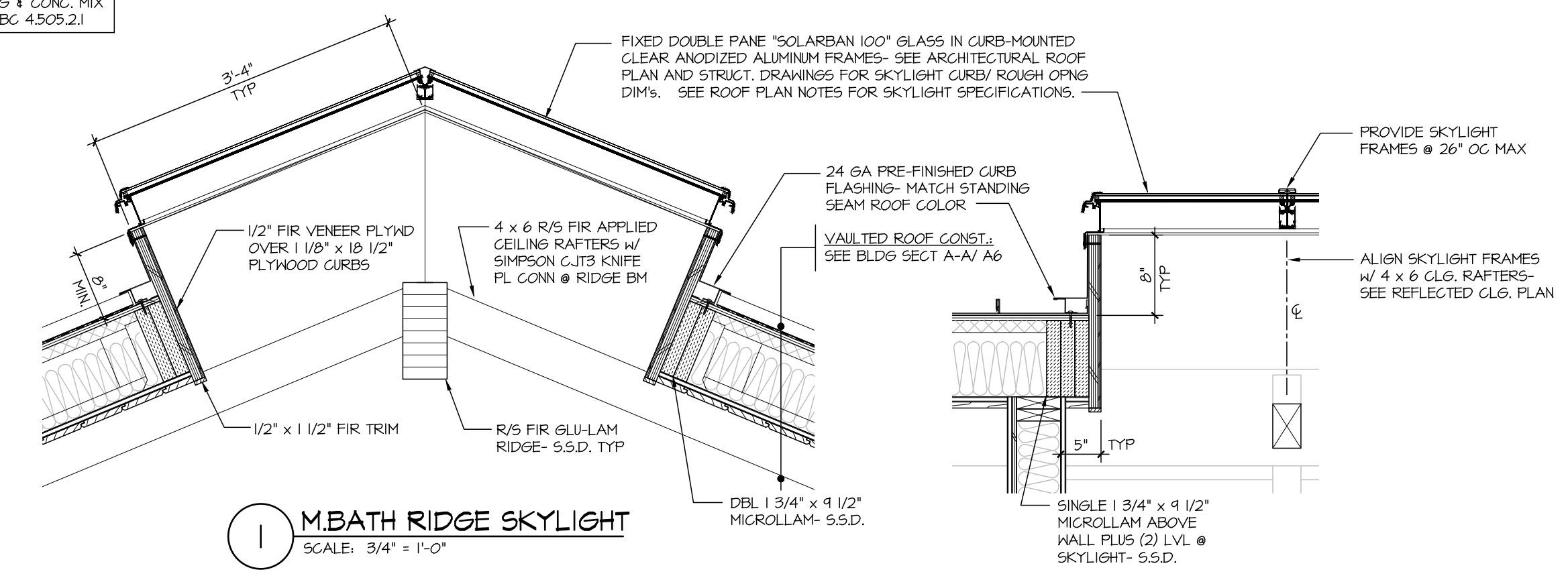
CATHEDRAL CEILINGS ARE UN-VENTILATED. CONSTRUCTION TO FOLLOW CRC SECTION R206.4 (9.3) INSULATION REQUIREMENTS.

PROVIDE 1/2" MIN. 60 MIL PEEB 4 STICK FLASH & GOUNTER-FLASH AROUND ALL OPENINGS- SEE DOOR & WINDOW SCHEDULE.

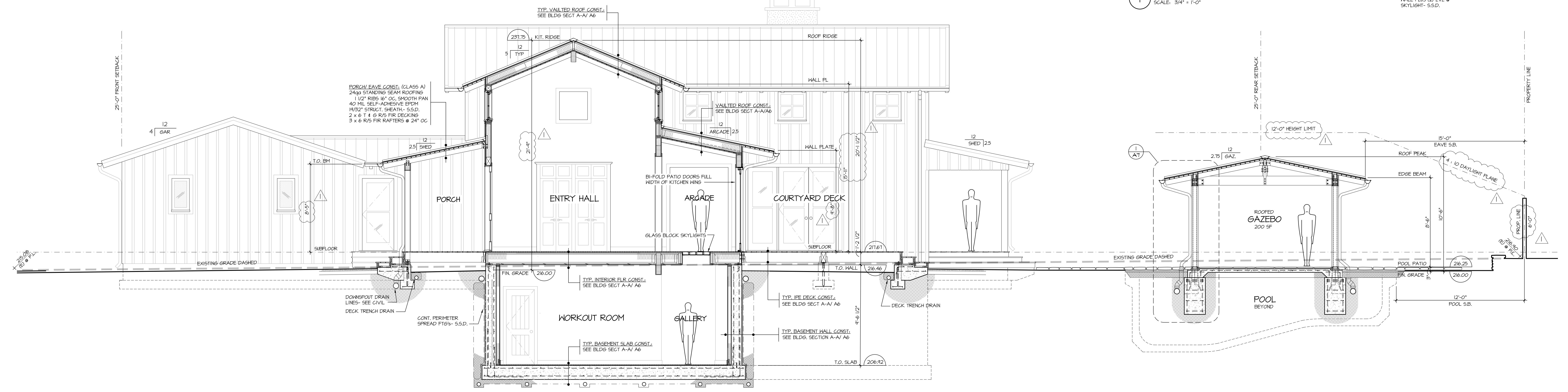
FIRE BLOCKING SHALL BE INSTALLED IN ALL LOCATIONS SPECIFIED IN CRC SECTION R502.1.

PROVIDE 2 1/2" CONCRETE VAPOR RETARDER IN GRAVSPACE TO MEET CRC 408.2 REQUIREMENTS- SEE FND. PLAN FOR LOC'S.

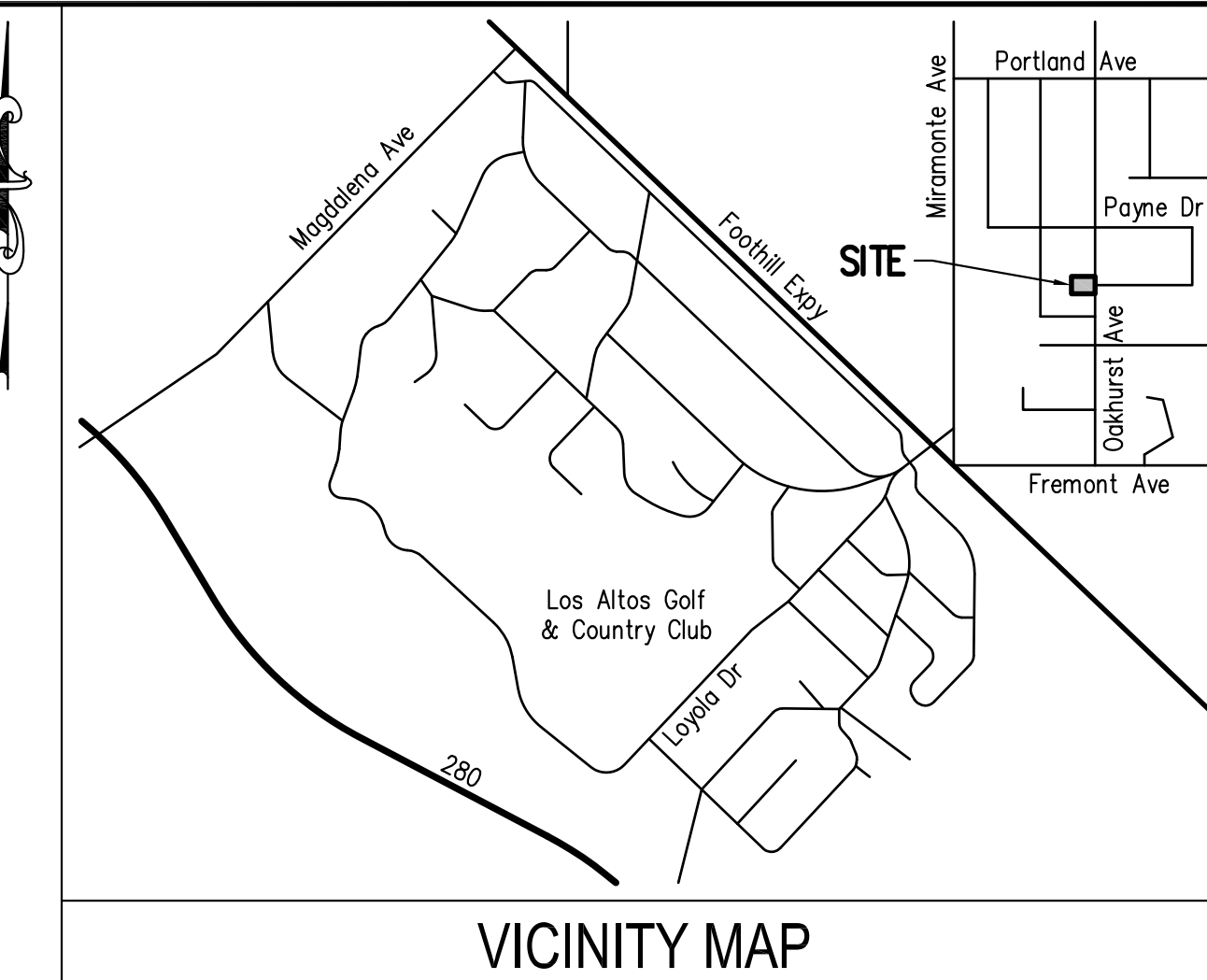
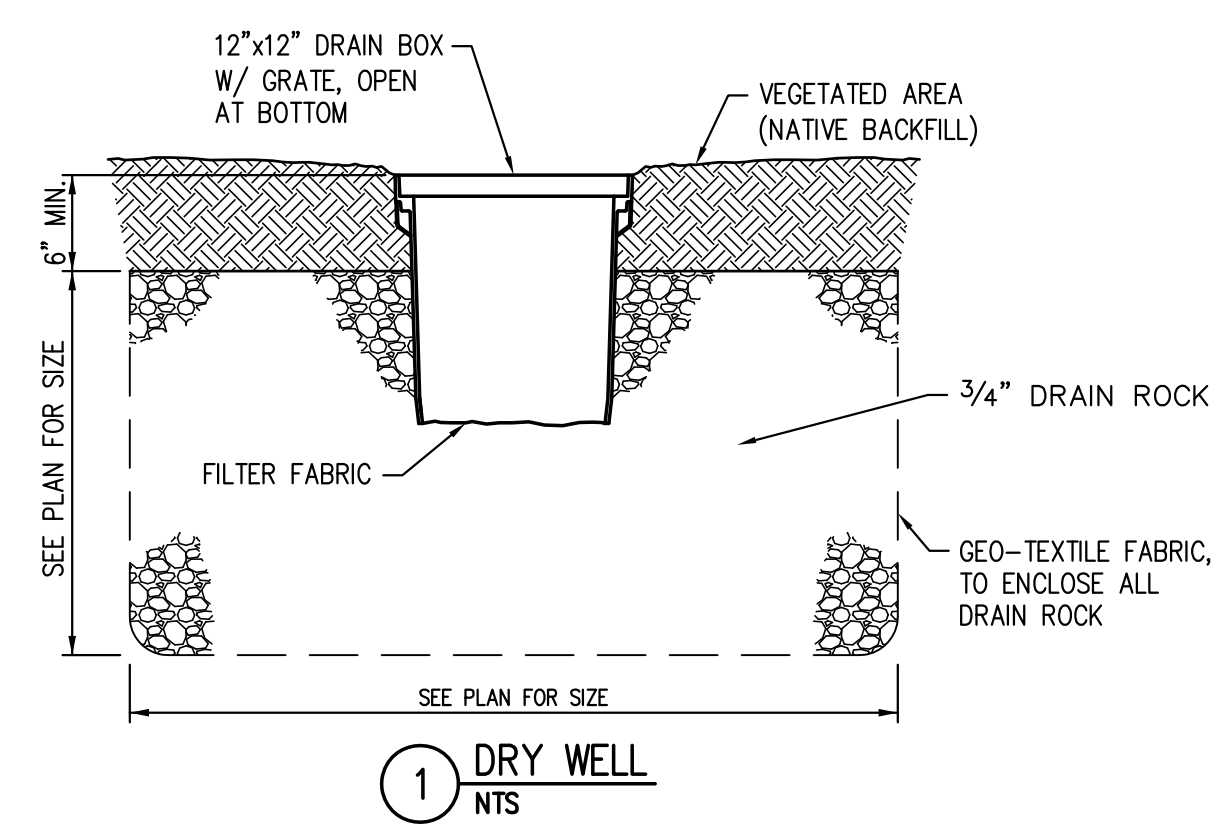
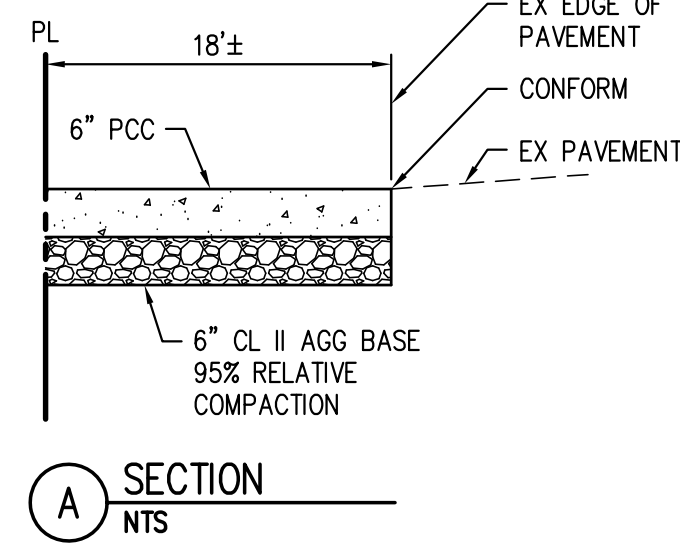
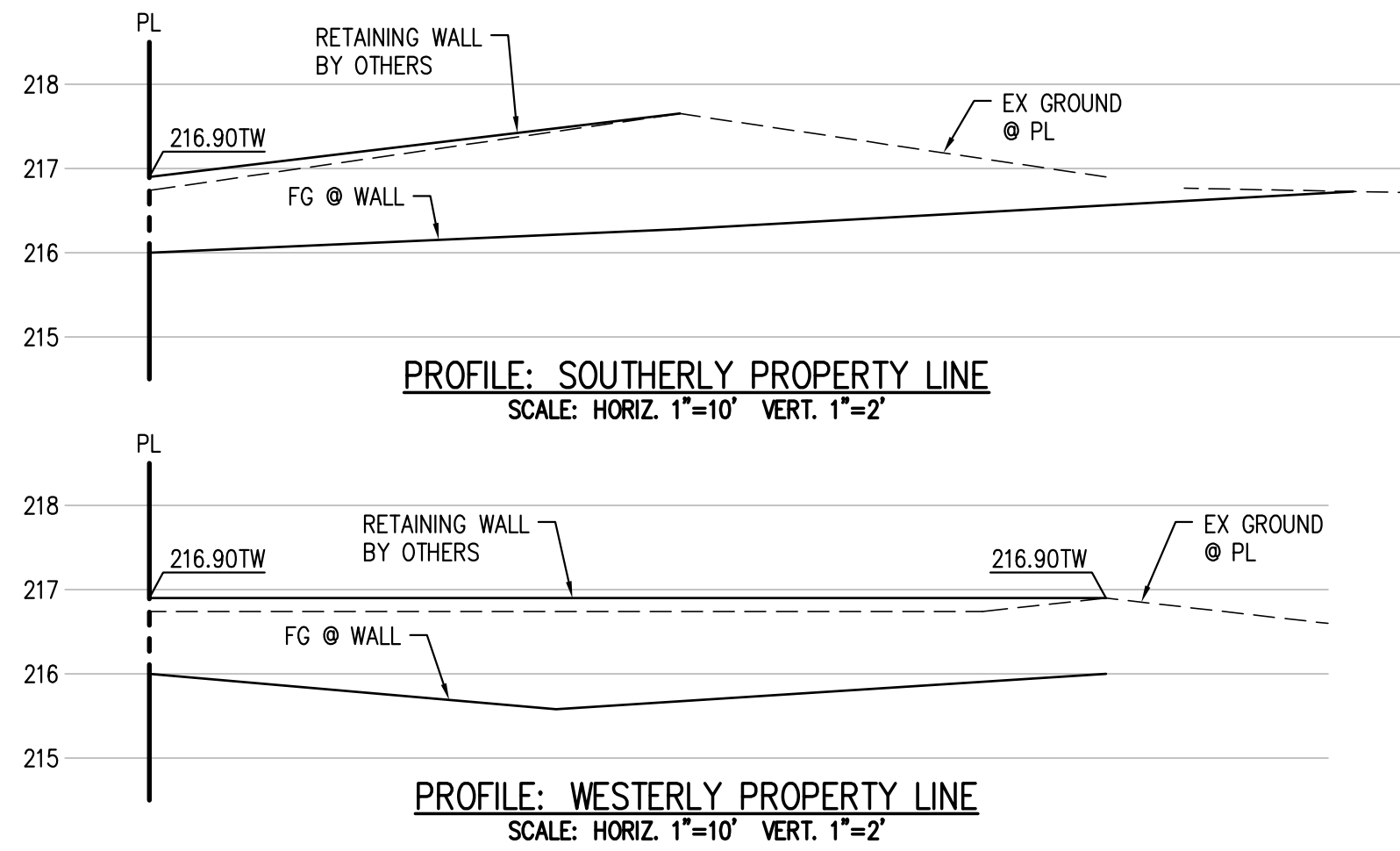
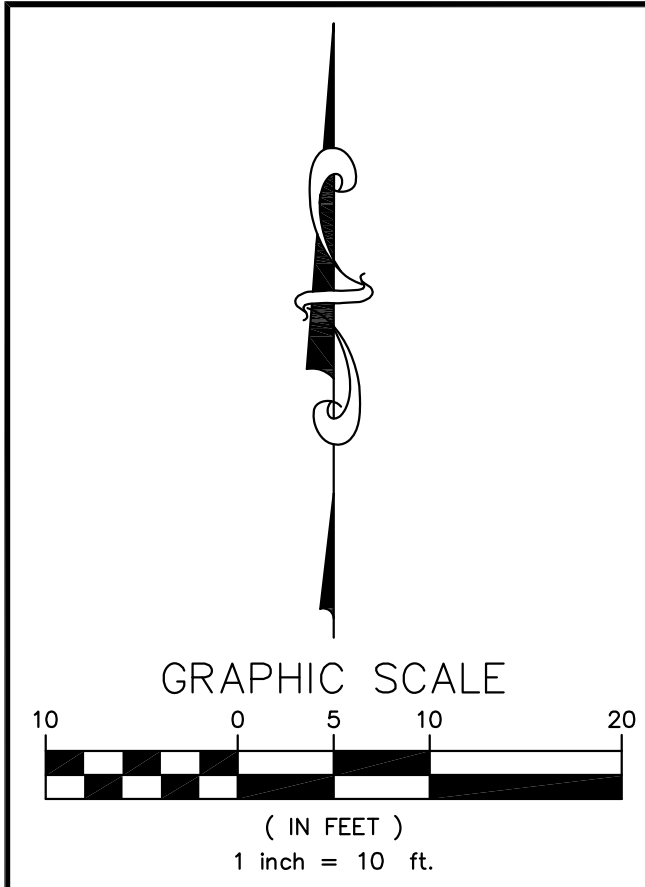
NOTE: ALL BASEMENT WALL FRAMING IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED- SEE GEN NOTE 10/ 51



**1 MBATH RIDGE SKYLIGHT**  
 SCALE: 3/4" = 1'-0"



**SECTION B-B**  
 SCALE: 1/4" = 1'-0"



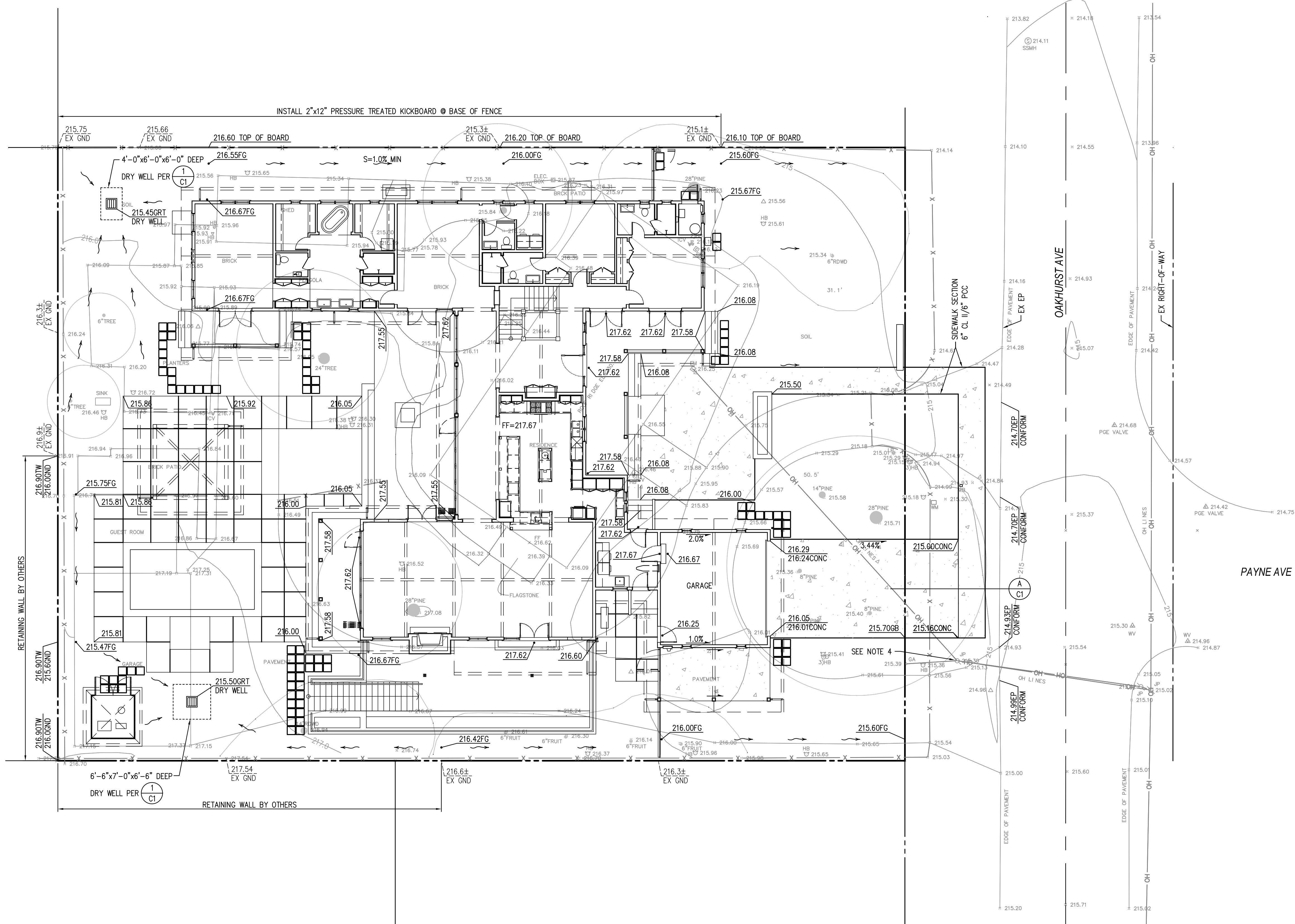
NO.	DATE	REVISIONS	BY

SHEET INDEX  
 C1 GRADING AND DRAINAGE PLAN  
 C2 EROSION CONTROL PLAN

EXISTING PERVIOUS & IMPERVIOUS AREAS  
 SITE AREA: 17,955± SF  
 PERVIOUS AREA: 9,915± SF  
 IMPERVIOUS AREA: 8,040± SF

POST DEVELOPMENT PERVIOUS & IMPERVIOUS AREAS  
 SITE AREA: 17,955± SF  
 PERVIOUS AREA: 7,774± SF  
 IMPERVIOUS AREA: 10,200± SF

- NOTES
- SEE LANDSCAPE PLANS FOR TREE PROTECTION NOTES AND DETAILS.
  - EXISTING SANITARY SEWER LATERALS SHALL BE EXPOSED AND LOCATION, INVERT ELEVATIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION. IF CONDITION OF EXISTING LATERALS CAN'T PASS INSPECTION THEY SHALL BE REMOVED AND REPLACED.
  - EXISTING DOMESTIC WATER METER AND WATER FIXTURES SHALL BE RELOCATED OR REMOVED TO THE SATISFACTION OF THIS CITY ENGINEER.
  - EXISTING JOINT POLES AND SERVICES SHALL BE RELOCATED BY OTHERS.



CALIFORNIA

1460 OAKHURST AVENUE  
 GRADING AND DRAINAGE PLAN

LOS ALTOS

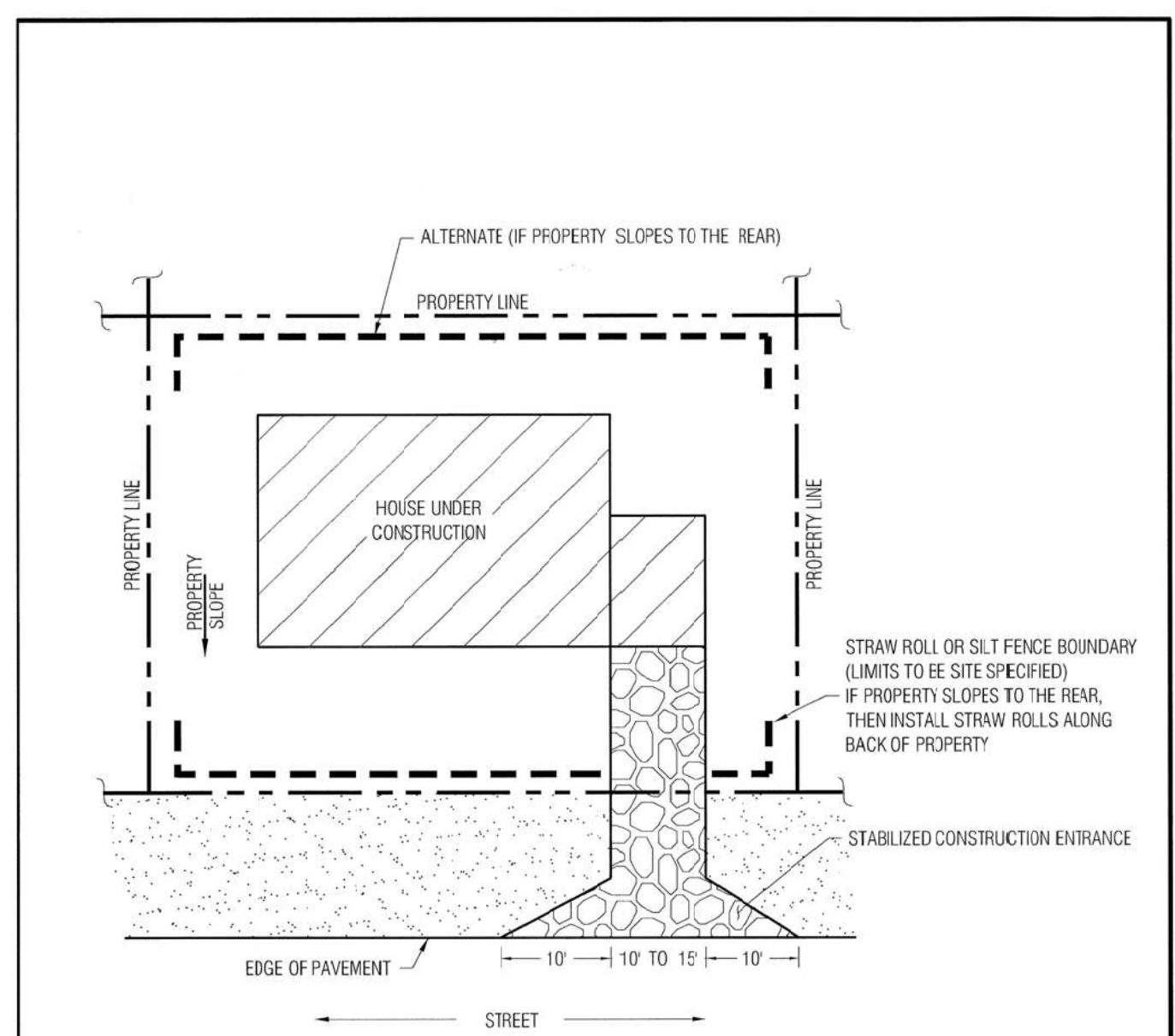
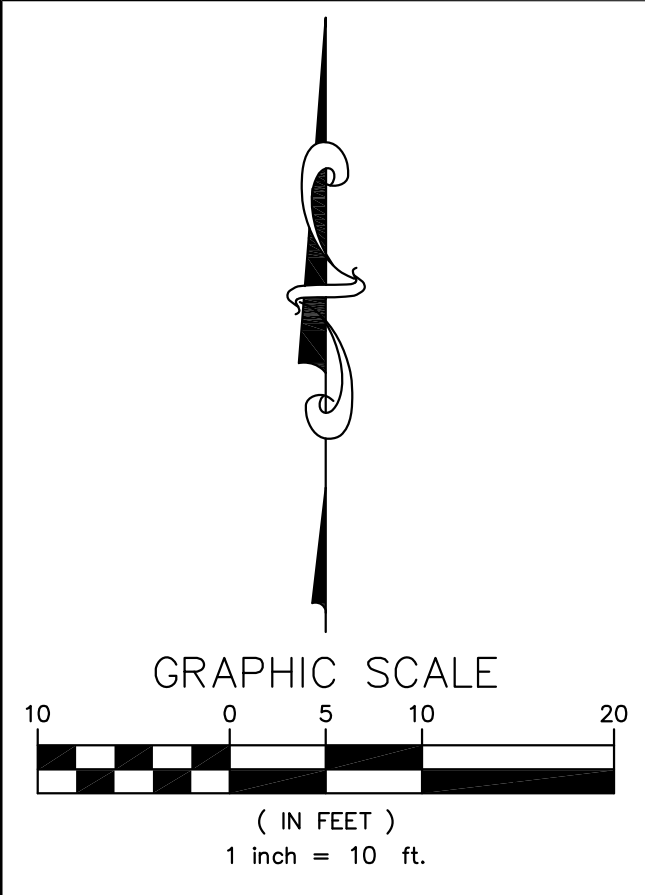
JAD Engineering, Inc.  
 CIVIL ENGINEERS  
 1545 Santa Monica Avenue  
 Santa Monica, CA 90404  
 (408) 316-9281



DATE: 1/31/2018  
 SCALE: 1"=10'  
 DRAWN BY: COH  
 SHEET NO. C1

OF - SHEETS





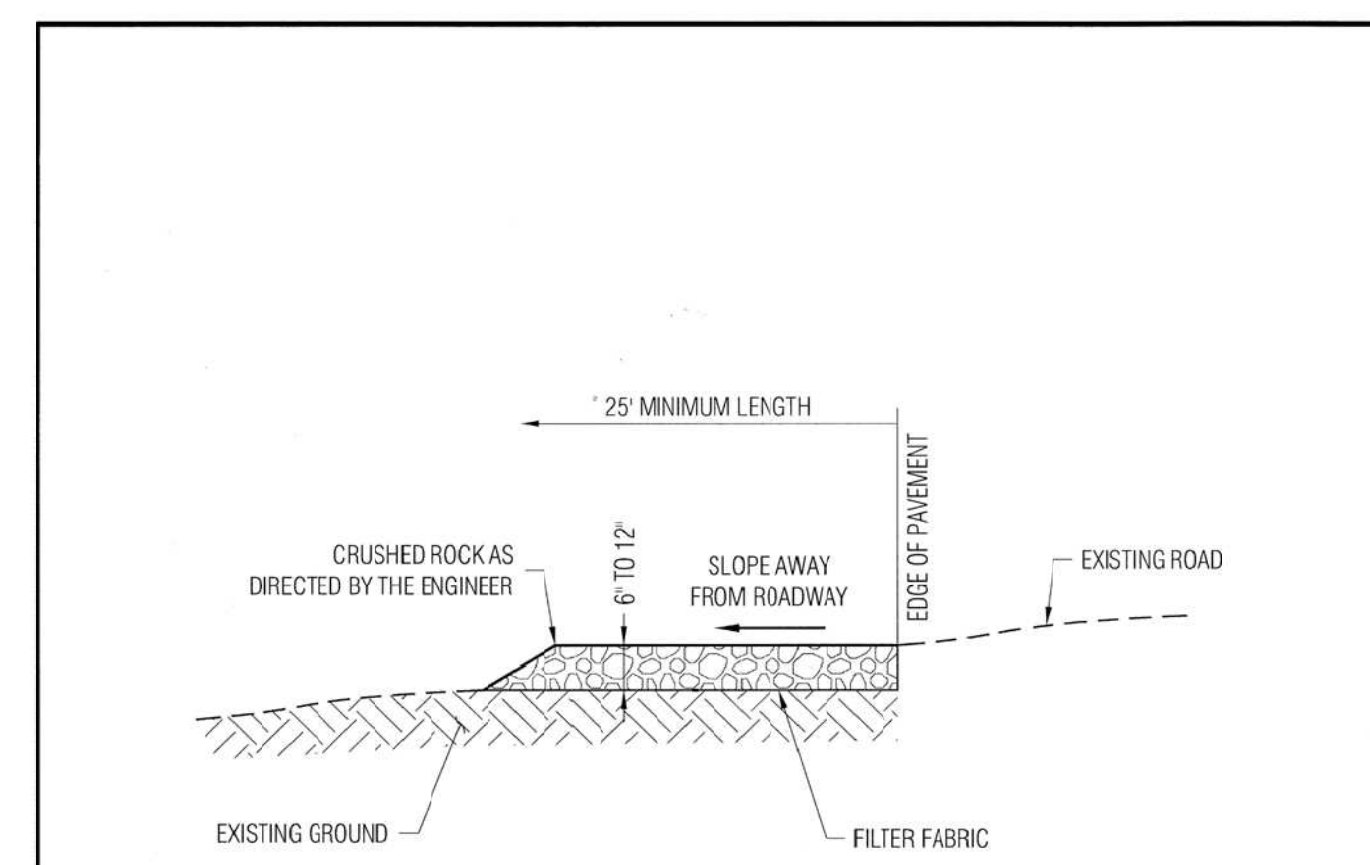
Approved: *[Signature]* City Engineer Date: *[Date]*

REVISION	DESCRIPTION	DATE

**ENGINEERING DIVISION**

TYPICAL EROSION AND SEDIMENT CONTROL AT SINGLE FAMILY CONSTRUCTION SITE	<b>EC-1</b>
---	-------------

STANDARD DETAILS MAY 2010



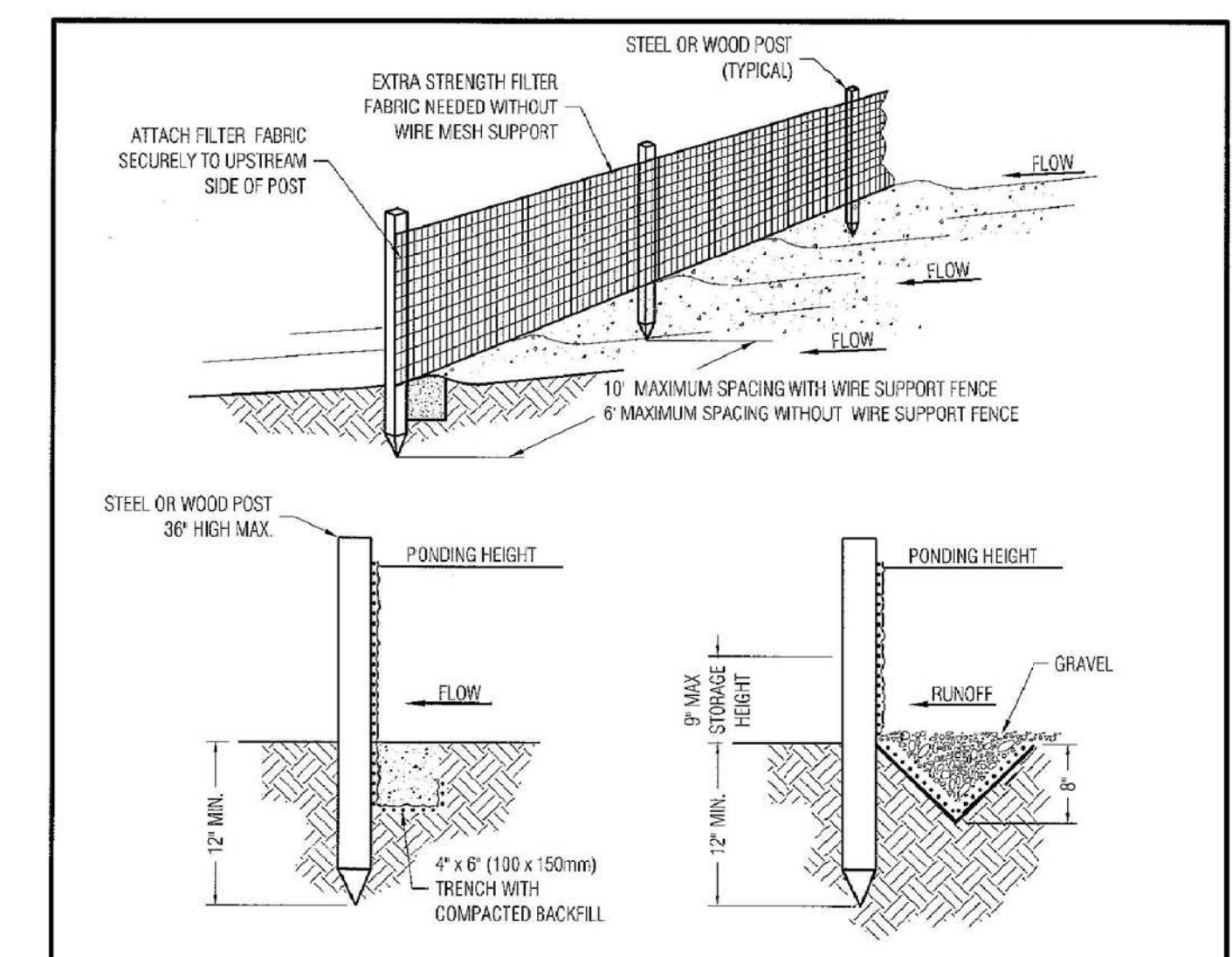
Approved: *[Signature]* City Engineer Date: *[Date]*

REVISION	DESCRIPTION	DATE

**ENGINEERING DIVISION**

STABILIZED CONSTRUCTION SITE ENTRANCE	<b>EC-2</b>
---------------------------------------	-------------

STANDARD DETAILS MAY 2010



Approved: *[Signature]* City Engineer Date: *[Date]*

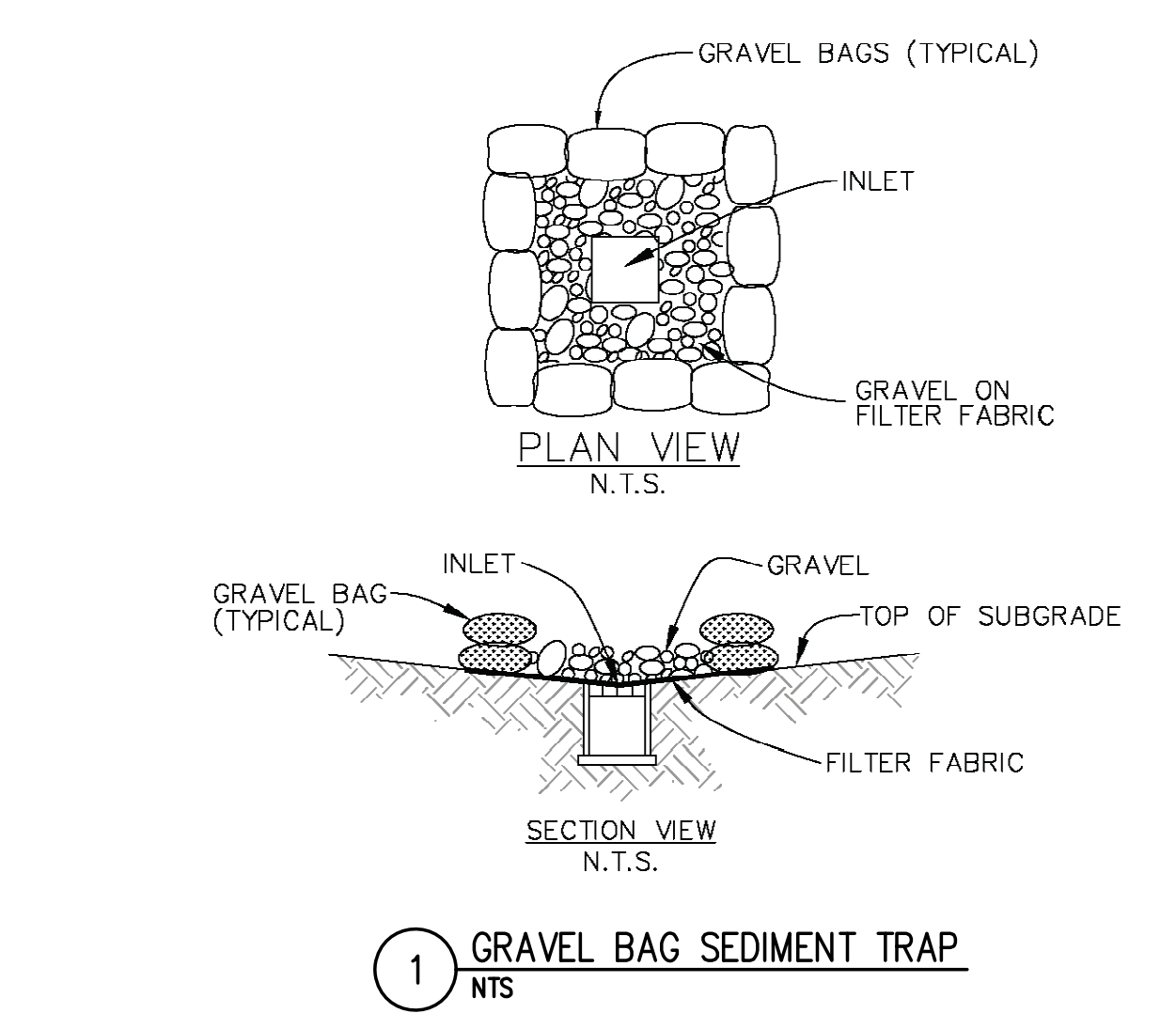
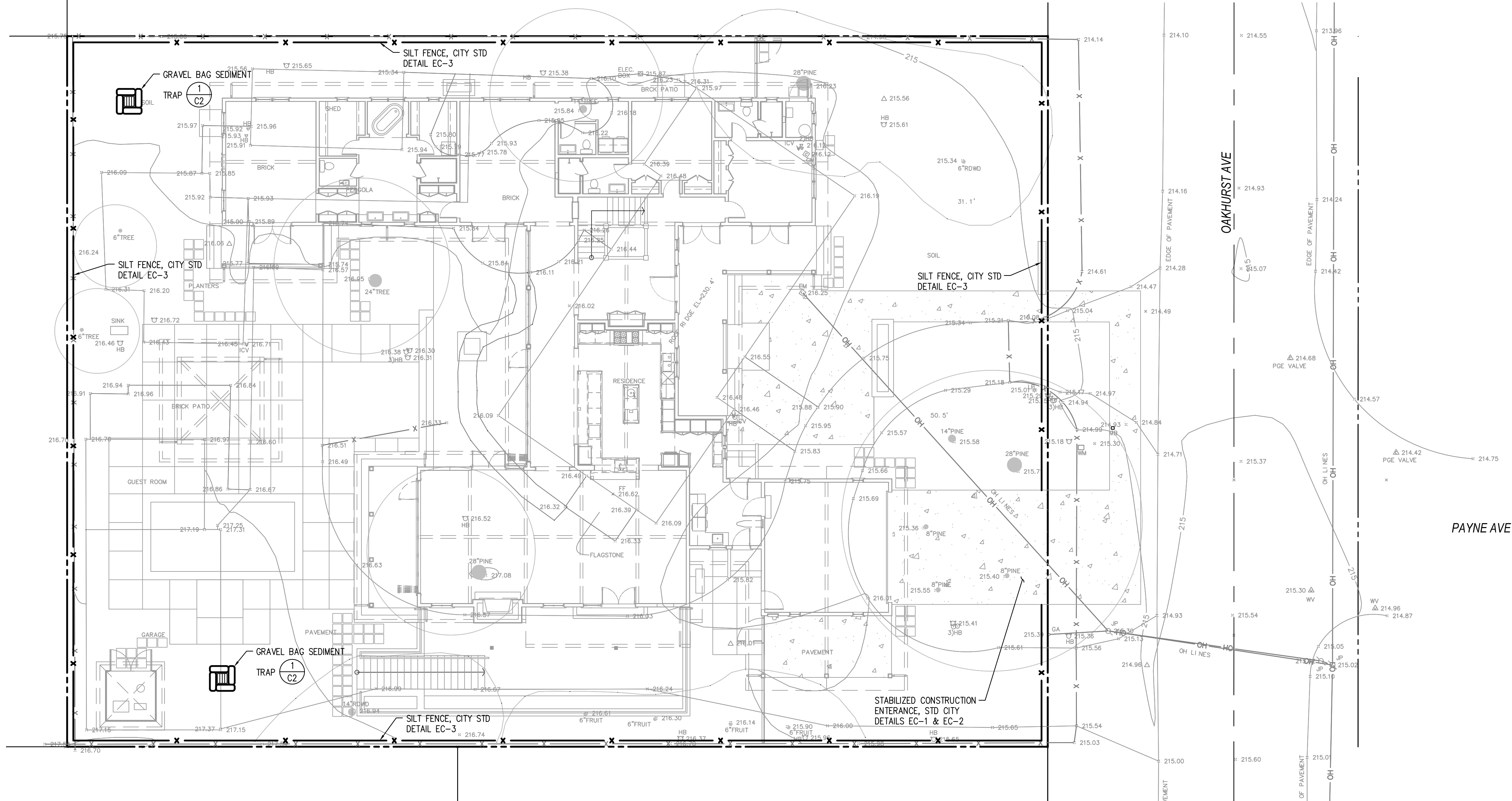
REVISION	DESCRIPTION	DATE

**ENGINEERING DIVISION**

SILT FENCE	<b>EC-3</b>
------------	-------------

STANDARD DETAILS MAY 2010

NOTES:  
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHERE NECESSARY  
2. REMOVE SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED  
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY



BY	
REVISIONS	
DATE	
NO.	

CALIFORNIA

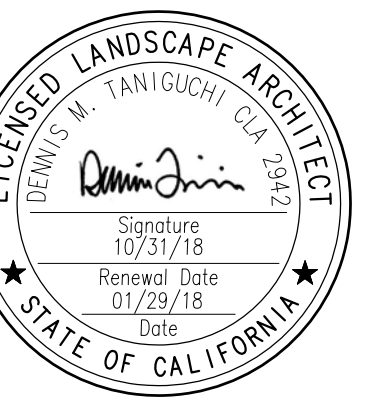
1460 OAKHURST AVENUE  
EROSION CONTROL PLAN

LOS ALTOS

**JAD Engineering, Inc.**  
CIVIL ENGINEERS  
1545 Santa Monica Avenue  
Santa Monica, CA 90404  
(408) 316-9281

REGISTERED PROFESSIONAL ENGINEER  
No. 058895  
Exp. 6-30-19  
CIVIL  
STATE OF CALIFORNIA

DATE: 1/31/2018  
SCALE: 1"=10'  
DRAWN BY: COH  
SHEET NO.: **C2**  
OF - SHEETS



ISSUE:	DESCRIPTION:	DATE:
1	PLANNING SUBMITTAL	11/15/17
2	PLANNING RESUBMITTAL	12/28/17
3	PLANNING RESUBMITTAL	01/29/18

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 17025.001

SHEET TITLE

SCHEMATIC  
LANDSCAPE  
PLAN:  
ALTERNATIVE A

SHEET NO.

LA-1

KEY NOTES: PROPOSED IMPROVEMENTS

- 1 CONCRETE PAVING
- 2 GRAVEL PAVING
- 3 CONCRETE STEP STONES
- 4 WOOD DECK--SEE ARCHITECTURAL DRAWINGS
- 5 FIRE PIT
- 6 TROUGH FEATURE
- 7 WOOD RAISED PLANTING BEDS
- 8 WOOD FENCE (6 FT HIGH) AT PROPERTY LINE
- 9 WOOD GATE (6FT HIGH TO MATCH WOOD FENCING)
- 10 SWIMMING POOL
- 11 SPA
- 12 GAZEBO--SEE ARCHITECTURAL DRAWINGS
- 13 ADDRESS MARKER--SEE ARCHITECTURAL DRAWINGS
- 14 POOL MECHANICAL--SEE ARCHITECTURAL DRAWINGS
- 15 DRAINAGE SWALE--SEE CIVIL DRAWINGS
- 16 SHOULDER PARKING STRIP (5 FT WIDE)
- 17 BASEMENT LIGHT WELL--SEE ARCHITECTURAL DRAWINGS

LEGEND

- PROPOSED TREES
- SHRUB AND GROUNDCOVER AREA
- EXISTING TREES TO REMAIN
- TREE NUMBER IN ARBORIST REPORT
- EXISTING TREES TO BE REMOVED

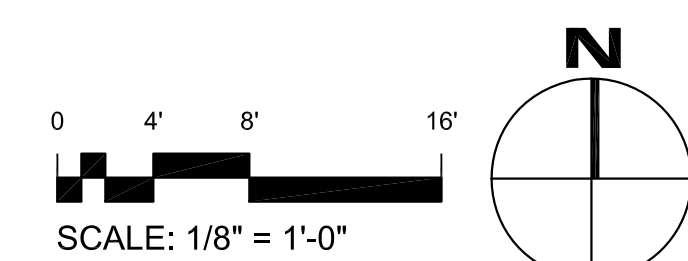
ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE	MISC. NOTES & REQUIREMENTS
<b>TREES</b>				
ACE PAL	<i>Acer palmatum</i>	Japanese Maple	15 G.C.	Multi. St./N.V.S.-45°/Stem up.
LAG MUS	<i>Lagerstroemia x Muskogee</i>	Crape Myrtle (Lavender)	24" Box	Hi. Br./SL/Match
<b>SHRUBS</b>				
CIT MEY	<i>Citrus sp.</i>	Meyer Lemon	15 G.C.	F & B/Br. Gr./Match/S.F.
CIT EUR	<i>Citrus sp.</i>	Eureka Lemon	15 G.C.	F & B/Br. Gr./Match/S.F.
DIE BIC	<i>Dietes bicolor</i>	Fortnight Lily	1 G.C.	
LOR RAZ	<i>Loropetalum chinense 'Razzleberry'</i>	N.C.N.	5 G.C.	
NAN GS	<i>Nandina domestica 'Gulf Stream'</i>	Dwarf Heavenly Bamboo	1 G.C.	F & B
NEP COR	<i>Neprolepis cordifolia</i>	Southern Sword Fern	1 G.C.	F & B
NER SIS	<i>Nerium oleander 'Sister Agnes'</i>	Oleander (White)	15 G.C.	
PIT TEN	<i>Pittosporum tenuifolium</i>	N.C.N.	15 G.C.	
PRU CAR	<i>Prunus caroliniana</i>	Carolina Cherry Laurel	15 G.C.	
RUE BRI	<i>Ruellia x Brittonia</i>	Mexican Primrose	5 G.C.	
SAL LEU	<i>Salvia leucantha</i>	Mexican Bush Sage	1 G.C.	F & B/N. Dtp. Br.
SOL RAN	<i>Solanum nortonii</i> (Lycianthes)	Paraguay Nightshade	5 G.C.	S.F./Br. Gr./F & B
<b>LAWN (SOD)</b>				
SOD	Sodded lawn shall be "Blue/Rye" mix 100% special blend of Trailblazer and Amigo fescue, available through Mello Turf Ranch, (800) 533-2428, or equal.			

PLANT LIST ABBREVIATIONS:

- Note: This list together with the plant list prepared by Taniguchi Landscape Architecture must accompany the contractor's nursery orders(s)
- SL Single main, straight, dominant, leader
  - H. Br. High branched--lowest limbs held above rooftop 5' min. for 15 gallon can 6" min. for 24" box trees
  - No Top No topping or pruning of upper branches
  - Br. Gr. Branched to ground
  - F & B Full dense, bushy, vigorous plants, with young growth closely spaced on branches, no cid/woody plants.
  - N.V.S.-30 deg. Narrow upright vase shape 30 degrees or less spread in branch/trunk structure
  - N.V.S.-45 deg. Narrow upright vase shape 45 degrees or less spread in branch/trunk structure
  - No. Whorl. Br. No closely spaced whorled branches. Select even symmetrical branch distribution
  - Match Matched size, form, caliper, branching and cultivar. Select from one lot, one grower, for guaranteed consistency through life of plants.
  - In general plants within a group or area are to be matched, unless noted otherwise.
  - T.F. Tree Form
  - S.F. Shrub Form
  - N.F. Narrow upright Form
  - B.R. Bare Root
  - B & B Balled and Burlap
  - Multi. St. Multi stemmed
  - Flat Rooted cuttings from flats at on center distance specified in list. See groundcover/shrub o.c. planting detail for layout.
  - Caliper Caliper
  - E.V. Evergreen
  - G.C. Gallon Can
  - N.C.N. No Common Name
  - Trail F Select trailing forms for prostrate growth
  - Veg. Gr. Vegetative Grown
  - Head. F. Hedge Form (clipped)
  - Stem up. Stem up to expose trunk and lower branch pattern
  - o.c. On center
  - N. Dtp. Br. No long heavy drooping branches

EXISTING TREE SUMMARY (Refer to arborist report)

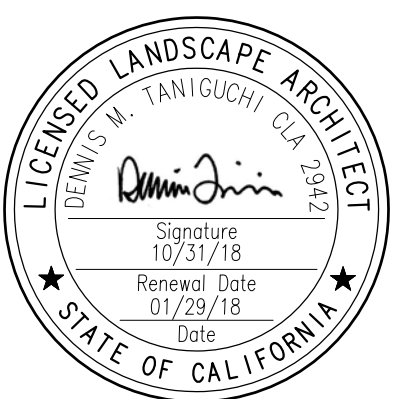
Number	Tree species/Common Name	Trunk Diameter (DBH)	Height (feet)	Spread (feet)	Arborist Summary	Disposition
1	Pinus radiata/Monterey Pine	28.0	65	40	Poor vigor and form	Retain
2	Cedrus deodara/Deodar cedar	15.6	70	25	Fair vigor, poor form	Retain
3	Cedrus deodara/Deodar cedar	7.6	35	15	Good vigor, good form	Remove
4	Cedrus deodara/Deodar cedar	8.1	35	15	Good vigor, good form	Remove
5	Cedrus deodara/Deodar cedar	7.4	31	15	Good vigor, good form	Remove
6	Cedrus deodara/Deodar cedar	29.9	90	45	Good vigor, fair-poor form--limb loss	Remove
7	Sequoia sempervirens/Coast Redwood	11.9	45	15	Poor vigor and form	Retain
8	Ceratonia siliqua/Carob	17.1	25	35	Good vigor, fair form	Retain
9	Ficus carica/Fig	13.7	20	25	Good vigor, fair form	Remove
10	Pseudotsuga menziesii/Douglas Fir	22.5	80	35	Good vigor, fair form	Remove
11	Diospyros kaki/Persimmon	3.0	12	6	Good vigor, good form	Retain
12	Citrus spp./Lime	4.00	10	10	Good vigor, good form	Remove
13	Citrus spp./Lime	4.0	8	10	Good vigor, good form	Remove
14	Citrus spp./Lemon	5.0	12	10	Fair vigor, fair form	Retain
15	Prunus persica/Peach	5.6	12	10	Fair vigor, poor form	Retain
16	Prunus armeniaca/Apricot	6.4	15	12	Good vigor, good form	Retain
17	Prunus spp./Plum	5.6	15	12	Good vigor, good form	Retain
18	Sequoia sempervirens/Coast Redwood	6	15	8	Fair to poor vigor	Remove



I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

*Dennis M. Taniguchi*

DENNIS M TANIGUCHI, CLA 2942



ISSUE:	DESCRIPTION:	DATE:
1	PLANNING SUBMITTAL	11/15/17
2	PLANNING RESUBMITTAL	12/28/17
3	PLANNING RESUBMITTAL	01/29/18

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: 17025.001

SHEET TITLE

IRRIGATION HYDROZONE PLAN

SHEET NO.

LA-2

HYDROZONE LEGEND

- LOW WATER USE (6245SF OR 81% OF PLANTING AREA) (SUBSURFACE DRIP AND/OR DRIP EMITTERS)
- MEDIUM WATER USE (684 SF OR 9% OF PLANTING AREA) (SUBSURFACE DRIP AND/OR DRIP EMITTERS)
- HIGH WATER USE (815 SF OR 11% OF PLANTING AREA) (TURF AREA-POP-UP SPRAY HEADS)

CONCEPTUAL IRRIGATION STATEMENT

- 1 IRRIGATION DESIGN SHALL BE ZONED FOR 1) TURF AND ANNUALS AND OTHER MODERATE TO HIGHER WATER USE PLANT MATERIALS; 2) GROUNDCOVERS, AND 3) NATIVE AND WATER CONSERVING PLANT MATERIALS.
- 2 IRRIGATION DESIGN SHALL ALSO BE ZONED FOR MICRO CLIMATES INCLUDING COOL, SHADED AND PROTECTED AREAS, AS WELL AS HOT, SUNNY AND WINDY AREAS.
- 3 PART SHADE AREAS INCLUDE MODERATE WATER USE AREAS HAVING MORNING AND/OR AFTERNOON SHADE.
- 4 COOL AND FULL SHADY AREAS INCLUDE LOW WATER USE AREAS FOR PLANTS REQUIRING LITTLE OR NO IRRIGATION WATER AND/OR LOCATIONS THAT WILL PROVIDE MOIST CONDITIONS.
- 5 LAYOUT SHALL BE DESIGNED FOR MINIMUM RUNOFF AND OVERSPRAY ONTO NON-LANDSCAPED AREAS.
- 6 LOW VOLUME SPRINKLERS SHALL BE USED WHEREVER POSSIBLE WITH HEAD TO HEAD COVERAGE.
- 7 DRIP EMITTER OR BUBBLER IRRIGATION SHALL BE UTILIZED AT TREES TO PROMOTE DEEP WATERING WHEREVER POSSIBLE.
- 8 DRIP IRRIGATION SHALL BE UTILIZED AT NON-TRAFFIC OR ISOLATED PLANTING AREAS TO DECREASE THE POSSIBILITY OF VANDALISM TO THE MICRO-TUBING.
- 9 THE IRRIGATION CONTROLLER SHALL HAVE AMPLE CAPACITY IN TERMS OF PROGRAMS AND CYCLES THAT WILL MATCH THE COMPLEXITY OF THE LANDSCAPE PLAN FOR MORE EFFICIENT WATERING. FOR EXAMPLE, THE CONTROLLER SHALL HAVE THE ABILITY TO HAVE MULTIPLE CYCLES TO PERMIT A NUMBER OF SHORT DURATION WATERINGS THAT WILL ALLOW WATER TO SOAK INTO THE SOIL RATHER THAN RUN OFF.
- 10 INDIVIDUAL BUBBLERS OR DRIP EMITTERS SHALL BE UTILIZED TO ISOLATE WATER FOR PLANT MATERIALS AND ELIMINATE WATERING OF "BARE GROUND."

STANDARDS FOR IRRIGATION EQUIPMENT

- 1 MAINLINES SHALL BE 1120 PVC-SCHEDULE 40 FOR PIPE SIZE 1 1/2" AND SMALLER, 1120 PVC-CLASS 315 FOR PIPE SIZES 2" AND 2 1/2", BELL AND RING PVC-CLASS 160 FOR PIPE SIZES 3" AND LARGER.
- 2 LATERAL LINES SHALL BE 1120 PVC-CLASS 200.
- 3 DEPTH OF MAINLINE: 24" OF COVER  
DEPTH OF LATERAL LINE: 18" OF COVER  
DEPTH OF PIPE UNDER PAVING: 24" OF COVER ENCASED IN A SLEEVE
- 4 BACKFLOW PREVENTER SHALL BE A TYPE APPROVED BY AND INSTALLED PER LOCAL CODES.
- 5 SPRINKLERS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE CIRCUIT.
- 6 PRECIPITATION RATES FOR SPRINKLERS SHALL MATCH SOIL ABSORPTION RATE.
- 7 SPRINKLERS SHALL HAVE PRESSURE COMPENSATING FEATURE WHENEVER POSSIBLE TO PREVENT FOGGING AND MISTING AND TO PREVENT WIND DRIFT.
- 8 SPRINKLER CIRCUIT SHALL HAVE A CHECK VALVE INSTALLED WHERE NECESSARY TO MINIMIZE OR PREVENT LOW HEAD DRAINAGE.
- 9 RAIN SENSING OVERRIDE DEVICES SHALL BE INSTALLED WITH CONTROLLER.
- 10 IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION OF THE PRIMARY POWER SOURCE.
- 11 PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO MAINTAIN DYNAMIC PRESSURE WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
- 12 MANUAL SHUT-OFF VALVES TO BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE IRRIGATION WATER SUPPLY.

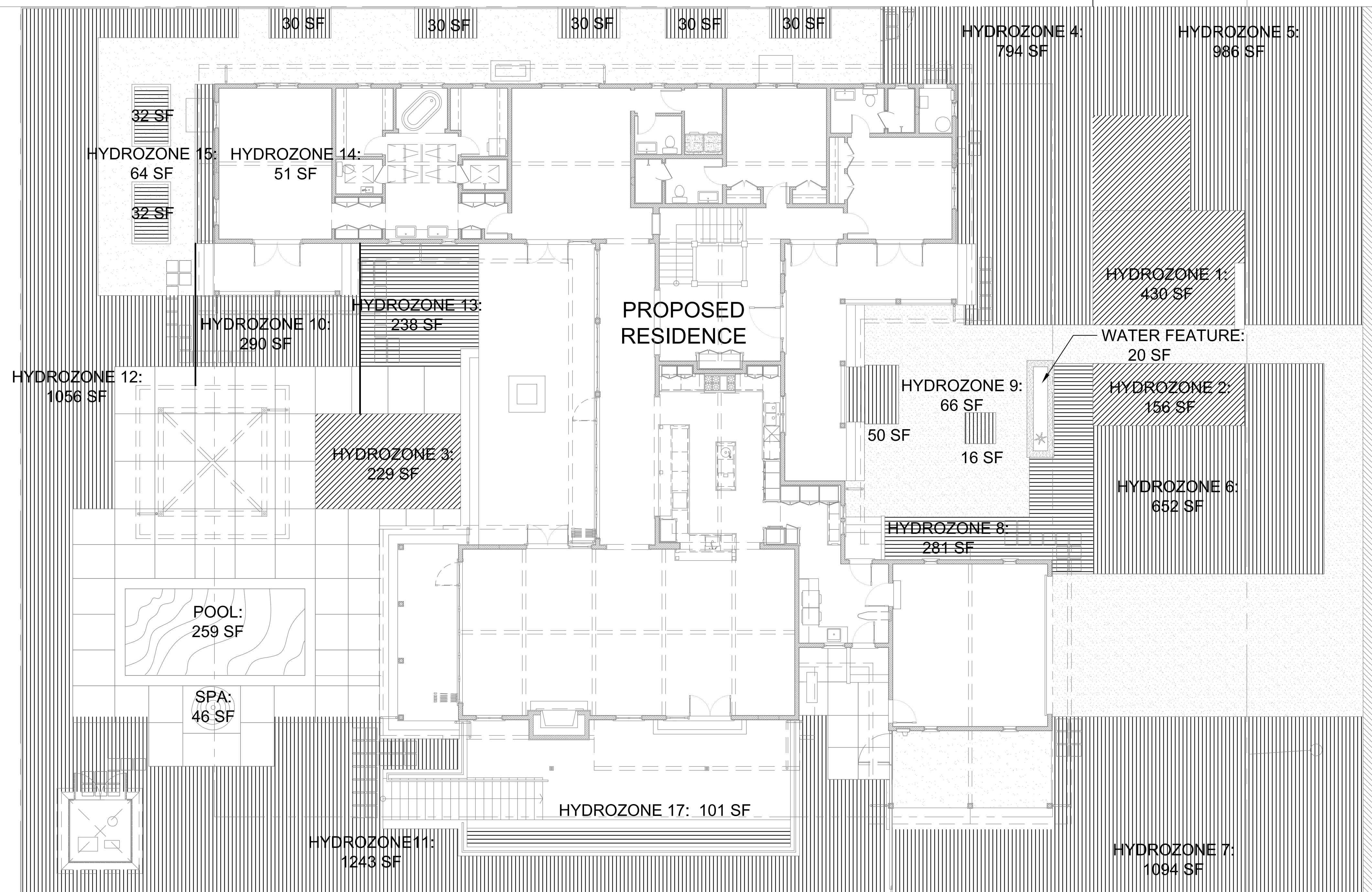
NOTES:

- 1 IRRIGATED PLANTED AREA= 7744 SF  
TURF IS 11% (815 SF) OF THAT PLANTED AREA
  - 2 A MINIMUM 3-INCH LAYER OF 1/2" TO 1" DIAMETER FIR OR PINE BARK MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS.
  - 3 UNLESS CONTRAINDICATED BY A HORTICULTURAL SOILS ANALYSIS, SOIL AMENDMENT TO INCLUDE COMPOST AT A MINIMUM OF 4 CUBIC YARDS PER 1000 SF OF PLANTING AREA INCORPORATED TO A DEPTH OF 6 INCHES.
  - 4 PLANT MATERIAL SPECIES ARE DROUGHT TOLERANT INTRODUCED OR NATIVE AND NON-INVASIVE PLANT SPECIES(AS DEFINED BY THE CALIFORNIA INVASIVE PLANT COUNCIL). DROUGHT TOLERANCE IS AS DEFINED IN "PLANTS AND LANDSCAPES FOR SUMMER-DRY CLIMATES OF THE SAN FRANCISCO BAY REGION" BY THE EAST BAY MUNICIPAL UTILITY DISTRICT.
- SOD IS SELECTED FROM A REDUCED IRRIGATION NEED SEED MIX.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN

*Dennis M. Taniguchi*

DENNIS M TANIGUCHI, CLA 2942



OAKHURST AVENUE

Water Efficient Landscape Worksheet: 1460 Oakhurst 01/29/2018

Reference Evapotranspiration (Eto)	43 (Los Altos)			ETWU requirement	MAWA requirement	ETWU requirement	Estimated Total Water Use (ETWU)
	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)				
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (LA) (sq. ft.)	ETAF x Area	
<b>Regular Landscape Areas</b>							
#1 Turf	0.7	Overhead Spray	0.75	0.933	430	401.33	10,700
#2 Turf	0.7	Overhead Spray	0.75	0.933	156	145.60	3,882
#3 Turf	0.7	Overhead Spray	0.75	0.933	229	213.73	5,698
#4 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	794	196.05	5,227
#5 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	986	243.46	6,491
#6 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	652	160.99	4,292
#7 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	1,094	270.12	7,201
#8 Mixed shrubs/groundcover	0.5	Drip	0.81	0.617	281	173.46	4,624
#9 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	66	16.30	434
#10 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	290	71.60	1,909
#11 Mixed shrubs/groundcover	0.7	Drip	0.81	0.864	1,243	1,074.20	28,638
#12 Mixed shrubs/groundcover	0.2	Drip	0.81	0.247	1,056	260.74	6,951
#13 Mixed shrubs/groundcover	0.5	Drip	0.81	0.62	238	147	3,917
#14 Mixed shrubs/groundcover	0.2	Drip	0.81	0.25	51	13	336
#15 Kitchen garden	0.5	Drip	0.81	0.62	64	40	1,063
#16 Mixed shrubs/groundcover	0.2	Drip	0.81	0.25	150	37	987
#17 Mixed shrubs/groundcover	0.2	Drip	0.81	0.25	101	25	665
Totals					7,881	3,488.57	93,005
<b>Special Landscape Areas (SLA)</b>							
1) Pool					1	259	6,905
2) Spa					1	46	1,226
3) Water feature					1	20	533
Totals					325	325	8,665
<b>Estimated Total Water Use (ETWU)</b>							<b>93,005</b>
<b>Maximum Allowed Water Allowance (MAWA)</b>							<b>103,213</b>

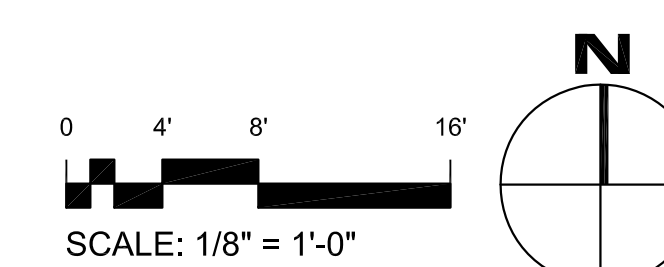
Plant Water Use Type	Plant Factor	Irrigation method	Irrigation Efficiency
very low	0-0.1	overhead spray	0.75
low	0.1-0.3	drip	0.81
medium	0.4-0.6		
high	0.7-1.0		

MAWA (annual gallons allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
where 0.62 is a conversion factor that converts acre-inches per acre/year to gallons per sq. ft./year. LA is the total landscape area in sq. ft., SLA is the total special landscape area in sq. ft., and ETAF is .55 for residential areas and 0.45 for non residential areas.

ETAF Calculations

Regular Landscape Areas		
Total ETAF x Area	3,489	Average ETAF for regular landscape areas must be 0.55 or below
Total Area	7,881	for residential areas, and 0.45 or below for non-residential areas.
Average ETAF	0.44	

All Landscape Areas	
Total ETAF x Area	3,814
Total Area	8,205
Sitewide ETAF	0.46



**BASIS OF BEARINGS**

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF OAKHURST AVENUE AS FOUND MONUMENTED AND RECORDED AS SOUTH 0°01' WEST ON THE TRACT MAP RECORDED IN BOOK 74, PAGE 35, SANTA CLARA COUNTY RECORDS.

**TRACT NO. 250  
UNIT NO. 1  
8-M-15**

ALL DISTANCES AND ELEVATIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.

BOUNDARY LINES DELINEATED ON THIS MAP ARE IN RED AND ARE BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA.

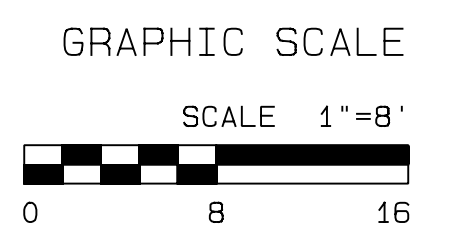
**LEGEND**

- INDICATES RECORD BOUNDARY LINE
- INDICATES BUILDING LINE
- x INDICATES EXISTING FENCE LINE
- OR — INDICATES EXISTING CONTOUR LINE
- - - INDICATES TIE BETWEEN RECORD BOUNDARY AND BUILDING LINE
- ~ INDICATES APPROXIMATE DRIPLINE OF TREES
- △ 345.9 INDICATES SPOT ELEVATION
- JP INDICATES JOINT SERVICES POLE
- WV INDICATES WATER METER
- GM INDICATES GAS METER
- EM INDICATES ELECTRIC METER
- △ INDICATES RANDOM SURVEY CONTROL POINT
- HB INDICATES HOSE BIB
- ICV INDICATES IRRIGATION CONTROL VALVES
- FF INDICATES FINISH FLOOR
- SSMH INDICATES SANITARY SEWER MANHOLE
- GA INDICATES GUY ANCHOR
- ICV INDICATES IRRIGATION VALVES
- WV INDICATES WATER VALVE

**TECHNICAL INFORMATION**

ASSESSOR'S PARCEL NUMBER: 193-34-008  
 ADDRESS OF PROJECT: 1460 OAKHURST AVE. LOS ALTOS, CA  
 CLIENT'S NAME: SAGE CAPITAL MANAGEMENT  
 DEED DOCUMENT # 23178178  
 SIZE OF LOT: 18,086 SQ FT +/-

**PAYNE AVE.**



<b>REVISED</b>		<b>ROBERT J. CRAIG</b>		<b>TOPOGRAPHIC MAP</b>	
		<b>LICENSED LAND SURVEYOR</b>		BEING LOT 5, TRACT NO. 250, UNIT #1 AS RECORDED IN BOOK 8 OF MAPS, PAGE 15 RECORDS OF SANTA CLARA COUNTY	
966 ELSIE MAE DRIVE BOULDER CREEK, CA 95006 (831) 359-1750 OR (408) 884-3791 RobertJamesCraig@gmail.com		Situsate in CITY OF LOS ALTOS County of Santa Clara, State of California		JOB NO. C-17150	
SCALE: 1" = 8'	DRAWN: RJC	DATE: SEPT. 10, 2017	APN 193-41-025	INDEX: SANTA CLARA CO.	SHEET ONE OF ONE
FIELDWORK: NIB					

10

10

9

7

6

4

5

**BASIS OF ELEVATIONS**

THE BASIS OF ELEVATIONS AS SHOWN ON THIS MAP IS SANTA CLARA VALLEY WATER DISTRICT BENCHMARK BM349. ELEVATION =193.87' (NAVD88)

**ATTENTION**

THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. I SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.

**NOTE**

THIS TOPOGRAPHIC MAP REPRESENTS THE CONDITIONS OF THE SITE AT THE TIME THE SURVEY WORK WAS COMPLETED AND SHOWS SURFACE OBJECTS ONLY. SUBSURFACE STRUCTURES, IF ANY, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, PILINGS, UNDERGROUND TANKS AND UNDERGROUND UTILITY LINES MAY NOT BE SHOWN.

Mon Sep 11 10:33:18 2017