

ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED/REQ'D
LOT COVERAGE: LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6' HIGH	3,333 S.F.	2,688 S.F.	4,620 S.F.
	21.6%	17.5%	30.0%
FLOOR AREA: MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1st FLR. 3,333 S.F.	2,477 S.F.	4,290 S.F.
	2nd FLR. 0 S.F.	1,785 S.F.	
TOTAL	3,333 S.F.	4,262 S.F.	27.9%
SETBACKS:			
FRONT	40.83 FT.	36 FT.	25 FT.
REAR	37.67 FT.	52 FT.	25 FT.
RIGHT SIDE (1ST/2ND)	10 FT.	23.25/31.25 FT.	10/17.5 FT.
LEFT SIDE (1ST/2ND)	16 FT.	26.17/26.17 FT.	10/17.5 FT.
HEIGHT:	16 FT.	26.57 FT.	27 FT.
SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: INCLUDES HABITABLE BASEMENT AREAS	2,900 S.F.	2,879 S.F.	5,779 S.F.
NON-HABITABLE AREA DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES	433 S.F.	38 S.F.	471 S.F.
LOT CALCULATIONS			
NET LOT AREA:			15,400 S.F.
FRONT YARD HARDSCAPE AREA: HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	800 S.F.		29.1%
LANDSCAPE BREAKDOWN:	TOTAL HARDSCAPE AREA EXISTING & PROPOSED		6,793 S.F.
	EXISTING SOFTSCAPE (UNDISTURBED) AREA		7,803 S.F.
	NEW SOFTSCAPE AREA		804 S.F.
	SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA		

FIRE DEPARTMENT NOTES:

- REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF ACCESS AND WATER SUPPLIES. THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS AND SHALL NOT BE CONSTRUED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK THE APPLICANT SHALL MAKE A CALL TO AND RECEIVE FROM THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.
- AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) STANDARD 13D IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING DWELLINGS, WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN THE ALLOWABLE FIRE-FLOW APPENDIX TABLE B101.1 OR ADDITIONS EXCEEDS FIFTY (50) PERCENT (INCLUSIVE OF GARAGE CONVERSIONS) OF THE EXISTING LIVING AREA (EXISTING SQUARE FOOT CALCULATIONS SHALL NOT INCLUDE EXISTING BASEMENT) WHEN AUTOMATIC FIRE SPRINKLER SYSTEMS ARE REQUIRED BY THIS SECTION, ALL ASSOCIATED GARAGES SHALL BE INCLUDED. TEAR-DOWNS AND/OR ADDITIONS OVER FIFTY (50) PERCENT SHALL BE TREATED AS A NEW STRUCTURE REGARDING INSTALLATION OF FIRE SPRINKLER SYSTEMS. THE OBLIGATION TO PROVIDE COMPLIANCE WITH THESE FIRE SPRINKLER REGULATIONS MAY NOT BE EVADDED BY PERFORMING A SERIES OF SMALL ADDITIONS UNDERTAKEN OVER A THREE-YEAR PERIOD. THE PERMIT ISSUING OFFICE OF PAST ADDITIONS WHERE THESE REGULATIONS WERE IN EFFECT SHALL BE USED FOR DETERMINING COMPLIANCE. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-4) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY LAMC.
- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEM(S) AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO A MAINLINE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEMS UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 1314.1
- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATIONS 31-1. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS TO THE PROJECT. CFC CHAPTER 33.
- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SEC. 505.1

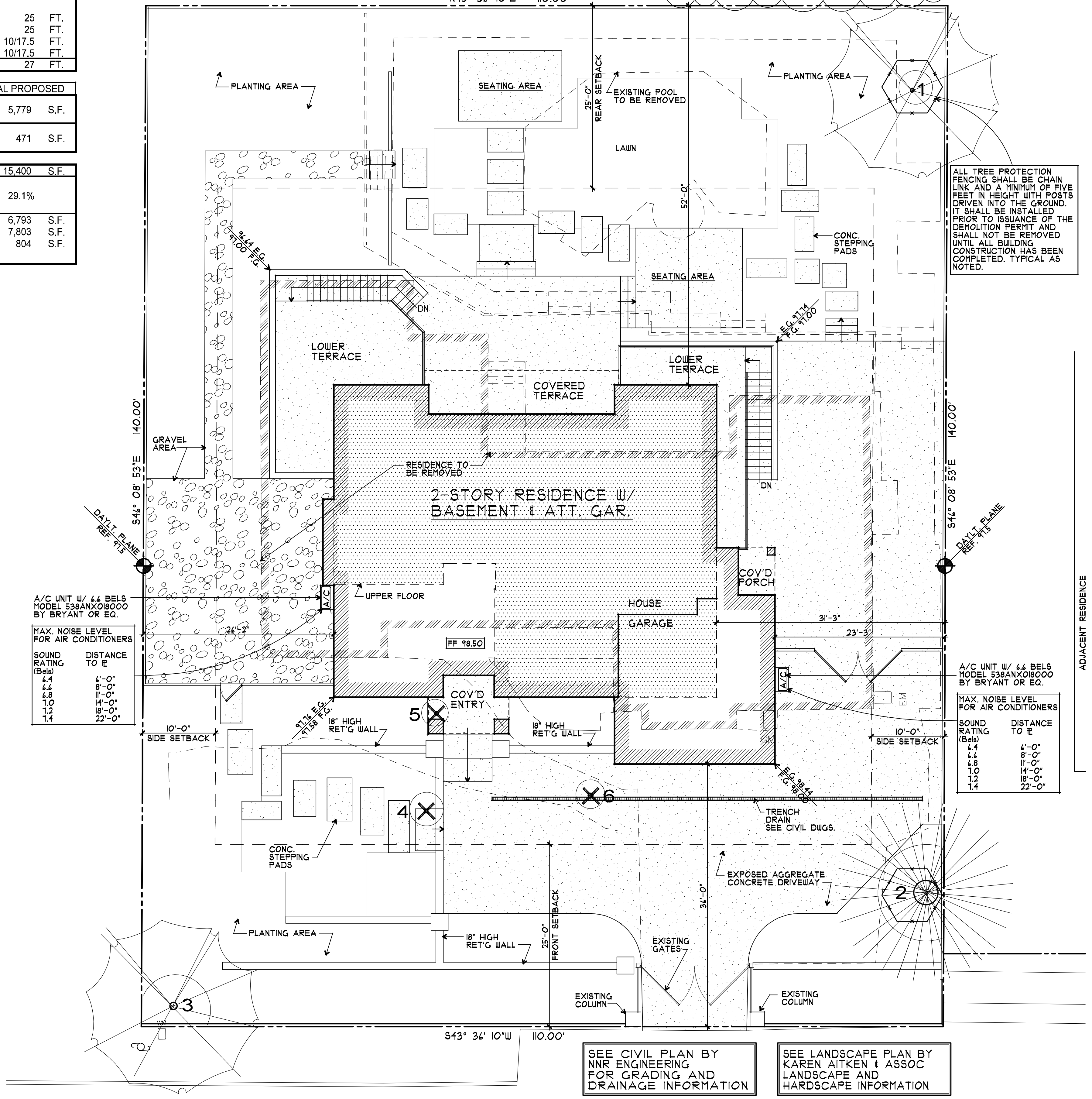
AREA SCHEDULE

LOT AREA	15,400 S.F.
LIVABLE AREA	1,988 S.F.
BASEMENT	2,004 S.F.
MAIN FLOOR	1,785 S.F.
UPPER FLOOR	
TOTAL	5,779 S.F.
GARAGE	471 S.F.
RIGHT COVD PORCH	33 S.F.
COVERED PORCH	74 S.F.
COVD TERRACE	102 S.F.
COVERAGE	
ALLOWED (30%)	4,420 S.F.
EXISTING	3,333 S.F.
PROPOSED	2,688 S.F.
FLOOR AREA	
ALLOWED (3,850 + 440)	4,290 S.F.
EXISTING	3,333 S.F.
PROPOSED	4,242 S.F.

LANDSCAPE INVENTORY

ITEM #	SIZE DBH	DESCRIPTION	REMOVE
1	6	VIBURNUM TINUS ROBUSTUM	NO
2	34	MONTEREY PINE	NO
3	12	LAURUS NOBILIS (BAY TREE)	NO
4	6	CREPE MYRTLE	YES
5	6	ELEPHANT HEART PLUM	YES
6	8	CREPE MYRTLE	YES

DBH=DIAMETER AT BREST HEIGHT

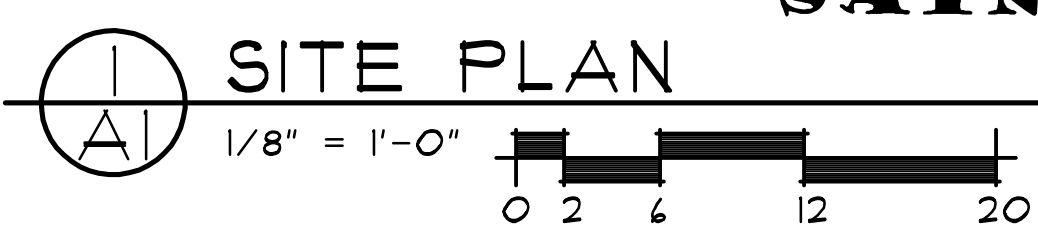
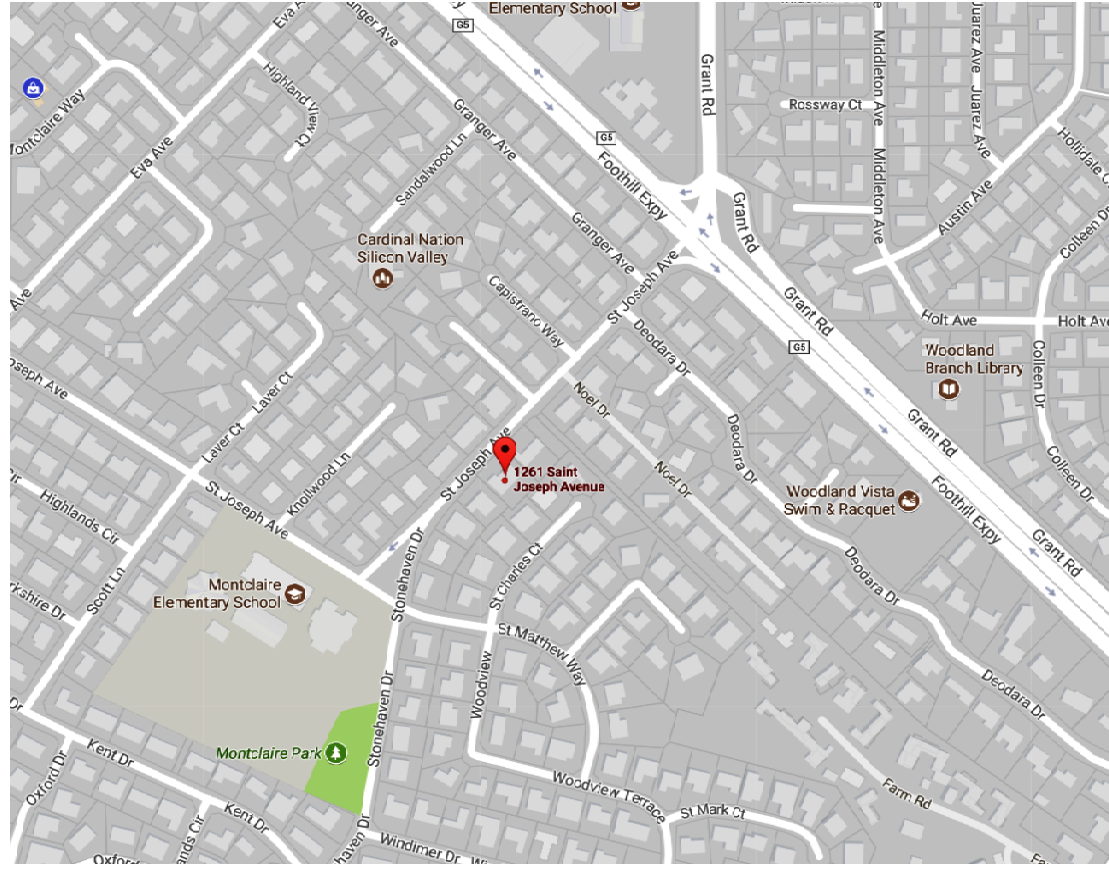


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PROJECT INFO

OWNER:	YUN BEI & YINGFAN YU 1241 SAINT JOSEPH AVENUE LOS ALTOS, CA 94024
JOB ADDRESS:	1241 SAINT JOSEPH AVENUE LOS ALTOS, CA 94024
BUILDING OCCUPANCY GROUP(S):	R-3/U
TYPE(S) OF CONSTRUCTION:	V-B
OCCUPANCY CATEGORY:	II
A.P.N.:	342-25-043
ARCHITECT:	RH ASSOCIATES, ARCHITECTS 22847 SUNSET RIDGE DR. AUBURN, CA 95602 CONTACT: STEVE COLLOM (530) 248-3055 steve.collo@gmail.com
CIVIL ENGINEER:	NR ENGINEERING 535 WEYBRIDGE DRIVE SAN JOSE, CA 95123 CONTACT: NADIM RAFOUL (408) 348-1818 nrengineering@yahoo.com
LANDSCAPE DESIGN:	KAREN AITKEN & ASSOCIATES 8242 RANCHO REAL GILROY, CA 95020 CONTACT: KAREN AITKEN (408) 842-0245 AitkenAssociates@gmail.com



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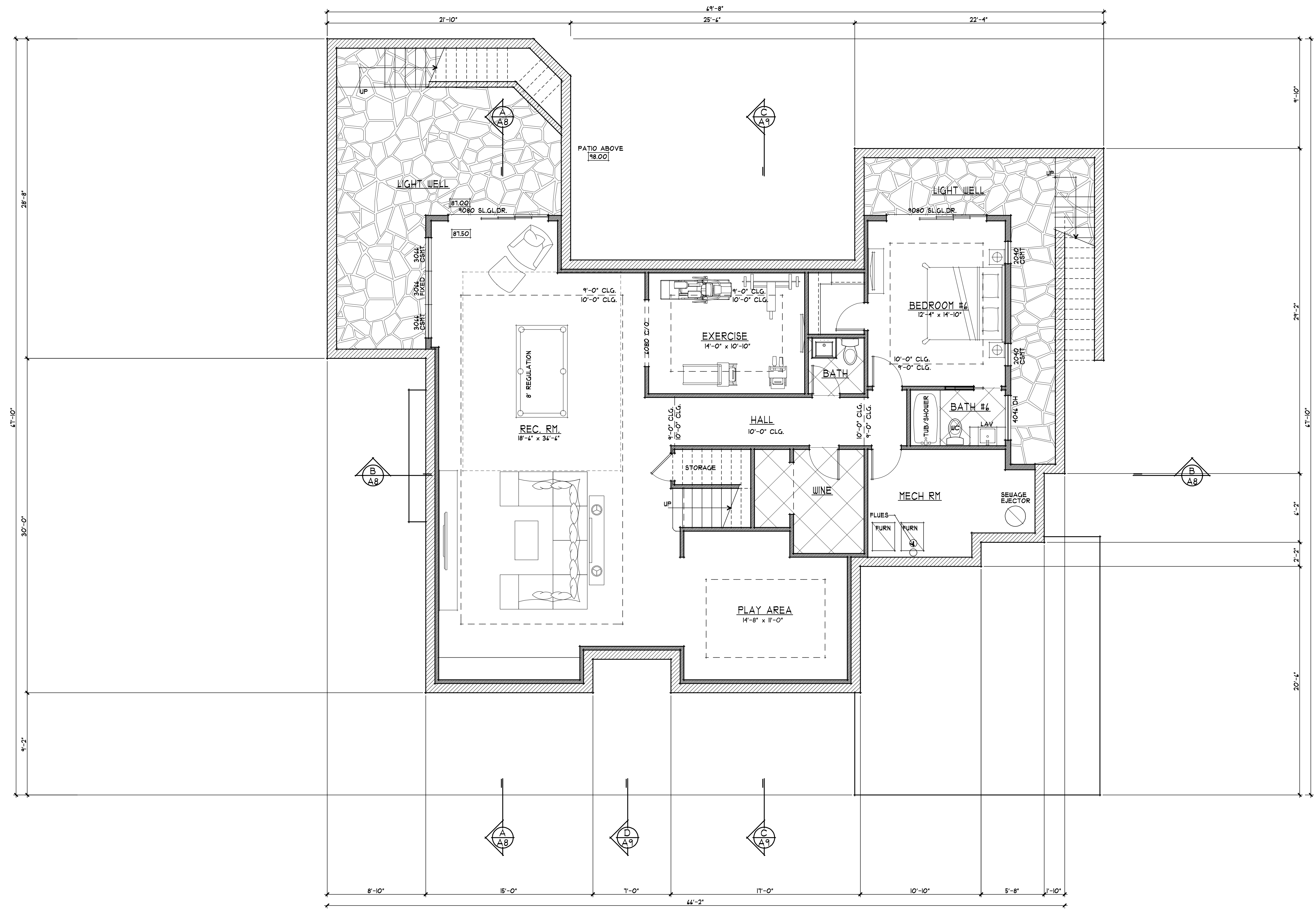
drawings
SITE PLAN

revisions
1/9/18 PLANNING

project number
2421

date
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sheet number
A1



BASEMENT FLOOR PLAN
 1/4" = 1'-0"
 0 1 3 6 10

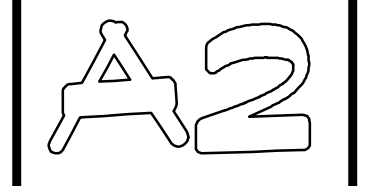
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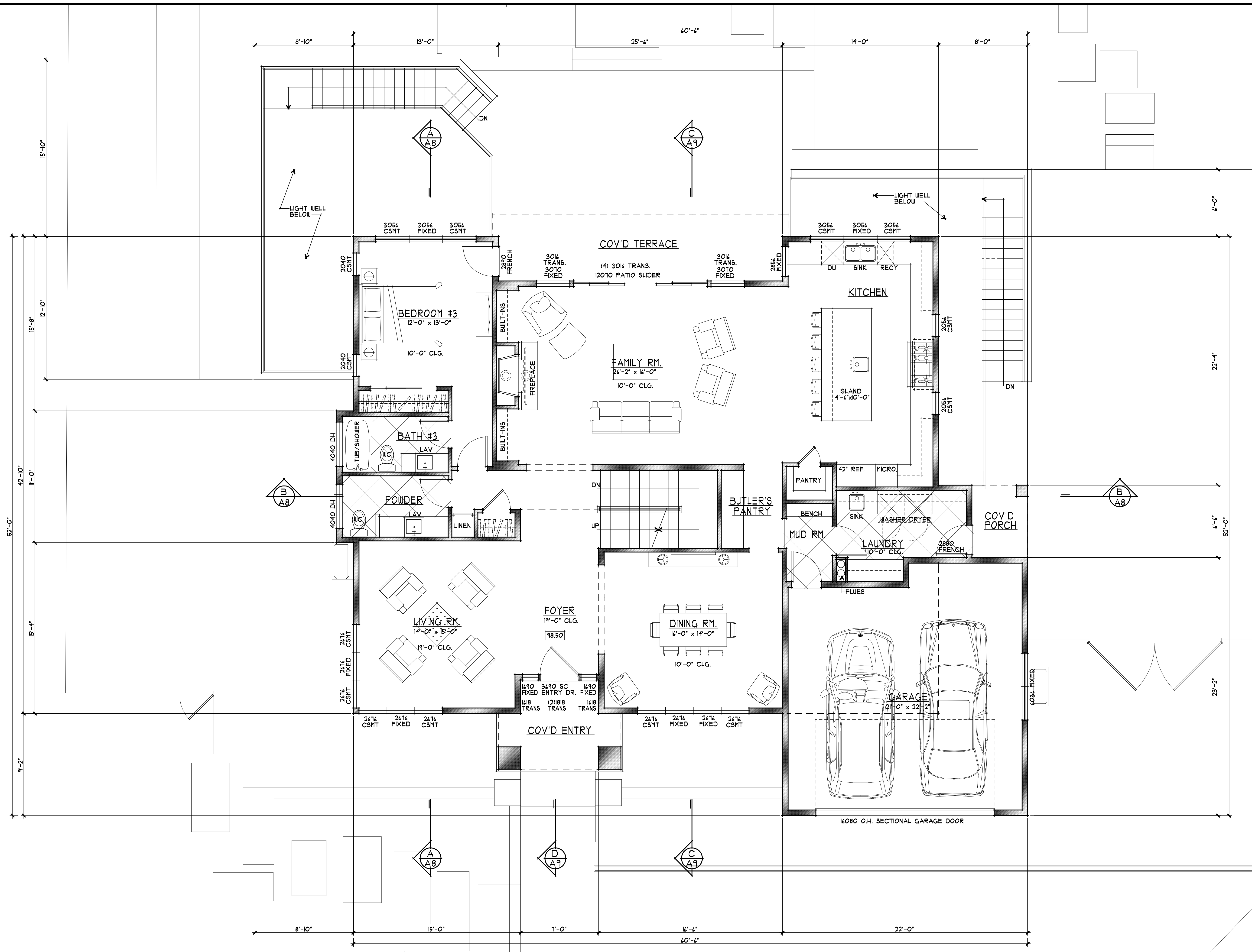
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drawings	BASEMENT FLOOR PLAN
revisions	△ 1/9/18 PLANNING
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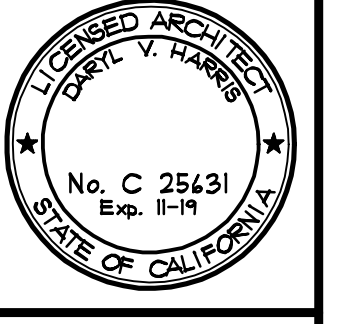




1 MAIN FLOOR PLAN
 1/4" = 1'-0"
 0 1 3 6 10

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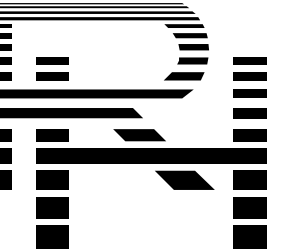
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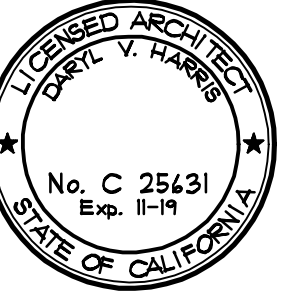
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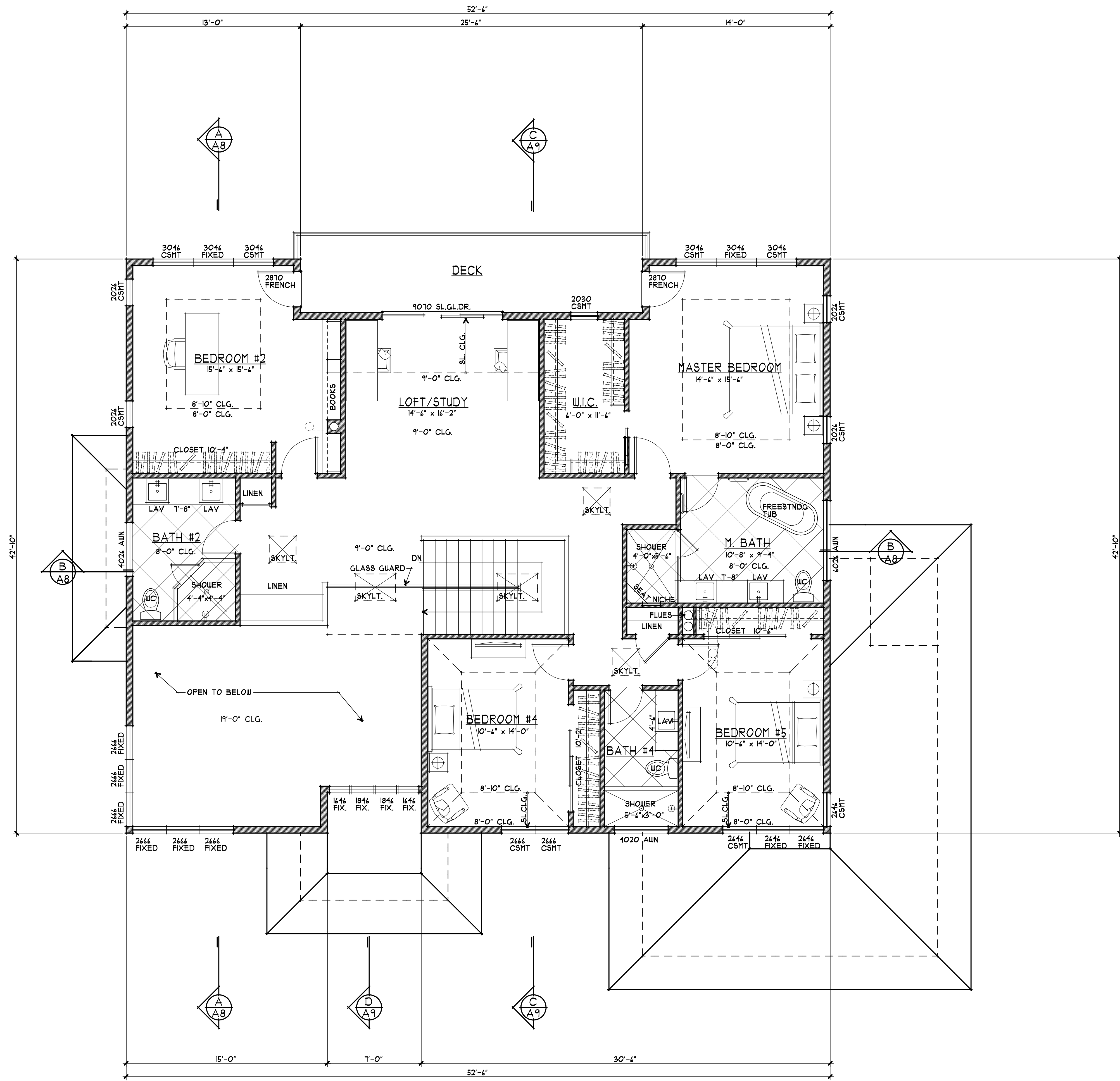
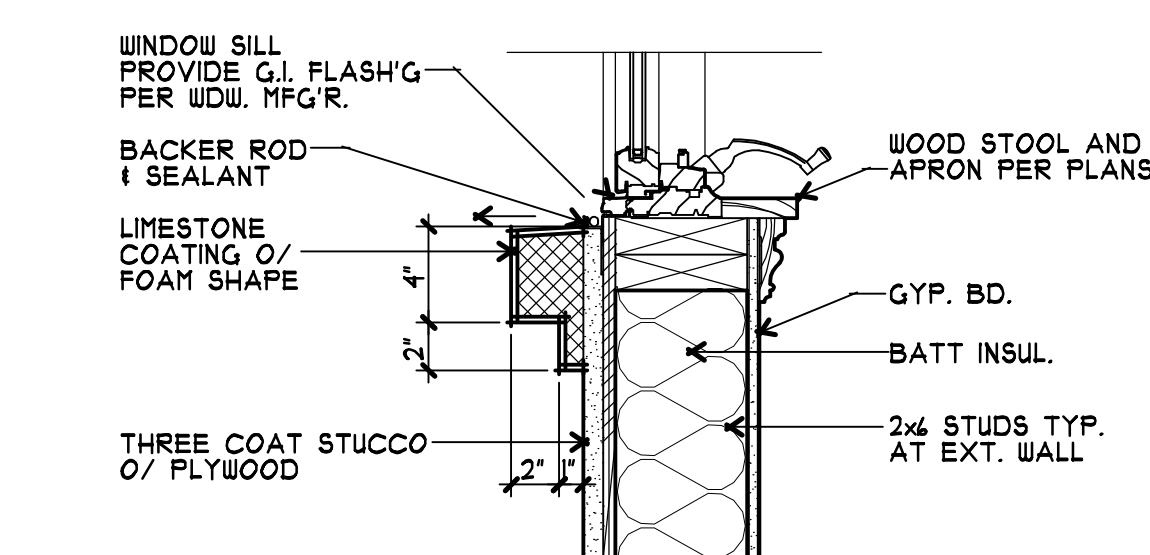
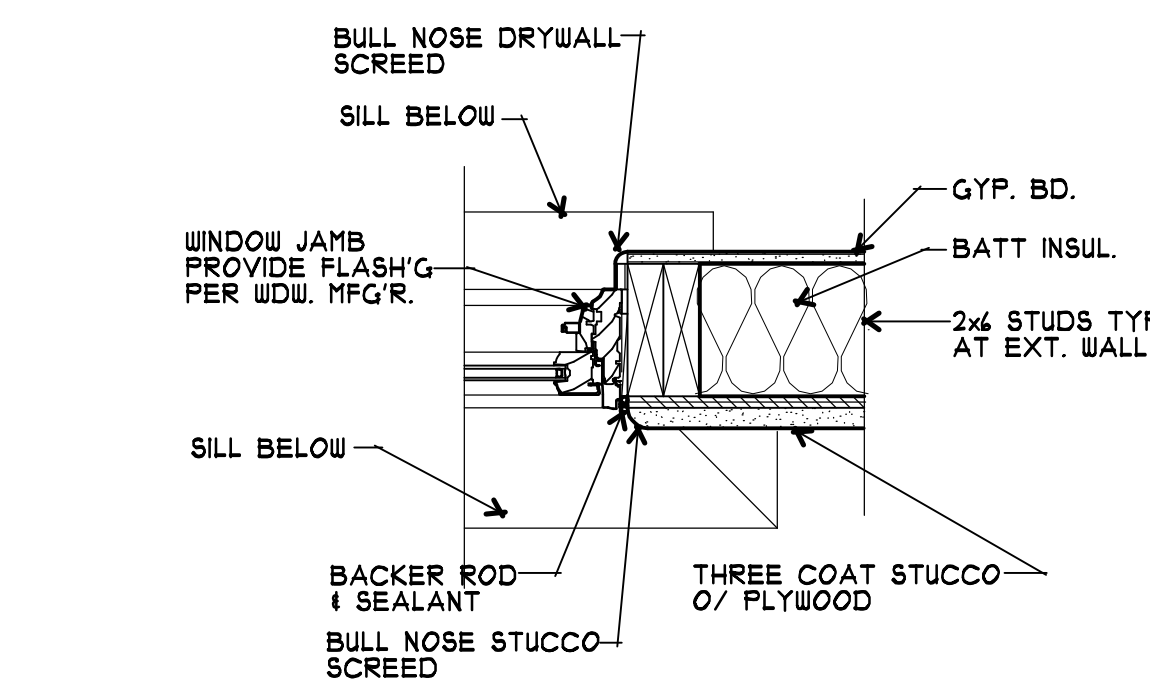
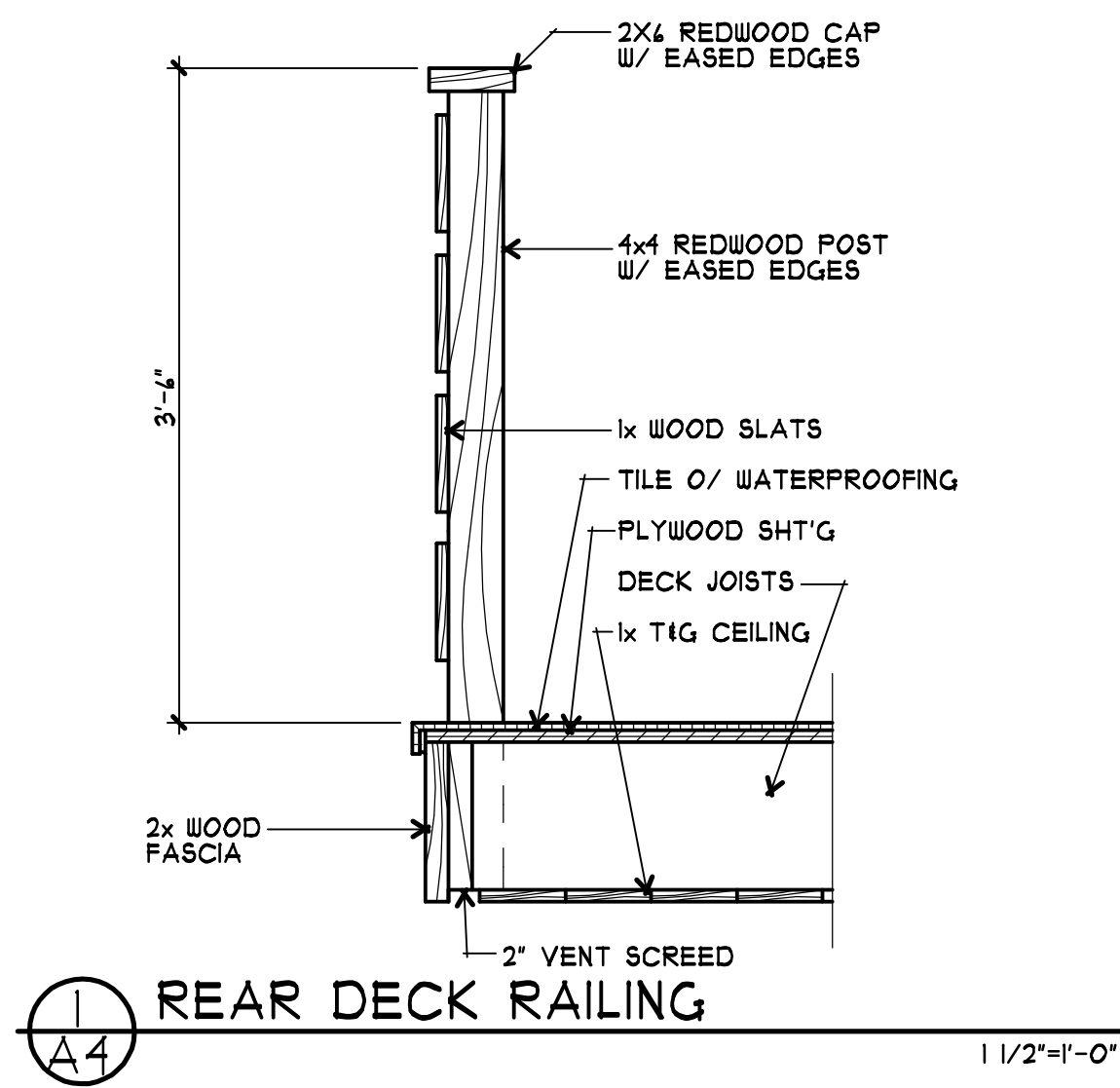
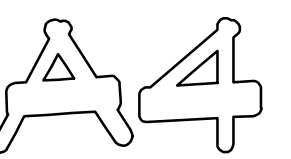
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UPPER FLOOR
PLAN

revisions
1/9/18 PLANNING

project number
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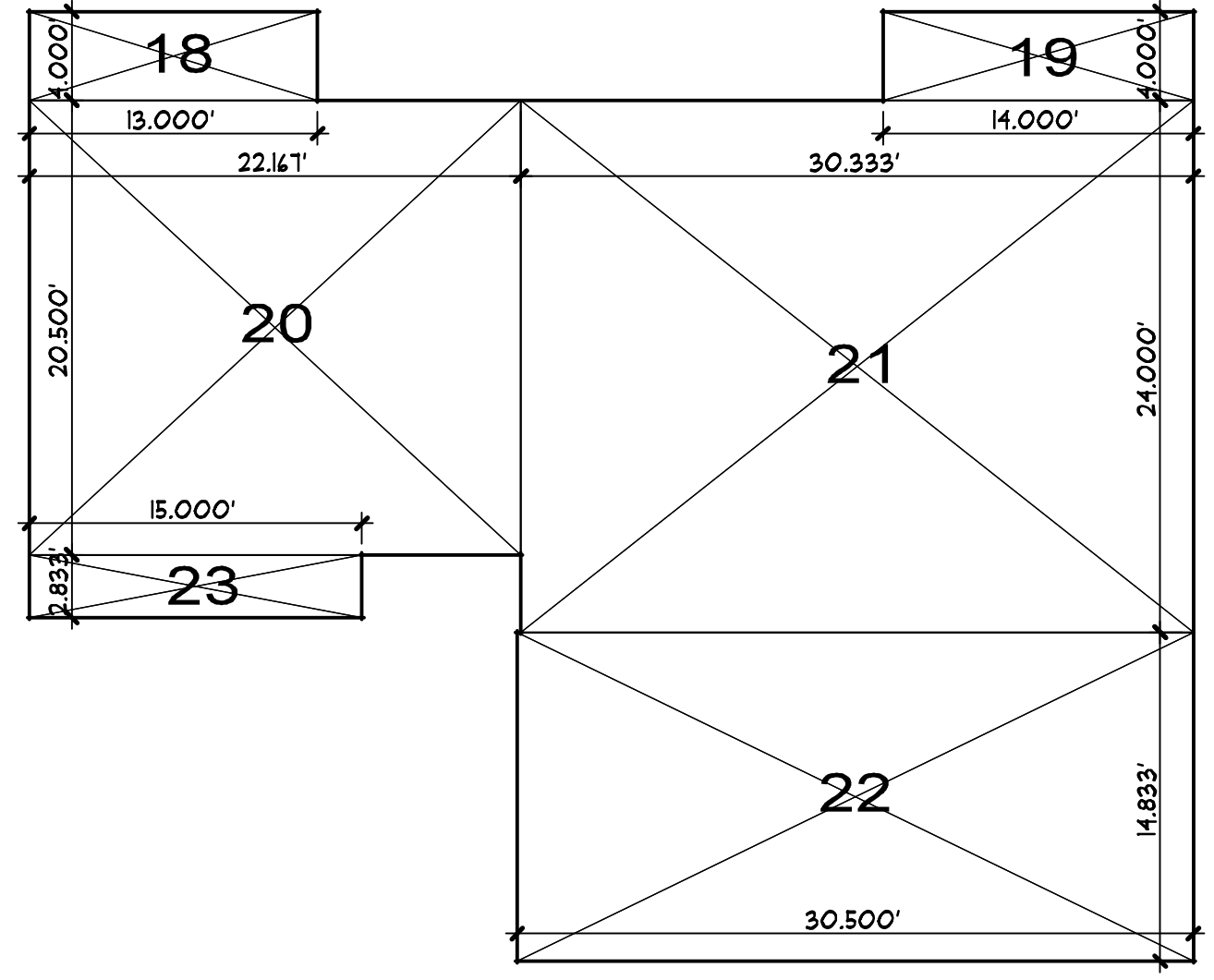
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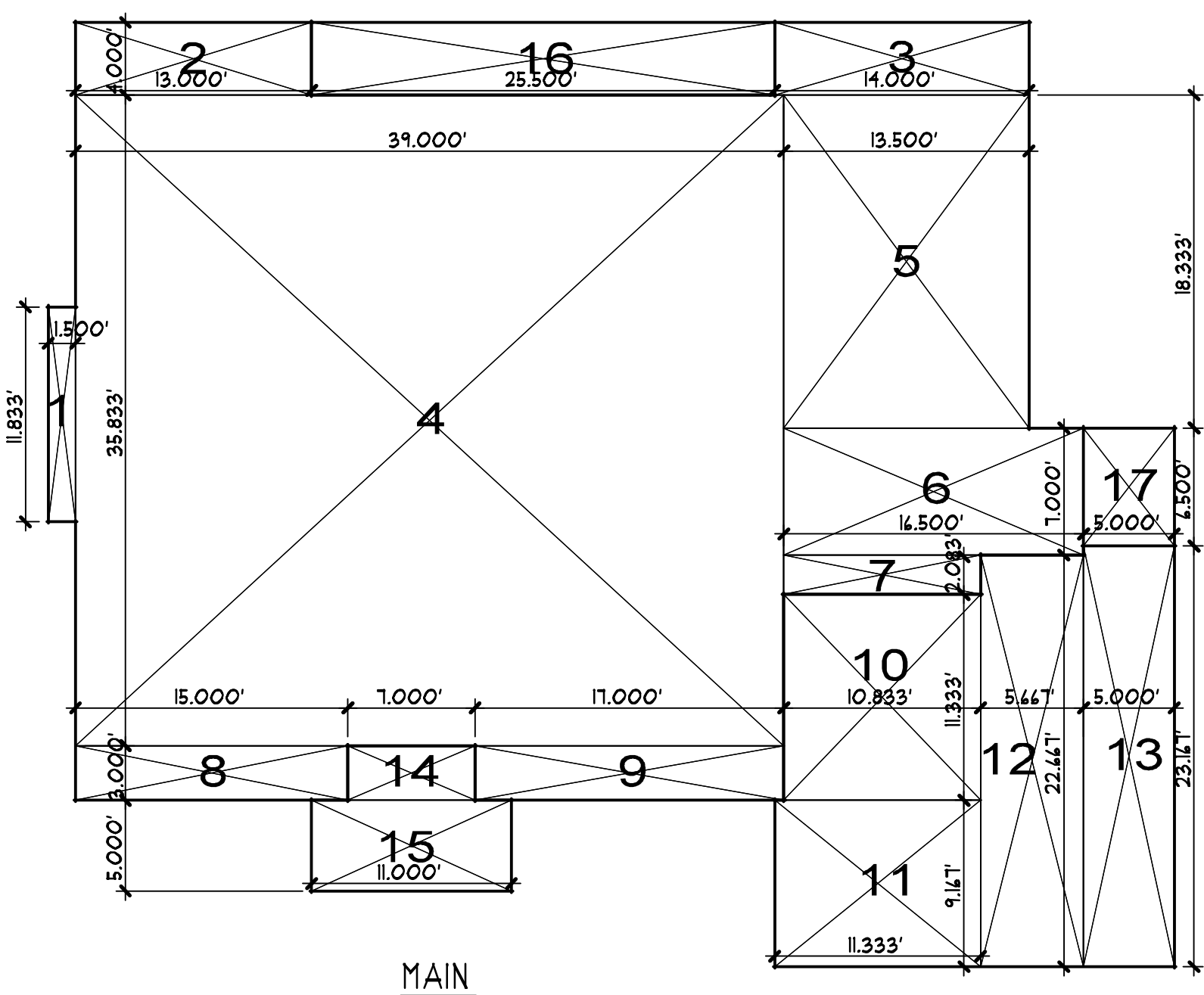


1/4" = 1'-0" 0 1 3 6 10
UPPER FLOOR PLAN

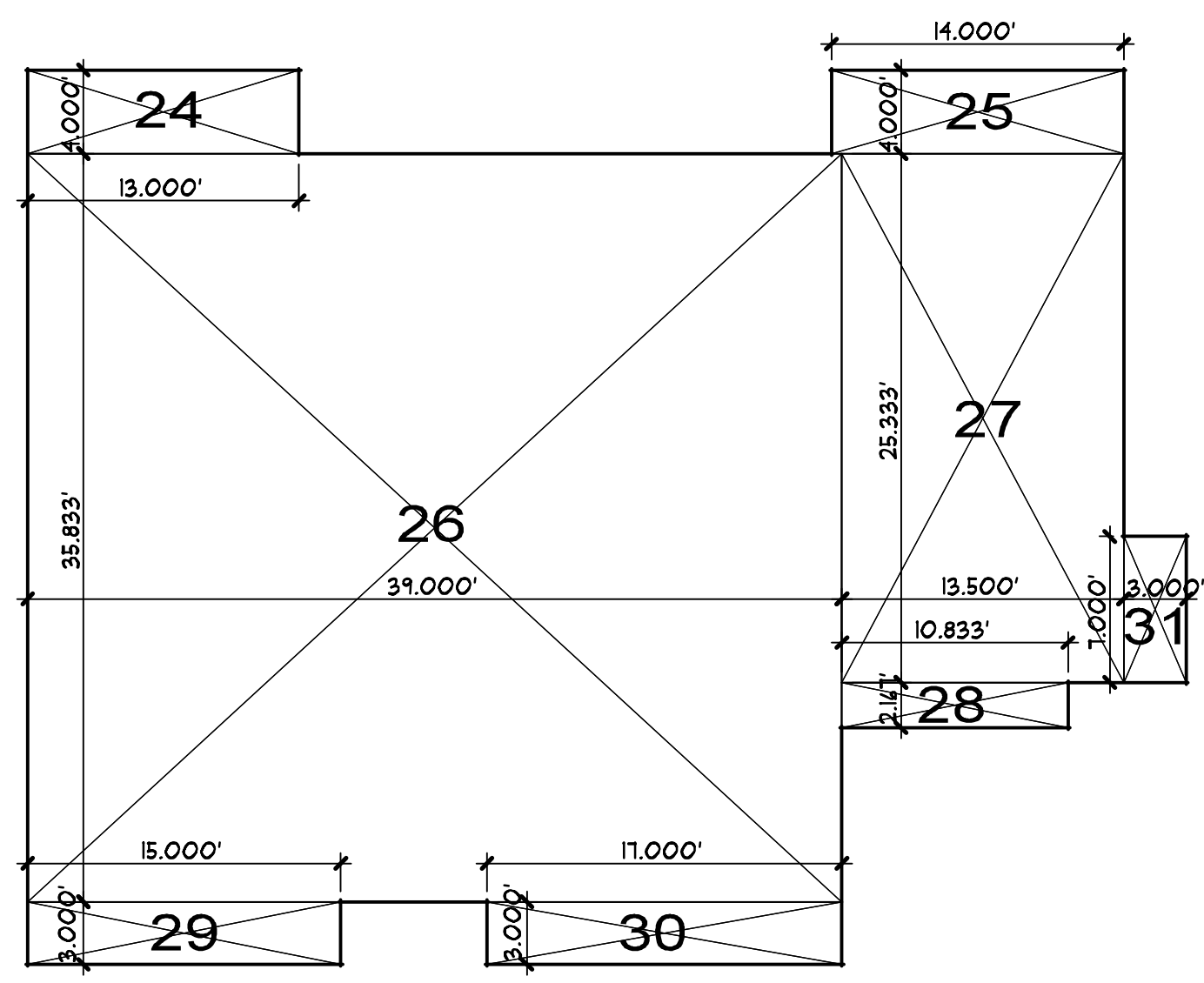
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UPPER

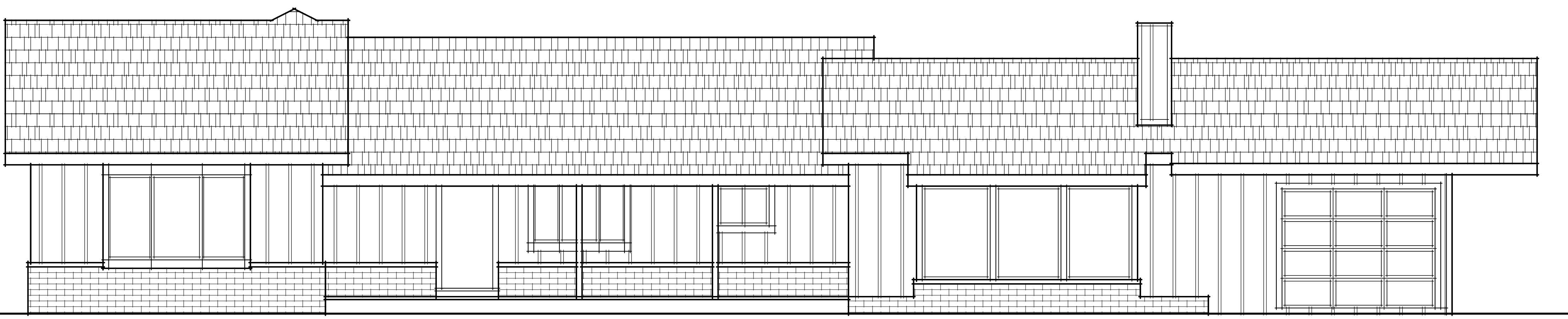


MAIN

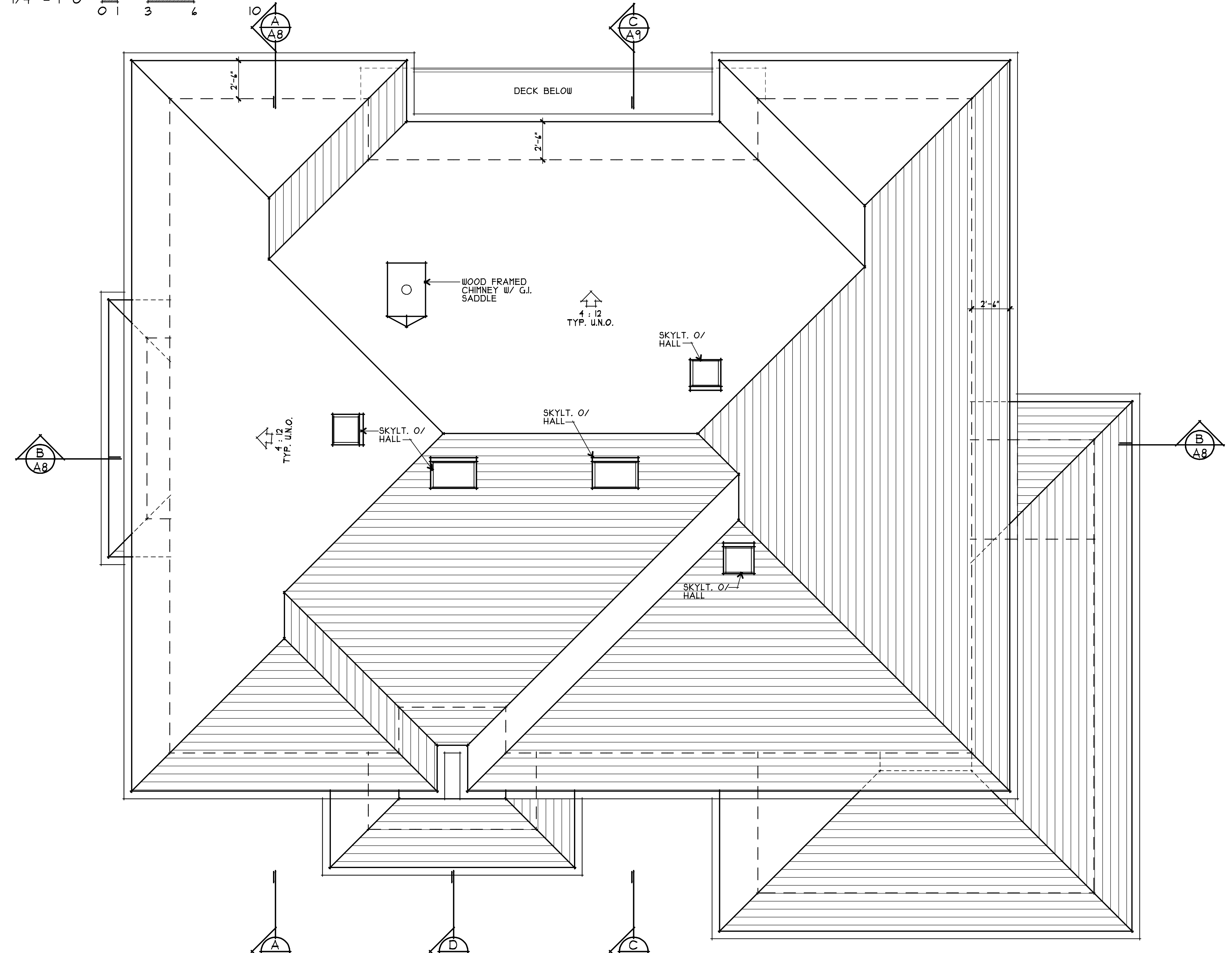


BASEMENT

MAIN FLOOR					
18	13.00	x	4.00	=	52.0
19	14.00	x	4.00	=	56.0
20	39.00	x	35.83	=	1391.5
21	30.33	x	18.33	=	555.5
22	30.50	x	14.83	=	452.4
23	15.00	x	2.85	=	42.5
TOTAL					2,004
GARAGE					
10	10.83	x	11.33	=	122.8
12	5.41	x	22.41	=	121.3
13	5.00	x	23.11	=	115.6
TOTAL					411
COVID PORCH					
14	1.00	x	3.00	=	3.0
15	11.00	x	5.00	=	55.0
TOTAL					58.0
REAR COVID TERRACE					
16	25.50	x	4.00	=	102
SIDE TERRACE					
17	5.00	x	4.50	=	22.5
UPPER FLOOR					
18	13.00	x	4.00	=	52.0
19	14.00	x	4.00	=	56.0
20	39.00	x	35.83	=	1391.5
21	30.33	x	18.33	=	555.5
22	30.50	x	14.83	=	452.4
23	15.00	x	2.85	=	42.5
TOTAL					2,004
BASEMENT					
24	13.00	x	4.00	=	52.0
25	14.00	x	4.00	=	56.0
26	39.00	x	35.83	=	1391.5
27	30.33	x	18.33	=	555.5
28	10.83	x	2.11	=	22.8
29	15.00	x	3.00	=	45.0
30	11.00	x	3.00	=	33.0
31	3.00	x	1.00	=	3.0
TOTAL					1,988

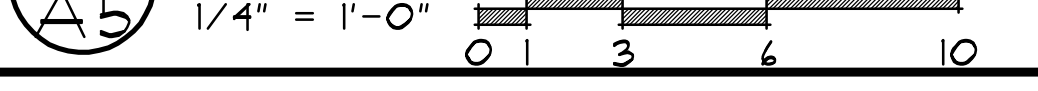


2 EXISTING FRONT ELEVATION



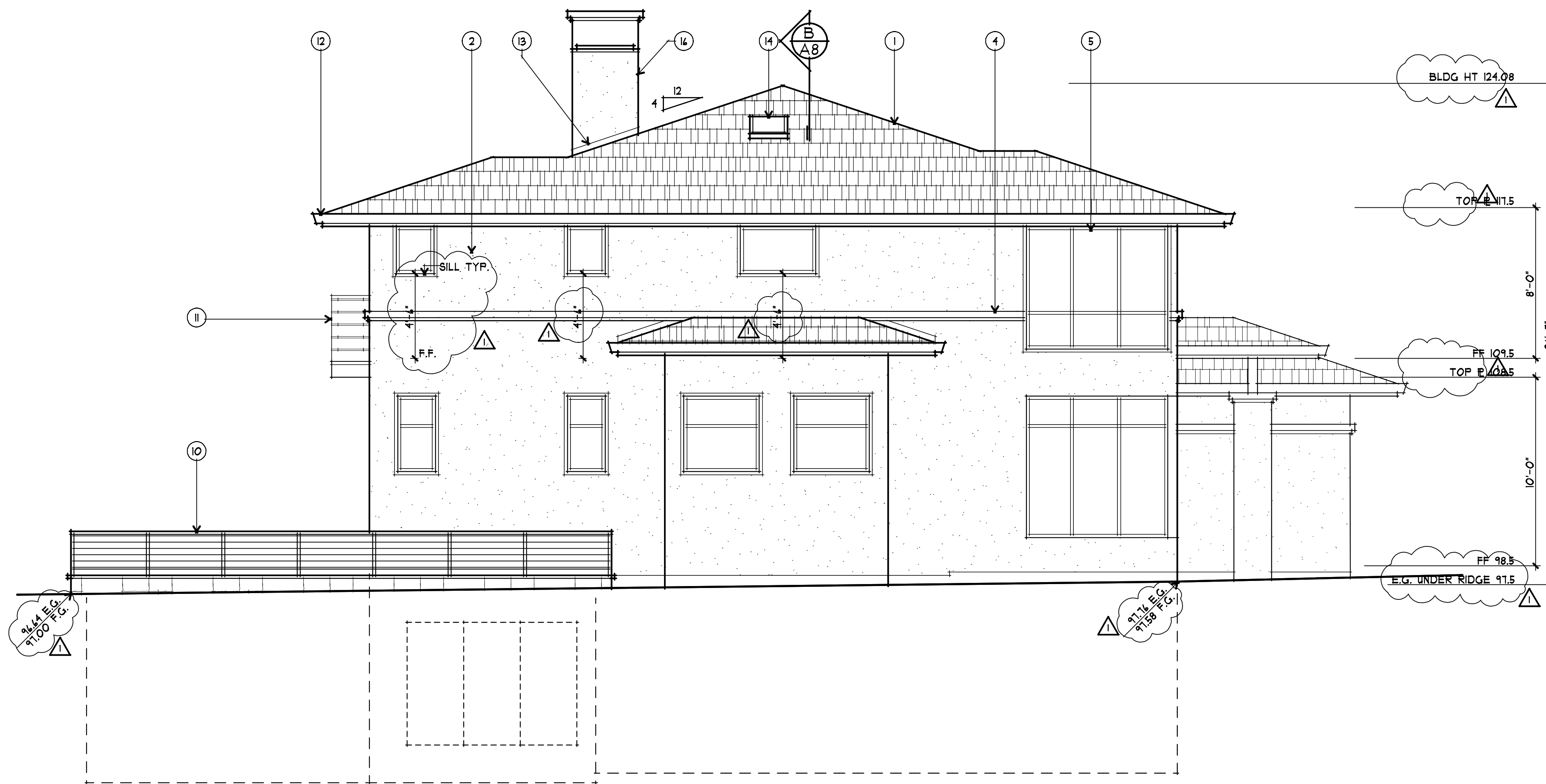
3 ROOF PLAN

1 AREA DIAGRAMS



NORTH

NORTH



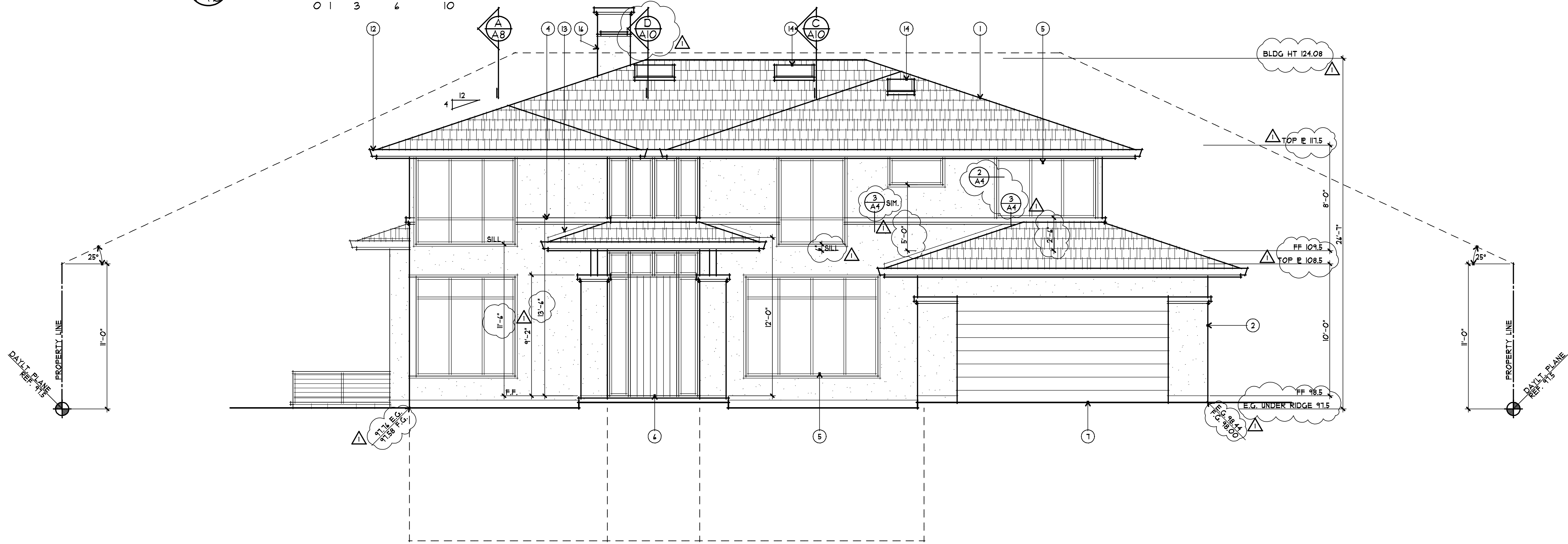
1 LEFT (NE) ELEVATION
 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE		
LOCATION	KEYNOTE	MATERIAL/COLOR
ROOF	1	LIGHT WEIGHT CONCRETE SHAKES
WALLS	2	STUCCO W/ SMOOTH FINISH
	3	NOT USED
TRIM	4	LIMESTONE COATED SHAPED FOAM
WINDOWS	5	ALUMINUM WINDOWS-KOLBE VISTALUXE OR EQ.
DOORS	6	WOOD ENTRY DOOR W/ GLASS & SIDELITES
	7	OVERHEAD SECTIONAL GARAGE DOOR
	8	ALUMINUM FRENCH DOOR(S) KOLBE VISTALUXE OR EQ.
	9	ALUMINUM SLIDING DOOR(S) KOLBE VISTALUXE OR EQ.
RAILINGS	10	WROUGHT IRON - PAINTED
	11	HORIZONTAL WOOD SLATS
GUTTERS & DOWNSPOUTS	12	G.I. GUTTERS AND DOWNSPOUTS - PAINT
FLASHING	13	G.I. FLASHING - PAINT
SKYLIGHTS	14	CURB-MOUNTED BY VISTALUX OR EQ.
AWNING	15	NOT USED
CHIMNEY	16	STUCCO O/ WOOD FRAMING W/ SHEET METAL SHROUD

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2 FRONT (NW) ELEVATION
 1/4" = 1'-0"

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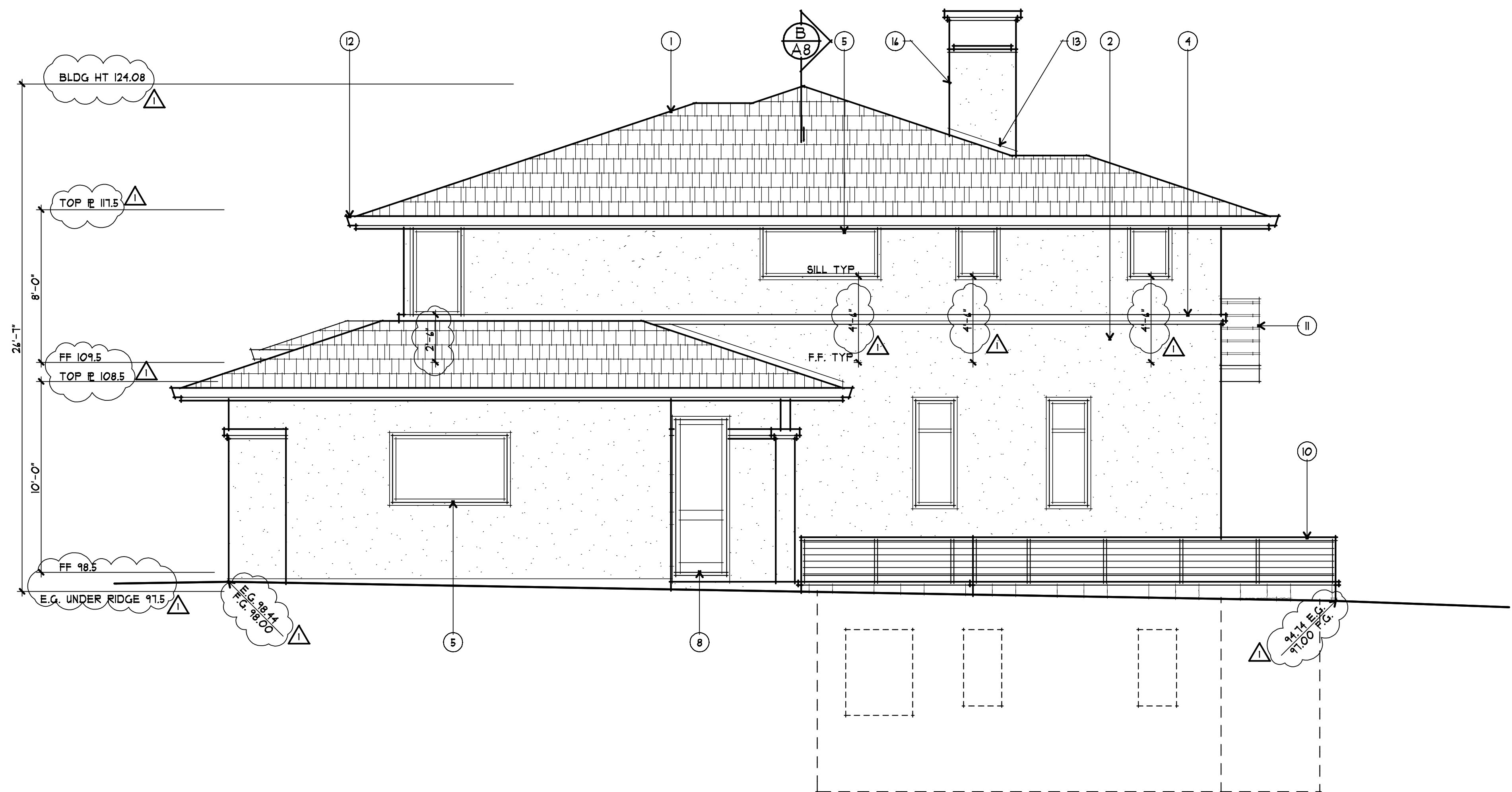
drawings
 EXTERIOR ELEVATIONS

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1 RIGHT (SW) ELEVATION
 1/4" = 1'-0"

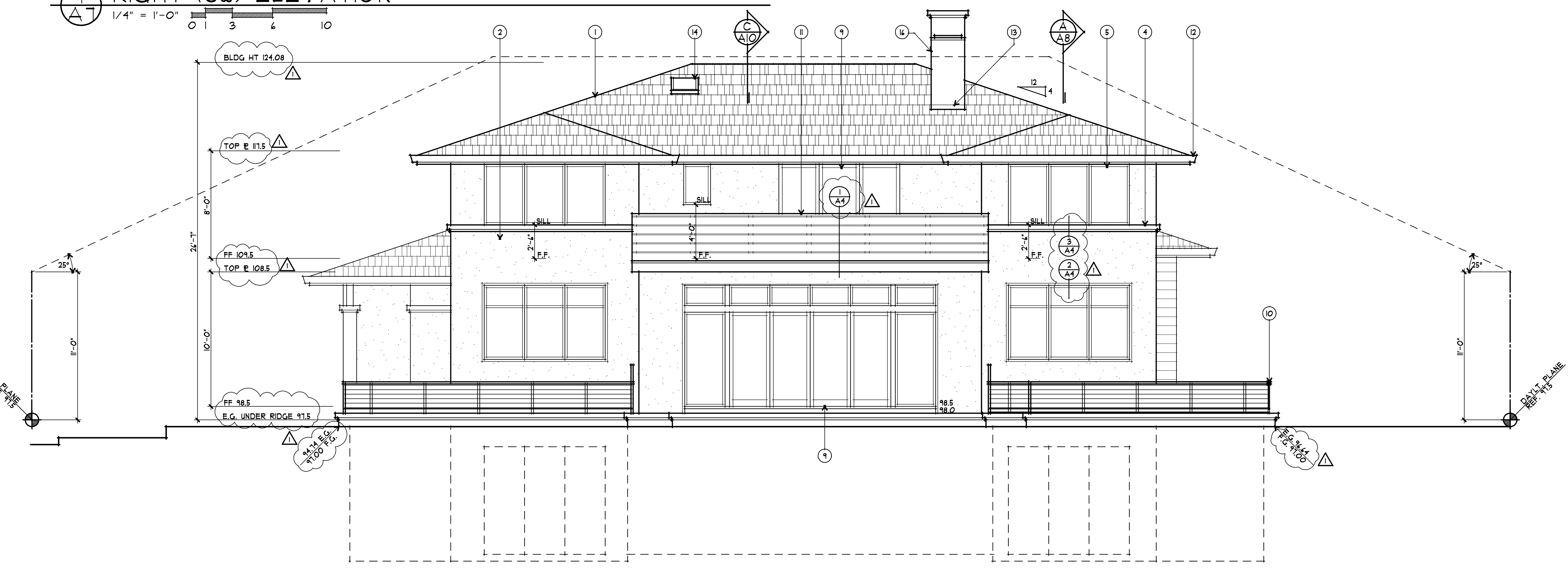
EXTERIOR FINISH SCHEDULE		
LOCATION	KEYNOTE	MATERIAL/COLOR
ROOF	1	LIGHT WEIGHT CONCRETE SHAKES
WALLS	2	STUCCO W/ SMOOTH FINISH
	3	NOT USED
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RAILINGS	10	WROUGHT IRON - PAINTED
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SKYLIGHTS	14	CURB-MOUNTED BY VISTALUX OR EQ.
AWNING	15	NOT USED
CHIMNEY	16	STUCCO O/ WOOD FRAMING W/ SHEET METAL SHROUD

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2 REAR (SE) ELEVATION
 1/4" = 1'-0"

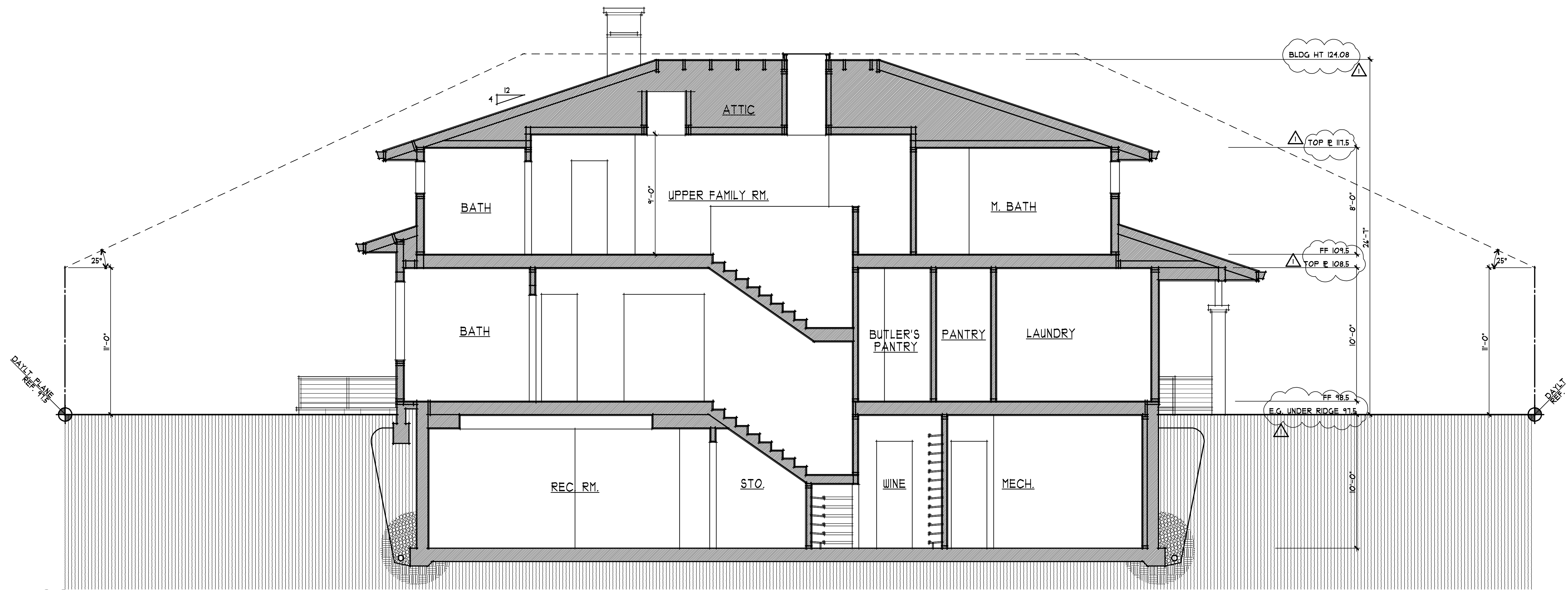
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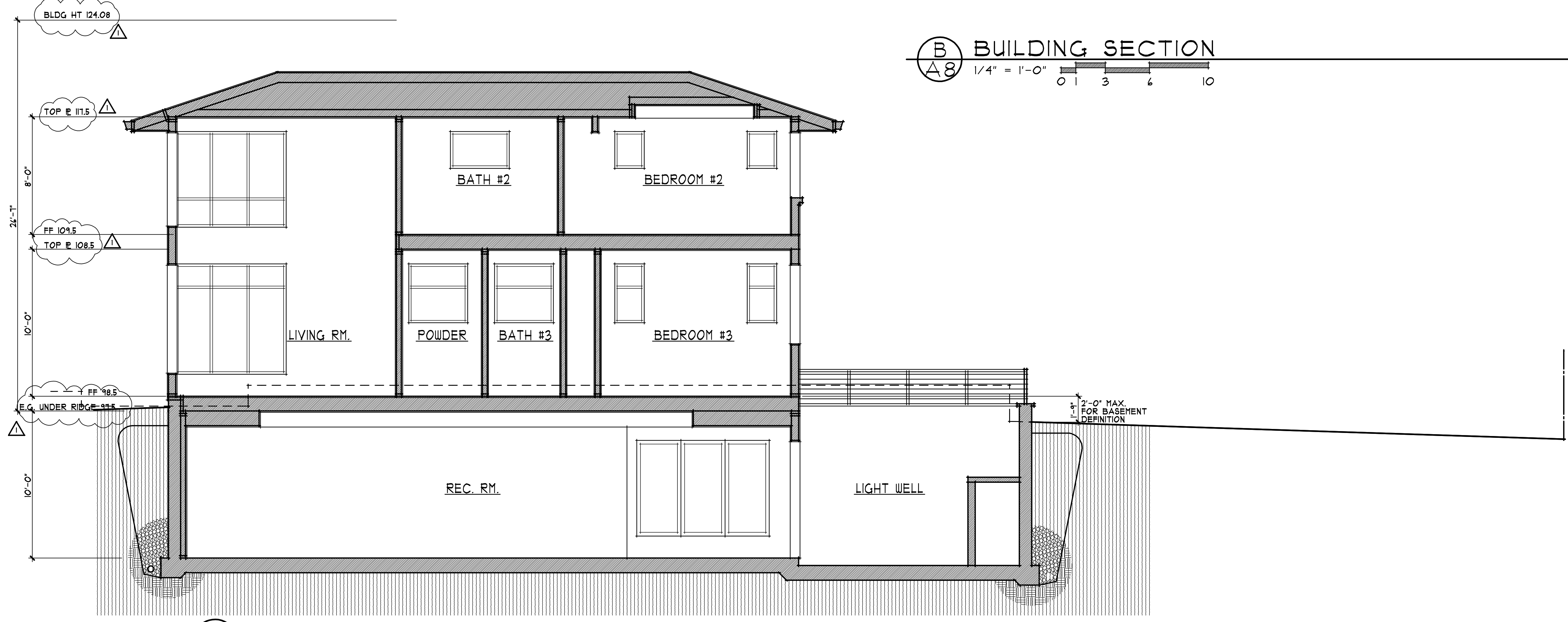
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B BUILDING SECTION
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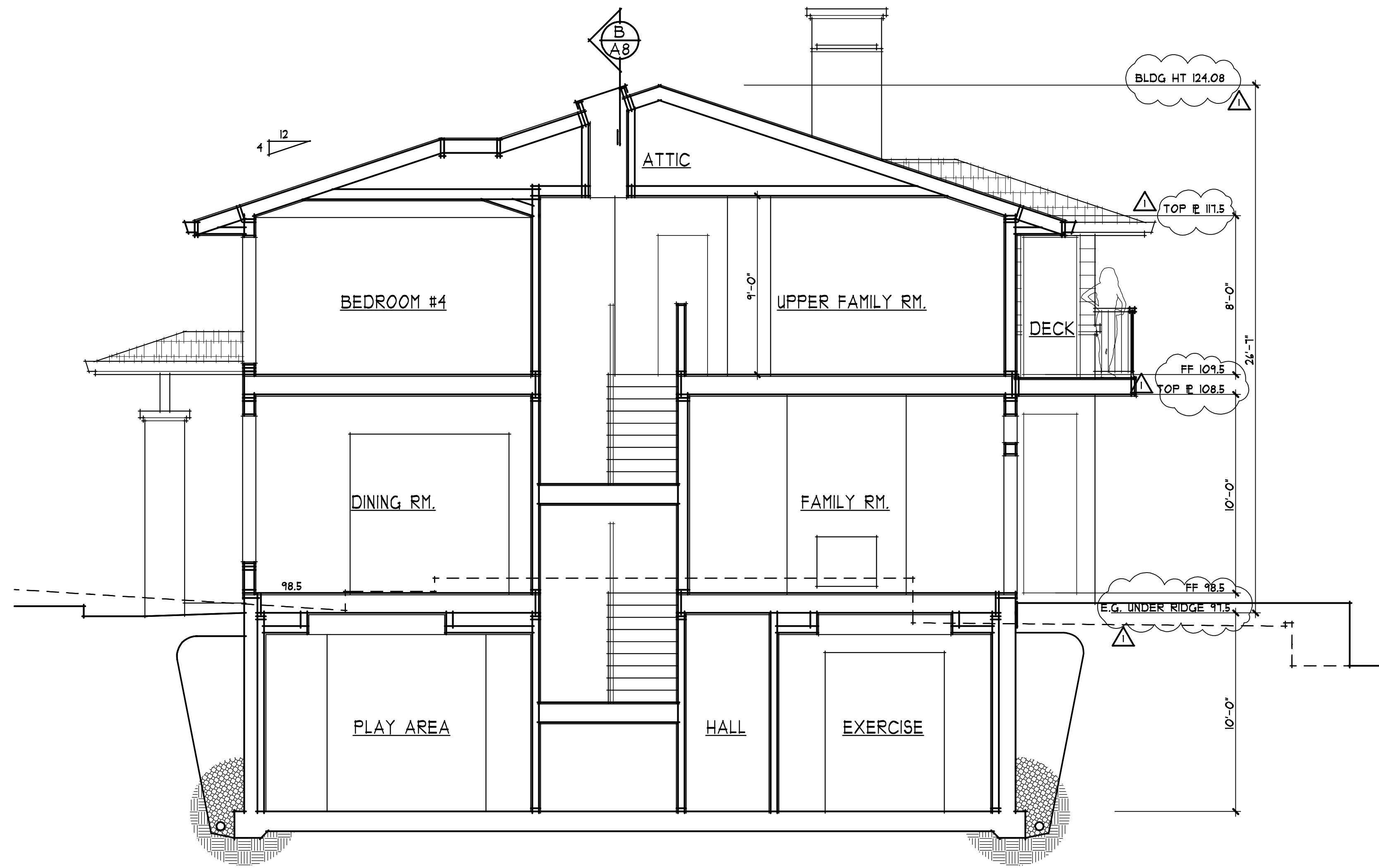


A BUILDING SECTION
 1/4" = 1'-0"
 0 1 3 6 10

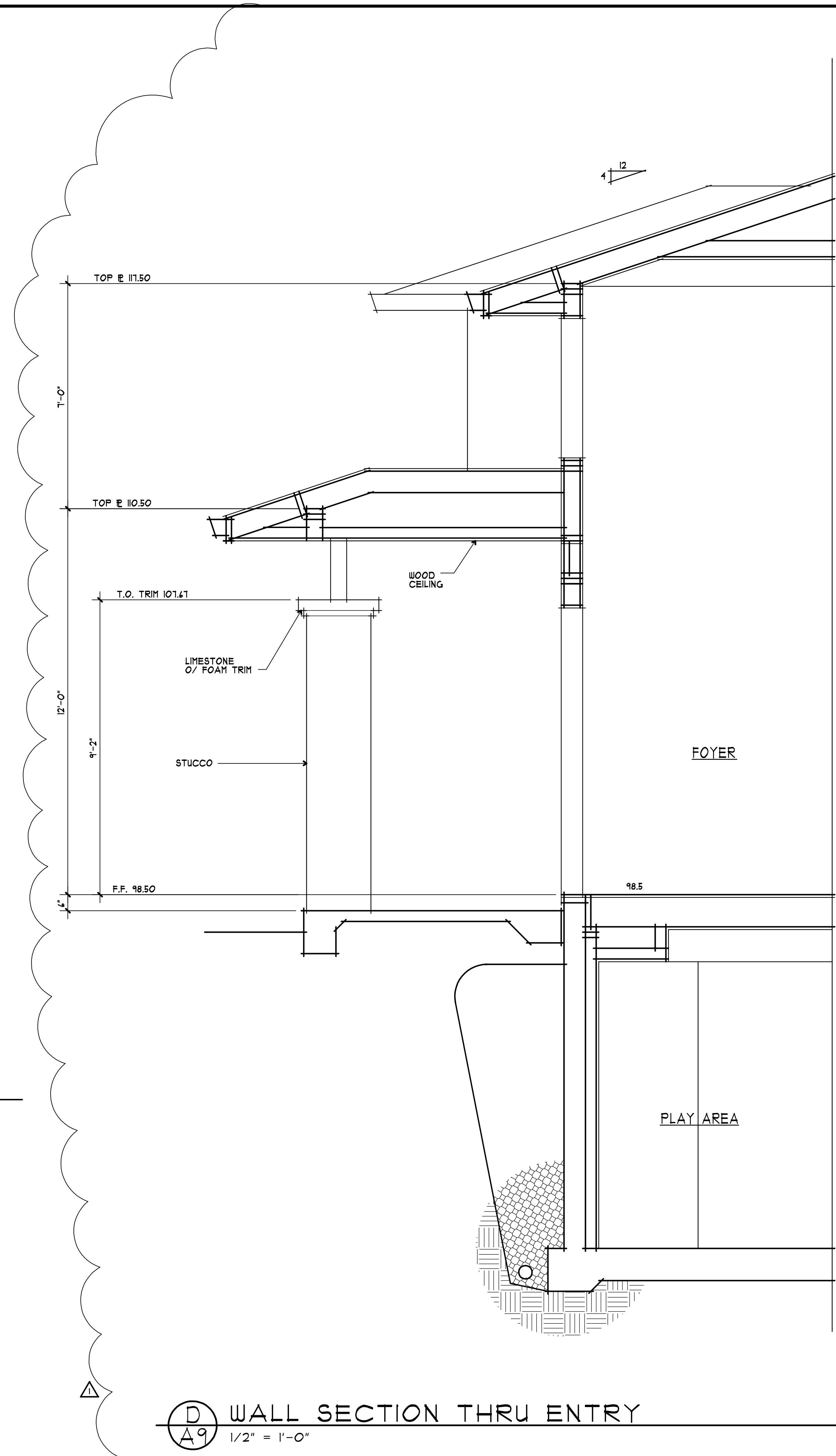
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 LOS ALTOS, CALIFORNIA
 1261 SAINT JOSEPH AVENUE

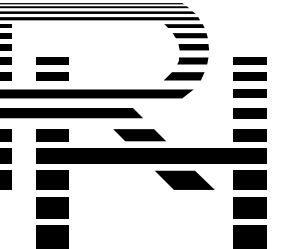
drawings	BUILDING SECTION
revisions	△ 1/9/18 PLANNING
project number	2421
date	JAN. 9, 2018
sheet number	A8



C BUILDING SECTION
1/4" = 1'-0"



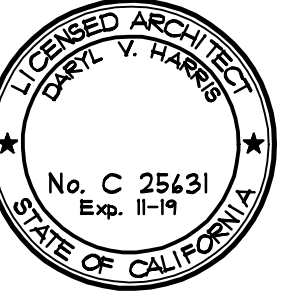
D WALL SECTION THRU ENTRY
1/2" = 1'-0"



ASSOCIATES
ARCHITECTS

22867 SUNSET RIDGE DR.
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RONALD H. HARRIS
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rhassoc@sbcglobal.net



A PROPOSED RESIDENCE FOR:
YUN BEI & YING FAN YU
LOS ALTOS, CALIFORNIA
1261 SAINT JOSEPH AVENUE

drawings
BUILDING
SECTION

revisions
1/9/18 PLANNING

project number
2421

date
JAN. 9, 2018

sheet number





1900 NOEL DRIVE



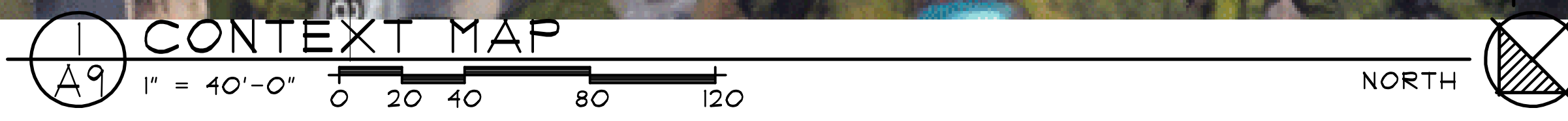
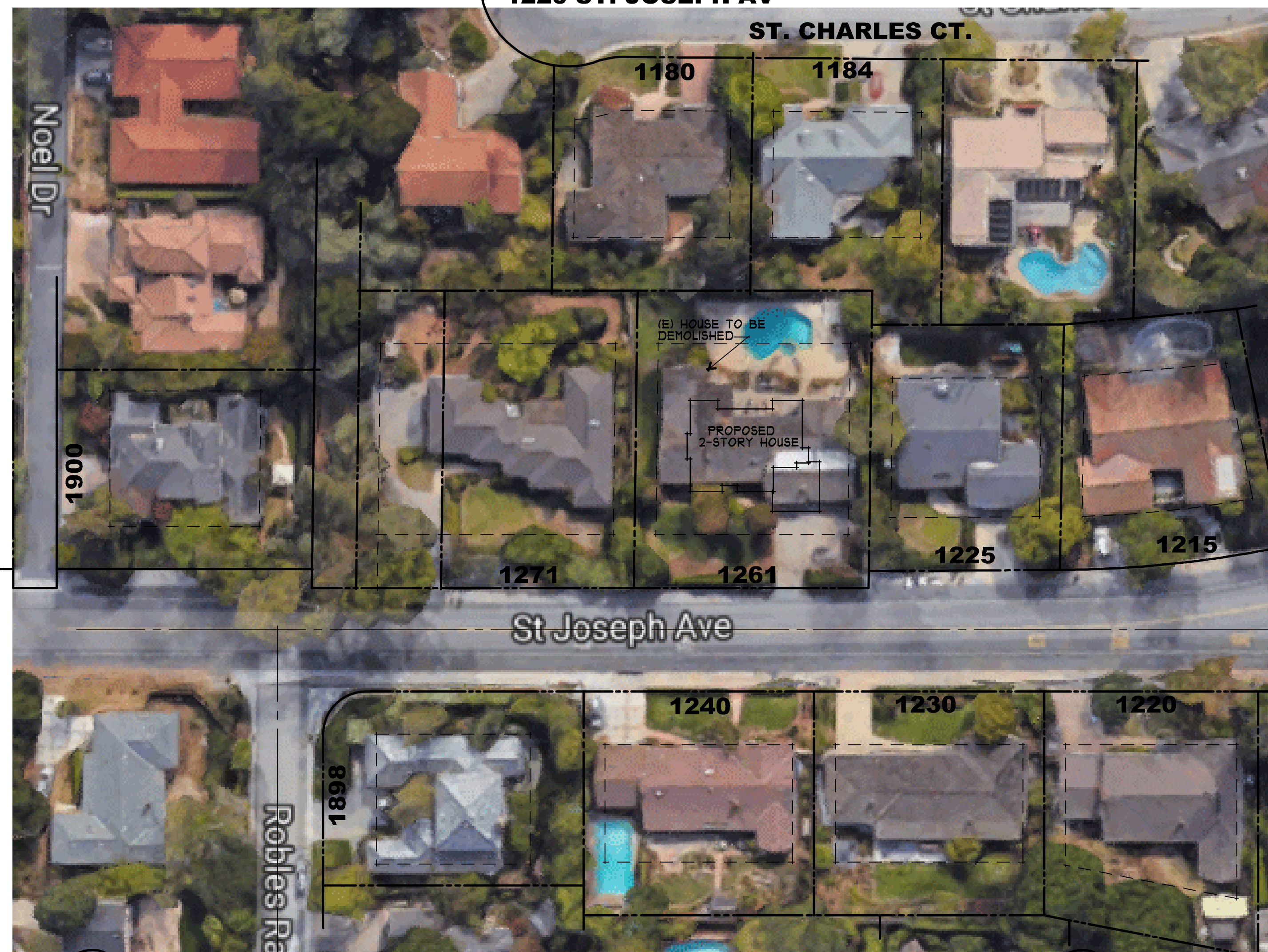
1220 ST. JOSEPH AV



1225 ST. JOSEPH AV



1215 ST. JOSEPH AV



1230 ST. JOSEPH AV



1271 ST. JOSEPH AV



1240 ST. JOSEPH AV



1898 ROBLES RANCH RD



1184 ST. CHARLES CT.



1180 ST. CHARLES CT.

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A PROPOSED RESIDENCE FOR:
YUN BEI & YINGFAN YU
 LOS ALTOS, CALIFORNIA
 1261 SAINT JOSEPH AVENUE

drawings	CONTEXT MAP
revisions	△ 1/9/18 PLANNING
project number	2421
date	JAN. 9, 2018
sheet number	A10

GRADING AND DRAINAGE CONSTRUCTION NOTES:

1. ROOF DOWNSPOUT APPROXIMATE LOCATIONS.
2. DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND SLOPE 5% FOR AT LEAST 8 FEET, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
3. 4" SDR-26 SS. LAT. @ 2% MIN.
4. (N) WATER SERVICE LINE, (DESIGN BY OTHERS). CONNECT WATER SERVICE WITH METER PER CITY STANDARD REQUIREMENTS.
5. APPROXIMATE LOCATION OF JOINT TRENCH TRENCH INCLUDES: ALL GAS/ELECTRIC LINES, COMMUNICATIONS LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND. SEE TRENCH BACKFILL DETAIL ON C-2. FOR TRENCH PAVING, BACKFILL AND PIPING BEDDING SECTIONS IN THE CITY R/W, SEE CITY STD. DETAIL SU-19.
6. EARTH SWALE @ S=0.7%.
7. 6" PVC (SDR-35) @ S=0.5% MIN.
8. (N) INFILTRATION DEVICE-TYPE 2 (CHRISTY V-24) WITHOUT BOTTOM.
9. INSTALL 4" SCHEDULE 40 PVC PERFORATED BACKDRAINS & UNDERSLAB DRAINS (W/ HOLES DOWN)- SLOPE 1% MIN. TO SUMP AT OUTSIDE OF BASEMENT. DO NOT CONNECT LIGHTWELL DRAINS OR DOWNSPOUTS TO BACKDRAINS OR UNDERSLAB DRAINS-SEE SOIL REPORT. DO NOT INTERCONNECT SUBDRAINS & LIGHTWELL DRAINS.
10. BASEMENT WALL- SEE STRUCTURAL PLANS.
11. STORM DRAIN CLEANOUT.
12. 4" PVC (SDR-35) @ S=1% MIN.
13. (1)~ 2" PVC PUMP OUTLET (PRESSURIZED) MIN. 6" GROUND COVER ON TOP OF PIPE PROVIDE 3" STEEL PIPE PROTECTIVE SLEEVE UNDER PAVED AREAS
14. PROVIDE CHRISTY BOX AND INSTALL 2" SUMP PUMP W/PIPING TO INFILTRATION DEVICE. PROVIDE BACKFLOW PREVENTION DEVICE ON DISCHARGE LINE. BACKUP POWER IS RECOMMENDED. DO NOT INTERCONNECT SUBDRAINS & LIGHTWELL DRAINS.
15. 36" HDPE PIPE OR EQUAL WITH COVER PROVIDE DEDICATED SUB DRAINAGE SUMP WITH PUMP. PUMP TO DISCHARGE AT INFILTRATION DEVICE. PROVIDE BACKFLOW PREVENTION DEVICE ON DISCHARGE LINE. BACKUP POWER IS RECOMMENDED.
16. INSTALL (N) SSCO PER CITY STD. DETAIL SS-5.
17. INSTALL (N)"ATMOSPHERIC & LISTED ACCESSIBLE BACK FLOW WATER VALVE".
18. UPGRADE EXISTING WATER METER.
19. BACKFILL POOL WITH ENGINEERED FILL PER THE SOIL REPORT RECOMMENDATIONS.

GENERAL NOTES

1. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES AND SURFACE IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
2. EXISTING UNDERGROUND LINES, APPURTENANCES AND FACILITIES WHICH ARE KNOWN TO THE ENGINEER ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING FACILITIES WHICH ARE TO REMAIN IN PLACE, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. NO WARRANTY IS GIVEN AS TO THE COMPLETENESS AND ACCURACY OF SUCH FACILITIES INFORMATION.
3. ALL CONTRACTORS WILL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
4. CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT "USA" CENTER AT 800/642-2444, A TOLL-FREE NUMBER, 48 HOURS IN ADVANCE OF ANY EXCAVATION ACTIVITY SO ALL UNDERGROUND FACILITIES CAN BE LOCATED AND MARKED.
5. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CITY OR THE ENGINEER.
6. IT SHALL BE THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO COORDINATE THEIR WORK SO AS TO ELIMINATE CONFLICTS AND TO INSURE COMPLETION OF THE ENTIRE PROJECT WITHIN THE SPECIFIED PERIOD.
7. THE CONTRACTOR SHALL MAINTAIN THE STREET, SIDEWALKS AND ALL OTHER RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

UNDERGROUND NOTES

1. CONTRACTORS SHALL EXPOSE AND VERIFY PIPE MATERIAL, LINE SIZE, LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING SANITARY SEWERS, STORM DRAINS, AND WATER LINES AT ALL TIE-INS AND CROSSINGS PRIOR TO CONSTRUCTING NEW FACILITIES.
2. UNLESS OTHERWISE NOTED, ALL STORM DRAINS, SANITARY SEWERS, MANHOLES AND INLETS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND STANDARD PLAN DETAILS AS DESIGNATED AND TO DETAILS AS SHOWN ON THE PLAN.
3. ALL TRENCH EXCAVATION, BACKFILL AND BEDDING FOR STORM DRAINS AND SANITARY SEWERS SHALL CONFORM TO THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS, AND DETAILS.
4. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
5. ALL GAS, ELECTRICAL, TELEPHONE AND CABLE T.V. UTILITIES, WILL BE DESIGNED AND CONSTRUCTED BY OTHERS UNDER SEPARATE CONTRACTS AND PLANS.

ENCROACHMENT PERMIT

NO PROPOSED CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BEGIN UNTIL CITY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS, HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED.

NOTES:

- A. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
- B. A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- C. WATER AND GAS NEED TO MAINTAIN A 3' SEPARATION.
- D. THE SIZE OF THE WATER SERVICE WILL BE DETERMINED BY THE FIRE SPRINKLER CONTRACTOR. ALSO, THE ACTUAL ROUTE OF GAS AND ELECTRIC LINES WILL BE DICTATED BY PG&E.

UTILITY SERVICE

THE APPLICANT SHALL SUBMIT WRITTEN CERTIFICATION FROM THE APPROPRIATE ENERGY AND COMMUNICATION UTILITIES TO THE PUBLIC WORKS DEPARTMENT AND THE PLANNING DIVISION STATING THAT THEY WILL PROVIDE ENERGY AND COMMUNICATION SERVICES TO THE PROPOSED PARCELS OF THIS SUBDIVISION.

THE LOCATIONS OF THE MAIN WATER SERVICE AND SANITARY SEWER LINES ARE APPROXIMATE. PRIOR TO THE CONNECTION POINTS SHOWN, AS A REMINDER, A SEWER CONNECTION PERMIT FROM SANITATION DISTRICT, AND A CONNECTION LETTER FROM THE WATER COMPANY ARE REQUIRED.

SHEET INDEX

GRADING AND DRAINAGE PLAN	C-1
MISC. DETAILS	C-2

ABBREVIATION

AD	AREA DRAIN
CO	CLEANOUT
(E)	EXISTING
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SLAB
INV	INVERT
(N)	NEW
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
RDS	ROOF DOWNSPOUT
CB	CATCH BASIN

DESCRIPTION

PROPERTY LINE	---
CENTERLINE	---
SANITARY SEWER	---
STORM DRAIN LINE	---
DRAINAGE FLOW	→
REMOVE TREE	✕

LEGEND

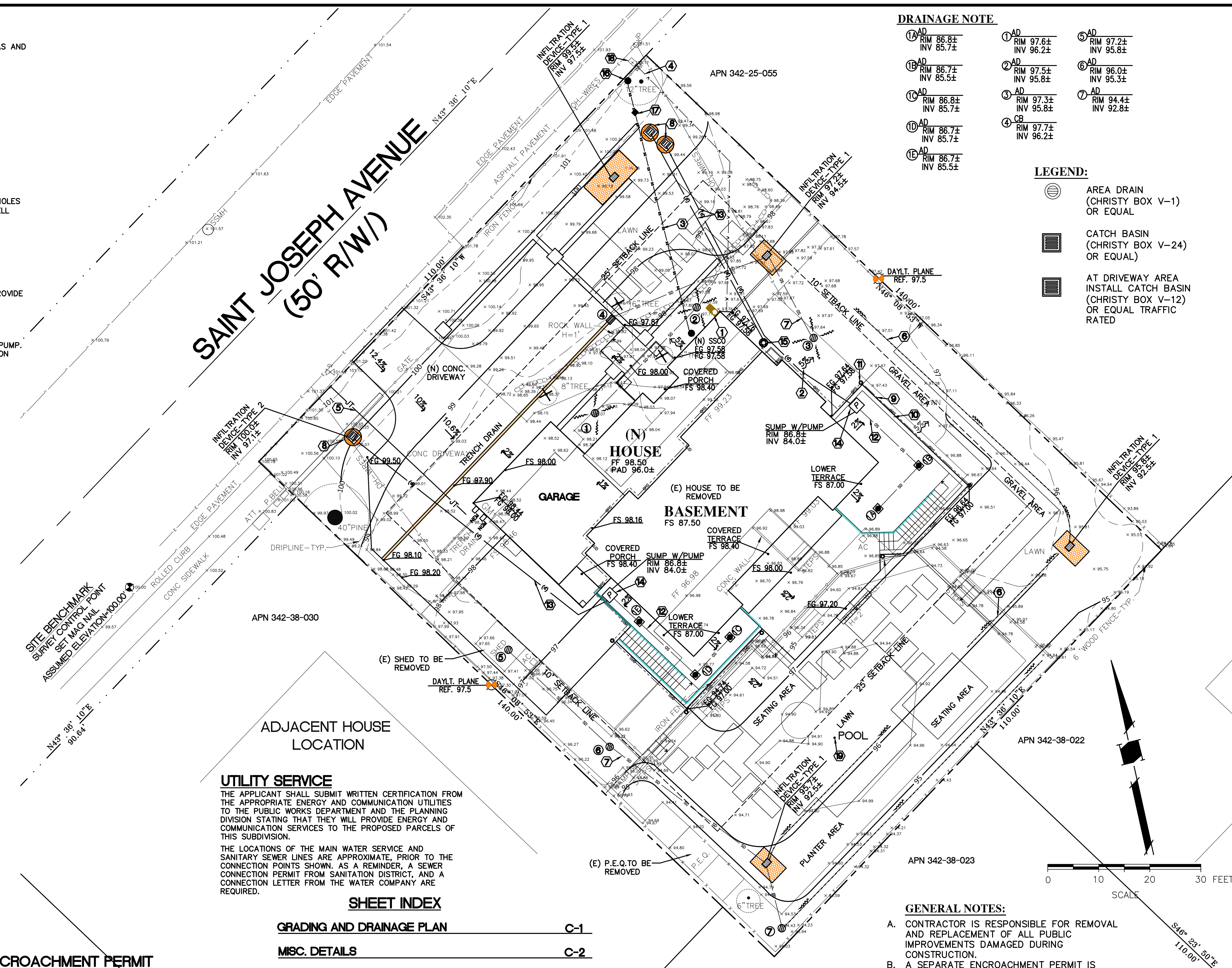
ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND.

DRAINAGE NOTE

- | | | |
|---------------------------|--------------------------|--------------------------|
| 1A AD RIM 86.8± INV 85.7± | 1 AD RIM 97.6± INV 96.2± | 5 AD RIM 97.2± INV 95.8± |
| 1B AD RIM 86.7± INV 85.5± | 2 AD RIM 97.5± INV 95.8± | 6 AD RIM 96.0± INV 95.3± |
| 1C AD RIM 86.8± INV 85.7± | 3 AD RIM 97.3± INV 95.8± | 7 AD RIM 94.4± INV 92.8± |
| 1D AD RIM 86.7± INV 85.7± | 4 CB RIM 97.7± INV 96.2± | |
| 1E AD RIM 86.7± INV 85.5± | | |

LEGEND:

- AREA DRAIN (CHRISTY BOX V-1) OR EQUAL
- CATCH BASIN (CHRISTY BOX V-24) OR EQUAL
- AT DRIVEWAY AREA INSTALL CATCH BASIN (CHRISTY BOX V-12) OR EQUAL TRAFFIC RATED



GENERAL NOTES:

- A. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL PUBLIC IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
- B. A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

EARTH WORK NOTE:

THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON STRIPPING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.

NOTE:

THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE CITY OF LOS ALTOS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

BASEMENT/HOUSE APPROXIMATE CUT REQUIRED	1420± CY
FILL REQUIRED	200± CY

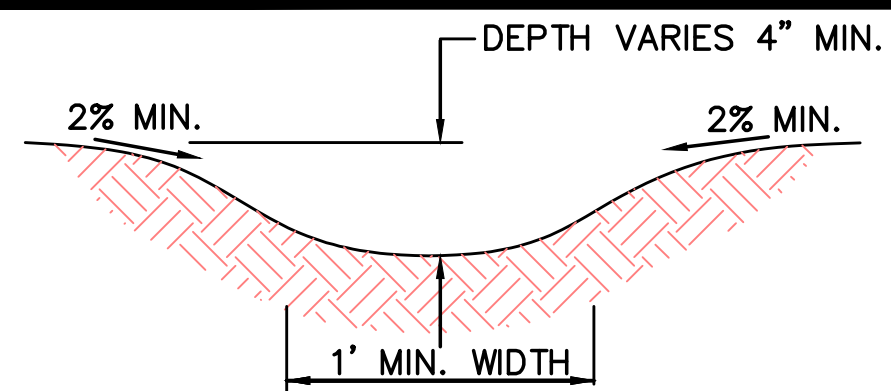


NR ENGINEERING
 CIVIL ENGINEER
 688 WILSHIRE DRIVE
 SAN JOSE, CALIFORNIA 95128
 (408) 946-7888

1261 SAINT JOSEPH AVENUE
 LOS ALTOS, CA
 SANTA CLARA COUNTY APN 342-25-043 CALIFORNIA

GRADING AND DRAINAGE PLAN

REVISIONS	BY
JOB NO:	
DATE:	10-10-2017
SCALE:	1" = 10'
DRAWN BY:	NR
SHEET NO:	C-1
OF 2 SHEETS	

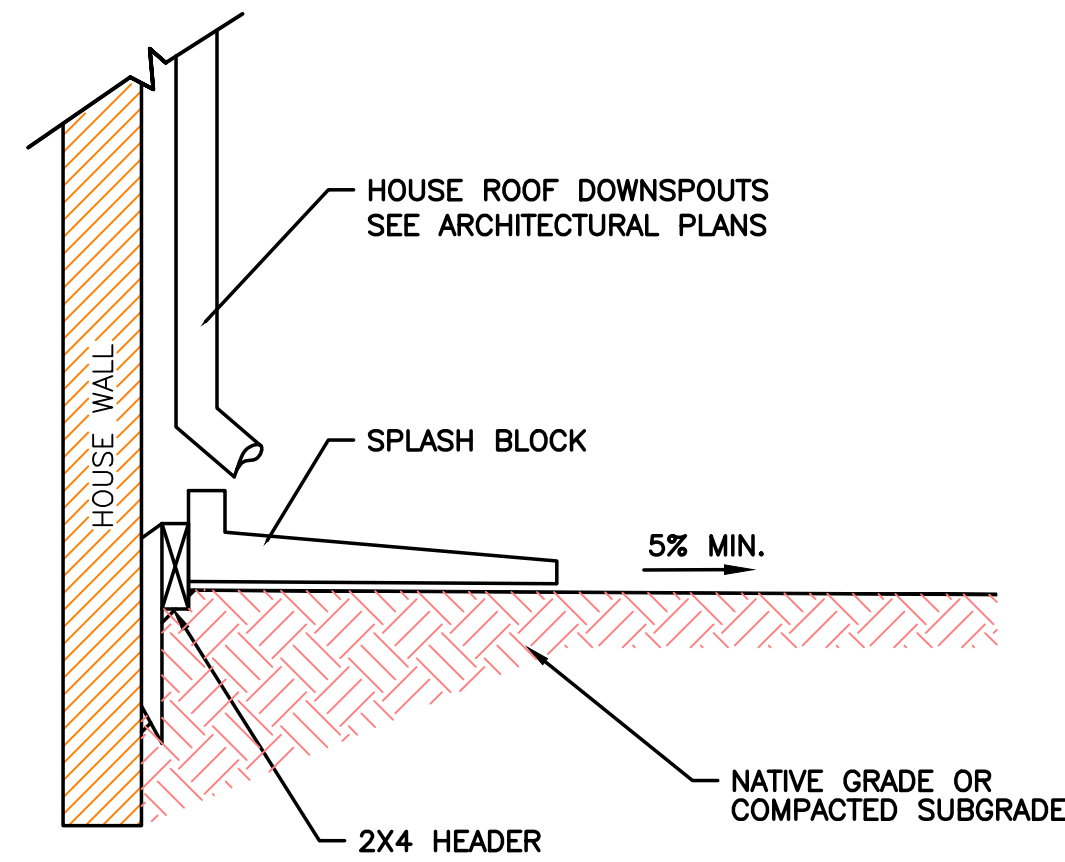


- NOTES:**
- LONGITUDINAL SLOPE = 2% MIN.
 - SEE LANDSCAPE PLANS FOR SURFACING

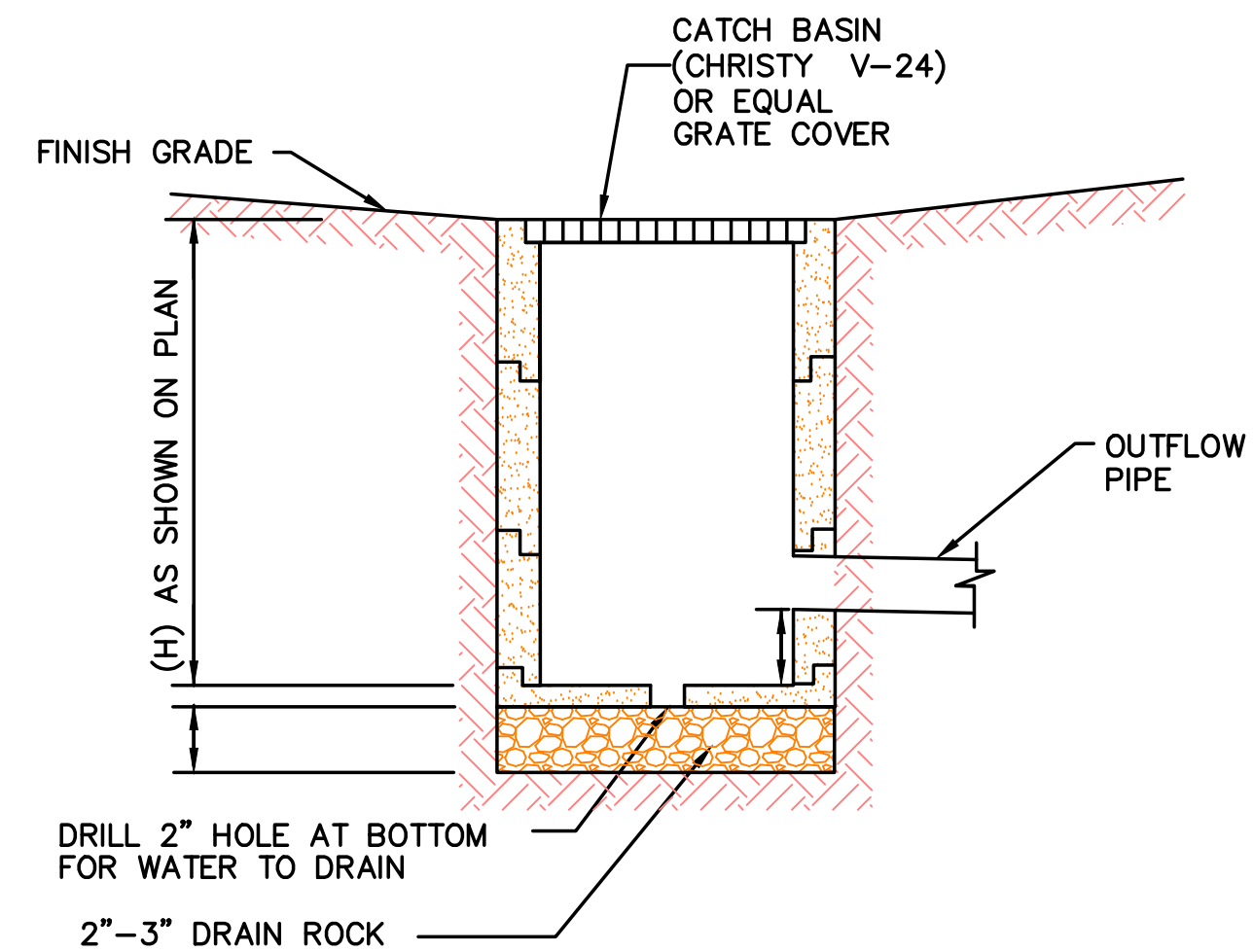
EARTH SWALE DETAIL
N.T.S.

MAINTENANCE NOTES

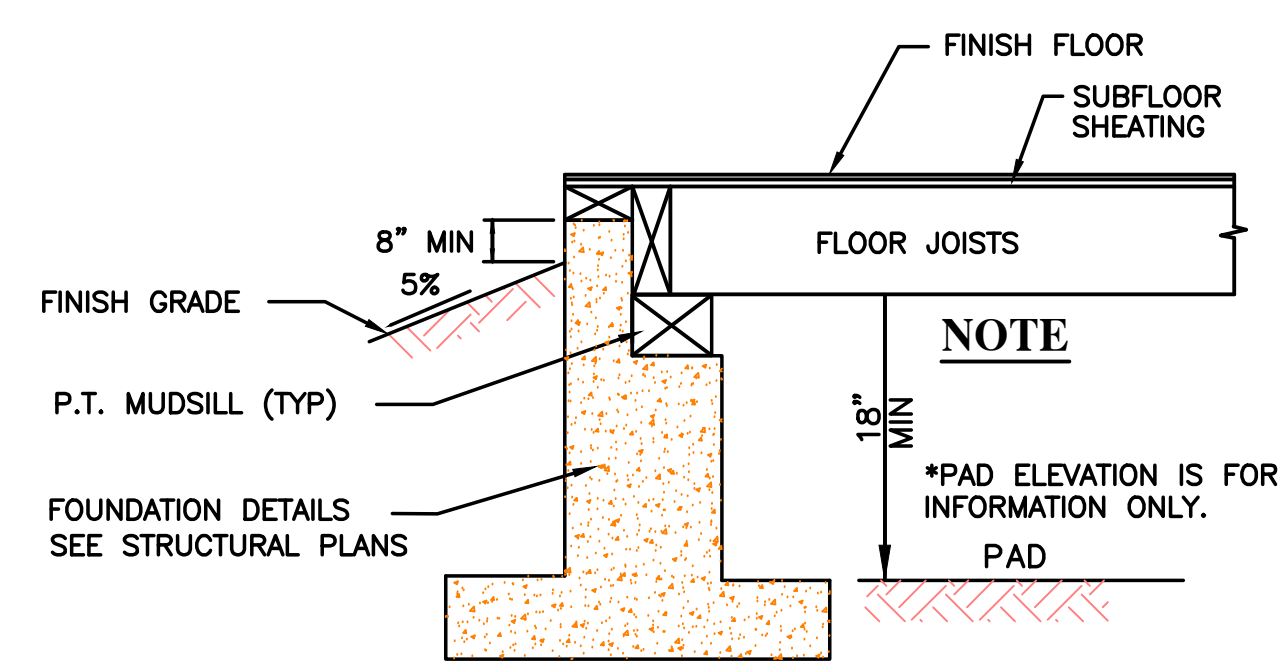
- OWNER IS RESPONSIBLE FOR MAINTAINING ALL INLETS, RETENTION SYSTEM AND INFILTRATION DEVICE FROM TRASH, DEBRIS & SEDIMENTS.
- THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.



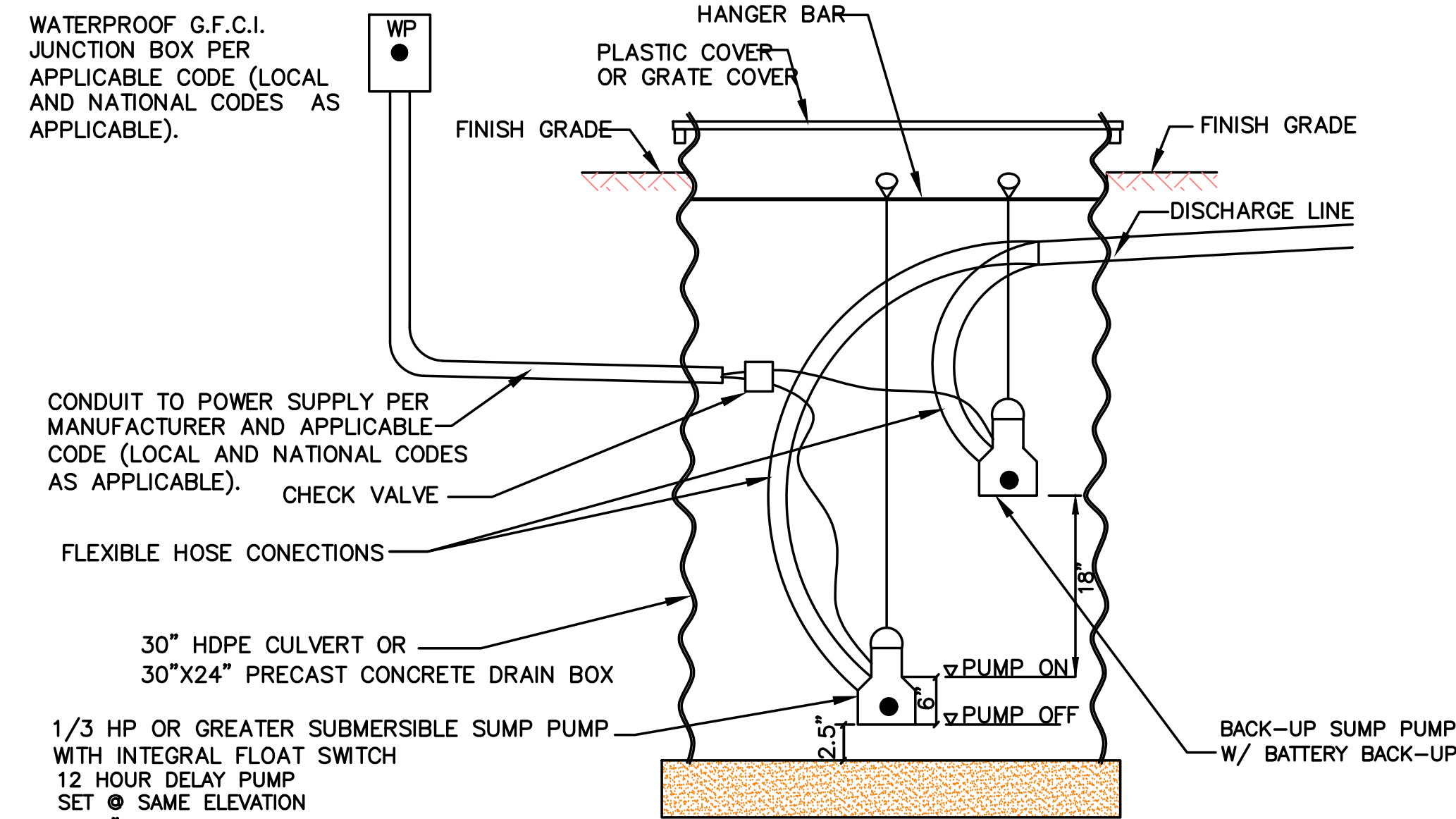
ROOF DOWNSPOUT/SPLASH BLOCK
N.T.S.



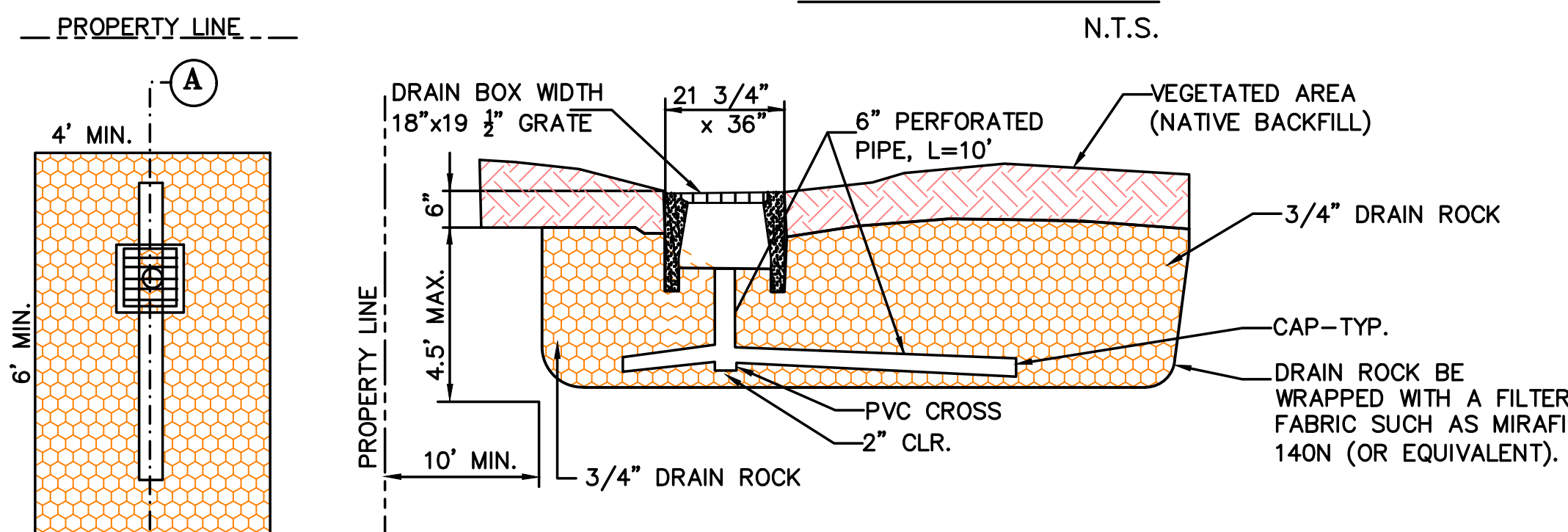
CATCH BASIN DETAIL
N.T.S.



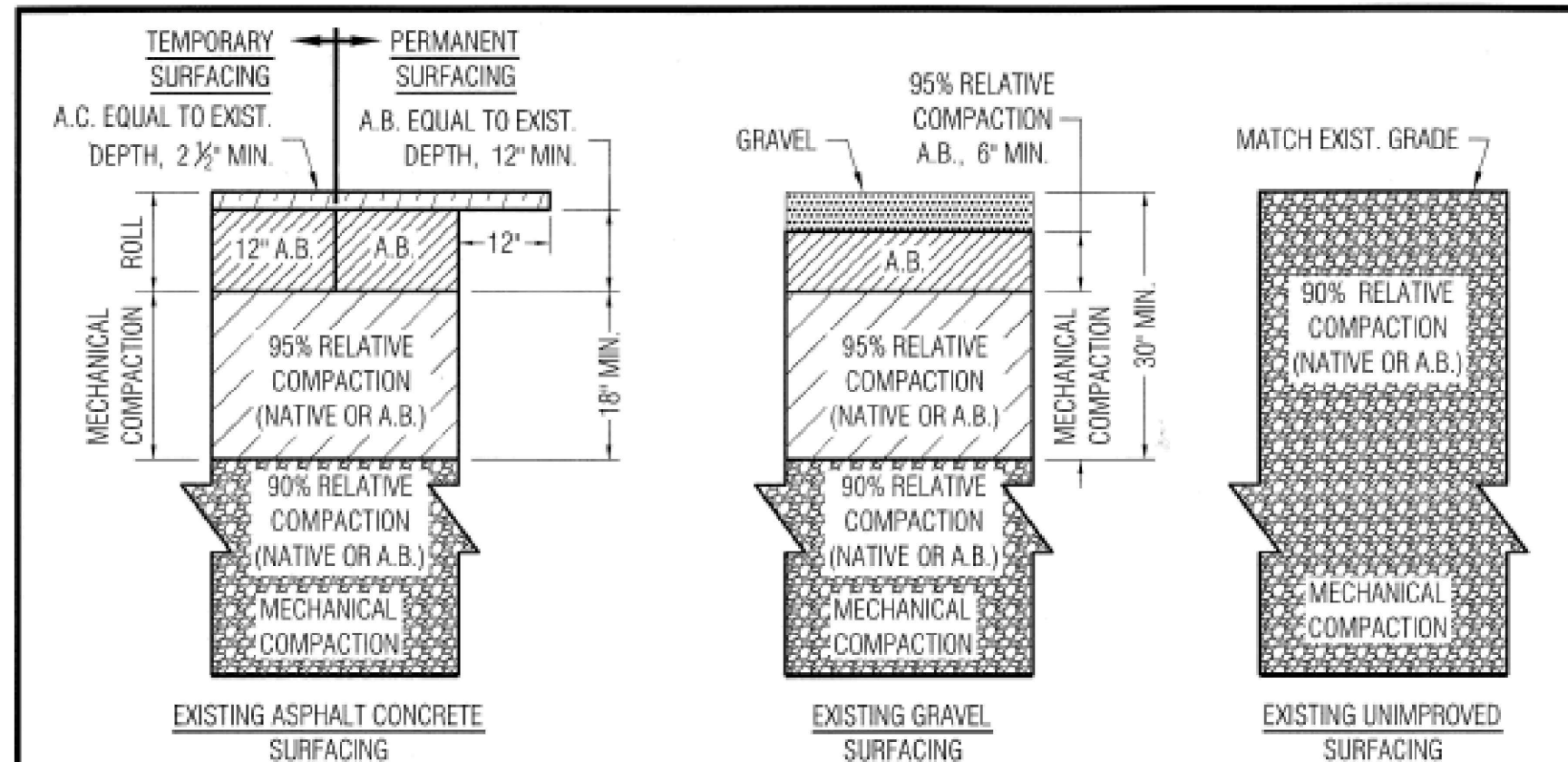
EXTERIOR GRADING DETAIL (TYP.)
N.T.S.



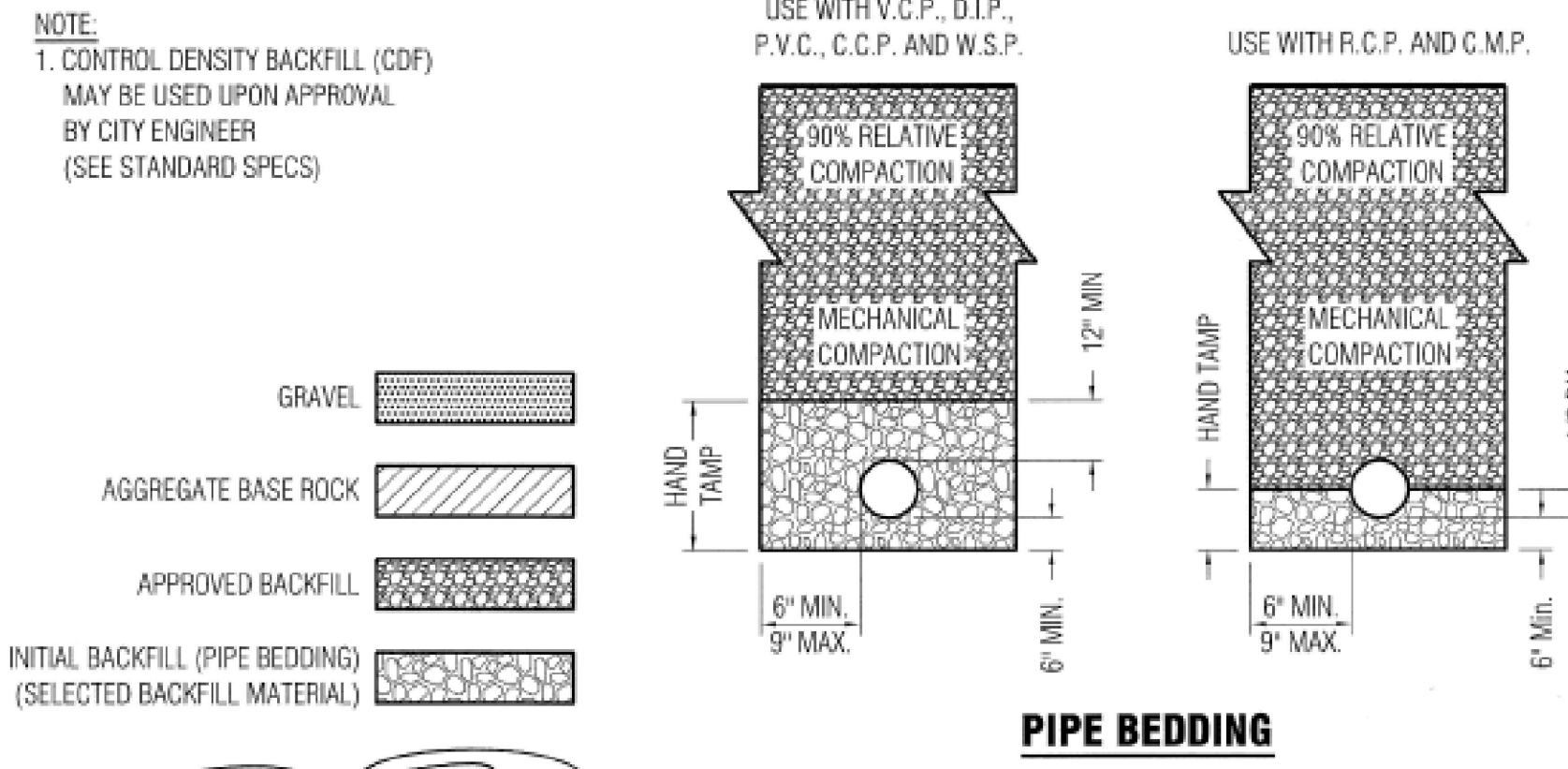
SUMP WITH PUMP
N.T.S.



INFILTRATION DEVICE TYPE 1 DETAIL
N.T.S.



TRENCH PAVING SECTIONS

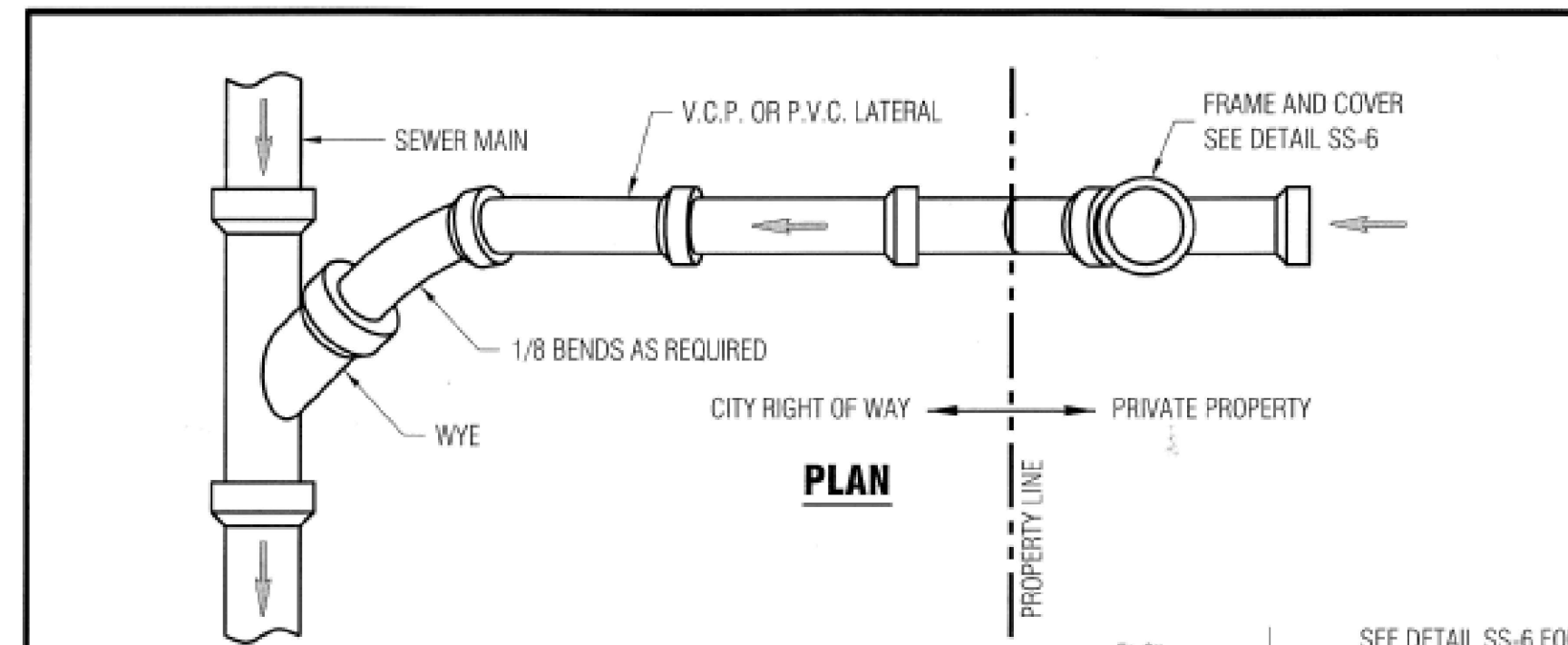


PIPE BEDDING

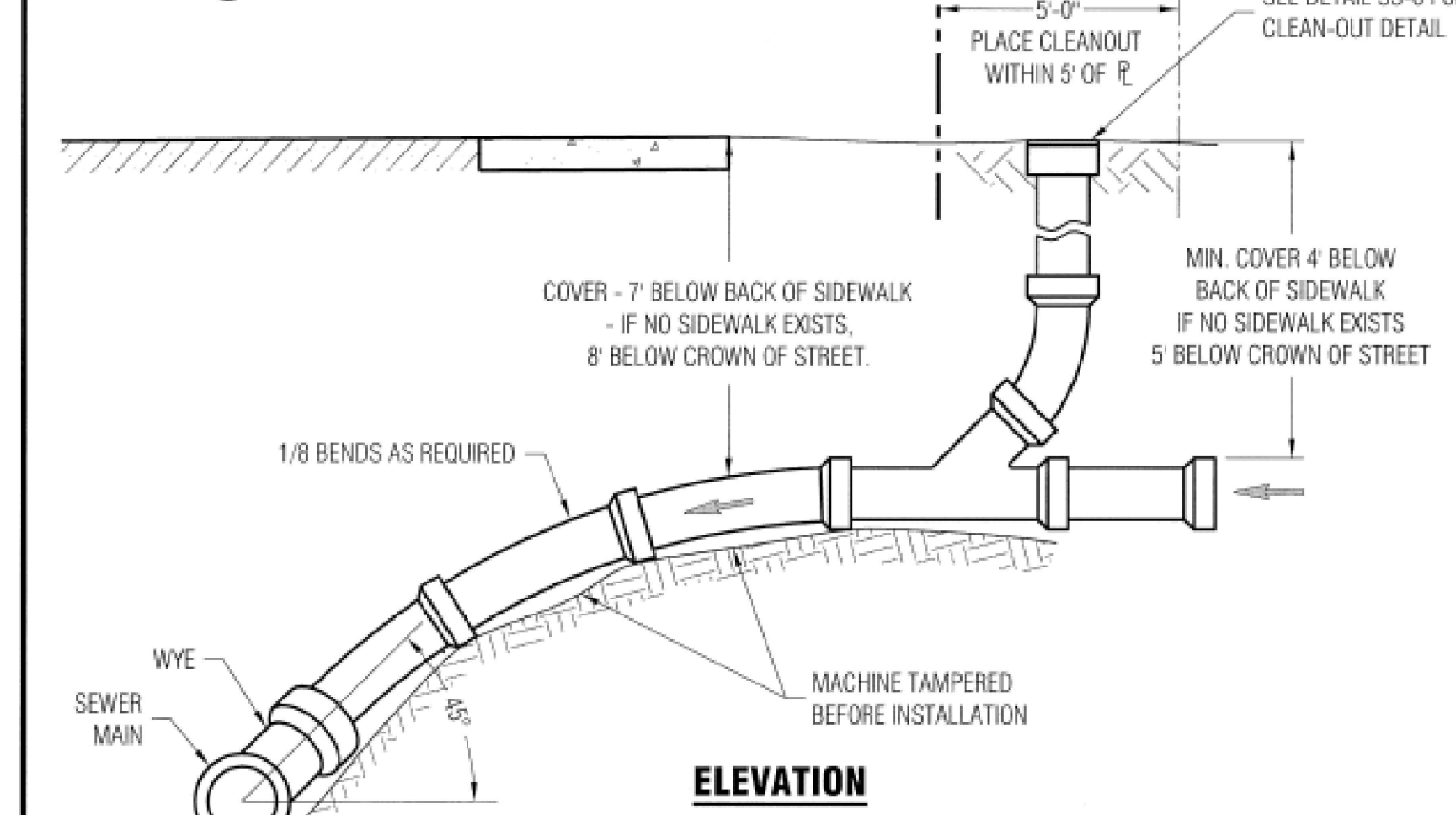
Approved: _____ Date: 1/4/10

REVISION		ENGINEERING DIVISION	
Description	Date	TRENCH PAVING, BACKFILL AND PIPE BEDDING SECTIONS	SU-19

STANDARD DETAILS MAY 2010



PLAN



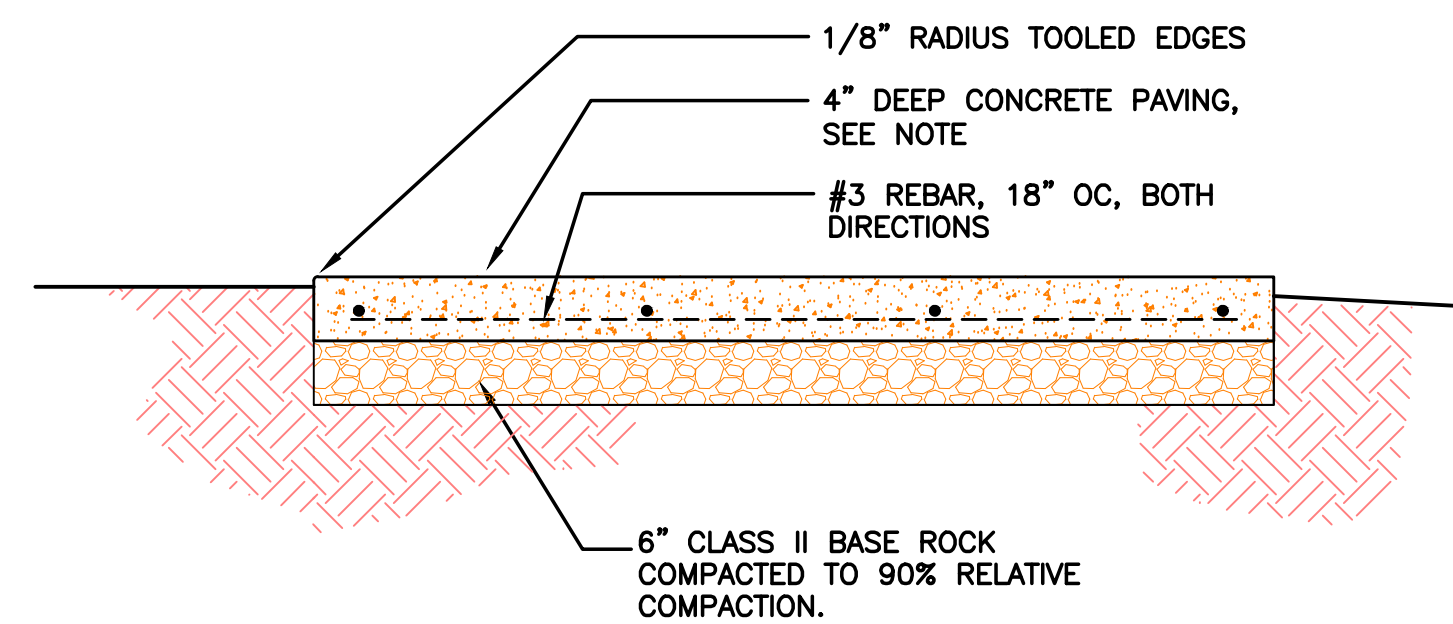
ELEVATION

- NOTES:**
- STAMP "S" IN CURB FACE TO SHOW LOCATION OF LATERAL SEE DETAIL SU-7
 - MINIMUM SLOPE OF LATERAL SHALL BE 1/4" PER 12"

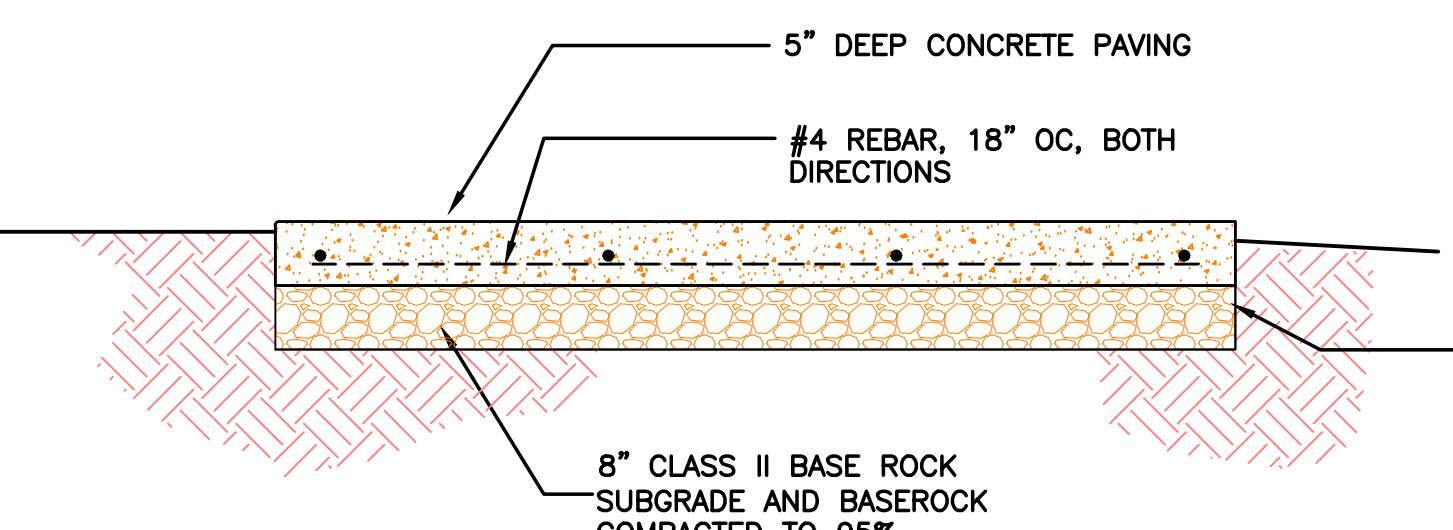
Approved: _____ Date: 1/4/10

REVISION		ENGINEERING DIVISION	
Description	Date	SEWER LATERAL AND SEWER RISER	SS-5

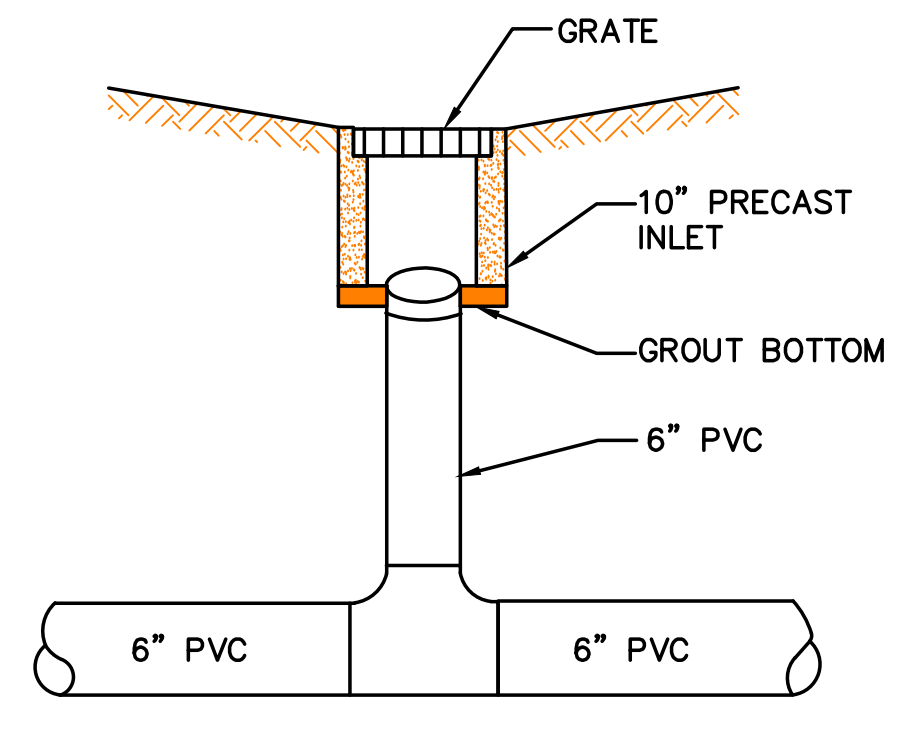
STANDARD DETAILS MAY 2010



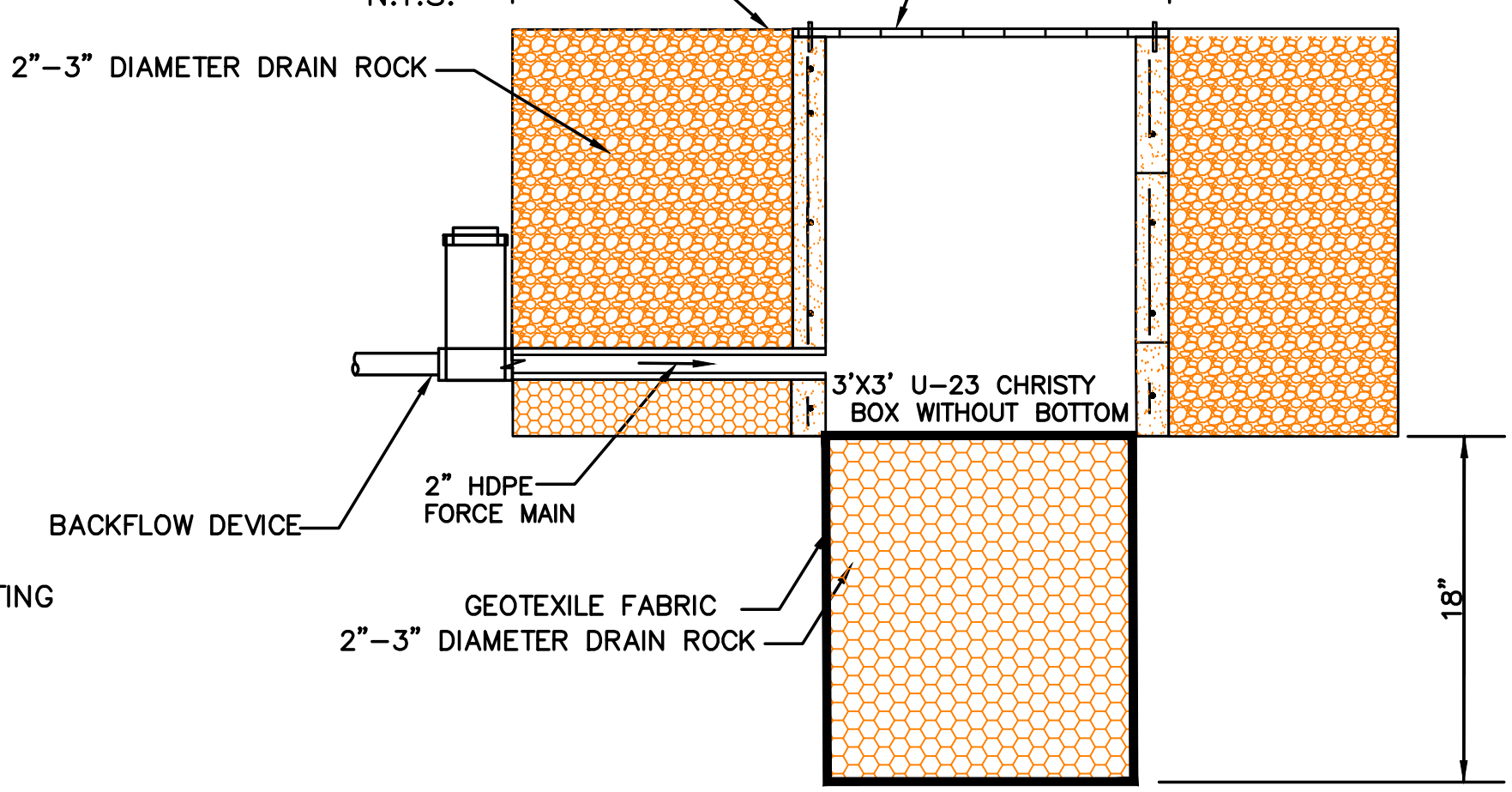
CONCRETE WALKWAY-TYPICAL SECTION
N.T.S.



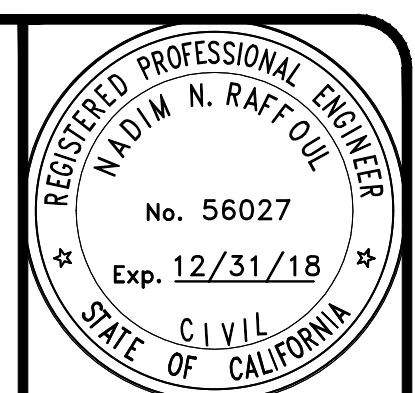
CONCRETE DRIVEWAY-TYPICAL SECTION
N.T.S.



AREA DRAIN DETAIL
N.T.S.



INFILTRATION DEVICE TYPE 2 DETAIL
N.T.S.



NR ENGINEERING
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888 WETMORE DRIVE
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1261 SAINT JOSEPH AVENUE
LOS ALTOS, CA.
SANTA CLARA COUNTY APN 942-25-043
CALIFORNIA

MISC. DETAILS

REVISIONS	BY

JOB NO: _____
DATE: 10-10-2017
SCALE: 1" = 10'
DRAWN BY: NR
SHEET NO: _____

MAWA EPPT and ETWU Calculations

Project Name: Bei-Yu Residence
 Project Location: 1261 Saint Joseph Ave., Los Altos
 Total Landscape Area: 4,582.0 sq. ft.
 Date: 11/22/17

MAWA CALCULATION

$MAWA = (Eto) \cdot 62 / ((0.55 \cdot LA) + (1 \cdot ETAF) \cdot SLA)$

MAWA = Maximum Applied Water Allowance (gallons per year)
 Eto = Reference Evapotranspiration (inches per year)
 62 = Conversion Factor (to gallons)
 0.55 = ET Adjustment Factor (ETAF)
 LA = Landscape Area including SLA (square feet)
 0.45 = Additional Water Allowance for SLA
 SLA = Special Landscape Area (square feet)

Eto =	43
Conversion	0.62
ETAF	0.55
LA =	4,582
SLA =	0
MAWA =	67,185.9 gallons per year
	8,982.1 cubic feet per year

MAWA with EPPT

$MAWA = (Eto - Eppt) \cdot 62 / ((0.55 \cdot LA) + (1 \cdot ETAF) \cdot SLA)$

Eppt = 25% of Annual precipitation = 16.40

Eto =	43
Eppt =	4.1
ETAF =	0.55
LA =	4,582
SLA =	0
MAWA w/ EPPT =	60,803.9 gallons per year
	8,128.9 cubic feet

ETWU CALCULATION

$ETWU = (Eto) \cdot 62 / (PF \cdot IE \cdot LA)$

ETWU = Estimated Total Water Use Per Year (gallons)
 Eto = Reference Evapotranspiration
 PF = Plant Factor from WUCOLS (Region 2, Water Use: H 0.7 - 0.9, M 0.4 - 0.6, L 0.1 - 0.3, VL < 0.1, All Turf 0.8)
 LA = Landscape Area (High, Medium, and low water use areas) (square feet)
 SLA = Special Landscape Area
 62 = Conversion Factor
 IE = Irrigation Efficiency (drip spray and bubblers .81, sub surface .81, spray sprinklers .75)
 ET Adjustment Factor (ETAF) .55 for Residential and .45 for Non Residential

Reference Evapotranspiration (Eto)	43	Palo Alto, Ca
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REGULAR LANDSCAPE AREAS

Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	ETWU
1. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037037	390.0	144.4	3,850.9
2. High Water User/ Turf	Spray	0.8	0.75	1.06666666667	728.0	776.5	20,702.4
3. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037037	634.0	234.8	6,260.2
4. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037037	196.0	72.6	1,935.3
5. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037037	885.0	327.8	8,738.6
6. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037037	112.0	41.5	1,105.9
7. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037037	564.0	208.9	5,569.0
8. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037037	741.0	274.4	7,316.7
9. High Water User/ Turf	Spray	0.7	0.75	0.93333333333	332.0	308.9	8,261.0
Totals					4,582.0	2,390.8	63,739.9

SPECIAL LANDSCAPE AREAS

Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	ETWU
					0	0	0.0
Totals					0	0	0.0

ETWU TOTAL 63,739.9
 MAWA 67,185.9

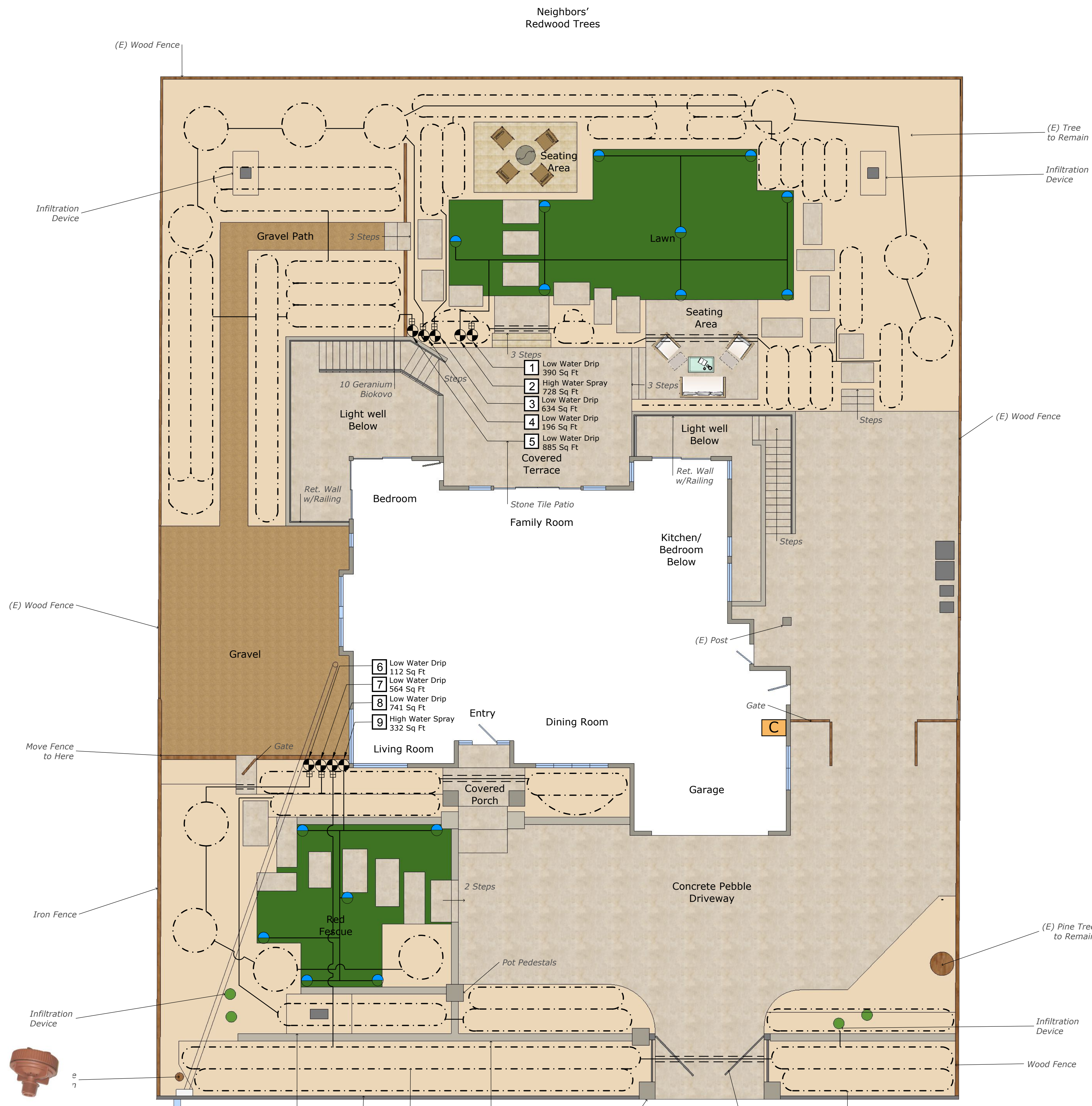
ETAF CALCULATIONS

Regular Landscape Areas	
Total ETAF x Area	2,390.8
Total Area	4,582.0
Average ETAF	0.52
Special Landscape Areas	
Total ETAF x Area	2,390.8
Total Area	4,582.0
Site-wide ETAF	0.5

Average ETAF for Regular Landscape Areas must be .55 or below for residential areas, and .45 or below for non residential areas.

IRRIGATION KEY

	Main Line	SCH 40 2"
	Sleeves	SCH 40 4" or contractor to locate and use existing if possible
	Lateral Line	Sch 40 1"
	Drip Line: Netafim Techline CV LITE with 18" Emitter spacing and 24" lateral spacing. Provide flush valves at the end of each circuit and air relief valve at the high point of each circuit.	
	Rainbird Drip Valve XCS-100-PRF	
	Rainbird 1800 series 6" Heads	
	Rainbird Valves PEB or PEBS	
	Rainbird Controller 22 station ESP-Me	



Netafim Flush Valve

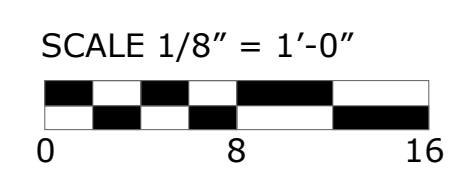
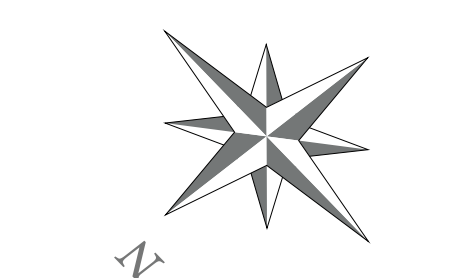
Netafim Dripline

Rainbird Drip Valve XCS-100-PRF

Rainbird Rotors

Rainbird PEB VALVE

Rainbird Controller 22 station ESP-Me

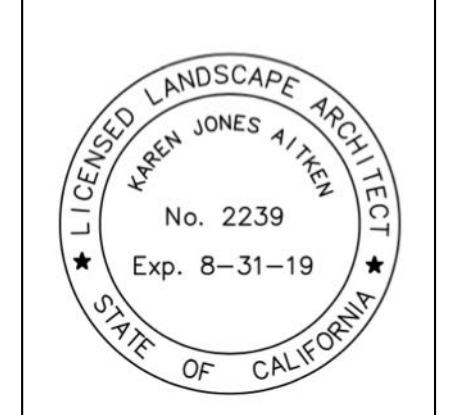


* NOTES (E) = Existing

REVISIONS	BY

AITKEN ASSOCIATES
LANDSCAPE ARCHITECTS
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BEI-YU RESIDENCE
 1261 Saint Joseph Ave., Los Altos, CA
IRRIGATION PLAN



DATE	01-08-2017
SCALE	1/8" = 1'-0"
DRAWN	IN & AD
JOB	BEI-YU

PLANT LEGEND

Qty	Size	Botanical Name	Common Name	WUCOLS
SHRUBS, VINES & HERBACEOUS				
5	5 gal.	Camellia japonica 'Nuccio's Pearl'	Camellia	Moderate
3	5 gal.	Diosma 'Golden Sunset'	Dwarf Breath of Heaven	Moderate
3	1 gal.	Gardenia jasminoides	'Mystery' Gardenia	Moderate
3	5 gal.	Heteromeles arbutifolia	Toyon	Very Low
7	5 gal.	Loropetalum chinensis 'Rubra'	Loropetalum 'Rubra'	Low
3	5 gal.	Podocarpus gracillior	Fern Pine	Moderate
5	5 gal.	Prunus caroliniana 'compacta'	Dwarf Carolina Laurel Cherry	Low
13	5 gal.	Rosa grandiflora	Roses	Moderate
10	5 gal.	Rosa 'Hybrid Tea'	Hybrid Tea Rose	Moderate
20	1 gal.	Rosmarinus officinalis 'Prostrata'	Trailing Rosemary	Low
TREES				
1	15 gal.	Acer palmatum 'Sango Kaku'	Coral Bark Japanese Maple	Moderate
4	15 gal.	Arbutus 'Marina'	Strawberry Tree	Low
3	15 gal.	Prunus Yedoensis	Yoshino Cherry	Low
1	15 gal.	Magnolia grandiflora	Magnolia	Moderate
FRUIT TREES				
1	15 gal.	Eriobotrya deflexa	Bronze Loquat (standard/multi)	Moderate
GROUNDCOVERS				
7	1 gal.	Geranium x cantabrigiense 'Biokovo'	Biokovo Cranesbill	Moderate
PERENNIALS				
18	1 gal.	Lavandula angustifolia 'Hidcote'	Dwarf, deep Blue fls.	Low
4	1 gal.	Lavandula intermedia 'Grosso'	Lavender 'Grosso'	Low
8	1 gal.	Salvia greggii 'Flame'	Autumn Sage (bright red)	Low
GRASSES				
16	5 gal.	Calamagrostis arundinacer 'Karl Forrester'	Calamagrostis 'Karl Forrester'	Low
4	5 gal.	Phormium tenax 'Maori Queen'	Dwarf New Zealand Flax (mixed colors)	Low

Low Voltage Lights- by FX Luminaire

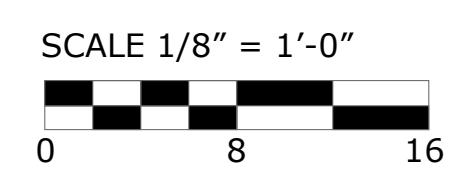
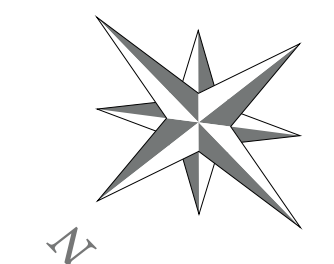
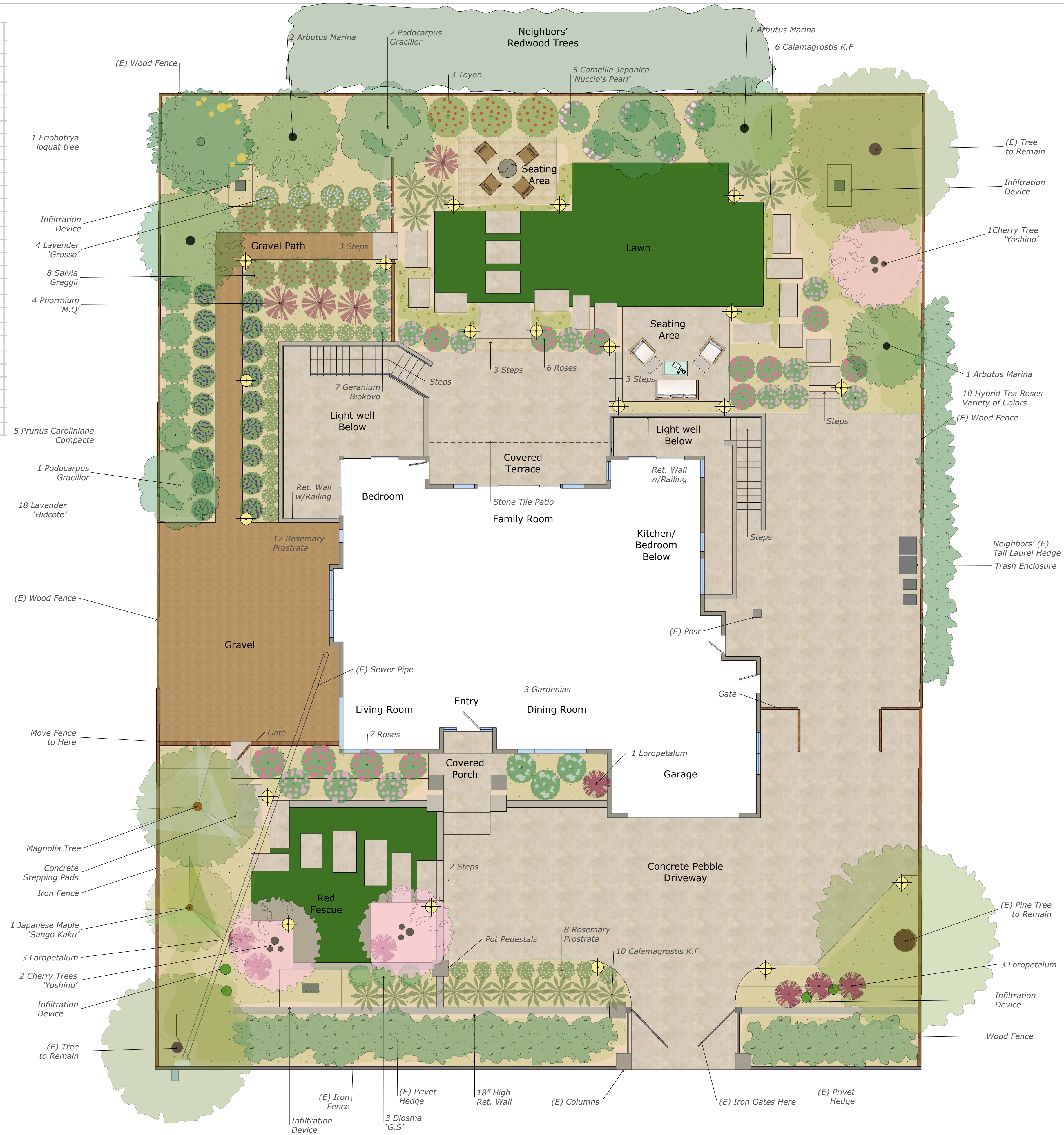
FIXTURE FINISHES: Prefer Copper . . . or . . .
Antique Bronze as alternative

⊕ Path Lights - FX -CB -3LED 4.2 WATT

■ Lighting Transformer & Digital Controller FX - LX



Path Lights FX-CB-LED



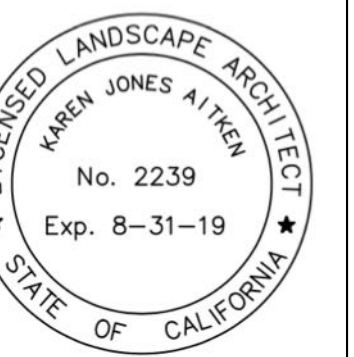
* NOTES (E) = Existing

REVISIONS BY

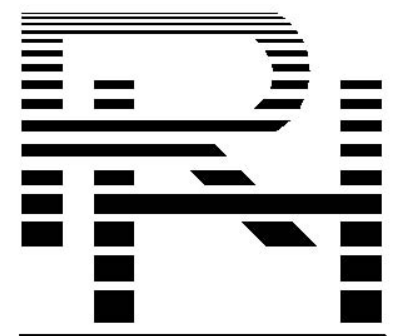


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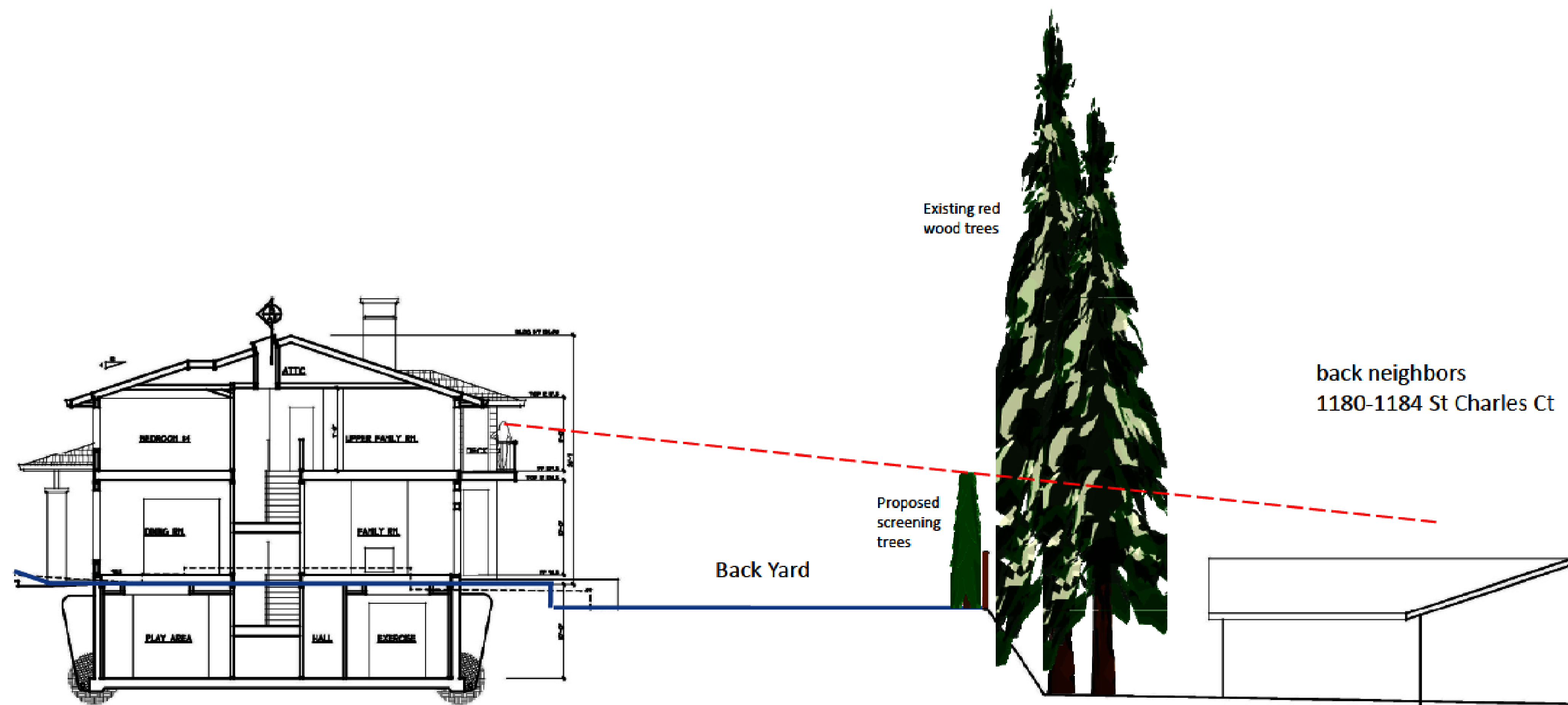
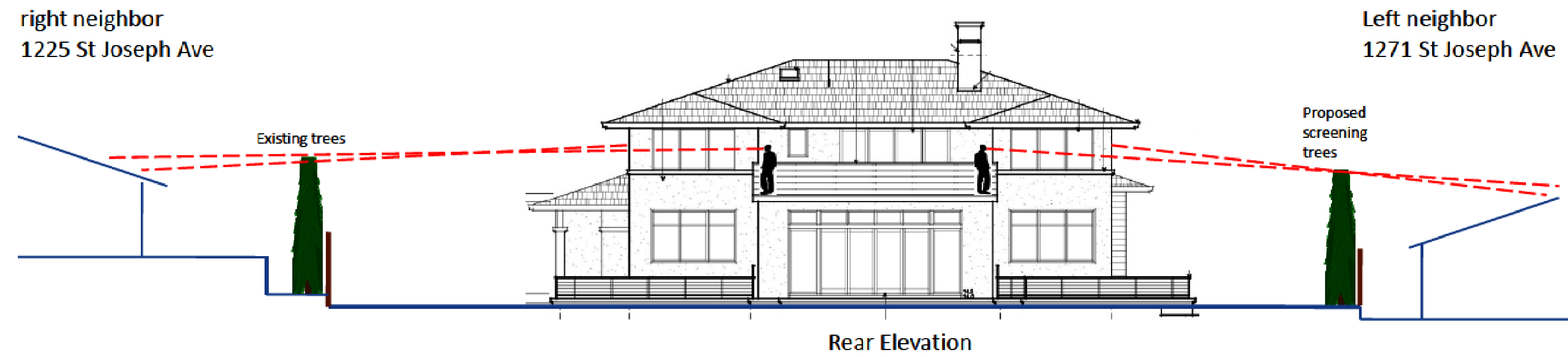
RONALD H. HARRIS
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<p>Evergreen Screening Tree Botanical Name - Arbutus 'Marina' Common Name - Strawberry Tree Size at Maturity: 20-30ft tall, 20-30ft spread Rate of growth: moderate</p> 	<p>Evergreen Screening Tree Botanical Name - Prunus caroliniana 'compacta' Common Name - dwarf Carolina Laurel Cheery Size at Maturity: 15ft tall, 6-8ft spread Rate of growth: moderate</p> 	<p>Evergreen Screening Tree Botanical Name - Podocarpus gracilior Common Name - Fern Pine Size at Maturity: 20-60ft tall, 10-20ft spread Rate of growth: fast</p> 	<p>Evergreen Screening Tree Botanical Name - Eriobotrya deflexa Common Name - Bronze Loquat Size at Maturity: 15-30ft tall, 20ft spread Rate of growth: moderate</p> 	<p>Botanical Name - Acer palmatum 'Sango Kaku' Common Name - Coral Bark Japanese Maple Size at Maturity: 15-25ft tall, 15-20ft spread Rate of growth: moderate</p> 	<p>Botanical Name - Prunus Yedoensis Common Name - Yoshina Cherry Size at Maturity: 25ft tall, 25ft spread Rate of growth: Fast</p> 	<p>Botanical Name - Magnolia Grandiflora Common Name - Southern Magnolia Size at Maturity: 35-40ft tall, 15-20ft spread Rate of growth: moderate</p> 
<p>Botanical Name - Diosma 'Golden Sunset' Common Name - dwarf breathe of heaven Size at Maturity: 2-3ft tall, 4-6ft spread Rate of growth: Fast</p> 	<p>Botanical Name - Rosmarinus officinalis 'Prostrata' Common Name - Trailing Rosemary Size at Maturity: 2ft tall, 4-8ft spread Rate of growth: moderate</p> 	<p>Botanical Name - Heteromeles arbutifolia Common Name - Toyon Size at Maturity: 10-15ft tall, 8ft spread Rate of growth: moderate</p> 	<p>Botanical Name - Gardenia jasminoides Common Name - 'Mystery' Gardenia Size at Maturity: 2-3ft tall, 4-6ft spread Rate of growth: moderate</p> 	<p>Botanical Name - Loropetalum chinensis 'Rubra' Common Name - 'Mystery' Loropetalum 'Rubra' Size at Maturity: 3-6ft tall, 3-6ft spread Rate of growth: moderate</p> 	<p>Botanical Name - Rosa Grandiflora Common Name - Grandiflora Rose Size at Maturity: 4-5ft tall, 4-5ft spread Rate of growth: fast</p> 	<p>Botanical Name - Rosa 'Hybrid Tea' Common Name - Hybrid Tea Rose Size at Maturity: 4-5ft tall, 4-5ft spread Rate of growth: fast</p> 
<p>Botanical Name - Camellia japonica 'Nuccio's Pearl' Common Name - Camellia Size at Maturity: 6-8ft tall, 6-8ft spread Rate of growth: moderate</p> 	<p>Botanical Name - Geranium x cantabrigiense 'Biokovo' Common Name - Biokovo Cranesbill Size at Maturity: 1ft tall, 3ft spread Rate of growth: moderate</p> 	<p>Botanical Name - Lavandula angustifolia 'Hidcote' Common Name - Hidcote Blue English Lavender Size at Maturity: 2-3ft tall, 2-3ft spread Rate of growth: moderate</p> 	<p>Botanical Name - Lavandula intermedia 'Grosso' Common Name - Lavender Grosso Size at Maturity: 3-4ft tall, 3-4ft spread Rate of growth: moderate</p> 	<p>Botanical Name - Salvia greggii 'Flame' Common Name - Autumn Sage (bright red) Size at Maturity: 2-3ft tall, 2-3ft spread Rate of growth: fast</p> 	<p>Botanical Name - Calamagrostis arundinacer 'Karl Forrester' Common Name - Calamagrostis 'Karl Forrester' Size at Maturity: Foliage reaches 1 1/2 to 2 ft. tall and spread; bloom stalks reach 6 ft. tall Rate of growth: moderate</p> 	<p>Botanical Name - Phormium tenax 'Maori Queen' Common Name - Dwarf New Zealand Flax (mixed colors) Size at Maturity: 2-3ft tall, 2-3ft spread Rate of growth: moderate</p> 

A PROPOSED RESIDENCE FOR:
YUN BEI & YINGFAN YU
1261 SAINT JOSEPH AVE, LOS ALTOS, CA

PLANT
PHOTOS

Effect of Existing and Proposed Screening Trees on Side Line Studies



drawings
DECK SITE LINES

revisions

project number
2421

date
JAN. 9, 2018

sheet number

M2



B2



1



2



3



4



Y2



B1



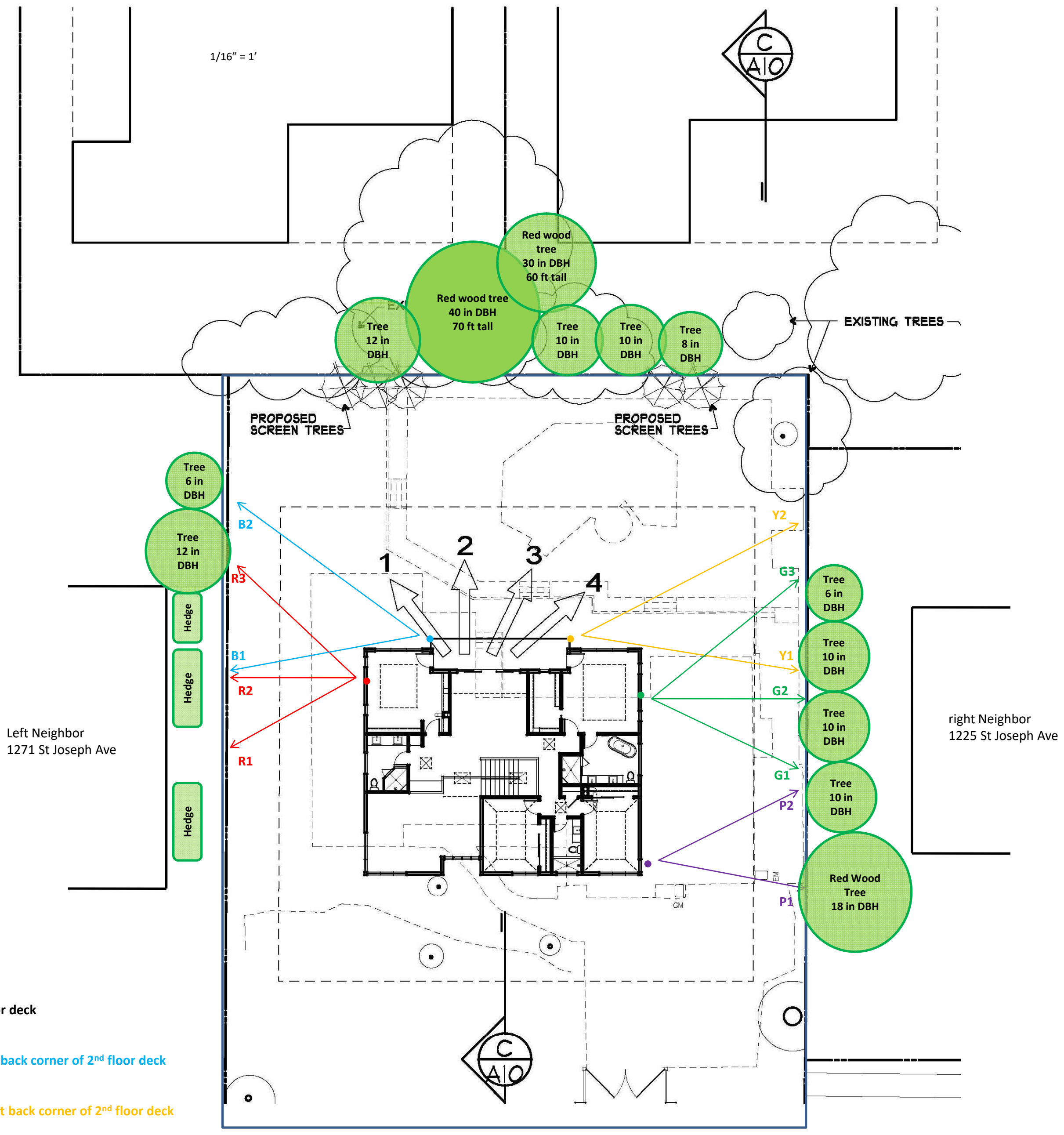
R3



R2



R1



1, 2, 3, 4
Back views from 2nd floor deck

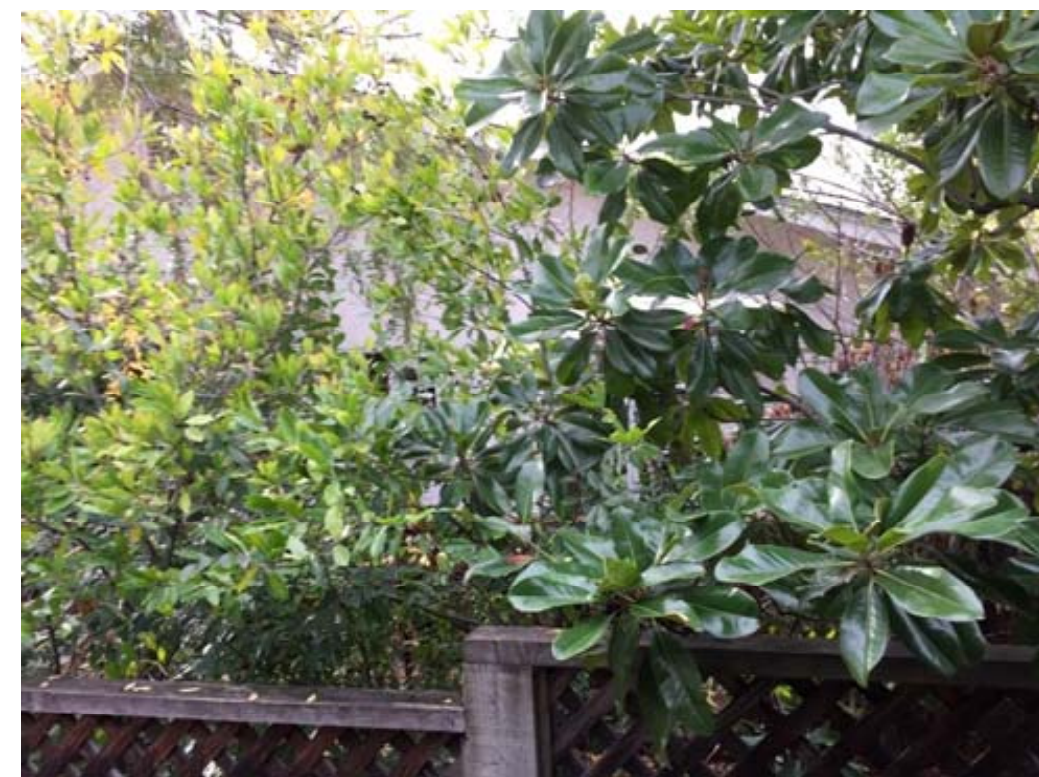
Blue (2):
Side views from the left back corner of 2nd floor deck

Yellows (2):
Side views from the right back corner of 2nd floor deck

Red (3):
Side views from 2nd floor bedroom 2 windows

Green (3):
Side views from 2nd floor master bedroom windows

Purple (3):
Side views from 2nd floor bedroom 5 window



P2



P1



G1



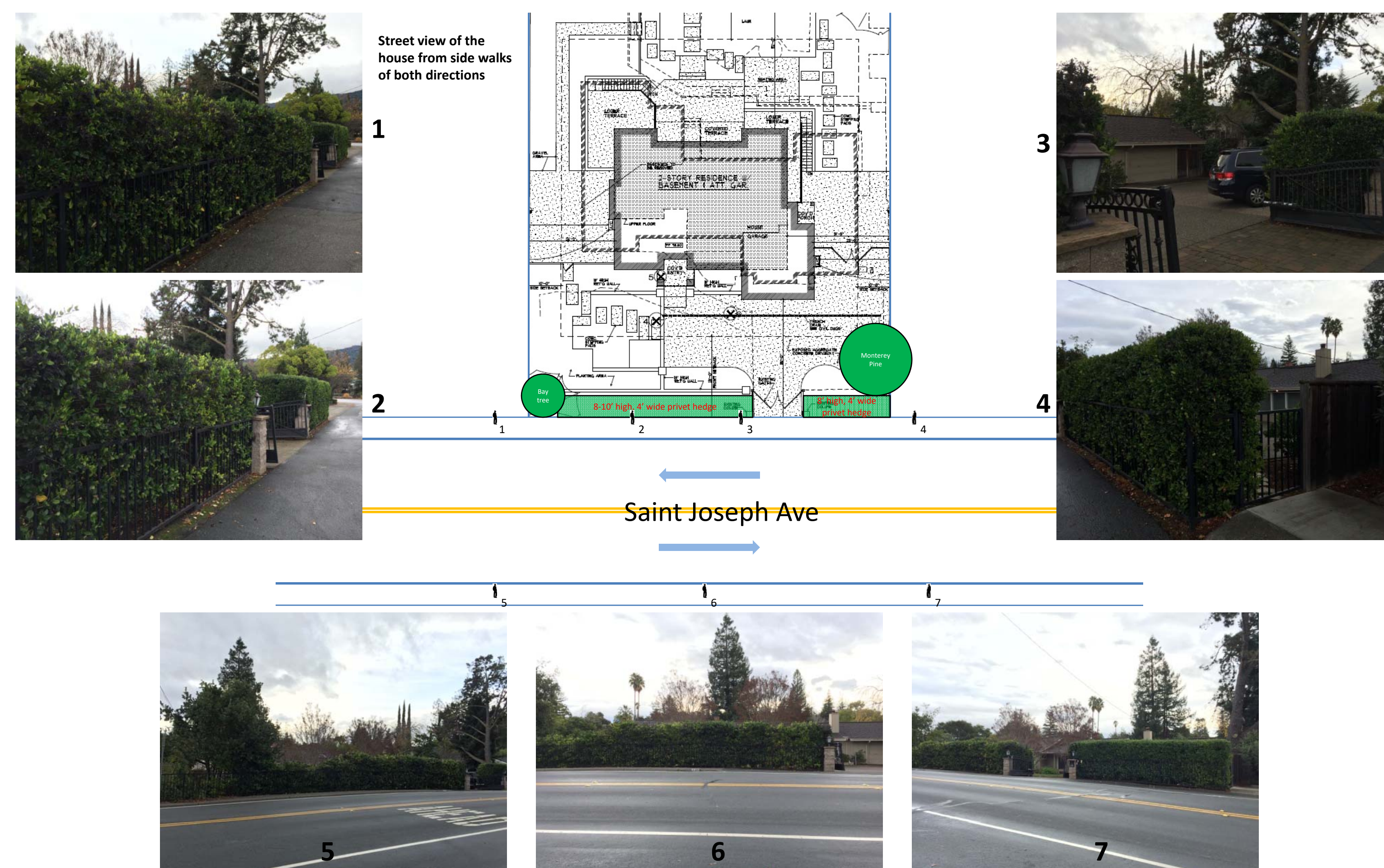
Y1



G3



G2



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ST. JOSEPH
STREET
VIEWS