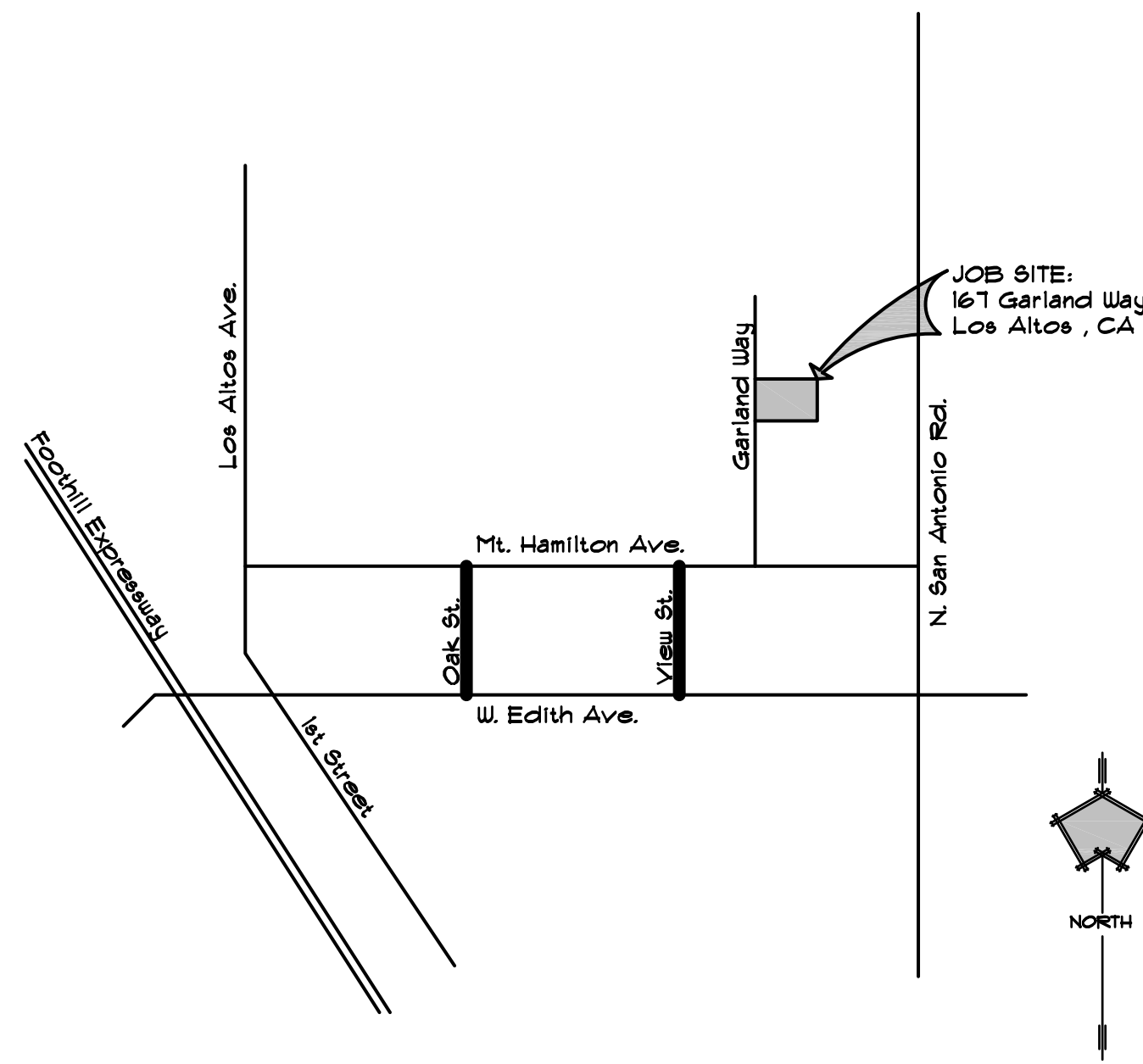


VICINITY MAP: NO SCALE



**CODE COMPLIANCE:**

1. California Residential Code (CRC) - 2016 Edition
  2. California Mechanical Code (CMC) - 2016 Edition
  3. California Plumbing Code (CPC) - 2016 Edition
  4. California Building Code (CBC) - 2016 Edition
  5. California Electrical Code (CEC) - 2016 Edition
  6. State of California 2016 Issue of "Title 24" for energy compliance
  7. California Green Code Building Standards (CGBSC) 2016 Edition
  8. California Energy Code (CEC) - 2016
  9. California Fire Code (CFC) - 2016
- \* As amended by state of California & Local Jurisdictions Per 2016 CRC R106.1

**PROJECT GENERAL NOTES:**

1. ALL CONSTRUCTION TO COMPLY W/ 2016 EDITION OF THE CRC, CBC, CMC, CPC, CGBSC, CFC 2016 C.E.C. STANDARDS. Per 2016 CRC R106.1
2. CONTRACTOR SHALL NOTIFY THE DESIGNER WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE BUILDING THAT IS IN CONFLICT, UNTIL THE CONFLICT IS RESOLVED W/THE AFFECTED PARTIES.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY W/ THE PERTINENT SECTIONS (AS THEY APPLY TO THIS PROJECT) OF THE 'CONSTRUCTION SAFETY ORDERS' ISSUED BY THE STATE OF CALIFORNIA LATEST EDITION, AND ALL OSHA REQUIREMENTS.
4. THE OWNER, DESIGNER AND ENGINEER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTORS FAILURE TO COMPLY W/ THESE REQUIREMENTS.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE TO ENSURE THE BUILDING COMPLIES W/ THE MANDATORY FEATURES AND DEVICES OF TITLE 24.
6. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL PERMITS AND APPROVALS HAVE BEEN CLEARED W/ APPROPRIATE AGENCIES PRIOR TO START OF CONSTRUCTION.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE BUILDING OFFICIAL WHEN WORK IS READY FOR INSPECTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY. FINAL PAYMENT SHALL BE MADE AFTER RECEIPT OF CERTIFICATE OF OCCUPANCY AND FINAL APPROVAL PUNCH LIST.
9. A MIN. OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS TO BE DIVERTED FOR RECYCLING / SALVAGE. ZANKER RECYCLING CENTER

# The Tallapragada-Doddasomaya Julia

## Residence

167 Garland Way  
Los Altos, CA 94022

County of Santa Clara



**PROJECT TEAM INFORMATION:**

**Builder**

Owen Signature Homes  
Shawn Owen  
445 S. San Antonio Rd.  
Suite 201  
Los Altos, CA 94022  
(650) 948-9420  
shawn@owenhomes.com

**Structural Engineer:**

Cornerstone Structural Consultants  
Chad Gupta  
9005 Elk Grove Blvd. Suite 6  
Elk Grove, CA 95624  
(916) 931-9649  
chadg@cornerstonestructural.net

**Soils Engineer:**

Romig Engineers, Inc.  
1390 El Camino Real, 2nd Floor  
San Carlos, CA 94070  
(650) 591-5224  
tom@romigengineers.com

**Civil Engineer:**

NNR Engineering  
535 Weybridge Drive  
San Jose, CA 95123  
(408) 348-1013  
nnrengineering@yahoo.com

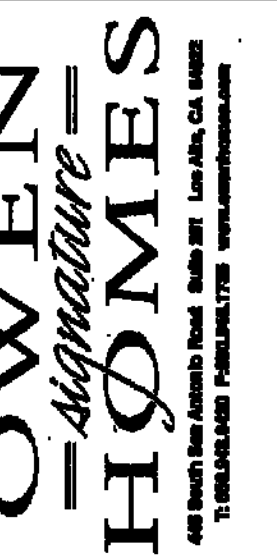
**Drafting Services:**

D-Line Design  
Daryl Henry  
1465 Oak Ridge Way  
Auburn, CA 95603  
(530) 613-0066  
darylhenry@att.net

REVISION

△	
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**ZONING COMPLIANCE**

	Existing	Proposed	Allowed/Required
<b>LOT COVERAGE:</b> <i>Land area covered by all structures that are over 6 feet in height</i>	1440 square feet (11%)	2152 square feet (29%)	6270 square feet (30%)
<b>FLOOR AREA:</b> <i>Measured to the outside surfaces of exterior walls</i>	1st Flr. 1695 sq ft 2nd Flr. _____ sq ft Total: 1695 sq ft (8%)	1st Flr. 4757 sq ft 2nd Flr. _____ sq ft Total: 4757 sq ft (22.1%)	4340 square feet (23%)
<b>SETBACKS:</b>			
Front	30 feet	38 feet	25 feet
Rear	111 feet	50 feet	25 feet
Right side (1st/2nd)	23 feet / _____ feet	10 feet / _____ feet	10 feet / _____ feet
Left side (1st/2nd)	15 feet / _____ feet	10 feet / _____ feet	10 feet / _____ feet
<b>HEIGHT:</b>	18 feet	22 feet	21 feet

**SQUARE FOOTAGE BREAKDOWN**

	Existing	Change in	Total Proposed
<b>HABITABLE LIVING AREA:</b> <i>Includes habitable basement areas</i>	1275 square feet	2998 square feet	4273 square feet
<b>NON-HABITABLE AREA:</b> <i>Does not include covered porches or open structures</i>	420 square feet	64 square feet	484 square feet

**LOT CALCULATIONS**

<b>NET LOT AREA:</b>	20,900 square feet
<b>FRONT YARD HARDSCAPE AREA:</b> <i>Hardscape area in the front yard setback shall not exceed 50%</i>	1344.5 square feet (49%)
<b>LANDSCAPING BREAKDOWN:</b>	Total hardscape area (existing and proposed): 3827 sq ft Existing softscape (undisturbed) area: 15,476 sq ft New softscape (new or replaced landscaping) area: 1,527 sq ft <i>Sum of all three should equal the site's net lot area</i>

**SCOPE OF WORK**

THIS PROJECT IS THE CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE WITH AN ATTACHED TWO CAR GARAGE, A CARPORT, COVERED ENTRY, COVERED EVENING VERANDA AND OUTDOOR DINING. IT WILL ALSO INCLUDE A SEPARATE CABANA / EXERCISE STRUCTURE ATTACHED BY A BREEZEWAY. THE POOL AND HARDSCAPE CONSTRUCTION TO BE COVERED UNDER SEPARATE PERMIT

VERIFICATION OF ALL DIMENSIONS, NOTES, MATERIALS AND METHODS OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE BUILDER. ALL REVISIONS TO PLAN, CONSTRUCTION DETAILS AND ASSEMBLAGES NOT SPECIFICALLY DETAILED IN THE APPROVED DRAWINGS ARE THE SOLE RESPONSIBILITY OF THE BUILDER. ANY CHANGES TO THE PLAN REQUIRE REVIEW AND APPROVAL FROM THE OWNER AND OWEN SIGNATURE HOMES.

**PROJECT DATA**

**OWNER:** TALLAPRAGADA-DODDASOMAYA JULIA  
167 GARLAND WAY  
LOS ALTOS, CA 94022

**LOT DATA:**

A. P. NO. 167 - 030 - 021

ZONING RI - 10

LOT SIZE 20,900 SQ. FT. .48± ACRES

OCCUPANCY GROUP R3 / U

CONSTRUCTION TYPE V-B (V-N)

**DRAWING INDEX**

- A0.1 COVER SHEET
  - CIVIL ENGINEERING
  - C-1 DRAINAGE AND GRADING PLAN
  - C-2 DETAILS
  - C-3 EROSION CONTROL
  - ARCHITECTURAL
  - A1.1 ARCHITECTURAL SITE PLAN
  - A2.1 FLOOR PLAN
  - A3.1 EXTERIOR ELEVATIONS WEST & NORTH
  - A3.2 EXTERIOR ELEVATIONS EAST & SOUTH
  - A4.1 FRAMING SECTIONS 'A' & 'B'
  - A4.2 FRAMING SECTIONS 'C' & 'D'
  - A5.1 ROOF PLAN
  - A6.1 AREA CALCULATIONS
  - LANDSCAPE
  - L1.0 CONCEPTUAL LANDSCAPE PLAN
- FIRE SPRINKLER PLANS AND DETAILS TO BE PROVIDED BY A LICENSED DESIGNER AND WILL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL.

1465 Oak Ridge Way  
Auburn, CA 95603  
(530) 613-0066  
darylhenry@att.net

**D-Line Design**  
Planning, Design & Drafting

TITLE: Cover Sheet

SCALE: 1" = 100'

DRAWN: drh

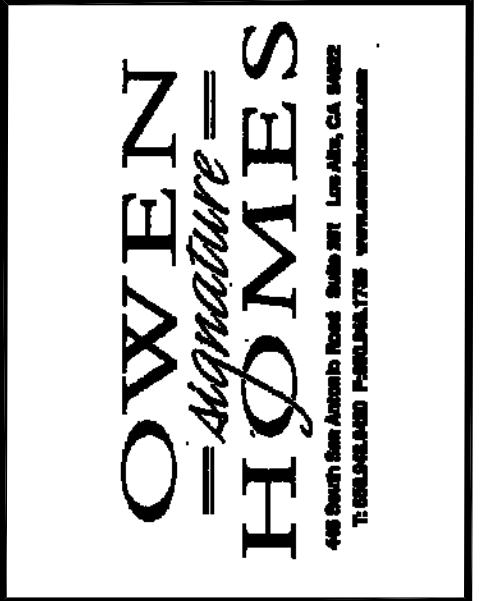
CHECKED: G. Mignano

DATE: 11 Sept. 2017

SHEET: A0.1  
of 13

REVISION


The Tallapragada-Doddasomayajula  
Residence  
167 Garland Way  
Los Altos, CA 94022  
County of Santa Clara



1465 Oak Ridge Way  
Auburn, CA 95603  
(530) 613-0066  
claryhenry@att.net

**D-Line Design**  
Planning, Design & Drafting

TITLE:  
Site Plan

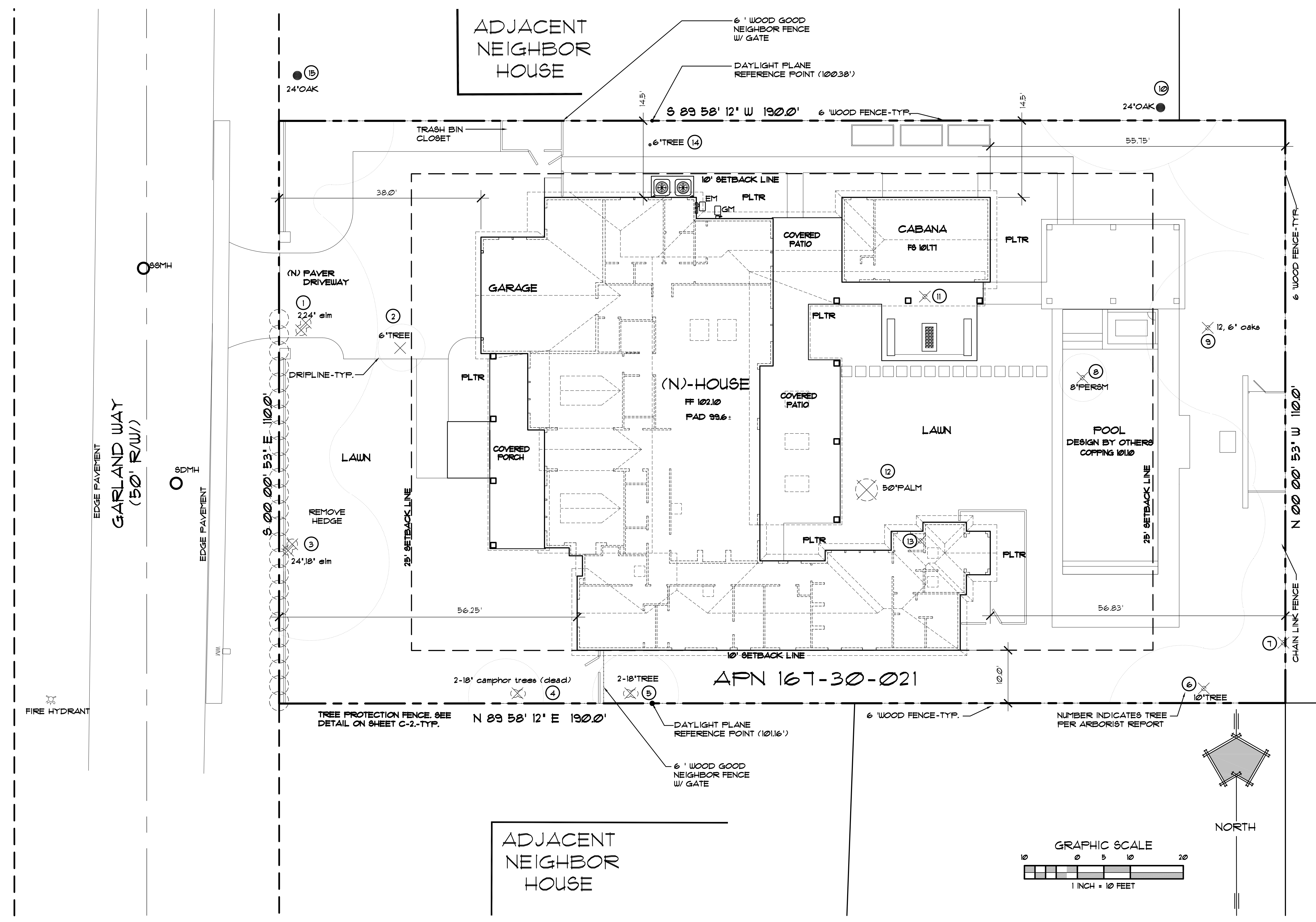
SCALE: 1" = 100'

DRAWN: drh

CHECKED: G. Mignano

DATE: 11 Sept. 2017

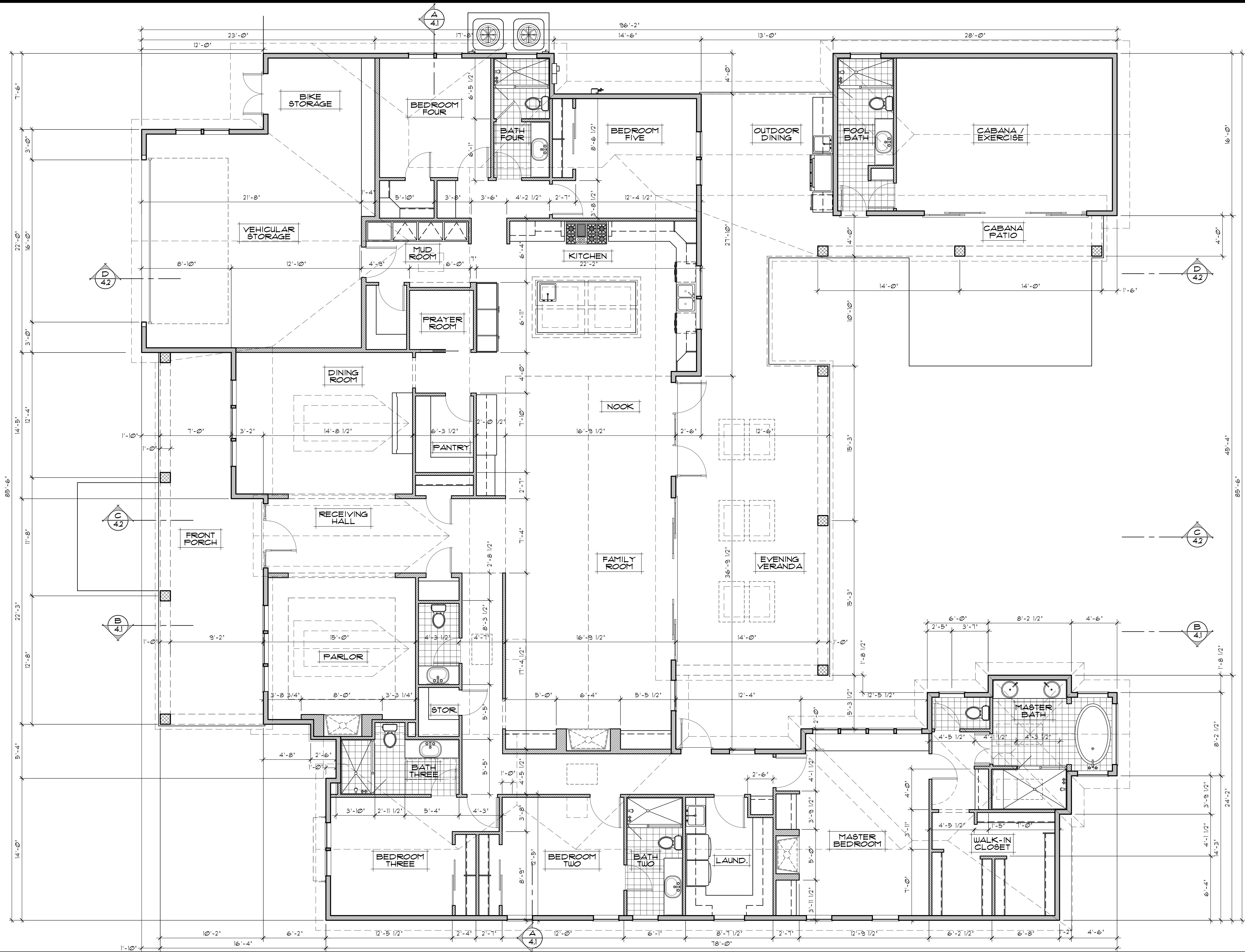
SHEET:  
A1.1



PROJECT SUMMARY:

<b>Applicant</b> Owen Signature Homes Shawn Owen 445 S. San Antonio Rd. Suite 201 Los Altos, CA 94022 (650) 948-9420 shawn@owenhomes.com	<b>JURISDICTION</b> County of Santa Clara	<b>BUILDING OCCUPANCY:</b> R-3/U
<b>Designer</b> Owen Signature Homes Gary Mignano 445 S. San Antonio Rd. Suite 201 Los Altos, CA 94022 (650) 948-9420 gary@owenhomes.com	<b>Civil Engineer:</b> NNR Engineering 535 Weybridge Drive San Jose, CA 95123 (408) 348-1813 nnrengineering@yahoo.com	<b>CONSTRUCTION TYPE:</b> V-B (V-N)
	<b>OCCUPANCY CATEGORY:</b> II	<b>APN:</b> 167 - 30 - 021

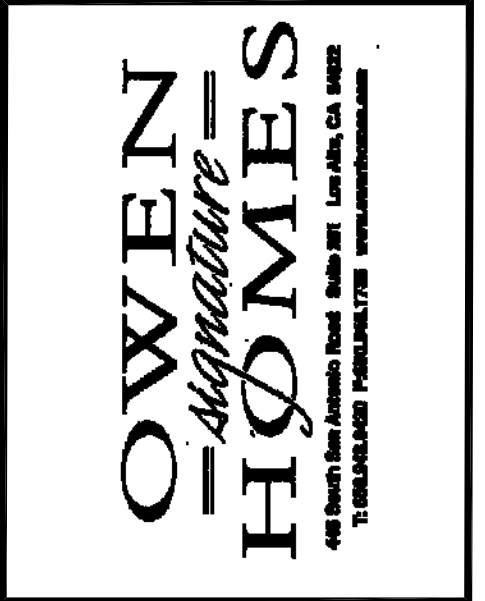
SITE PLAN: 1" = 100'



REVISION

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The Tallapragada-Doddasomayajula  
 Residence  
 167 Garland Way  
 Los Altos, CA 94022  
 County of Santa Clara



1465 Oak Ridge Way  
 Auburn, CA 95603  
 (530) 613-0066  
 clarjhenry@att.net

**D-Line Design**  
 Planning, Design & Drafting

TITLE:  
 Floor Plan

SCALE: 1/4" = 1' - 0"

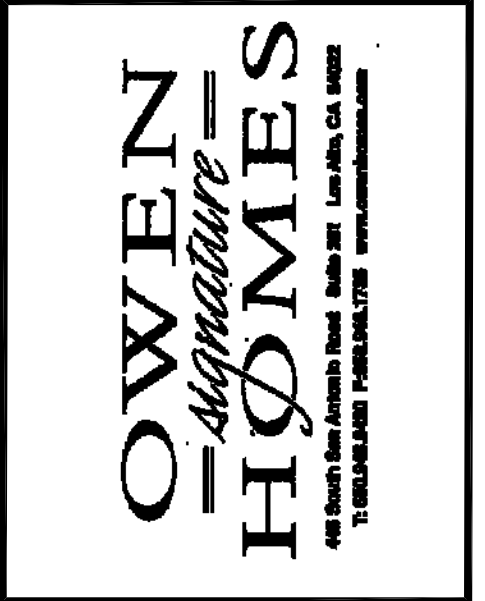
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CHECKED: G. Mignano

DATE: 11 Sept. 2017

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 A2.1  
 of 13

The Tallapragada-Doddasomaya Julia  
Residence  
167 Garland Way  
Los Altos, CA 94022  
County of Santa Clara



1465 Oak Ridge Way  
Auburn, CA 95603  
(530) 613-0066  
clarahenry@att.net

**D-Line Design**  
Planning, Design & Drafting

TITLE:  
Exterior Elevations

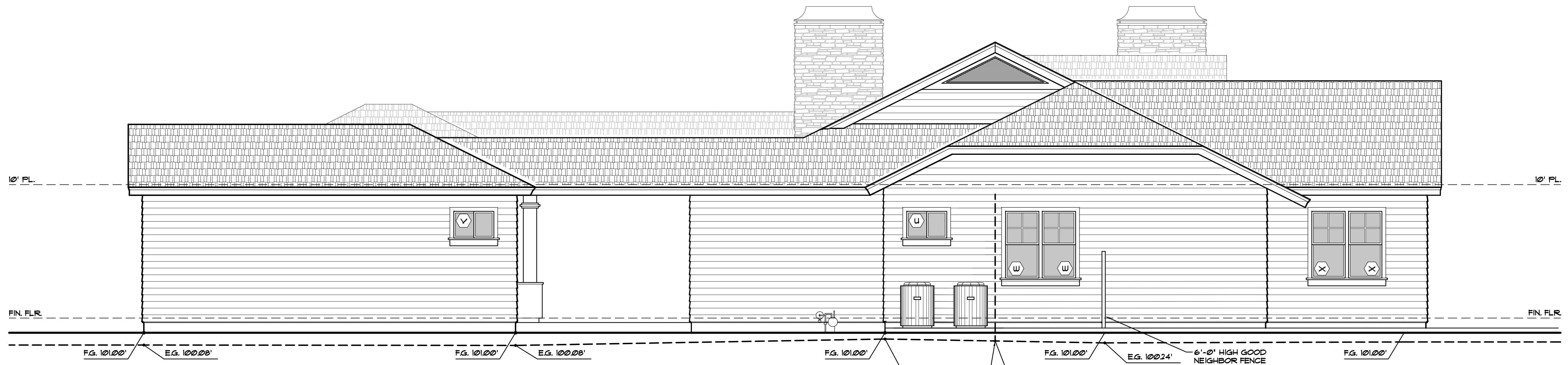
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CHECKED: G. Mignano

DATE: 11 Sept. 2017

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A3.1  
of 13



**NORTH ELEVATION**  
1/4"=1'-0"

**EXTERIOR FINISHES**

ROOFING	STANDING BEAM METAL ROOF ARCHITECTURAL GRADE
ROOFING	'CERTANTEED' ASPHALT SHINGLE ROOF ARCHITECTURAL GRADE
EXP. COLUMNS	TO BE PAINTED WOOD, COLOR SELECTED BY OWNER
SIDING	6' SHIPLAP CEDAR, COLOR SELECTED BY OWNER
SIDING	CLEAR CEDAR SIDING W/ 1x3 CEDAR BATTONS, COLOR SELECTED BY OWNER
STONE	THIN STONE VENEER, STYLE SELECTED BY OWNER
GUTTERS	5' SHI. MTL. OGEE PAINTED GUTTER, 3' PAINTED METAL DOWN SPOUTS, COLOR SELECTED BY OWNER
WINDOWS	NON METAL FRAMES, COLOR SELECTED BY OWNER
FLASHING	PAINTED FLASHING, COLOR SELECTED BY OWNER

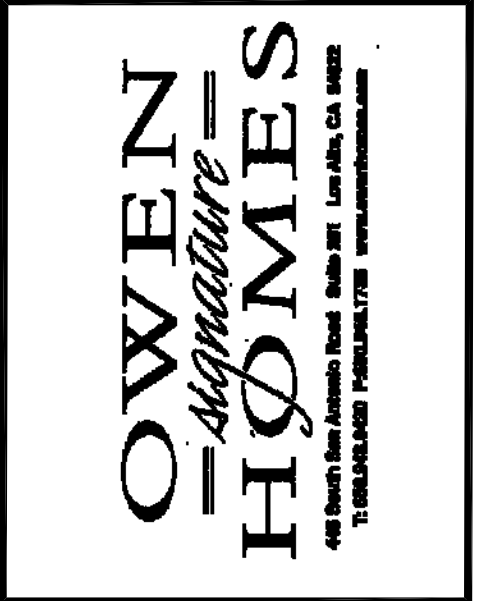
PROVIDE SAMPLES OF ALL FINISH MATERIALS AND DOORS FOR APPROVAL BY DESIGNER AND OWNER TYPE, COLOR AND TEXTURE PRIOR TO ORDER.



**WEST ELEVATION**  
1/4"=1'-0"

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County of Santa Clara



1465 Oak Ridge Way  
Auburn, CA 95603  
(530) 613-0066  
claryhenry@att.net

**D-Line Design**  
Planning, Design & Drafting

TITLE:  
Exterior Elevations

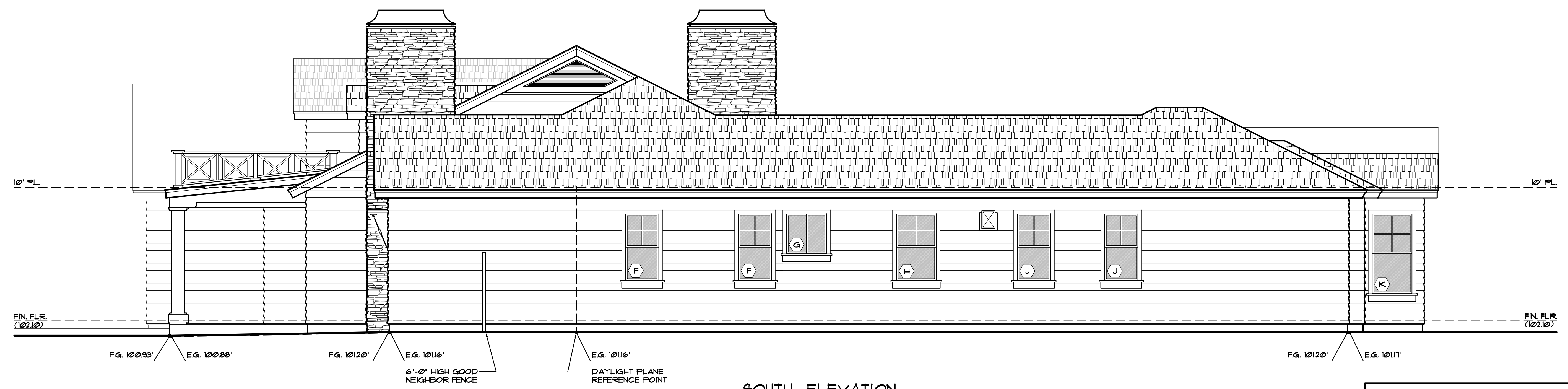
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DRAWN: drh

CHECKED: G. Mignano

DATE: 11 Sept. 2017

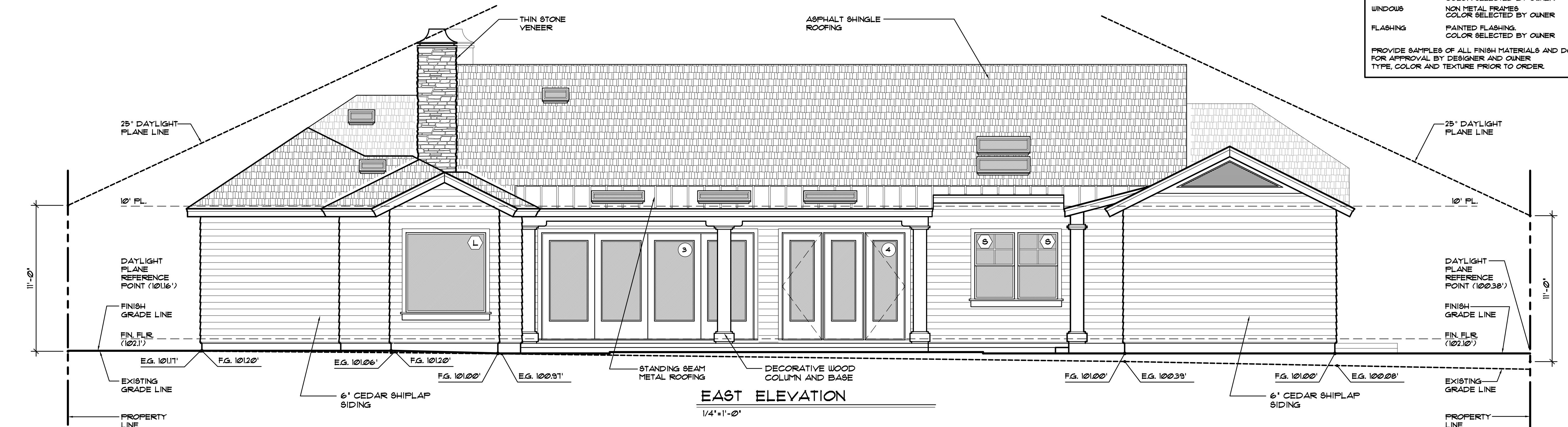
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A3.2



**SOUTH ELEVATION**  
1/4" = 1' - 0"

EXTERIOR FINISHES	
ROOFING	STANDING BEAM METAL ROOF ARCHITECTURAL GRADE
ROOFING	'CERTANTEED' ASPHALT SHINGLE ROOF ARCHITECTURAL GRADE
EXP. COLUMNS	TO BE PAINTED WOOD, COLOR SELECTED BY OWNER
SIDING	6" SHIPLAP CEDAR, COLOR SELECTED BY OWNER
SIDING	CLEAR CEDAR SIDING w/ 1/3 CEDAR BATTONS, COLOR SELECTED BY OWNER
STONE	THIN STONE VENEER, STYLE SELECTED BY OWNER
GUTTERS	5' SHI. MTL. OGEE PAINTED GUTTER, 3' PAINTED METAL DOWN SPOUTS, COLOR SELECTED BY OWNER
WINDOWS	NON METAL FRAMES, COLOR SELECTED BY OWNER
FLASHING	PAINTED FLASHING, COLOR SELECTED BY OWNER

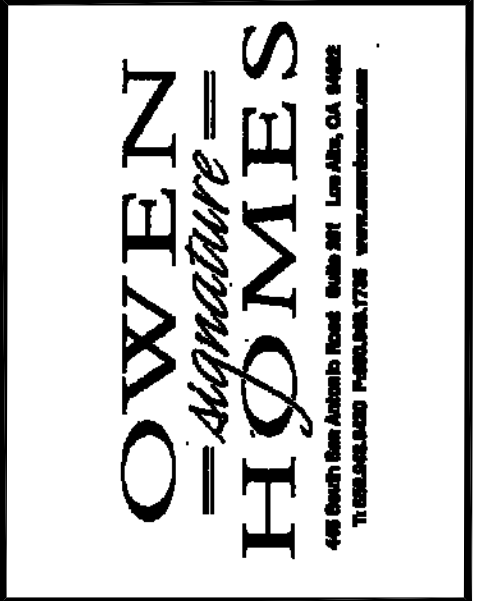
PROVIDE SAMPLES OF ALL FINISH MATERIALS AND DOORS FOR APPROVAL BY DESIGNER AND OWNER. TYPE, COLOR AND TEXTURE PRIOR TO ORDER.



**EAST ELEVATION**  
1/4" = 1' - 0"

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 Residence  
 167 Garland Way  
 Los Altos, CA 94022  
 County of Santa Clara



1465 Oak Ridge Way  
 Auburn, CA 95603  
 (530) 613-0066  
 clara@henrydatt.net

**D-Line Design**  
 Planning, Design & Drafting

TITLE:  
 Framing Sections

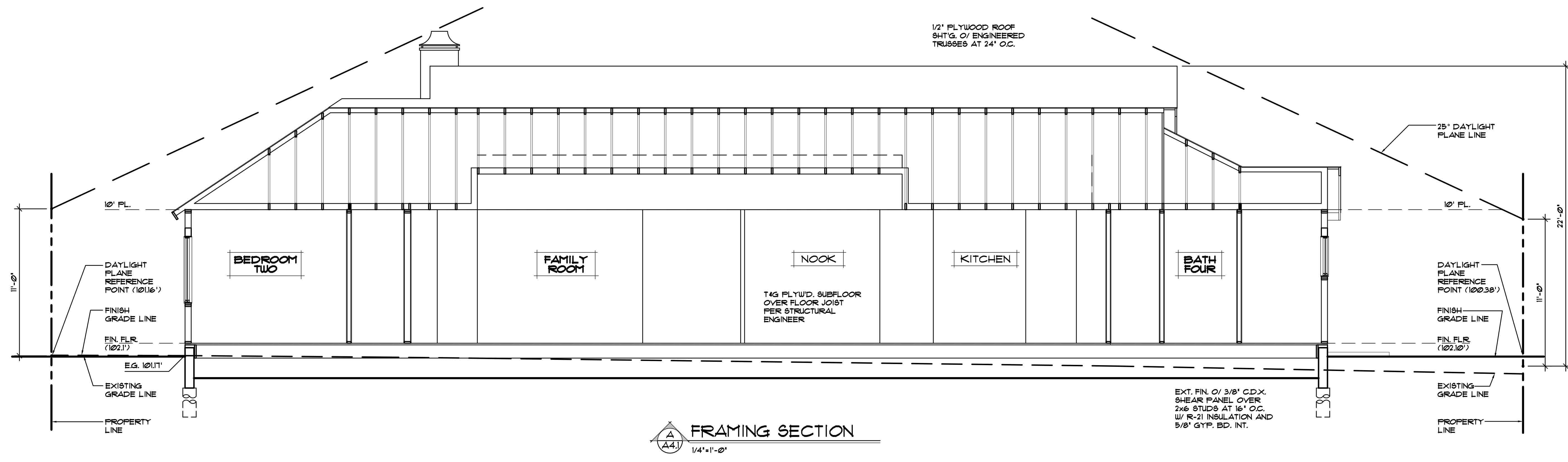
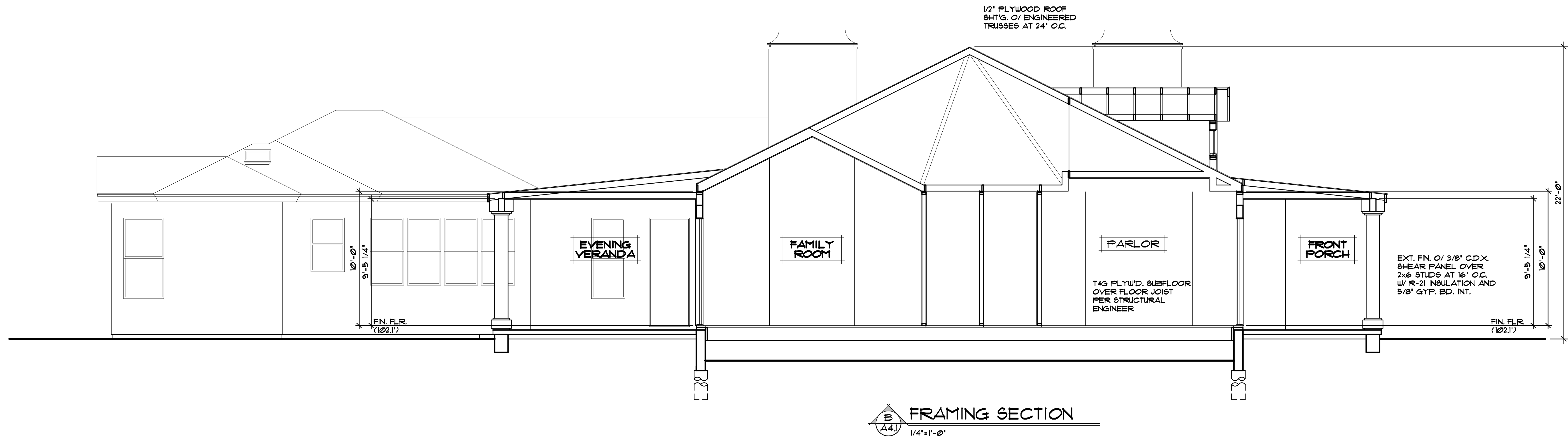
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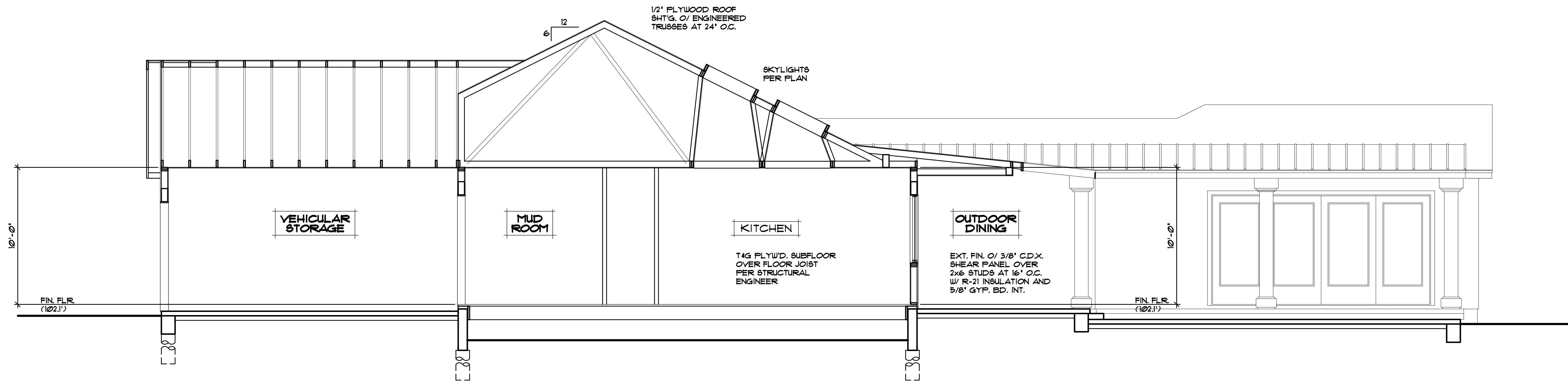
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CHECKED: G. Mignano

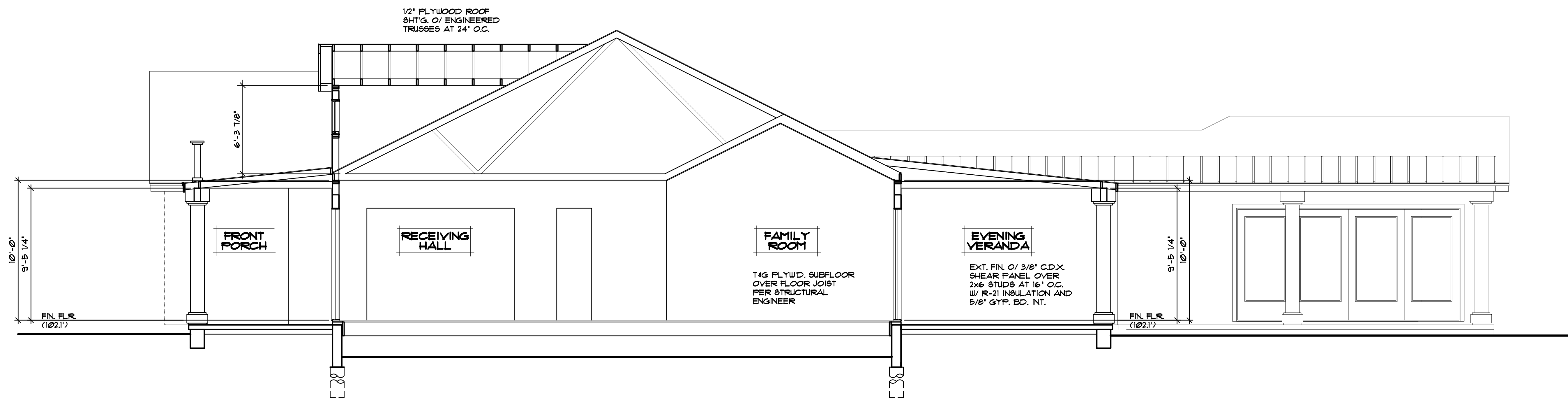
DATE: 11 Sept. 2017

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 A4.1





**D**  
A4.1  
FRAMING SECTION  
1/4"=1'-0"

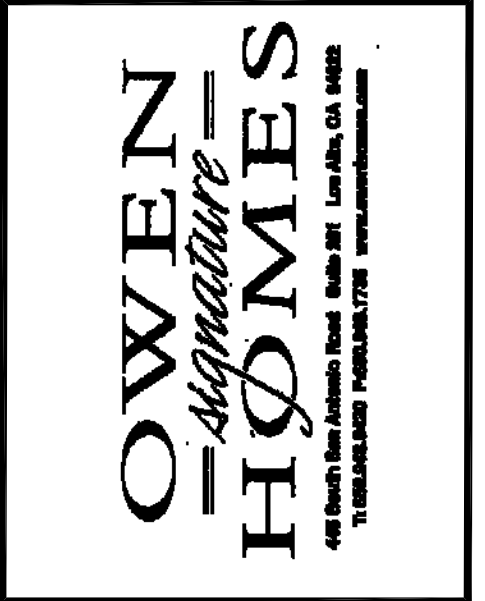


**C**  
A4.1  
FRAMING SECTION  
1/4"=1'-0"

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Residence  
167 Garland Way  
Los Altos, CA 94022  
County of Santa Clara



1465 Oak Ridge Way  
Auburn, CA 95603  
(530) 613-0066  
claryhenry@att.net

**D**  
D-Line Design  
Planning, Design & Drafting

TITLE:  
Framing Sections

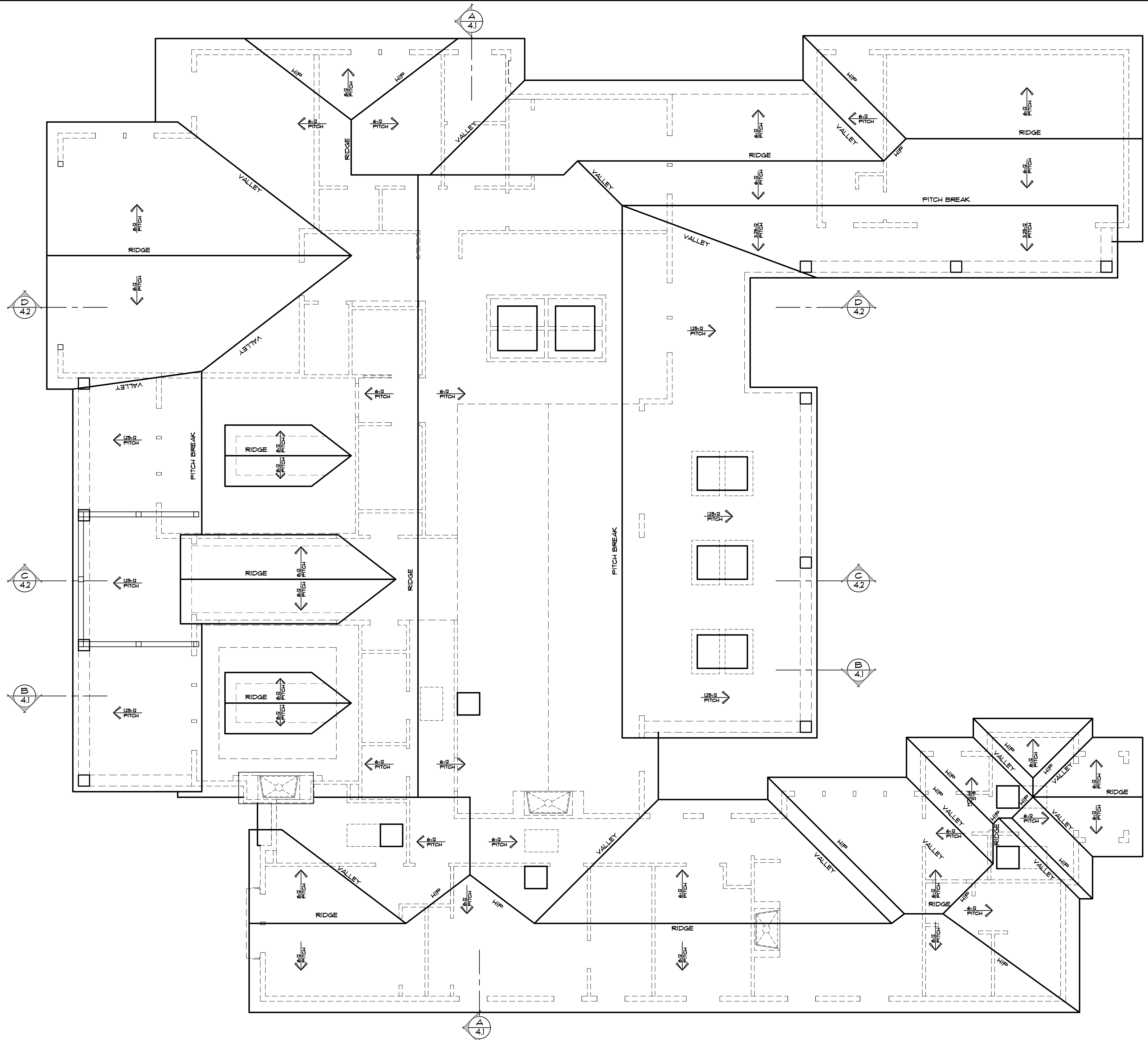
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DRAWN: drh

CHECKED: G. Mignano

DATE: 11 Sept. 2017

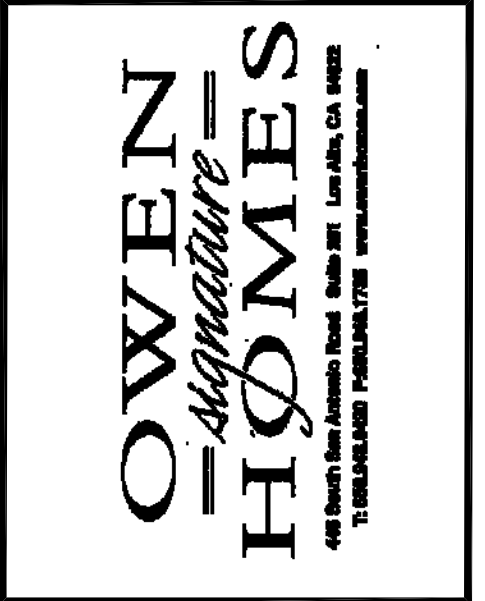
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 Residence  
 167 Garland Way  
 Los Altos, CA 94022  
 County of Santa Clara



1465 Oak Ridge Way  
 Auburn, CA 95603  
 (530) 613-0066  
 clarjhenry@att.net

**D-Line Design**  
 Planning, Design & Drafting

TITLE:  
 Roof Plan

SCALE: 1/4" = 1' - 0"

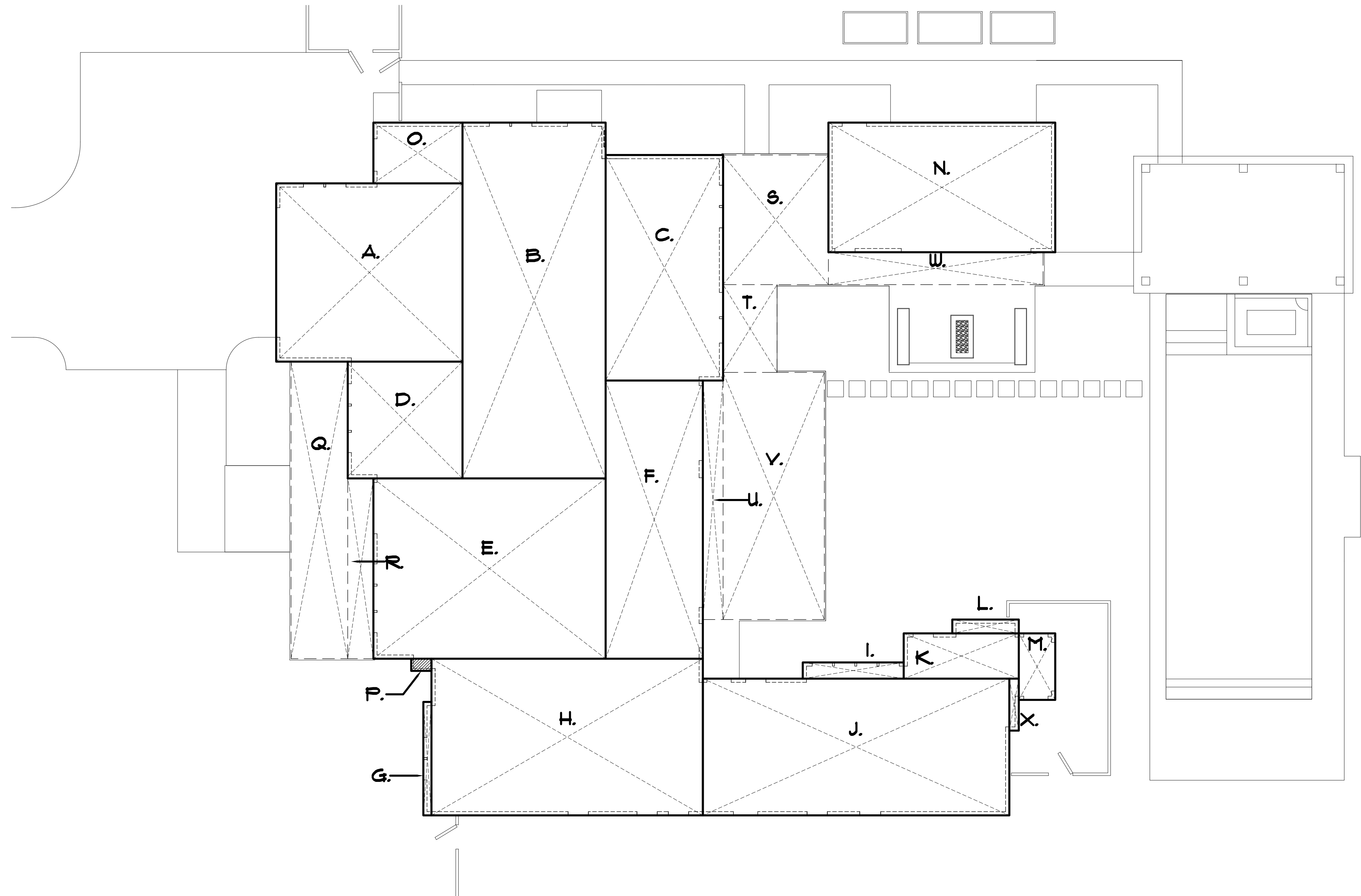
DRAWN: drh

CHECKED: G. Mignano

DATE: 11 Sept. 2017

SHEET:  
 A5.1





**GARAGE, HABITABLE SPACE & CABANA**

A.	22.00x22.00=	484.00
B.	17.64x43.83=	7714.03
C.	14.30x27.183=	4093.03
D.	13.83x22.33=	3100.32
E.	28.28x22.71=	6426.30
F.	12.00x33.66=	4039.32
G.	16.00x14.00=	224.00
H.	33.00x23.25=	7672.50
I.	2.00x22.33=	44.66
J.	37.50x16.83=	6311.25
K.	14.00x8.30=	1162.00
L.	13.00x8.71=	1132.30
M.	4.50x9.00=	40.50
N.	28.00x16.00=	448.00
O.	10.67x13.33=	142.22
P.	2.50x15.00=	37.50
X.	1.00x6.00=	6.00
TOTAL		48733.60 SQ. FT.
(FAIR) ALLOWED		4840.00 SQ. FT.

**COVERED PORCHES**

OPEN ON TWO OR MORE SIDES & OVER 6' IN HEIGHT		
Q.	7.00x6.50=	45.50
R.	3.75x22.21=	83.29
S.	13.00x9.83=	127.79
T.	6.00x9.75=	58.50
U.	2.50x9.33=	23.33
V.	12.33x9.50=	117.16
W.	4.00x6.00=	24.00

TOTAL APPLICABLE TO SITE COVERAGE

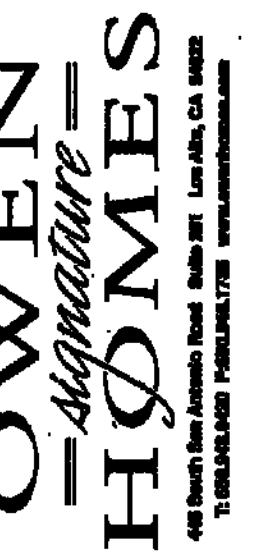
5,575.43 SQ. FT. SITE COVERAGE PROPOSED

6,270.00 SQ. FT. ALLOWED WHEN PROPOSED STRUCTURE EXCEEDS 20' IN OVERALL HEIGHT

REVISION

- △
- △
- △

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1465 Oak Ridge Way  
Auburn, CA 95603  
(530) 613-0066  
claryhenry@att.net



D-Line Design  
Planning, Design & Drafting

TITLE:  
Area Calculations

SCALE: 1/8" = 1'-0"

DRAWN: chr

CHECKED: G. Mignano

DATE: 11 Sept. 2017

SHEET:

A6.1

**GRADING AND DRAINAGE CONSTRUCTION NOTES:**

- 1. DIRECT ROOF DOWNSPOUT LEADERS TO APPROVED SPLASH BLOCKS (2' LENGTH MIN.) DIRECTLY AWAY FROM BUILDING TO PREVENT FLOW TOWARDS PERVIOUS AREAS OF THE SITE TYP. (SEE DETAIL ON SHEET C-2) FOR POSITIVE FLOW & TOWARDS PERVIOUS AREA OF THE SITE TYP.
- 2. DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND SLOPE 5% FOR AT LEAST 10 FEET, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
- 3. 4" SDR-26 SS. LAT. @ 2% MIN.
- 4. INSTALL (N) ATMOSPHERIC & LISTED ACCESSIBLE BACK FLOW WATER VALVE.
- 5. (N) WATER SERVICE LINE (DESIGN BY OTHERS) CONNECT WATER SERVICE WITH WATER PER CITY STANDARD REQUIREMENTS.
- 6. INSTALL (N) BACK FLOW PREVENTER.
- 7. UPGRADE (E) WATER METER.
- 8. EARTH SWALE @ S=0.7% SEE DETAIL ON C-2.
- 9. TREE PROTECTION FENCE. SEE DETAIL ON SHEET C-2.
- 10. 6" PVC (SDR-35) @ S=0.5% MIN.
- 11. CONSTRUCT (N) AC D/W APRON PER CITY STANDARD DETAIL "PRIOR TO THE COMMENCEMENT OF WORK ON THE PROJECT" TO OPEN STREET AND OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

**UTILITY SERVICE**

THE APPLICANT SHALL SUBMIT WRITTEN CERTIFICATION FROM THE APPLICANT'S ENGINEER OR QUALIFIED PROFESSIONAL ENGINEER FOR THE PROJECT WORK BEFORE ANY AND OBTAINING DIVISIONS TO THE PUBLIC WORKS DEPARTMENT AND THE COMMUNITY DEVELOPMENT DEPARTMENT APPROVE THIS SUBDIVISION.

THE LOCATIONS OF THE MAIN WATER SERVICE AND SANITARY SEWERS ARE SHOWN APPROXIMATE AND THE CONTRACTOR SHALL VERIFY AND APPROXIMATE APPROXIMATE LOCATIONS OF THE MAIN WATER SERVICE AND SANITARY SEWERS AT THE PROPERTY LINE AND APPROXIMATE LOCATIONS OF THE MAIN WATER SERVICE AND SANITARY SEWERS AT THE PROPERTY LINE AND APPROXIMATE LOCATIONS OF THE MAIN WATER SERVICE AND SANITARY SEWERS AT THE PROPERTY LINE.

**ENCROACHMENT PERMIT**

NO PROPOSED CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERMITTED WITHOUT THE CITY ENGINEER'S WRITTEN APPROVAL. THE CITY ENGINEER'S WRITTEN APPROVAL SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.

**GENERAL NOTES**

- 1. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES AND SURFACE IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERE TO.
- 2. EXISTING UNDERGROUND LINES, APPURTENANCES AND FACILITIES WHICH ARE KNOWN TO THE ENGINEER ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING FACILITIES WHICH ARE TO REMAIN IN PLACE, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERE TO. NO WARRANTY IS GIVEN AS TO THE COMPLETENESS AND ACCURACY OF SUCH FACILITIES INFORMATION.
- 3. ALL CONTRACTORS WILL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- 4. CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT "USA" CENTER AT 800/642-2444, A TOLL-FREE NUMBER, 48 HOURS IN ADVANCE OF ANY EXCAVATION ACTIVITY SO ALL UNDERGROUND FACILITIES CAN BE LOCATED AND MARKED.
- 5. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONNEL AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CITY OR THE ENGINEER.
- 6. IT SHALL BE THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO COORDINATE THEIR WORK SO AS TO ELIMINATE CONFLICTS AND TO INSURE COMPLETION OF THE ENTIRE PROJECT WITHIN THE SPECIFIED PERIOD.
- 7. THE CONTRACTOR SHALL MAINTAIN THE STREET, SIDEWALKS AND ALL OTHER RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.

**UNDERGROUND NOTES**

- 1. CONTRACTORS SHALL EXPOSE AND VERIFY PIPE MATERIAL, LINE SIZE, LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING SANITARY SEWERS, STORM DRAINS, AND WATER LINES AT ALL TIE-INS AND CROSSINGS PRIOR TO CONSTRUCTING NEW FACILITIES.
- 2. UNLESS OTHERWISE NOTED, ALL STORM DRAINS, SANITARY SEWERS, MANHOLES AND INLETS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND STANDARD PLAN DETAILS AS DESIGNATED AND TO DETAILS AS SHOWN ON THE PLAN.
- 3. ALL TRENCH EXCAVATION, BACKFILL AND BEDDING FOR STORM DRAINS AND SANITARY SEWERS SHALL CONFORM TO THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS, AND DETAILS.
- 4. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- 5. ALL GAS, ELECTRICAL, TELEPHONE AND CABLE T.V. UTILITIES, WILL BE DESIGNED AND CONSTRUCTED BY OTHERS UNDER SEPARATE CONTRACTS AND PLANS.

**LEGEND:**

- Area Drain (Christy Box V-1) or Equal
- Catch Basin (Christy Box V-24) or Equal
- 8" Plastic Atrium Drain (Black)

**\*ALL TREE PROTECTION FENCING SHALL BE CHAINED TO THE MINIMUM CHAIN LINK AND A MINIMUM OF FIVE FEET IN HEIGHT POSITIVE TREE IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND.\***

**ENCROACHMENT PERMIT**

NO PROPOSED CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERMITTED WITHOUT THE CITY ENGINEER'S WRITTEN APPROVAL. THE CITY ENGINEER'S WRITTEN APPROVAL SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY.

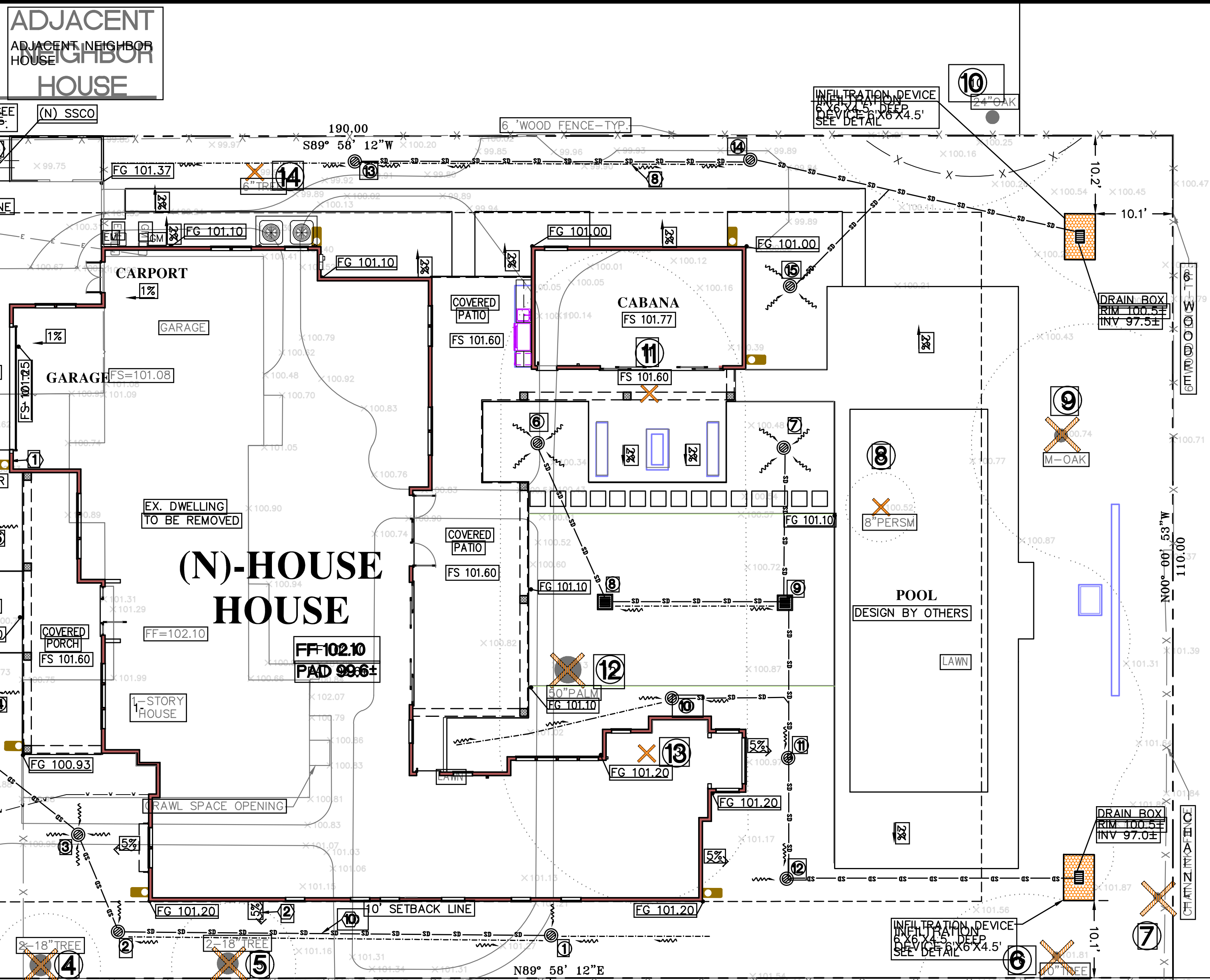
**DRAINAGE NOTE**

- 1. AD RIM 100.7± INV 99.0±
- 2. AD RIM 100.7± INV 98.5±
- 3. AD RIM 100.5± INV 98.3±
- 4. AD RIM 100.5± INV 98.0±
- 5. AD RIM 100.5± INV 98.9±
- 6. AD RIM 100.5± INV 99.0±
- 7. AD RIM 100.5± INV 99.0±
- 8. CB RIM 100.5± INV 98.5±
- 9. CB RIM 100.5± INV 98.2±
- 10. AD RIM 100.5± INV 99.0±
- 11. AD RIM 100.5± INV 97.6±
- 12. AD RIM 100.5± INV 97.4±
- 13. AD RIM 100.5± INV 99.0±
- 14. AD RIM 100.5± INV 98.0±
- 15. AD RIM 100.5± INV 99.0±

**SHEET INDEX**

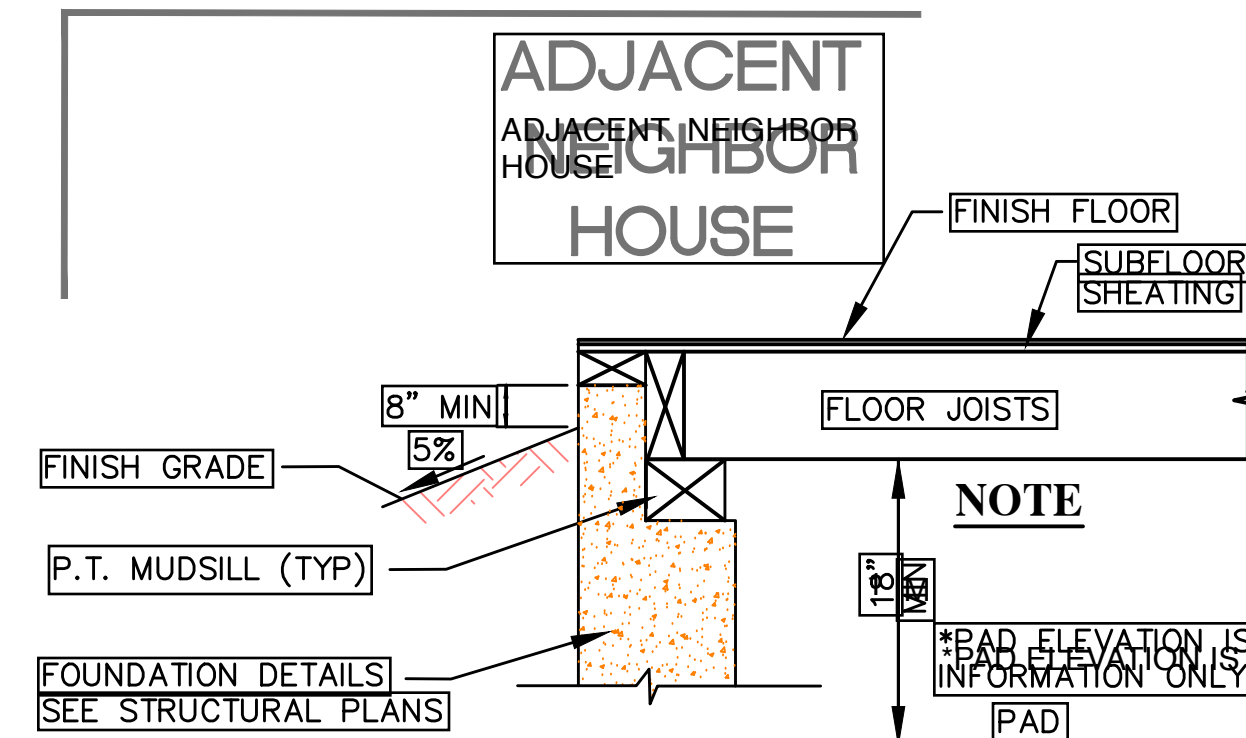
- GRADING AND DRAINAGE PLAN C-1
- MISC. DETAILS C-2
- EROSION CONTROL PLAN C-3

**BENCHMARK**  
ASSUMED ELEVATION= 100.00'



**LEGEND:**

- Area Drain (Christy Box V-1) or Equal
- Catch Basin (Christy Box V-9) or Equal



**EXTERIOR GRADING DETAIL (TYP.)**

**NOTES:**

- A. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND A NOTICED VIOLATION SHALL BE REPAIRED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND THE REPAIR SHALL BE APPROVED BY THE CITY ENGINEER.
- B. THE SIZE OF THE WATER SERVICE WILL BE DETERMINED BY THE CITY ENGINEER. THE SIZE OF THE WATER SERVICE WILL BE DETERMINED BY THE CITY ENGINEER.
- C. WATER AND GAS NEED TO MAINTAIN A 3' SEPARATION.

**ABBREVIATION**

- AD AREA DRAIN
- CO CLEANOUT
- (E) EXISTING
- FG FINISH GRADE
- FL FLOW LINE
- FS FINISH SLAB
- INV INVERT
- (N) NEW
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- RDS ROOF DOWNSPOUT
- CB CATCH BASIN

**DESCRIPTION**

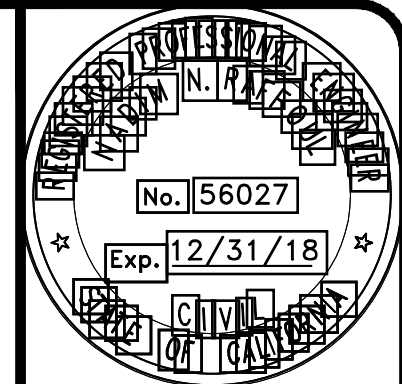
- PROPERTY LINE
- CENTERLINE
- SANITARY SEWER
- STORM DRAIN LINE
- DRAINAGE FLOW
- REMOVE TREE

**EARTH-WORK NOTE:**

THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON WEIGHING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.

**NOTE:**

THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE CITY OF LOS ALTOS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.



**NR ENGINEERING**

LOS ANGELES OFFICE  
10000 WILSON BLVD., SUITE 1000  
LOS ANGELES, CA 90024

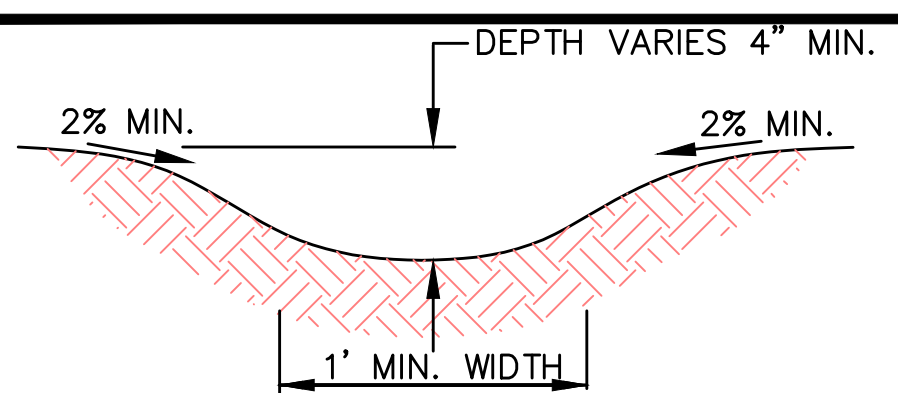
**167 GARLAND WAY**

**GRADING AND DRAINAGE PLAN**

REVISIONS BY


JOB NO: 9-11-2017  
SCALE: 1" = 10'  
DRAWN BY: NR  
SHEET NO: C-1

OF 3 SHEETS



- NOTES:**
1. LONGITUDINAL SLOPE = 2% MIN.
  2. SEE LANDSCAPE PLANS FOR SURFACING

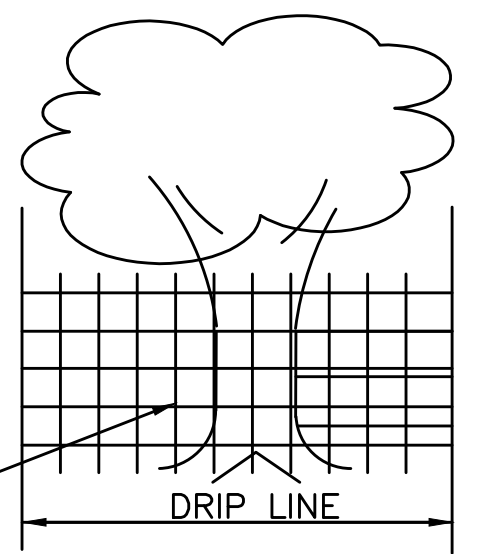
**EARTH SWALE DETAIL**  
N.T.S.

**MAINTENANCE NOTES**

1. OWNER IS RESPONSIBLE FOR MAINTAINING ALL INLETS, RETENTION SYSTEM AND INFILTRATION DEVICE FROM TRASH, DEBRIS & SEDIMENTS.
2. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.

**NOTES:**

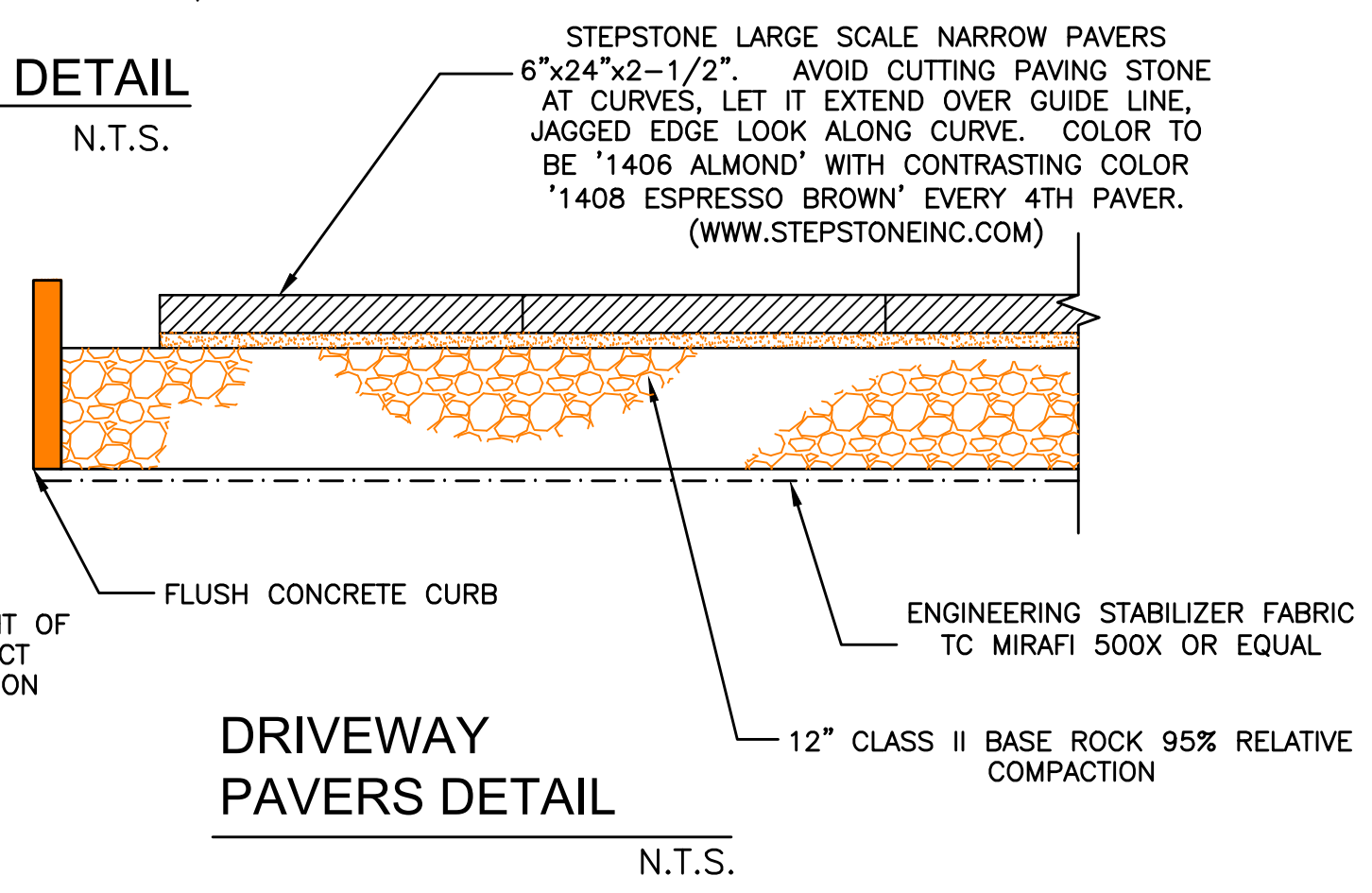
1. THE DEVELOPER SHALL INSTALL "THE PROTECTION DEVICE" PRIOR TO THE START OF GRADING OR CLEARING WORK.
2. THE CITY RESERVED THE RIGHT TO ISSUE A "STOP WORK" NOTICE IF THE "PROTECTIVE DEVICE" IS NOT INSTALLED.
3. ROLLED CHAIN LINK FENCE ON DRIVEN POST.
4. PLACE WOOD CHIP AROUND TREE AND ALONG DRIP LINE



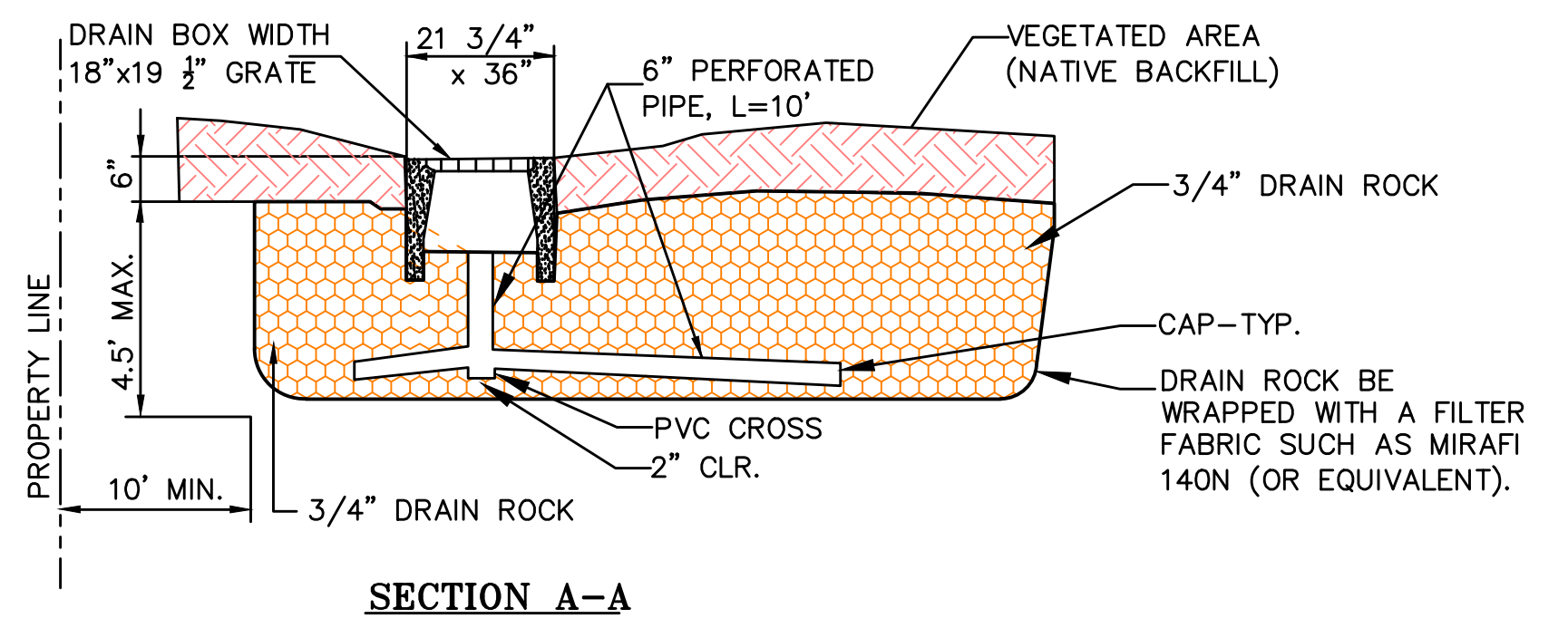
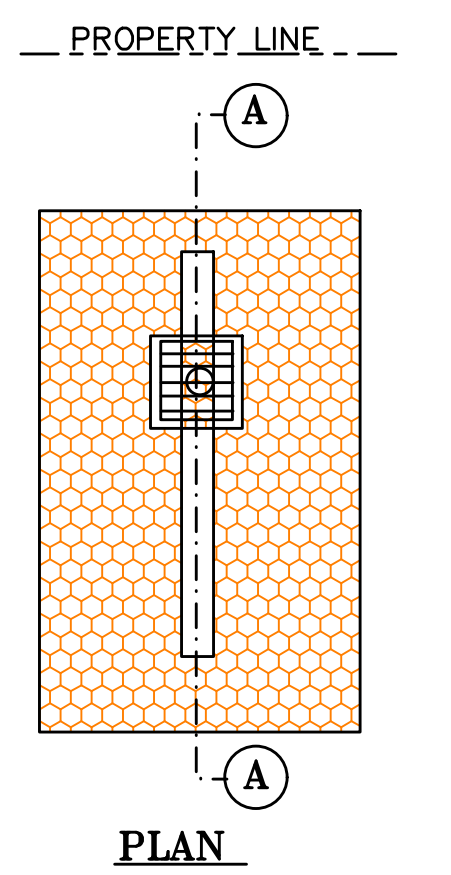
**TREE PROTECTION DETAIL**  
N.T.S.

- NOTE:**
1. ALL PAVER COLORS TO BE SELECTED AND APPROVED BY OWNER AND LANDSCAPE ARCHITECT. SUBMIT SAMPLES

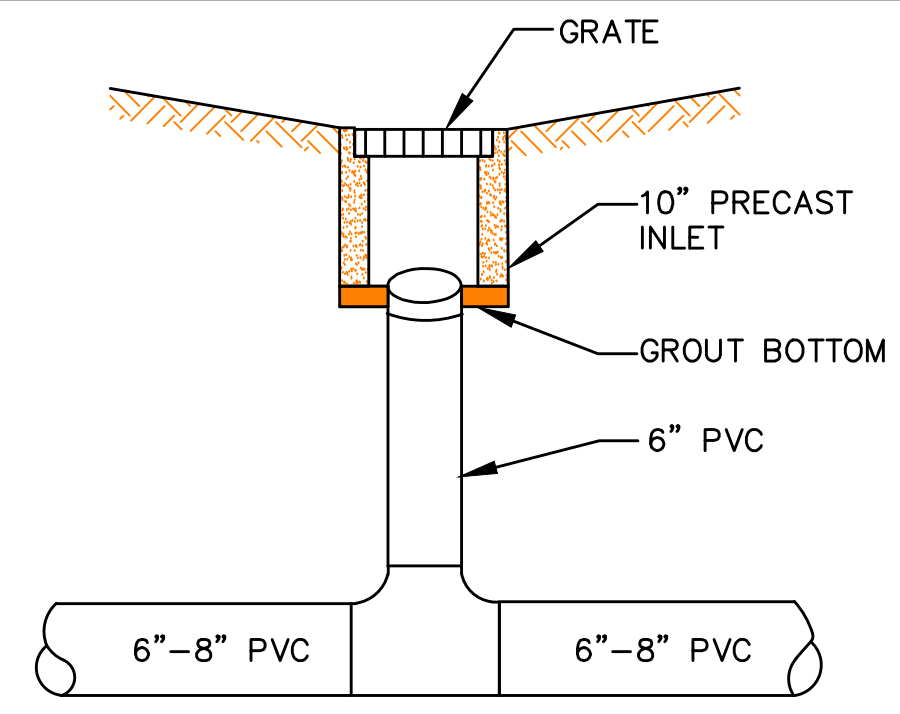
**NOTE:**  
DRIVEWAY SHALL BE ABLE TO SUPPORT WEIGHT OF EMERGENCY TRUCKS, UP TO 20 TONS. PROJECT SOILS ENGINEER TO INSPECT THE CONSTRUCTION OF THE DRIVEWAY.



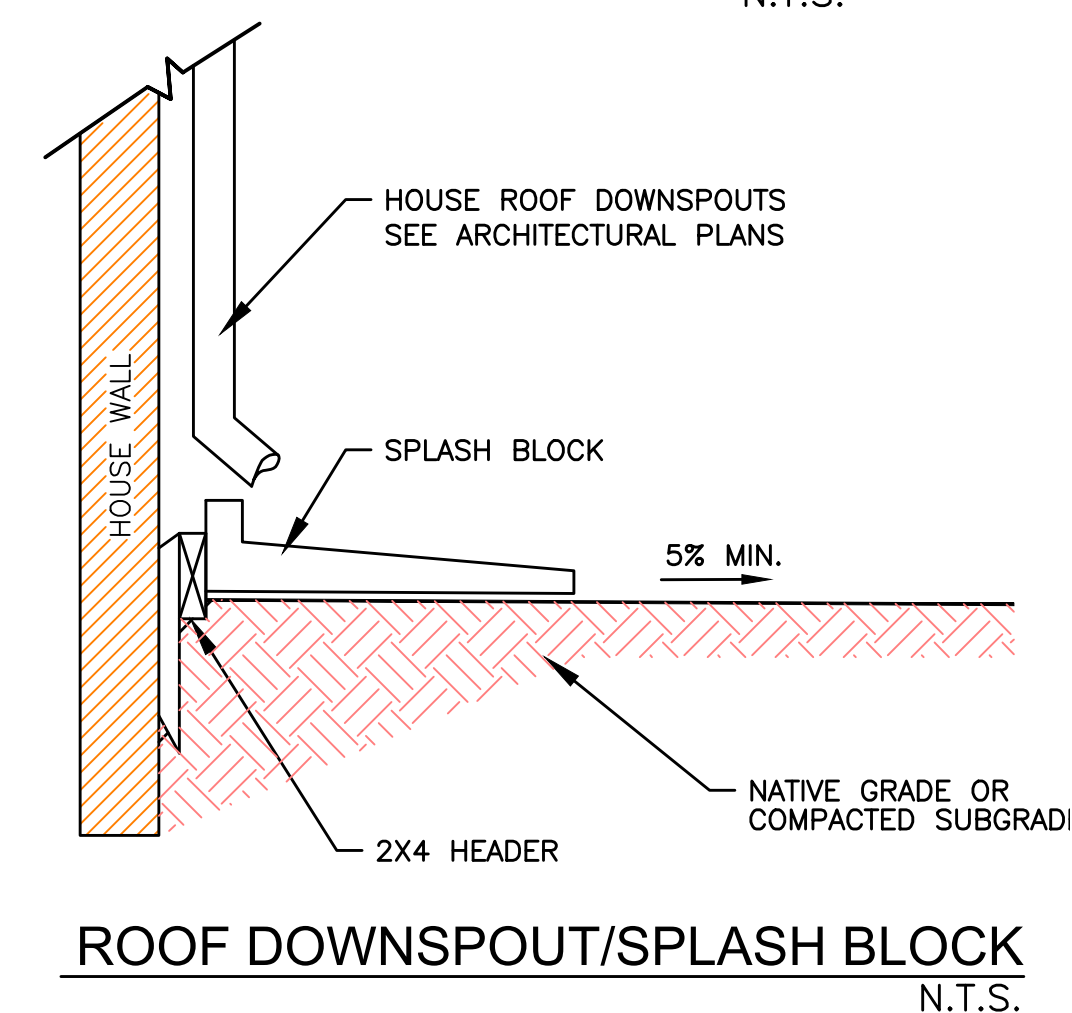
**DRIVEWAY PAVERS DETAIL**  
N.T.S.



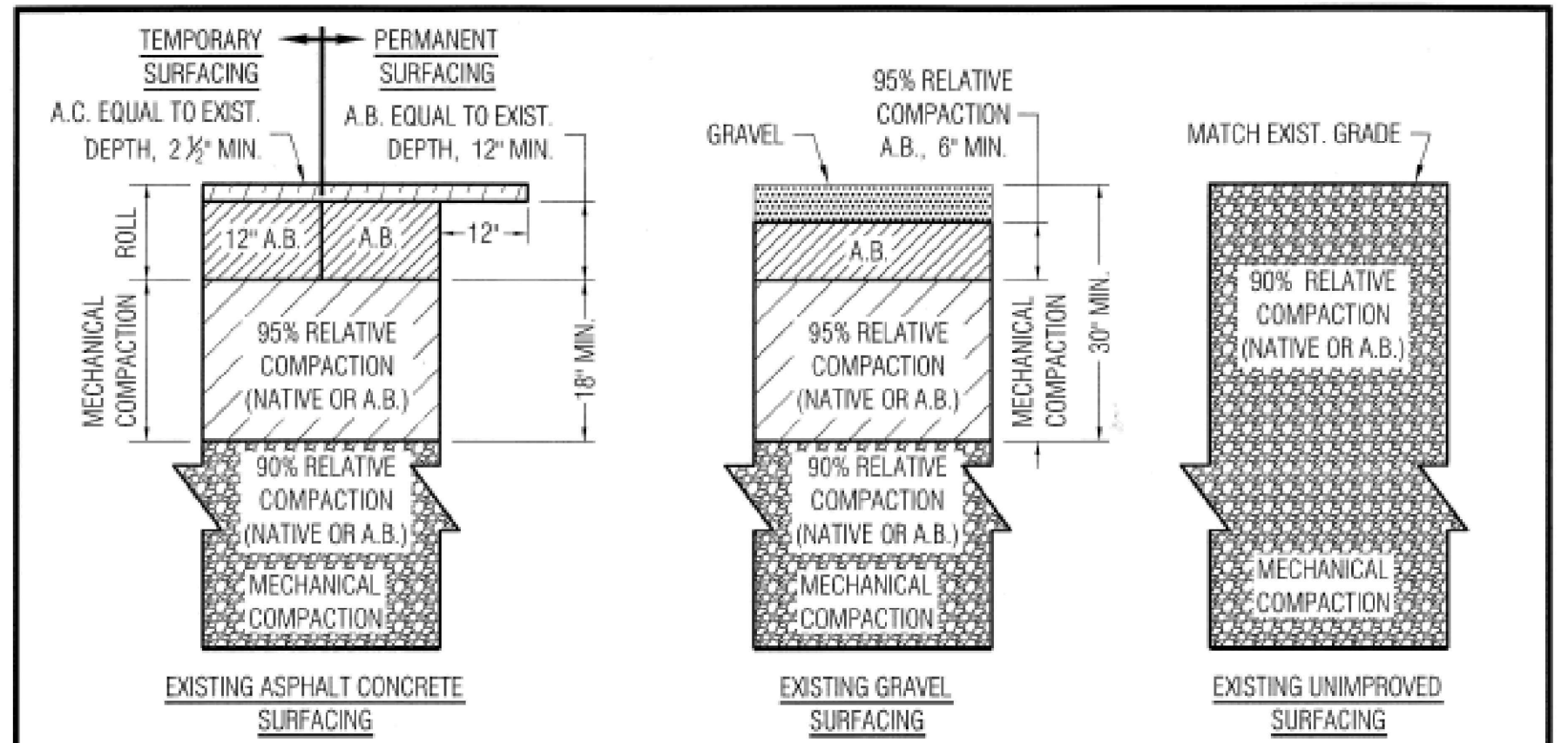
**INFILTRATION DEVICE TYPE 1 DETAIL**  
N.T.S.



**AREA DRAIN DETAIL**  
N.T.S.

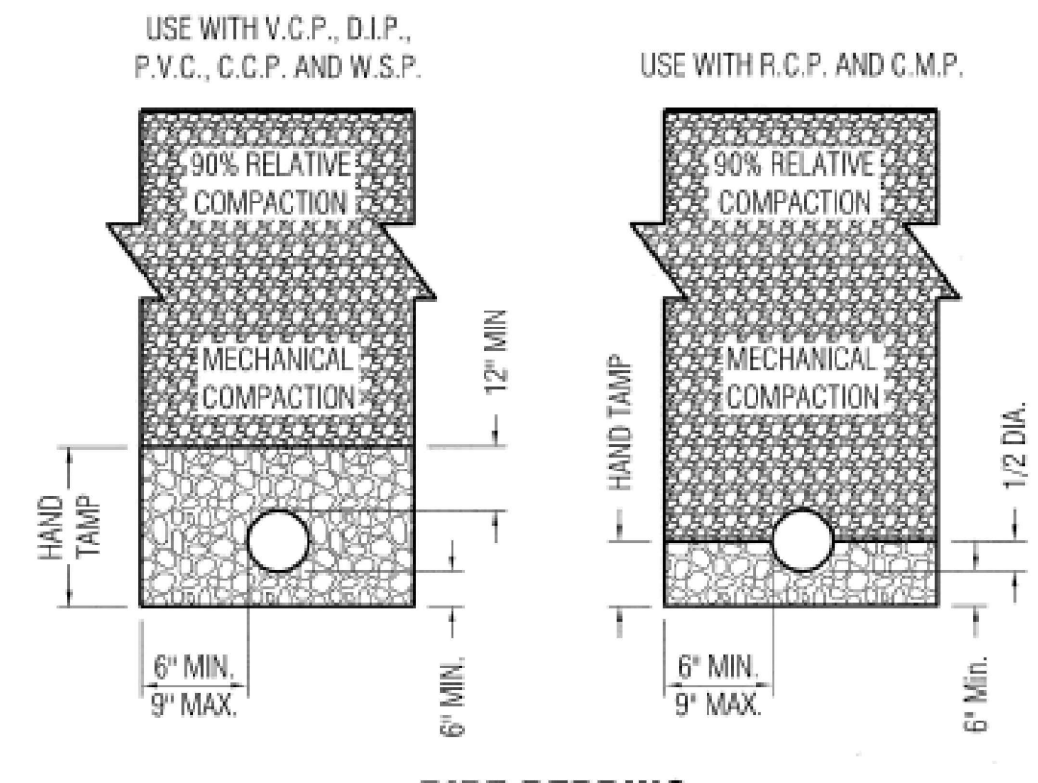
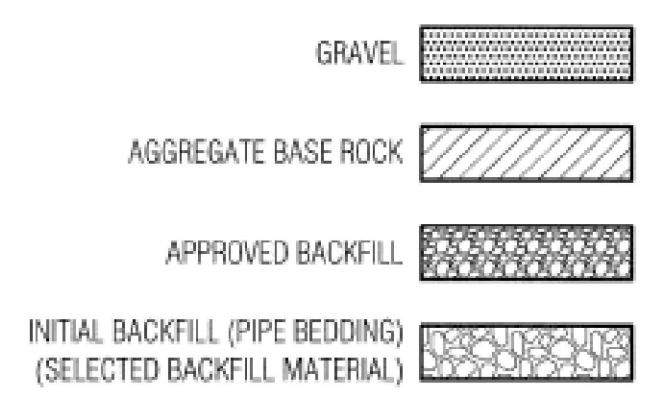


**ROOF DOWNSPOUT/SPLASH BLOCK**  
N.T.S.



**TRENCH PAVING SECTIONS**

**NOTE:**  
1. CONTROL DENSITY BACKFILL (CDF) MAY BE USED UPON APPROVAL BY CITY ENGINEER (SEE STANDARD SPECS)

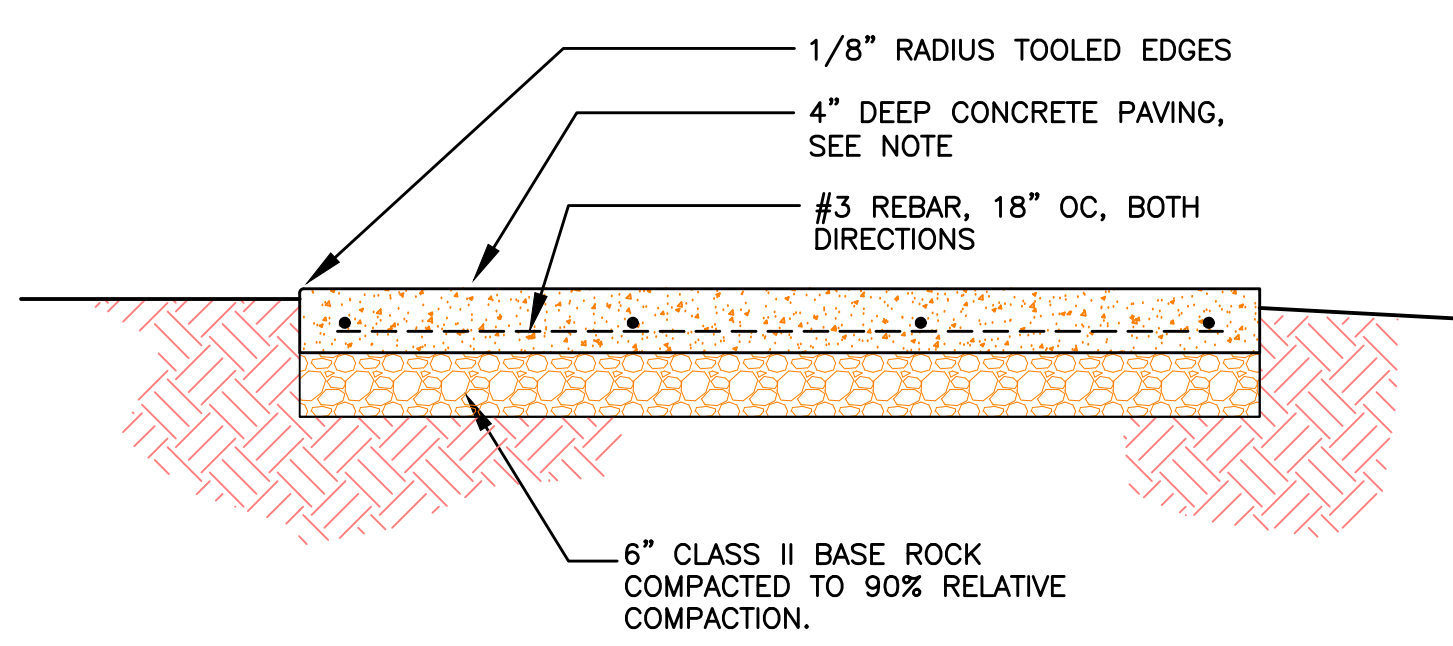


**PIPE BEDDING**

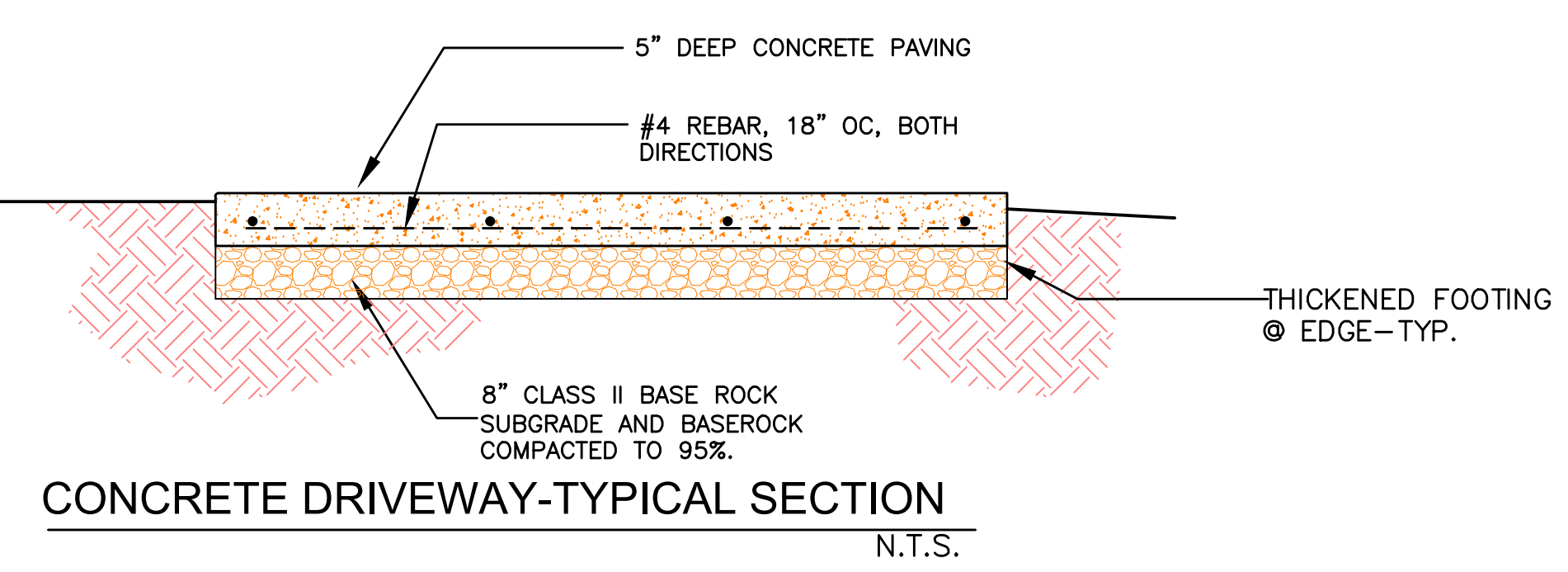
Approved: \_\_\_\_\_ Date: 1/4/10

REVISION		ENGINEERING DIVISION	
Description	Date	TRENCH PAVING, BACKFILL AND PIPE BEDDING SECTIONS	
		SU-19	

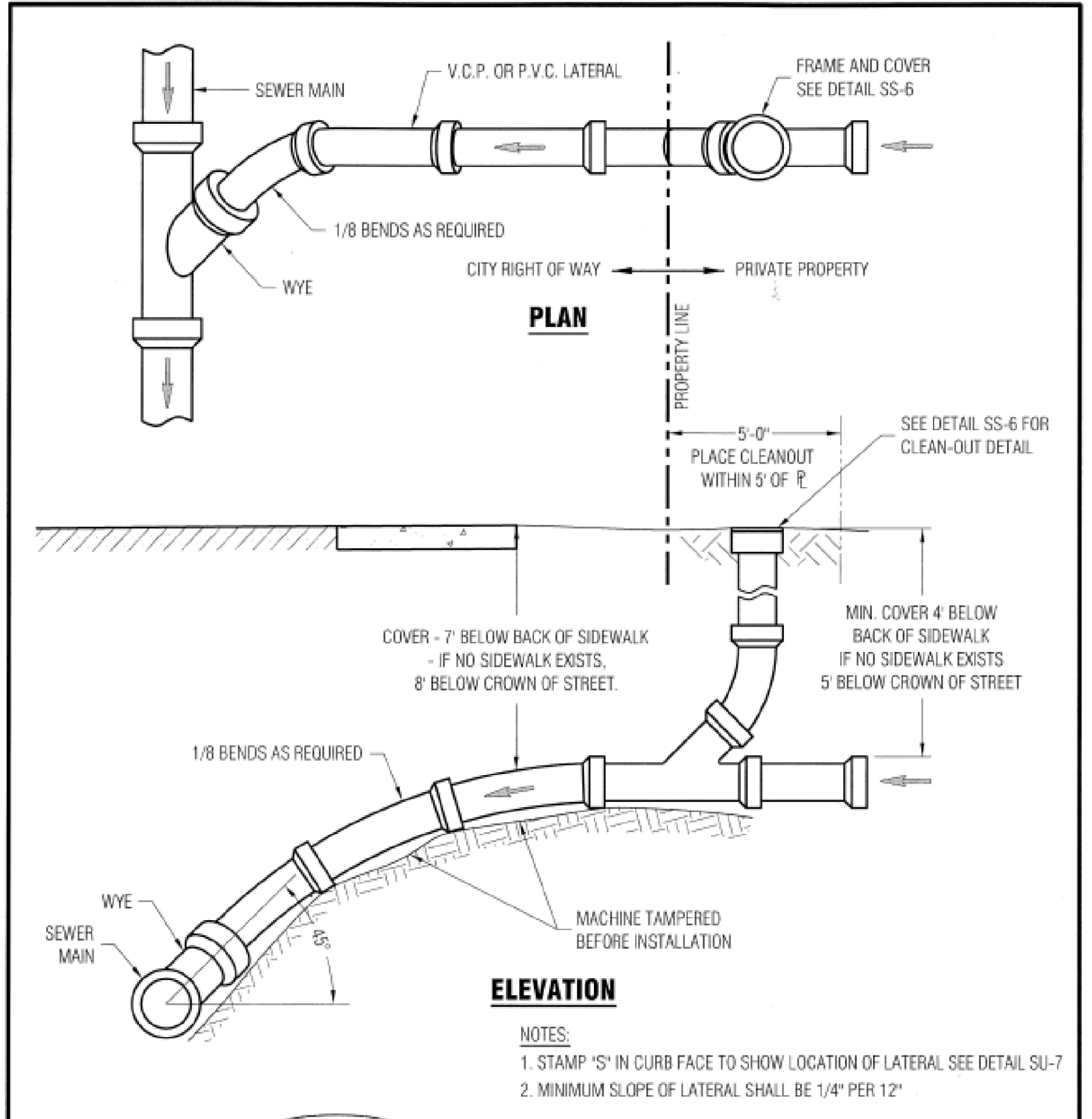
STANDARD DETAILS MAY 2010



**CONCRETE WALKWAY-TYPICAL SECTION**  
N.T.S.



**CONCRETE DRIVEWAY-TYPICAL SECTION**  
N.T.S.



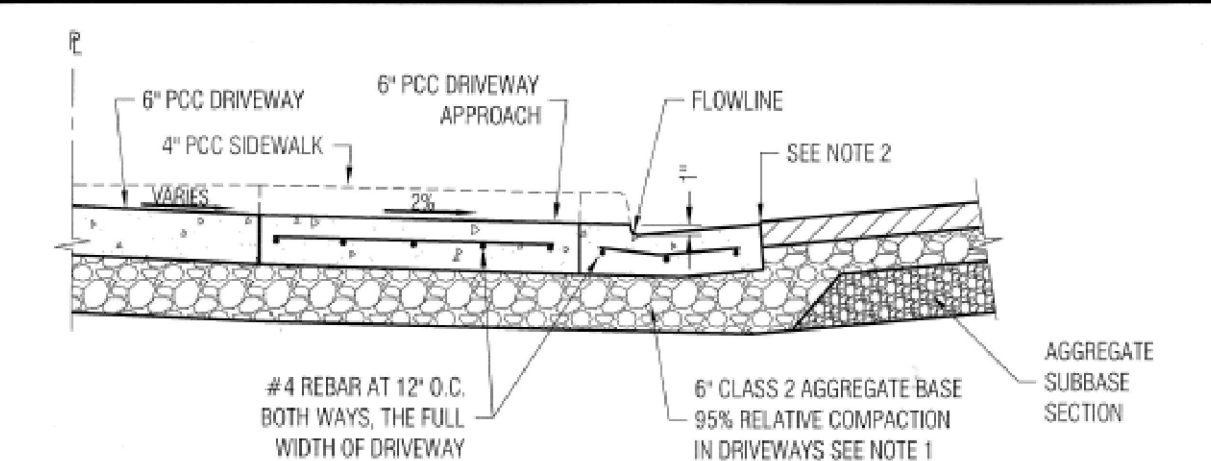
**ELEVATION**

- NOTES:**
1. STAMP "S" IN CURB FACE TO SHOW LOCATION OF LATERAL SEE DETAIL SU-7
  2. MINIMUM SLOPE OF LATERAL SHALL BE 1/4" PER 12"

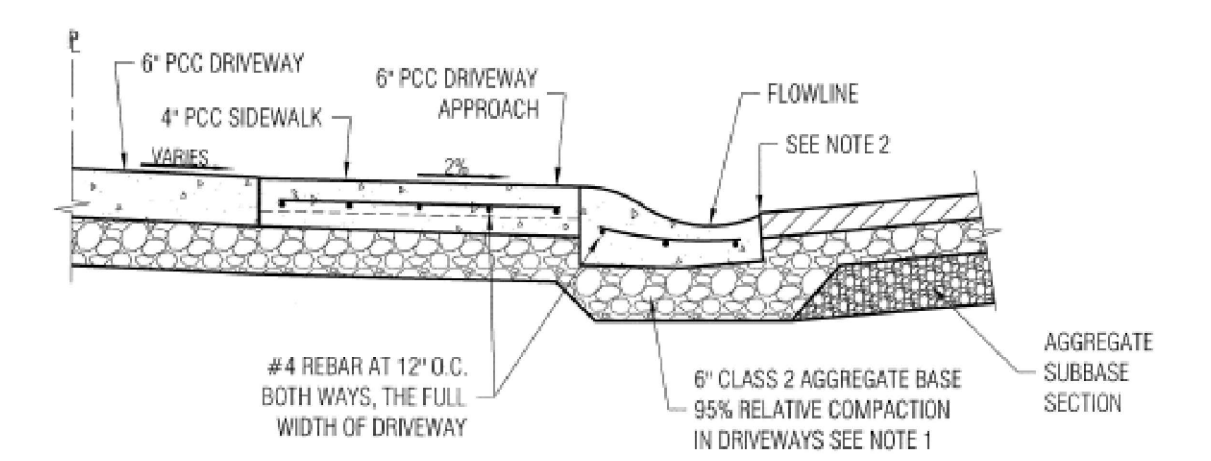
Approved: \_\_\_\_\_ Date: 1/4/10

REVISION		ENGINEERING DIVISION	
Description	Date	SEWER LATERAL AND SEWER RISER	
		SS-5	

STANDARD DETAILS MAY 2010



**SECTION THROUGH STANDARD DRIVEWAY APPROACH WITH VERTICAL CURB**  
SCALE: NOT TO SCALE



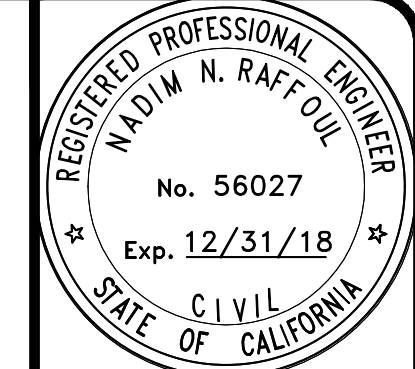
**SECTION THROUGH STANDARD DRIVEWAY APPROACH WITH ROLLED CURB**  
SCALE: NOT TO SCALE

- NOTES:**
1. THICKNESS OF AGGREGATE BASE UNDER CURB & GUTTER SHALL BE: \* FOR NEW STREET SECTION: AS DETERMINED BY EXTENSION OF ROADWAY GRADING PLANE (6" MIN.) OR \* FOR EXISTING STREET SECTION: 6"
  2. SEE VERTICAL CURB AND ROLLED CURB AND GUTTER DETAIL SU-6

Approved: \_\_\_\_\_ Date: 1/4/10

REVISION		ENGINEERING DIVISION	
Description	Date	DRIVEWAY CROSS-SECTION	
		SU-9	

STANDARD DETAILS MAY 2010



**NMR ENGINEERING**  
CIVIL ENGINEER  
855 WEDGE DRIVE  
SAN JOSE, CALIFORNIA 95128  
(408) 946-7813

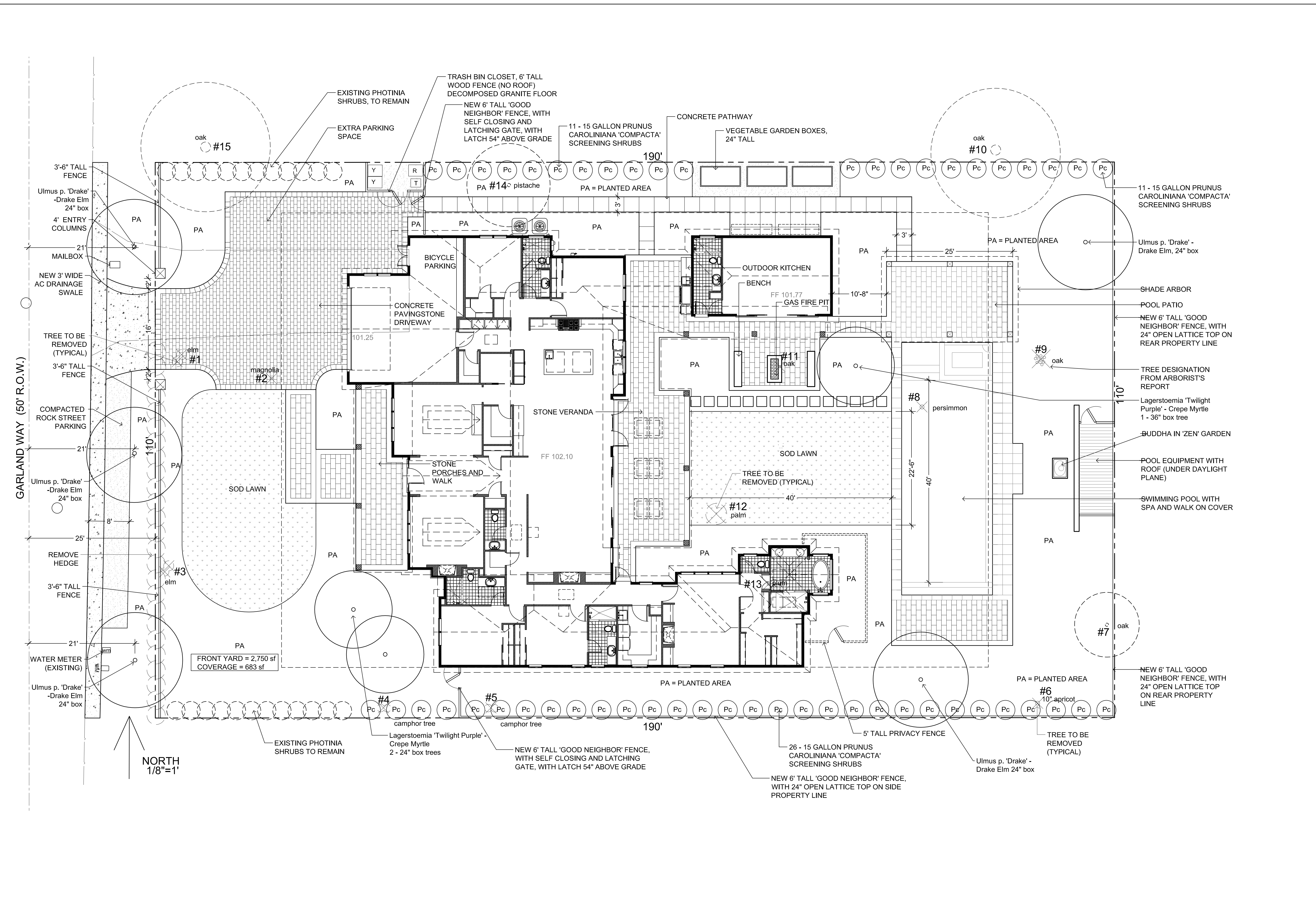
167 GARLAND WAY  
LOS ALTOS, CA.

MISC. DETAILS

REVISIONS	BY

JOB NO: \_\_\_\_\_  
DATE: 9-11-2017  
SCALE: 1" = 10'  
DRAWN BY: NR  
SHEET NO: C-2





REVISIONS	BY

JOHN ALDRICH & ASSOCIATES  
 LANDSCAPE ARCHITECTS CAL. LIC. # 1957  
 609 Price Ave  
 Suite 207  
 Redwood City, CA 94063  
 (650) 362-3088  
 john\_aldrich-la@sbcglobal.net

# CONCEPTUAL LANDSCAPE PLAN

NEW RESIDENCE  
 167 GARLAND WAY  
 LOS ALTOS, CALIFORNIA



DATE:  
 9 - 11 - 2017  
 SCALE:  
 1/8" = 1'-0"  
 DRAWN BY:  
 PROJECT #  
 2017-0999  
 SHEET  
**L - 1.0**  
 TOTAL SHEETS: 1