

SUN RESIDENCE

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1289 EUREKA AVE.
LOS ALTOS 94024

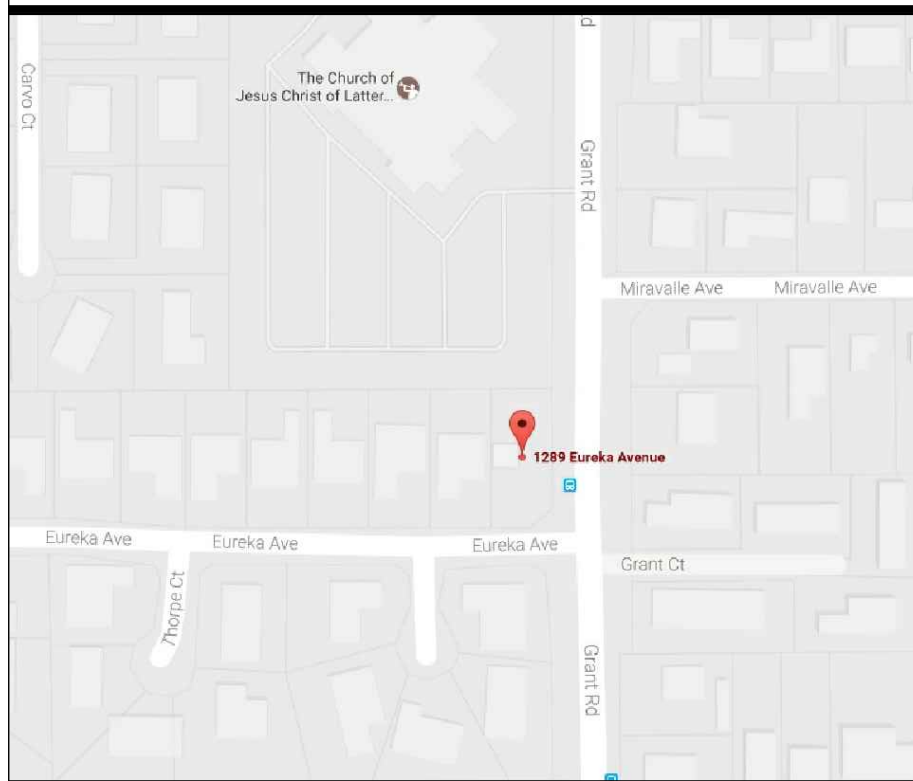


20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



LOS ALTOS, CALIFORNIA

PROJECT INFO



VICINITY MAP

GENERAL INFORMATION

PROPERTY ADDRESS:	1289 EUREKA AVE. LOS ALTOS, CA 94024
APN:	193-34-030
SCOPE OF WORK:	<N>TWO STORY ONE SINGLE FAMILY HOUSE
LIVING AREA:	3'007 SQ.FT.
GARAGE:	434 SQ.FT.
ARCHITECT OF RECORD:	SUSAN CHEN 20370 TOWN CENTER LN, SUITE 139 CUPERTINO, CA 95070 408.865.0577
ZONING:	R-1-10
OCCUPANCY GROUP:	R-3
TYPE OF CONSTRUCTION:	TWO STORY'S
PROPERTY OWNER INFO:	DIANE SUN 628 GEORGIA AVE, PALO ALTO, CA 94306 408 202 9460 DIANXSUN@GMAIL.COM

SET-BACK INFORMATION

SETBACK:	REQUIRED:	PROPOSED:
FRONT	35'-0"	35'-3"
SIDE INTERIOR (1ST FLOOR)	6'-10"	10'-10"
SIDE EXTERIOR (1ST FLOOR)	13'-8"	16'-7"
SIDE INTERIOR (2ND FLOOR)	11'-10"	16'-8"
SIDE EXTERIOR (2ND FLOOR)	13'-8"	20'-8"
REAR	25'-0"	39'-2"
MAX. HEIGHT	27'-0"	25'-1"

NOTES

ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.

PROJECT DATA

PROJECT SUMMARY TABLES

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE:			
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	490 SQ FT (4.9%)	2'647.6 SQ FT (26.5%)	3'501 SQ FT (35%)
FLOOR AREA:			
MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1ST FLR: 362 SQ FT 2ND FLR: 0 SQ FT TOTAL: 362 SQ FT (3.6%)	1ST FLR: 2'389.9 SQ FT 2ND FLR: 1'051 SQ FT TOTAL: 3'440.9 SQ FT (34.3%)	3'501 SQ FT (35%)
SETBACKS:			
FRONT	64' - 1'	35' - 3"	35' - 0"
REAR	61' - 3"	39' - 2"	25' - 0"
EXTERIOR SIDE (1ST/2ND)	40' - 8'/0"	16' - 7'/20' - 8"	20% OR 68.4' (13' - 8")
INTERIOR SIDE (1ST/2ND)	5' - 6'/0"	10' - 10'/16' - 8"	10% OR 68.4' (6' - 10")/11' - 10"
HEIGHT:	12' - 6"	25' - 1"	27' - 0"

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: INCLUDES HABITABLE BASEMENT AREA	270 SQ FT	1'495.4 SQ FT	1'495.4 SQ FT
NON-HABITABLE AREA: DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES	92 SQ FT	1'511.5 SQ FT	1'511.5 SQ FT

LOT CALCULATIONS

NET LOT AREA:	10'003 SQ.FT.
FRONT YARD HARDSCAPE AREA: HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	854.3 SQ.FT. (37%)
LANDSCAPING BREAKDOWN:	TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED): 490 SQ. FT., 4'226.8 SQ FT EXISTING SOFTSCAPE (UNDISTURBED) AREA: 2'868.2 SQ FT NEW SOFTSCAPE (NEW OR REPLACED LANDSCAPING) AREA: 2'908 SQ FT SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA

CODE & REGULATION

ALL WORK TO COMPLY WITH THE 2016 C.R.C., C.B.C., C.M.D., C.P.C. & 2016 C.E.C., CALIFORNIA TITLE 24 AMENDMENTS, AND CITY OF SUNNYVALE MUNICIPAL CODE.

BUILDING CODE USED PERFORM THE WORK ACCORDING TO THE BUILDING CODES, ORDINANCES AND LAWS OF THE AUTHORITY HAVING JURISDICTION OF THE PROJECT WHICH INCLUDE BUT ARE NOT LIMITED TO:

- A. 2016 CALIFORNIA BUILDING CODE
- B. 2016 CALIFORNIA RESIDENTIAL CODE
- C. 2016 CALIFORNIA MECHANICAL CODE
- D. 2016 CALIFORNIA PLUMBING CODE
- E. 2016 CALIFORNIA ELECTRICAL CODE
- F. 2016 CALIFORNIA FIRE CODE
- G. 2016 CALIFORNIA GREEN BUILDING STANDARD CODE
- F. CITY OF LOS ALTOS MUNICIPAL CODE

SHEET INDEX

ARCHITECTURAL

- A-0.0 COVER SHEET
- A-1.0 SITE PLAN
- A-2.0 PROPOSED FLOOR PLANS
- A-2.1 FLOOR AREA BLOCK DIAGRAMS
- A-3.0 PROPOSED FRONT AND REAR ELEVATIONS
- A-3.1 PROPOSED LEFT AND RIGHT ELEVATIONS
- A-3.2 PROPOSED CROSS SECTIONS
- C-1.0 GRADING, DRAINAGE & EROSION CONTROL PLAN
- L-1.0 LANDSCAPE PLAN

STRUCTURAL

ADDITIONAL NOTES:

THE ROOF WILL COMPLY WITH COOL ROOF REQUIREMENTS OF THE 2013 C.E.C. 2013 110.8

AUTOMATIC SPRINKLER SYSTEM WILL BE INSTALLED. PLANS TO BE DEFERRED

FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.

INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION. (2013 CMC 303.1 AND 2013 CPC 310.4)

PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.

ADDITIONAL NOTES:

PUBLIC WORKS NOTES:

- WATER METER MAY BE UPGRADED / UPSIZED TO 1" RADIO READ PER CITY'S APPROVAL FIRE SPRINKLER SYSTEM DESIGN PLAN
- NEW SEWER CLEANOUT PER CITY'S STANDARD DETAIL 15A PER AVAILABLE CITY'S UTILITY BLOCK MAP. PLEASE FIELD VERIFY THE EXISTING SEWER BEFORE INSTALLATION.
- REMOVE THE EXISTING DRIVEWAY APPROACH AND RECONSTRUCT A NEW DRIVEWAY APPROACH PER CURRENT CITY'S STANDARD REQUIREMENTS AND NOT COMPLY WITH ADA REQUIREMENTS.
- CITY STREET TREE IN PARK-STRIP

SUPPORT PERMIT FROM PUBLIC WORKS SHALL BE OBTAINED FOR ANY WORK PERFORMED OF SITE.

FENCING PLAN WILL BE DEFERRED PER LANDSCAPING PLAN AND WILL BE INSTALLED AND FINISHED PRIOR FINAL SITE INSPECTION AND FINAL BUILDING SIGNOFF

BP-4: NOTICE OF CONDITIONS IS REQUIRED TO BE EXECUTED PRIOR TO ISSUANCE OF THE BUILDING PERMIT. ONCE THE FINAL MAP IS COMPLETED, SUBMIT A COPY OF THE REVISED LEGAL DESCRIPTION OF THE PROPERTY TO PLANNING.

PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.

ALL PENETRATIONS INTO UNCONDITIONED SPACES (I.E. ATTIC, UNDER FLOOR, ETC.) SHALL BE CAULKED, BASKETED, WEATHER-STRIPPED, OR SEALED TO LIMIT INFILTRATION AND EXFILTRATION.

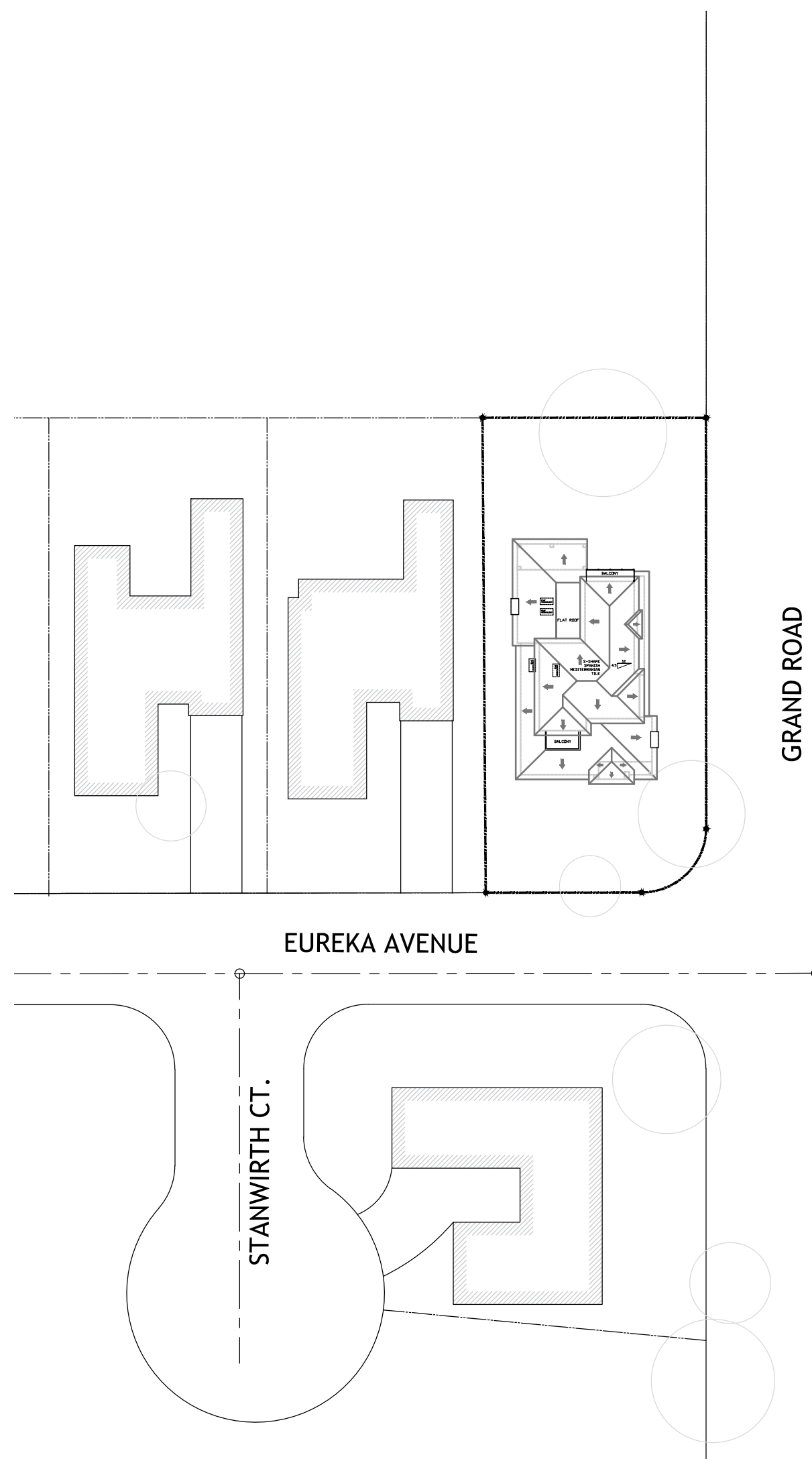
GENERAL NOTES

- WORKING HOURS: NO WORK SHALL COMMENCE ON THE JOB SITE PRIOR TO 7:00 A.M. NOR CONTINUE LATER THAN 6:00 P.M., MONDAY THROUGH FRIDAY, 8:00 A.M. NOR CONTINUE LATER THAN 5:00 P.M. SATURDAY AND THERE SHALL BE NO CONSTRUCTION ACTIVITY ON SUNDAY OR FEDERAL HOLIDAYS WHEN CITY OFFICES ARE CLOSED.
- GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING, OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN REROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. G. C. SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN HOUSE AT ALL TIMES.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES, AND REGULATIONS. G. C. SHALL BECOME FAMILIAR WITH ALL CITY OF BURLINGAME ASPECTS OF WORKING. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND EXECUTION OF THE WORK SHOWN OR IMPLIED IN THE CONSTRUCTION DOCUMENTS AND IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND PROCEDURES.
- GENERAL CONTRACTOR SHALL COORDINATE ALL FACETS OF HIS WORK AND ALL TRADES INVOLVED TO AVOID CONFLICT IN THE LOCATION, INSTALLATION, AND CONSTRUCTION OF ALL ITEMS OF WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS. IF ANY WORK IS TO BE INSTALLED BY THE OWNER DIRECTLY, ALLOWANCES FOR THE OWNER'S WORK MUST BE MADE. COORDINATE WITH ARCHITECT / OWNER.
- GENERAL CONTRACTOR SHALL LEAVE THE JOB SITE "BROOM CLEAN" AT THE END OF EACH WORKING DAY. ALL MATERIALS SHALL BE STORED IN A NEAT AND SAFE PLACE TO AVOID ACCIDENTS, FOR CONSTRUCTION AND FOR THE OWNER.
- IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE ARCHITECT BEFORE PROCEEDING.
- NO DIMENSIONS SHALL BE TAKEN BY SCALING FROM THE DRAWINGS. DETAILS TAKE PRECEDENCE OVER GENERAL SECTIONS OR FLOOR PLANS. IF DIMENSIONS MUST BE CLARIFIED, CONSULT THE ARCHITECT. REFER TO THE COVER SHEET FOR DIMENSIONING STANDARDS.
- VERIFY ALL DIMENSIONS ON THE JOB SITE PRIOR TO ORDERING OR MANUFACTURING.
- GENERAL CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL DRAWINGS BEFORE FRAMING, COORDINATE RECESSED LIGHT FIXTURE LOCATIONS, SHAFTS, AND HVAC DUCTWORK PRIOR TO FRAMING. IT IS IMPERATIVE THAT FRAMING MEMBER LOCATIONS DO NOT CONFLICT WITH LOCATIONS OF RECESSED LIGHT FIXTURES. IF CONFLICT EXISTS, NOTIFY ARCHITECT.
- GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS. ALL GUARANTEES, INSTRUCTION BOOKLETS, AND INFORMATION REGARDING NEW EQUIPMENT SHALL BE HANDED DIRECTLY TO THE OWNER IN ONE MANILA ENVELOPE AT THE TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL VERIFY THAT EVERY PIECE OF EQUIPMENT AND EVERY APPLIANCE IS IN PERFECT WORKING ORDER AND THAT INFORMATION ABOUT ALL WARRANTIES AND GUARANTEES IS MADE KNOWN TO THE OWNER.
- THE INSTALLER OF EACH MAJOR UNIT OF WORK IS REQUIRED TO INSPECT THE SUBSTATE AND CONDITIONS TO RECEIVE WORK AND SHALL REPORT ALL UNSATISFACTORY CONDITIONS TO THE GENERAL CONTRACTOR AND NOT PROCEED UNTIL SATISFACTORY CONDITIONS ARE ATTAINED.
- FOR MOUNTING HEIGHTS NOT CLEARLY OUTLINED IN THE PLANS OR SCHEDULES, COORDINATE WITH THE ARCHITECT. ARCHITECT SHALL CONFIRM ALL ELECTRICAL DEVICE AND LIGHT FIXTURE LOCATIONS BEFORE CONTRACTOR PULLS WIRE.
- PROVIDE SOLID BLOCKING AS NECESSARY FOR WALL MOUNTED SHELVES, FIXTURES, AND FITTINGS, EVEN WHEN WORK IS TO BE DONE BY OWNER DIRECTLY. REVIEW SCOPE OF WORK AND LOCATIONS FROM INTERIOR ELEVATIONS AND COORDINATE WITH OWNER/ARCHITECT.
- ALL FASTENING DEVICES TO BE CONCEALED, UNLESS OTHERWISE SHOWN.
- WEATHER-STRIP ALL EXTERIOR DOORS AND WINDOWS.
- CAULK OR OTHERWISE SEAL AROUND ALL OPENINGS TO LIMIT INFILTRATION, INCLUDING BUT NOT LIMITED TO: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
- GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WATERTIGHT. ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTANTIAL COMPLETION.

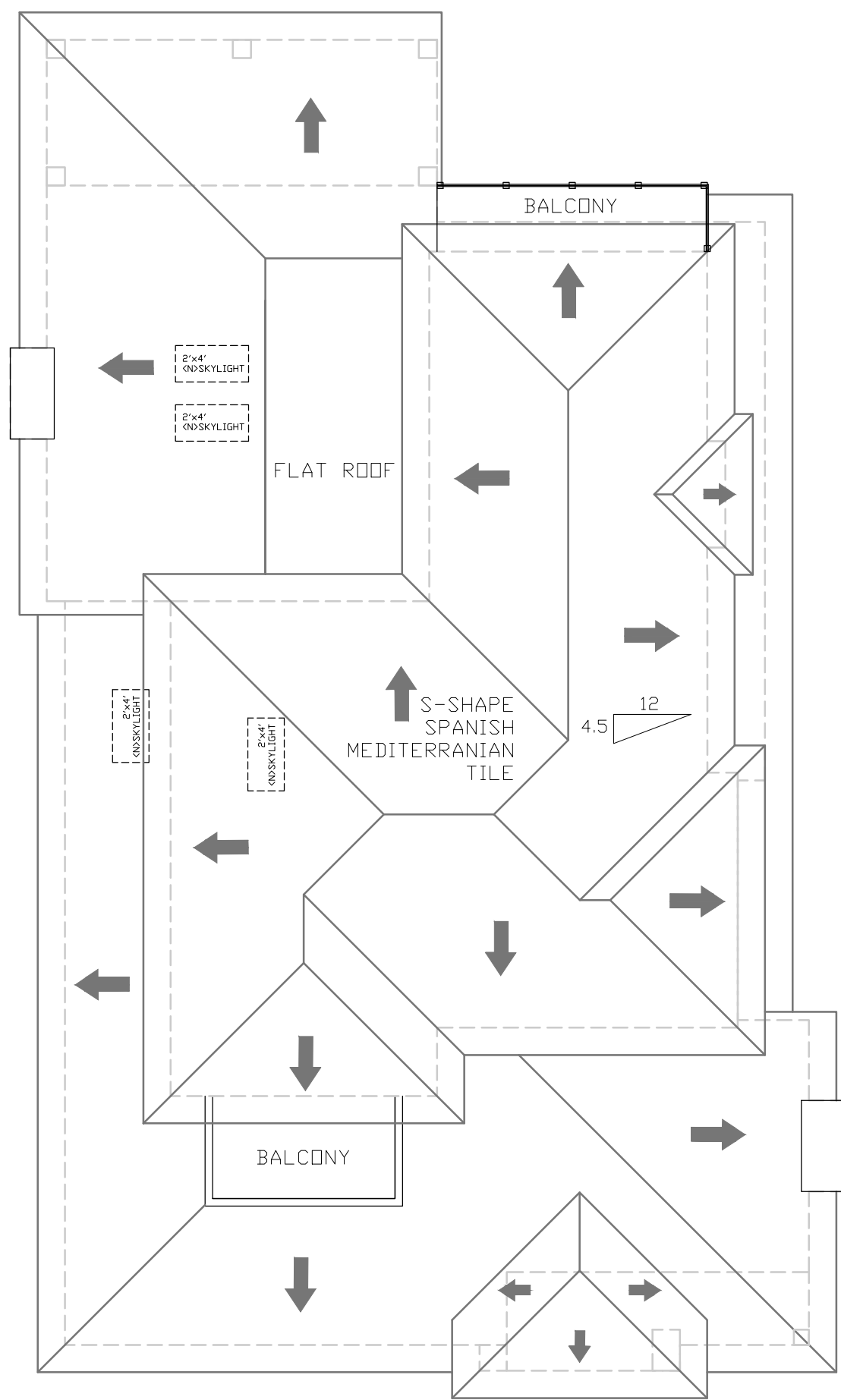
REVISION
08.17 PLANNING SUBMITAL

PROJECT NO. 1705 DATE 03.13.17

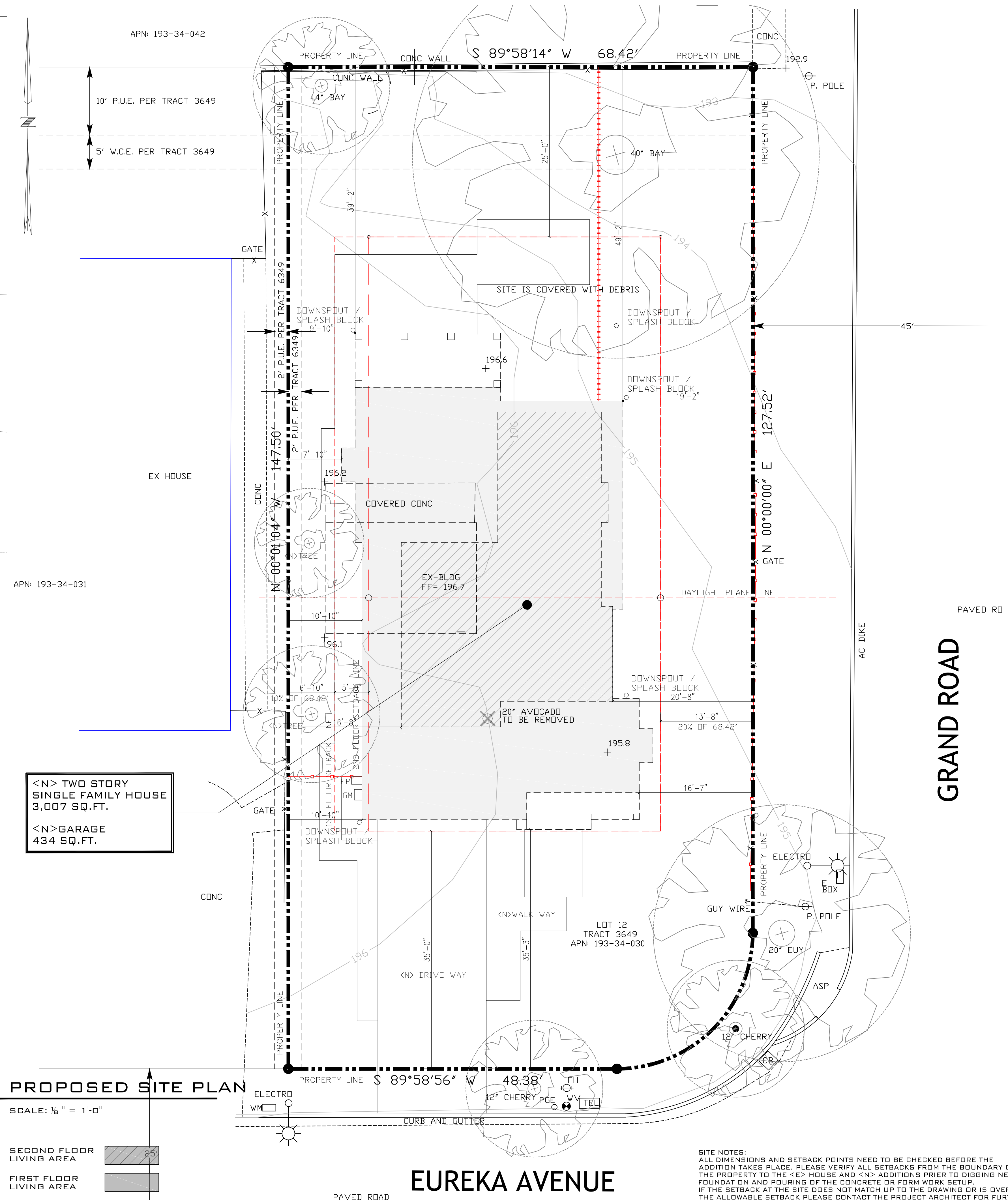
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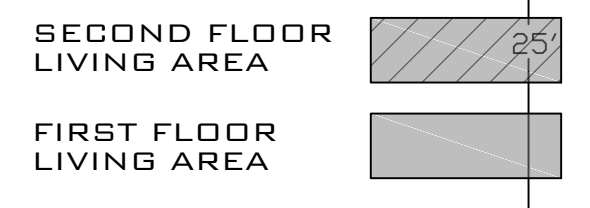
-1-1 NEIGHBORHOOD CONTEXT MAP
SCALE: 1" = 40'-0"



-1-2 ROOF PLAN
SCALE: 1/8" = 1'-0"



-1-0 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



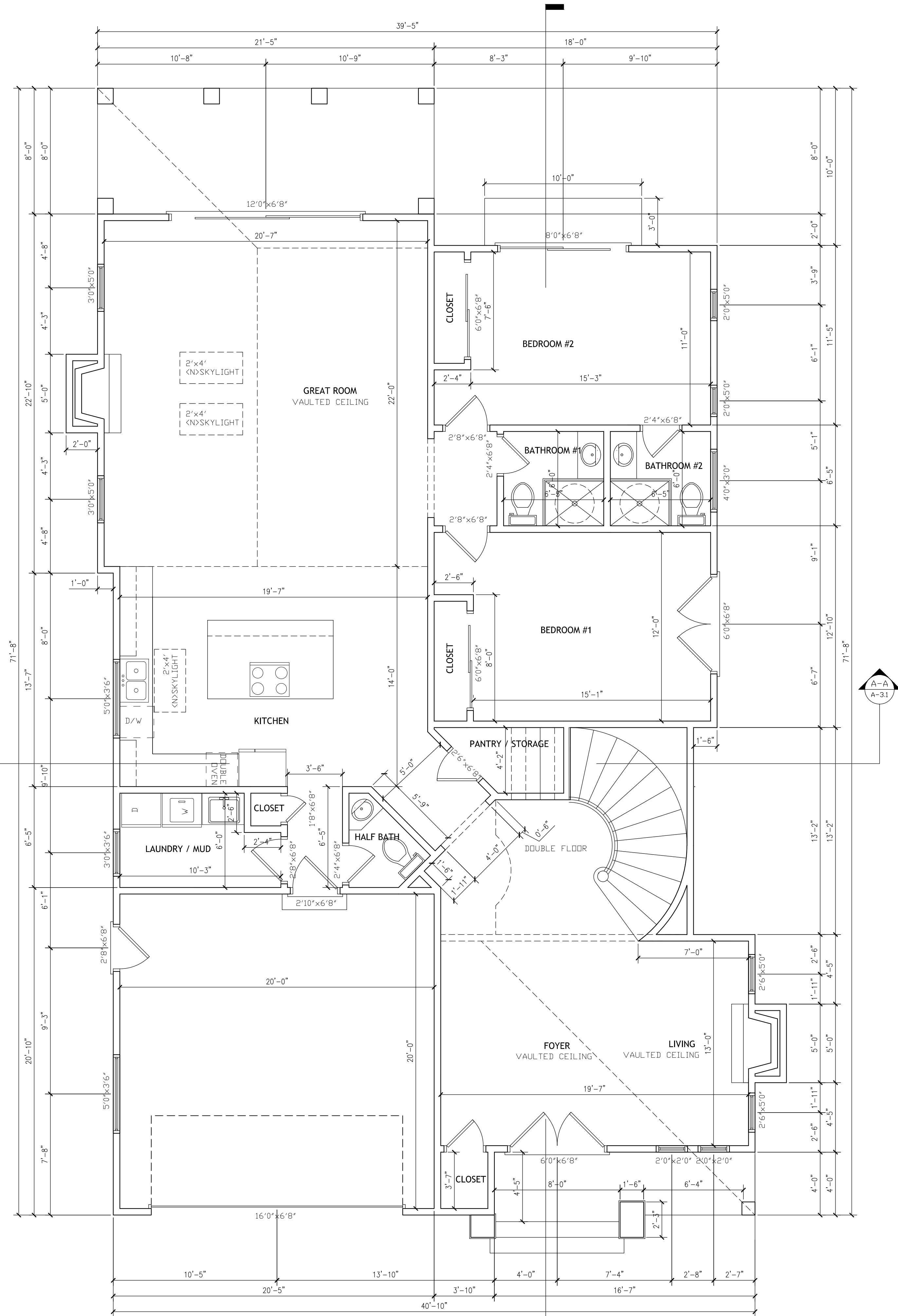
<N> TWO STORY SINGLE FAMILY HOUSE 3,007 SQ.FT.
<N> GARAGE 434 SQ.FT.

SITE NOTES:
ALL DIMENSIONS AND SETBACK POINTS NEED TO BE CHECKED BEFORE THE ADDITION TAKES PLACE. PLEASE VERIFY ALL SETBACKS FROM THE BOUNDARY OF THE PROPERTY TO THE <E> HOUSE AND <N> ADDITIONS PRIOR TO DIGGING NEW FOUNDATION AND POURING OF THE CONCRETE OR FORM WORK SETUP. IF THE SETBACK AT THE SITE DOES NOT MATCH UP TO THE DRAWING OR IS OVER THE ALLOWABLE SETBACK PLEASE CONTACT THE PROJECT ARCHITECT FOR FURTHER GUIDANCE ON THE PROJECT.

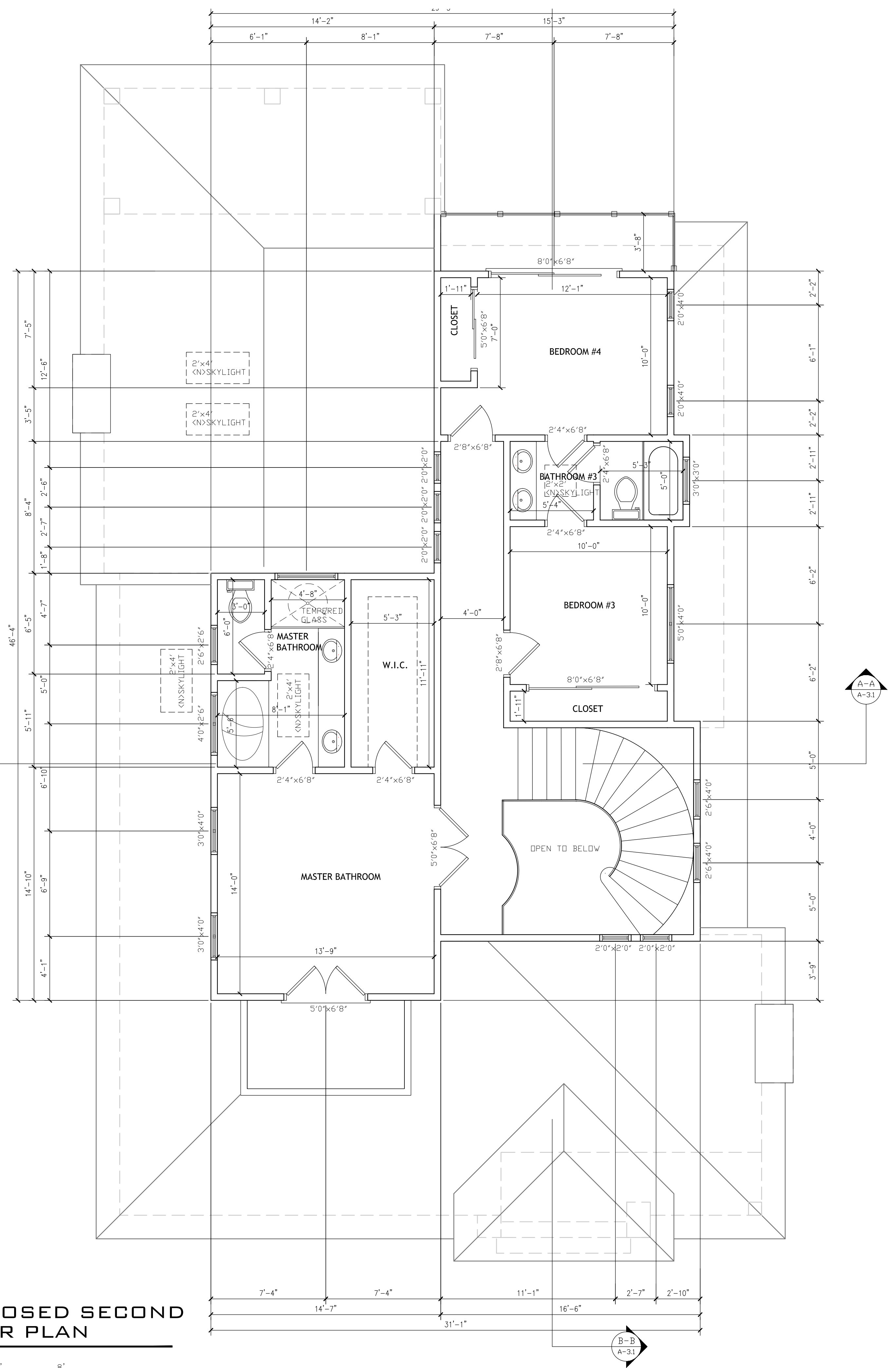
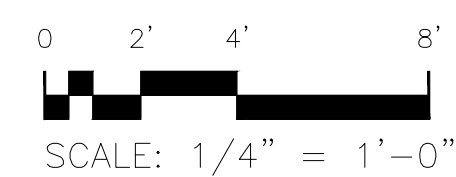
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SITE PLAN/
NEIGHBORHOOD
CONTEXT MAP/
ROOF PLAN



PROPOSED SECOND FLOOR PLAN



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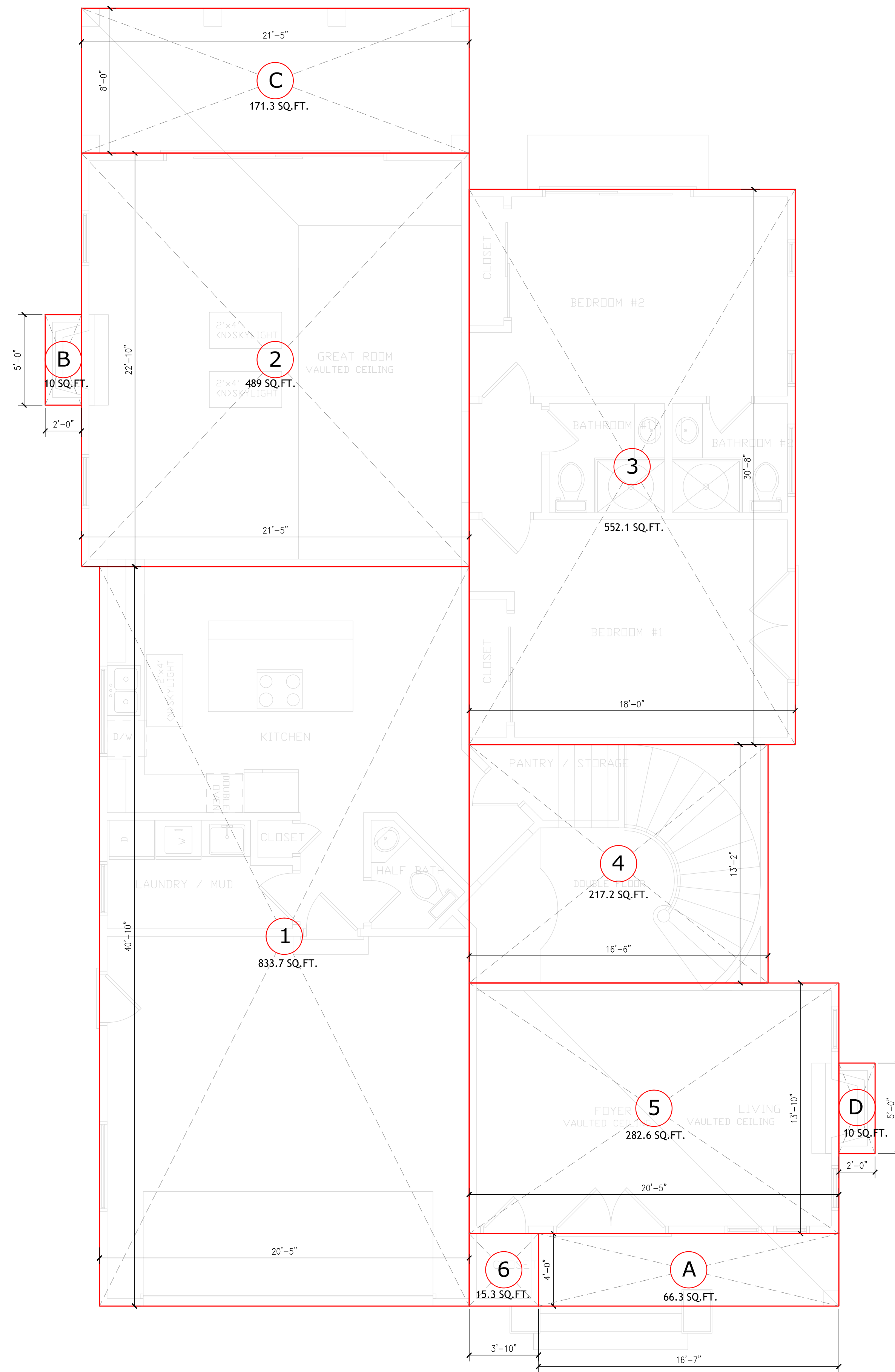
PROJECT NO. 1705 DATE 03.13.17

PROPOSED FLOOR PLANS

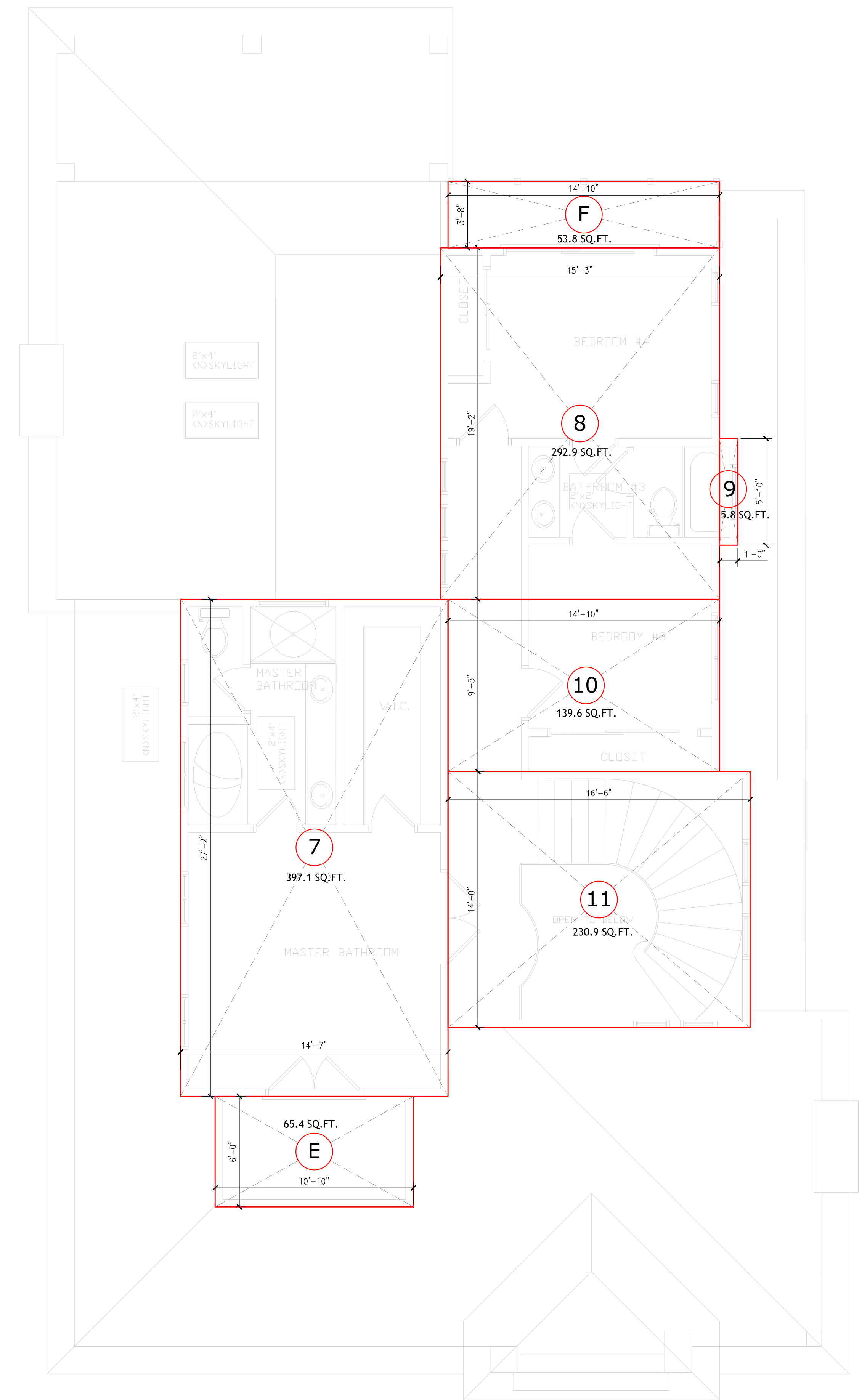
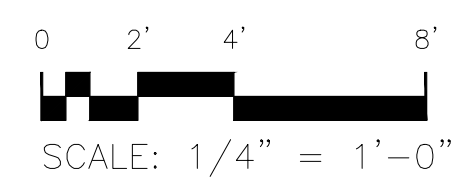


BLOCK DIAGRAM LEGEND

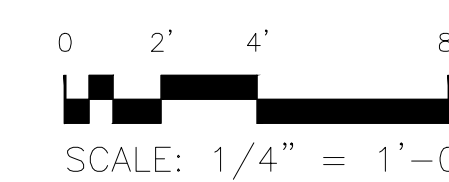
SECTION	LENGTH	WIDTH	AREA
1	40'-10"	20'-5"	833.7
2	22'-10"	21'-5"	489
3	30'-8"	18'-0"	552.1
4	13'-2"	16'-6"	217.2
5	13'-10"	20'-5"	282.6
6	3'-10"	4'-0"	15.3
FIRST STORY SUBTOTAL=			2'389.9
7	27'-2"	14'-7"	397.1
8	19'-2"	15'-3"	292.9
9	1'-0"	5'-10"	5.8
10	9'-5"	14'-10"	139.6
11	14'-0"	16'-6"	230.9
SECOND STORY SUBTOTAL=			1'051
TOTAL FLOOR AREA=			3'440.9
A	4'-0"	16'-7"	66.3
B	5'-0"	2'-0"	10
C	8'-0"	21'-5"	171.3
D	5'-0"	2'-0"	10
E	6'-0"	10'-10"	65.4
F	3'-8"	14'-10"	53.8
TOTAL LOT COVERAGE=			2'647.5



-2-2 BLOCK DIAGRAM FIRST FLOOR



-2-3 BLOCK DIAGRAM SECOND FLOOR



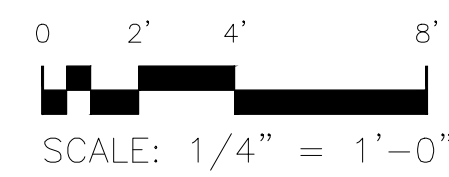
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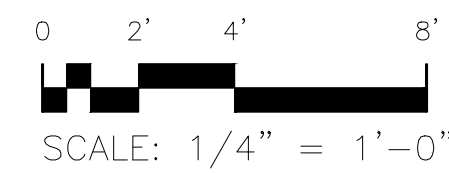
FLOOR AREA
BLOCK
DIAGRAMS



3-0 PROPOSED ELEVATION FRONT (SOUTH)



3-1 PROPOSED ELEVATION REAR (NORTH)



STUCCO DETAIL

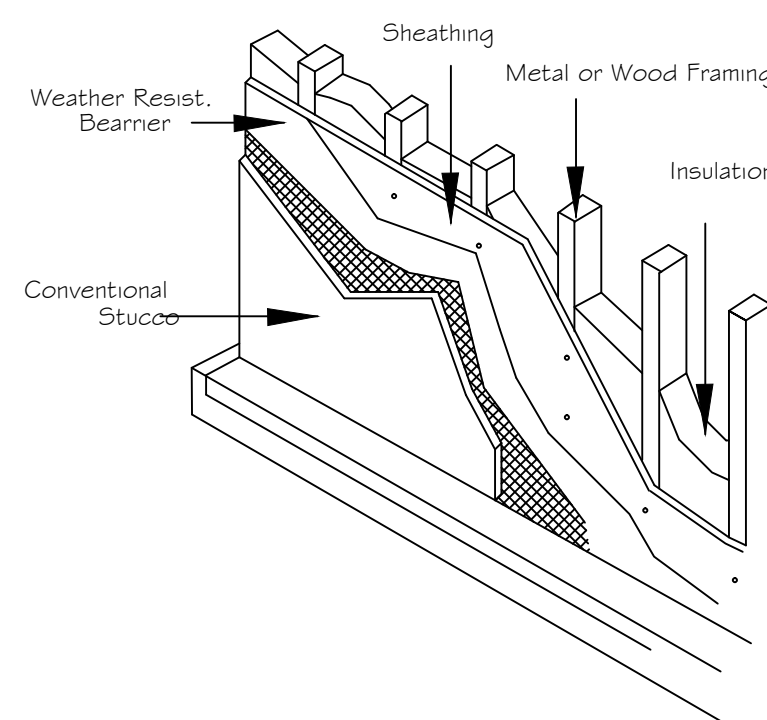
THREE COAT STUCCO 7/8" MIN. THICK BUILDING CODE WOOD SHEATHING (PLYWOOD, OSB) 26 GALVANIZED WEEP SCREEN AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2" ABOVE CONCRETE OR PAVING). CDR R703.6 (11.5 LB/100 SQ.FT.) IRC 2000 1 LAYER 14 LB/100 SQ.FT. ASPHALT FELT COMPLYING WITH ASTM D 226 OR OTHER APPROVED WEATHER RESISTIVE MATERIAL UBC WEEP SCREEN IS REQUIRED BELOW THE STUCCO A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA CBC 2512.1.2.

WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOUR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.6.3).

PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVED ABOVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R517.1 OR GYPSUM BACKING (R703.6.2).

A MINIMUM 26 GA. GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH: (R703.6.2.1)

1. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
2. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.



BATHROOMS: PROVIDE AN EXHAUST FAN DUCTED TO THE OUTSIDE (MINIMUM 4" DIAMETER FLEX DUCT WITH A MAXIMUM LENGTH OF 70') WITH A MINIMUM VENTILATION RATE OF 100 CFM.

MAX. 2 GPM SHOWER FIXTURE, MAX. 1.5 GPM BATHROOM FAUCET, MAX. 1.8 GPM KITCHEN FAUCET, AND MAX. 1.28 WATER CLOSET TO CONFORM TO SAN JOSE GREEN REQUIREMENTS.

IF WATER PRESSURE EXCEEDS 80 PSI, AND EXPANSION TANK AND AN APPROVED PRESSURE REGULATOR SHALL BE INSTALLED. (2013 CPC 608.2)

NON-REMOVABLE BACK FLOW PRE-VENTER OR BIBB-TYPE VACUUM BREAKER WILL BE INSTALLED ON ALL EXTERIOR HOSE BIBBS. (2013 CPC 603.4.7)

AMFI PROTECTED RECEPTACLES IN FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLORS, LIBRARIES, GENS, BEDROOMS, SUNROOMS, RECREATING ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS PER DEC 210.12(B)

BATHTUBS AND WHIRLPOOL BATHTUBS: THE MAX. HOT WATER TEMPERATURE DISCHARGING SHALL BE LIMITED TO 120 DEGREES. CPC 414/2013

BATHTUBS WASTE OPENING IN FLOOR OVER CRAWL SPACES SHALL BE PROTECTED BY A METAL SCREEN NOT EXCEEDING 1/8" OR SOLID COVER. CPC 313.12.4 2013

SHOWERS AND TUB-SHOWERS COMBINATIONS IN ALL BUILDINGS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION OF BOTH THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION. 418.0 CPC/2013

VERIFY AND WHERE WATER PRESSURE EXCEEDS 80 PSI AN APPROVED PRESSURE REGULATOR PRECEDED BY AN ADEQUATE STRAINER SHALL BE INSTALLED 608.2 CJC / 2013

NOTE THAT ALL PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 6' ABOVE ROOF NOR LESS THAN 1' FROM ANY VERTICAL SURFACE. VENTS SHALL TERMINATE NOT LESS THAN 10' FROM DE 3 ABOVE ANY WINDOW, DOOR OPENING AIR INTAKE, OR VENT SHAFT NOR 3' FROM LOT LINE. (2013 CPC 906)

NOTE: 2013 CBC, THRESHOLDS FOR DOORWAYS TO HAVE 0.5-INCH MAX. AND 0.75-INCH FOR SLIDING DOORS. THRESHOLDS GREATER THAN 0.25-INCHES REQUIRE BEVELING AT A 50% SLOPE. WHERE ALLOWED, DOOR THRESHOLDS COMBINED WITH RISERS ARE TO HAVE A COMBINED MAX HEIGHT OF 7.75-INCHES.

TILE WORK @ BATHROOM (E.G., CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. CRC R307.2

CONTRACTOR IS NOT TO WASH THE WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U AND SHGC PROPERTIES BAY WINDOW ROOFS AND FLOORS SHALL BE INSULATED TO MEET THE WALL INSULATION REQUIREMENTS OF PACKAGE D. (CENC 150(c)(1))

A DEDICATED MINIMUM 20-AMP CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) DEC 210.11(C)(3) AND 210.52(D)

A MINIMUM 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING AREA, PANTRY, OR OTHER SIMILAR AREAS (DEC 210.11 (C) (1))

AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (DEC 210.11(C) (2))

AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER, IN A CONSPICUOUS LOCATION IN THE BUILDING, STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE.

THE FOLLOWING MINIMUM FIRE SEPARATION DISTANCES SHALL APPLY FOR DWELLING AND ACCESSORY BUILDINGS REGARDING UN-SPRINKLERED BUILDINGS

1. CONSTRUCTION OF EXTERIOR WALL OF DWELLINGS AND ACCESSORY BUILDINGS SHALL HAVE A ONE HOUR FIRE RATING WITH EXPOSURE FROM BOTH SIDES, IF LOCATED LESS THAN 5 FT. FROM THE PROPERTY LINE IN CONFORMANCE WITH TABLE R302.1(1) WHEN THE BUILDING IS NOT SPRINKLERED. NO RATING IS REQUIRED IF 5 FT. OR MORE (2010 R302.1)

THE NFRC LABEL WHICH STATES THE REQUIRED U-VALUE AND SHGC FOR ALL FENESTRATION PRODUCTS SHALL NOT BE REMOVED PRIOR TO INSPECTION OR REMOVAL BY A BUILDING INSPECTOR, AND SHALL REFLECT THE VALUES LISTED IN THE ENERGY REPORT PER T24 SECTION 150(D) AND ASHRAE 62.2

WHERE EXHAUST FANS, CLOTHES DRYERS, AND KITCHEN VENTILATION SYSTEMS INTERFERE WITH THE OPERATION OF APPLIANCES, MAKEUP AIR SHALL BE PROVIDED. (2013 CMC 701.1.4)

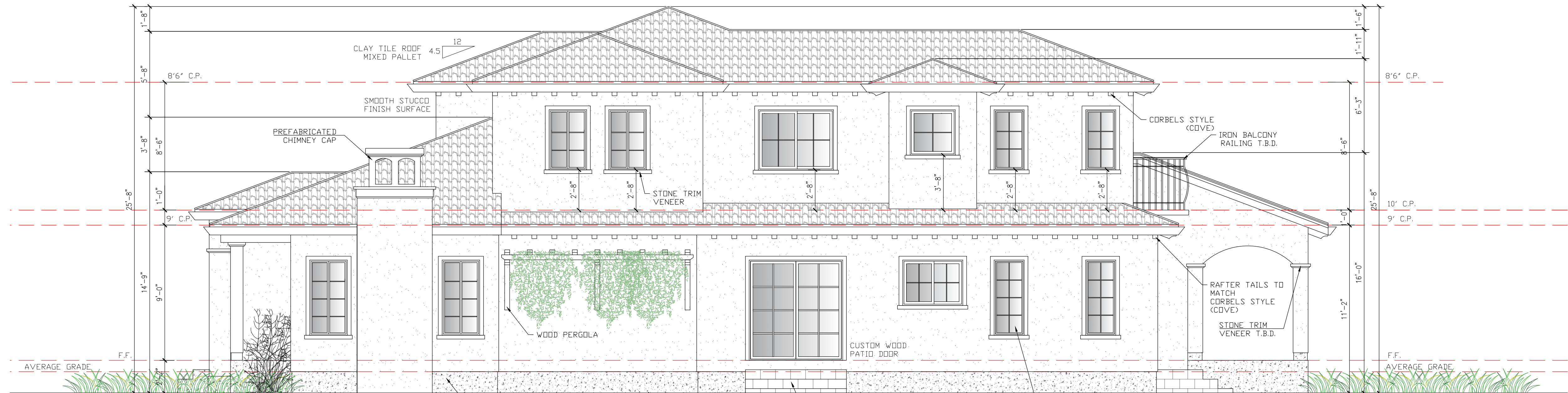
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COOLING UNITS LOCATED IN THE ATTIC SHALL HAVE AN ADDITIONAL WATERTIGHT PAN OF CORROSION-RESISTANT METAL INSTALLED BENEATH THE COOLING COIL OR UNIT TOP TO CATCH THE OVERFLOW CONDENSATE DUE TO A CLOGGED PRIMARY CONDENSATE DRAIN OR ONE PAN WITH A STANDING OVERFLOW AND A SECONDARY DRAIN MAY BE PROVIDED IN LIEU OF THE SECONDARY DRAIN PAN. (CMC 309.2)

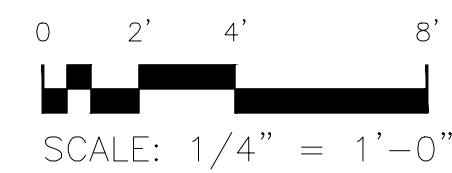
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PROJECT NO. 1705 DATE 03.13.17

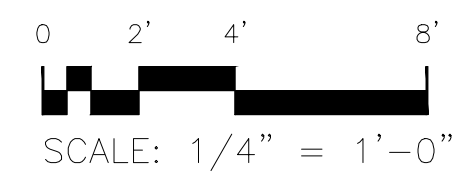
PROPOSED ELEVATIONS



3-2 PROPOSED ELEVATION RIGHT (EAST)



3-3 PROPOSED ELEVATION LEFT (WEST)



STUCCO DETAIL

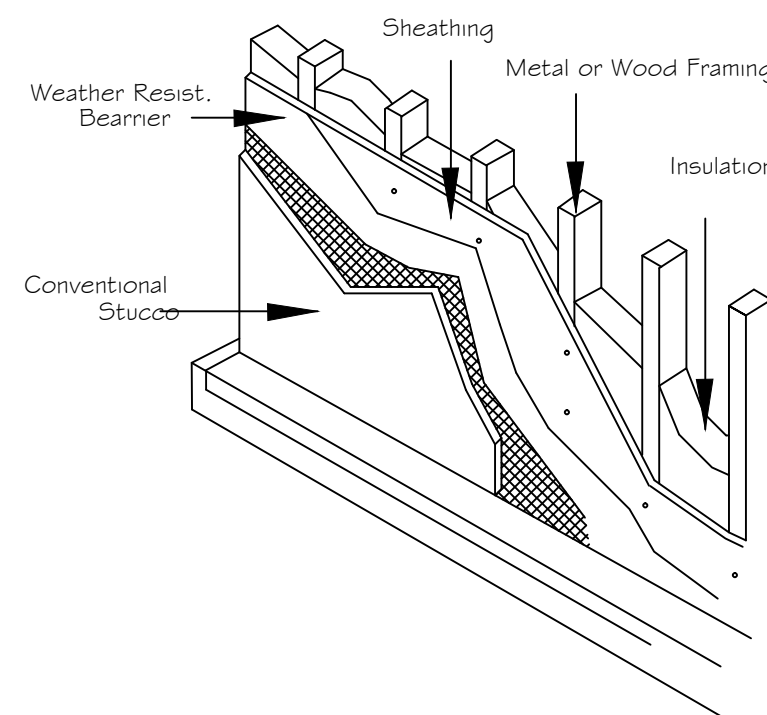
THREE COAT STUCCO 7/8" MIN. THICK BUILDING CODE WOOD SHEATHING (PLYWOOD, OSB) 26 GALVANIZED WEEP SCREEN AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2" ABOVE CONCRETE OR PAVING). CDC R703.6 (1.1, 5 LB/100 SQ.FT.) IRC D2000 1 LAYER 14 LB/100 SQ.FT. ASPHALT FELT COMPLYING WITH ASTM D 226 OR OTHER APPROVED WEATHER RESISTIVE MATERIAL UBC WEEP SCREEN IS REQUIRED BELOW THE STUCCO A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA DBC 2512.1.2.

WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOUR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.6.3).

PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVED TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R517.1 OR GYPSUM BACKING (R703.6.2).

A MINIMUM 26 GA. GALVANIZED CORROSION-RESISTANT WEEP SCREEN WITH: (R703.6.2.1)

1. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
2. THE SCREEN SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.



BATHROOMS: PROVIDE AN EXHAUST FAN DUCTED TO THE OUTSIDE (MINIMUM 4" DIAMETER FLEX DUCT WITH A MAXIMUM LENGTH OF 70') WITH A MINIMUM VENTILATION RATE OF 100 CFM.

MAX. 2 GPM SHOWER FIXTURE, MAX. 1.5 GPM BATHROOM FAUCET, MAX. 1.8 GPM KITCHEN FAUCET, AND MAX. 1.28 WATER CLOSET TO CONFORM TO SAN JOSE GREEN REQUIREMENTS.

IF WATER PRESSURE EXCEEDS 80 PSI, AND EXPANSION TANK AND AN APPROVED PRESSURE REGULATOR SHALL BE INSTALLED. (2013 CPC 608.2)

NON-REMOVABLE BACK FLOW PRE-VENTER OR BIBB-TYPE VACUUM BREAKER WILL BE INSTALLED ON ALL EXTERIOR HOSE BIBBS. (2013 CPC 603.4.7)

AFCI PROTECTED RECEPTACLES IN FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLORS, LIBRARIES, GENS, BEDROOMS, SUNROOMS, RECREATING ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS PER DEC 210.12(B)

BATHTUBS AND WHIRLPOOL BATHTUBS: THE MAX. HOT WATER TEMPERATURE DISCHARGING SHALL BE LIMITED TO 120 DEGREES. CPC 414/2013

BATHTUBS WASTE OPENING IN FLOOR OVER CRAWL SPACES SHALL BE PROTECTED BY A METAL SCREEN NOT EXCEEDING 3/8" OR SOLID COVER. CPC 313.12.4 2013

SHOWERS AND TUB-SHOWERS COMBINATIONS IN ALL BUILDINGS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION OF BOTH THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION. VALVES SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION. 418.0 CPC/2013

VERIFY AND WHERE WATER PRESSURE EXCEEDS 80 PSI AN APPROVED PRESSURE REGULATOR PRECEDED BY AN ADEQUATE STRAINER SHALL BE INSTALLED 608.2 CJC / 2013

NOTE THAT ALL PLUMBING VENTS SHALL TERMINATE NOT LESS THAN 6" ABOVE ROOF NDR LESS THAN 1' FROM ANY VERTICAL SURFACE. VENTS SHALL TERMINATE NOT LESS THAN 10' FROM DE 3 ABOVE ANY WINDOW, DOOR OPENING AIR INTAKE, OR VENT SHAFT NDR 3' FROM LOT LINE. (2013 CPC 906)

NOTE: 2013 CBC, THRESHOLDS FOR DOORWAYS TO HAVE 0.5-INCH MAX. AND 0.75-INCH FOR SLIDING DOORS. THRESHOLDS GREATER THAN 0.25-INCHES REQUIRE BEVELING AT A 50% SLOPE. WHERE ALLOWED, DOOR THRESHOLDS COMBINED WITH RISERS ARE TO HAVE A COMBINED MAX HEIGHT OF 7.75-INCHES.

TILE WORK @ BATHROOM (E.G., CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. CRC R307.2

CONTRACTOR IS NOT TO WASH THE WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U AND SHGC PROPERTIES

BAY WINDOW ROOFS AND FLOORS SHALL BE INSULATED TO MEET THE WALL INSULATION REQUIREMENTS OF PACKAGE D. (CENC 150(c)(1))

A DEDICATED MINIMUM 20-AMP CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) DEC 210.11(C)(3) AND 210.52(D)

A MINIMUM 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING AREA, PANTRY, OR OTHER SIMILAR AREAS (DEC 210.11(C)(1))

AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (DEC 210.11(C)(2))

AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE, SIGNED BY THE INSTALLER AND THE BUILDER, IN A CONSPICUOUS LOCATION IN THE BUILDING, STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE.

THE FOLLOWING MINIMUM FIRE SEPARATION DISTANCES SHALL APPLY FOR DWELLING AND ACCESSORY BUILDINGS REGARDING UN-SPRINKLERED BUILDINGS

1. CONSTRUCTION OF EXTERIOR WALL OF DWELLINGS AND ACCESSORY BUILDINGS SHALL HAVE A ONE HOUR FIRE RATING WITH EXPOSURE FROM BOTH SIDES, IF LOCATED LESS THAN 5 FT. FROM THE PROPERTY LINE IN CONFORMANCE WITH TABLE R302.1(1) WHEN THE BUILDING IS NOT SPRINKLERED. NO RATING IS REQUIRED IF 5 FT. OR MORE (2010 R302.1)

THE NFRC LABEL WHICH STATES THE REQUIRED U-VALUE AND SHGC FOR ALL FENESTRATION PRODUCTS SHALL NOT BE REMOVED PRIOR TO INSPECTION OR REMOVAL BY A BUILDING INSPECTOR, AND SHALL REFLECT THE VALUES LISTED IN THE ENERGY REPORT PER T24 SECTION 150(I) AND ASHRAE 62.2

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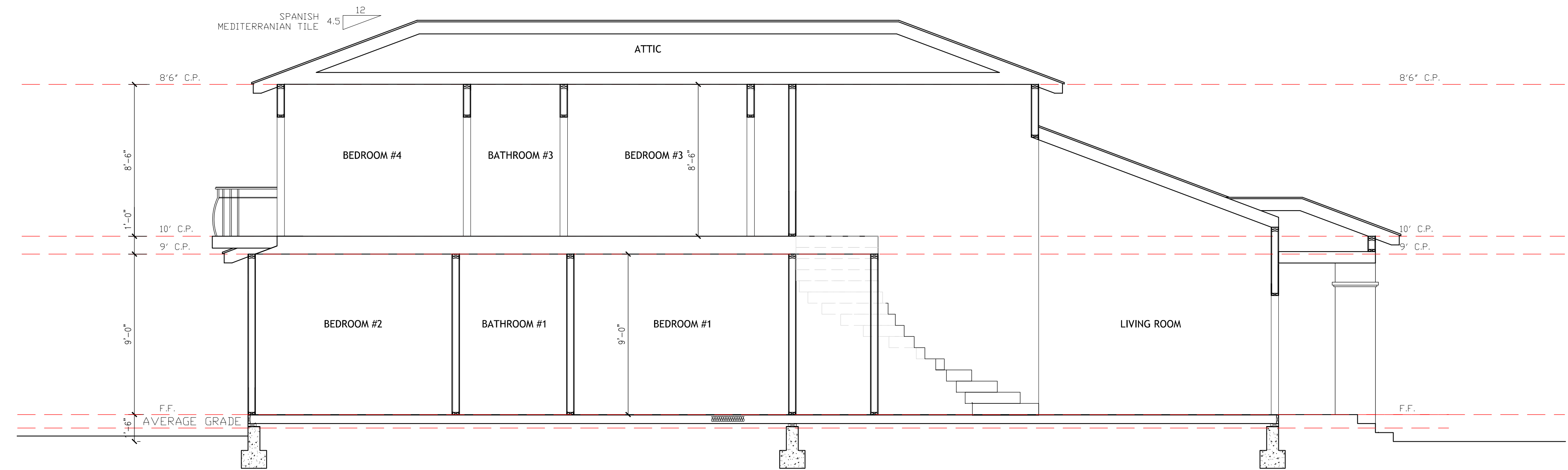
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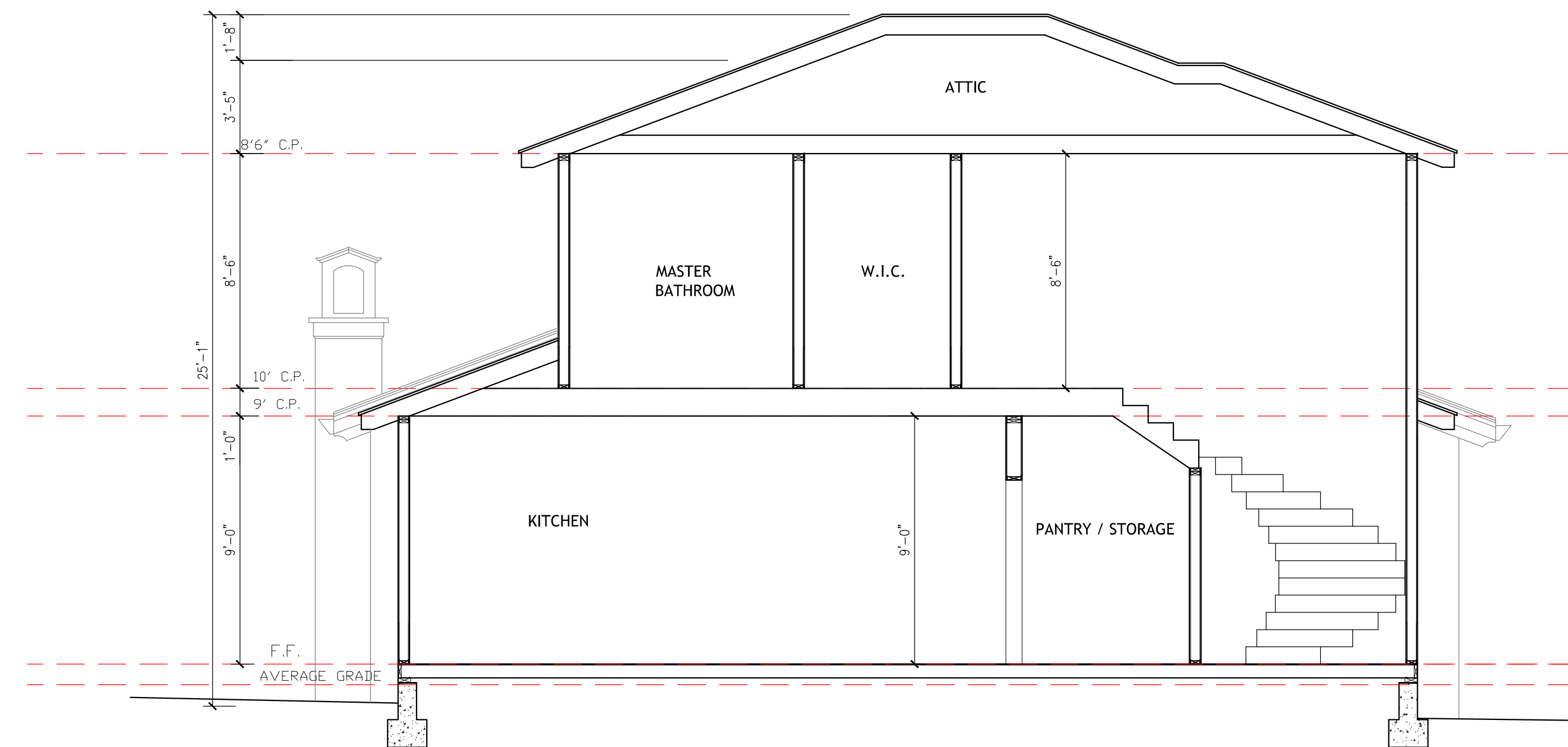
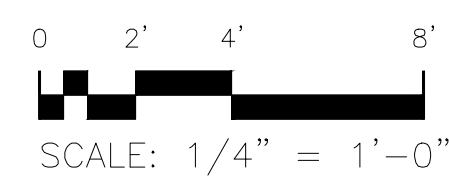
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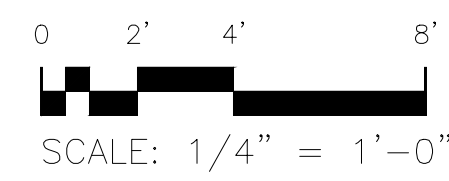
PROPOSED ELEVATIONS



— B-B PROPOSED CROSS SECTION



— A-A PROPOSED CROSS SECTION



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CROSS
SECTIONS

EARTHWORK QUANTITIES:	
CUT(OUTSIDE BLDG FOOTPRINT)	5 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	85 C.Y.
FILL	10 C.Y.
BALANCE	80 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

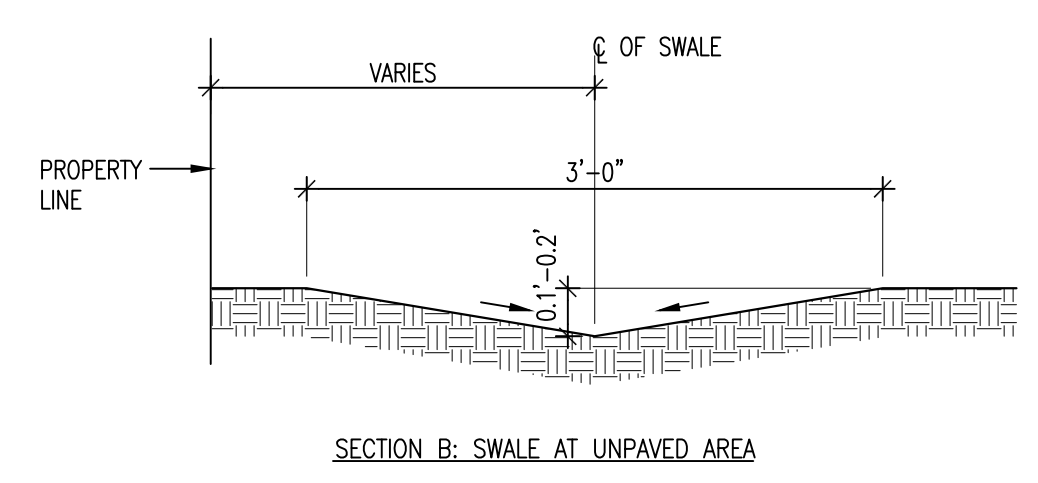
CUT AND FILL EST. 3

SS — SANITARY SEWER	SL — STREET LIGHT
E — ELECTRIC	IRR — IRRIGATION
TV — TV/CABLE TV	X — FENCE
FS — FIRE SERVICE	JT — JOINT TRENCH
W — DOMESTIC WATER SERVICE	O/H — OVERHEAD WIRES
T — TELEPHONE	× 16.07 (E) SPOT ELEVATION
G — NATURAL GAS	× 16.07 (N) SPOT ELEVATION
FM — FORCE MAIN	
DS — SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG.	
— DOWNSPOUT	

LEGEND 4

AB AGGREGATE BASE	GB GRADE BREAK
AC ASPHALT CONCRETE	GM GAS METER
AD AREA DRAIN	GR GRATE ELEVATION
BW BOTTOM OF WALL	HP HIGH POINT
CB CATCH BASIN	INV INVERT ELEVATION
CIP CAST IRON PIPE	JT JOINT TRENCH
CL CENTER LINE	JP JOINT POLE
CONC CONCRETE	LD LANDSCAPE DRAIN
CS CRAWL SPACE ELEV.	LF LINEAR FEET
DD DECK DRAIN	(N) NEW
DIP DUCT IRON PIPE	PKG PARKING
DS DOWNSPOUT	POC POINT OF CONNECTION
DWY DRIVEWAY	RET RETAINING WALL
(E) EXISTING	RIM RIM ELEVATION
EG EXISTING GRADING	S SLOPE
EM ELECTRICAL METER	SD STORM DRAIN LINE
EP EDGE OF PAVEMENT	SDCO STORM DRAIN CLEANOUT
FC FACE OF CURB ELEV.	SDFM STORM DRAIN FORCED MAIN
FD FRENCH DRAIN	SS SANITARY SEWER
FF FINISH FLOOR ELEVATION	SSCO SANITARY SEWER CLEANOUT
FG FINISHED GROUND ELEV.	TW TOP OF WALL ELEVATION
FL FLOW LINE ELEVATION	TYP TYPICAL
FM FORCE MAIN LINE	W DOMESTIC WATER LINE
FP FINISHED PAVEMENT	WM WATER METER
FS FINISH SURFACE ELEV	
FW FIRE WATER LINE	

ABBREVIATION 5



SWALE DETAIL 6

GRADING AND DRAINAGE NOTES:
 1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.

2. THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% SLOPE AWAY FROM THE BUILDING PERIMETER AND ADJACENT PROPERTY LINES. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.

3. THE HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.

4. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.

5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

6. IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

EROSION CONTROL AND BEST MANAGEMENT PRACTICE:
 1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.

2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.

3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.

4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.

5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.

6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.

7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

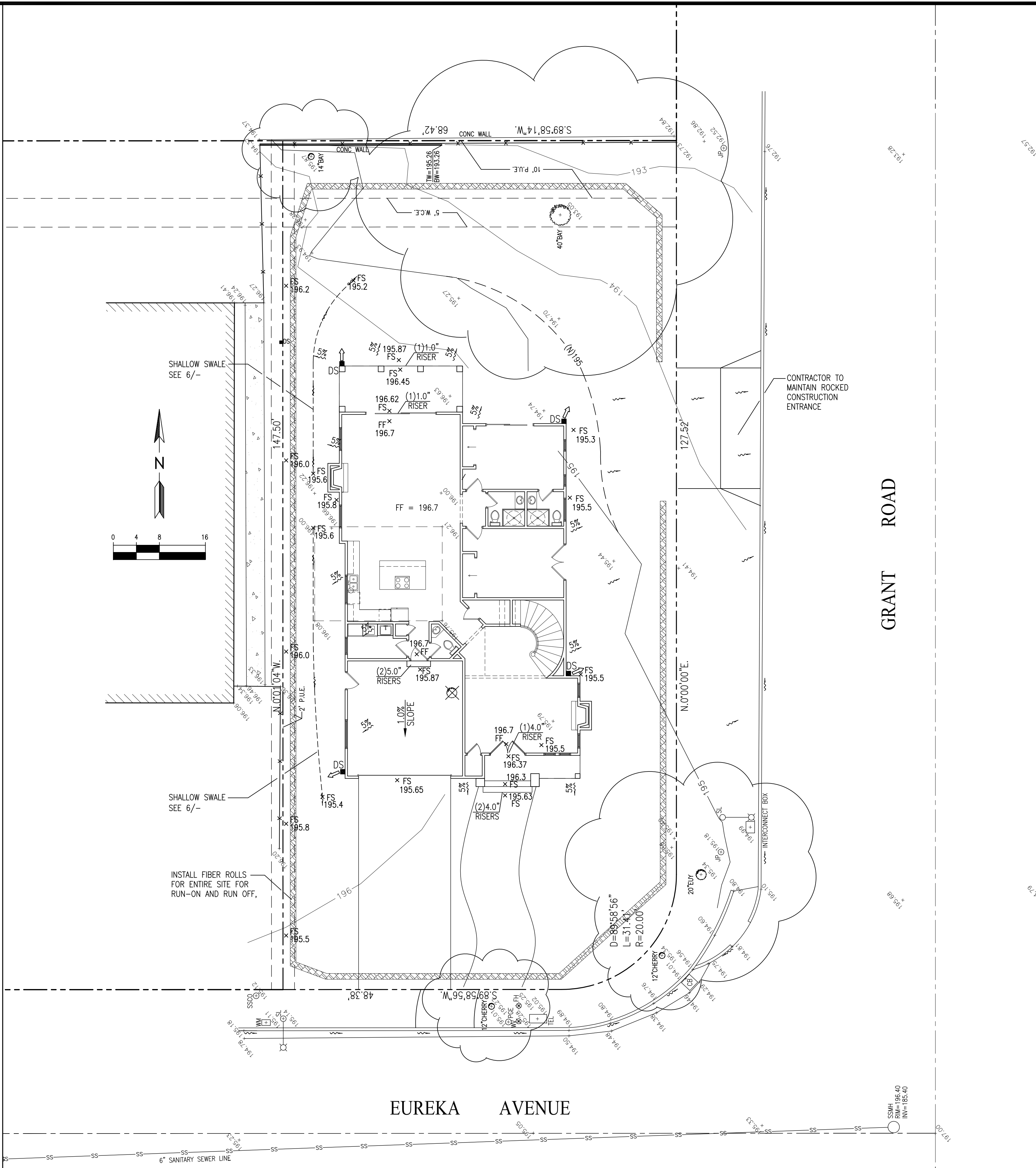
UTILITY NOTES:
 1. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL GRAVITY SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION. ALL WORK FOR GRAVITY SYSTEMS SHALL BEGIN AT THE 1. DOWNSTREAM CONNECTION POINT. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION. ELBOWS AND TEE SHOULD BE AVOIDED.

2. CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS.

3. A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.

4. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE (5) FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

GENERAL NOTES 2



GRADING AND DRAINAGE PLAN & EROSION CONTROL PLAN SCALE: 1"=10' 1

SUN RESIDENCE

1289 EUREKA AVENUE
 LOS ALTOS, CA
 APN: 193-34-030

W E C & ASSOCIATES

2625 MIDDLEFIELD RD #658
 PALO ALTO, CA 94306
 TEL: (650) 823-6466
 FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date
1	REVISION	8/15/15

DATE: FEB 2, 2017
 SCALE: AS SHOWN
 DRAWN: J
 JOB: 09016

GRADING AND DRAINAGE & EROSION CONTROL PLAN

SHEET NO.

C.1

SUN RESIDENCE

1289 EUREKA AVENUE
LOS ALTOS, CA
APN: 193-34-030

DESIGNER : ANNIE WU

LANDSCAPE PLAN

REVISIONS

No.	date	description
01	03-17-17	PLANNING REVIEW COMMENTS
02	04-25-17	PLANNING REVIEW COMMENTS
03	08-22-17	PLANNING REVIEW

LANDSCAPE PLAN

May 8th, 2016
SCALE: 1"=8'-0"

L1.0

NOTES

- CARE SHALL BE PRACTICED DURING CONSTRUCTION AROUND (E) TREES IDENTIFIED TO REMAIN. HAND TRENCH IN ROOT ZONES OF THESE PLANTS MINIMIZING DESTRUCTION TO SMALL AND LARGE ROOTS. REFER TO TREE PROTECTION PLAN, L1.1, FOR MORE INFO.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CALL 811 (USA NORTH 811 SERVICE ALERT).
- REMOVE ALL EXTRANEOUS MATERIAL FROM PLANTING AREAS.
- THOROUGHLY MIX ALL SOIL AMENDMENTS PRIOR TO PLANT PLACEMENT.
- CONTRACTOR SHALL SUPPLY PLANTS OF SIZE SPECIFIED. IF CONTRACTOR IS UNABLE TO LOCATE PLANT MATERIAL TYPE OR SIZE, NOTIFY LANDSCAPE ARCHITECT OR HOME OWNER.
- AMEND PLANT PITS. PROVIDE SUSTAINED RELEASE FERTILIZER TABLETS OR BAGGIES.
- TOP DRESS PLANTING AREAS AND RIGHT-OF-WAY AREAS WITH 2" DEEP RECYCLED WOOD CHIP MULCH.
- IRRIGATION SYSTEM TO SUPPORT NEW LANDSCAPING SHALL BE DESIGNED TO MEET CITY OF LOS ALTOS WATER EFFICIENT LANDSCAPE ORDINANCE REQUIREMENTS. WATER EFFICIENT LANDSCAPE ORDINANCE DESIGN DOCUMENTS ARE REQUIRED AT TIME OF BUILDING PERMIT APPLICATION SUBMISSION.

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	Notes
SCREENING TREES		
Lagerstroemia x hybrid	Crape Myrtle	15 gallon
Quercus rubra	Red Oak	15 gallon
SCREENING SHRUBS		
Pittosporum tenuifolium		15 gallon
NATIVE SHRUBS		
Ceanothus 'Concha'	Concha Ceanothus	
Ceanothus 'Dark Star'	Dark Star Ceanothus	
Plumbago auriculata	Cape Plumbago	non-native shrub
Ribes sanguineum var. glutinosum	Pink Flowering Currant	
NATIVE PERENNIALS		
Achillea millefolium 'Island Pink'	Pink Yarrow	
Salvia clevelandii 'Winnifred Gilman'	Winnifred Gilman Sage	
TALL NATIVE GRASSES		
Calamagrotis foliosa	Cape Mendocino Reed Grass	
Muhlenbergia rigens	Deer Grass	
NATIVE MEADOW		
Bouteloua gracilis	Blue Grama Grass	
Carex pansa	California Meadow Grass	
Juncus patens	California Gray Rush	
LOW NATIVE PERENNIAL MIX **A** FOR PART SHADE		
Isis douglasiana	Douglas Iris	mix flower colors
Salvia spathacea	Hummingbird Sage	
LOW NATIVE PERENNIAL MIX **B**		
Heuchera maxima	Island Alum Root	
Isis douglasiana	Douglas Iris	mix flower colors
Lessingia flaginifolia	Bluff Aster	
NATIVE PERENNIAL MIX **D**		
Epilobium 'Catalina'	Catalina Hummingbird Fuchsia	
Epilobium 'Sierra Salmon'	Sierra Salmon Hummingbird Fuchsia	
Erigeron glaucus 'Wayne Roderick'	Seaside Daisy Hybrid	
Erigeron grande rubescens	Red Buckwheat	
Lessingia flaginifolia	Bluff Aster	
Penstemon 'Santa Margarita BOP'	Blue Bedder	
Salvia sonomensis	Sonoma Sage	
LOW NATIVE PERENNIAL MIX **E**		
Erigeron glaucus 'Wayne Roderick'	Seaside Daisy Hybrid	

EXISTING TREES

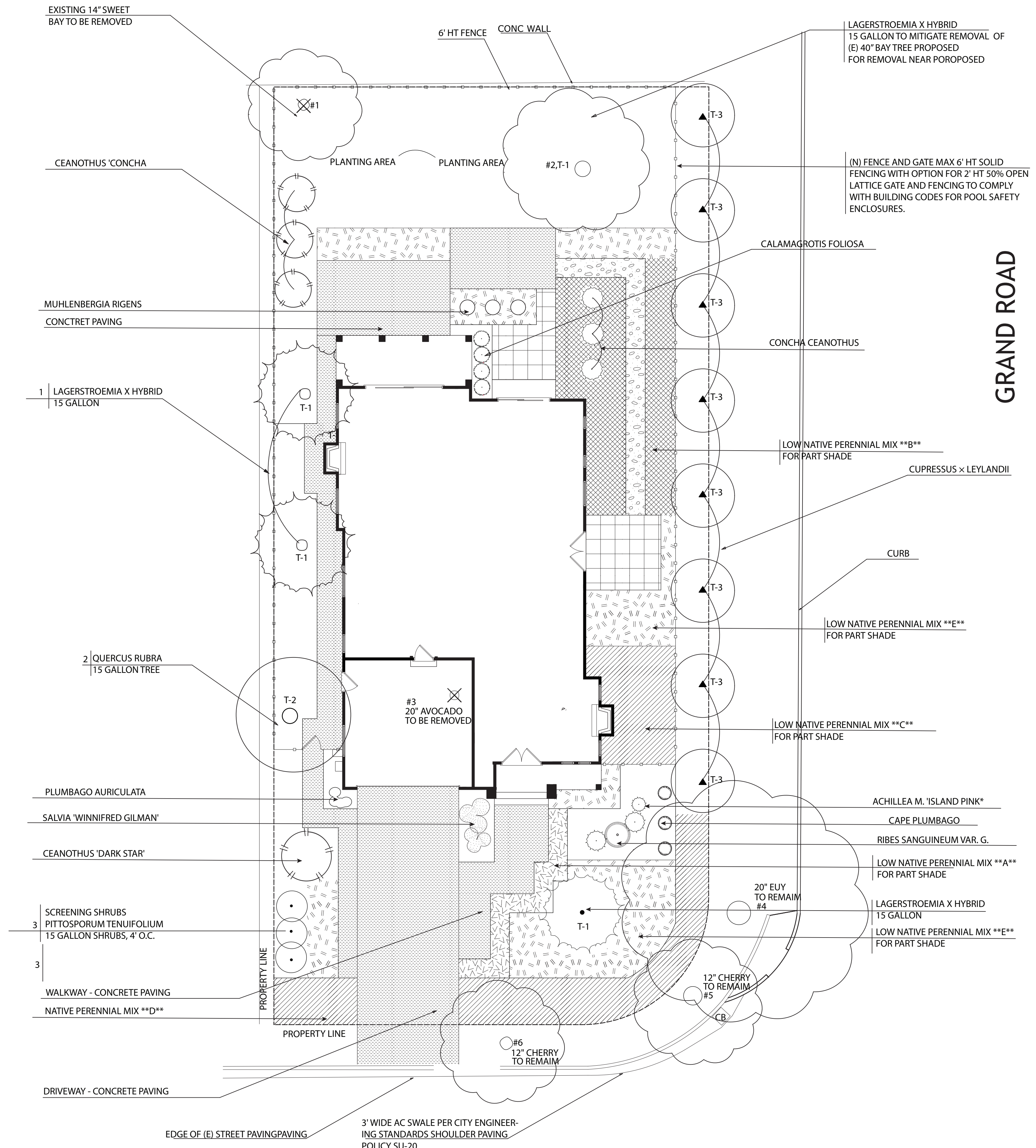
SYMBOL	SPECIES	SIZE	SAVE/REMOVE
#1	Laurus nobilis L. / Bay Laurel	14"	Remove
#2	Laurus nobilis L. / Bay Laurel	40"	Remove
#3	Avocado Tree	20"	Remove
#4	Eucalyptus/Blue Gum	40"	Save
#5	Cherry	12"	Save
#6	Cherry	12"	Save

PROPOSED TREES

SYMBOL	SPECIES	NUMBER	NOTES
T-1	Lagerstroemia x Hybrid/ Crape Myrtle	4	15 gallon
T-2	Quercus Rubra/Red Oak	1	15 gallon
T-3	Cupressus / Leylandii	8	10 gallon

PAVING KEY

	CONCRETE PAVING, STEPS AND STEP STONES
	PERMEABLE PEBBLE PAVING 2" -3" WASHED PEBBLES, 2" DEEP OVER FILTER FABRIC BETWEEN CONCRETE PAVING AND STEP STONES
	PERMEABLE PEBBLE PAVING 1/4" WASHED PEBBLES, 2" DEEP OVER 4" DEEP COMPACTED CLASS II AGGREGATE BASE ROCK



EUREKA AVENUE

