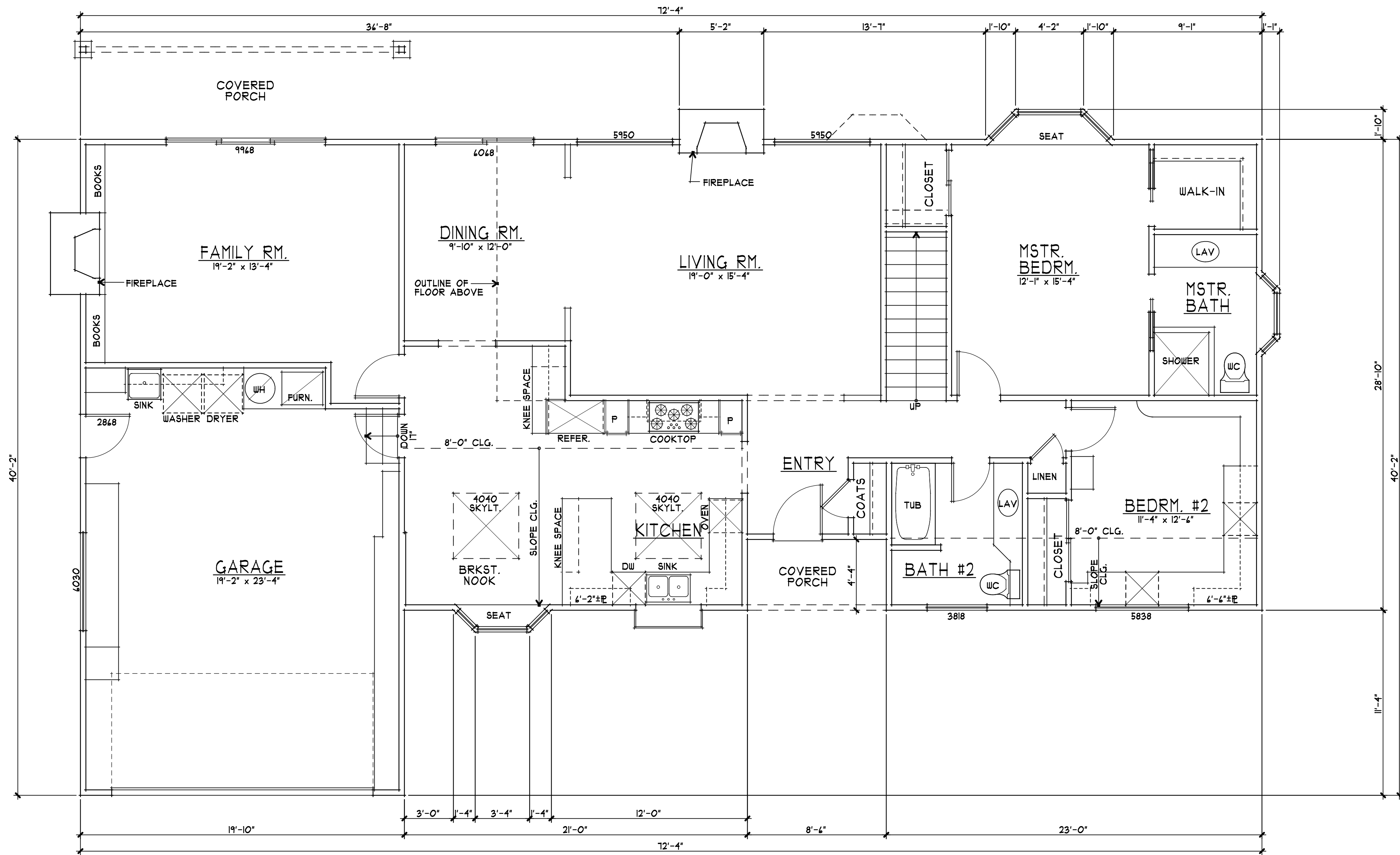




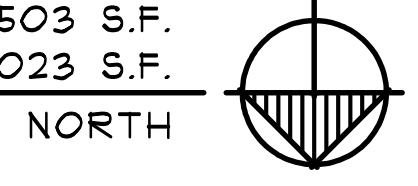
**FIRE DEPT NOTES**

- REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS AND WATER SUPPLY AS THEY PERTAIN TO FIRE DEPARTMENT OPERATIONS, AND SHALL NOT BE CONSTRUED AS A SUBSTITUTE FOR FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK THE APPLICANT SHALL MAKE APPLICATION TO, AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE CONSTRUCTION PERMITS.
- AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S (NFPA) STANDARD 13D IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING DWELLINGS, WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN THE ALLOWABLE FIRE-FLOW APPENDIX TABLE B101.1, OR ADDITIONS EXCEEDS FIFTY (50) PERCENT (INCLUSIVE OF GARAGE CONVERSIONS) OF THE EXISTING LIVING AREA (EXISTING SQUARE FOOT CALCULATIONS SHALL NOT INCLUDE EXISTING BASEMENT). WHEN AUTOMATIC FIRE SPRINKLER SYSTEMS ARE REQUIRED BY THIS SECTION, ALL ASSOCIATED GARAGES SHALL BE INCLUDED. TEAR-DOWNS AND/ OR ADDITIONS OVER FIFTY (50) PERCENT SHALL BE TREATED AS A NEW STRUCTURE REGARDING INSTALLATION OF FIRE SPRINKLER SYSTEMS. THE OBLIGATION TO PROVIDE COMPLIANCE WITH THESE FIRE SPRINKLER REGULATIONS MAY NOT BE EVADED BY PERFORMING A SERIES OF SMALL ADDITIONS UNDERTAKEN OVER A THREE-YEAR PERIOD. THE PERMIT ISSUANCE DATE OF PAST ADDITIONS WHERE THESE REGULATIONS WERE IN EFFECT SHALL BE USED FOR DETERMINING COMPLIANCE. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 312.2 AS ADOPTED AND AMENDED BY LAMC
- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEM(S), AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEMS UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 1314.1
- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATIONS S1-1. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS TO THE PROJECT. CFC CHAPTER 33.
- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SEC. 505.1



|             |            |
|-------------|------------|
| MAIN FLOOR  | 1,771 S.F. |
| UPPER FLOOR | 149 S.F.   |
| TOTAL       | 2,520 S.F. |
| GARAGE      | 503 S.F.   |
| TOTAL       | 3,023 S.F. |

**EXISTING MAIN FLOOR PLAN**  
 1/4" = 1'-0"  
 0 1 3 6 10

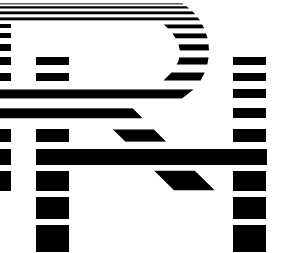


**ASSOCIATES ARCHITECTS**  
 22867 SUNSET RIDGE DR.  
 AUBURN, CA 95602  
**530-268-3055**  
 RONALD H. HARRIS  
 DARYL V. HARRIS A.I.A.  
 rhaarchitects.com  
 rhaassoc@sbcglobal.net

REGISTERED ARCHITECT  
 DARYL V. HARRIS  
 No. C 25431  
 Exp. 8-11  
 STATE OF CALIFORNIA

**A PROPOSED REMODEL & ADDITION FOR:**  
**MURALI & PRIYA DHARAN**  
**32 SAN JUAN COURT**  
**LOS ALTOS, CALIFORNIA**

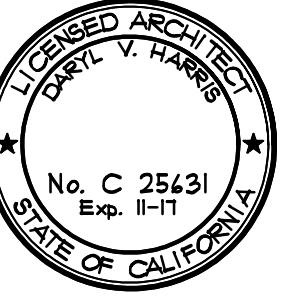
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| revisions      |                          |
| project number | 2343                     |
| date           | JULY 27, 2017            |
| sheet number   | A2                       |



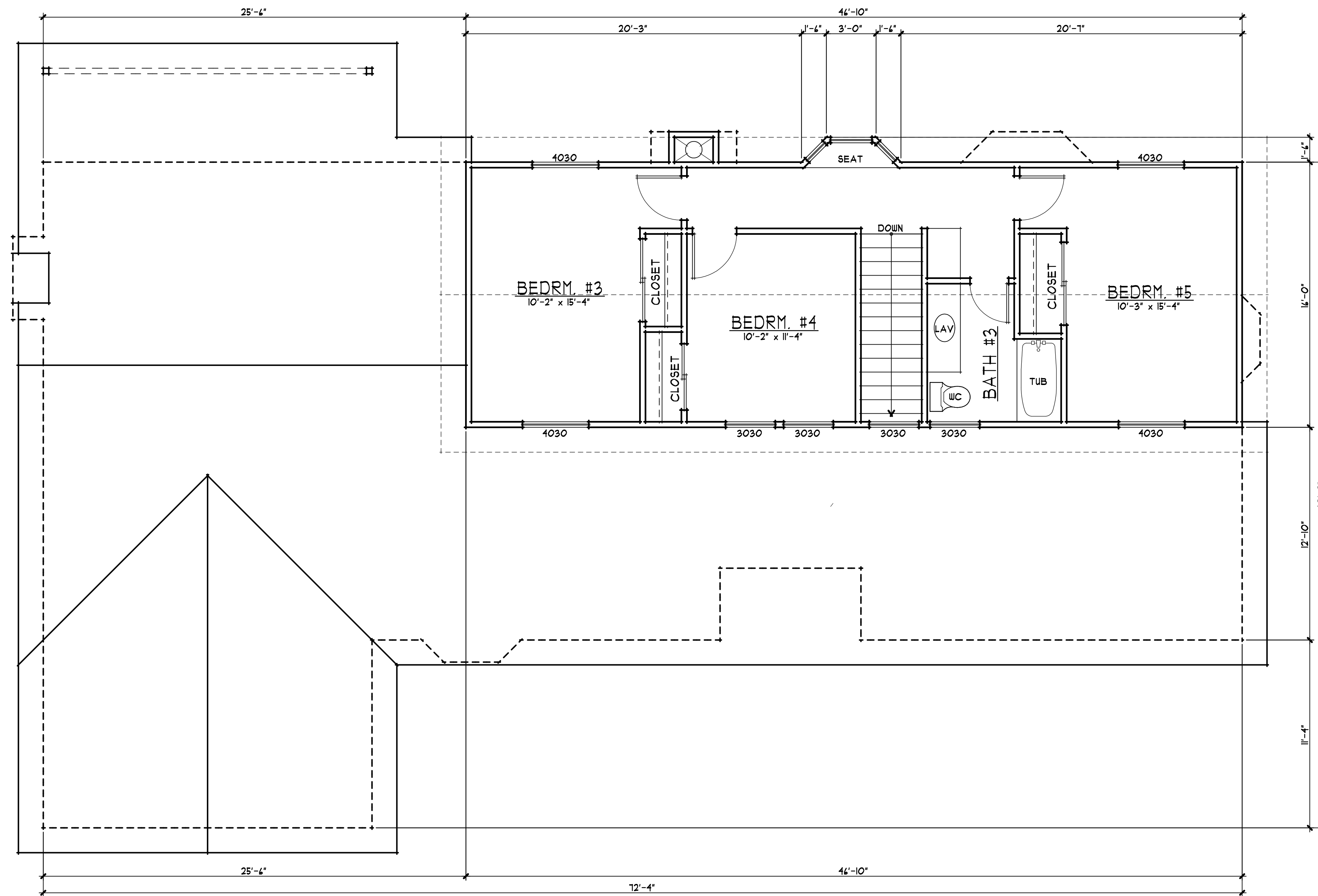
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ARCHITECTS

22867 SUNSET RIDGE DR.  
AUBURN, CA 95602  
530-268-3055

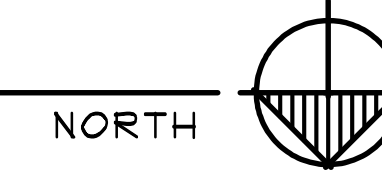
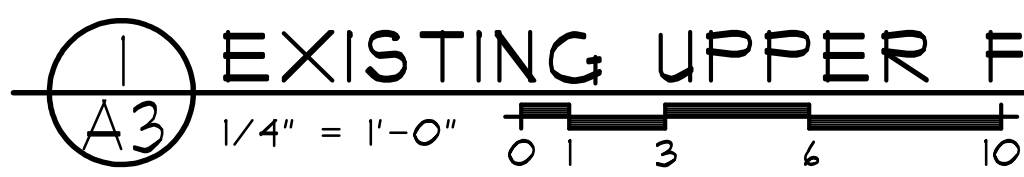
RONALD H. HARRIS  
DARYL V. HARRIS A.I.A.  
rhaarchitects.com  
rhassoc@sbcglobal.net



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**MURALI & PRIYA DHARAN**  
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**EXISTING UPPER FLOOR PLAN**



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drawings  
EXIST. UPPER  
FLOOR PLAN

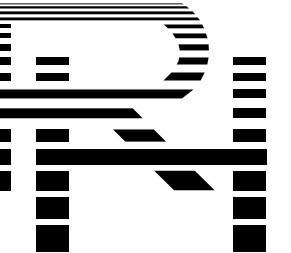
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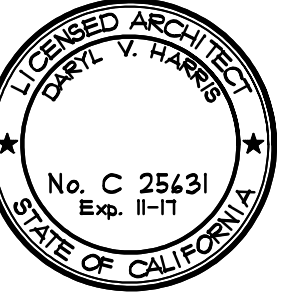




ASSOCIATES  
ARCHITECTS

22867 SUNSET RIDGE DR.  
AUBURN, CA 95602  
530-268-3055

RONALD H. HARRIS  
DARYL V. HARRIS A.I.A.  
rhaarchitects.com  
rhassoc@sbcglobal.net



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**MURALI & PRIYA DHARAN**  
LOS ALTOS, CALIFORNIA  
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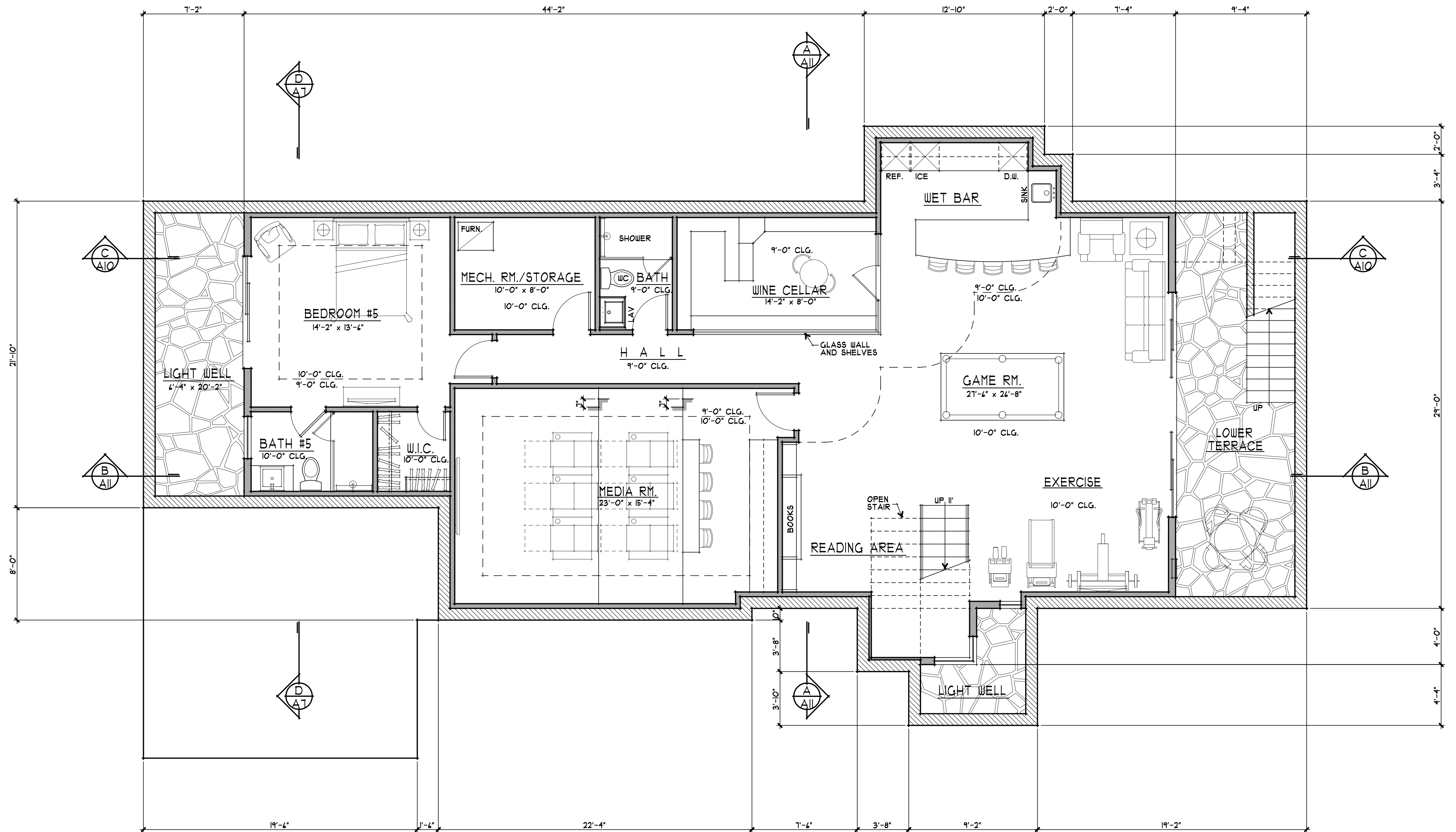
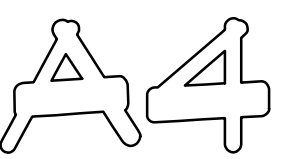
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BASEMENT  
FLOOR PLAN

revisions

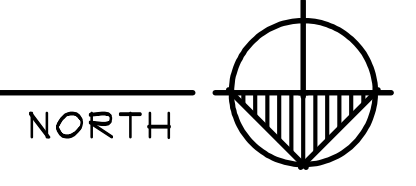
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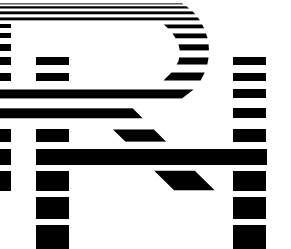
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**PROPOSED BASEMENT FLOOR PLAN**  
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17-21-2017 3:00 PM

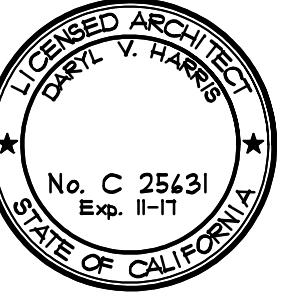


ASSOCIATES ARCHITECTS

22867 SUNSET RIDGE DR. AUBURN, CA 95602

530-268-3055

RONALD H. HARRIS DARYL V. HARRIS A.I.A. rhaarchitects.com rhasoc@sbcglobal.net



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**MURALI & PRIYA DHARAN**  
LOS ALTOS, CALIFORNIA  
32 SAN JUAN COURT

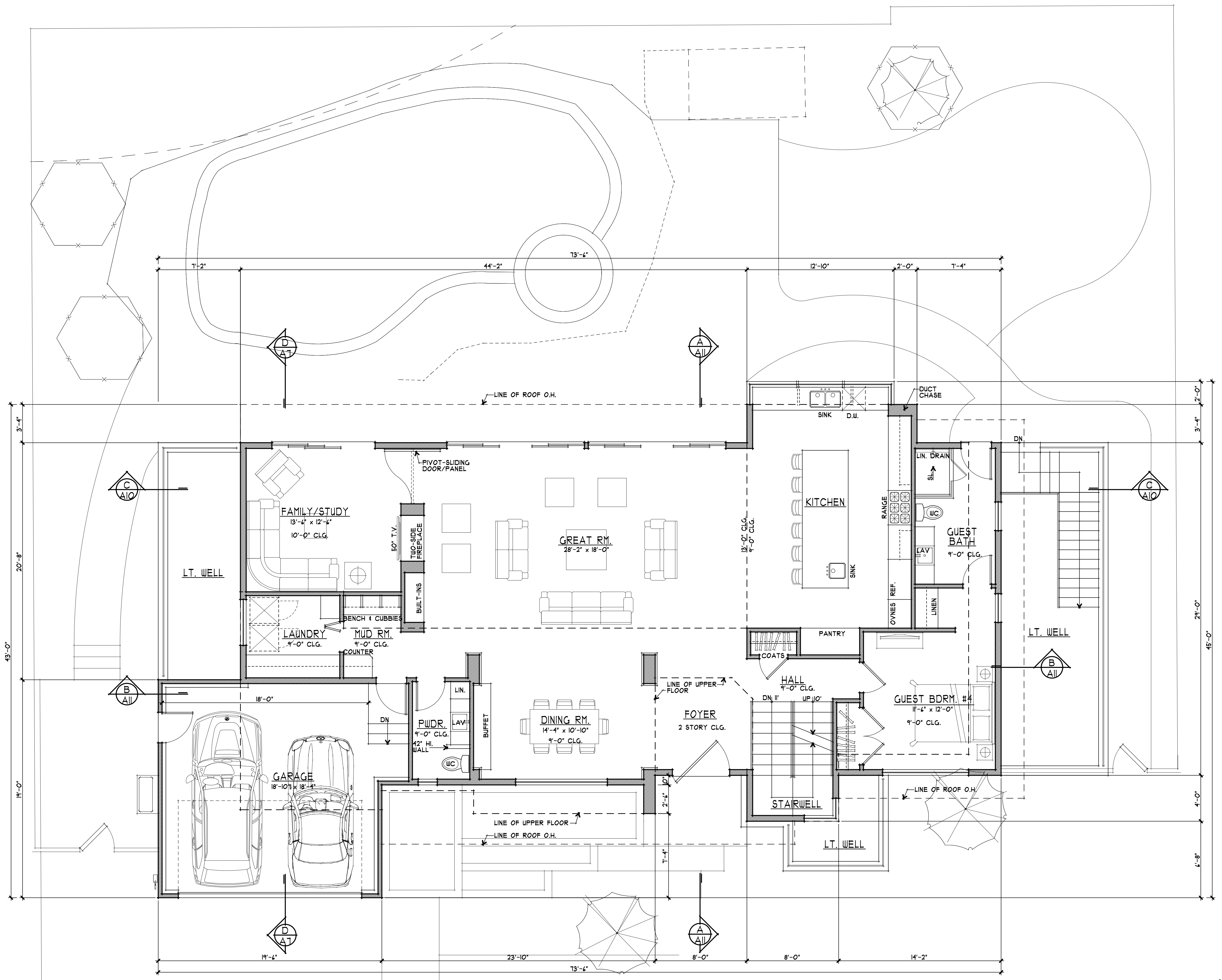
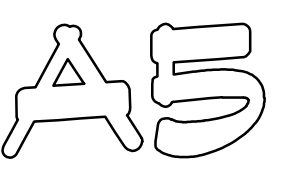
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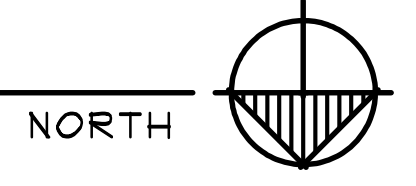
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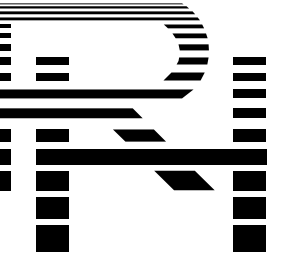
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PROPOSED MAIN FLOOR PLAN  
1/4" = 1'-0" 0 1 3 6 10



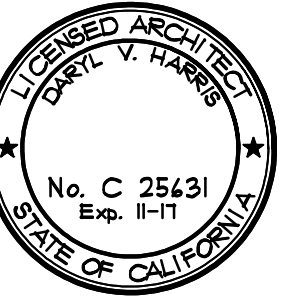
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ASSOCIATES ARCHITECTS

22867 SUNSET RIDGE DR. AUBURN, CA 95602  
530-268-3055

RONALD H. HARRIS  
DARYL V. HARRIS A.I.A.  
rhaarchitects.com  
rhassoc@sbcglobal.net



A PROPOSED REMODEL & ADDITION FOR:  
**MURALI & PRIYA DHARAN**  
LOS ALTOS, CALIFORNIA  
**32 SAN JUAN COURT**

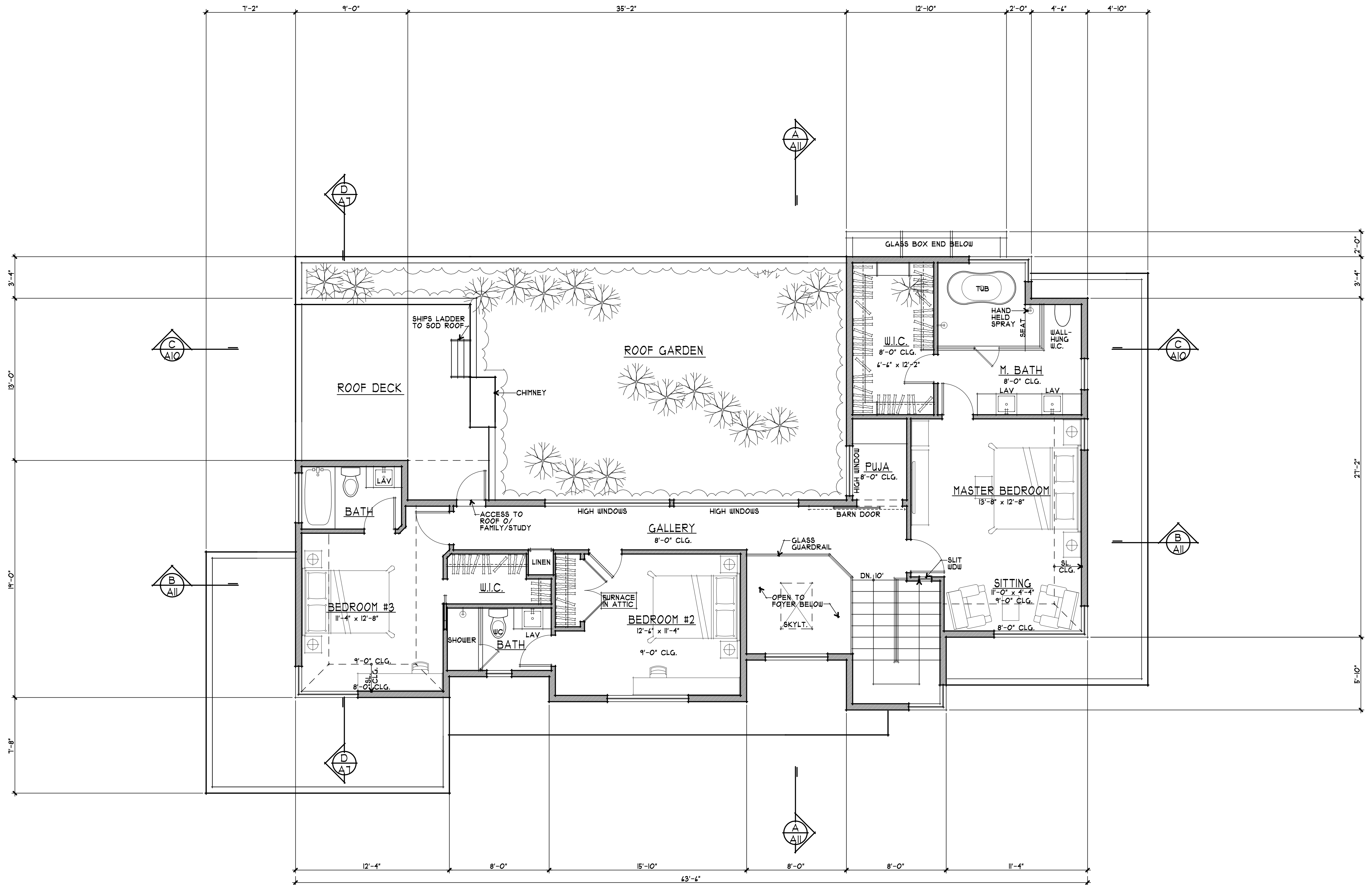
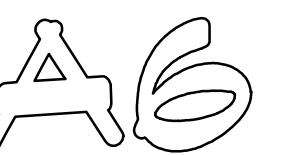
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UPPER FLOOR  
PLAN

revisions

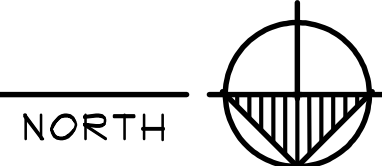
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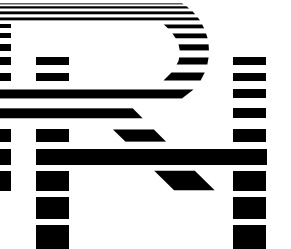
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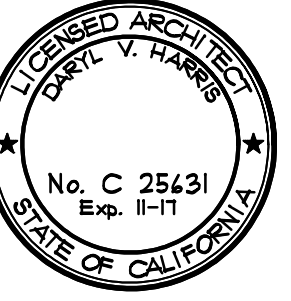
**PROPOSED UPPER FLOOR PLAN**  
1/4" = 1'-0" 0 1 3 6 10



17-1201 3/2017



ASSOCIATES  
ARCHITECTS  
22867 SUNSET RIDGE DR.  
AUBURN, CA 95602  
530-268-3055  
RONALD H. HARRIS  
DARYL V. HARRIS A.I.A.  
rhaarchitects.com  
rhassoc@sbcglobal.net



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**MURALI & PRIYA DHARAN**  
LOS ALTOS, CALIFORNIA  
32 SAN JUAN COURT

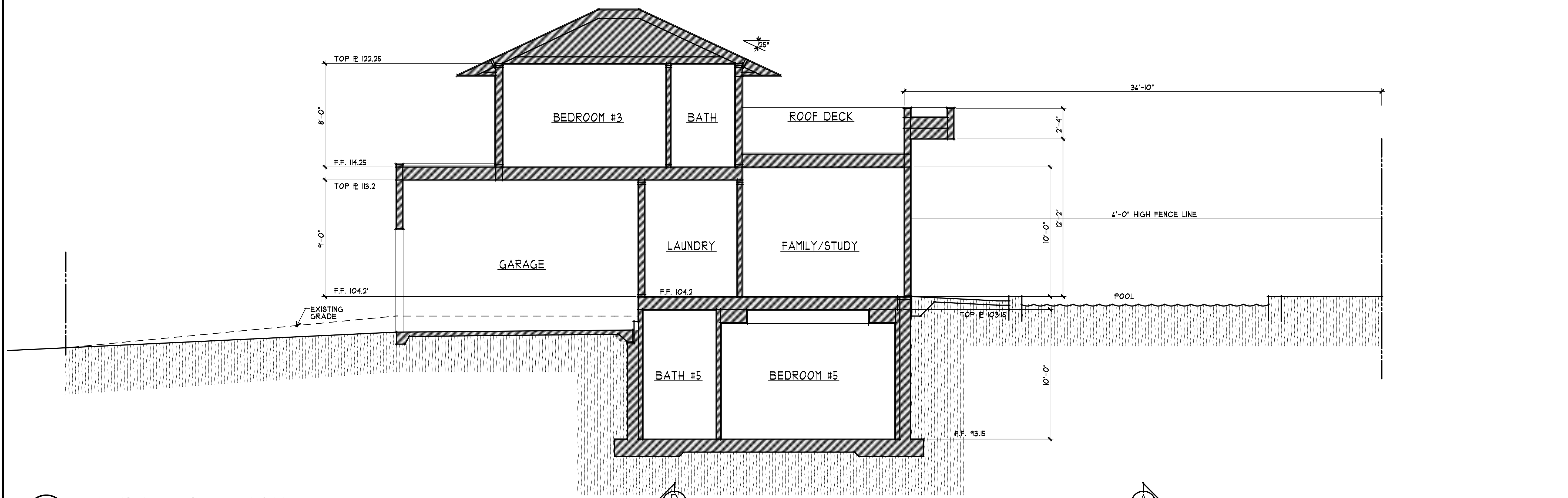
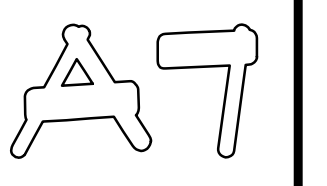
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ROOF PLAN  
BUILDING SECTION

revisions

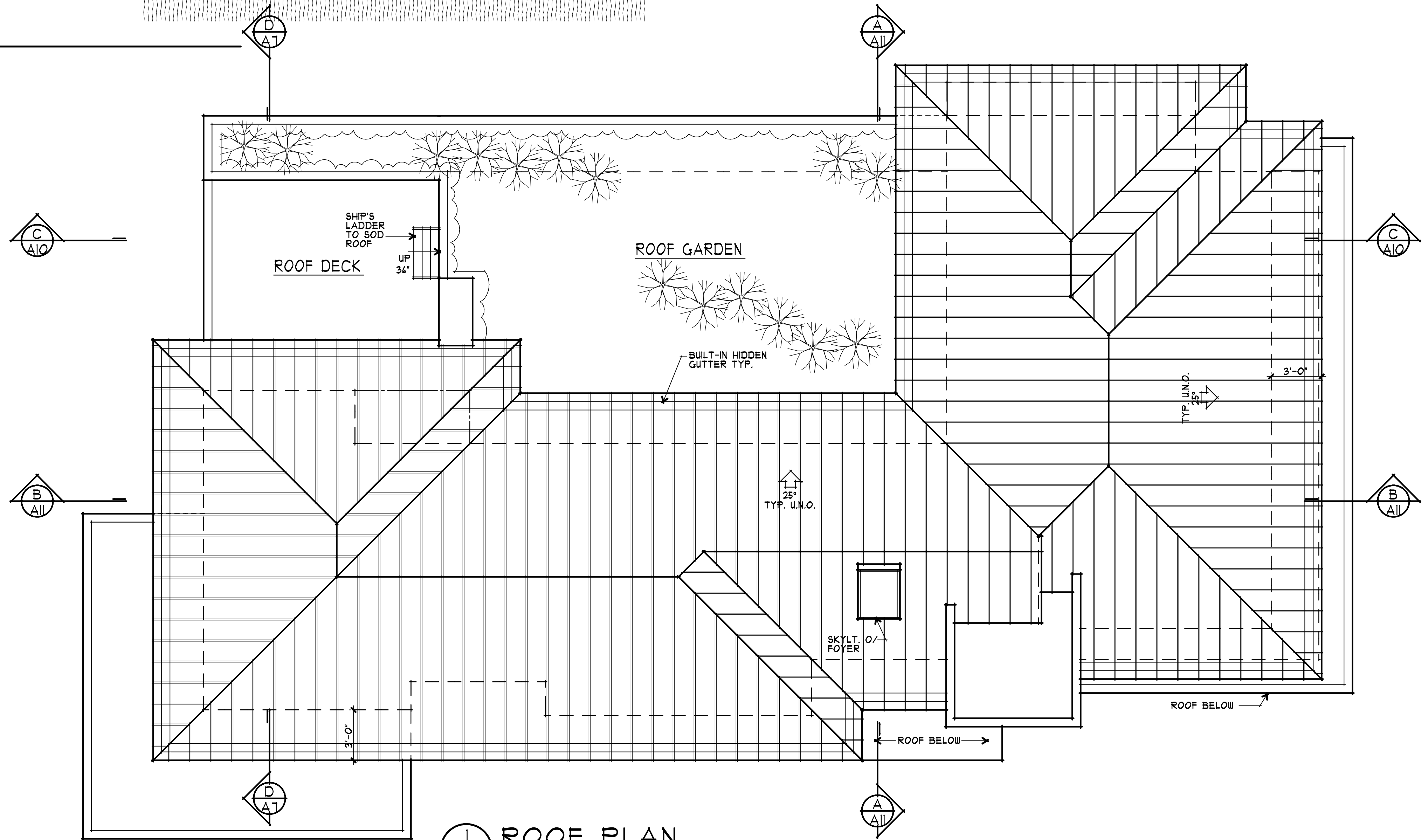
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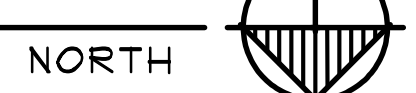
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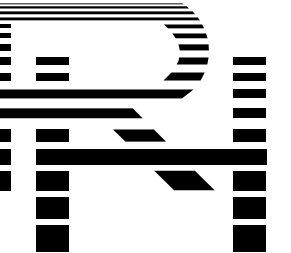
**D BUILDING SECTION**  
1/4" = 1'-0"  
0 1 3 4 10



**I ROOF PLAN**  
1/4" = 1'-0"  
0 1 3 4 10



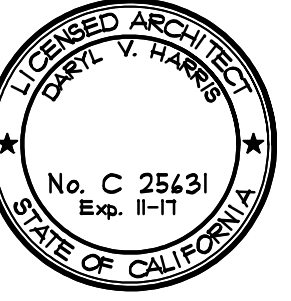
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ASSOCIATES  
ARCHITECTS

22867 SUNSET RIDGE DR.  
AUBURN, CA 95602  
530-268-3055

RONALD H. HARRIS  
DARYL V. HARRIS A.I.A.  
rhaarchitects.com  
rhassoc@sbcglobal.net



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**MURALI & PRIYA DHARAN**  
LOS ALTOS, CALIFORNIA  
**32 SAN JUAN COURT**

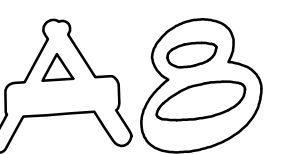
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EXTERIOR  
ELEVATIONS

revisions

project number  
2343

date  
JULY 27, 2017

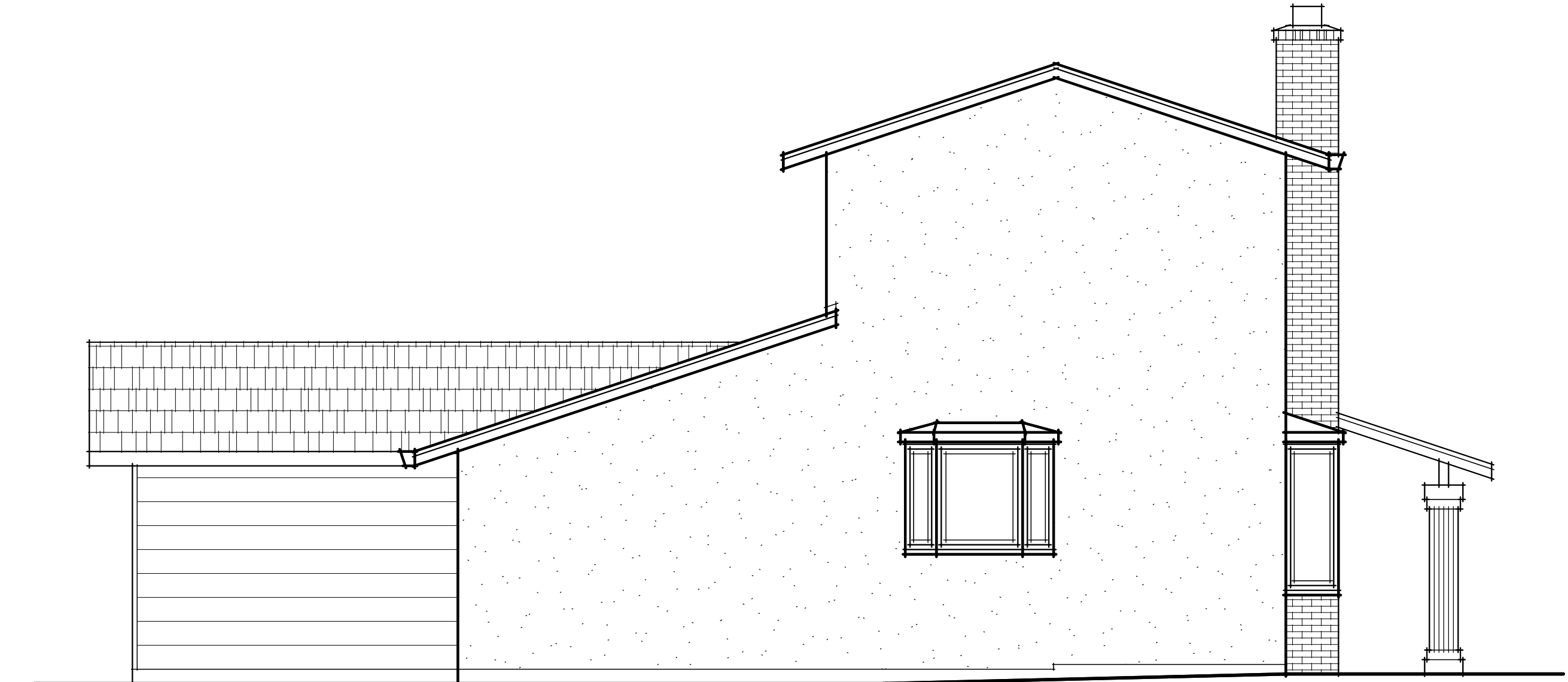
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1 EXISTING FRONT ELEVATION  
A8 1/4" = 1'-0" 0 1 3 4 10



2 EXISTING LEFT ELEVATION  
A8 1/4" = 1'-0" 0 1 3 4 10

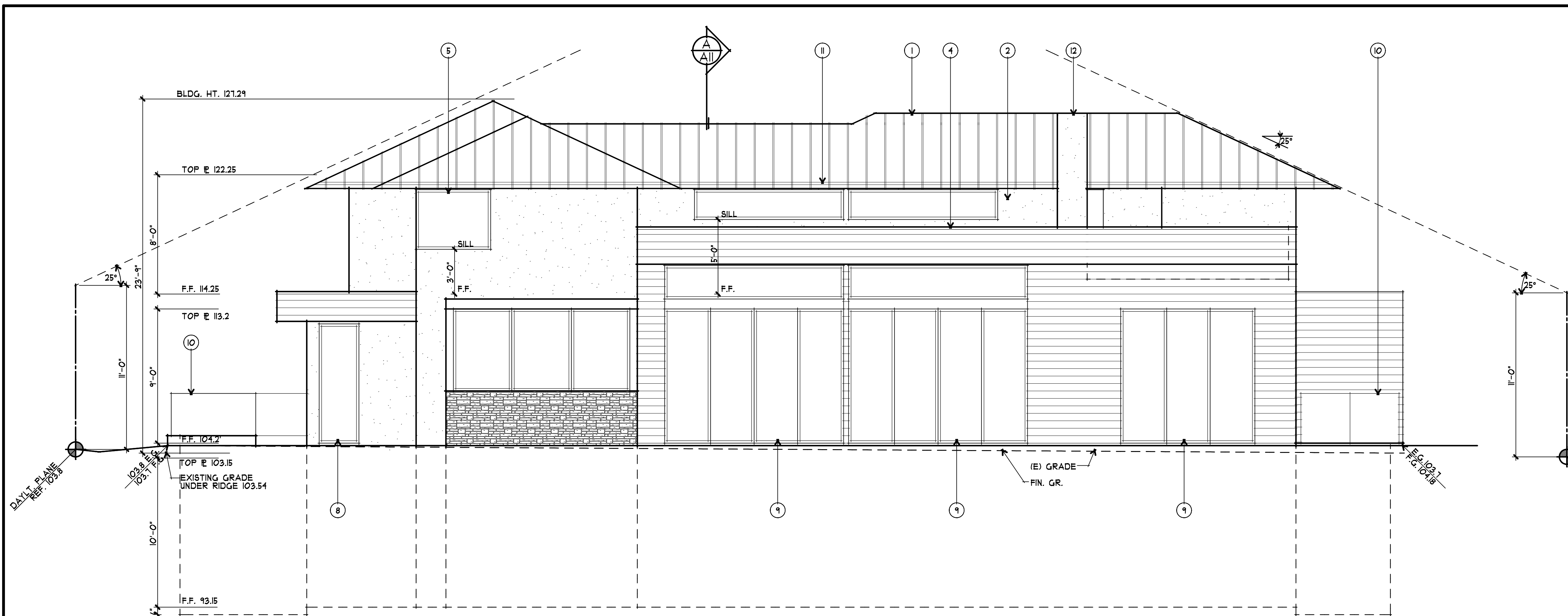


3 EXISTING RIGHT ELEVATION  
A8 1/4" = 1'-0" 0 1 3 4 10



4 EXISTING REAR ELEVATION  
A8 1/4" = 1'-0" 0 1 3 4 10



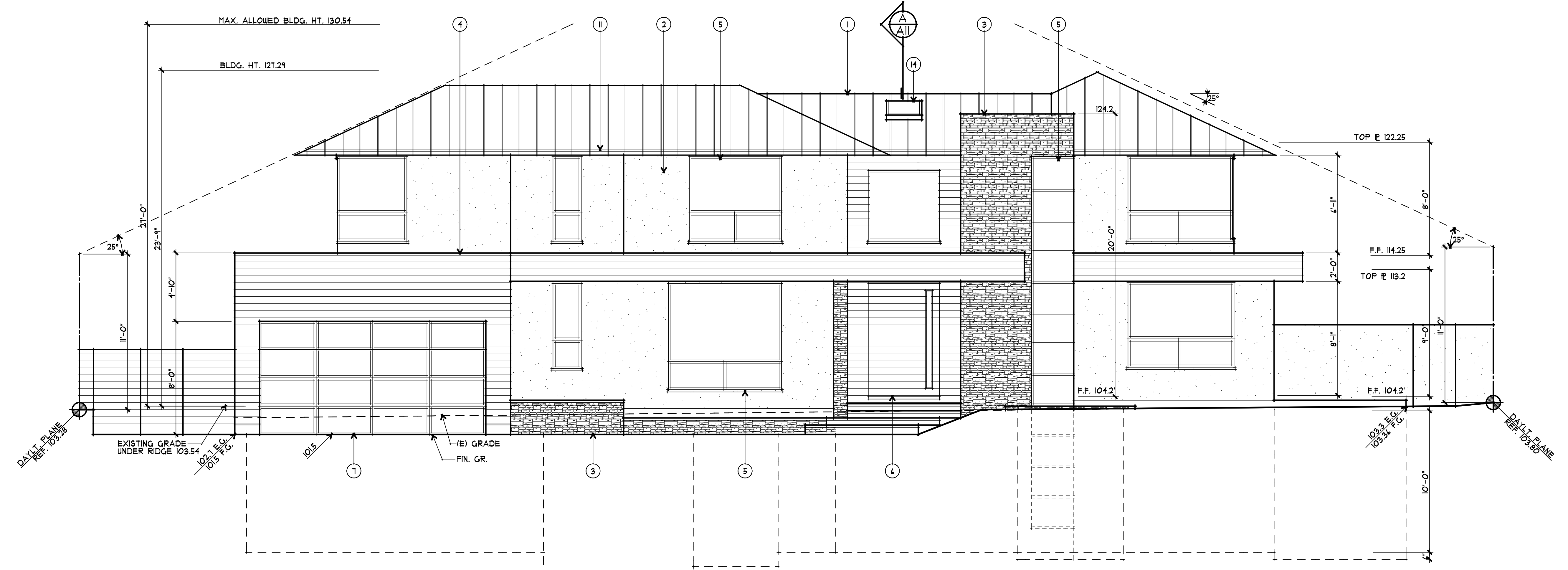


| EXTERIOR FINISH SCHEDULE |         |   |
|--------------------------|---------|---|
| LOCATION                 | KEYNOTE | MATERIAL/COLOR  |
| ROOF                     | ①       | STANDING SEAM METAL ROOF  |
| WALLS                    | ②       | STUCCO w/ SMOOTH FINISH   |
|                          | ③       | STONE VENEER  |
|                          | ④       | HORIZONTAL WOOD SIDING  |
| WINDOWS                  | ⑤       | VISTALUXE BY KOLBE WINDOWS & DOORS OR EQUAL                       |
|                          | ⑥       | WOOD ENTRY DOOR w/ GLASS & SIDELITES                              |
| DOORS                    | ⑦       | ALUMINUM FRAME WITH TEMPERED GLASS OVERHEAD SECTIONAL GARAGE DOOR |
|                          | ⑧       | WOOD FRENCH DOOR(S) VISTALUXE BY KOLBE DOORS & WINDOWS OR EQUAL   |
|                          | ⑨       | WOOD SLIDING DOOR(S) VISTALUXE BY KOLBE DOORS & WINDOWS OR EQUAL  |
|                          | ⑩       | TEMPERED GLASS  |
| RAILINGS                 | ⑪       | BUILT-IN CONCEALED G.I. GUTTER AND G.I. DOWNSPOUTS                |
| GUTTERS & DOWNSPOUTS     | ⑫       | STUCCO OVER WOOD FRAMING  |
| CHIMNEY                  | ⑬       | G.I. FLASHING - PAINT   |
| FLASHING                 | ⑭       | CURB MOUNTED BY VELUX OR EQUAL                                    |
| SKYLIGHTS                | ⑮       |   |
|                          | ⑯       |   |

**ASSOCIATES ARCHITECTS**  
 22867 SUNSET RIDGE DR.  
 AUBURN, CA 95602  
**530-268-3055**  
 RONALD H. HARRIS  
 DARYL V. HARRIS A.I.A.  
 rhaarchitects.com  
 rhassoc@sbccglobal.net

LICENSED ARCHITECT  
 DARYL V. HARRIS  
 No. C 25431  
 Exp. 8-17  
 STATE OF CALIFORNIA

1 REAR (SOUTH) ELEVATION  
 1/4" = 1'-0" 0 1 3 6 10

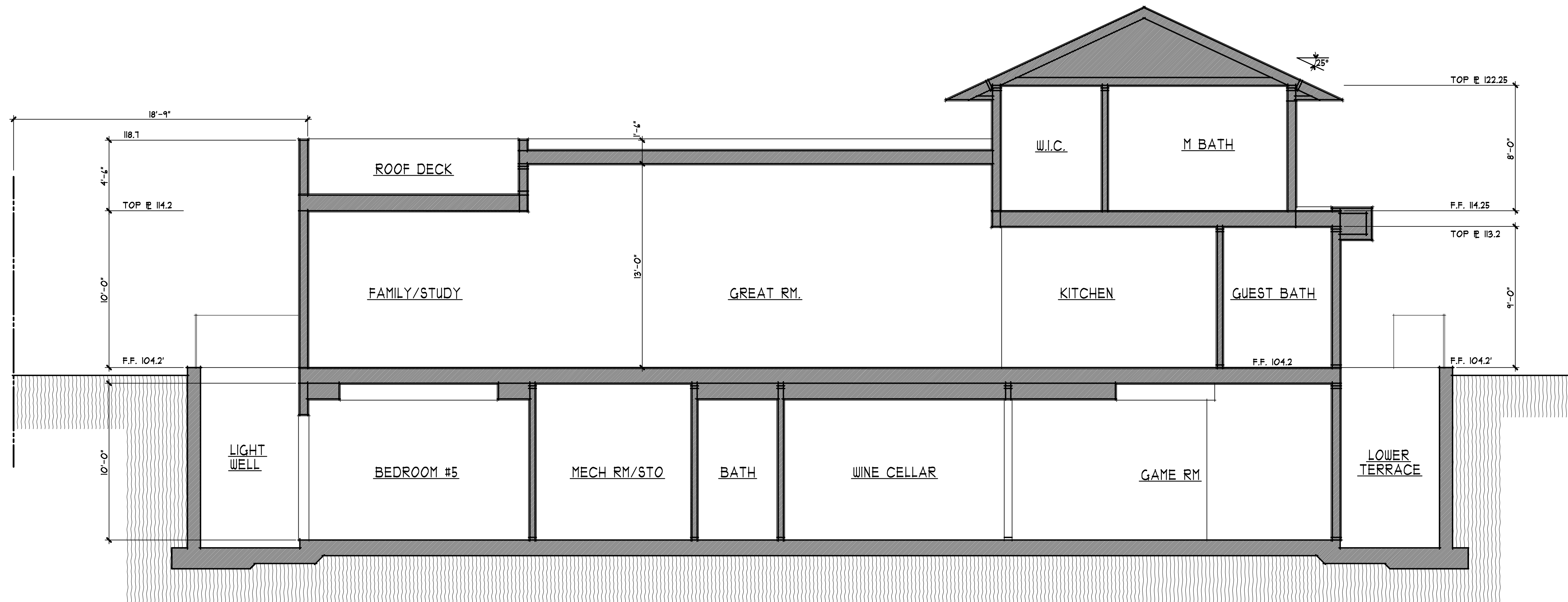


2 FRONT (NORTH) ELEVATION  
 1/4" = 1'-0" 0 1 3 6 10

A PROPOSED REMODEL & ADDITION FOR:  
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 LOS ALTOS, CALIFORNIA  
 32 SAN JUAN COURT

|                |                     |
|----------------|---------------------|
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| revisions      |                     |
| project number | 2343                |
| date           | JULY 27, 2017       |
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A9

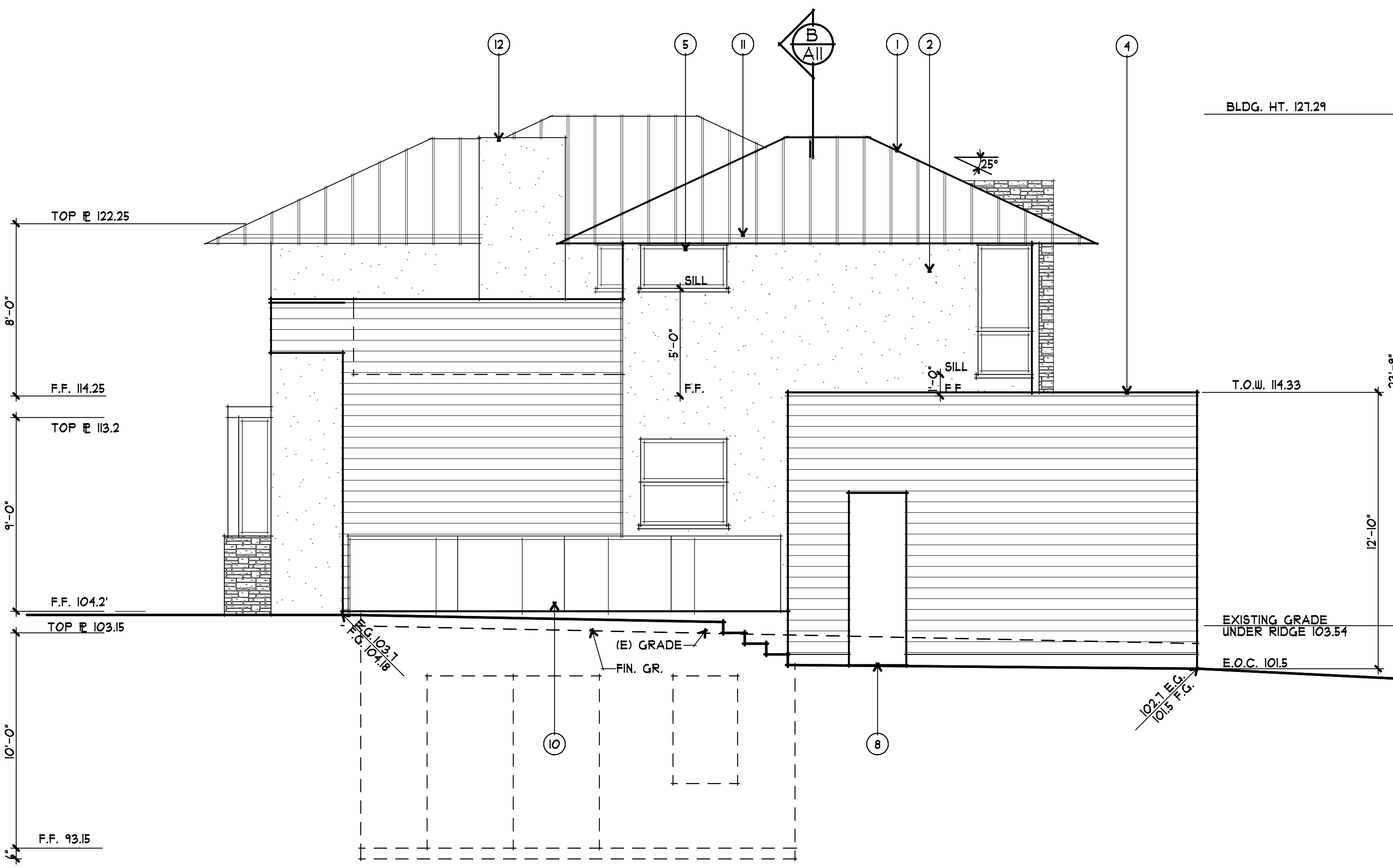


**C BUILDING SECTION**  
 1/4" = 1'-0"  
 0 1 3 6 10

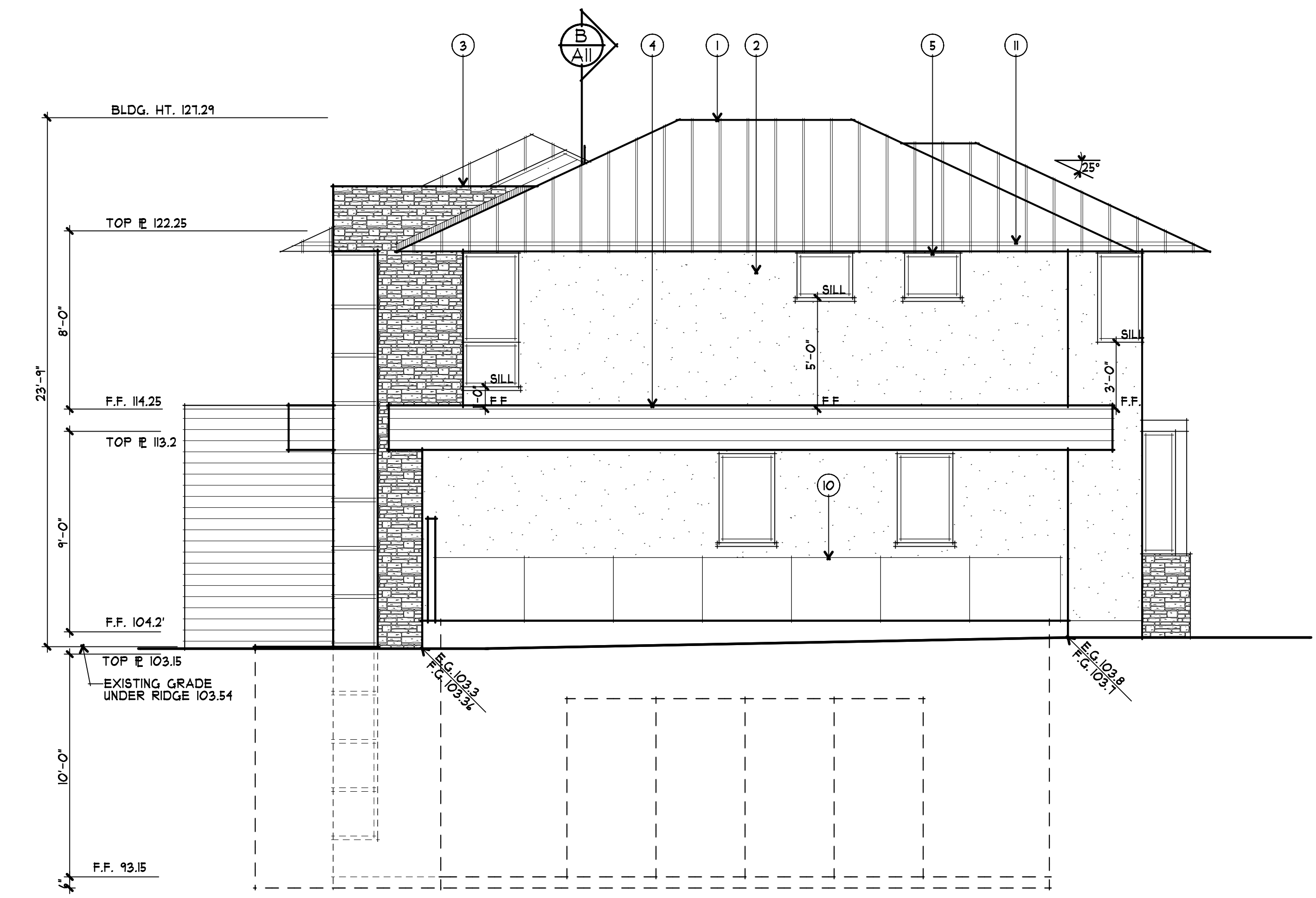
| EXTERIOR FINISH SCHEDULE |         |   |
|--------------------------|---------|---|
| LOCATION                 | KEYNOTE | MATERIAL/COLOR  |
| ROOF                     | (1)     | STANDING SEAM METAL ROOF  |
| WALLS                    | (2)     | STUCCO W/ SMOOTH FINISH   |
|                          | (3)     | STONE VENEER  |
|                          | (4)     | HORIZONTAL WOOD SIDING  |
|                          | (5)     | VISTALUXE BY KOLBE WINDOWS + DOORS OR EQUAL                       |
| WINDOWS                  | (5)     | VISTALUXE BY KOLBE WINDOWS + DOORS OR EQUAL                       |
| DOORS                    | (4)     | WOOD ENTRY DOOR W/ GLASS + SIDELITES                              |
|                          | (1)     | ALUMINUM FRAME WITH TEMPERED GLASS OVERHEAD SECTIONAL GARAGE DOOR |
|                          | (8)     | WOOD FRENCH DOOR(S) VISTALUXE BY KOLBE DOORS + WINDOWS OR EQUAL   |
|                          | (9)     | WOOD SLIDING DOOR(S) VISTALUXE BY KOLBE DOORS + WINDOWS OR EQUAL  |
| RAILINGS                 | (10)    | TEMPERED GLASS  |
| GUTTERS + DOWNSPOUTS     | (11)    | BUILT-IN CONCEALED G.I. GUTTER AND G.I. DOWNSPOUTS                |
| CHIMNEY                  | (12)    | STUCCO OVER WOOD FRAMING  |
| FLASHING                 | (13)    | G.I. FLASHING - PAINT   |
| SKYLIGHTS                | (14)    | CURB MOUNTED BY VELUX OR EQUAL                                    |
|                          | (15)    |   |
|                          | (16)    |   |
|                          | (17)    |   |

**ASSOCIATES ARCHITECTS**  
 22867 SUNSET RIDGE DR.  
 AUBURN, CA 95602  
**530-268-3055**  
 RONALD H. HARRIS  
 DARYL V. HARRIS A.I.A.  
 rhaarchitects.com  
 rhassoc@sbcglobal.net

REGISTERED ARCHITECT  
 DARYL V. HARRIS  
 No. C 25431  
 Exp. 8-17  
 STATE OF CALIFORNIA



**1 LEFT (EAST) ELEVATION**  
 1/4" = 1'-0"  
 0 1 3 6 10

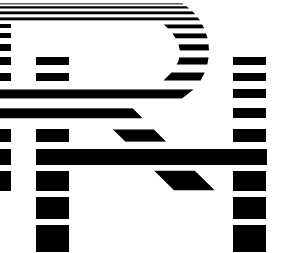


**2 RIGHT (WEST) ELEVATION**  
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 0 1 3 6 10

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**32 SAN JUAN COURT**

|                |                     |
|----------------|---------------------|
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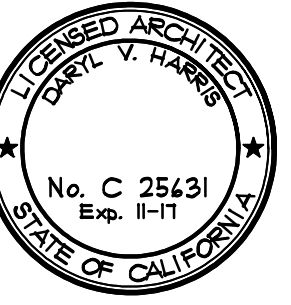
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ASSOCIATES  
ARCHITECTS

22867 SUNSET RIDGE DR.  
AUBURN, CA 95602  
530-268-3055

RONALD H. HARRIS  
DARYL V. HARRIS A.I.A.  
rhaarchitects.com  
rhassoc@sbcglobal.net



A PROPOSED REMODEL & ADDITION FOR:  
**MURALI & PRIYA DHARAN**  
LOS ALTOS, CALIFORNIA

32 SAN JUAN COURT

drawings  
BUILDING  
SECTIONS

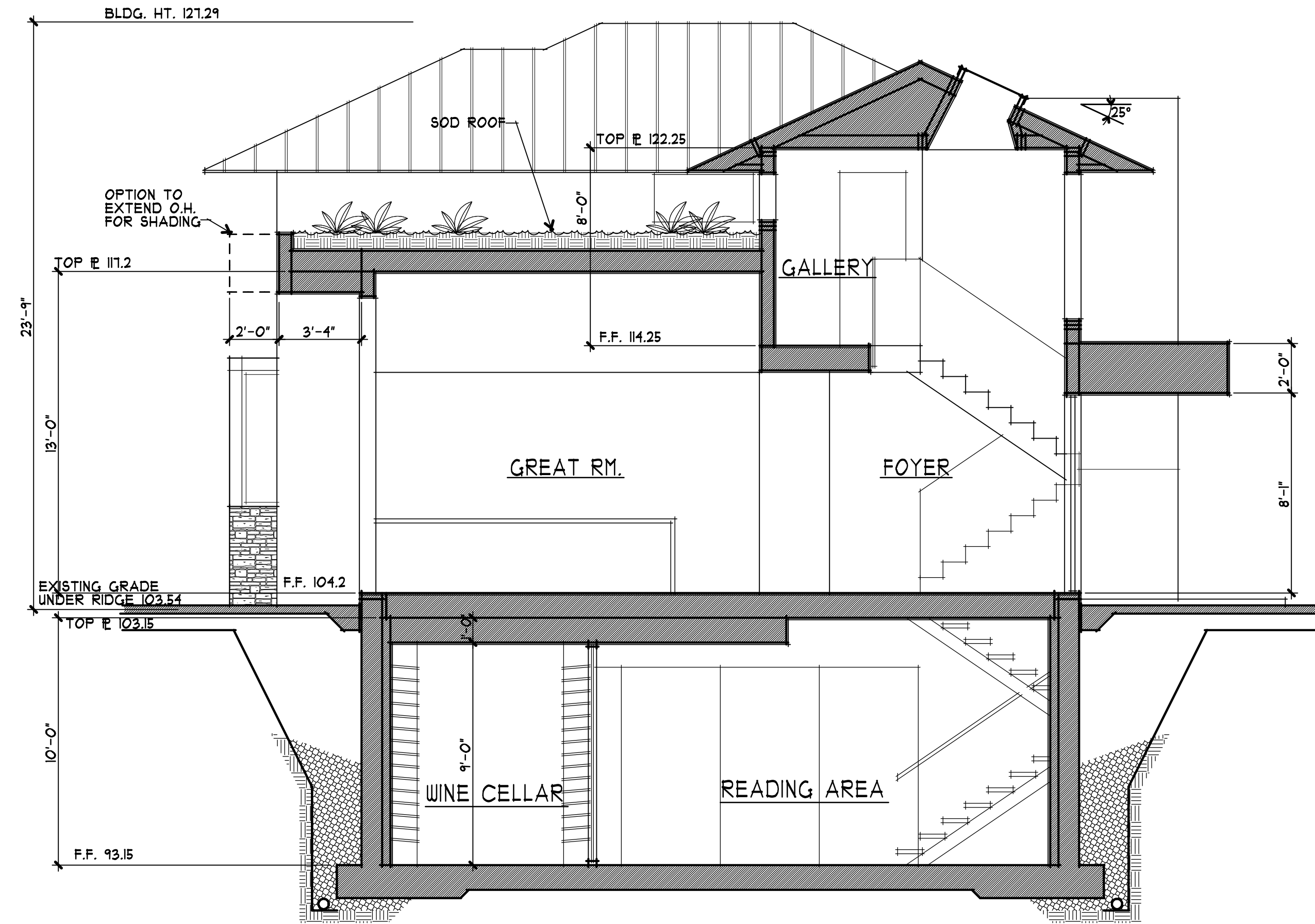
revisions

project number  
2343

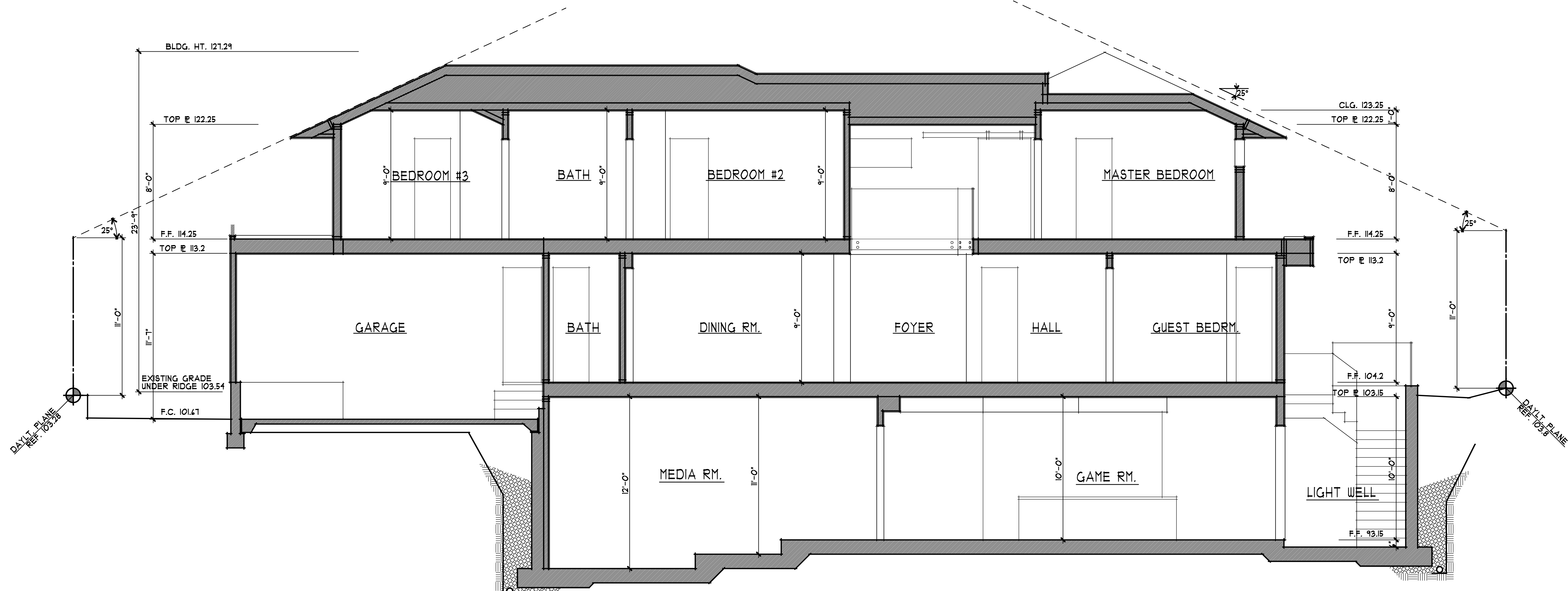
date  
JULY 27, 2017

sheet number

A11



**A** BUILDING SECTION  
1/4" = 1'-0" 0 1 3 4 10



**B** BUILDING SECTION  
1/4" = 1'-0" 0 1 3 4 10

17-21-2017 3:00 PM

**GRADING & DRAINAGE NOTES:**

NOTE: THIS DRAWING IS APPROVED SUBJECT TO:

- ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY, PERMITTEE OR REPRESENTATIVE SHALL NOTIFY THE CITY OF LOS ALTOS DEPARTMENT OF PUBLIC WORKS PROJECT INSPECTOR AT LEAST 48 HOURS BEFORE START OF ANY GRADING.
- APPROVAL OF THIS PLAN APPLIES ONLY TO (A) THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS, (B) THE INSTALLATION OF ON-SITE (I.E. PRIVATE PROPERTY) STORM WATER CONVEYANCE AND TREATMENT FACILITIES THAT ARE OUTSIDE OF THE 5-FOOT BUILDING ENVELOPE, AND (C) THE INSTALLATION OF RETAINING STRUCTURES. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS WITH THE EXCEPTION OF THOSE LISTED ABOVE. PROPOSED IMPROVEMENTS, WITH THE EXCEPTION OF THOSE LISTED ABOVE, ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- UNLESS OTHERWISE NOTED ON THE PLAN, ANY DEPICTION OF A RETAINING STRUCTURE ON THIS PLAN SHALL NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OF THE RETAINING STRUCTURE UNLESS A SEPARATE STRUCTURAL REVIEW, BY THE DEPARTMENT OF PUBLIC WORKS IS COMPLETED AND APPROVED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE MARIN COUNTY CORONER IMMEDIATELY.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
- FOR NON-RESIDENTIAL PROJECTS, ANY NON-HAZARDOUS EXPORT RESULTING FROM PROJECT RELATED EXCAVATION OR LAND CLEARING SHALL BE 100% REUSED AND RECYCLED PER CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 5.408.
- ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER.
- THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- PERIMETER BUILDING GRADES SHALL SLOPE AWAY FROM BUILDINGS AT LEAST 5% MINIMUM
- ALL DOWNSPOUTS SHALL HAVE SPLASH BOXES AS SHOWN ON THE GRADING AND DRAINAGE PLAN. DIRECTION OF THE FLOW SHALL BE AWAY FROM THE BUILDING.

**BENCH MARK**

DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE NORTHERLY WESTERLY CORNER OF LOT AS SHOWN: ELEV.: 100.00'

| DESCRIPTION                   | SYMBOL |
|-------------------------------|--------|
| BOUNDARY LINE                 | ---    |
| LOT LINE                      | ---    |
| EASEMENT LINE                 | ---    |
| SIDEWALK                      | ---    |
| WOOD FENCE                    | X X    |
| CHAIN LINK FENCE              | X X    |
| RETAINING WALL                | ---    |
| DRIVEWAY DRAIN INLET          | ---    |
| AREA DRAIN                    | ---    |
| DROP INLET                    | ---    |
| MONUMENT                      | ---    |
| FIRE HYDRANT                  | ---    |
| ELECTRICAL                    | ---    |
| WATER METER                   | ---    |
| AC UNIT                       | ---    |
| SANITARY SEWER LATERAL        | ---    |
| STORM DRAIN                   | ---    |
| SANITARY SEWER                | ---    |
| STREET LIGHT CONDUITS         | ---    |
| WATER                         | ---    |
| JOINT TRENCH                  | ---    |
| HOUSE SERVICE                 | ---    |
| SLOPE ARROW                   | ---    |
| EXISTING CONTOUR              | ---    |
| PROPOSED CONTOUR              | ---    |
| OVERLAND RELEASE              | ---    |
| DIRECTION OF SURFACE DRAINAGE | ---    |
| SEE SLOPE AWAY FROM BUILDING  | ---    |

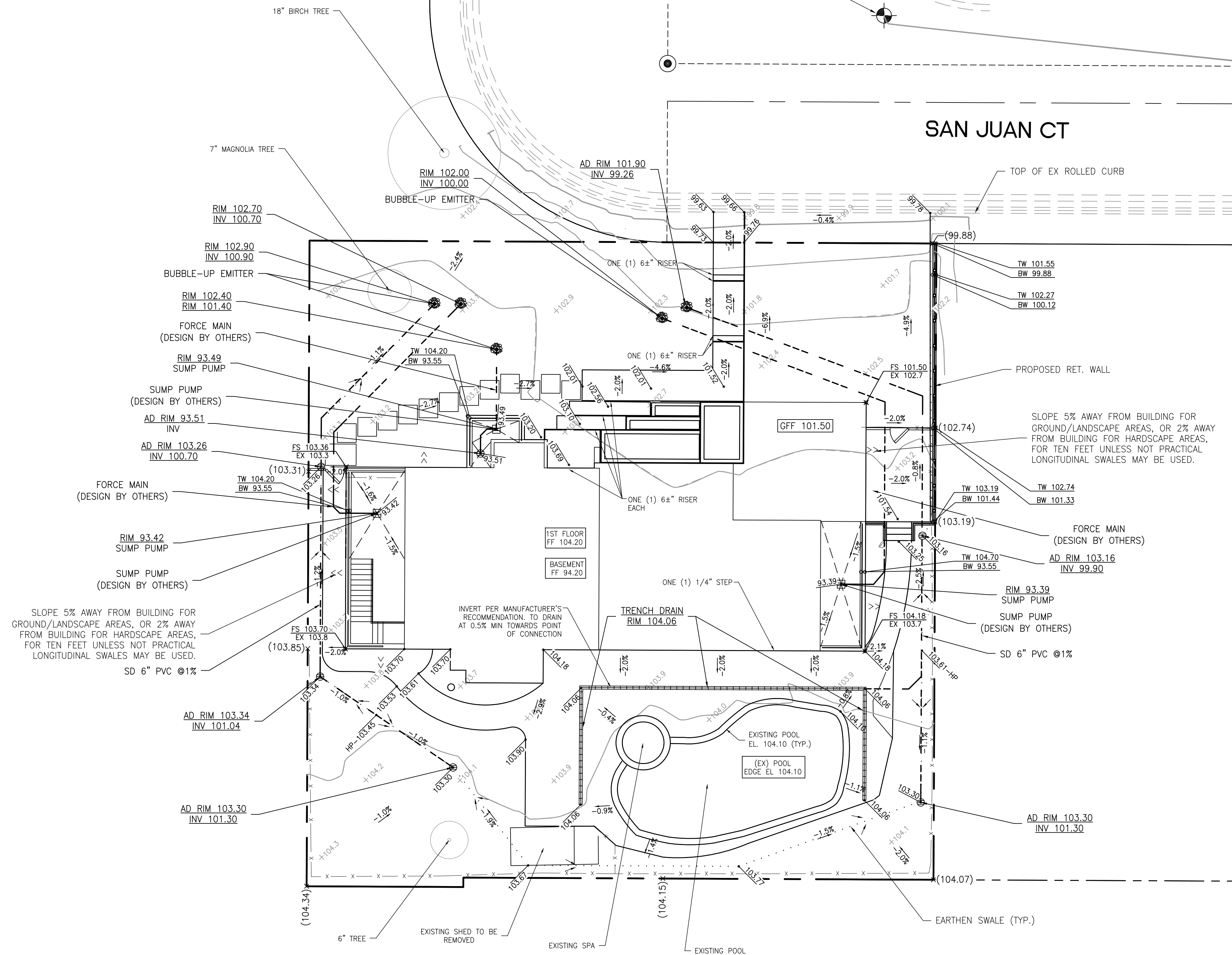
**ABBREVIATIONS**

|                                |                                      |
|--------------------------------|--------------------------------------|
| AC = ASPHALT CONCRETE          | LP = LOW POINT                       |
| AD = AREA DRAIN                | PAD = PAD ELEVATION                  |
| BC = BEGIN CURVE               | PCC = PORTLAND CEMENT CONCRETE       |
| BS = BOTTOM OF STAIR           | PL = PROPERTY LINE                   |
| BU = BUBBLE UP                 | PV = PAVEMENT GRADE                  |
| BVC = BEGIN VERTICAL CURVE     | PVC = POLYVINYL CHLORIDE PIPE        |
| BRW = BOTTOM OF RETAINING WALL | PVI = POINT OF VERTICAL INTERSECTION |
| CB = CATCH BASIN               | RCP = REINFORCED CONCRETE PIPE       |
| CL = CENTERLINE                | ROW = RIGHT OF WAY                   |
| CO = CLEANOUT                  | S=00%> SLOPE                         |
| DS = DOWNSPOUT WITH SPLASH BOX | SD = STORM DRAIN                     |
| EC = END CURVE                 | SDMH = STORM DRAIN MANHOLE           |
| ELEV. = ELEVATION              | SG = SUBGRADE ELEVATION              |
| EVC = END VERTICAL CURVE       | SS = SANITARY SEWER                  |
| EX = EXISTING                  | SSMH = SANITARY SEWER MANHOLE        |
| F/C = FACE OF CURB             | STA = STATION                        |
| FF = FINISHED FLOOR ELEVATION  | TC = TOP OF CURB                     |
| FL = FIRE HYDRANT              | TF = TOP OF FENCE                    |
| FL = FLOW LINE                 | TRW = TOP OF RETAINING WALL          |
| GB = GRADE BREAK               | TS = TOP OF STAIR                    |
| GFF = GARAGE FINISH FLOOR      | TW = TOP OF WALL                     |
| HP = HIGH POINT                | VCP = VITRIFIED CLAY PIPE            |
| HC = HANDICAP UNIT             | WM = WATER METER                     |
| INV = INVERT                   | WV = WATER VALVE                     |

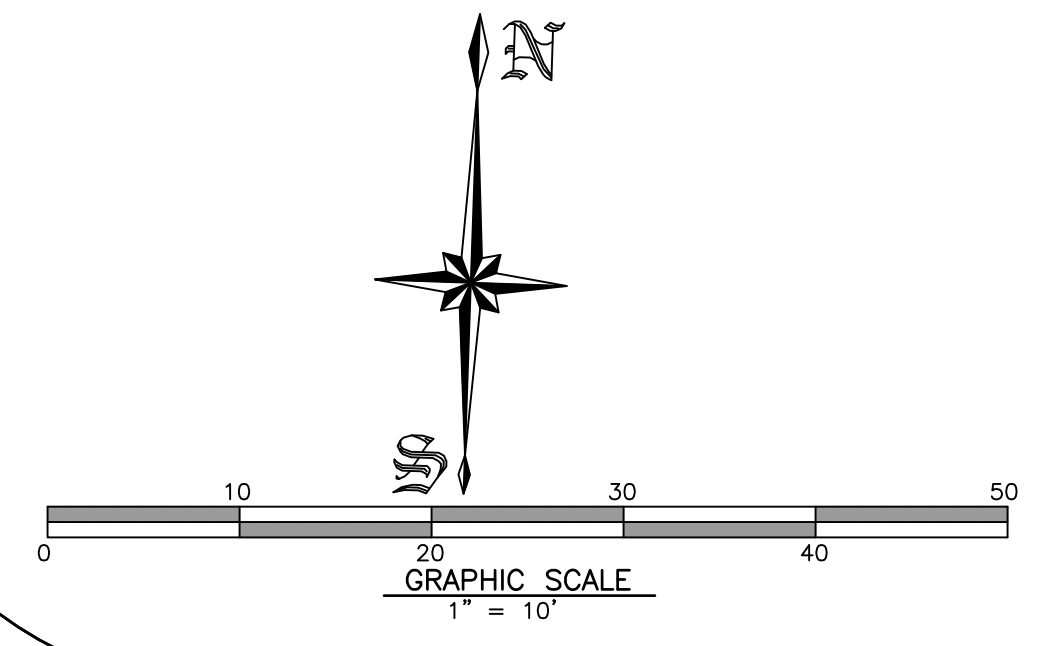
**EARTH WORK QUANTITIES**

|         |          |
|---------|----------|
| CUT:    | 1,090 CY |
| FILL:   | 10 CY    |
| EXPORT: | 1,080 CY |
| IMPORT: | 0 CY     |

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.



**SAN JUAN CT**



| NO. | DATE | BY | CITY | REVISIONS |
|-----|------|----|------|-----------|
|     |      |    |      |           |
|     |      |    |      |           |
|     |      |    |      |           |
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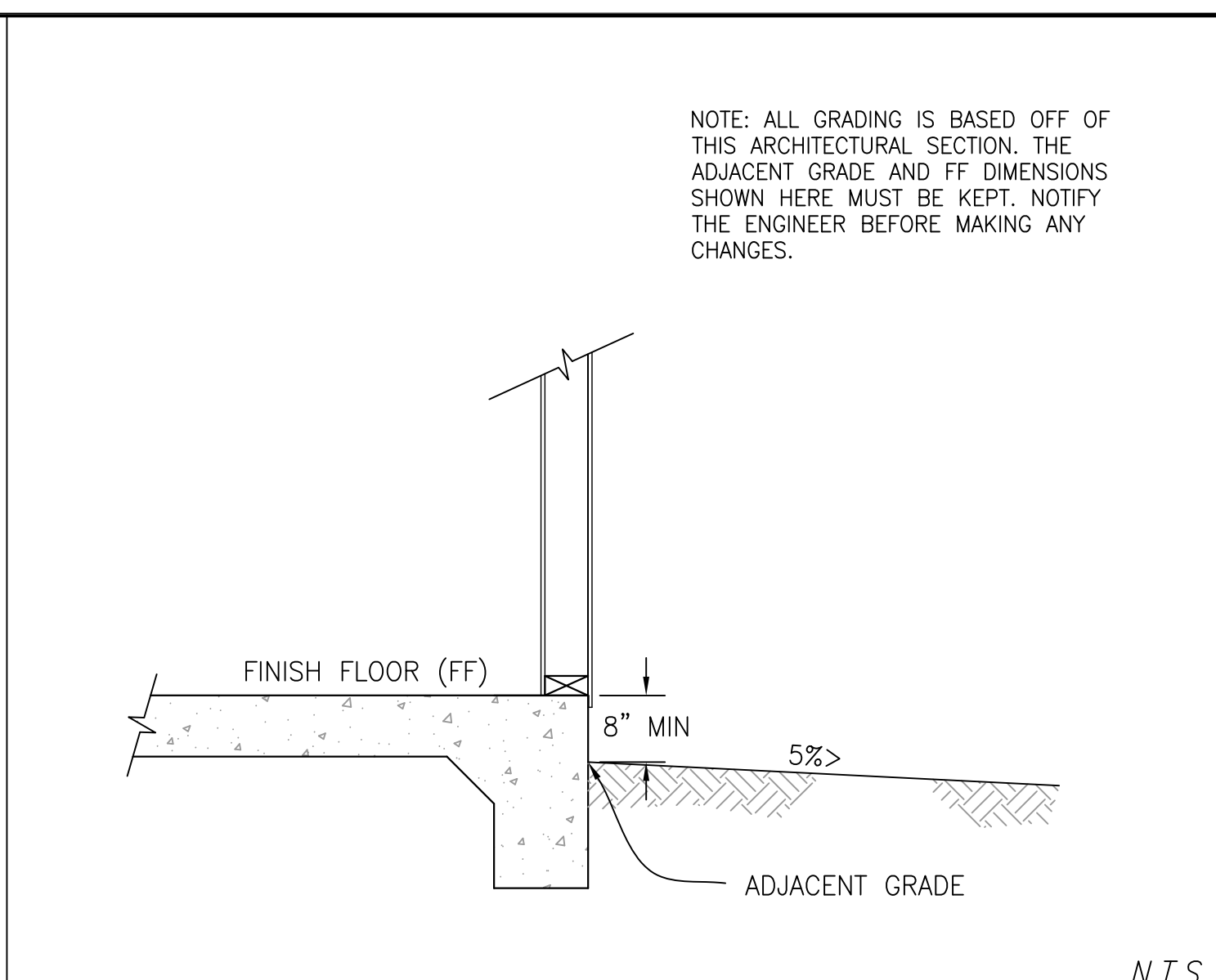
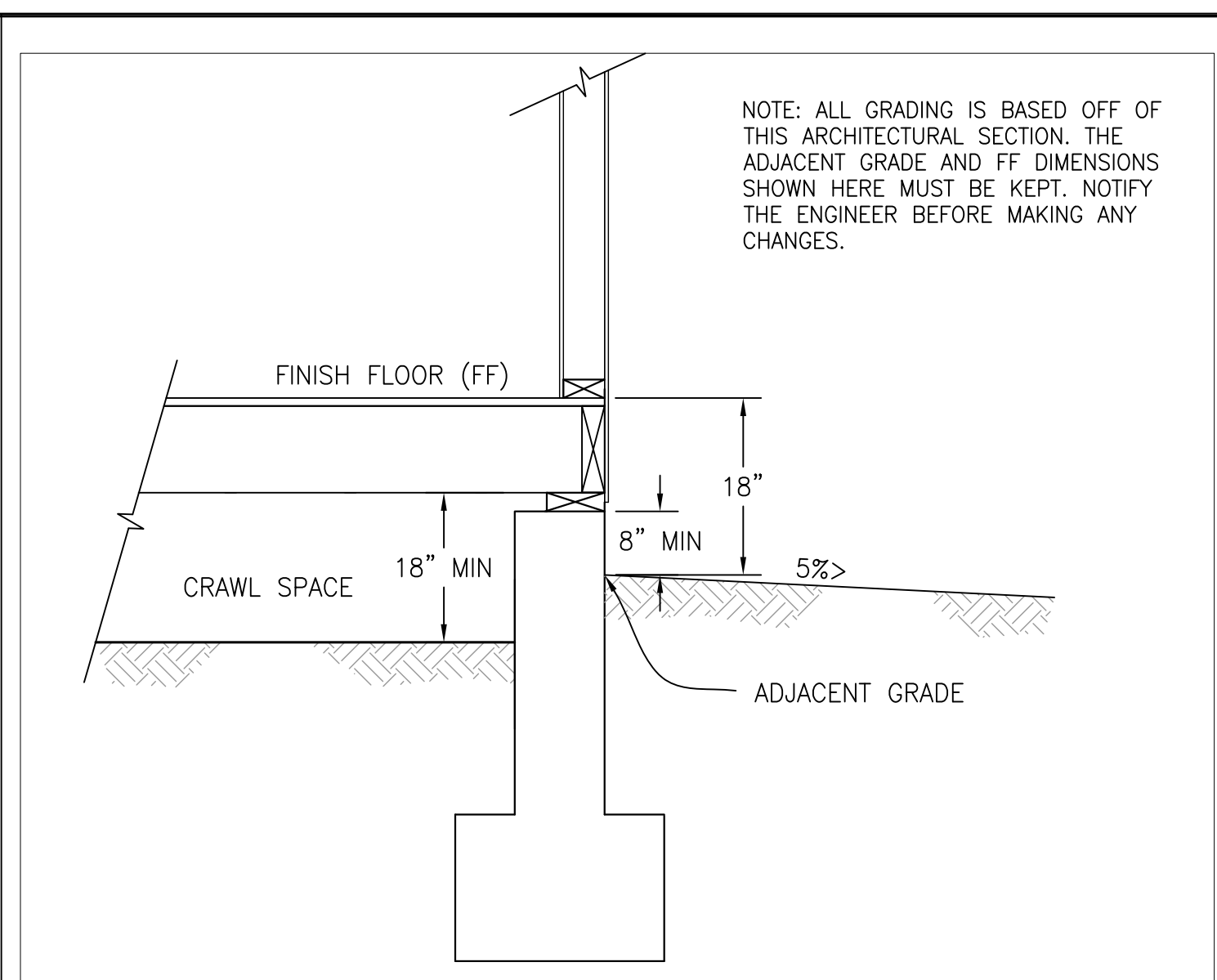
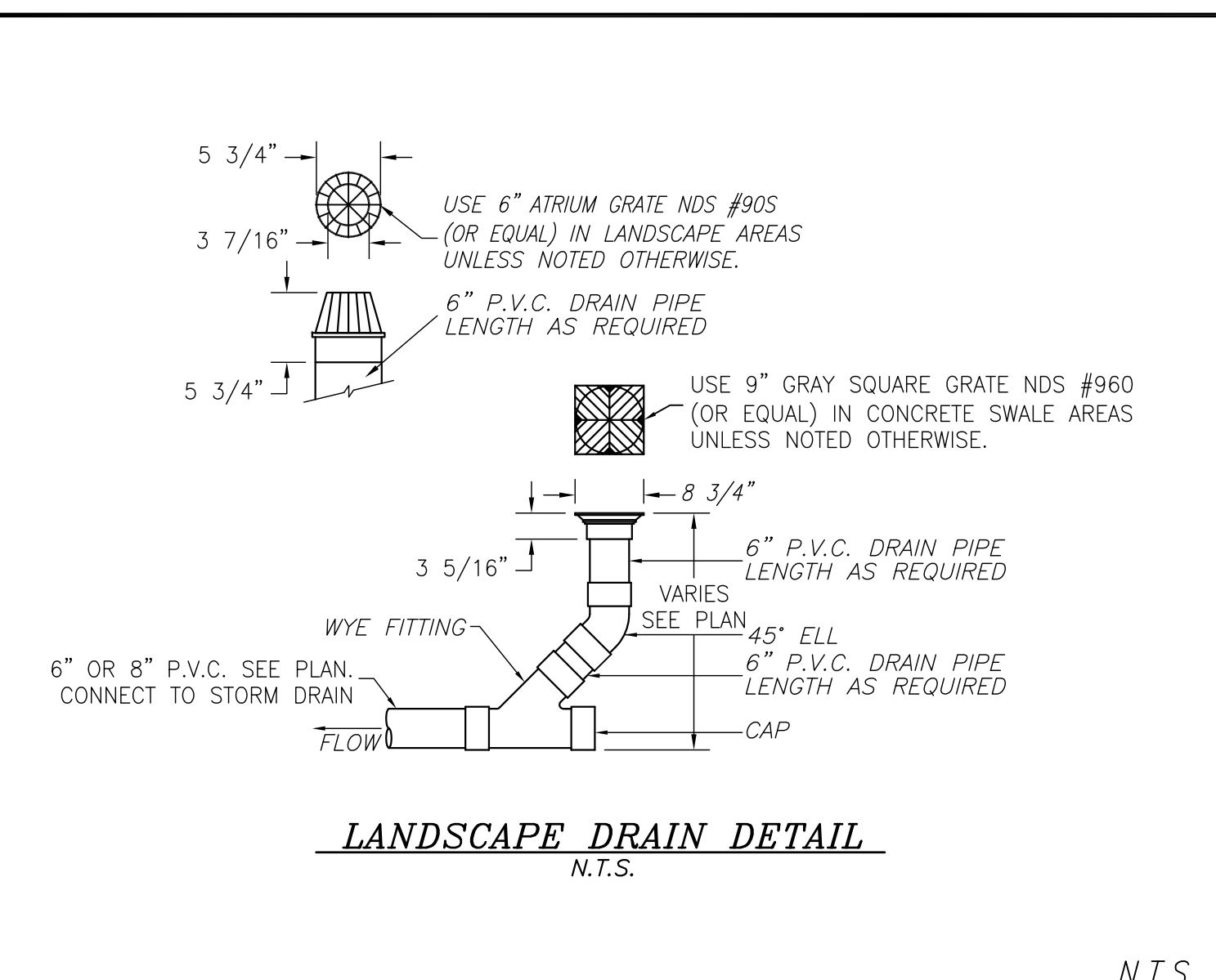
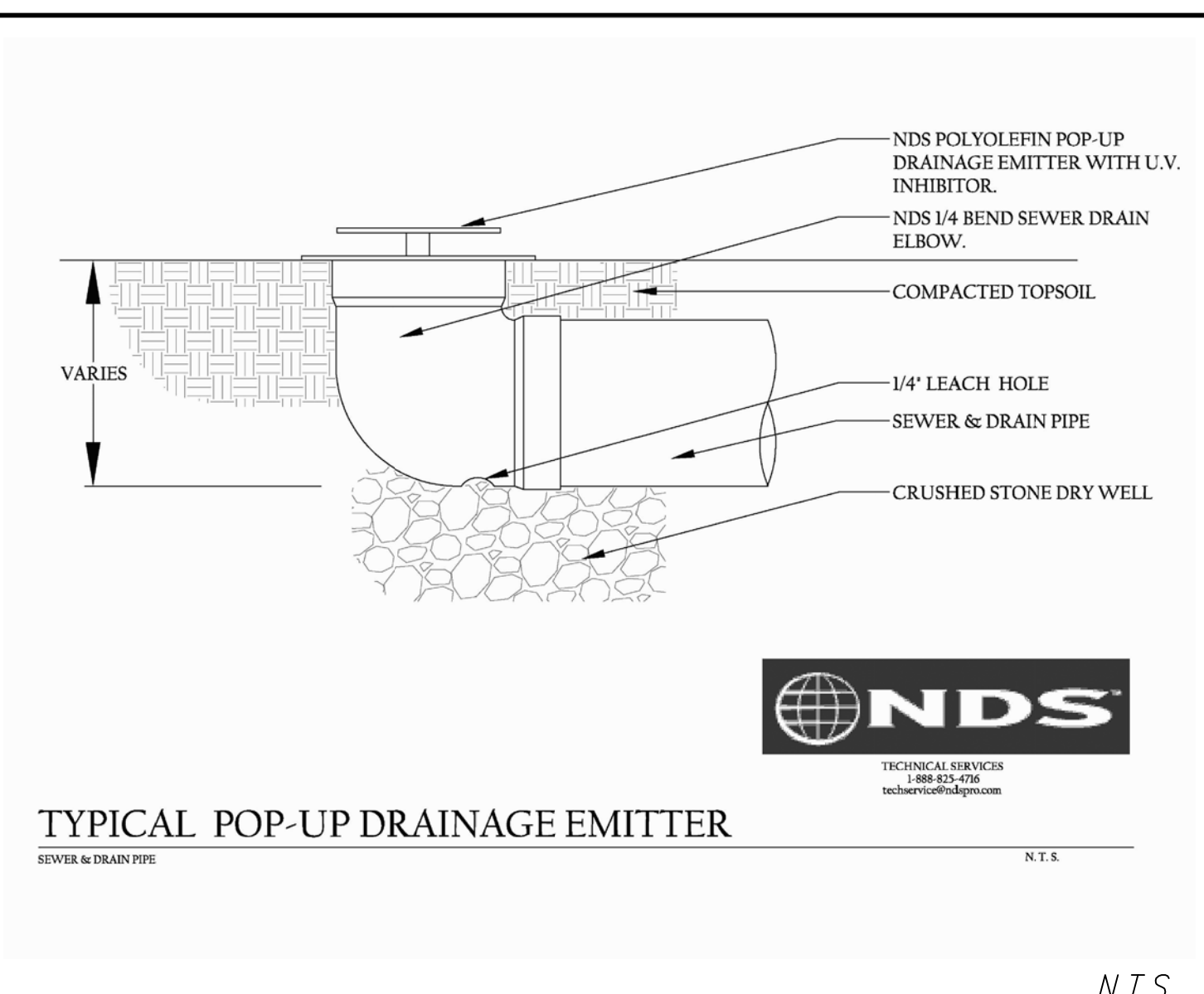
**P. Oscar Osuna**  
 PORFIRIO OSCAR OSUNA  
 RCE 70829 EXP. 6-30-17

**GreenBluEarth Inc.**  
 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
 117 BERNAL RD. STE. 70-336  
 SAN JOSE, CA 95119  
 TEL: (408) 772-4381  
 Osumadengineering@gmail.com

**GRADING AND DRAINAGE PLAN**  
**PROPOSED NEW RESIDENCE**  
**32 SAN JUAN CT**  
 CITY OF LOS ALTOS CALIFORNIA  
 Project No.: 1448 Design: J.O/O.C. Check: O.C. Date: 06/16/17

**SHEET**  
**C1**  
 OF 3 SHEETS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS RESPONSIBILITY SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL MAINTAIN THE NECESSARY SAFETY OF ALL PERSONS AND PROPERTY AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

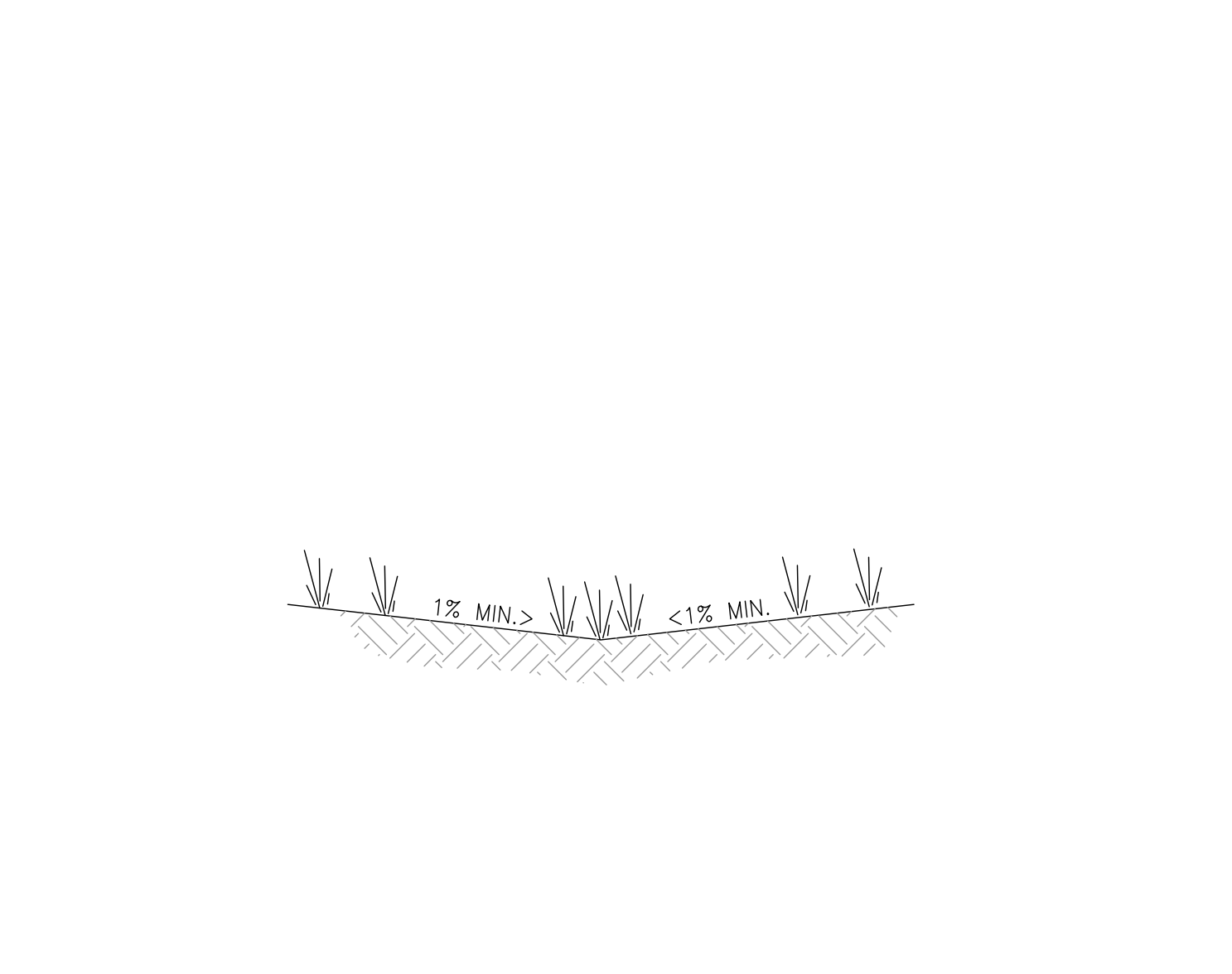


A BUBBLE-UP EMITTER DETAIL

B AREA DRAIN DETAIL

C TYPICAL FOUNDATION/FF/GROUND SECTION

D TYPICAL FOUNDATION/FF/GROUND SECTION



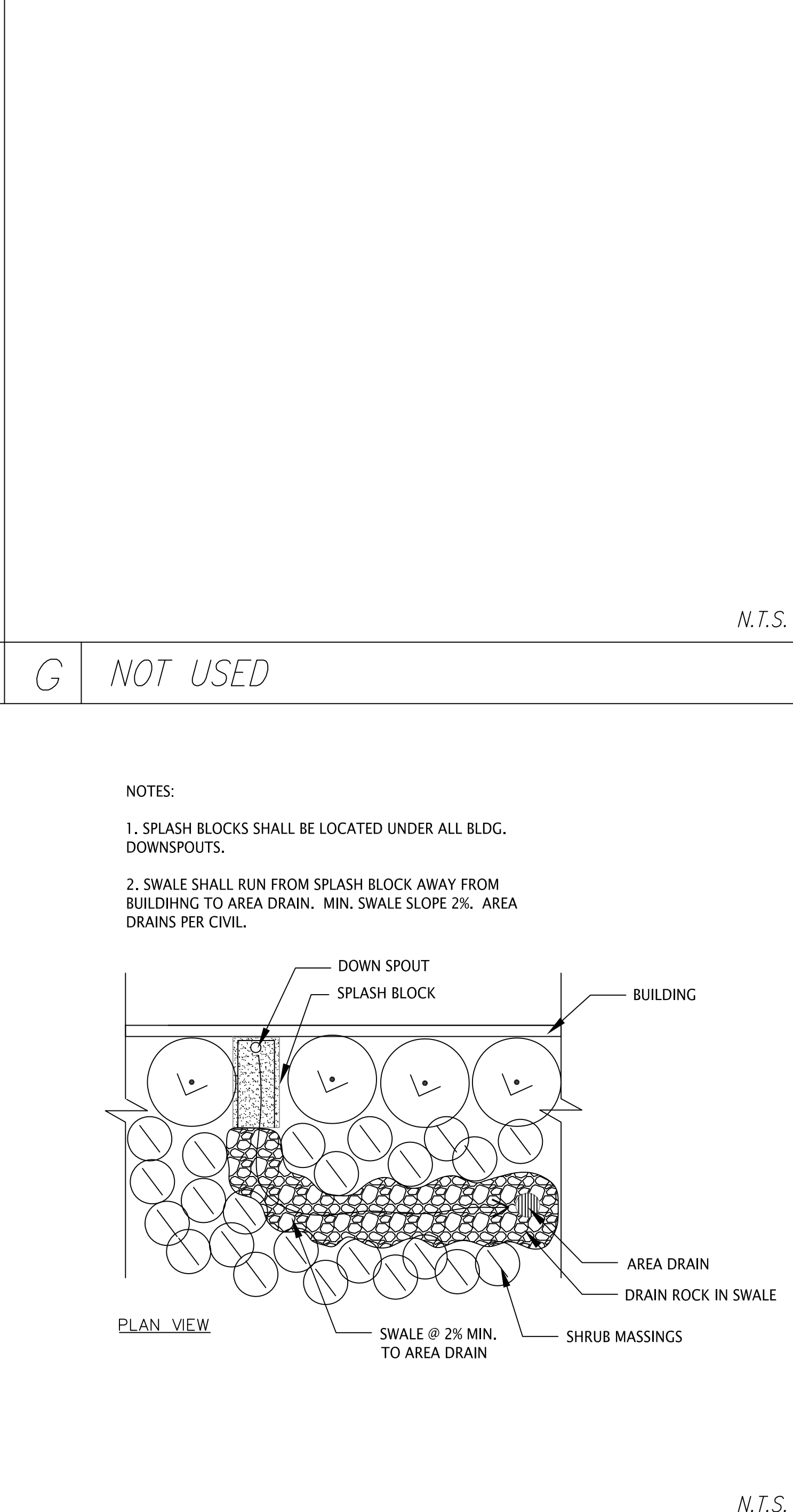
F NOT USED

G NOT USED

H NOT USED

I NOT USED

**SPLASH BLOCK IMAGE**



H NOT USED

I NOT USED

J SPLASH BLOCK DETAIL

N.T.S.

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |
|     |      |    |           |

PROFESSIONAL ENGINEER  
PORFIRIO OSCAR OSUNA  
No. 70829  
Exp. 6-30-17  
CIVIL  
STATE OF CALIFORNIA

*P. Oscar Osuna*  
PORFIRIO OSCAR OSUNA  
RCE 70829 EXP. 6-30-17

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117 BERWAL RD. STE. 70-336  
SAN JOSE, CA 95119  
TEL: (408) 772-4381  
OSUNAEENGINEERING@GMAIL.COM

GRADING AND DRAINAGE PLAN  
CONSTRUCTION DETAILS  
32 SAN JUAN CT  
CITY OF LOS ALTOS  
Project No.: 1448  
Design: J.O./O.C.  
Check: O.C.  
Date: 06/16/17  
CALIFORNIA

SHEET  
**C2**  
OF 3 SHEETS

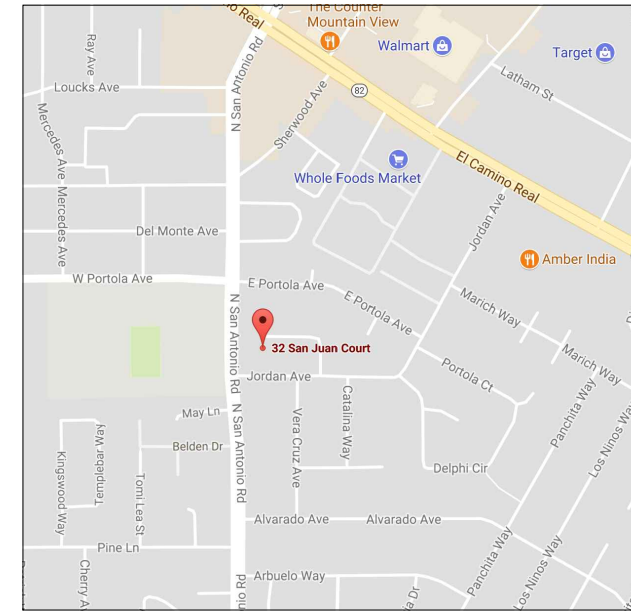


# LANDSCAPE PERMIT SET

## SHEET INDEX:

- L1 - COVER PAGE
- L2 - EXISTING/DEMO LANDSCAPE PLAN
- L3 - LANDSCAPE PROPOSED PLAN
- L4 - LANDSCAPE PROPOSED PLAN, ROOF LEVEL
- L5 - PLANT SPECIFICATION
- L6 - PLANT SPECIFICATION
- L7 - LIGHTING PLAN
- L8 - GRADING PLAN
- L9 - GRADING DETAILS
- L10 - EROSION CONTROL PLAN
- L11 - BOUNDARY/TOPOGRAPHICAL PLANS

## VICINITY MAP:



## PROJECT DATA:

OWNERS: Priya and Murali Dharan  
 PROJECT ADDRESS: 32 San Juan Court  
 Palo Alto, CA  
 ZONING: R1B  
 SCOPE: UPDATING LANDSCAPE AND HARDSCAPE

## CODE REQUIREMENTS:

ALL WORK SHOULD CONFORM TO CALIFORNIA BUILDING CODE 2016, CALIFORNIA MECHANICAL CODE 2016, CALIFORNIA PLUMBING CODE 2016, CALIFORNIA ELECTRICAL CODE 2016, AND CALIFORNIA FIRE CODE 2016. PLEASE REFER TO PAGES L5-L8 FOR EROSION AND GRADING PLANS.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

# CHD

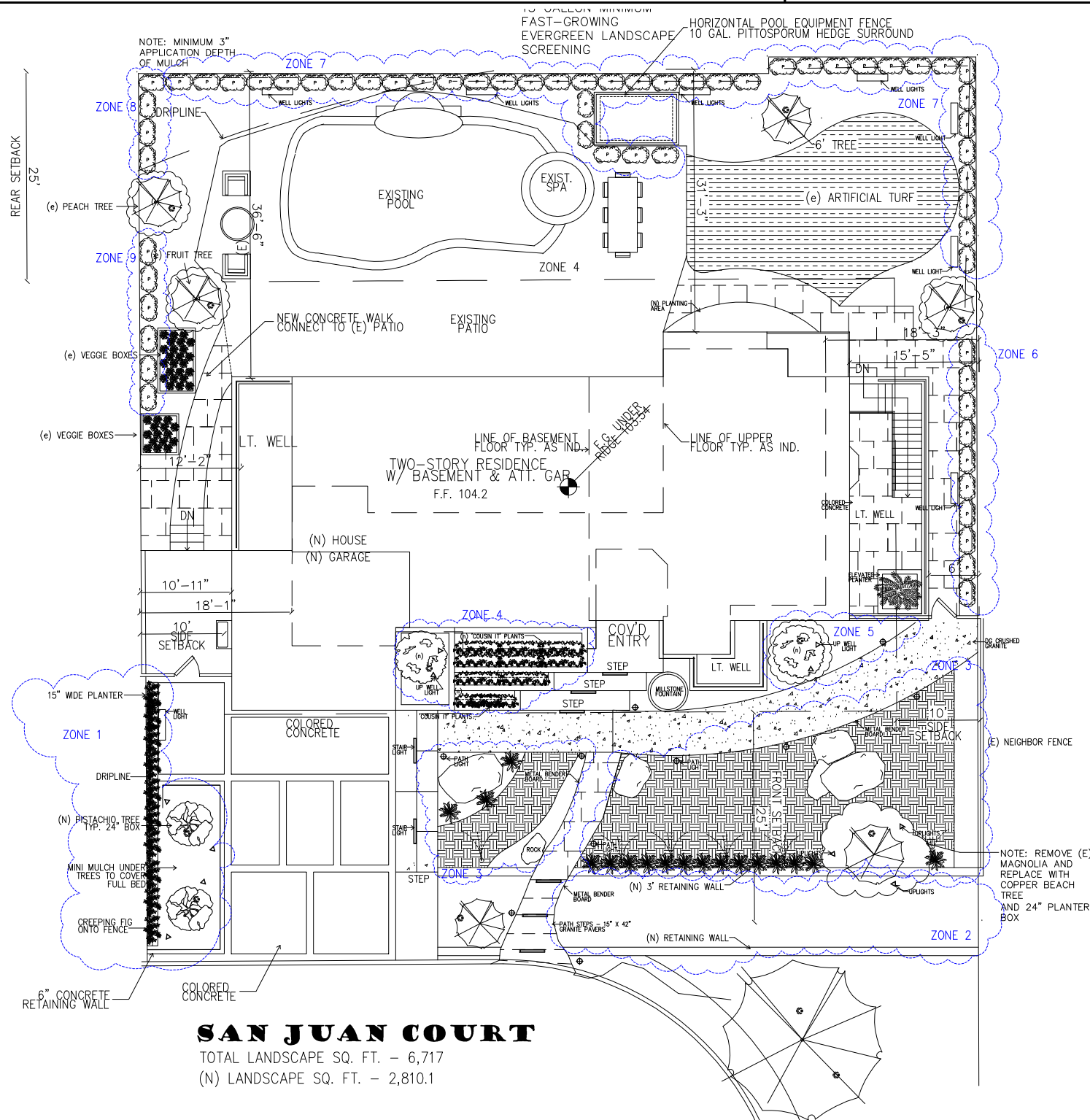
Carrington Hill Designs  
 P (650) 619-2861  
 F (650) 654-2663  
 carrington@chdhilldesigns.com  
 901 American Road  
 San Carlos, CA 94070

**DHARAN RESIDENCE**  
 32 SAN JUAN COURT  
 PALO ALTO, CA

PROJECT FOR:

APPROVED BY / DATE:

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



## GENERAL NOTES:

- 1) DRAWINGS REPRESENT DESIGN CONCEPT ONLY.
- 2) ALL LANDSCAPE PLANS DIMENSIONED FROM THE FACE OF FINISH U.O.N.
- 3) DO NOT SCALE THE DRAWINGS. LOCATE ONLY BY WRITTEN DIMENSIONS OR WRITTEN CLARIFICATION.
- 4) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH CONDITIONS AT THE JOB SITE BEFORE PROCEEDING WITH ANY WORK.
- 5) ANY ERRORS, OMISSIONS AND CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OR DESIGNER, AND THE CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION FROM THE ENGINEER OR DESIGNER BEFORE PROCEEDING WITH ANY WORK.
- 6) CONTRACTOR SHALL VERIFY ALL ARCHITECTURAL DETAILS WITH STRUCTURAL, PLUMBING AND ELECTRICAL DETAILS BEFORE THE ORDERING OR INSTALLATION OF ANY ITEM OF THE WORK.
- 7) TRADE NAMES USED ARE DESIGNED TO ESTABLISH QUALITY DESIRED. BEFORE ANY SUBSTITUTIONS ARE MADE, THE WRITTEN CONSENT OF THE OWNER AND INTERIOR DESIGNER MUST BE OBTAINED.
- 8) ALL WORK SHALL BE DONE IN A SAFE, ORDERLY MANNER WITHOUT DAMAGE TO THE PREMISES OR ADJACENT PROPERTIES. ANY RESULTING DAMAGE OR LOSS SHALL BE CORRECTED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 9) BUILDER IS RESPONSIBLE FOR CREATING A WASTE MANAGEMENT PLAN IF NECESSARY.
- 10) DESIGNS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND WERE DEVELOPED FOR USE ON THIS PROJECT ONLY. REUSE WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS PROHIBITED.
- 11) MAINTAIN WORK AREAS CLEAN AND FREE FROM UNDUW WASTE OR ENCUMBRANCE. REMOVE SURPLUS MATERIALS AND WASTE AS WORK PROGRESSES.
- 12) AT THE END OF EACH WORK DAY THE CONTRACTOR SHALL BARRICADE AND SECURE THE WORKING PREMISES TO PREVENT ACCESS BY UNAUTHORIZED PERSONS.
- 13) CONDITIONS SHOWN ON THE DRAWINGS ARE AS SHOWN ON ORIGINAL DRAWINGS AND AS OBSERVED ON THE SITE, BUT THEIR ACCURACY IS NOT GUARANTEED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK. NOTE: DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS. DO NOT SCALE THE DRAWINGS.
- 14) OWNER SHALL PAY FOR BUILDING PERMIT. CONTRACTOR TO PAY AND OBTAIN FEES, PERMITS AND INSPECTIONS.
- 15) IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK.
- 16) UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, THE CONTRACTOR SHALL ALSO PROVIDE A CONSTRUCTION SCHEDULE INDICATING REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTOR'S AND CONTRACTOR'S WORK.
- 17) CONTRACTOR MUST PROVIDE ADEQUATE SHORING AND BRACING OF EXISTING STRUCTURE AT ALL TIMES.
- 18) CONTRACTOR MUST DISPOSE OF ALL DEMOLISHED MATERIALS IN A SAFE AND LEGAL MANNER.

Design plans are not provided for architectural or engineering. This rendering is an artistic interpretation of the general appearance of the room for conceptual design use. It is not intended to be a precise depiction. The G.C. or Agent is responsible for verifying all building dimensions. Design plans are provided for the fair use by the Client or Agent in completing the project as listed via the contract. It is also the responsibility of the installer & Product Agent to confirm all product specifications and measurements.

DATE: 7/27/17  
 SCALE: 1/16" = 1'-0"  
 DRAWN: M.NJOKU-OBI  
 REVISED: 7/17/17  
 SHEET: 1 of 11  
 PAGE:

**DHARAN RESIDENCE**  
 32 SAN JUAN COURT  
 PALO ALTO, CA

PROJECT NO.

APPROVED BY / DATE

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

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DATE: 7/27/17

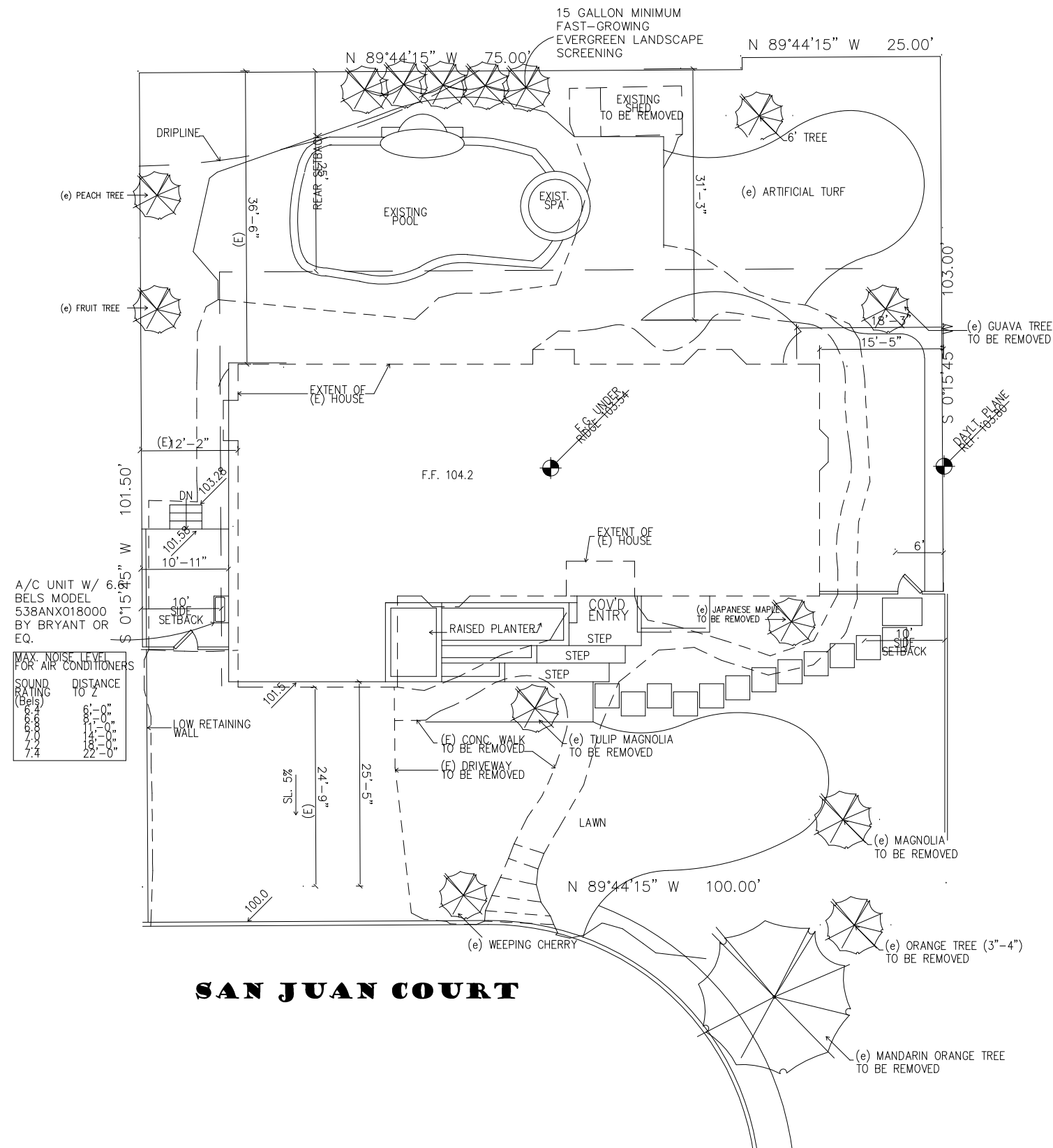
SCALE: 1/16" = 1'-0"

DRAWN: M.NJOKU-OBI

REVISED: 7/17/17

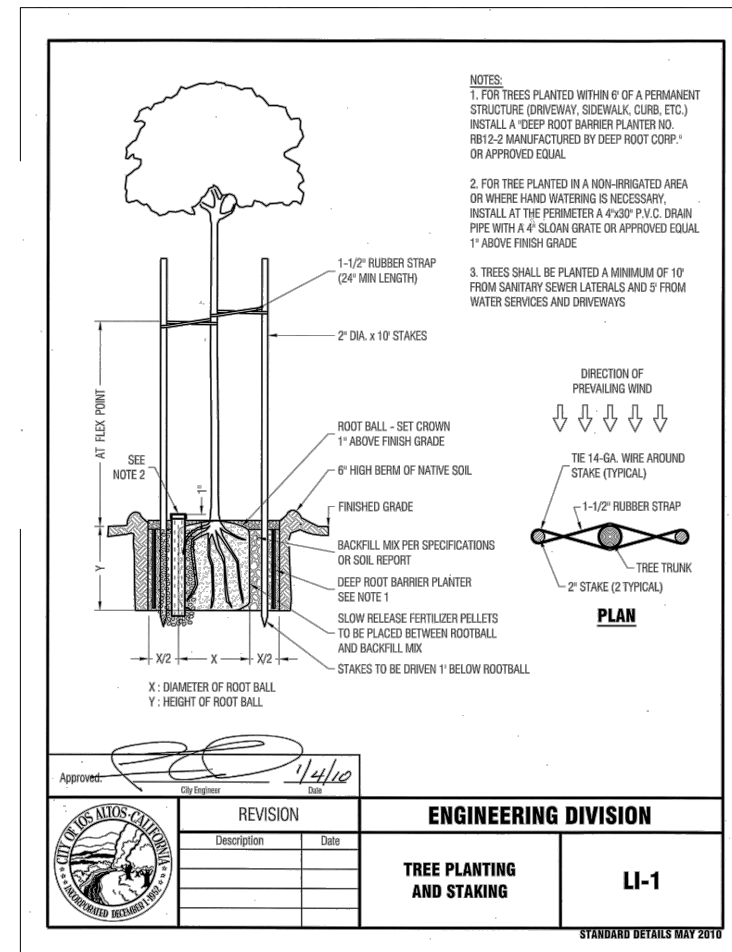
SHEET: 2 of 11

PAGE:



EXISTING TREE SCHEDULE

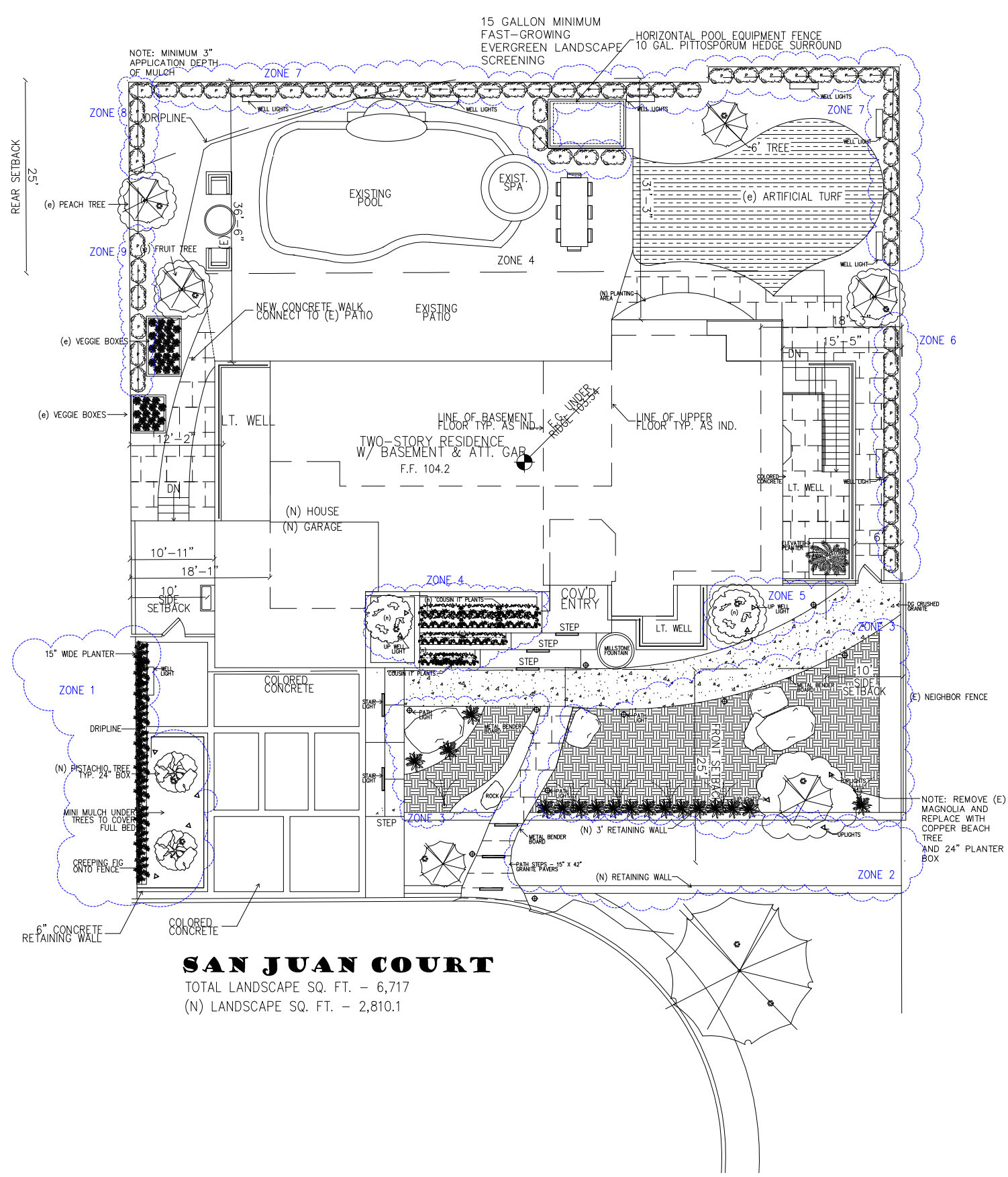
| TREE                    | SIZE COMMENTS                        |
|-------------------------|--------------------------------------|
| TULIP MAGNOLIA          | 6-8' TRUNK (REMOVE)                  |
| MANDARIN DRANGE         | 3-4' TRUNK (REMOVE)                  |
| DRANGE                  | 3-4' TRUNK (REMOVE)                  |
| GUAVA TREE              | 3' TRUNK (REMOVE)                    |
| PEACH TREE              | 2' TRUNK (EXISTING, DO NOT REMOVE)   |
| WEeping CHERRY          | 2-3' TRUNK (EXISTING, DO NOT REMOVE) |
| ACER PALMATUM BLOODGOOD | 3' TRUNK (REMOVE)                    |





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DATE: 7/27/17  
 SCALE: 1/16" = 1'-0"  
 DRAWN: M.NJOKU-OBI  
 REVISED: 7/17/17  
 SHEET: 3 of 11  
 PAGE:



**SAN JUAN COURT**  
 TOTAL LANDSCAPE SQ. FT. - 6,717  
 (N) LANDSCAPE SQ. FT. - 2,810.1

- COLORED CONCRETE
- ARTIFICIAL TURF
- GRASS
- DG CRUSHED GRANITE
- IRRIGATION DRIPLINE
- WELL LIGHT
- STAIR LIGHT
- UP WELL LIGHT
- PATH LIGHTS
- IRRIGATION BUBBLER
- PISTACIA VERA L. CHINESE
- JAPANESE MAPLE - "BLOODGOOD" (replacement)
- JAPANESE MAPLE - "BUTTERFLY"
- CREeping FIG
- CAUSARINA GLAUCA/"COUSIN IT"
- PITTOSPORUM HEDGE - ALL ZONE 2
- PHORMIUM
- CALLANDRIA ERIOPHYLLA

- ZONE 1 - 200.3 SQ FT (PERM. LOW WATER USAGE)
- ZONE 2 - 420.75 SQ. FT
- ZONE 3 - 955 SQ. FT
- ZONE 4 - 182.75 SQ. FT
- ZONE 5 - 80.7 SQ. FT
- ZONE 6 - 74.25 SQ. FT
- ZONE 7 - 213.25 SQ. FT
- ZONE 8 - 27.6 SQ. FT
- ZONE 9 - 48 SQ. FT
- ZONE 10 - 607.5 SQ. FT
- TOTAL SQ. FT. - 2,810.1

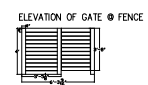
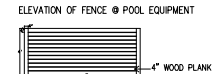
LAWN IRRIGATION SYSTEM: RAINMACHINE HD-12 ZONE WEATHER AWARE WIFI SMART SPRINKLER CONTROLLER

PLEASE REFER TO PLANT SPECIFICATIONS FOR DIMENSIONS & WATER NEEDS

EXAMPLE OF RAILING @ LIGHT WELLS



EXAMPLE OF FENCING

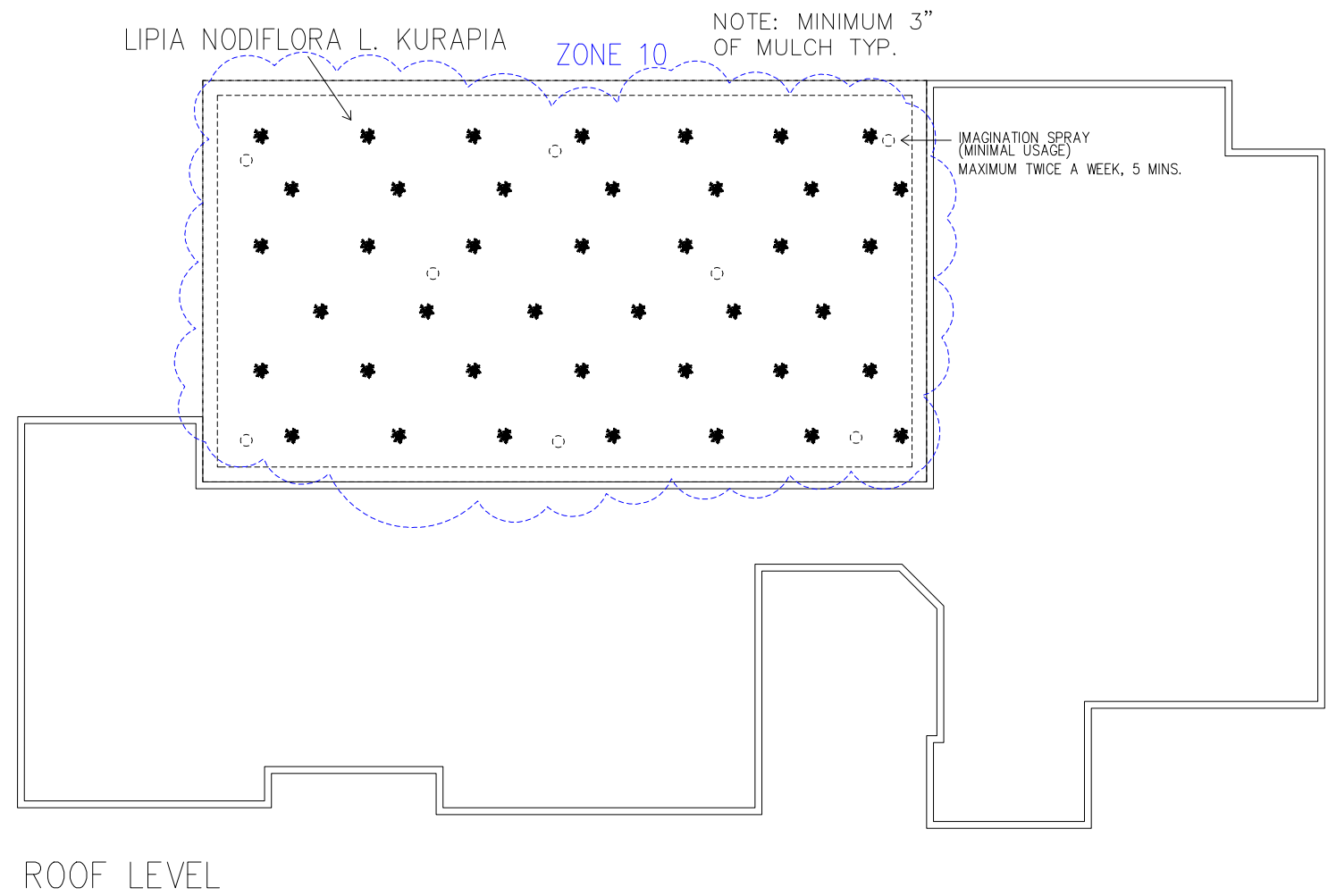


PROPOSED TREE SCHEDULE

| TREE       | SIZE       | QUANTITY |
|------------|------------|----------|
| PISTACHIO  | 24" BOX    | 2        |
| FRUIT TREE | 15" GALLON | 1        |
| FRUIT TREE | 15" GALLON | 1        |

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DATE: 7/27/17  
SCALE: 1/8" = 1'-0"  
DRAWN: M.NJOKU-OB1  
REVISED: 7/17/17  
SHEET: 4 of 11  
PAGE:



PROPOSED PLAN, ROOF LEVEL



**Plant Description**

- Name:** *Lippia nodiflora* L. 'Kurapia'
- Common Name:** Kurapia
- Plant Type:** Perennial
- Growth Habit:** Sterile, Non-Invasive
- Origin:** Japan
- Planting:** Any Season
- Flowers:** Small, White  
Blooms May to November
- Height:** Low Growing, 1"-3" High
- Exposure:** Full Sun to Partial Shade
- pH Tolerant:** pH 4-9
- Mowing:** 1-2 Times a Month
- Drought Tolerant:** Once Established,  
60% Less Water
- Not Recommended:** Over 5,000 ft.  
Elevation or Temperatures  
Under 20°F

**Long Term Irrigation Strategy**

Once fully established, Kurapia roots may go as far as 5 to 10 feet below the soil surface, when properly irrigated. Deep irrigation will encourage deep rooting and decrease watering sessions. There is no one irrigation recommended for Kurapia; water needs will vary by local climate, soil type, time of year, and both type of irrigation system and irrigation methods. In general, An established Kurapia planting will require a minimum of one irrigation a week to hold green color; two irrigations a week may be necessary to hold same green color in excessively hot weather.

**Maintenance**

- Fertilization:** 1 time in the Spring for growth and flowering. If desired, 1 time in the Fall can help retain color. 2 lbs. of Nitrogen/1,000 square feet per year.
- Mowing:** An early mowing during establishment period will encourage more runners, for faster fill in. Does not require mowing if a natural groundcover look is desired. Set mower to remove 1/3 of top growth.

**Installation**

Interested in saving Time & Money? Delta Bluegrass Installation crews are available to ensure a successful planting of this NEW Drought Tolerant SOD Product. Our crews are efficient, experienced, professional and courteous.

*"Kurapia is an attractive, vigorous, rich green groundcover for most of the year with very little water."*

**Karrie Reid**  
UC ANR Cooperative Extension Advisor  
in San Joaquin County



**800.637.8873**  
[www.deltabluegrass.com](http://www.deltabluegrass.com)

**CHD**

Carrington  
Hill  
Designs  
P (650) 619-2861  
F (650) 654-2663  
carringtonh@  
carringtonhilldesigns.com  
901 American Road  
San Carlos, CA 94070







**DHARAN RESIDENCE**  
32 SAN JUAN COURT  
PALO ALTO, CA

PROJECTION:

APPROVED BY / DATE:

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

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| PHOTO   | VENDOR | NAME  | COLOR AND SEASON  | DIMENSIONS                            | SIZE                    | PRICE | UNITS | SUB TOTAL | TAX | TOTAL |
|---|--------|---|---|---------------------------------------|-------------------------|-------|-------|-----------|-----|-------|
| <b>RIGHT SIDE SCREENING</b>   |        |   |   |                                       |                         |       |       |           |     |       |
|    |        | Pittosporum Tenuifolium<br>Mountain Jade              | Green   | Upright Shrub 15'-20' and 6'-8' wide. | 15 gallon or<br>24" Box |       | 24    |           |     |       |
| <b>Frontyard</b>  |        |   |   |                                       |                         |       |       |           |     |       |
|    |        | Fagus Sylvatica Atrupunicea                           | Deep Plum color. Prefers Full Sun to part shade and rich, moist soils with plenty of organic matter. Surface roots don't like to be covered.<br>Deciduous tree (Mach - April Bloom) | Grows to 35'-45' tall. (Full Grown)   | 24" Box                 |       | 1     |           |     |       |
| <b>Front Raised Beds</b>  |        |   |   |                                       |                         |       |       |           |     |       |
|    |        | Casuarina "Cousin Itt"                                | Partial to full sun. Once established water occassionally   | 2'-3' H X 6' wide                     | 5 gallon                |       | 8     |           |     |       |
|   |        | Crocsmia Montbretia                                   | Full Sun and blooms late summer. Average water needs. Likes sand like soil.   | 2'-5' H x 6"-8" spacing               | 1 gallon                |       | 12    |           |     |       |
|  |        | Acer Palmatum "Butterfly"<br>Japanese maple Butterfly | Partial to Full Sun. Needs Regular watering weekly. Slow growing  | 7'-9' H x 5'-6' Wide                  | 15 gallon               |       | 1     |           |     |       |
| <b>Front Yard against house</b>   |        |   |   |                                       |                         |       |       |           |     |       |
|  |        | Acer Palmatum Bloodgood<br>(EXISTING)                 | Slowly reaches 15-20 Feet tall and 15' wide. Best in filtered sun light to full sun. Regular weekly water pattern. Zones 5-9  | 15'-20' Tall X 15' Wide               | EXISTING                |       | 2     |           |     |       |

DATE: 7/27/17

SCALE: N/A





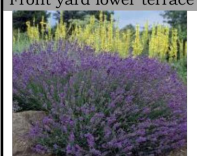


DRAWN: M.NJOKU-OBI



REVISED: 7/17/17

SHEET: 5 of 11

PAGE:

**L5**

|   |                                       |  |                          |           |    |  |  |  |  |
|---|---------------------------------------|--|--------------------------|-----------|----|--|--|--|--|
|    | Muhlenbergia Rigens                   | Deer Grass. 3 feet high to 4 feet wide. Gray green foliage in late summer. Once established can go a long time without water.                                |                          | 5 gallon  | 12 |  |  |  |  |
|    | Rhododendron "Honey Butter"           | Can grow up to 4 feet. Early to Mid season bloomer. Yellow/Orange and Pink blossoms. Acidic, well drained soils, even moisture needed Zone 6-9               | 3'-4' H X 3'-4' Wide     | 10 gallon | 2  |  |  |  |  |
|    | Phormium "Rainbow Queen"              | Partial to full sun. Summer Blooms. 6 feet tall x 3-4' wide. Olive green leaves with red and creamy color edging. Use as an accent. Evergreen Zone 8-11      | 4'-6' Tall by 3'-4' Wide | 5 gallon  | 5  |  |  |  |  |
|    | Blue Flax Linum Lewisii               | California Wildflower. Blooms in May - Sept. 24" High. Likes poor soil and sand clay. Zone   | 1'-3' H                  | 1 gallon  | 6  |  |  |  |  |
| Front yard lower terrace  |                                       |  |                          |           |    |  |  |  |  |
|   | Lavandula "Hidcote"                   | Likes full sun and blooms in June through July. Spacing 15" - 18" apart. Resistant to heat and drought. Zone 5-9   | 2'-3' H X 3' Wide        | 5 gallon  | 14 |  |  |  |  |
|  | Elymus Condensatus "Canyon Prince"    | Likes Partial to full sun. Once established needs occasional water. Reaches 2 -3' Tall and 3-5' wide. Dramatic foliage color. Late Summer bloomer. Zone 7-11 | 2'-3' H X 3'-5' W        | 1 gallon  | 24 |  |  |  |  |
|  | Senecio Mandralisca Blue Chalk sticks | Likes Full sun. Once established needs only occasional watering. Waterwise ground cover. Forms a carpet of foliage to 2' tall by 3' wide.                    | 2' Tall x 2'-3' Wide     | 1 gallon  | 36 |  |  |  |  |
| Driveway Front Bed  |                                       |  |                          |           |    |  |  |  |  |

|   |                                       |   |                                       |           |    |  |  |  |  |
|---|---------------------------------------|---|---------------------------------------|-----------|----|--|--|--|--|
|  | Pistacia chinensis                    | Small to Medium tree that is hardy and can withstand harsh soils and conditions. Zone 6-9 | Full Height 25-35' High               | 24" Box   | 2  |  |  |  |  |
| Backyard Screening Plants   |                                       |   |                                       |           |    |  |  |  |  |
|  | Pittosporum Tenuifolium Mountain Jade | Green   | Upright Shrub 15'-20' and 6'-8' wide. | 15 gallon | 24 |  |  |  |  |

**CHD**

Carrington Hill Designs  
P (650) 619-2861  
F (650) 654-2663  
carringtonh@  
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San Carlos, CA 94070

**DHARAN RESIDENCE**  
32 SAN JUAN COURT  
PALO ALTO, CA

PROJECT FOR:

APPROVED BY / DATE:

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

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DATE: 7/27/17

SCALE: N/A

DRAWN: M.NJOKU-OBI

REVISED: 7/17/17

SHEET: 6 of 11

PAGE:

**L6**

**DHARAN RESIDENCE**  
32 SAN JUAN COURT  
PALO ALTO, CA

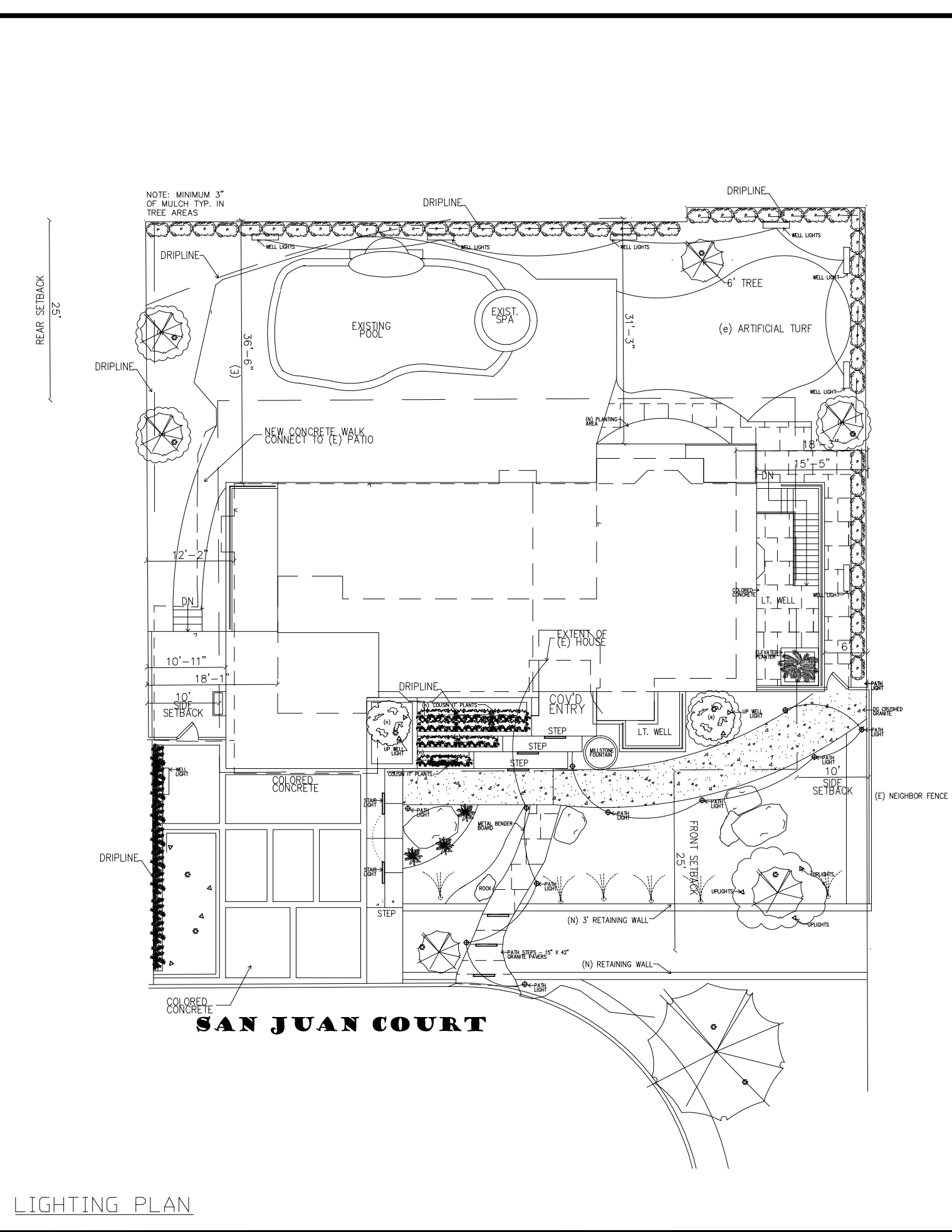
PROJECT NO:

APPROVED BY / DATE:

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

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DATE: 7/27/17  
SCALE: 1/16" = 1'-0"  
DRAWN: M.NJOKU-OBI  
REVISED: 7/17/17  
SHEET: 7 of 11  
PAGE:



- SPRAY/ROTATING SPRAY
  - IRRIGATION BUBBLER
  - IRRIGATION DRIPLINE
  - WELL LIGHT - MR16 LOW VOLTAGE WELL LIGHT
  - STAIR LIGHT - LEDme BRUSHED NICKEL STEP LIGHT
  - UP WELL LIGHT - VOLT TREE UP LIGHT
  - PATH LIGHTS - HINKLEY ATLANTIS 22H LED
- LAWN IRRIGATION SYSTEM: RAINMACHINE  
HD-12 ZONE WEATHER AWARE WIFI SMART SPRINKLER CONTROLLER

STAIR LIGHT - LEDme BRUSHED NICKEL STEP LIGHT



PATH LIGHTS - HINKLEY ATLANTIS 22H LED



UP WELL LIGHT - VOLT TREE UP LIGHT



WELL LIGHT - MR16 LOW VOLTAGE WELL LIGHT



**GRADING & DRAINAGE NOTES:**

NOTE: THIS DRAWING IS APPROVED SUBJECT TO:

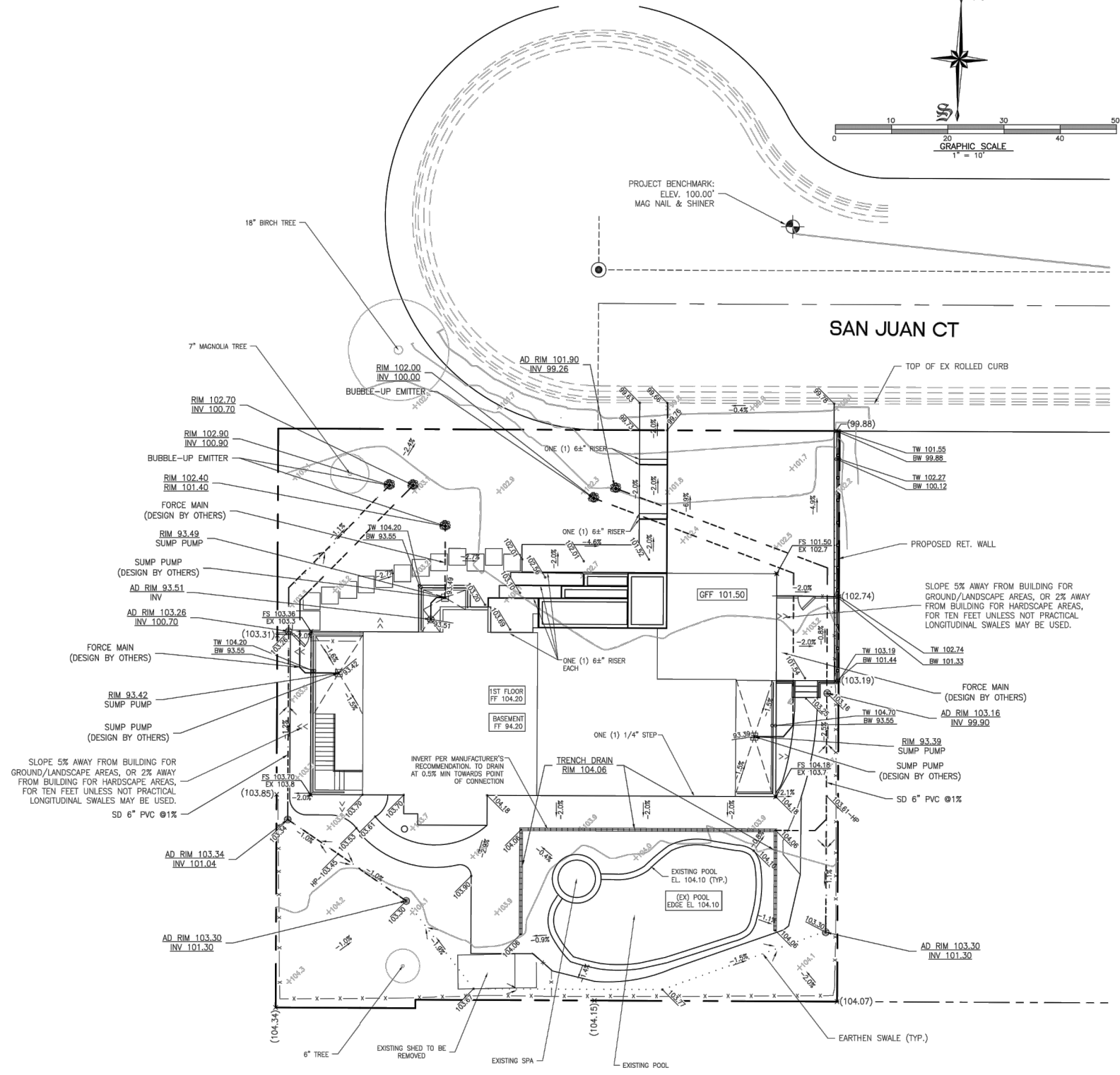
- ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY, PERMITEE OR REPRESENTATIVE. SHALL NOTIFY THE CITY OF LOS ALTOS DEPARTMENT OF PUBLIC WORKS PROJECT INSPECTOR AT LEAST 48 HOURS BEFORE START OF ANY GRADING.
- APPROVAL OF THIS PLAN APPLIES ONLY TO (A) THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS, (B) THE INSTALLATION OF ON-SITE (I.E. PRIVATE PROPERTY) STORM WATER CONVEYANCE AND TREATMENT FACILITIES THAT ARE OUTSIDE OF THE 5-FOOT BUILDING ENVELOPE, AND (C) THE INSTALLATION OF RETAINING STRUCTURES. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS WITH THE EXCEPTION OF THOSE LISTED ABOVE. PROPOSED IMPROVEMENTS, WITH THE EXCEPTION OF THOSE LISTED ABOVE, ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- UNLESS OTHERWISE NOTED ON THE PLAN, ANY DEPICTION OF A RETAINING STRUCTURE ON THIS PLAN SHALL NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OF THE RETAINING STRUCTURE UNLESS A SEPARATE STRUCTURAL REVIEW, BY THE DEPARTMENT OF PUBLIC WORKS IS COMPLETED AND APPROVED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPLILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE MARIN COUNTY CORONER IMMEDIATELY.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
- FOR NON-RESIDENTIAL PROJECTS, ANY NON-HAZARDOUS EXPORT RESULTING FROM PROJECT RELATED EXCAVATION OR LAND CLEARING SHALL BE 100% REUSED AND RECYCLED PER CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 5.408.
- ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER.
- THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- PERIMETER BUILDING GRADES SHALL SLOPE AWAY FROM BUILDINGS AT LEAST 5% MINIMUM.
- ALL DOWNSPOUTS SHALL HAVE SPLASH BOXES AS SHOWN ON THE GRADING AND DRAINAGE PLAN. DIRECTION OF THE FLOW SHALL BE AWAY FROM THE BUILDING.

**BENCH MARK**

DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE NORTHERLY WESTERLY CORNER OF LOT AS SHOWN: ELEV.: 100.00'

**LEGEND**

| DESCRIPTION                   | SYMBOL  |
|-------------------------------|---------|
| BOUNDARY LINE                 | ---     |
| LOT LINE                      | ---     |
| EASEMENT LINE                 | ---     |
| SEWER                         | ---     |
| WOOD FENCE                    | X-X     |
| CHAIN LINK FENCE              | ---X--- |
| RETAINING WALL                | ---X--- |
| DRAINAGE DRAIN INLET          | ⊙       |
| AREA DRAIN                    | ⊙       |
| DROP INLET                    | ⊙       |
| MONUMENT                      | ⊙       |
| FIRE HYDRANT                  | ⊙       |
| ELECTRICIAN                   | ⊙       |
| WATER METER                   | ⊙       |
| AC UNIT                       | ⊙       |
| SANITARY SEWER LATERAL        | ---     |
| STORM DRAIN                   | SD      |
| SANITARY SEWER                | SS      |
| STREET LIGHT CONDUITS         | SL      |
| WATER                         | W       |
| JOINT TRENCH                  | JT      |
| HOUSE SERVICE                 | SVC     |
| BLUFF ARROW                   | ---     |
| EXISTING CONTOUR              | 100     |
| PROPOSED CONTOUR              | 150     |
| OVERLAND RELEASE              | ---     |
| DIRECTION OF SURFACE DRAINAGE | ---     |
| SEE SLOPE AWAY FROM BUILDING  | ---     |



**ABBREVIATIONS**

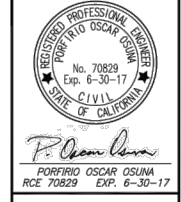
|                                |                                      |
|--------------------------------|--------------------------------------|
| AC = ASPHALT CONCRETE          | LP = LOW POINT                       |
| AD = AREA DRAIN                | PAO = PAD ELEVATION                  |
| BC = BEIGN CURVE               | PC = PORTLAND CEMENT CONCRETE        |
| BS = BOTTOM OF STAIR           | PL = PROPERTY LINE                   |
| BU = BUBBLE UP                 | PV = PAVEMENT GRADE                  |
| BVC = BEGIN VERTICAL CURVE     | PVC = POLYVINYL CHLORIDE PIPE        |
| BRW = BOTTOM OF RETAINING WALL | PVI = POINT OF VERTICAL INTERSECTION |
| CB = CATCH BASIN               | RCF = REINFORCED CONCRETE PIPE       |
| CL = CENTERLINE                | ROW = RIGHT OF WAY                   |
| CO = CLEANOUT                  | S=0.04% SLOPE                        |
| DS = DOWNSPOUT WITH SPLASH BOX | SD = STORM DRAIN                     |
| EC = END CURVE                 | SDMH = STORM DRAIN MANHOLE           |
| ELEV. = ELEVATION              | SE = SUBGRADE ELEVATION              |
| EVC = END VERTICAL CURVE       | SS = SANITARY SEWER                  |
| EX. = EXISTING                 | SSMH = SANITARY SEWER MANHOLE        |
| F/C = FACE OF CURB             | STA = STATION                        |
| FE = FINISHED FLOOR ELEVATION  | TO = TOP OF CURB                     |
| FH = FIRE HYDRANT              | TF = TOP OF FENCE                    |
| FL = FLOW LINE                 | TRW = TOP OF RETAINING WALL          |
| GB = GRADE BREAK               | TS = TOP OF STAIR                    |
| GFF = GARAGE FINISH FLOOR      | TW = TOP OF WALL                     |
| HP = HIGH POINT                | VCP = VITRIFIED CLAY PIPE            |
| HC = HANDICAP UNIT             | WM = WATER METER                     |
| INV = INVERT                   | WV = WATER VALVE                     |

**EARTH WORK QUANTITIES**

|         |          |
|---------|----------|
| CUT:    | 1,090 CY |
| FILL:   | 10 CY    |
| EXPORT: | 1,080 CY |
| IMPORT: | 0 CY     |

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

| NO. | DATE | BY | CITY | REVISIONS |
|-----|------|----|------|-----------|
|     |      |    |      |           |



**GreenBlueEarth Inc.**  
 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
 117 BERNAL RD. STE. 70-536  
 SAN JOSE, CA 95118  
 (408) 772-4881  
 oosuna@greenblueearth.com

**GRADING AND DRAINAGE PLAN**  
 PROPOSED NEW RESIDENCE  
 32 SAN JUAN CT  
 CITY OF LOS ALTOS, CALIFORNIA  
 Project No.: 1448 | Sheet: 02 of 02 | Date: 06/16/17

**SHEET C1**  
 OF 3 SHEETS

**CHD**  
 Carrington Hill Designs  
 P (650) 619-2861  
 F (650) 654-2663  
 carringtonh@chd.com  
 carringtonhilldesigns.com  
 901 American Road  
 San Carlos, CA 94070

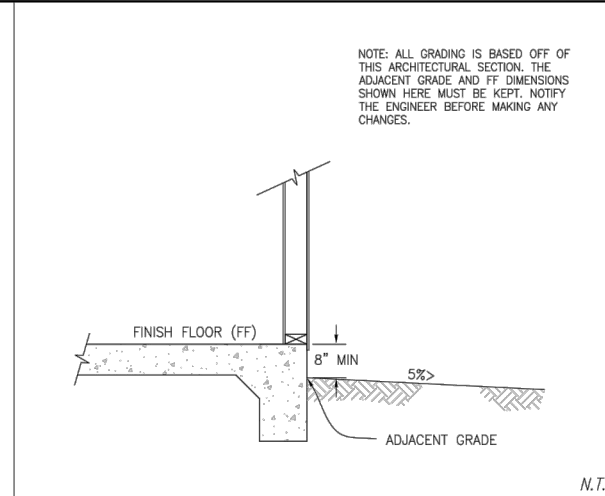
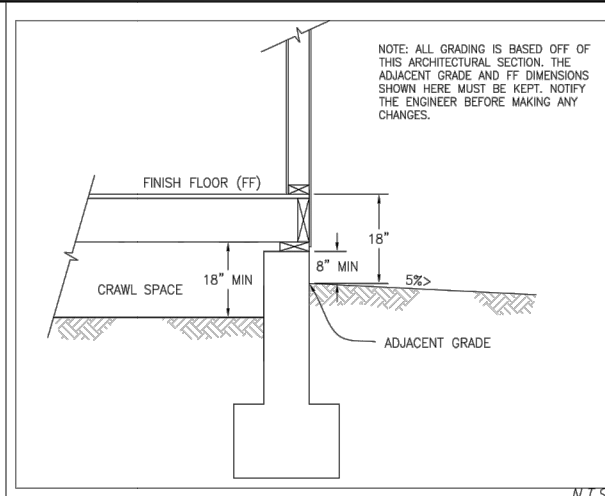
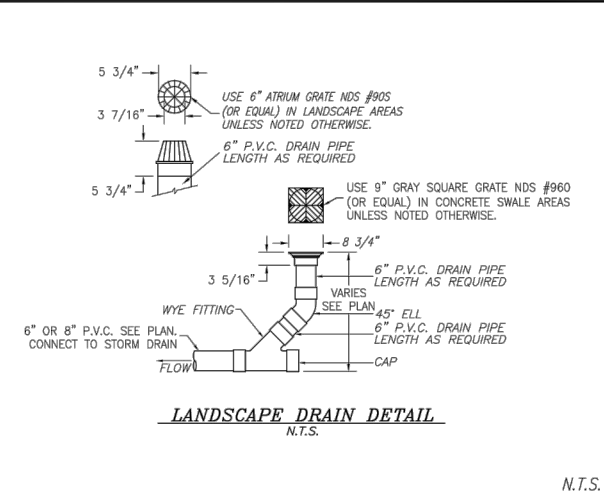
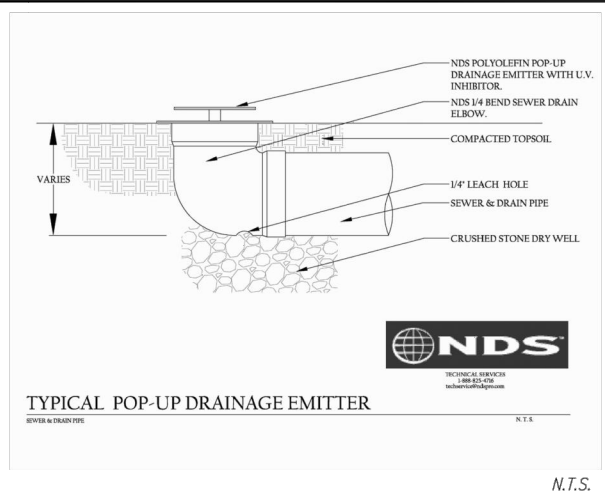
**DHARAN RESIDENCE**  
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 PALO ALTO, CA

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 SCALE: 1/16" = 1'-0"  
 DRAWN: M.NJOKU-OBI  
 REVISED: 7/17/17  
 SHEET: 8 of 11  
 PAGE:

**L8**

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE PROTECTION OF ALL UTILITIES AND THE PROTECTION OF ALL ADJACENT AREAS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

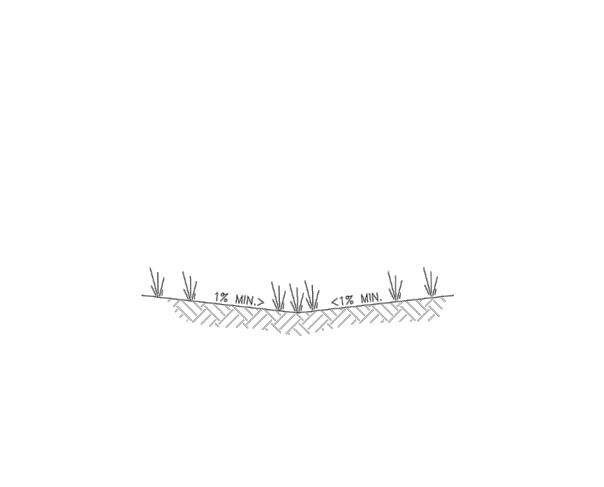


A BUBBLE-UP EMITTER DETAIL

B AREA DRAIN DETAIL

C TYPICAL FOUNDATION/FF/GROUND SECTION

D TYPICAL FOUNDATION/FF/GROUND SECTION



E EARTHEN SWALE DETAIL



F NOT USED



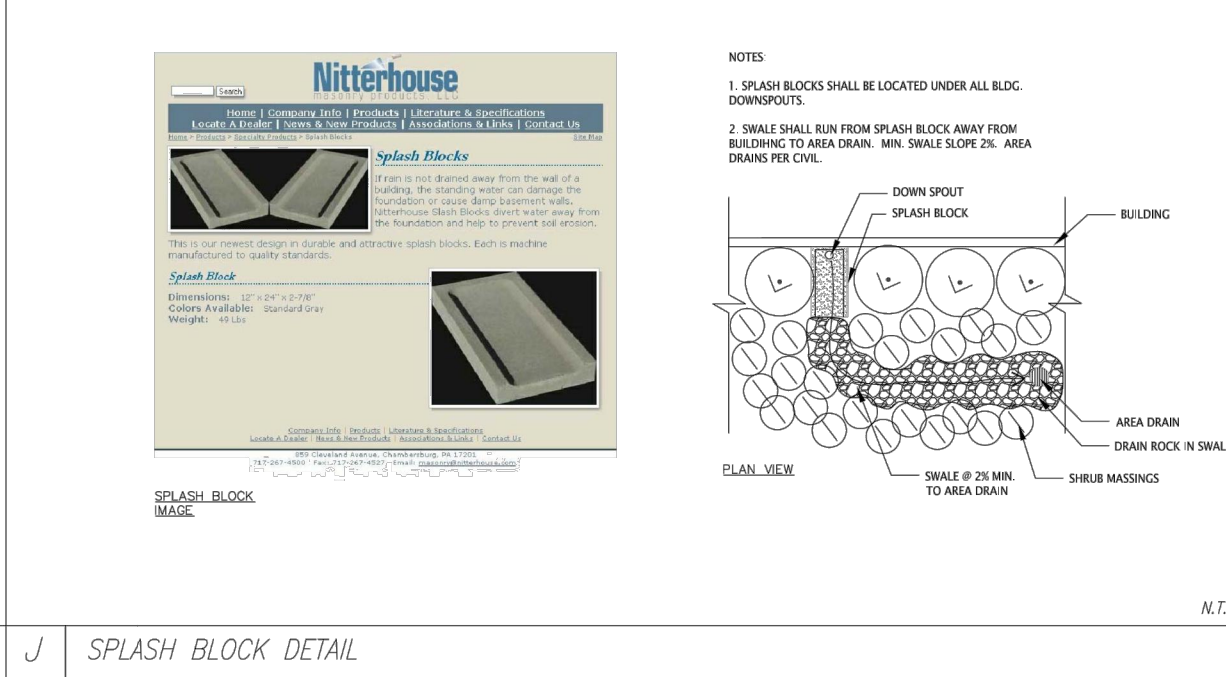
G NOT USED



H NOT USED



I NOT USED



J SPLASH BLOCK DETAIL

|           |      |    |      |
|-----------|------|----|------|
| REVISIONS | DATE | BY | CITY |
|           |      |    |      |
|           |      |    |      |
|           |      |    |      |

**GreenBluEarth Inc.**  
 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
 117 BERNAL RD. STE. 70-336 OSUNA ENGINEERING  
 SAN JOSE, CA 95119

**GRADING AND DRAINAGE PLAN**  
**CONSTRUCTION DETAILS**  
 32 SAN JUAN CT  
 CITY OF LOS ALTOS CALIFORNIA  
 Project No.: 1448 Design: 10/03/17 Construct: 03/18/17

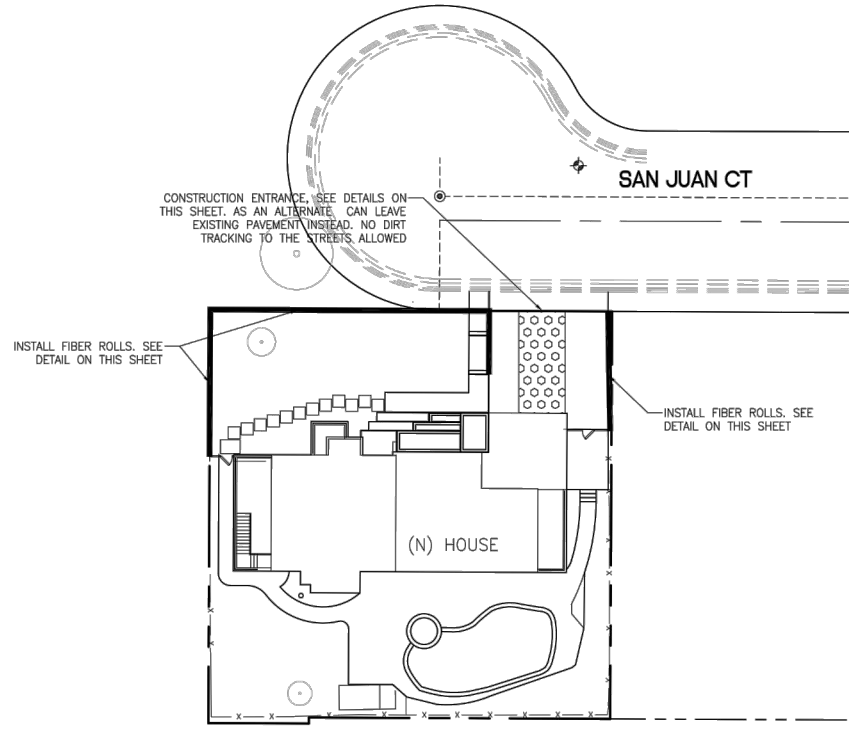
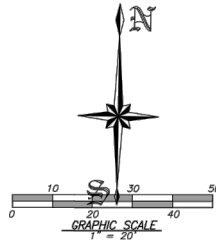
SHEET  
**C2**  
 OF 3 SHEETS

**CHD**  
 Carrington  
 Hill  
 Designs  
 P (650) 619-2861  
 F (650) 654-2663  
 carrington@  
 carringtonhilldesigns.com  
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 DRAWN: M.NJOKU-OBI  
 REVISED: 7/17/17  
 SHEET: 9 of 11  
 PAGE:



**LEGEND**

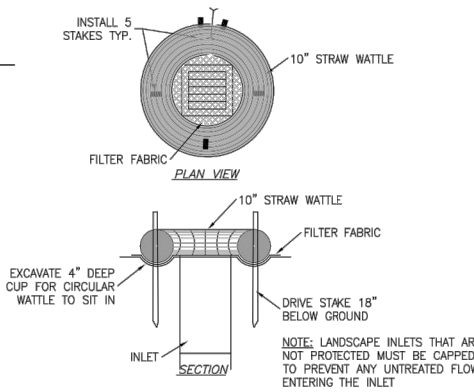
| PROPOSED  | DESCRIPTION  |
|-----------|--|
| ---       | SITE BOUNDARY  |
| ○ ○ ○ ○ ○ | STABILIZED CONSTRUCTION ENTRANCE<br>2"-3" ROCK (MIN) |
| —         | FIBER ROLL   |

- MAINTENANCE NOTES**
- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
- REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND GULLIES MUST BE REPAIRED.

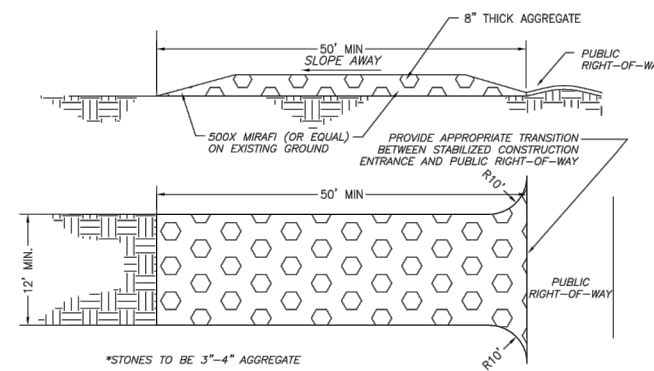
- EROSION & SEDIMENT CONTROL NOTES**
- NOT USED
  - THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
  - ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF UNION SANITARY DISTRICT.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
  - THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
  - ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
  - IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
  - DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
  - CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLAIN WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
  - INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
  - BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
  - NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG RIGHT-OF-WAY).
  - ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.

- SUPPLEMENTAL EROSION & SEDIMENT CONTROL NOTES**
- SEE STANDARD EROSION & SEDIMENT CONTROL NOTES ABOVE.
  - THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
  - CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCEWAYS.
  - CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
  - INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
  - THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

- NOTES:**
- PROTECT ALL INLETS IN THE PUBLIC STREETS SURROUNDING THE SITE.
  - ALL ON-SITE LANDSCAPE AREA DRAINS TO BE CAPPED OR PROTECTED UNTIL LANDSCAPING IS FINISHED.



**ALTERNATE FIBER ROLL INLET PROTECTION**  
MAY BE USED IN LANDSCAPE AREA DRAINS  
N.T.S.



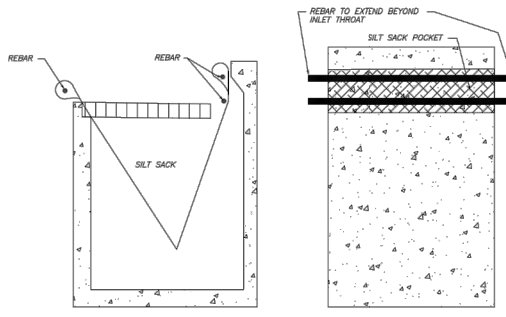
**MAINTENANCE:**

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT.

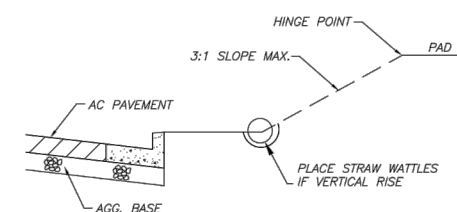
ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.

WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

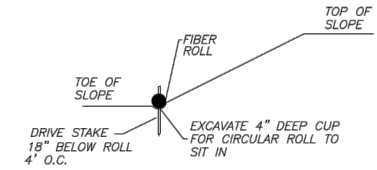
**STABILIZED CONSTRUCTION ENTRANCE**  
N.T.S.



**CALIFORNIA MODIFIED SILT SACK**  
REED & GRAHAM, INC. (OR EQUAL)  
BEFORE & AFTER STREETS ARE PAVED  
N.T.S.



**FRONT YARD SLOPE DETAIL**  
AFTER STREETS ARE PAVED  
N.T.S.



**FIBER ROLL INSTALLATION DETAIL**  
N.T.S.

| NO. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
|     |           |      |    |
|     |           |      |    |
|     |           |      |    |
|     |           |      |    |



**GreenBluEarth Inc.**  
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
117 BERNAL RD. STE. 70-336  
SAN JOSE, CA 95119  
TEL: (408) 724-4381  
osunaengineering@gmail.com

**GRADING AND DRAINAGE PLAN**  
**EROSION CONTROL PLAN**  
**32 SAN JUAN CT**  
CITY OF LOS ALTOS CALIFORNIA  
Project No.: 1448 | Design: 4.0/0.0 | Sheet: 0.0 | Date: 08/16/17

**SHEET C3**  
OF 3 SHEETS

**CHD**  
Carrington Hill Designs  
P (650) 619-2861  
F (650) 654-2663  
carrington@chdhilldesigns.com  
901 American Road  
San Carlos, CA 94070

**DHARAN RESIDENCE**  
32 SAN JUAN COURT  
PALO ALTO, CA

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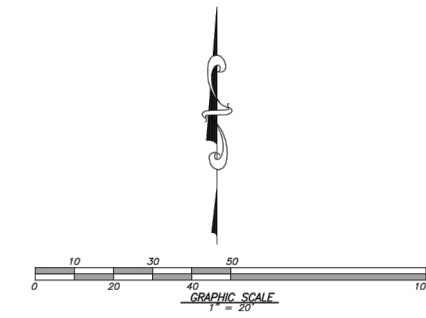
DATE: 7/27/17  
SCALE: 1/16" = 1'-0"  
DRAWN: M.NJOKU-OBI  
REVISED: 7/17/17  
SHEET: 10 of 11  
PAGE:

**L10**



**LEGEND**

|            |                                      |
|------------|--------------------------------------|
| ---        | EXISTING CONTOUR LINE                |
| - - -      | NATURAL GRADE CONTOUR LINE           |
| ⊙          | FOUND CITY MONUMENT BOX, OR AS NOTED |
| ---        | BOUNDARY OF PROPERTY SURVEYED        |
| ( )        | RECORD INFORMATION                   |
| ---        | CENTERLINE                           |
| △          | CURB INLET                           |
| ---        | CURB LINE                            |
| ---        | DRIVEWAY APRON                       |
| ○          | ELECTROILER                          |
| -x-x-      | FENCE                                |
| ◆          | FIRE HYDRANT                         |
| ■          | FLAT GRATE INLET                     |
| —O.H. PWR— | OVERHEAD POWER LINE                  |
| —O.H. TEL— | OVERHEAD TELEPHONE LINE              |
| —SS—       | SANITARY SEWER LINE                  |
| ○          | SANITARY SEWER MANHOLE               |
| ⊙          | SANITARY SEWER CLEANOUT              |
| —          | SIGN                                 |
| —SD—       | STORM DRAIN LINE                     |
| ⊙          | STORM DRAIN MANHOLE                  |
| □          | UTILITY BOX                          |
| ○          | UTILITY POLE                         |
| —W—        | WATER LINE                           |
| ■          | WATER METER                          |
| ⊕          | WATER VALVE                          |
| ⊖          | ELECTRIC METER                       |
| ⊖          | WATER HEATER                         |
| ⊖          | GAS                                  |



THE BEARING NORTH 89°44'15" WEST OF THE CENTER LINE OF SAN JUAN COURT AS SHOWN ON THAT MAP OF RECORD OF SURVEY FILED FOR RECORD IN BOOK 148 OF MAPS PAGES 28, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

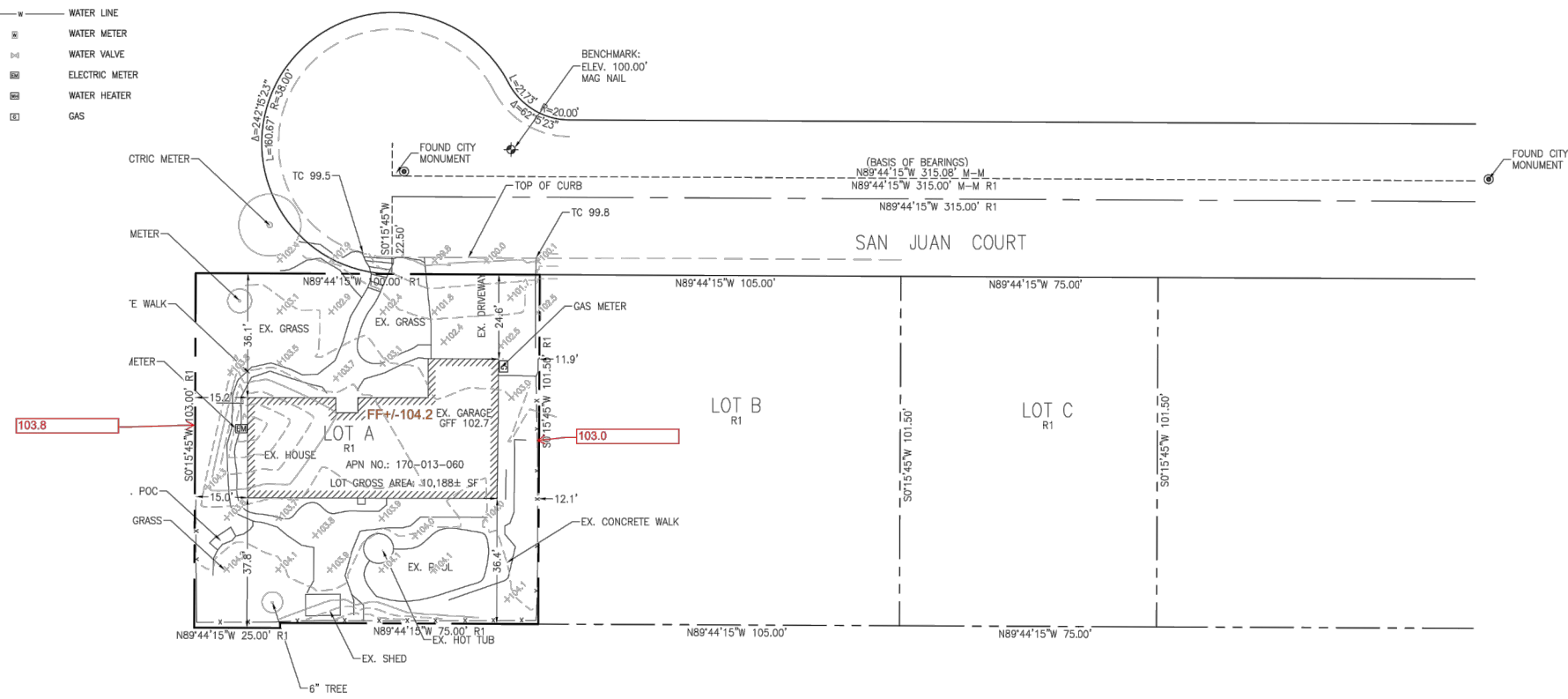
REFERENCES:  
R1 RECORD OF SURVEY 148-M-28

**BENCH MARK**  
DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE NORTHERLY WESTERLY CORNER OF LOT AS SHOWN. ELEV.: 100.00'

**ABBREVIATIONS**

|          |                           |
|----------|---------------------------|
| APN      | ASSESSOR'S PARCEL NUMBER  |
| BM       | BENCH MARK                |
| CATV     | CABLE TELEVISION OVERHEAD |
| D        | CURVE DELTA               |
| DRWY     | DRIVEWAY                  |
| DS       | DOWNSPOUT                 |
| FL       | FLOW LINE ELEVATION       |
| IP       | IRON PIPE                 |
| L        | CURVE LENGTH              |
| R#       | REFERENCE DOCUMENT        |
| M-M      | MONUMENT TO MONUMENT      |
| O.H. PWR | OVERHEAD POWER LINE       |
| O.H. TEL | OVERHEAD TELEPHONE LINE   |
| PCL      | PARCEL                    |
| P.M.     | PARCEL MAP                |
| PTN      | PORTION                   |
| R        | RADIUS                    |
| SD       | STORM DRAIN               |
| SS       | SANITARY SEWER            |
| TC       | TOP OF CURB ELEVATION     |
| TEMP.    | TEMPORARY                 |
| PUE      | PUBLIC UTILITY EASEMENT   |
| WLE      | WATER LINE EASEMENT       |

- NOTES:**
- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
  - THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
  - TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE; IT IS NOT BASED ON AN ARBORIST REPORT.
  - THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. THE BOUNDARY SHOWN ARE TAKEN FROM RECORDED MAPS AND DEEDS FOR REFERENCE ONLY.
  - UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
  - BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
  - FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
  - A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GREENBLUE EARTH, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.



|                              |          |                                     |  |
|------------------------------|----------|-------------------------------------|--|
| DATE                         | 5-20-16  | REVISIONS                           |  |
| SCALE                        | AS SHOWN | AS SHOWN                            |  |
| DRAWN BY                     | O.OSUNA  | DRAWN BY                            |  |
| CHECKED BY                   | O.O.     | CHECKED BY                          |  |
| SUPERVISED BY                |          | PROFESSIONAL LAND SURVEYOR NO. 8921 |  |
| BOUNDARY AND TOPOGRAPHIC MAP |          | STATE OF CALIFORNIA                 |  |
| LANDS OF DHARAN              |          | LOS ALTOS, CALIFORNIA               |  |
| JOB NO.                      | 1307     |                                     |  |
| SHEET                        | 1        |                                     |  |
| OF                           | 1        |                                     |  |



**CHD**  
Carrington Hill Designs  
P (650) 619-2861  
F (650) 654-2663  
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