

# HUANG RESIDENCE

## ADDITION & REMODEL

### 1223 HERITAGE COURT

### LOS ALTOS, CA 94024

### APN: 193-38-050

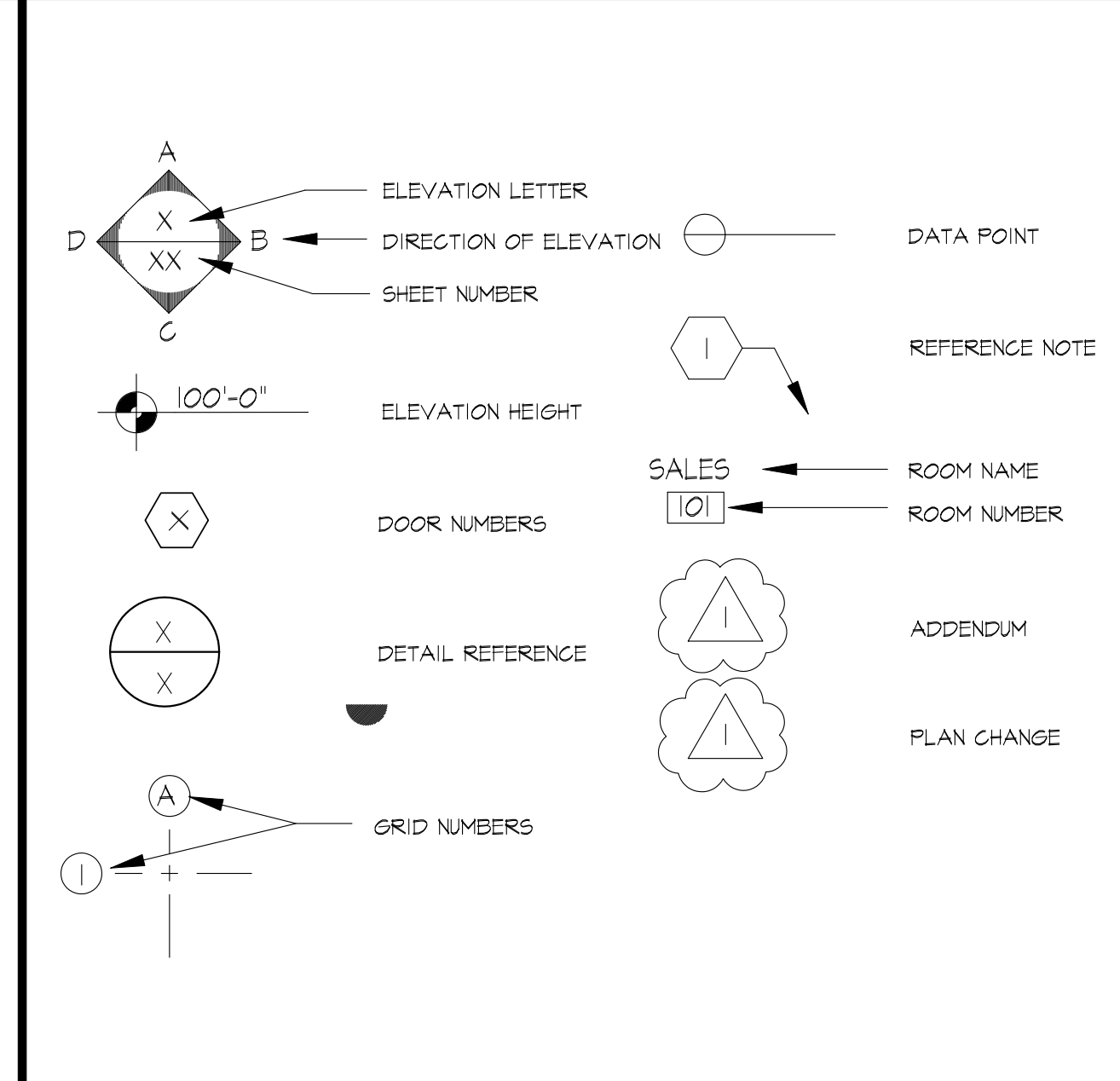


NO.	REVISIONS

#### ABBREVIATIONS

&	AND	F.E.	FIRE EXTINGUISHER	OPNG.	OPENING
∠	ANGLE	F.O.	FACE OF	OPP.	OPPOSITE
⊙	AT	F.O.F.	FACE OF FINISH	P.LAM.	PLASTIC LAMINATE
⊕	CENTERLINE	F.O.S.	FACE OF STUDS	PL.	PLATE
∅	DIAMETER	F.W.	FEATURE WALL	PLAS.	PLASTER
#	POUND OR NUMBER	F.R.	FIRE RETARDANT	PLYWD.	PLYWOOD
ACOUS.	ACOUSTICAL	F.S.	FULL SIZE	PR.	POINT
ADJ.	ADJUSTABLE	FIN.	FINISH	PT.	POINT
A.F.F.	ABOVE FINISH FLOOR	FL.	FLOOR	R.	RISER
AL.	ALUMINUM	FLUOR.	FLUORESCENT	RAD.	RADIUS
ARCH.	ARCHITECTURAL	FT.	FOOT OR FEET	RGTR.	REGISTER
BD.	BOARD	G.B.	GRAB BAR	REQ'D	REQUIRED
BLDG.	BUILDING	GA.	GAUGE	RESIL.	RESILIENT
BLK.	BLOCK	GL.	GLASS	RM.	ROOM
BLKG.	BLOCKING	GYP.	GYPSUM	RWD.	REDWOOD
BM.	BEAM	H.B.	HOSE BIBB	S.	SOUTH
BOT.	BOTTOM	H.C.	HOLLOW CORE	S.C.	SOLID CORE
CAB.	CABINET	H.M.	HOLLOW METAL	S.STL.	STAINLESS STEEL
CEM.	CEMENT	HCP.	HANDICAPPED	SCHED.	SCHEDULE
CER.	CERAMIC	HDWD.	HARDWOOD	SHT.	SHEET
CLG.	CEILING	HORIZ.	HORIZONTAL	SIM.	SIMILAR
CLKG.	CAULKING	HGT.	HEIGHT	SPEC.	SPECIFICATION
CLR.	CLEAR	HR.	HOUR	SQ.	SQUARE
COL.	COLUMN	HVAC	HEATING, VENTILATING & AIR CONDITIONING	STD.	STANDARD
CONC.	CONCRETE	I.D.	INSIDE DIAMETER (DIM.)	STL.	STEEL
CONT.	CONTINUOUS	INSUL.	INSULATION	STOR.	STORAGE
D.F.	DRINKING FOUNTAIN	JT.	JOINT	SUSP.	SUSPENDED
DBL.	DOUBLE	LAM.	LAMINATE	T.O.	TOP OF
DET.	DETAIL	LT.	LIGHT	TEL.	TELEPHONE
DIA.	DIAMETER	M.	MIRROR	THK.	THICK
DIM.	DIMENSION	M.	MIRROR	TYP.	TYPICAL
DN.	DOWN	MAX.	MAXIMUM	U.O.N.	UNLESS OTHERWISE
DR.	DOOR	MECH.	MECHANICAL	UNF.	UNFINISHED
DS.	DOWNSPOUT	MFR.	MANUFACTURER	UNF.	UNFINISHED
DWG.	DRAWING	MIN.	MINIMUM	VERT.	VERTICAL
E.P.	ELECTRICAL PANELBOARD	MISC.	MISCELLANEOUS	W.	WEST
EA.	EACH	MTL.	METAL	W/	WITH
EL.	ELEVATION	N.	NORTH	W/C	WATER CLOSET
ELEC.	ELECTRICAL	N.I.C.	NOT IN CONTRACT	W/O	WITHOUT
EMER.	EMERGENCY	N.T.S.	NOT TO SCALE	W/R	WATER RESISTANT
EQ.	EQUAL	(N)	NEW	WD.	WOOD
(E)	EXISTING	NO. OR #	NUMBER	WSCT.	WAINSCOT
		NOM.	NOMINAL	WT.	WEIGHT
		O.D.	OUTSIDE DIAMETER		

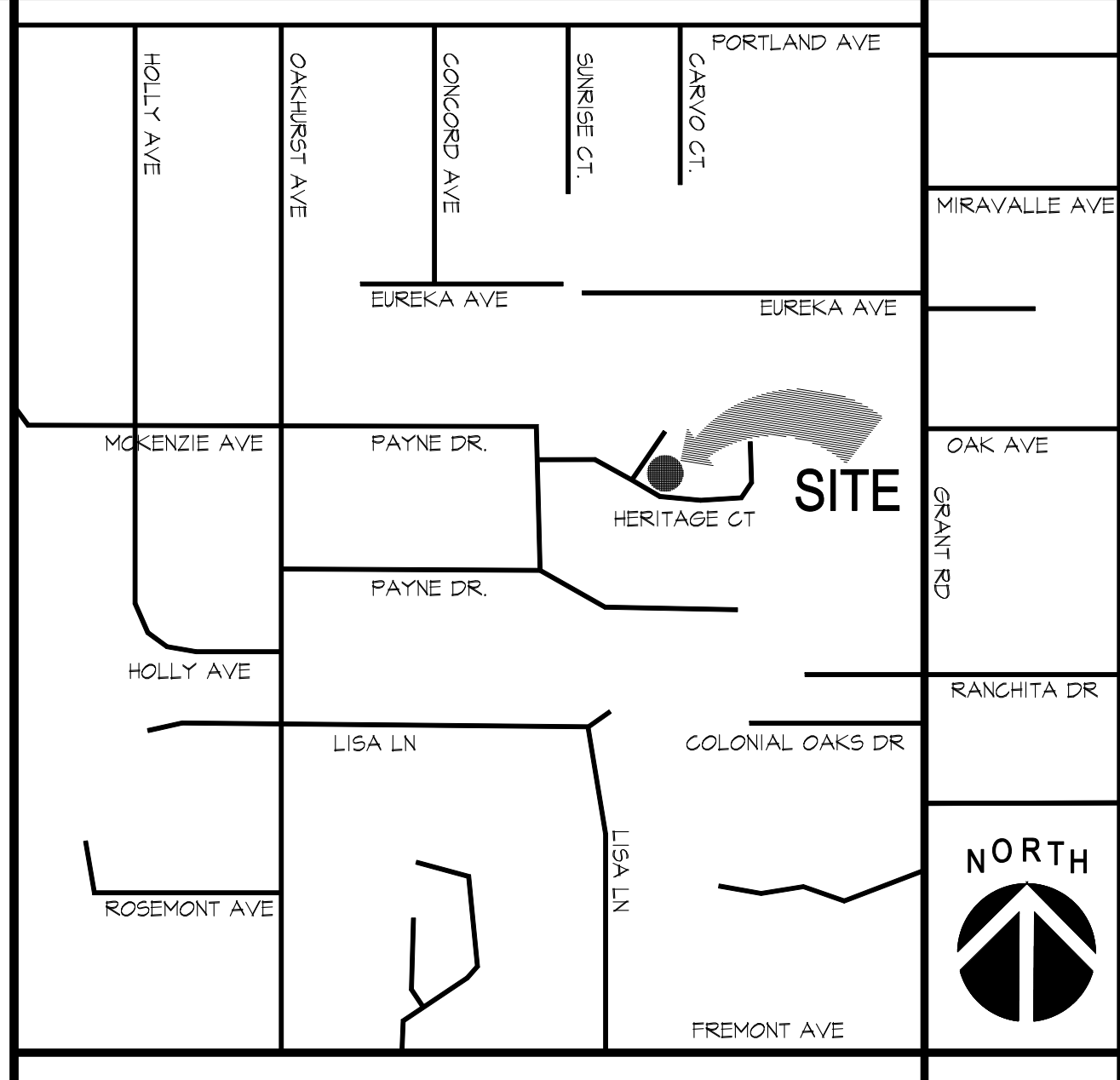
#### SYMBOL / LEGEND



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#### LOCATION MAP



#### PROJECT CONTACT

PROPERTY OWNERS	ARCHITECT
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#### PROJECT SUMMARY TABLE

	ZONING COMPLIANCE		
	EXISTING	PROPOSED	ALLOWED/ REQUIRED
LOT COVERAGE: <small>LAND AREA COVERED BY ALL STRUCTURES THAT ARE COVER &amp; FEET IN HEIGHT</small>	2,660 S.F. (21%)	2,873 S.F. (24%)	2,476 S.F. (30%)
FLOOR AREA: <small>MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS</small>	2,460 S.F. (25%)	3,411 S.F. (35%)	3,472 S.F. (35%)
SETBACKS: FRONT REAR RIGHT SIDE LEFT SIDE (STREET)	16'-0" 45'-3 1/2" 41'-1" 15'-4"	GRD. FLR. 2ND FLR. 19'-6 1/2" 25'-0" 45'-3 1/2" 44'-5" 23'-6 1/2" 15'-4"	GRD. FLR. 2ND FLR. 25'-0" 25'-0" 17'-6" 20'-0"
HEIGHT:	16'-0"	25'-6"	21'-0"
SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: <small>INCLUDES HABITABLE BASEMENT AREAS</small>	2,041 S.F.	1,011 S.F.	3,052 S.F.
NON-HABITABLE AREA: <small>(DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES)</small>	413 S.F.	0	413 S.F.
LOT CALCULATION			
NET LOT AREA	9,921 S.F.		
FRONT YARD HARDSCAPE AREA: <small>HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%</small>	50 S.F. (1%)		
LANDSCAPING BREAKDOWN	TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED): 5,917 S.F. EXISTING SOFTSCAPE (UNDISTURBED) AREA: 6,034 S.F. NEW SOFTSCAPE AREA: -50 S.F. SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA		

#### PROJECT SUMMARY

APN:	193-38-050
USE:	SINGLE FAMILY RESIDENCE
ZONING DISTRICT:	R1-10
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY GROUP:	R3/ U
SIZE OF LOT:	+-9,921 S.F.
ALLOWABLE LOT COVERAGE (9,921 S.F. X 30%):	2,976 S.F.
PROPOSED LOT COVERAGE:	2,873 S.F.
MAX. ALLOWABLE FLOOR AREA: (9,921 S.F. X 35%):	3,472 S.F.
FLOOR AREAS OF STRUCTURE	
ATTACHED GARAGE	413.4 S.F.
GROUND FLOOR AREA	2,001.3 S.F.
SECOND FLOOR AREA	1,056.3 S.F.
TOTAL FLOOR AREA:	3,411.0 S.F.
MAXIMUM BUILDING HEIGHT:	21'-0"
PROPOSED BUILDING HEIGHT:	25'-6"
REQUIRED PARKING:	2
PARKING PROVIDED:	2

#### APPLICABLE CODES

2013 CBC, CBC (FOR STRUCTURAL), CFC, CMC, CEC, CALIFORNIA ENERGY CODE AND CITY OF LOS ALTOS ORDINANCES

#### PROJECT SCOPE

- REMODEL EXISTING GROUND FLOOR FOR NEW LIVING ROOM, DINING ROOM, FOYER, KITCHEN, FAMILY ROOM, LAUNDRY ROOM, AND POWDER ROOM.
- ADD A NEW 2ND FLOOR OF 1,056 S.F. WITH NEW STAIR, MASTER BEDROOM SUITE, 2 ADDITIONAL BEDROOMS & A HALL BATHROOM.

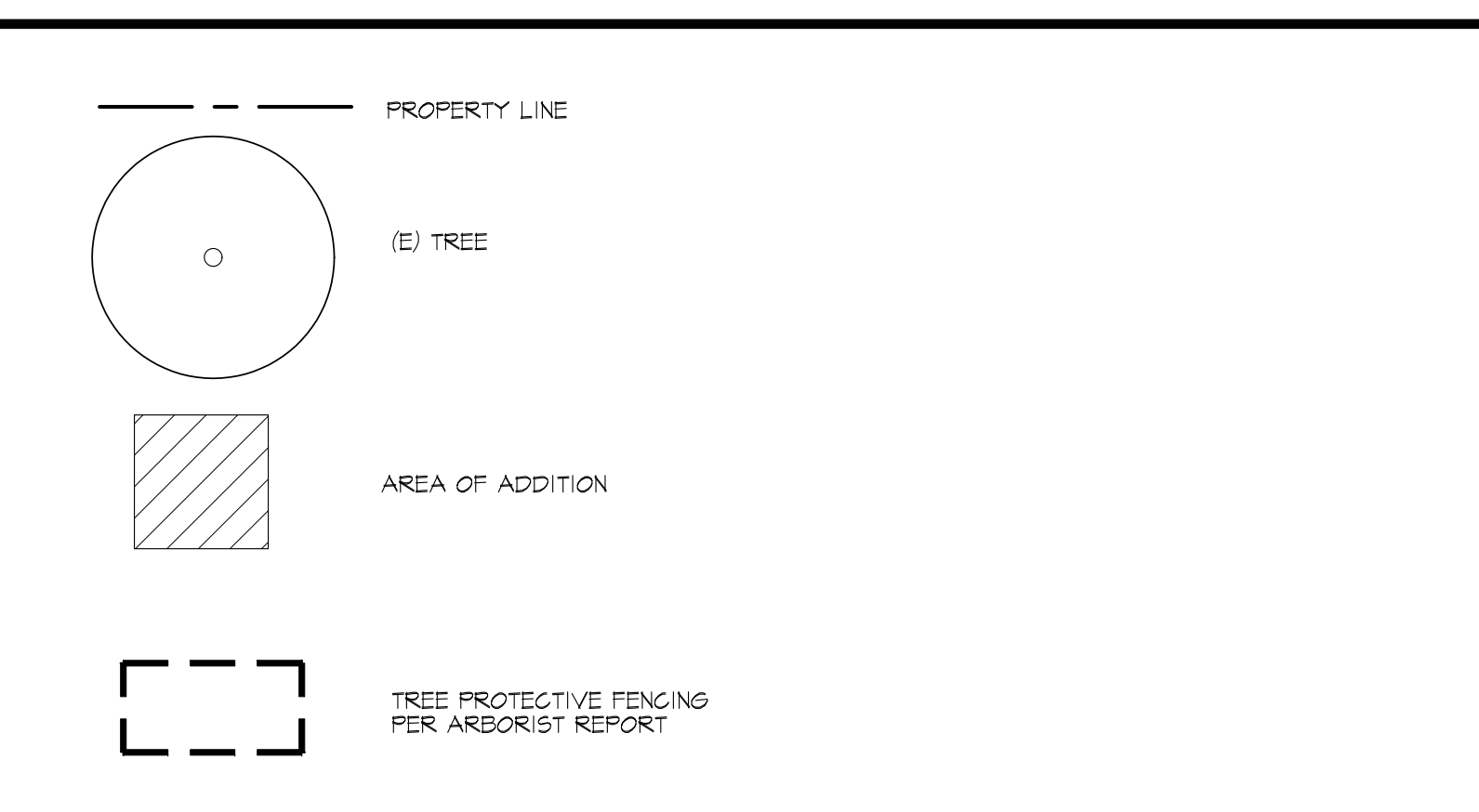
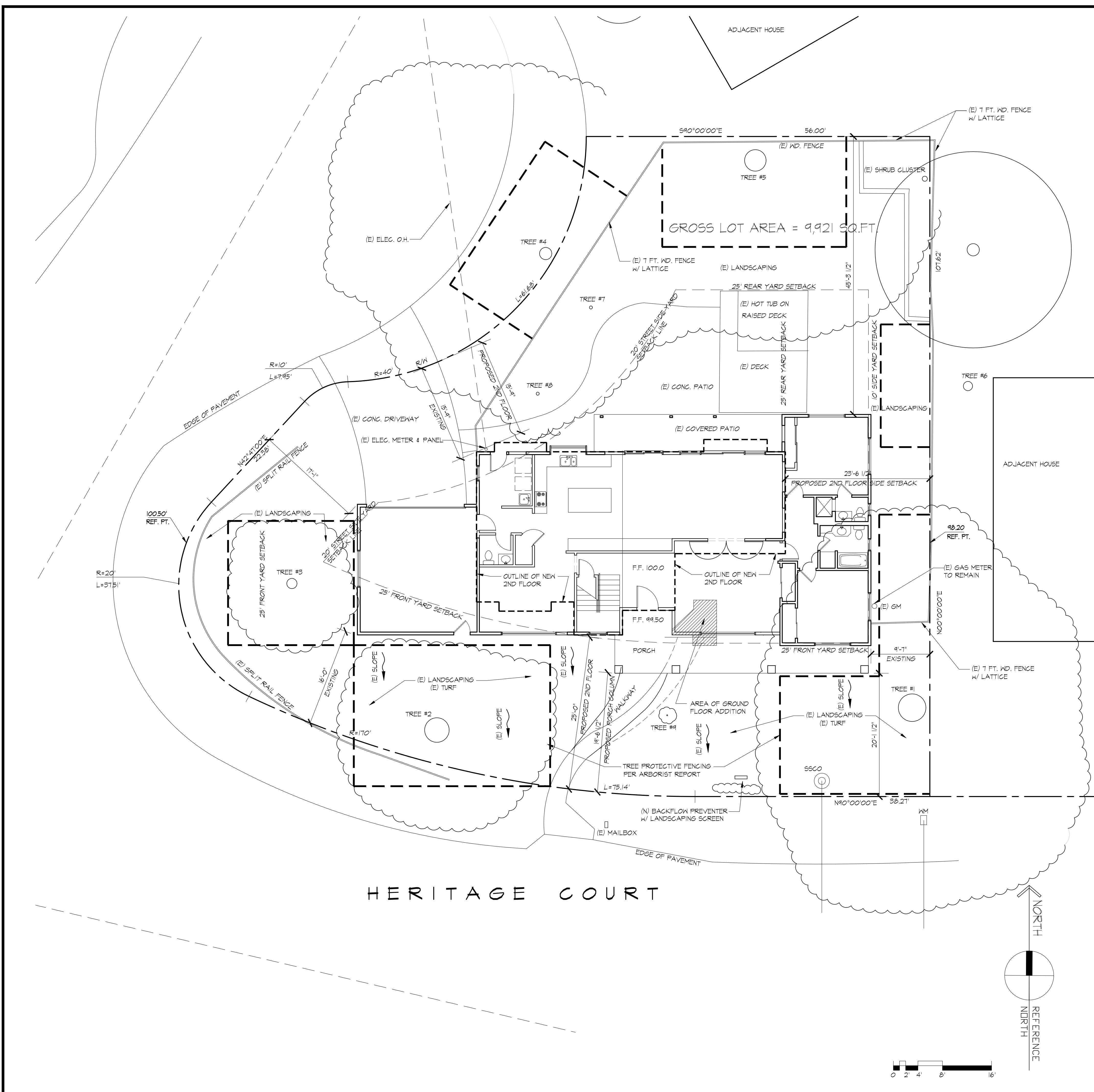
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**ADDITION & REMODEL**  
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LOS ALTOS, CA 94024  
APN: 193-38-050

#### CLIENT

DATE	07/26/16
CHECKED	
DRAWN	MM
JOB NO.	

#### TITLE SHEET

**A1.0**



- LEGEND**
- A. BUILDING SETBACK VERIFICATION: PRIOR TO FOUNDATION INSPECTION BY THE CITY, THE LLS OF RECORD SHALL PROVIDE A WRITTEN CERTIFICATION THAT ALL BUILDING SETBACKS ARE PER THE APPROVED PLANS.
  - B. ALL REMAINING EXISTING LANDSCAPE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, TYPICAL.
  - C. REMOVE EXISTING LANDSCAPE WHERE NEW CONSTRUCTION OCCURRED, VERIFY WITH OWNER FOR ITEM TO BE SAVED AND REUSED.
  - D. REMOVE EXISTING FENCE WHERE NEW CONSTRUCTION OCCURRED.
  - E. PREPARE SITE FOR NEW CONSTRUCTION WHERE OCCURRED, SEE NEW FLOOR PLAN.
  - F. REGRADE DISTURBED AREAS AROUND NEW ADDITION, SO SITE DRAIN FLOW AWAY FROM NEIGHBORING PROPERTIES AND HOUSE THROUGH LANDSCAPING TO STREET. GREAT ONSITE SWALE AS NEEDED.

**SITE PLAN GENERAL NOTES**

**SITE PLAN KEYNOTES**

EXISTING	SPECIES	DBH	CLASS	HEIGHT	SPREAD	RETAINED & PROTECT
1	COAST LIVE OAK	45"	B	60'	50'	RETAINED & PROTECT
2	BLUE ATLAS CEDAR	11"-31"	C	70'	30'	RETAINED & PROTECT
3	DOGWOOD CEDAR	22"	A	45'	30'	RETAINED & PROTECT
4	MONTEREY PINE	31"	D	55'	30'	RETAINED & PROTECT
5	MONTEREY PINE	37"	D	65'	30'	RETAINED & PROTECT
6	COAST LIVE OAK	18"	B	40'	30'	RETAINED & PROTECT
7	CRAB APPLE	5"	A	12'	10'	RETAINED
8	JAPANESE MAPLE	6"	A	15'	12'	RETAINED
9	CRAB APPLE	2"	A	10'	5'	RETAINED

**March DESIGN**  
 ARCHITECTURE | INTERIOR | PLANNING  
 20680 STEVENS CREEK BLVD., #169  
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**REVISIONS**

NO.	DESCRIPTION

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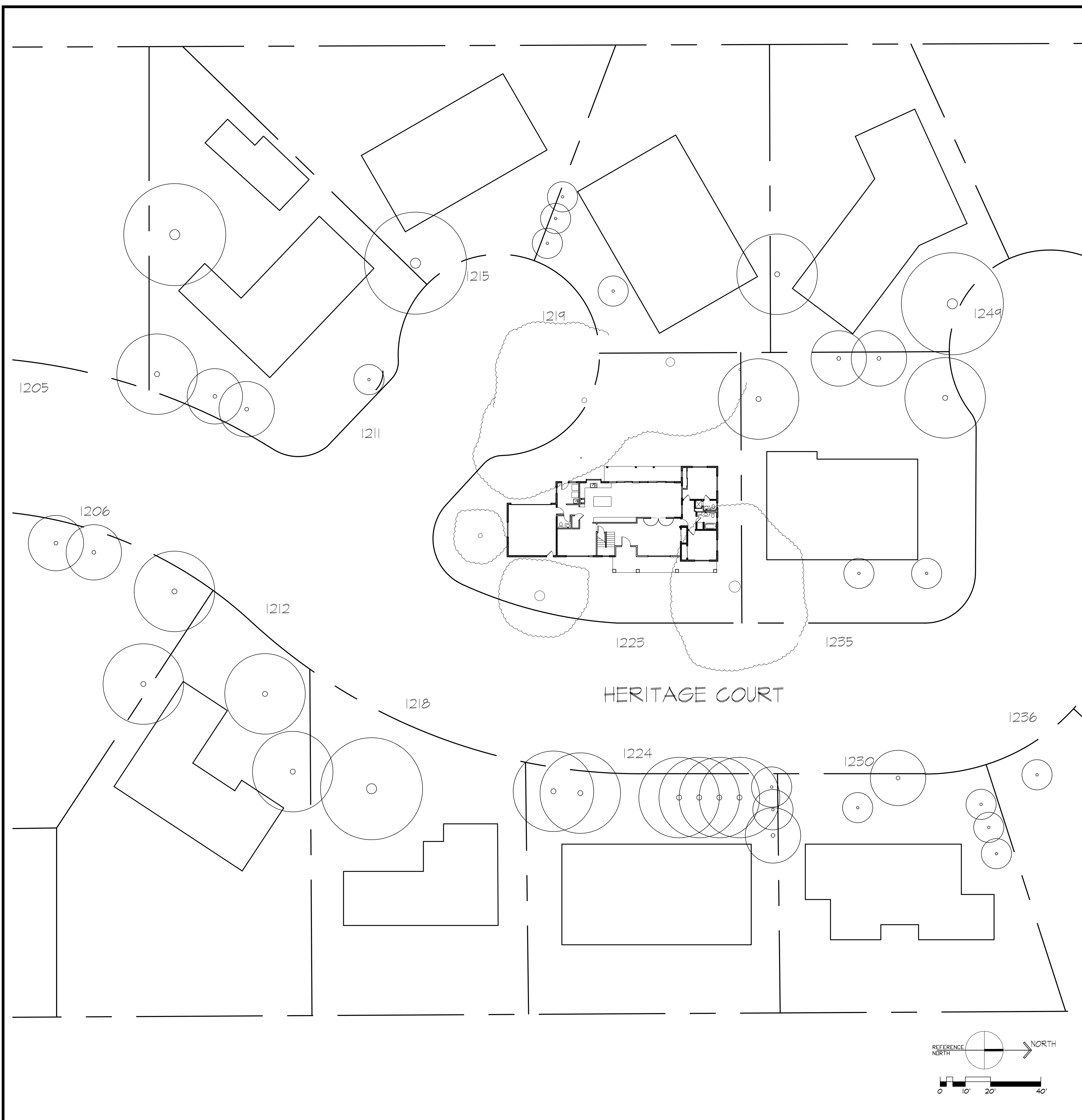
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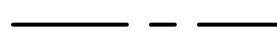
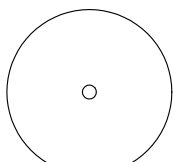

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**SITE PLAN**

**A1.1**



-  PROPERTY LINE
-  (E) TREE TO REMAIN
-  (E) NEIGHBORS' STRUCTURE

LEGEND

GENERAL NOTES



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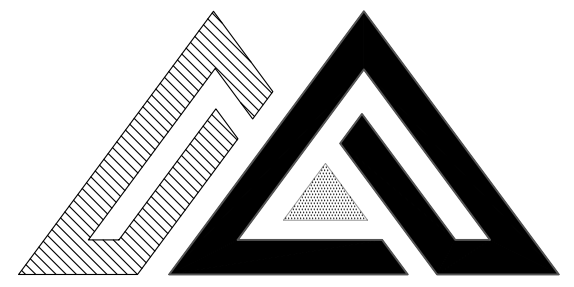
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**SITE CONTEXT**

**A1.2**



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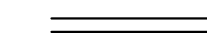
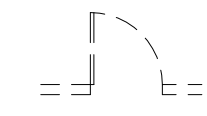
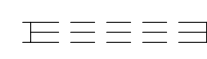
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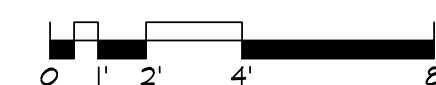
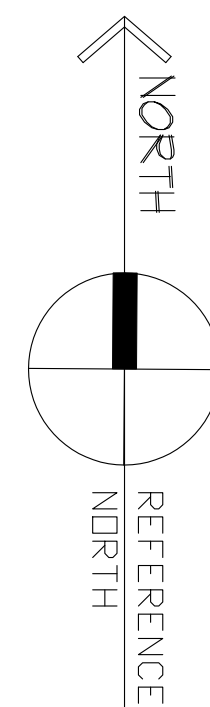
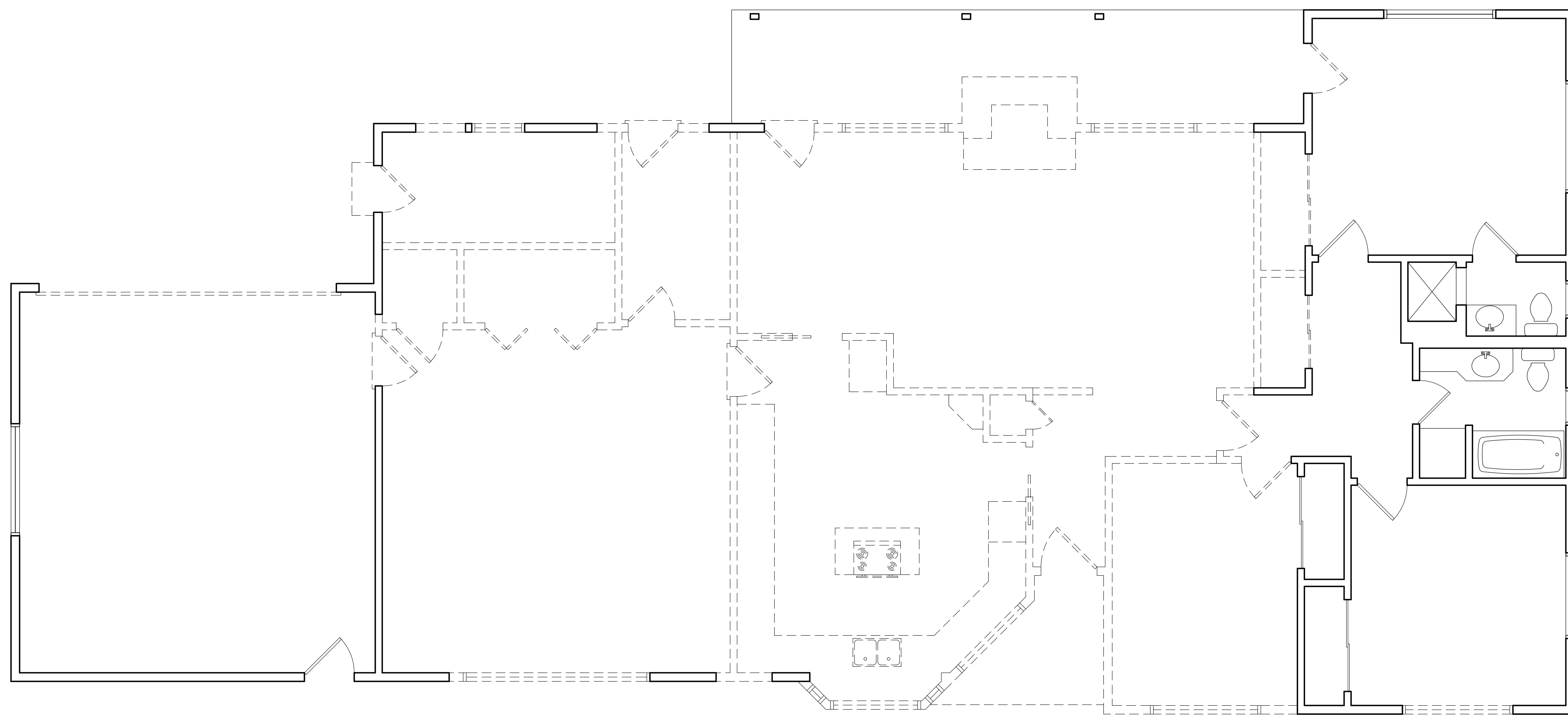
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JOB NO.

**EXISTING  
FLOOR PLAN  
w/ DEMOLITION**

**A2.0**

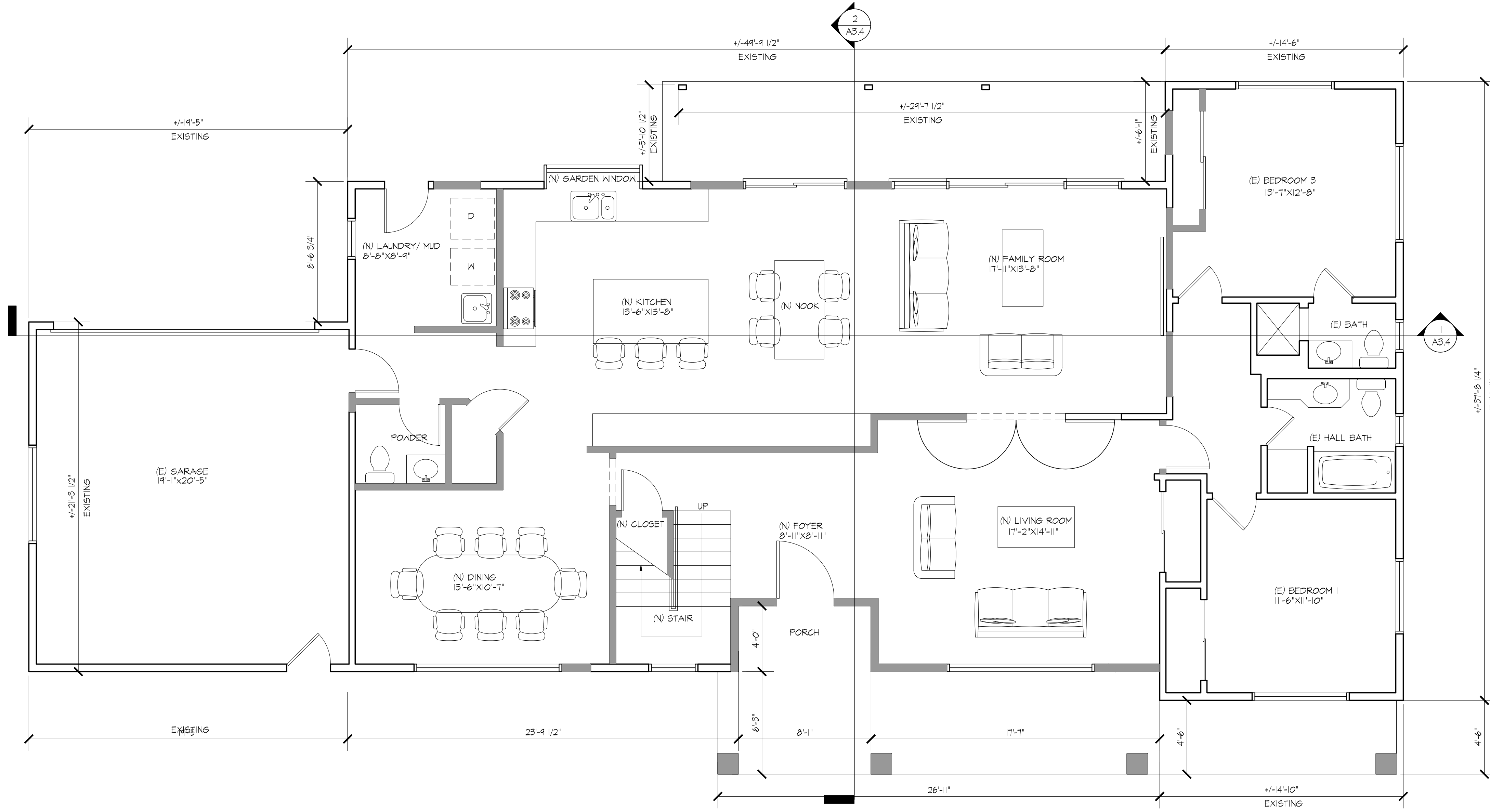
-  (E) WALL TO REMAIN
-  (E) WALL OR DOOR TO BE REMOVED
-  (E) WINDOW TO BE REMOVED



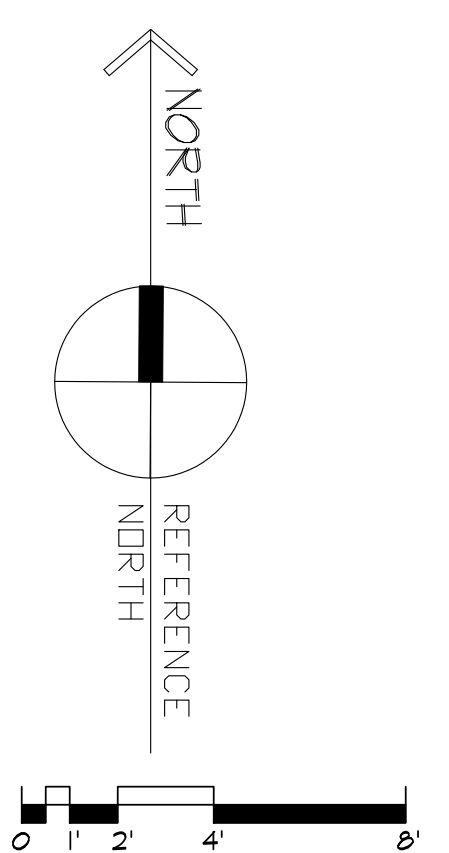
① EXISTING FLOOR PLAN w/ DEMOLITION

1/4" = 1'-0"

LEGEND



==== (E) WALL TO REMAIN  
 ——— (N) NEW WALL



① PROPOSED GROUND FLOOR PLAN

LEGEND

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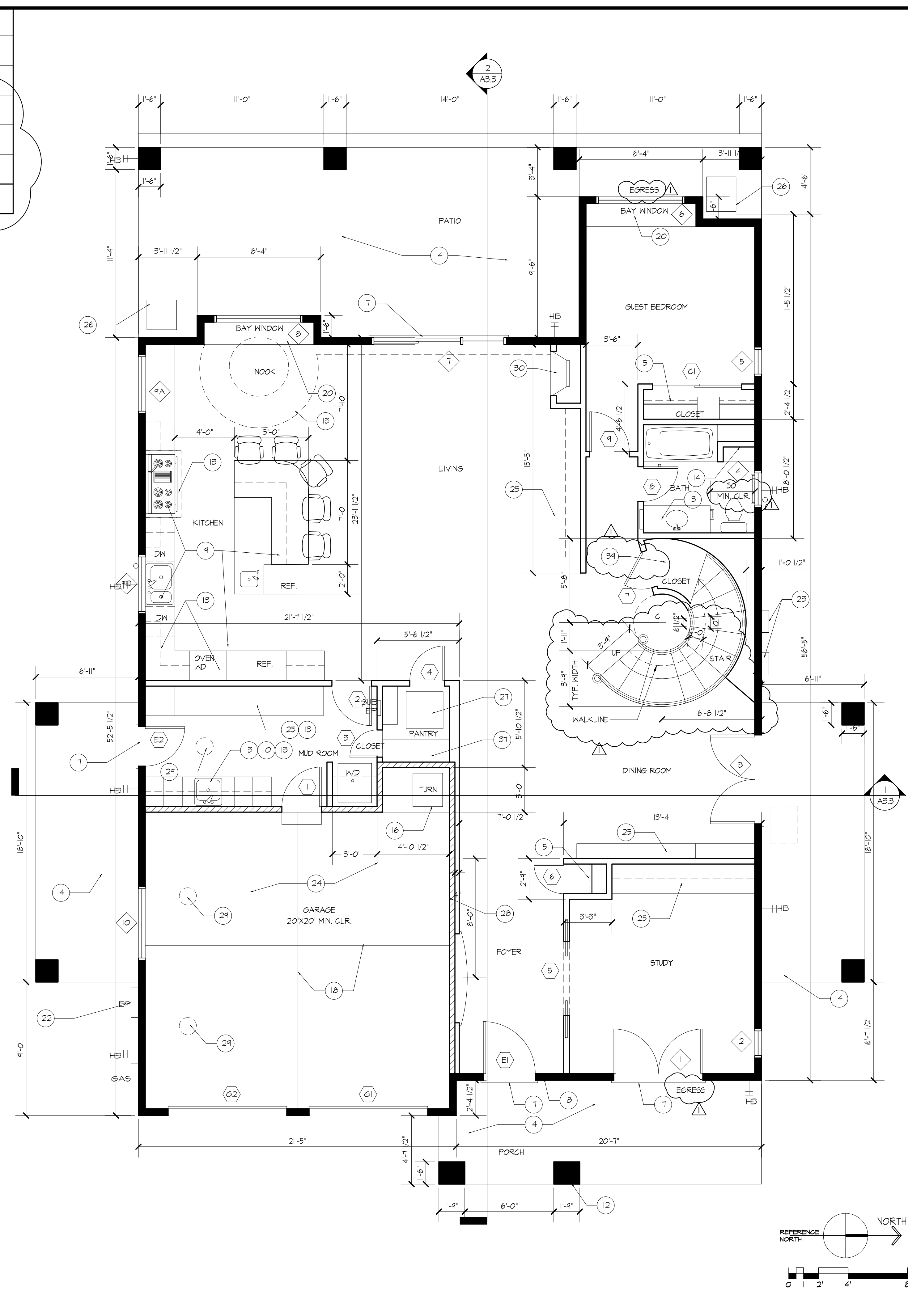
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**PROPOSED**  
**GROUND**  
**FLOOR PLAN**

**A2.1**

TOTAL AREA (w/ CRAWL SPACE)	1851 S.F.
REQUIRED VENT OPENING AREA	1851 S.F. / 150 = 12.34 S.F. OR 1177 SQ. IN.
NUMBER OF VENTS PROVIDED	22 VENTS (14x6)
TOTAL VENT OPENING AREA	1848 SQ. IN. (84 SQ. IN. X 22)
VENT AREA PROVIDED > REQUIRED	1848 SQ. IN. > 1177 SQ. IN.

FOUNDATION VENT CALCS



(N) INTERIOR WALL w/ 2X WOOD STUD AND 1/2" GYP. BD. ON THE BOTH SIDE. SEE DETAIL 1/A9.1.  
USE CEMENT BOARD AT WALLS NEXT TO SHOWERS & BATH TUBS. USE GREEN BOARD IN BATHROOMS, KITCHEN, & LAUNDRY ROOMS. SEE STRUCT. DRAWINGS FOR STUD SPACING AND PLYWOOD LOCATIONS.

(N) INTERIOR WALL w/ 2X WOOD STUD AND 1/2" X" TYPE GYP. BD. ON THE BOTH SIDE. SEE DETAIL 1/A9.1.  
SEE STRUCT. DRAWINGS FOR STUD SPACING AND PLYWOOD LOCATIONS.  
USE CEMENT BOARD IN BATHROOMS, KITCHEN, & LAUNDRY ROOMS.

(N) INTERIOR WALL w/ 2X WOOD STUD AND 1/2" GYP. BD. ON THE INTERIOR SIDE AND 1/8" CEMENT PLASTER ON THE EXTERIOR SIDE. PROVIDE 2 LAYER OF BLDG. PAPER AND METAL LATH. SEE DETAIL 2/A8.1 USE CEMENT BOARD AT WALLS NEXT TO SHOWERS & BATH TUBS. USE CEMENT BOARD IN BATHROOMS, KITCHEN, & LAUNDRY ROOMS.

	NEW DOOR, SEE DOOR SCHEDULE SEE DETAIL 2/A9.1		ELECTRICAL PANEL (200 AMP)
	NEW WINDOW, SEE WINDOW SCHEDULE		GAS METER PER PG & E STANDARDS
			EXTERIOR HOSE BIBS

- ### LEGEND
- PROVIDE CEMENT BOARD AROUND ALL BATHROOMS, KITCHEN, AND LAUNDRY ROOM. USE CEMENT BOARD FOR WALLS & CEILING AT SHOWERS & BATH TUBS.
  - ALL DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREA SHALL BE 26 GA. MIN.
  - ALL PLUMBING WALLS BEARING WALL EXCEED 10'-0" HEIGHT SHALL BE 2X6 WD. STUD AT 16" O.C.
  - ALL GLASS SHOWER ENCLOSURES & DOORS SHALL BE TEMPERED, SAFETY GLASS.
  - ALL CONDUITS PENETRATING ONE HOUR WALL OR CEILING TO GARAGE NEED TO BE FIRE CAULKED.
  - PROVIDE MIN. 24" IN FRONT OF WATER CLOSET, AND 30" MIN. CLEAR WIDTH AT WATER CLOSET SPACE, TYP.
  - PROVIDE 6" CEILING TRIM & BASE BOARD ALL THROUGH OUT, EXCEPT CLOSETS & BATHROOMS, U.O.N.
  - ALL STEPS SHALL HAVE 1 3/4" MAX. RISE & 10" MIN. TREAD. DOOR THRESHOLD SHALL BE 1/2" MAX. TOP OF THRESHOLD SHALL BE 1 3/4" MAX. FROM LANDING.
  - UPPER CABINETS SHALL BE A MIN. OF 30" ABOVE COOKING TOP OR A HOOD IS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS WITH CLEARANCES AS REQUIRED BY THE RANGE/ COOK TOP MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS PER CMC 916.1.
  - PROVIDE SAFETY (TEMPERED) GLAZING FOR WINDOWS WITH SILLS LESS THAN 5' ABOVE SHOWER OR TUB, LESS THAN 5' OF THE BOTTOM AND TOP OF STAIRWAYS, AND LESS THAN 2' ABOVE FINISH FLOOR.
  - THE BOTTOM OF ALL FOUNDATION VENTS SHALL NOT BE MORE THAN 12" FROM ADJACENT FINISH GRADE.
  - PROVIDE WATERPROOFING AT ALL EXTERIOR WINDOWS. SEE DETAIL 6/A8.1.
  - PROVIDE CEILING CROWN TRIM THROUGHOUT, EXCEPT GARAGE & CLOSETS. SEE DETAIL 5/A9.1.
  - NO FOUNDATION VENTS SHALL BE INSTALLED AT OR CLOSE TO HOLD DOWNS OR STRONG WALLS.
  - ALL STAIRS (AT GARAGE, PORCH & REAR DECK) SHALL MEET THE FOLLOW REQUIREMENTS: 1 3/4" MAX. RISE, 10 MIN. RUN, AND 36" MIN. WIDTH. THE TOP OF THE HANDRAIL SHALL BE PLACED NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE THE NOSING OF THE TREADS & LANDINGS. HANDRAIL SHALL BE RETURNED OR HAVE ROUNDED TERMINATION OR BEND. THE HANDGRIP PORTION OF RAILING SHALL BE 1 1/4" TO 2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
  - DRYER VENT DUCT SHALL BE 4" WITH A MAX. RUN OF 14', INCLUDING TWO 90-DEGREE ELBOWS, PER CMC 504.3.2.2. AND SHALL HAVE A BACK DRAFT DAMPER. CMC 504.1.
  - PROVIDE 20"X30" ATTIC ACCESS TO ALL ATTIC SPACES WHERE VERTICAL SPACE EXCEEDS 30". ACCESS SHALL BE LARGE ENOUGH TO ALLOW LARGEST PIECE OF EQUIPMENT TO GO THROUGH FOR FUTURE REPAIR & REPLACEMENT
  - ALL WALLS IN THE TUBS/ SHOWER AREAS TO BE PROTECTED UP- TO 12" PER SECTION R307 CRC.
  - ALL FIRE BLOCKING SHALL BE INSTALLED IN LOCATION PER R302.11 CRC.
  - THE WINDOWS AT THE SECOND FLOOR SHALL COMPLY WITH SECTION R312.2.1 CRC.
  - ALL OPENINGS OR SPACING BETWEEN VERTICAL OR HORIZONTAL RAILS OF GUARDRAIL SHALL BE LESS THAN 4".

- ### FLOOR PLAN GENERAL NOTES
- 2X4' FULL DOWN FOLDING LADDER TO ACCESS ATTIC. PROVIDE LIGHT & SWITCH IN ATTIC.
  - BALCONY w/ SLATE TILE FINISH. PROVIDE G.S.M. & WATERPROOFING MEMBRANE THROUGHOUT w/ MIN. 4" LAP UP ON ALL SIDES
  - LAUNDRY SINK ON COUNTER
  - CONC. PORCH / PATIO LANDING w/ SLATE TILES. PROVIDE 2% MIN. SLOPE AWAY FROM HOUSE.  
(PROVIDE LANDING AT ALL EXTERIOR DOORS MIN. 36" FROM FACE OF THE BUILDING WALL TO THE EDGE OF THE LANDING.)
  - CLOTH HANGING WOOD POLE & TOP WOOD SHELF, PAINTED. POLE TO BE MOUNTED AT 5'-4" A.F.F. & SHELF AT 6'-0" A.F.F.
  - PROVIDE FURNACE AT THIS AREA IN ATTIC. VERIFY FOR HEIGHT CLEARANCE. PROVIDE MIN. 6X6 3/4" PLYWOOD PLATFORM FOR EQUIPMENT AND ACCESS, ADJACENT TO ATTIC ACCESS. PROVIDE LIGHT & SWITCH.
  - PROVIDE DOOR THRESHOLD FLUSH WITH FINISH FLOOR. MAX. DROP TO PORCH/ PATIO LANDING IS 1 3/4" MAX.
  - PROVIDE INTERCOM & DOOR BELL.
  - KITCHEN w/ APPLIANCE, CABINETS AND COUNTERTOP.
  - BUILT IN UPPER LAUNDRY ROOM CABINETS. PROVIDE CABINET & COUNTER WITH SINK.
  - PROVIDE TEMPERED FROSTED GLASS DOOR & ENCLOSURE FOR TOILET.
  - PROVIDE ADDRESS NUMBER SIGN ON WALL. THE POSITION SHALL BE AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE SIGN SHALL ALSO MEET CITY REQUIREMENTS.
  - CEILING SOFFIT ABOVE. SEE RCP.
  - PROVIDE WD. SHELVES & CABINET DOOR FOR LINEN CLOSET.
  - PROVIDE ACCESS PANEL TO WHIRPOOL MOTOR. EXTERIOR ACCESS SHALL BE WEATHERPROOF PAINTED METAL. THE ACCESS SHALL BE SIZED SUFFICIENTLY TO REMOVE THE LARGEST PIECE OF EQUIPMENT.
  - FURNACE FOR GROUND FLOOR WITH DUCTS THROUGH CRAWL SPACE. LOCATION OF THERMOSTAT BY OWNER.  
(PROVIDE MIN. 18" WOOD PLATFORM & METAL STRAPS AT TOP & BOTTOM)
  - SHOWER w/ TEMPERED GLASS ENCLOSURE & DOOR. SEE DETAIL 6/A9.1.
  - CONC. FLOOR WITH CONTROL JOINTS, S.S.D.
  - CUSTOM BUILT CLOSET SYSTEM (VERIFY W/ OWNER)
  - BAY WINDOW w/ BUILT IN WINDOW SEAT OR SILL
  - JACUZZI TUB WITH BUILT UP PLATFORM (KOHLER RIVERBATH WHIRPOOL K-1360 OR EQUAL)
  - MAIN 200AMP ELEC. PANEL
  - RINNAI RUB08 WALL MOUNTED TANKLESS WATER HEATER w/ 152,000 BTU EACH. SEE TITLE 24 FOR ADDITIONAL INFO.
  - PROVIDE 5/8" TYPE 'X' GYP. BD. ON CEILINGS AND SUPPORTING MEMBERS AND 1/2" FOR WALLS BETWEEN MAIN HOUSE & GARAGE FOR RATED SEPARATION.
  - BUILT-IN CABINET/ CLOSET / SHELVES.
  - (2) A.C. UNIT ON 4" CONC. PAD, CARRIER INFINITY MODEL 24 ANAI w/ 65 DBA. PROVIDE PIPING, CONNECTION & DISCONNECTS. ANCHOR A.C. TO CONC. PAD OR SLAB.
  - PROVIDE CRAWL SPACE ACCESS. ACCESS PANEL TO BE 24"X30" MIN.
  - WALL NICHE.
  - 14" DIA SOLATUBE, TYP. OF T. SOLATUBE SHALL BE TESTED AND LABELED IN COMPLIANCE WITH AAMA/NDMA/CSA 1011/15.2/A440 PER CRC SECTION R302.6.9. SEE DETAIL 5/A8.1.
  - MONTGO L42DF GAS BURNING FIREPLACE WITH DIRECT VENT. INSTALL IN ACCORDANCE WITH ITS LISTING IN ADDITION TO MANUFACTURER'S INSTRUCTION. VENT THROUGH EXTERIOR WALL. FIRE PLACE SHALL BE DIRECT-VENTED SEALED COMBUSTION TYPE.
  - PROVIDE BATHROOM PLUMBING, FIXTURE, COUNTERTOP, CABINETS & TOILET (MAX. 1.28 GAL/ FLUSH).
  - WROUGHT IRON RAILS & WD. STAIR. 16 RISES AT 1 1/2" EACH & 15 TREADS AT 10" EACH. SEE DETAIL 4/A9.1 & 5/A9.1. HANDRAIL SHALL BE CONTINUOUS. SEE 4/A9.1 FOR HANDRAIL SECTION. SEE 4/A9.1 FOR DETAIL.
  - 42" HT. WROUGHT IRON GUARDRAILS. OPENING BETWEEN RAILS SHALL BE THAT A 4" DIA. SPHERE CANNOT PASS THROUGH.
  - OUTLINE OF GROUND FLOOR EXTERIOR WALL BELOW.
  - PROVIDE ROOF DRAIN, TYP. OF 2. SLOPE BALCONY w/ 2% SLOPE TO DRAIN.
  - PROVIDE SEPARATE OVERFLOW DRAIN & DAYLIGHT. (DRAINS SHALL BE MIN. OF 3" DIAMETER)
  - 2X2 VELUX FCM FIXED SKYLIGHT, TYP. OF 2. NDMA HALLMARK REPORT #426. NATIONAL EVALUATION SERVICE REPORT #NER-216. THE SKYLIGHT SHALL BE TESTED AND LABELED AS COMPLYING WITH AAMA/NDMA/CSA STANDARD 1011/15.2/A440. THE LABEL SHALL STATE THE NAME OF MANUFACTURER, THE APPROVED LABELING AGENCY, THE PRODUCT DESIGNATION AND THE PERFORMANCE GRADE RATING AS SPECIFIED IN THE STANDARD.
  - PROVIDE WOOD SHELVES FOR PANTRY.
  - PARTIAL 1/2" GYP. BD. WALLS AT 44" A.F.F.
  - PROVIDE 1/2" GYP. BD. WALLS AND CEILING UNDER STAIR USABLE ENCLOSED SPACES.

FLOOR PLAN KEYNOTES

1 PROPOSED GROUND FLOOR PLAN

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650.302.1987  
mike@march.design

REVISIONS

1	PLAN CHECK COMMENTS	JULY 18, 2016
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**LI RESIDENCE**

136 S. CLARK AVENUE  
LOS ALTOS, CA 94024  
APN: 189-54-025

CLIENT

DATE 03/31/16

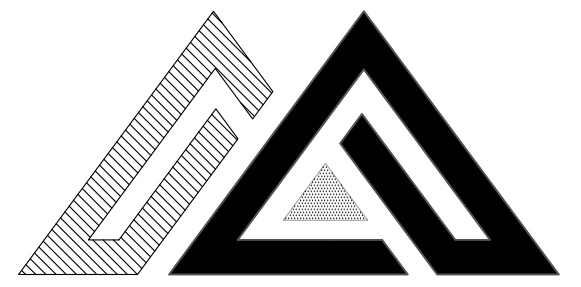
CHECKED

DRAWN MM

JOB NO.

**GROUND FLOOR PLAN**

**A2.1**



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--

DATE 07/26/16

CHECKED

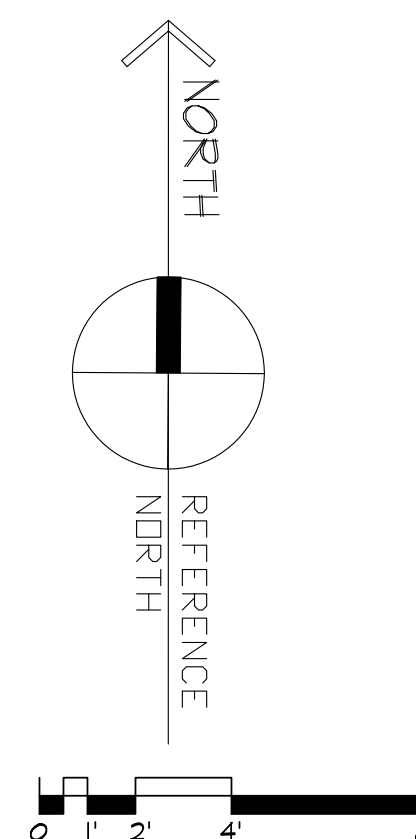
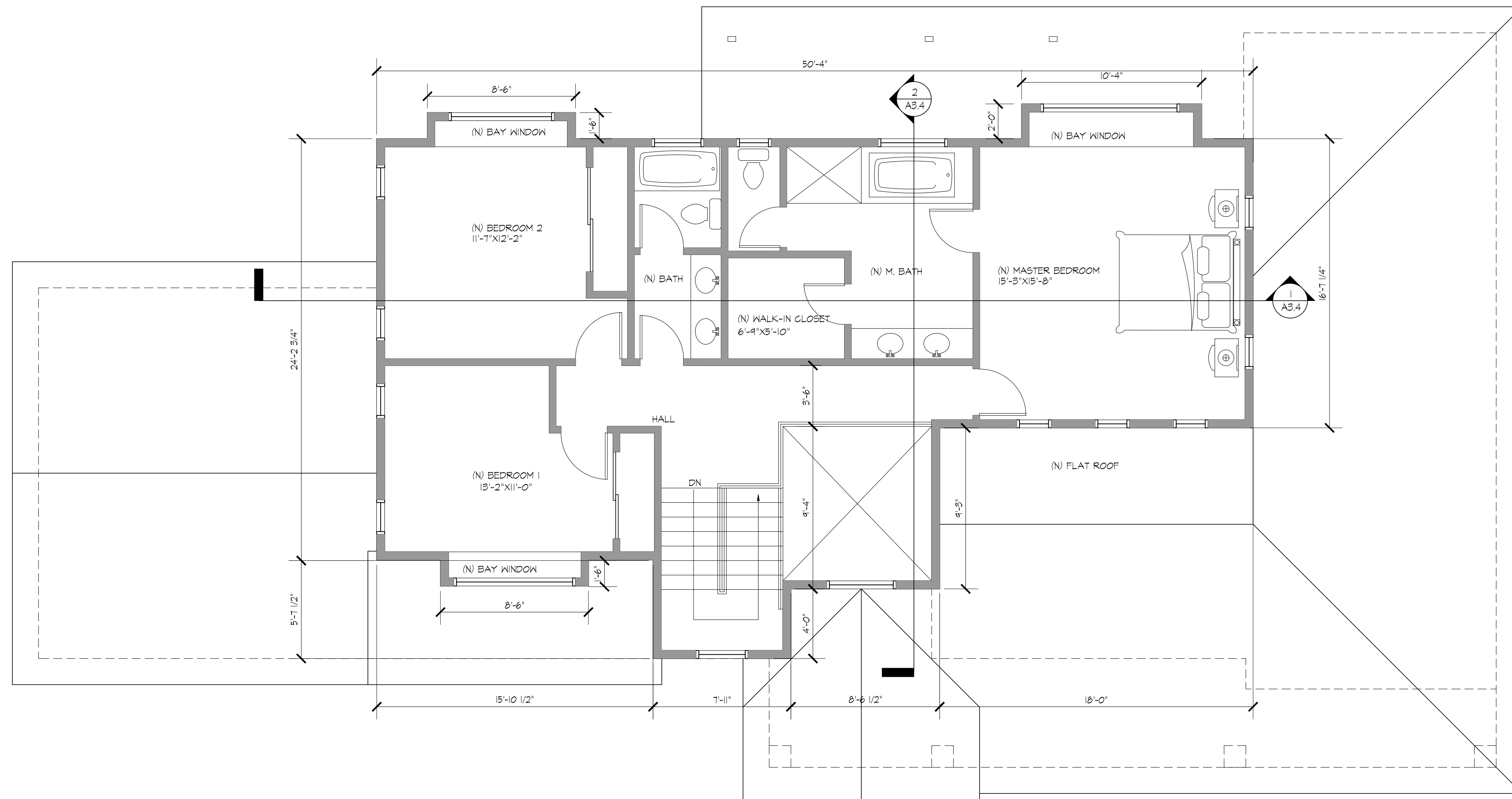
DRAWN MM

JOB NO.

**PROPOSED**  
**SECOND**  
**FLOOR PLAN**

**A2.2**

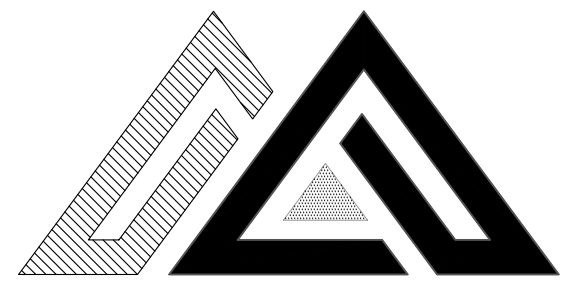
==== (E) WALL TO REMAIN  
==== (N) NEW WALL



1/4" = 1'-0"

LEGEND

① PROPOSED 2ND FLOOR PLAN



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DATE 07/26/16

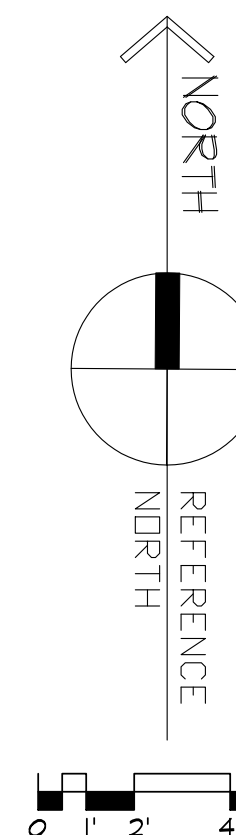
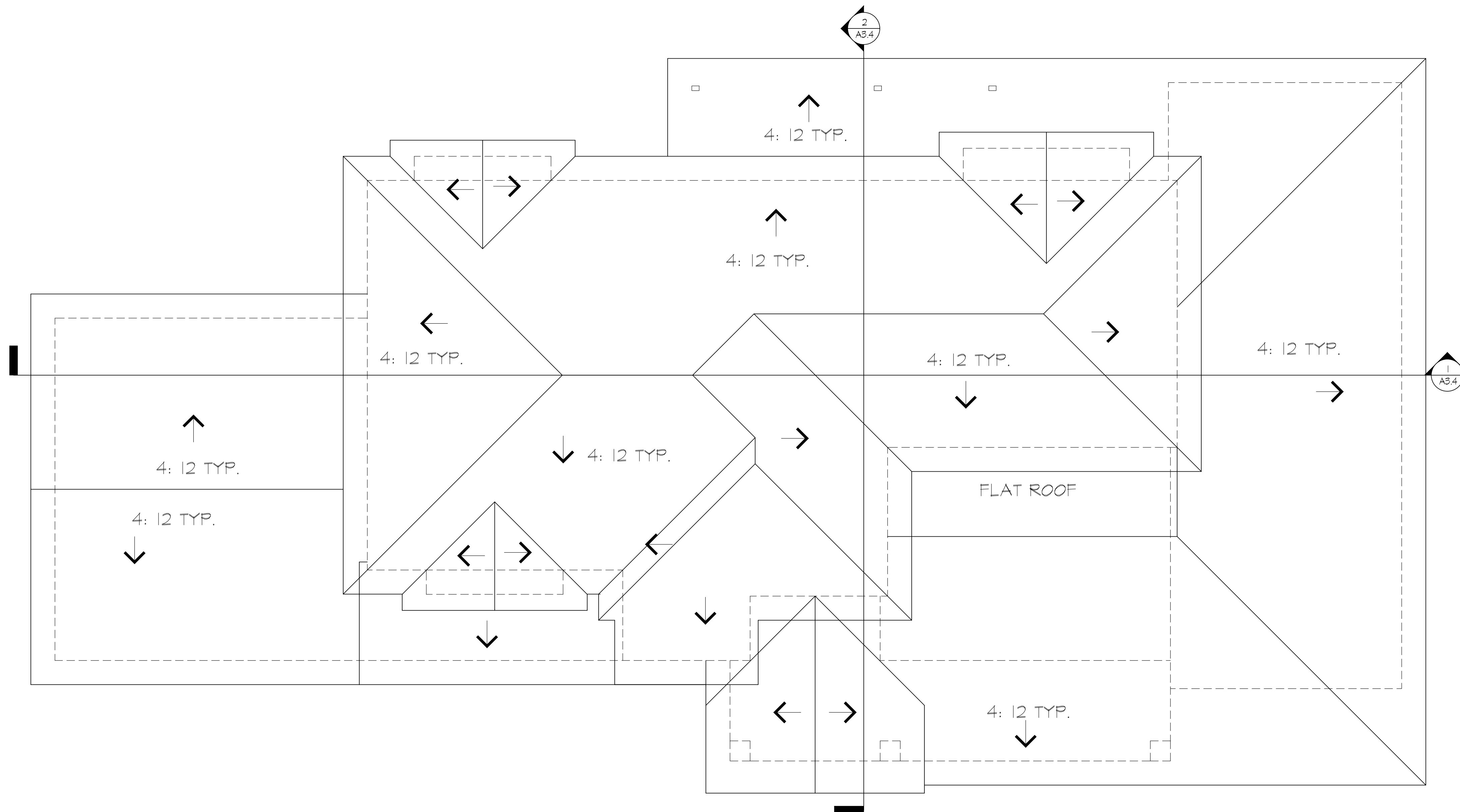
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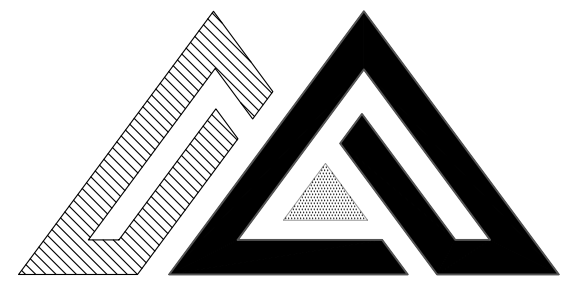
JOB NO.

**PROPOSED**  
**ROOF PLAN**

**A2.3**







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JOB NO.

**FLOOR &  
 COVERAGE AREA  
 CALCULATIONS**

**A2.4**

**FLOOR AREA CALCULATION**

**FIRST FLOOR**

SECTION	DIMENSIONS	AREA
A	19'-5" X 21'-3 1/2"	413.4
B	23'-9 1/2" X 29'-10 1/4"	710.3
C	8'-1" X 25'-10 1/4"	209.0
D	32'-5" X 29'-10 1/4"	967.8
E	14'-6" X 6'-1"	88.2
F	14'-10" X 1'-9"	26.0
<b>SUBTOTAL</b>		<b>2414.7</b>

**SECOND FLOOR**

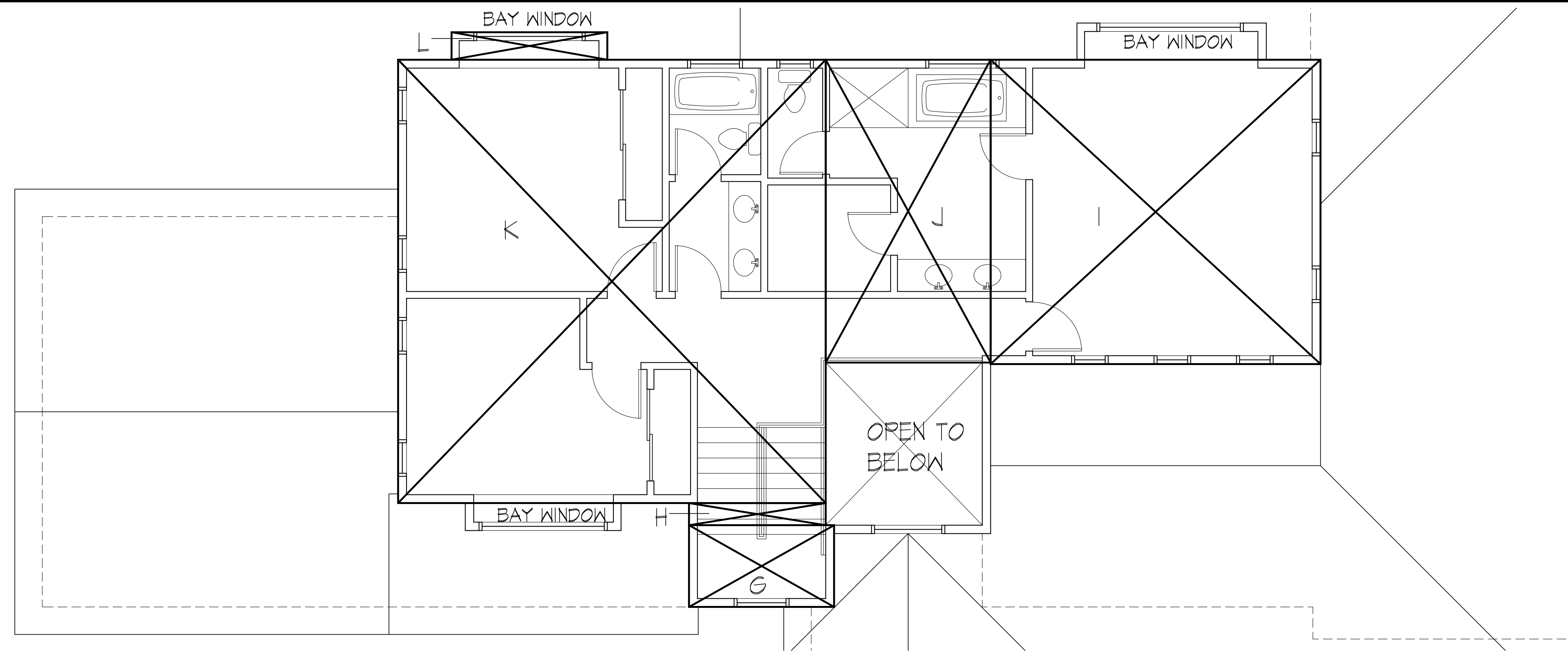
SECTION	DIMENSIONS	AREA
G	7'-11" X 4'-5 1/2"	35.3
H	7'-5 1/2" X 1'-2 1/2"	9.0
I	18'-0" X 16'-7 1/4"	298.9
J	9'-0" X 16'-6 1/4"	148.7
K	23'-4" X 24'-2 1/4"	564.4
<b>SUBTOTAL</b>		<b>1056.3</b>

TOTAL FLOOR AREA 3471.0 SF < 3472 SF

**FLOOR COVERAGE CALCULATION**

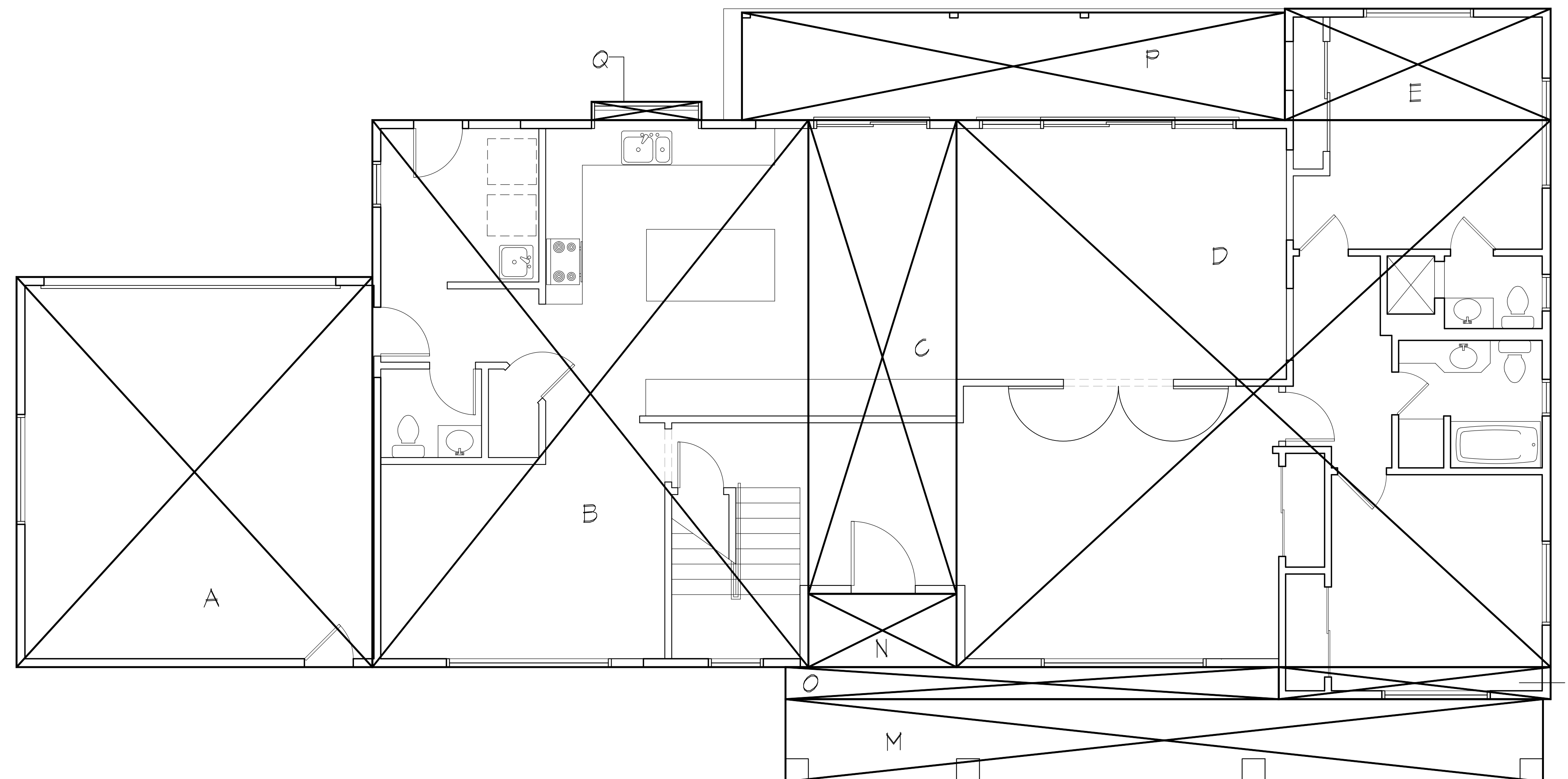
SECTION	DIMENSIONS	AREA
FIRST FLOOR AREA		2414.7
L	8'-6" X 1'-6"	12.8
M	41'-4" X 4'-6"	186.0
N	8'-1" X 4'-0"	32.3
O	26'-11" X 1'-9"	47.1
P	29'-7 1/2" X 5'-10 1/2"	174.0
Q	6'-0" X 1'-0"	6.0
<b>TOTAL</b>		<b>2872.9</b>

TOTAL COVERAGE 2873 SF < 2976 SF



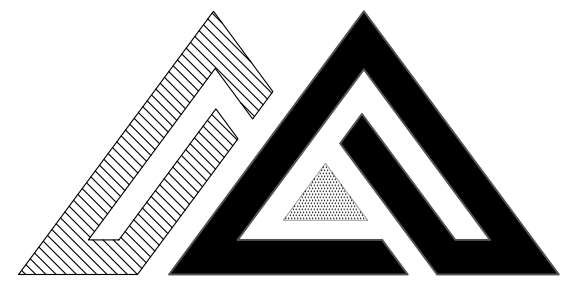
② SECOND FLOOR AREA CALCULATION

1/8"=1'-0"



② GROUND FLOOR & COVERAGE AREA CALCULATION

1/8"=1'-0"

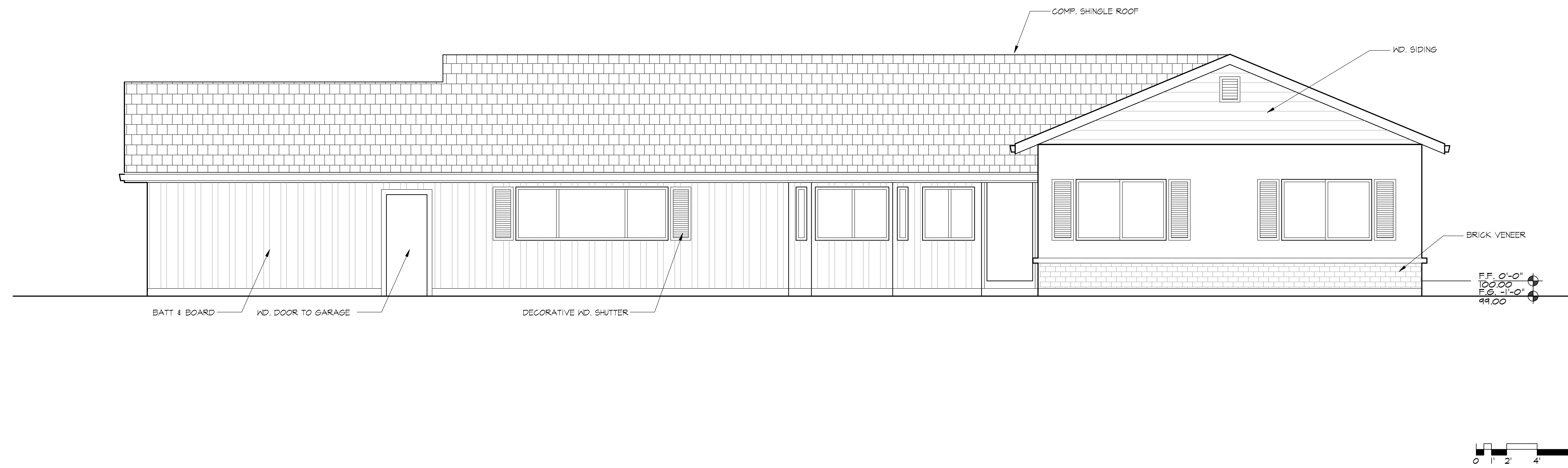


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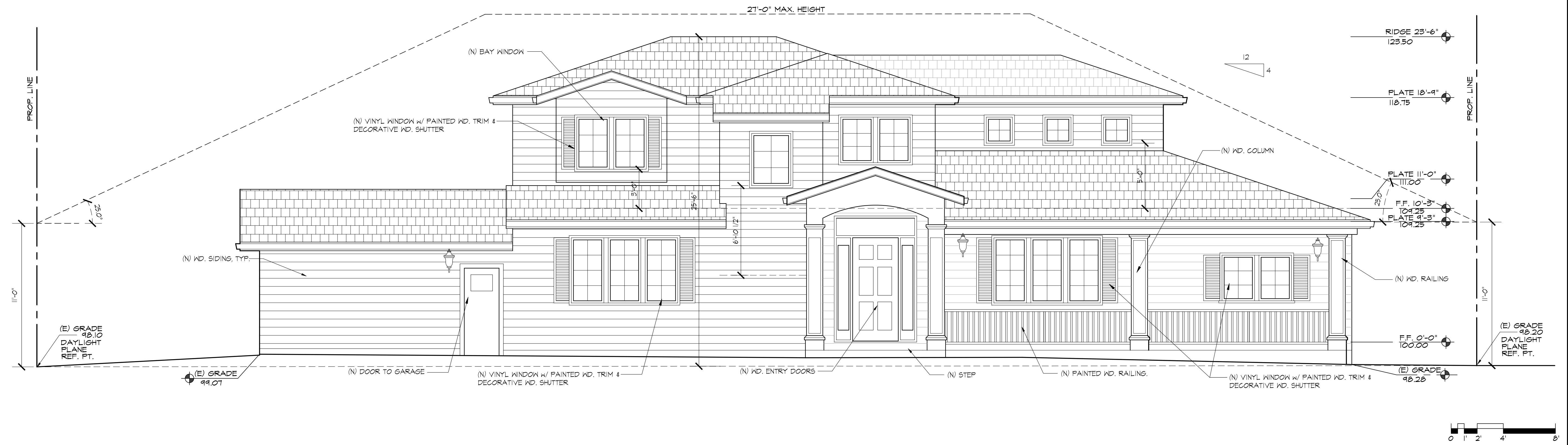
REVISIONS

NO.	DESCRIPTION



① EXISTING STREET ELEVATION (SOUTH)

1/4" = 1'-0"



② PROPOSED STREET ELEVATION (SOUTH)

1/4" = 1'-0"

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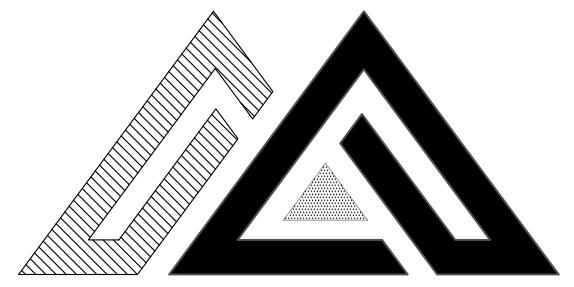
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JOB NO.

**EXISTING &  
PROPOSED  
ELEVATIONS**

**A3.1**



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**ADDITION & REMODEL**  
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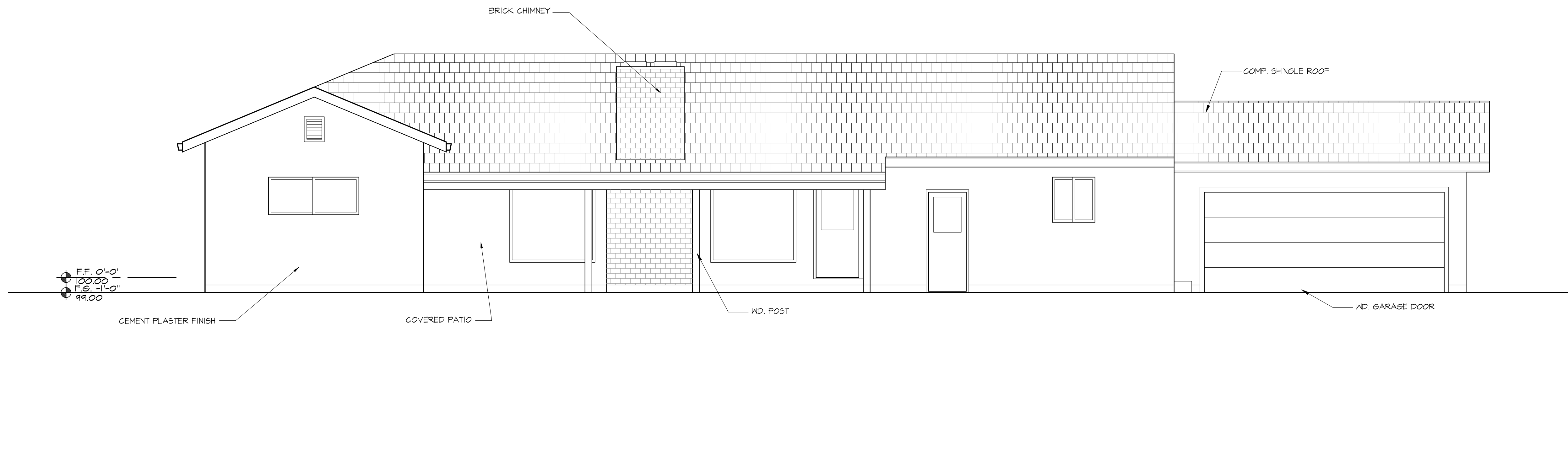
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DRAWN MM

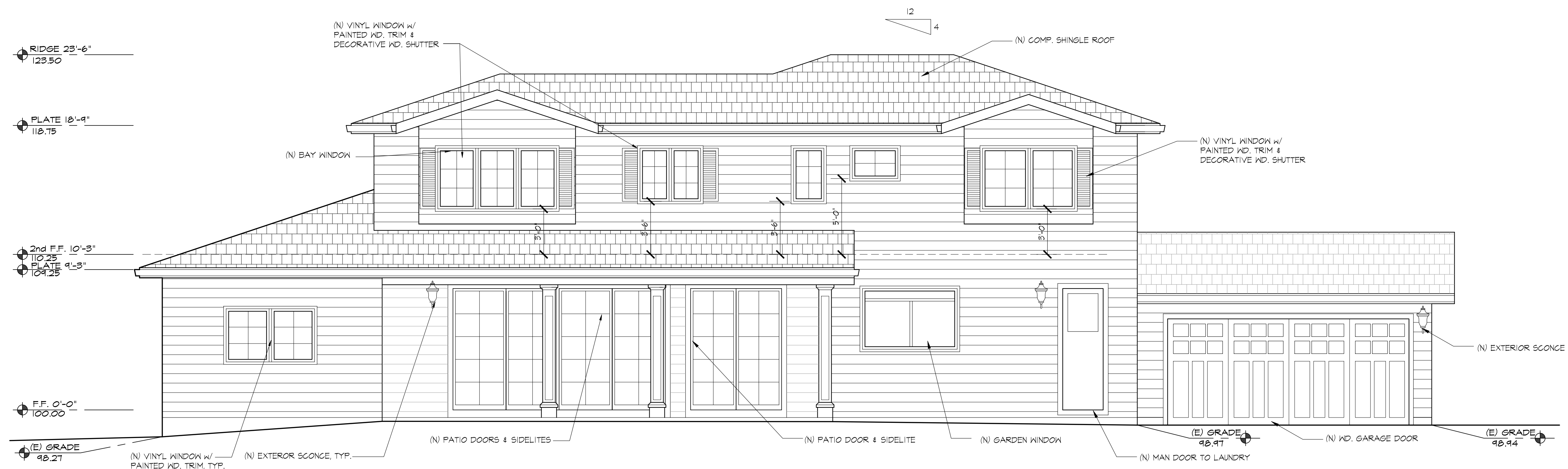
JOB NO.

**EXISTING &  
PROPOSED  
ELEVATIONS**

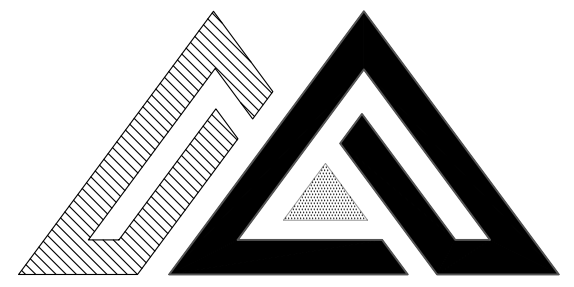
**A3.2**



① EXISTING REAR ELEVATION (NORTH)



② PROPOSED REAR ELEVATION (NORTH)



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DATE 07/26/16

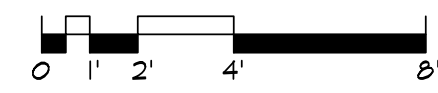
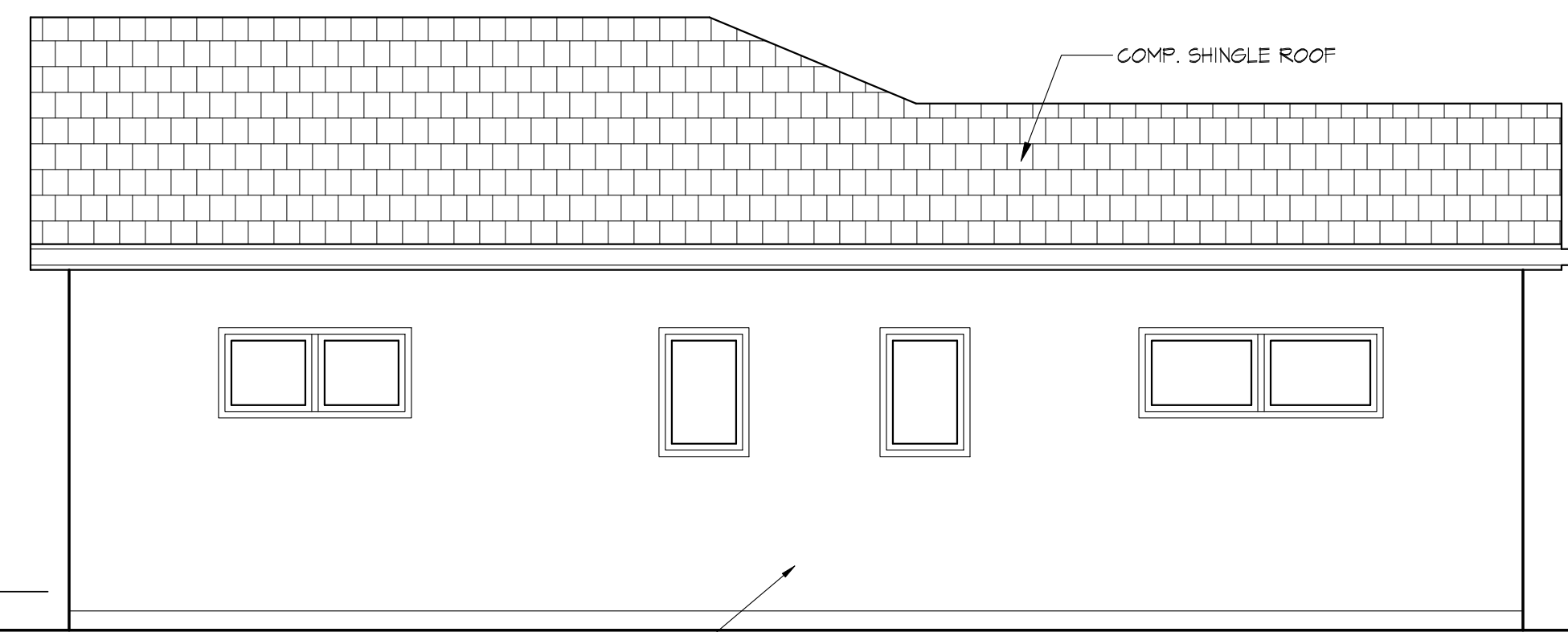
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JOB NO.

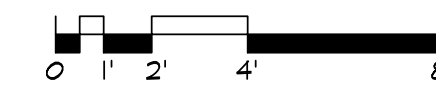
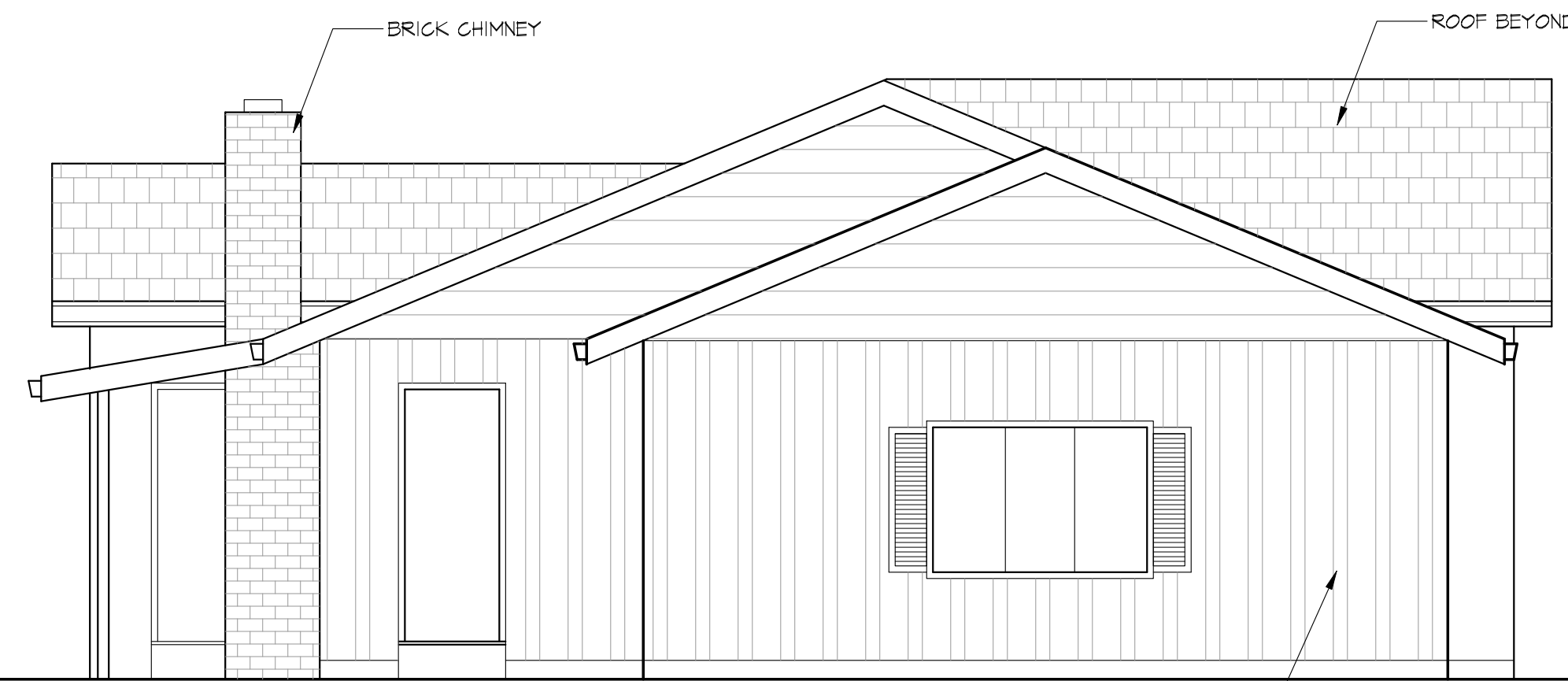
**EXISTING &  
PROPOSED  
ELEVATIONS**

**A3.3**



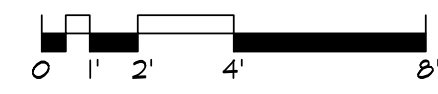
③ EXISTING SIDE ELEVATION (EAST)

1/4" = 1'-0"



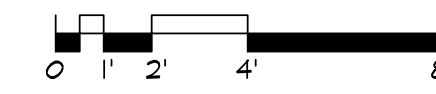
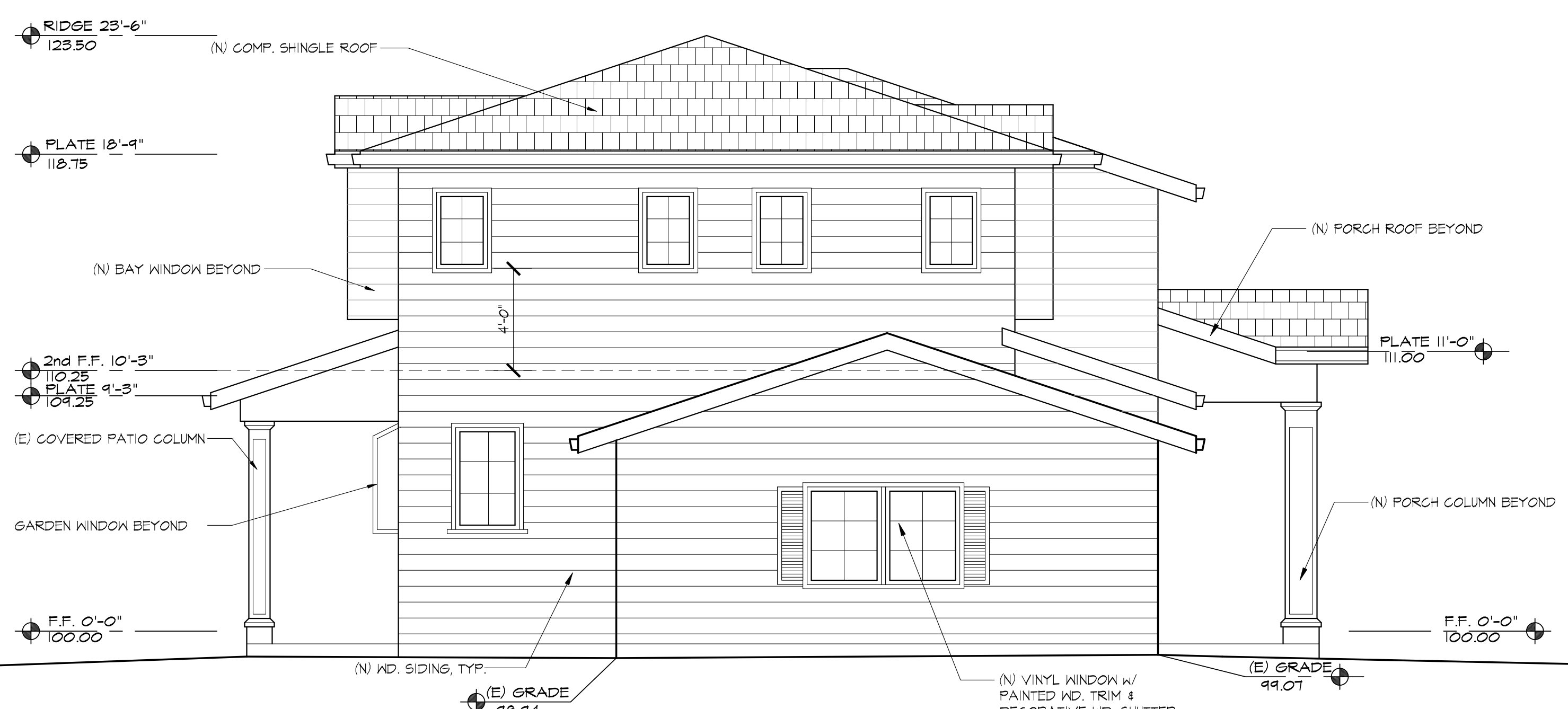
① EXISTING SIDE STREET ELEVATION (WEST)

1/4" = 1'-0"



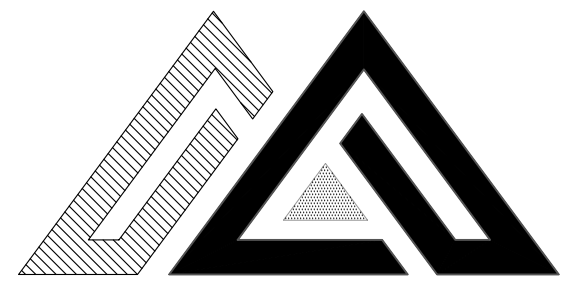
④ PROPOSED SIDE ELEVATION (EAST)

1/4" = 1'-0"



② PROPOSED SIDE STREET ELEVATION (WEST)

1/4" = 1'-0"

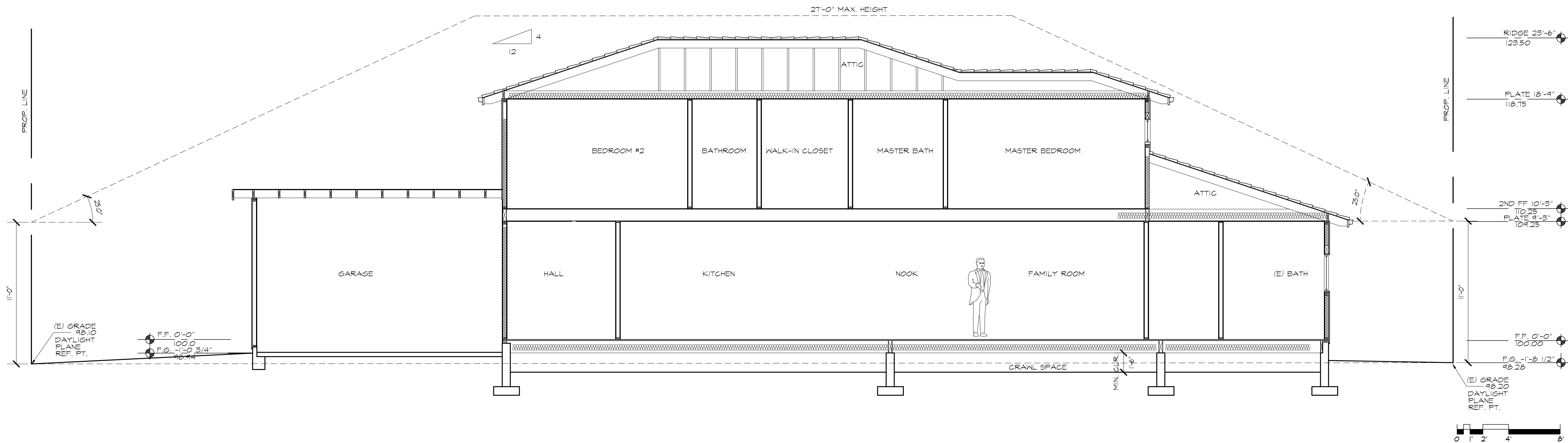


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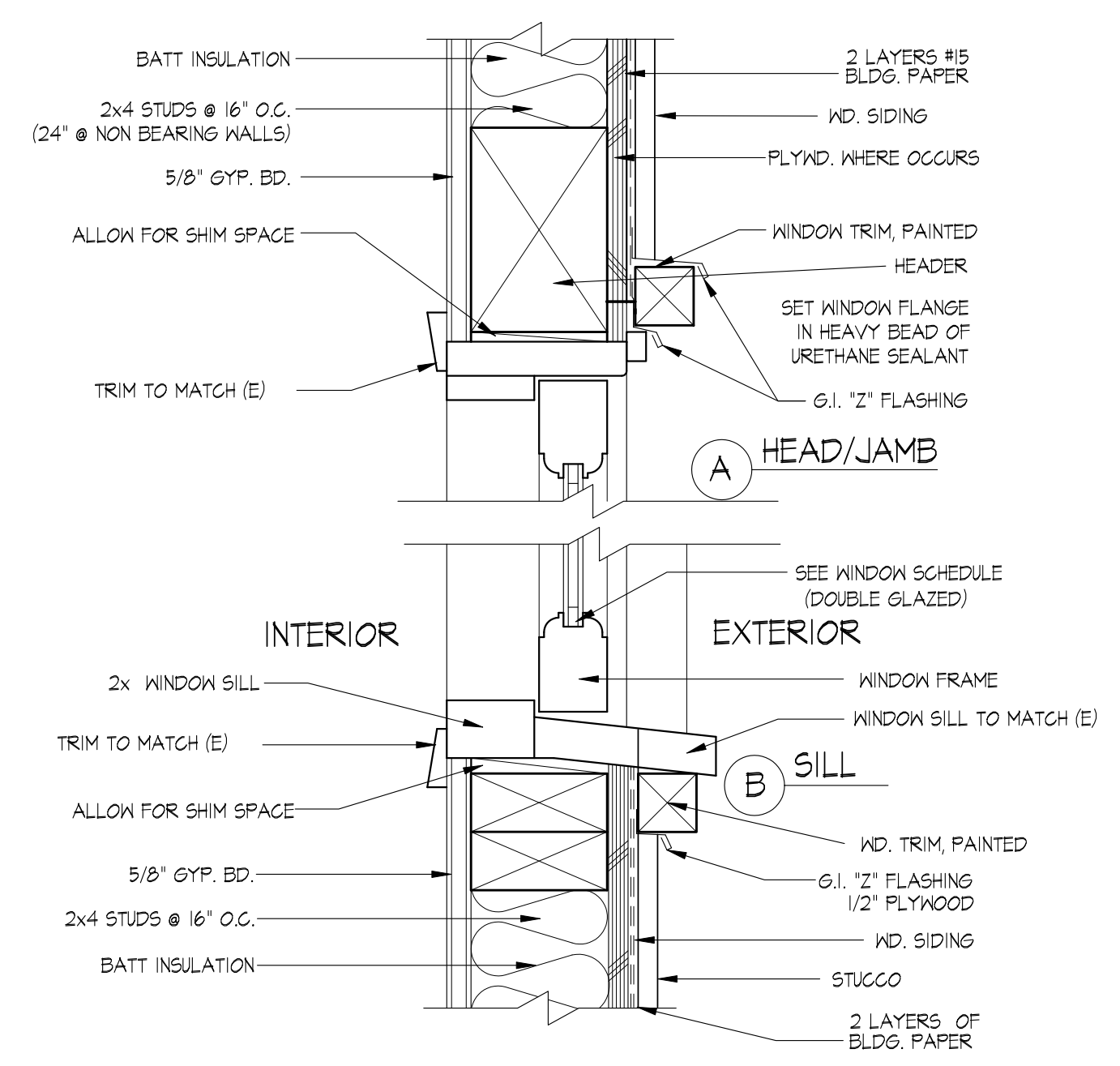
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APN: 193-38-050



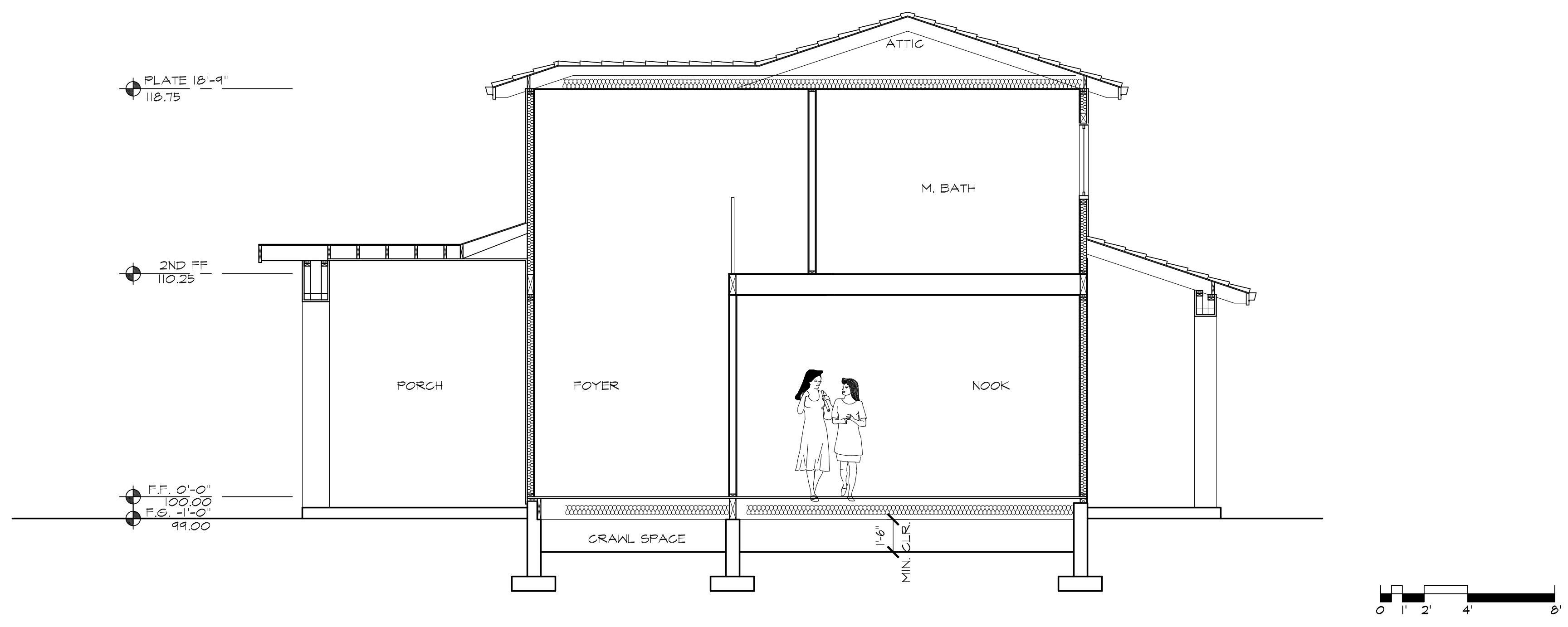
① SECTION

1/4" = 1'-0"



③ WINDOW DETAIL

3'-1'-0"



② SECTION

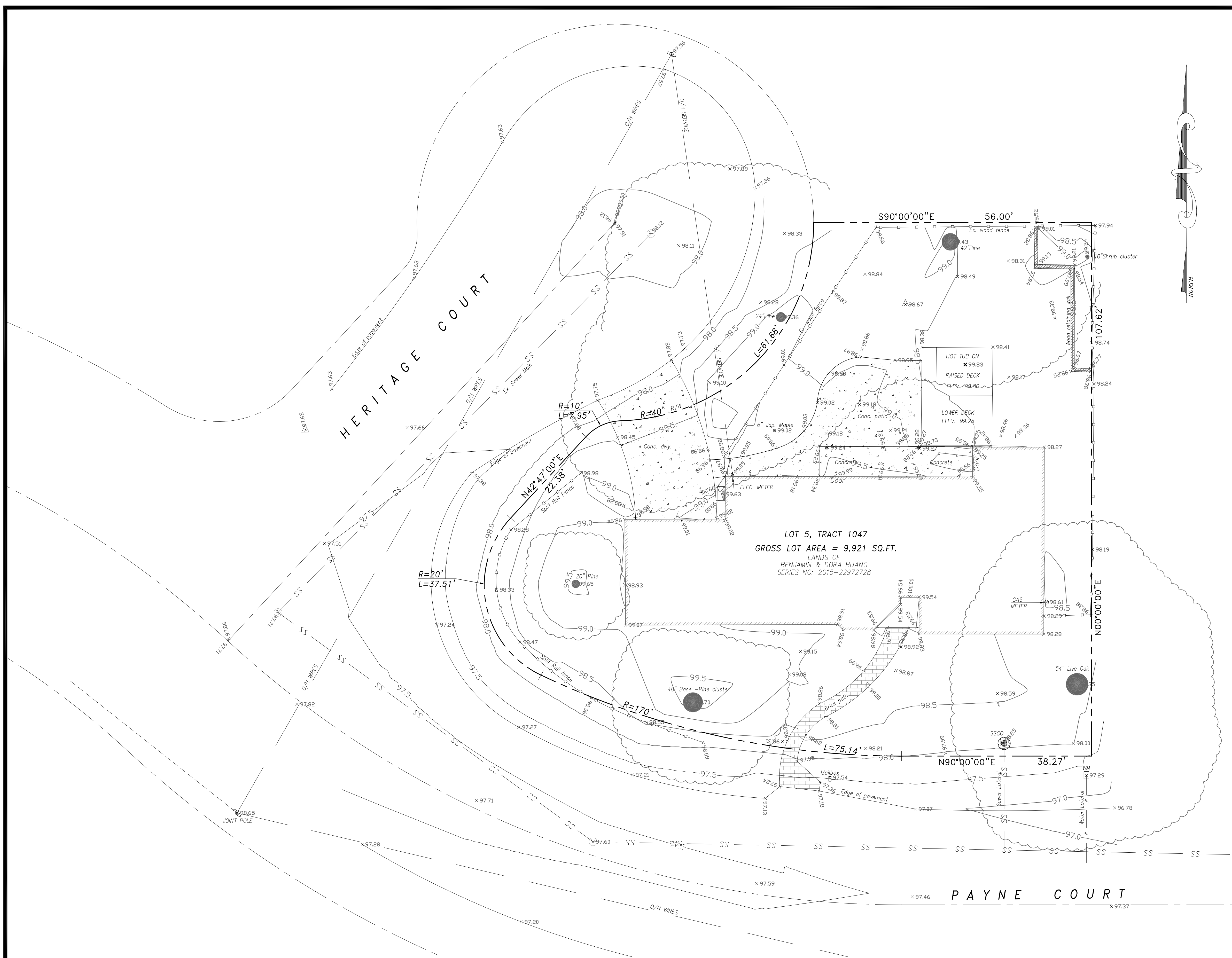
1/4" = 1'-0"

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DATE	07/26/16
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**BUILDING**  
**SECTIONS**  
**& DETAIL**

**A3.4**



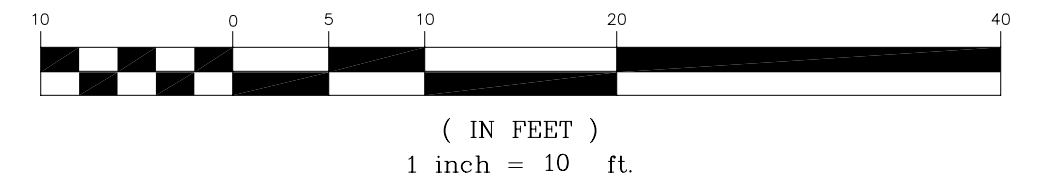


**LEGEND**

SYMBOL	DESCRIPTIONS	ABBREVIATIONS
---	BOUNDARY / RIGHT-OF-WAY LINE	AC AIR CONDITIONER UNIT
- - - -	EASEMENT LINE	AD AREA DRAIN
⊙	CENTERLINE (C)	BSW BACK OF WALK
---	RETAINING WALL	BW BOTTOM OF WALL (EXPOSED FACE)
---	SANITARY SEWER LINE AND MANHOLE OR CLEANOUT	CONC. CONCRETE
⊕	DRAIN INLET	DBH DIAMETER AT BREAST HEIGHT
---	PERCENT GRADE	DI DRAIN INLET
⊕	EXISTING GRADE ELEVATION	DS DOWNSPOUT
⊕	EXISTING CONTOUR w/ ELEVATION	EM EDGE OF PAVEMENT
⊕	EXISTING TREE w/ DBH	EX EXISTING
		FF FINISHED FLOOR ELEVATION
		FG FINISHED GRADE ELEVATION
		FL FLOW LINE ELEVATION
		FW FACE OF WALL
		GM GAS METER
		MB MAIL BOX
		O/H OVERHEAD
		PL PROPERTY LINE
		PUE PUBLIC UTILITY EASEMENT
		R= RADIUS OF CURVE
		Δ= INCLUDED ANGLE OF CURVE
		L= LENGTH OF CURVE
		WM WATER METER

LOT 5, TRACT 1047  
 GROSS LOT AREA = 9,921 SQ.FT.  
 LANDS OF  
 BENJAMIN & DORA HUANG  
 SERIES NO: 2015-22972728

GRAPHIC SCALE



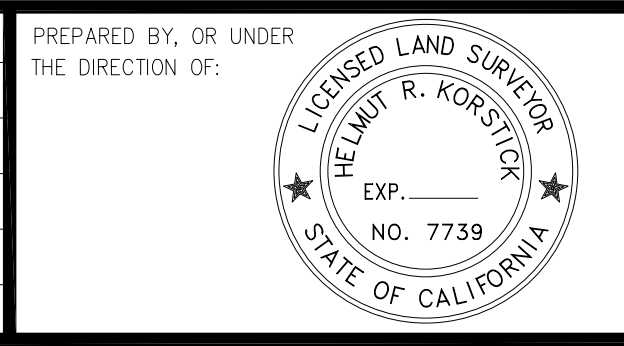
BENCHMARK: ELEVATIONS ASSUMED.

ELEVATION = 100.00 EXISTING FINISHED FLOOR)

BASIS OF BEARINGS: THE CALCULATED BEARING OF S50°49'24"E BETWEEN TWO FOUND MONUMENTS AS SHOWN ON TRACT 1047 (BOOK 40 OF MAPS AT PAGE 42), ONE AT THE 40' CUL-DE-SAC RADIUS (COMMON TO LOTS 2-5) AND ONE AT THE EASTERLY END OF THE COURSE LISTED AS EAST 111.14' (OPPOSITE LOT 12).

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY HELMUT KORSTICK, PLS 7739.

DATE: MAY 12, 2016					
SCALE: AS NOTED					
DRAWN: DSK					
DESIGNED: DSK					
ENGINEER: DSK					
MANAGER: DSK	NO.	BY	DATE	REVISIONS	CITY APPR



PREPARED BY:  
**STERLING CONSULTANTS**  
 ENGINEERING ■ SURVEYING ■ CONSTRUCTION SUPPORT  
 11040 BOLLINGER CANYON RD., SUITE E-102  
 SAN RAMON, CA 94582 PHONE: 925.705.3633  
 1sterlingconsultants@gmail.com FAX: 866.966.6343

PREPARED FOR:  
 BENJAMIN & DORA HUANG  
 1223 HERITAGE COURT  
 LOS ALTOS, CA 94024  
 TEL: 650-339-9089

APN: 193-38-050  
 1223 HERITAGE COURT  
**BOUNDARY & TOPOGRAPHIC SURVEY**  
 LOS ALTOS SANTA CLARA COUNTY CALIFORNIA

SHEET NO.  
**1**  
 JOB NO.  
 2015-213