



ALTOS II

FORMAL PLANNING SUBMITTAL (CITY COMMENTS)

JUNE 4, 2019

PROJECT TEAM

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PROJECT ADDRESS: 4898 EL CAMINO REAL

PROJECT NAME: ALTOS II

Altos II
 Los Altos, CA
 June 4, 2019

4898 ECR LLC

728 Addison Ave, Palo Alto, CA 94301
 650.996.1114

T1
 TITLE SHEET

SDG Architects, Inc.
 3361 Walnut Blvd, Suite 120
 Brentwood, CA 94513
 925.634.7000 | sdgarchitectsinc.com



PROJECT DATA TABLE

ADDRESS:	4898 EL CAMINO REAL LOS ALTOS, CA 94022
APN:	170-03-085
GENERAL PLAN:	THOROUGHFARE COMMERCIAL (TC)
ZONING:	COMMERCIAL THOROUGHFARE (CT)
GROSS SITE AREA:	18,919 S.F. (.434 ACRES)
NETSITE AREA:	16,919 S.F. (.388 ACRES)
BASE DENSITY:	15 UNITS (38 du / net ac)
PROPOSED DENSITY:	21 UNITS (54 du / net ac)
LOT COVERAGE:	48%
IMPERVIOUS AREA:	18,919 SQ. FT.
OCCUPANCY:	S2 / R2
CONSTRUCTION:	TYPE IA / IIIA
FIRE SPRINKLERS:	INCLUDED PER C.B.C. 903.2

BUILDING AREA SUMMARY

LOWER BASEMENT FLOOR:	15,902 S.F.
UPPER BASEMENT FLOOR:	15,442 S.F.
FIRST FLOOR:	8,970 S.F.
SECOND FLOOR:	9,724 S.F.
THIRD FLOOR:	9,788 S.F.
FOURTH FLOOR:	9,585 S.F.
FIFTH FLOOR:	9,520 S.F.
TOTAL LIVING:	47,587 S.F.
GARAGE:	31,344 S.F.

PARKING STANDARDS

PARKING STANDARDS (PER LAMC 14.74.080)

REQUIRED SPACES

2 SPACES PER UNIT:	42 SPACES
1 GUEST SPACES PER 4 UNITS:	6 SPACES
TOTAL REQUIRED:	48 SPACES

DENSITY BONUS PARKING STANDARDS (PER LAMC 14.28.040 SECTION G2a)

REQUIRED SPACES

2 SPACES PER UNIT 3 BEDROOM UNIT:	32 SPACES
2.5 SPACES PER UNIT 4 BEDROOM UNIT:	13 SPACES
GUEST AND ADA INCLUDED:	0 SPACES
TOTAL REQUIRED:	45 SPACES

PARKING PROVIDED

STANDARD SPACES:	53 SPACES
ADA SPACES:	2 SPACES
TOTAL PROVIDED:	55 SPACES

NOTE: ALL PARKING SHALL BE DOUBLE - STRIPED

BICYCLE PARKING STANDARDS

REQUIRED SPACES (PER VTA)

1 CLASS I SPACES PER 3 UNITS:	7 SPACES
1 CLASS II SPACES PER 15 UNITS:	2 SPACES

PROVIDED SPACES

CLASS I (21 2 BICYCLE LOCKERS):	42 SPACES
CLASS II (1 BICYCLE RACK):	2 SPACES

UNIT AREA SUMMARY

UNIT	SQUARE FOOTAGE	NUMBER OF UNITS IN BUILDING	TOTAL SQ FT. OF UNITS IN BUILDING	UNIT MAKEUP		OCC. LOAD PER UNIT	TOTAL OCC. LOAD
				BEDROOMS	BATHS		
A	1478	5	7,390	3	2.0	7.39	36.95
B1	1656	3	4,968	3	2.0	8.28	24.84
B2	1822	4	7,288	3	2.0	9.11	36.44
C	1906	4	7,624	3	2.0	9.53	38.12
D	2188	4	8,752	4	3.5	10.94	43.76
E	2251	1	2,251	4	3.5	11.26	11.26
FITNESS	566	1	566	0	0.0	11.32	11.32
FAMILY ROOM	1011	1	1,011	0	0.0	10.11	10.11
TOTAL BUILDING		21	39,850				212.80

UNIT TABLE

UNIT #	UNIT TYPE	UNIT SF	BMR
101	A	1478	VERY LOW (FOR SALE)
102	E	2251	-
103	B1	1656	-
201	A	1478	VERY LOW (FOR SALE)
202	B1	1656	-
203	A	1478	-
204	C	1906	MODERATE (FOR SALE)
205	B2	1822	-
301	A	1478	-
302	B1	1656	-
303	A	1478	-
304	C	1906	-
305	B2	1822	MODERATE (FOR SALE)
401	D	2188	-
402	D	2188	-
403	C	1906	-
404	B2	1822	-
501	D	2188	-
502	D	2188	-
503	C	1906	-
504	B2	1822	-

AFFORDABLE HOUSING / DENSITY BONUS

AFFORDABLE HOUSING
 LOT SIZE: 16,919 / 43560 = .388 ac
 ALLOWABLE DENSITY: .388 ac x 38 du/ac = 14.76 = 15 UNITS
 AFFORDABLE HOUSING PER LAMC
 15 UNITS x 15% BMR = 2.25 = 3 BMR
 BMR REQUIRED: 2 MODERATE + 1 (ANY LEVEL)

DENSITY BONUS
 AFFORDABLE UNITS: 4 UNITS (2 MODERATE / 2 VERY LOW)
 DENSITY BONUS: 2 VERY LOW / 15 = 13.33 % = 35 % DENSITY BONUS
 15 UNITS x 35 % = 5.25 (6 UNITS) = 21 UNITS

PROPOSED BUILDING CONFIGURATION
 (16) 3 BEDROOM / 2 BATHROOM UNITS
 (5) 4 BEDROOM / 3.5 BATHROOM UNITS
PROPOSED BMR UNITS (FOR SALE)
 (2) 3 BEDROOM / 2 BATHROOM UNITS (VERY LOW INCOME)
 (2) 3 BEDROOM / 2 BATHROOM UNITS (MODERATE)

INCENTIVES (11.8% VERY LOW = 2 INCENTIVES)

	STANDARD	INCENTIVE
1. FRONT YARD SETBACK DECREASE (20% ON-MENU)	25'	20'
2. HEIGHT INCREASE (11' ON-MENU)	45'	56'

WAIVERS

1. ELEVATOR TOWER HEIGHT INCREASE	12'	17'-6"
2. 154 SF ROOF STRUCTURE INCREASE*	(4%) 401 SF	(5.5%) 555 SF

*INCLUDES ELEVATORS, STAIRS, AND TRASH ENCLOSURE

PROJECT DESCRIPTION

ALTOS II IS A MULTIPLE-FAMILY RESIDENTIAL PROJECT AT 4898 EL CAMINO REAL. THE PROJECT CONSISTS OF A 78,931 SQUARE FOOT, 21-UNIT, FIVE-STORY BUILDING, WITH TWO LEVELS OF UNDERGROUND PARKING. THE PROJECT REPLACES THE EXISTING FUTON SHOP BUILDING WHICH IS APPROXIMATELY 10,300 SF. THE UNDERGROUND PARKING LEVELS ARE ACCESSED FROM JORDAN AVENUE AND INCLUDE; 55 PARKING STALLS, 42 BICYCLE LOCKERS, 8 BIKE RACKS WITH 110V SERVICE FOR CHARGING EBIKES, 21 STORAGE UNITS, AND EV CHARGING STATIONS FOR EACH UNIT. THE FIRST FLOOR INCLUDES THE MAIN LOBBY, 3 RESIDENTIAL UNITS, AND A GATHERING ROOM AND GYM SPACE. THE ROOF TOP INCLUDES A 3,340 SQUARE FOOT ROOFTOP DECK WITH GRILLING STATIONS, DINING TABLES, AND OUTDOOR SEATING. IN ADDITION SOLAR WILL BE INSTALLED FOR A PORTION OF THE OVERALL ELECTRICITY USE. THE FOLLOWING TABLE SUMMARIZES THE PROJECT:

	EXISTING	PROPOSED	REQUIRED / ALLOWED
SETBACKS:			
FRONT	50'	20' (20% ON-MENU INCENTIVE)	25'
REAR GRADING	N/A	2'-6"	NO LIMIT
REAR	42'	20'	0'
RIGHT SIDE	5'	10' TO 22'	4' MIN. / 15' AVE.
LEFT SIDE	0'	4'-6" TO 43'	4' MIN. / 7'-6" AVE.
HEIGHT:	+/- 22'	56' (11' ON-MENU INCENTIVE)	45'



4846 & 4856 EL CAMINO



4880 EL CAMINO



86 THIRD STREET



100 FIRST STREET



396 FIRST STREET



960 NORTH SAN ANTONIO ROAD



4750 EL CAMINO REAL

LOS ALTOS MULTI-FAMILY

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Los Altos, CA
June 4, 2019

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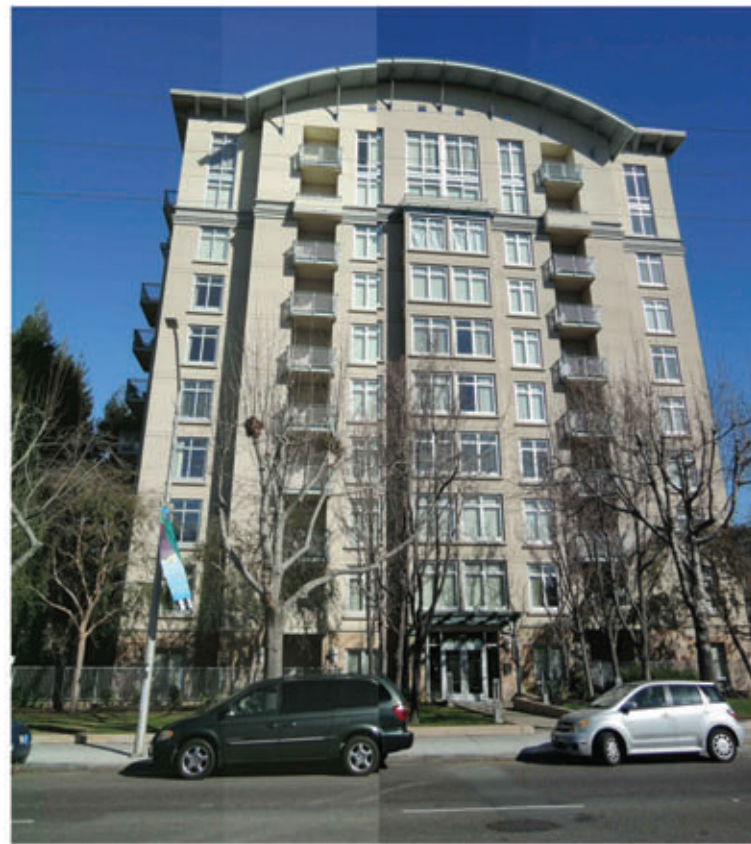
A1A
CONTEXT - LOS ALTOS MULTI FAMILY

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2440 EL CAMINO REAL



2400 EL CAMINO REAL



2350 EL CAMINO REAL



4906 EL CAMINO REAL



JACK-IN-THE-BOX 4896 EL CAMINO



4880 EL CAMINO REAL

4846 & 4856 EL CAMINO REAL VICINITY



VIEW FROM EL CAMINO



VIEW FROM JACK-IN-THE-BOX (JORDAN AVE.)



VIEW FROM JORDAN AVE. - MIDDLE



VIEW FROM JORDAN AVE. - REAR



VIEW FROM JORDAN AVE. TOWARD 4906 EL CAMINO REAL



VIEW FROM JORDAN AVE. TOWARD 4906 EL CAMINO REAL



VIEW FROM REAR PROPERTY LINE



VIEW FROM REAR PROPERTY LINE



VIEW OF EAST SIDE OF BUILDING

SITE PHOTOS

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CONTEXT - 4898 VICINITY

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DOORS AND WINDOWS: METAL WINDOW CORPORATION



SIDING: TRESPA PURA NFC



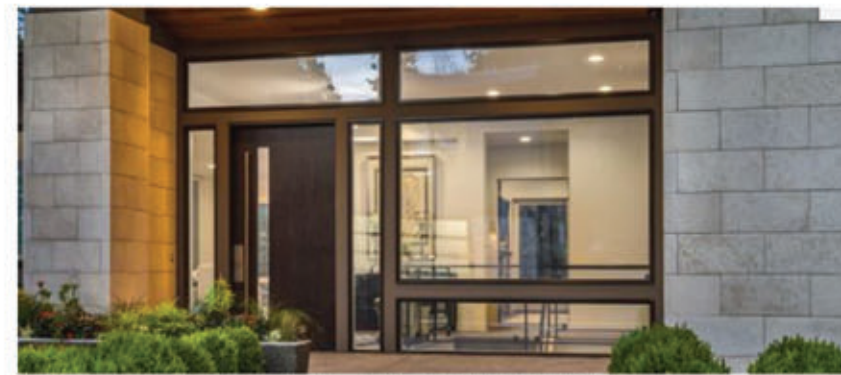
METAL RAIL



CANOPIES: KAWNEER VERSOLEIL SUNSHADE



EQUITONE: TECTIVA



STONE: ELDORADO STONE - SANDERLING MARQUEE LIMESTONE



PROJECT MATERIALS



Altos II
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CONCEPTUAL RENDERING

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ChargePoint CPF25 Level 2 Charging Stations

Specifications and Ordering Information

Ordering Information

Specify by order code(s).

Description	Order Code
Model	
Single Wall Mount, 5.4 m (18') Cord	CPF25-L18
Single Pedestal Mount, 5.4 m (18') Cord	CPF25-L18-PO
Two Stations with Dual Pedestal Mount, 5.4 m (18') Cord	CPF25-L18-PO-Dual
Single Wall Mount, 5.4 m (18') Cord and Cord Management Kit	CPF25-L18-CHM6
Single Pedestal Mount, 5.4 m (18') Cord and Cord Management Kit	CPF25-L18-CHM6-PO
Two Stations with Dual Pedestal Mount, 5.4 m (18') Cord and Cord Management Kit	CPF25-L18-CHM6-PO-Dual
Single Wall Mount, 7.0 m (23') Cord	CPF25-L23
Single Pedestal Mount, 7.0 m (23') Cord	CPF25-L23-PO
Two Stations with Dual Pedestal Mount, 7.0 m (23') Cord	CPF25-L23-PO-Dual
Single Wall Mount, 7.0 m (23') Cord and Cord Management Kit	CPF25-L23-CHM6
Single Pedestal Mount, 7.0 m (23') Cord and Cord Management Kit	CPF25-L23-CHM6-PO
Two Stations with Dual Pedestal Mount, 7.0 m (23') Cord and Cord Management Kit	CPF25-L23-CHM6-PO-Dual
Replacement Cord	
5.4 m (18'), 32 A Charging Cord	CPF25CORD-L18-F
7.0 m (23'), 32 A Charging Cord	CPF25CORD-L23-F

ChargePoint CPF25 Family

Safety and Operational Ratings

Enclosure Ratings	Type 3R per UL 50E
Safety and Compliance	UL and C-UL listed product per UL2594, UL2231-1, UL2231-2, NEC Article 625 compliant UL and C-UL listed per UL916 Energy Management Equipment
Surge Protection	6 kV @ 3000 A. In geographic areas subject to frequent thunder storms, supplemental surge protection at the service panel is recommended.
EMC Compliance	FCC Part 15 Class B
Storage Temperature	-40°C to +60°C (-40°F to 140°F)
Operating Temperature	-30°C to +50°C (-22°F to 122°F)
Operating Humidity	Up to 85% @ +50°C (122°F) non-condensing
Non-Operating Humidity	Up to 95% @ +50°C (122°F) non-condensing
Maximum Charging Stations per 802.11 Radio Group	9 maximum. Each station must be located within 46 m (150') "line of sight" of a CPGW gateway.

Indicators

WiFi LED	Yes
Fault Indicator per UL	Yes
Status LED	Yes

ChargePoint, Inc. reserves the right to alter product offerings and specifications at any time without notice, and is not responsible for typographical or graphical errors that may appear in this document.

Contact Us

To order your ChargePoint CPF25 charging station:

- Visit chargepoint.com/sales
- Call +1.408.705.1992
- Email sales@chargepoint.com



ChargePoint, Inc.
254 E Hacienda Avenue | Campbell, CA | 95008-6807 USA
+1.408.841.4500 or toll free +1.877.336.3602
chargepoint.com

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Renewal or repair made with 100% post-consumer fiber and 100% certified renewable energy and processed chlorine free.



Liability Underwriters: Liberty Mutual Insurance Co.



Specifications

Electrical Input	One Station (AC Voltage 208 / 240 V AC)			Two Stations (AC Voltage 208 / 240 V AC)		
	Input Current	Input Power Connection	Required Service Panel Breaker	Input Current	Input Power Connection	Required Service Panel Breaker
Standard	32 A	One 40 A branch circuit	40 A dual pole (non-GFCI type)	32 A x 2	Two independent 40 A branch circuits	40 A dual pole (non-GFCI type) x 2
Standard Power Share	n/a	n/a	n/a	32 A	One 40 A branch circuit	40 A dual pole (non-GFCI type)
Power Select 16 A	16 A	One 20 A branch circuit	20 A dual pole (non-GFCI type)	16 A x 2	Two independent 20 A branch circuits	20 A dual pole (non-GFCI type) x 2
Service Panel GFCI	Do not provide external GFCI as it may conflict with internal GFCI (CCID)					
Wiring - Standard	3 Wire - L1, L2 plus Earth (no neutral)			5-wire (L1, L2, L3, Earth)		
Wiring - Power Share	n/a			3-wire (L1, L2, Earth)		
Station Power	2.5 W typical (standby), 4 W maximum (operation)			5 W typical (standby), 8 W maximum (operation)		

Electrical Output

Standard	7.7 kW (240 V AC @ 32 A)
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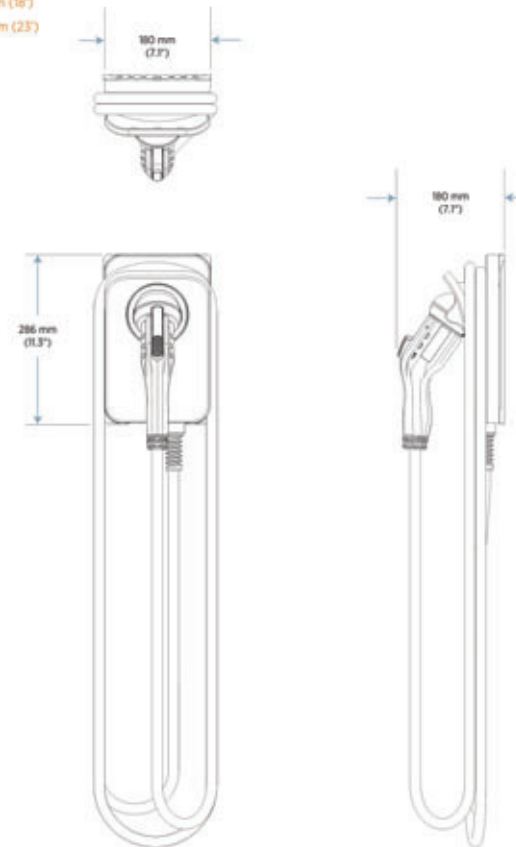
Functional Interfaces

Connector Type	SAE J1772™
Cable Length - 18 m (6') Cable Management	5.4 m (18')
Cable Length - 2.4 m (8') Cable Management	7.0 m (23')
Overhead Cable Management System	Yes
Card Reader	ISO 15693 and ISO 14443

Safety and Connectivity Features

Ground Fault Detection	20 mA CCID with auto retry
Open Safety Ground Detection	Continuously monitors presence of safety (green wire) ground connection
Plug-Out Detection	Power terminated per SAE J1772™ specifications
Power Measurement Accuracy	+/- 2% from 2% to full scale (32 A)
Power Report/Store Interval	15 minutes, aligned to hour
Local Area Network	2.4/5 GHz Wi-Fi (802.11 a/b/g/n)
Wide Area Network	3G GSM, 3G CDMA provided by the ChargePoint Gateway CPGW

Single Wall Mount
CPF25-L18 5.4 m (18')
CPF25-L23 7.0 m (23')



The First ENERGY STAR® Certified EV Charger

ChargePoint CPF25 Family

Ordering Information (continued)

Required Companion Products

Description	Order Code
ChargePoint Gateway USA* (1 required for every 9 stations)	CPGW1
ChargePoint Gateway Canada* (1 required for every 9 stations)	CPGW2

* Provides cellular connectivity only to ChargePoint CPF25 stations. ChargePoint certified installers and site validators and/or the ChargePoint Gateway as needed. In each of the states noted, the site host needs to provide a location within 46 m (150') line of sight of the ChargePoint stations with adequate cellular coverage. In addition, the site host is responsible for providing power to the gateway. The ChargePoint Gateway is owned and maintained by ChargePoint.

Companion Products for Fleet Applications

For fleet applications, CPF25 stations require the purchase of the Fleet Plan cloud service.

Description	Order Code
Fleet Plan (1, 2, 3, 4 or 5 years) (required)	CPCLD-FLEET-r
Station Initial Activation (recommended)	CP SUPPORT-ACTIVE
ChargePoint Assure (recommended)	CPF25-ASSURE-r*

Comes with 1 year of ChargePoint Assure coverage if no charge for qualified installations. Other conditions apply.

* Substitute r for desired years of service (1, 2, 3, 4 or 5 years).

† Substitute n for the duration of additional coverage (1, 1.5 or 2 years).

Companion Products for Multi-Family Applications

For multi-family applications, CPF25 stations may only be purchased for use in properties that have signed the ChargePoint Electric Vehicle Charging Services Agreement.

Description	Order Code
Site Initial Activation (required)	CPMHS-ACTIVE

Includes a 1 year parts exchange warranty ("Parts Warranty"). Additionally, for as long as the resident subscribes to Multi-Family Home Service Plan, ChargePoint will provide on-site labor to maintain the Station ("Maintenance Service"). The maintenance service does not provide coverage for abuse, vandalism, damage or other problems caused by accidents or negligence.



ChargePoint CPF25 Single Wall Mount

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Los Altos, CA
June 4, 2019

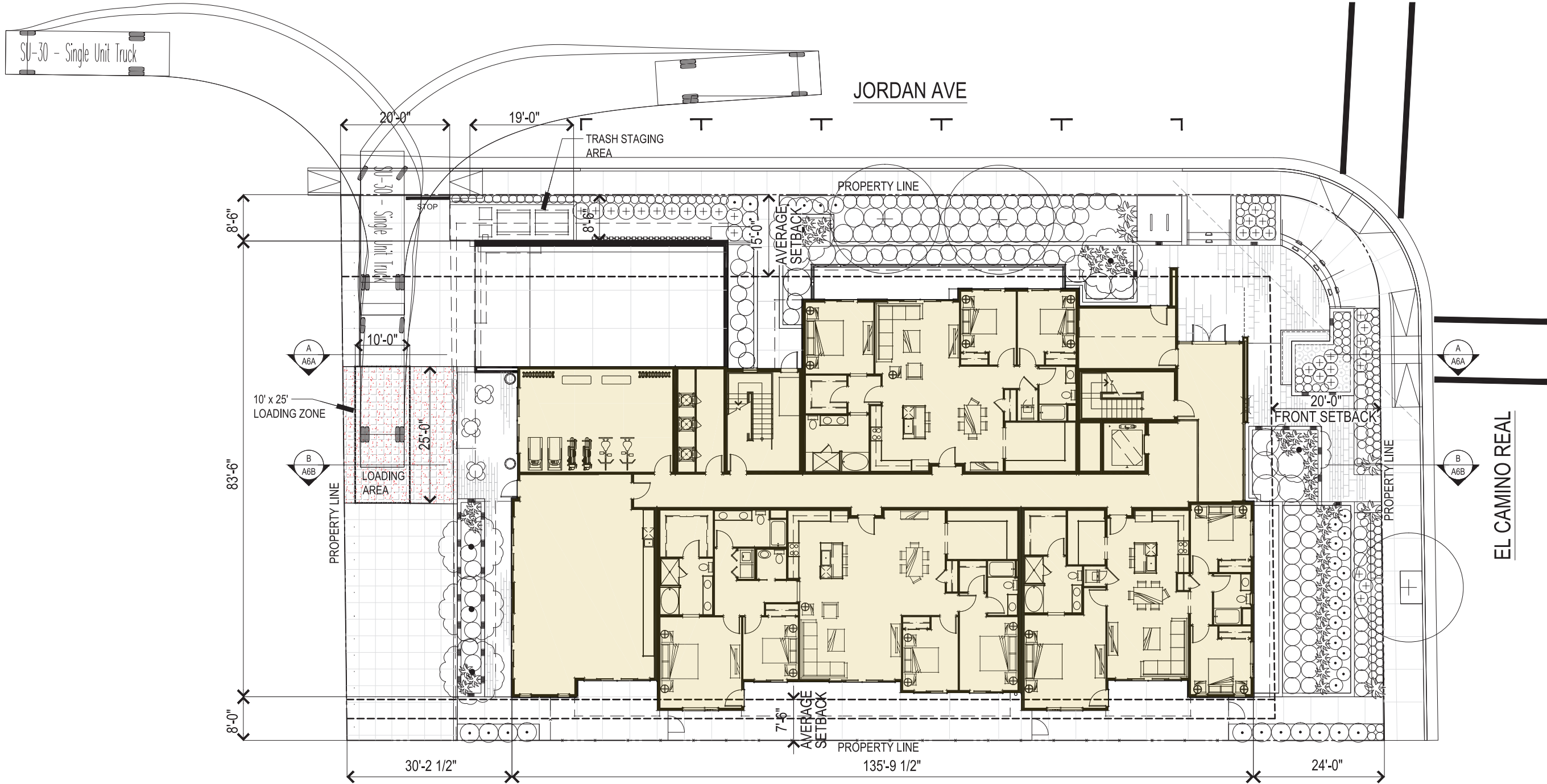
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CHARGING STATION SPECIFICATIONS

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 Los Altos, CA
 June 4, 2019

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A2
 ARCHITECTURAL SITE PLAN

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PARKING STANDARDS

PARKING STANDARDS (PER LAMC 14.74.080)

REQUIRED SPACES
 2 SPACES PER UNIT: 42 SPACES
 1 GUEST SPACES PER 4 UNITS: 6 SPACES
 TOTAL REQUIRED: 48 SPACES

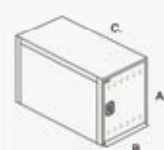
DENSITY BONUS PARKING STANDARDS
 (PER LAMC 14.28.040 SECTION G2a)

REQUIRED SPACES
 2 SPACES PER UNIT 3 BEDROOM UNIT: 32 SPACES
 2.5 SPACES PER UNIT 4 BEDROOM UNIT: 13 SPACES
 GUEST AND ADA INCLUDED: 0 SPACES
 TOTAL REQUIRED: 45 SPACES

PARKING PROVIDED
 STANDARD SPACES: 53 SPACES
 ADA SPACES: 2 SPACES
 TOTAL PROVIDED: 55 SPACES

- NOTES:
 1. ALL PARKING SHALL BE DOUBLE - STRIPED
 2. PROVIDE ADEQUATE LIGHTING LEVELS & VIDEO SURVEILLANCE AT GARAGE LEVELS

BIKE LOCKERS



key features

- TWIN SHELTER SECURITY**
 - 3-point locking system with pick-and-drill resistant locks
 - Supplied with fixings to be bolted to the ground
 - Reinforced handle surround
- TWIN SHELTER DESIGN**
 - Open interior space, no restriction on how to store your two bikes
 - Large single door access
 - Includes 2 bike hooks for helmets and bags
 - Small and compact design

ASGARD® FEATURES

- Weatherproof construction made from strong, thick, galvanized steel
- Supplied with a 10 year warranty as standard
- Maintenance free with no repainting or rotting
- Internal fixings with no externally exposed fixtures, safe and secure
- Easy self assembly with instructions provided
- Installation service available
- Green, brown or ivory finish
- Accessory packs available

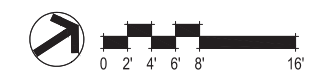
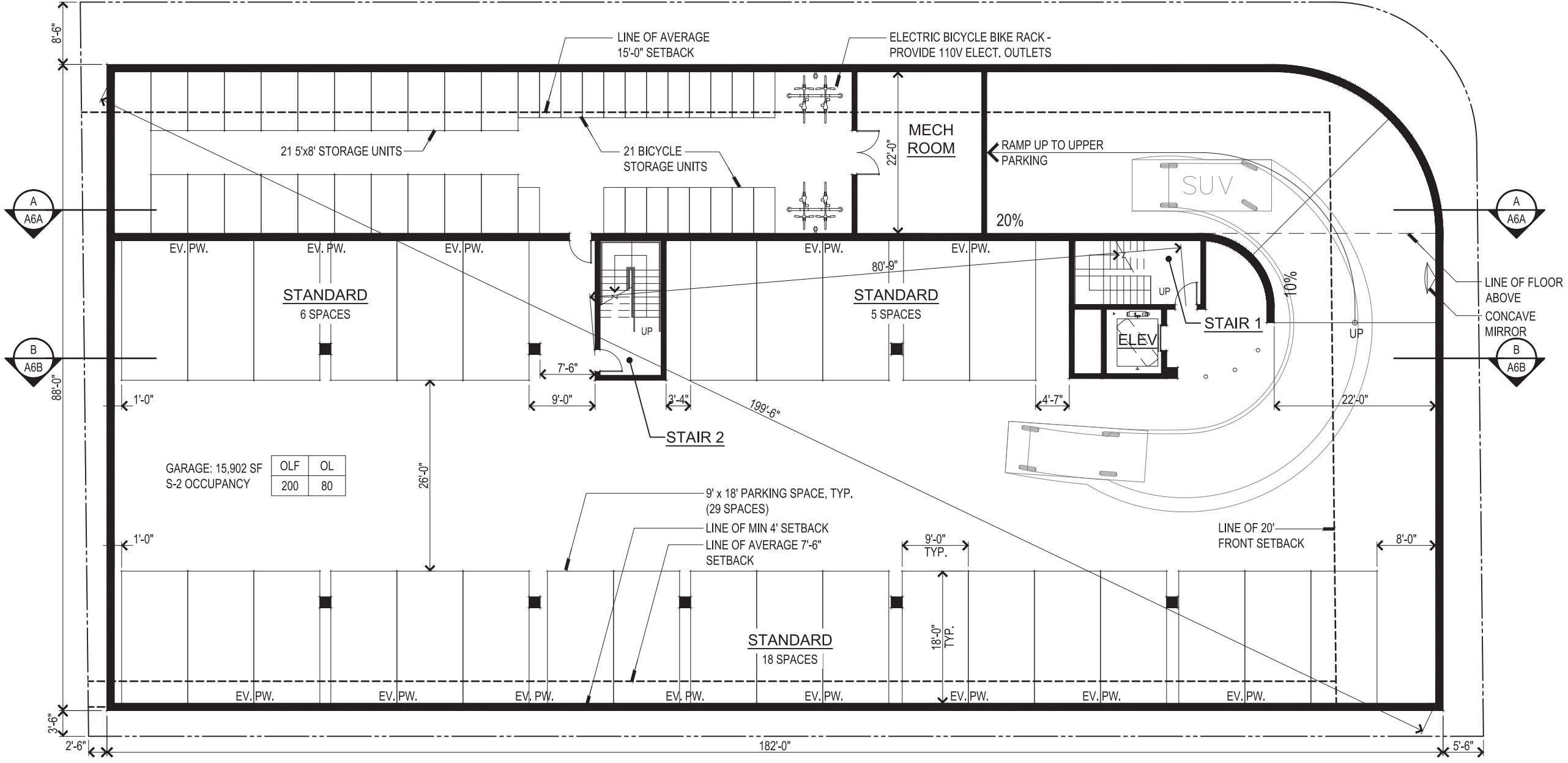
dimensions

UNIT DIMENSIONS
 A. Height: 1205mm (3ft 11")
 B. Width: 900mm (2ft 11")
 C. Depth: 1900mm (6ft 2")
 Weight: 99Kg (15.8 stone)

BASE DIMENSIONS
 1000mm x 2000mm
DOOR APERTURE
 1115mm x 900mm
DOOR CLEARANCE 850mm

BUILDING EXIT ANALYSIS PLAN

- # OCCUPANCY EXITING LOAD
- | | | |
|-----|----|---|
| OLF | OL | OLF = OCCUPANT LOAD FACTOR PER TABLE 1004.1.2 |
| 200 | 80 | OL = OCCUPANT LOAD FOR THIS SPACE |
-
- | | | |
|------|-----|---|
| MD | 1/3 | MD = MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1007.1.1 |
| 199' | 66' | 1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1007.1.1, EXCEPTION 2 |
-
- | | | |
|-----|-----|---|
| 1/3 | DE | 1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1007.1.1, EXCEPTION 2 |
| 66' | 80' | DE = DISTANCE BETWEEN EXITS PROVIDED |
- EV. PW. ELECTRIC VEHICLE PRE-WIRE
 REQUIRED: 25% OF SPACES = 14 SPACES
 PROVIDED: 21 SPACES (INSTALLED CHARGING STATIONS)
 - SEE SHEET A1J FOR CHARGING STATION SPECIFICATIONS



Altos II
 Los Altos, CA
 June 4, 2019

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 728 Addison Ave, Palo Alto, CA 94301
 650.996.1114

A3A
 LOWER LEVEL BASEMENT

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 3361 Walnut Blvd, Suite 120
 Brentwood, CA 94513
 925.634.7000 | sdgarchitectsinc.com



TRASH MANAGEMENT PLAN

TOTAL RESIDENTIAL UNITS 21 UNITS
 PROJECTED TRASH VOL. PER UNIT .15 CYD TRASH / WEEK
 PROJECTED RECYCLED VOL. PER UNIT .05 CYD RECYCLE / WEEK
 PROJECTED GREEN WASTE VOL. PER UNIT .05 CYD GREEN WASTE / WEEK

TOTAL REQUIRED PER 21 UNITS
 TRASH VOLUME = 21 x .15 CYD 3.15 CYD TRASH
 RECYCLE VOLUME = 21 x .05 CYD 1.05 CYD RECYCLE
 GREEN WASTE VOLUME = 21 x .05 CYD 1.05 CYD GREEN WASTE

TOTAL CONTAINERS PROVIDED
 TRASH 2 - 3 CYD BINS
 RECYCLE 2 - 3 CYD BIN
 GREEN WASTE 3 - 65 GAL. CART

BINS ARE CONNECTED TO 24 INCH DIAMETER TRASH CHUTES TRUNCATING AT THE TRASH ROOM ON THIS LEVEL (UPPER LEVEL BASEMENT), SPARE BINS ARE INTERCHANGED WITH THE FULL BINS ON PICKUP DAYS WHICH ARE THEN CARTED FROM THE TRASH ROOM TO THE DESIGNATED STAGING AREA ON SITE WITH THE USE OF CUSHMAN CART (SEE SHEET A1 FOR LOCATION).

PARKING STANDARDS

PARKING STANDARDS (PER LAMC 14.74.080)

REQUIRED SPACES
 2 SPACES PER UNIT: 42 SPACES
 1 GUEST SPACES PER 4 UNITS: 6 SPACES
 TOTAL REQUIRED: 48 SPACES

DENSITY BONUS PARKING STANDARDS (PER LAMC 14.28.040 SECTION G2a)

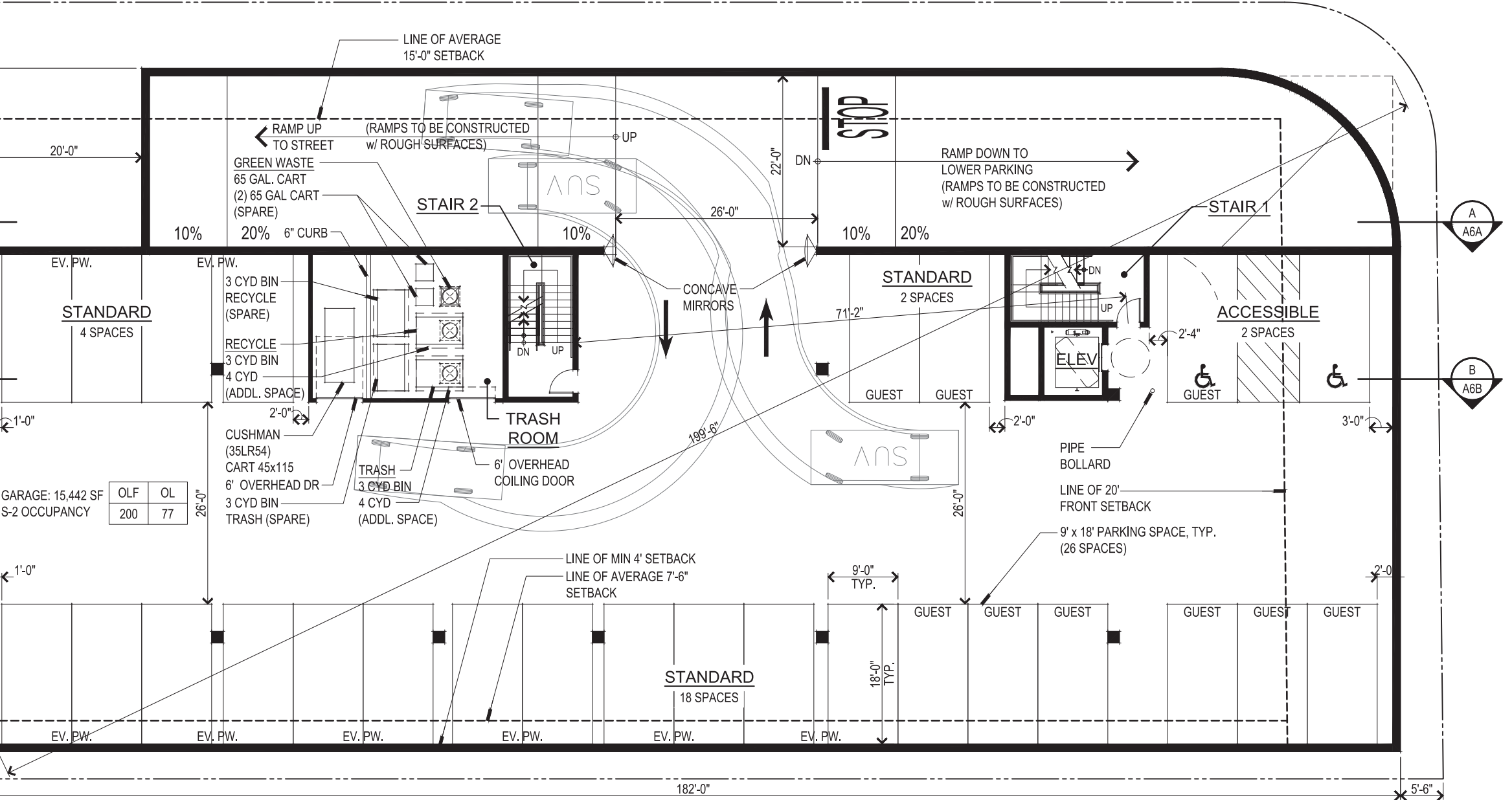
REQUIRED SPACES
 2 SPACES PER UNIT 3 BEDROOM UNIT: 32 SPACES
 2.5 SPACES PER UNIT 4 BEDROOM UNIT: 13 SPACES
 GUEST AND ADA INCLUDED: 0 SPACES
 TOTAL REQUIRED: 45 SPACES

PARKING PROVIDED
 STANDARD SPACES: 53 SPACES
 ADA SPACES: 2 SPACES
 TOTAL PROVIDED: 55 SPACES

- NOTES:
 1. ALL PARKING SHALL BE DOUBLE - STRIPED
 2. PROVIDE ADEQUATE LIGHTING LEVELS & VIDEO SURVEILLANCE AT GARAGE LEVELS

BUILDING EXIT ANALYSIS PLAN

OCCUPANCY EXITING LOAD
 OLF = OCCUPANT LOAD FACTOR PER TABLE 1004.1.2
 OL = OCCUPANT LOAD FOR THIS SPACE
 MD = MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1007.1.1
 1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1007.1.1, EXCEPTION 2
 DE = DISTANCE BETWEEN EXITS PROVIDED
 EV. PW. ELECTRIC VEHICLE PRE-WIRE
 REQUIRED: 25% OF SPACES = 14 SPACES
 PROVIDED: 21 SPACES (INSTALLED CHARGING STATIONS)
 - SEE SHEET A1J FOR CHARGING STATION SPECIFICATIONS





Altos II
Los Altos, CA
June 4, 2019

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A4A
FRONT ELEVATION

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- ◆ T.O. ELEVATOR TOWER
73'-4 3/4"
- ◆ T.O. STAIR TOWER
69'-1 3/4"
- ◆ ROOF DECK
55'-11 3/4"
- ◆ FIFTH FLOOR
44'-6 1/2"
- ◆ FOURTH FLOOR
33'-8 1/4"
- ◆ THIRD FLOOR
22'-10"
- ◆ SECOND FLOOR
11'-11 3/4"
- ◆ FIRST FLOOR
1 1/2"
- ◆ AVERAGE FINISH GRADE
0"

PROPERTY LINE



PROPERTY LINE

- TRESPA HORIZONTAL SIDING
- METAL BALCONY GUARD
- SAND TEXTURE STUCCO FINISH
- EQUITONE TE20 EXTERIOR CLADDING
- STONE VENEER -
- EL DORADO STONE
- SANDERLING MARQUEE LIMESTONE



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June 4, 2019

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A4B
RIGHT ELEVATION

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Altos II
 Los Altos, CA
 June 4, 2019

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A4C
 REAR ELEVATION

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 Brentwood, CA 94513
 925.634.7000 | sdgarchitectsinc.com



T.O. ELEVATOR TOWER
 73'-4 3/4"
 T.O. STAIR TOWER
 69'-1 3/4"
 ROOF DECK
 55'-11 3/4"
 FIFTH FLOOR
 44'-6 1/2"
 FOURTH FLOOR
 33'-8 1/4"
 THIRD FLOOR
 22'-10"
 SECOND FLOOR
 11'-11 3/4"
 FIRST FLOOR
 1 1/2"
 AVERAGE
 FINISH GRADE
 0"

PROPERTY LINE



PROPERTY LINE

TRESPA HORIZONTAL SIDING
 METAL BALCONY GUARD
 SAND TEXTURE STUCCO FINISH
 EQUITONE TE20 EXTERIOR CLADDING
 STONE VENEER - EL DORADO STONE - SANDERLING MARQUEE LIMESTONE



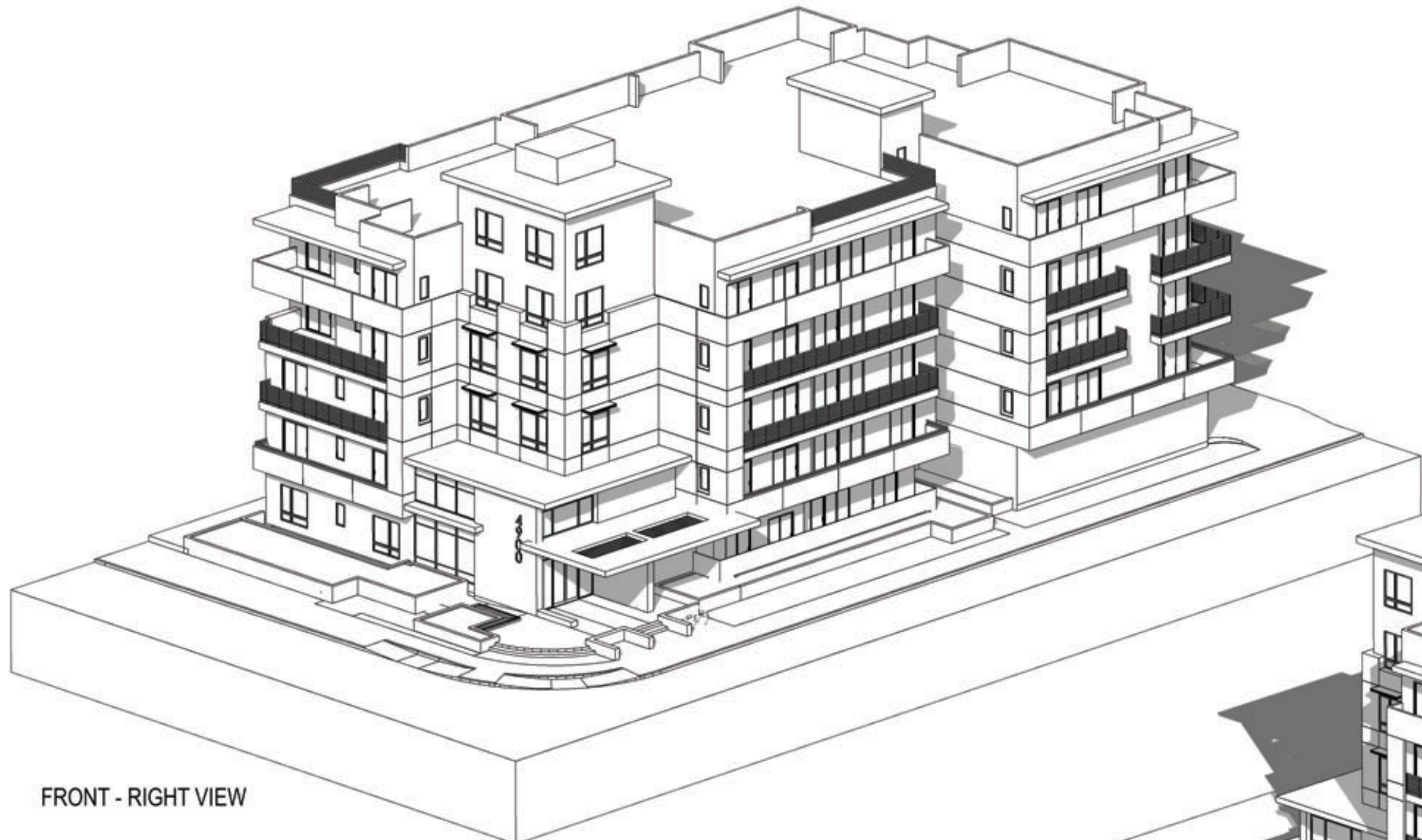
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 Los Altos, CA
 June 4, 2019

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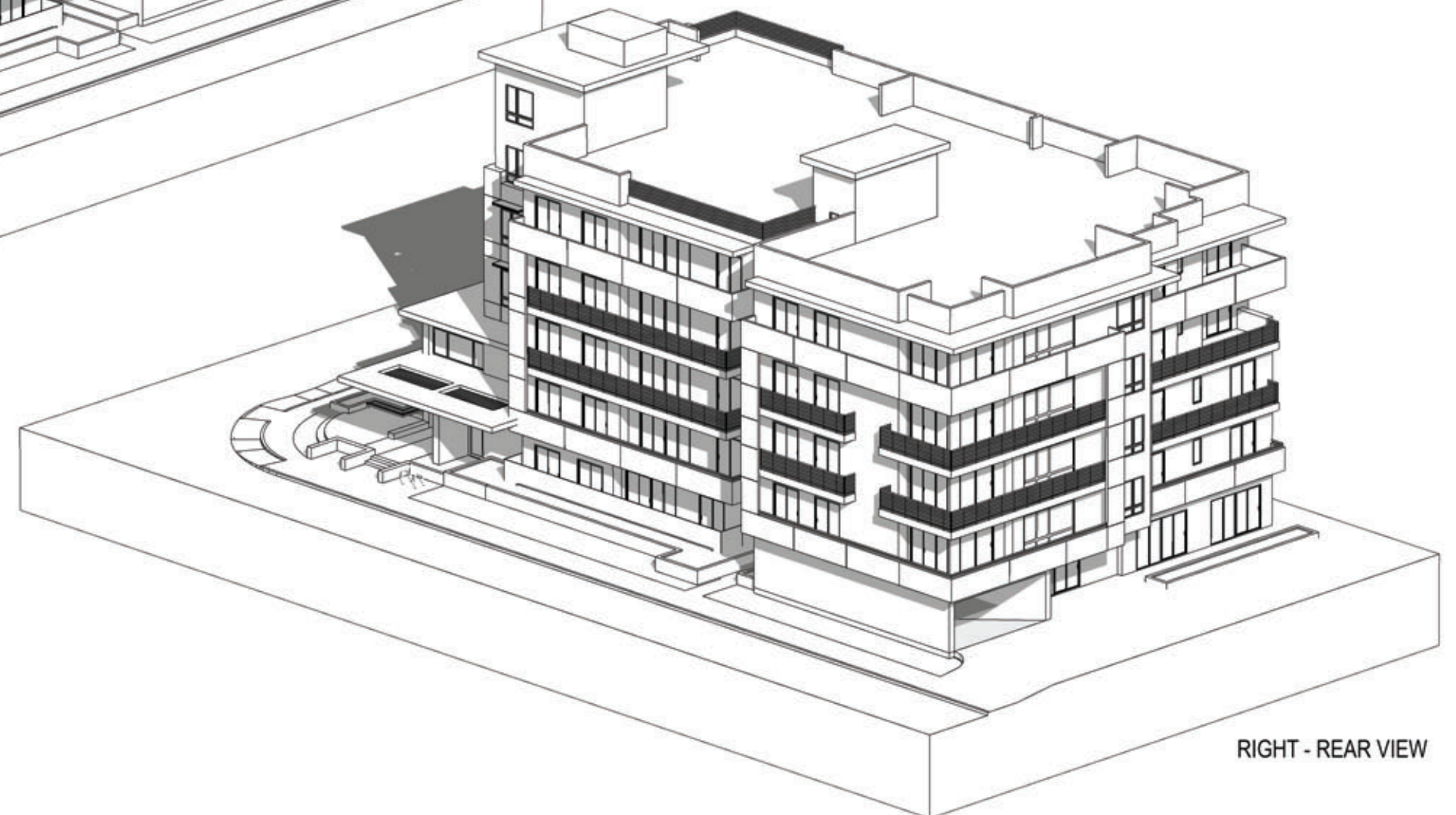
A4D
 LEFT ELEVATION

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FRONT - RIGHT VIEW



RIGHT - REAR VIEW

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Los Altos, CA
June 4, 2019

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*SEE ELEVATIONS AND RENDERINGS FOR MATERIALS AND COLORS

A5A
AXONOMETRIC MASSING MODELS

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REAR - LEFT VIEW



LEFT - FRONT VIEW

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June 4, 2019

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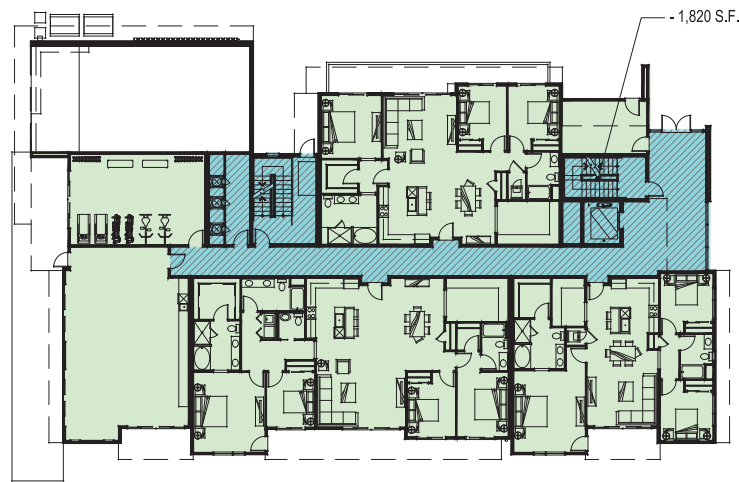
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650.996.1114

*SEE ELEVATIONS AND RENDERINGS FOR MATERIALS AND COLORS

A5B
AXONOMETRIC MASSING MODELS

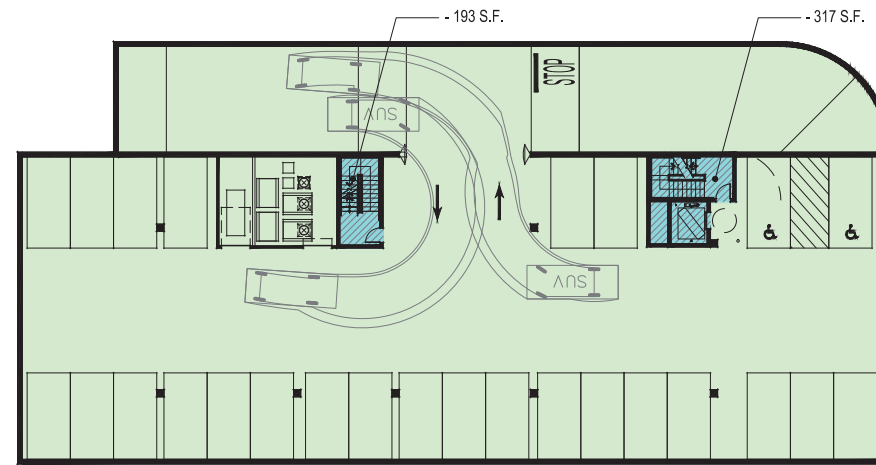
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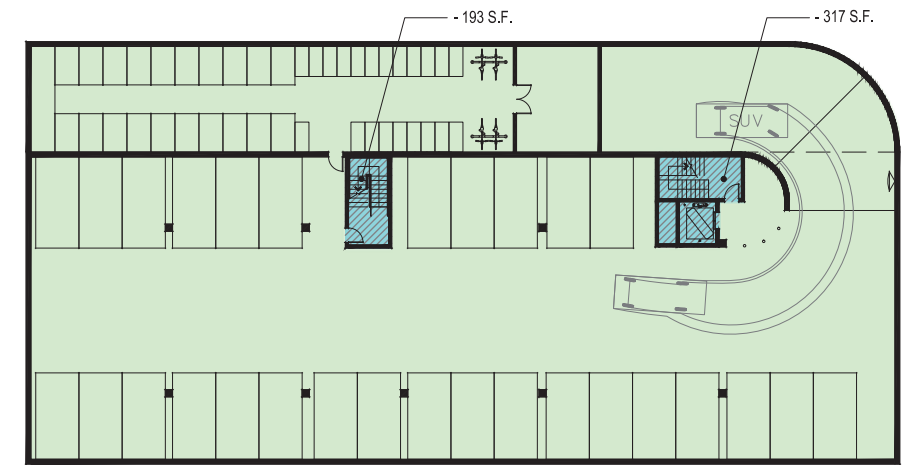
FIRST FLOOR

GROSS FLOOR AREA: 8,997 S.F.
NET FLOOR AREA: 7,177 S.F.



UPPER LEVEL BASEMENT

GROSS FLOOR AREA: 15,442 S.F.
NET FLOOR AREA: 14,932 S.F.



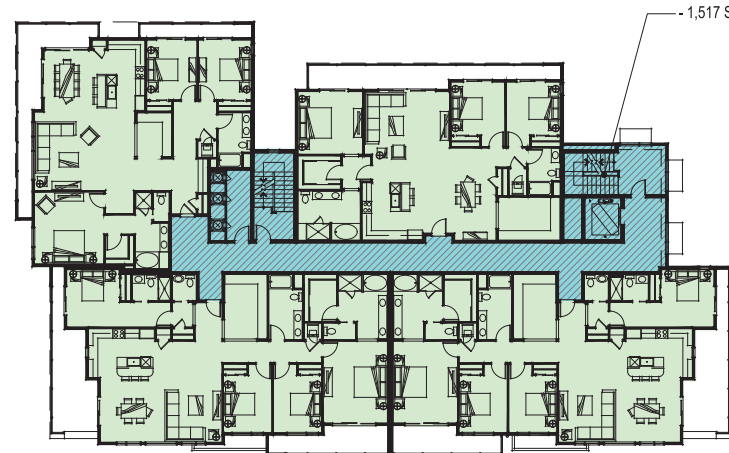
LOWER LEVEL BASEMENT

GROSS FLOOR AREA: 15,902 S.F.
NET FLOOR AREA: 15,392 S.F.



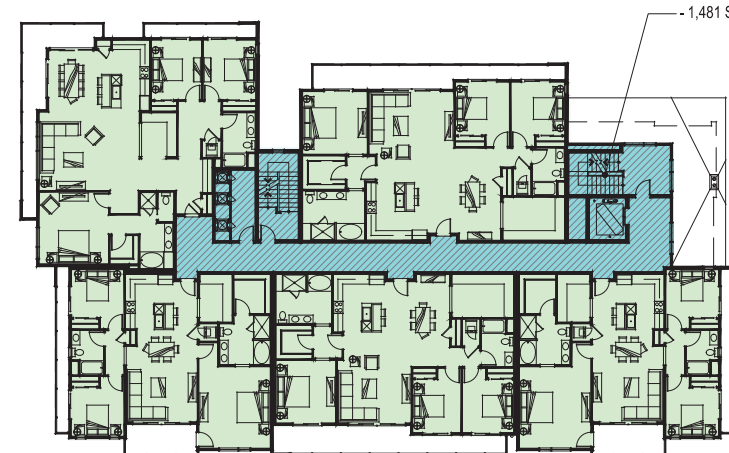
FIFTH FLOOR

GROSS FLOOR AREA: 9,526 S.F.
NET FLOOR AREA: 7,813 S.F.



FOURTH FLOOR

GROSS FLOOR AREA: 9,585 S.F.
NET FLOOR AREA: 8,068 S.F.



THIRD FLOOR

GROSS FLOOR AREA: 9,788 S.F.
NET FLOOR AREA: 8,307 S.F.



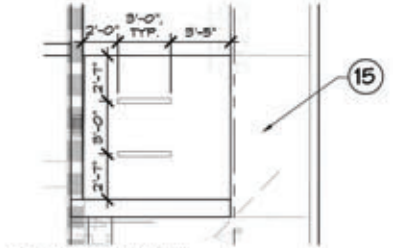
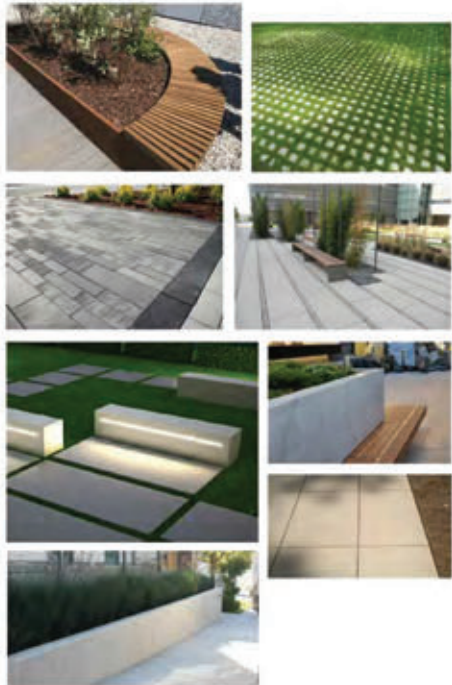
SECOND FLOOR

GROSS FLOOR AREA: 9,723 S.F.
NET FLOOR AREA: 8,314 S.F.

GROSS FLOOR AREA	
LOWER LEVEL BASEMENT:	15,902 S.F.
UPPER LEVEL BASEMENT:	15,442 S.F.
FIRST FLOOR:	8,997 S.F.
SECOND FLOOR:	9,723 S.F.
THIRD FLOOR:	9,788 S.F.
FOURTH FLOOR:	9,585 S.F.
FIFTH FLOOR:	9,526 S.F.
TOTAL PROVIDED:	78,963 S.F.

NET FLOOR AREA	
LOWER LEVEL BASEMENT:	15,392 S.F.
UPPER LEVEL BASEMENT:	14,932 S.F.
FIRST FLOOR:	7,177 S.F.
SECOND FLOOR:	8,314 S.F.
THIRD FLOOR:	8,307 S.F.
FOURTH FLOOR:	8,068 S.F.
FIFTH FLOOR:	7,813 S.F.
TOTAL PROVIDED:	70,003 S.F.





21 CLASS II BIKE RACK ENLARGEMENT PLAN - N.T.S.



1 BIKE RACK SCALE: 1/2" = 1'-0"
1/24 07-Bike Rack.dwg

NOTE: 1. INSTALL BIKE RACK PER MANUFACTURER'S SPECIFICATIONS.

SITE AREA SUMMARY TABLE

TOTAL SITE AREA AT GROUND FLOOR (INCLUDES BLDG., ROOF DECK & RAMP DOWN TO GARAGE STRUCTURE)	10,355 SF
TOTAL HARDSCAPE	8,040 SF
TOTAL SOFTSCAPE PLANTING (INCLUDES TURF BLOCK PAVERS @ 50%)	2,315 SF
TOTAL SITE - % LANDSCAPE	22.3%
FRONT SETBACK - TOTAL AREA	1,845 SF
FRONT SETBACK - TOTAL LANDSCAPE	1,048 SF
FRONT SETBACK - TOTAL HARDSCAPE	846 SF
FRONT SETBACK - % LANDSCAPE	56.5%

NOTES:
1. FRONT SETBACK AREAS ARE CALCULATED BASED UPON SETBACK AREA ON EL CAMINO REAL.

ARBORIST REPORT SUMMARY TABLE

TREE #	BOTANICAL NAME	COMMON NAME	DBH (IN.)	HEIGHT (FT.)	NOTES
#1	Juniperus chinensis	Hollywood Juniper	11.6	20	REMOVE
#2	Juniperus chinensis	Hollywood Juniper	10.5	20	REMOVE
#3	Juniperus chinensis	Hollywood Juniper	10.0	20	REMOVE
#4	Juniperus chinensis	Hollywood Juniper	13.5	20	REMOVE
#5	Platanus x Hispanica	London Plane Tree	11.0	45	PROTECT
#6	Platanus chinensis	Chinese Platanus	13.2	30	PROTECT

NOTES:
1. REFER TO COMPLETE ARBORIST REPORT DATED JANUARY 5, 2019, CONDUCTED BY KELLY ARBORIST SERVICES FOR MORE INFORMATION.

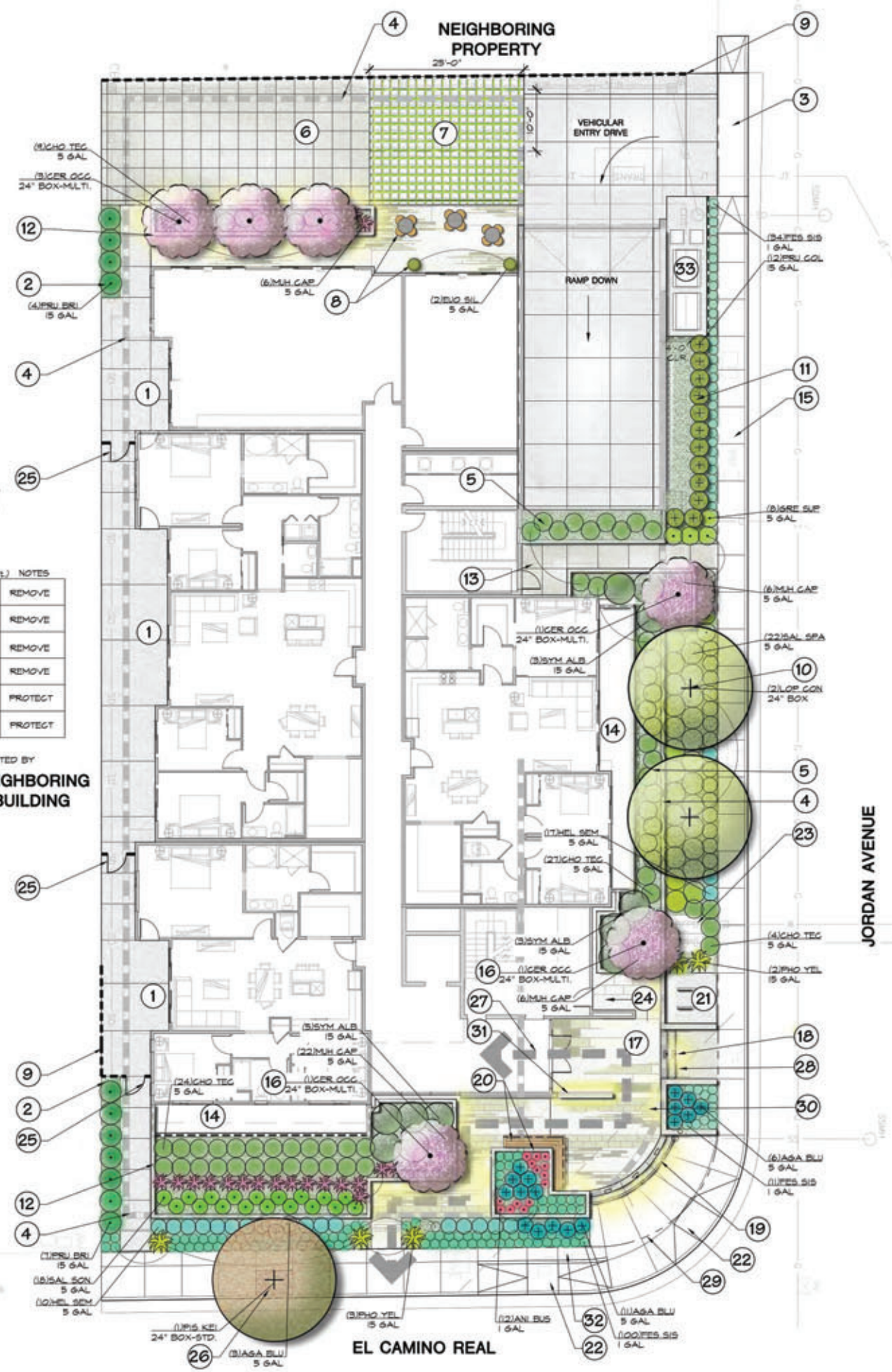
LANDSCAPE LIGHT LEGEND

IMAGE	SYMBOL	DESCRIPTION	MODEL #	MANUF.	MATERIAL FINISH	HEIGHT
		WALL LIGHTS (LINE VOLTAGE)	LED RECESS WALL ASYMMETRIC WIDE SPREAD DISTRIBUTION 39 049	BEGA LIGHTING	8.2IN DIE-CAST ALUMINUM FACEPLATE	5'
		TAPE LIGHTS (LINE VOLTAGE)	LED TAPE LIGHT BOX-DOWN W/ FLEXIBLE G-CAP FIXTURE	G-TRAN LED	6IN DEFAULT COLOR	0.35'
		STEP LIGHTS (LINE VOLTAGE)	LED RECESS WALL LUMINAIRES - SHIELD WITH LOUVERS 39 051	BEGA LIGHTING	7.9IN DIE-CAST ALUMINUM FACEPLATE	5'
		IN-GROUND FLOOR LIGHTS (LINE VOLTAGE)	LED DRIVE-OVER IN-GRADE LINEAR FLOOD LIGHT - ASYMMETRICAL T1 417	BEGA LIGHTING	11.8IN DEFAULT COLOR	3.5'
		EXTERIOR DUPLEX OUTLET				

NOTES:
1. CONTRACTOR TO BE RESPONSIBLE FOR LINE-VOLTAGE CIRCUITRY DESIGN, SWITCHING, CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND COORDINATING CONDUIT AND WIRE THROUGH ALL WALLS, STEPS, AND OTHER HARDSCAPES EXISTING OR PROPOSED.
2. INSTALL LIGHT FIXTURES/STANDARDS PER ALL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
3. LIGHTING PLAN IS CONCEPTUAL AND FOR DESIGN INTENT ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PHOTO-METRICS, CIRCUITRY AND SWITCHING LOCATION & FIXTURE SELECTION WITH OWNER.
4. LIGHTING CONTACT: TIM HALEY, 925-947-9434
5. SEE PHOTO-METRIC PLAN FOR LAYOUT AND DETAILED INFORMATION.

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PRELIMINARY LANDSCAPE SITE & CONCEPT LIGHTING PLAN

NOT FOR CONSTRUCTION



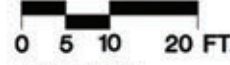
PROGRAM AMENITY LEGEND

- PRIVATE PATIO W/ 6' HT. FENCE AND FIRE ACCESS GATES
- LANDSCAPE BUFFER WITH EVERGREEN SHRUBS
- DRIVEWAY APRON, PER CIVIL DRAWINGS
- BELOW GRADE PARKING STRUCTURE SHOWN DASHED, TYPICAL
- 36" HT. RAISED PLANTER WALL W/O WALL LIGHTS (ON STRUCTURE), TYPICAL
- SCORED CONCRETE PAVING AT EASEMENT
- TURF BLOCK PAVERS W/ GRASS AT EASEMENT W/ 10' X 25' LOADING/UNLOADING AREA SHOWN IN DASHED
- CASUAL/ MOVABLE SEATING W/ LINEAR PAVERS & DECORATIVE POTS, TYPICAL
- 6' HT. HORIZONTAL WOOD FENCE AT PROPERTY LINE, TYPICAL
- NEW STREET TREES, TYPICAL (SEE PLANTING LEGEND FOR SPECIES)
- NEW AT-GRADE LANDSCAPE BUFFER TO SCREEN GAS METERS, 4' CLEAR ALL SIDES FROM GAS METERS FOR MAINTENANCE ACCESS
- 36" HT. RAISED PLANTER WALL W/ WALL LIGHTS (ON STRUCTURE), TYPICAL
- ACCESS WALK TO SIDEWALK (CONCRETE)
- PRIVATE PATIOS (3' HT. HORIZONTAL WOOD FENCE ON 36" HT. RAISED PLANTER WALL)
- SCORED PUBLIC SIDEWALK, TYPICAL (CONCRETE)
- MULTI TRUNK TREE SPECIMENS AT 36" HT. RAISED PLANTERS DEFINING BUILDING ENTRY AND EMPHASIZING BUILDING ARCHITECTURE
- LARGE FORMAT PAVERS AT ENTRY PLAZA (ON STRUCTURE)
- COLORED CONCRETE STEPS W/ ADA HANDRAILS, STEP LIGHTS & 12" WIDE CREEK WALLS ON BOTH SIDES (2 RISERS W/ 16" TREADS)
- GRAND STEPS UP TO ENTRY PLAZA FROM EL CAMINO REAL W/ ADA HANDRAILS (2 RISERS W/ 16" TREADS) & STEP LIGHTS
- 24" HT. PLANTER W/ CANTILEVERED WOOD BENCH SEATING & TAPE LIGHTS LIT FROM BELOW
- CLASS II BIKE RACKS (4 BIKES TOTAL) ON CONCRETE PAVING, PER VTA BICYCLE TECHNICAL GUIDELINES, SEE ENLARGEMENT PLAN THIS SHEET
- ADA CURB RAMP, PER CIVIL DRAWINGS
- BACKFLOW PREVENTION DEVICE, PER CIVIL DRAWINGS, TYPICAL OF TWO, SCREENED W/ PLANTING.
- ENTRY TO BIKE LOCKER ROOM, PER ARCHITECTURAL DRAWINGS
- FIRE ACCESS GATE & CONCRETE WALK
- NEW STREET TREE IN TREE GRATE TO MATCH EXISTING SPECIES ON EL CAMINO REAL (SEE PLANTING LEGEND FOR SPECIES)
- ADA PATH-OF-TRAVEL SHOWN AS DASHED, TYPICAL
- SIGHT TRIANGLE SHOWN AS DASHED. 30" MAX HEIGHT OF LANDSCAPE PLANTING AND WALLS WITHIN TRIANGLE
- PROPERTY LINE, TYPICAL
- LARGE FORMAT PAVES BANDS & LINEAR PAVES FIELD (ON STRUCTURE), TYPICAL
- 18" WIDE CONCRETE FEATURE SEAT WALL WITH TAPE LIGHT LID FROM BELOW. MATERIAL TO MATCH BUILDING VENEER.
- EXISTING TRAFFIC POLE TO REMAIN
- NEW TRASH STAGING AREA W/ 30" HT. HORIZONTAL SCREEN FENCE ON A 6" HT. CURB.

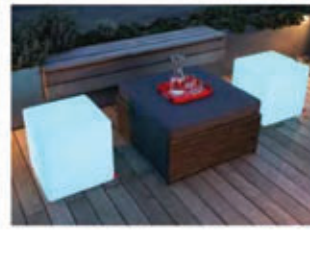
NOTE:
1. REFER TO ARCHITECTURE PLANS FOR ADDITIONAL INFORMATION ON TRASH FACILITIES AND CIVIL DRAWINGS FOR UTILITIES.
2. REFER TO CIVIL DRAWINGS FOR FLOW THROUGH PLANTER LOCATIONS.
3. SEE SHEET L-1 FOR PLANTING LEGEND.



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1700 N. Broadway, Suite 401
Walnut Creek, CA 94596
T (925) 945-0300 F (925) 945-6688
www.environmentalforesight.com



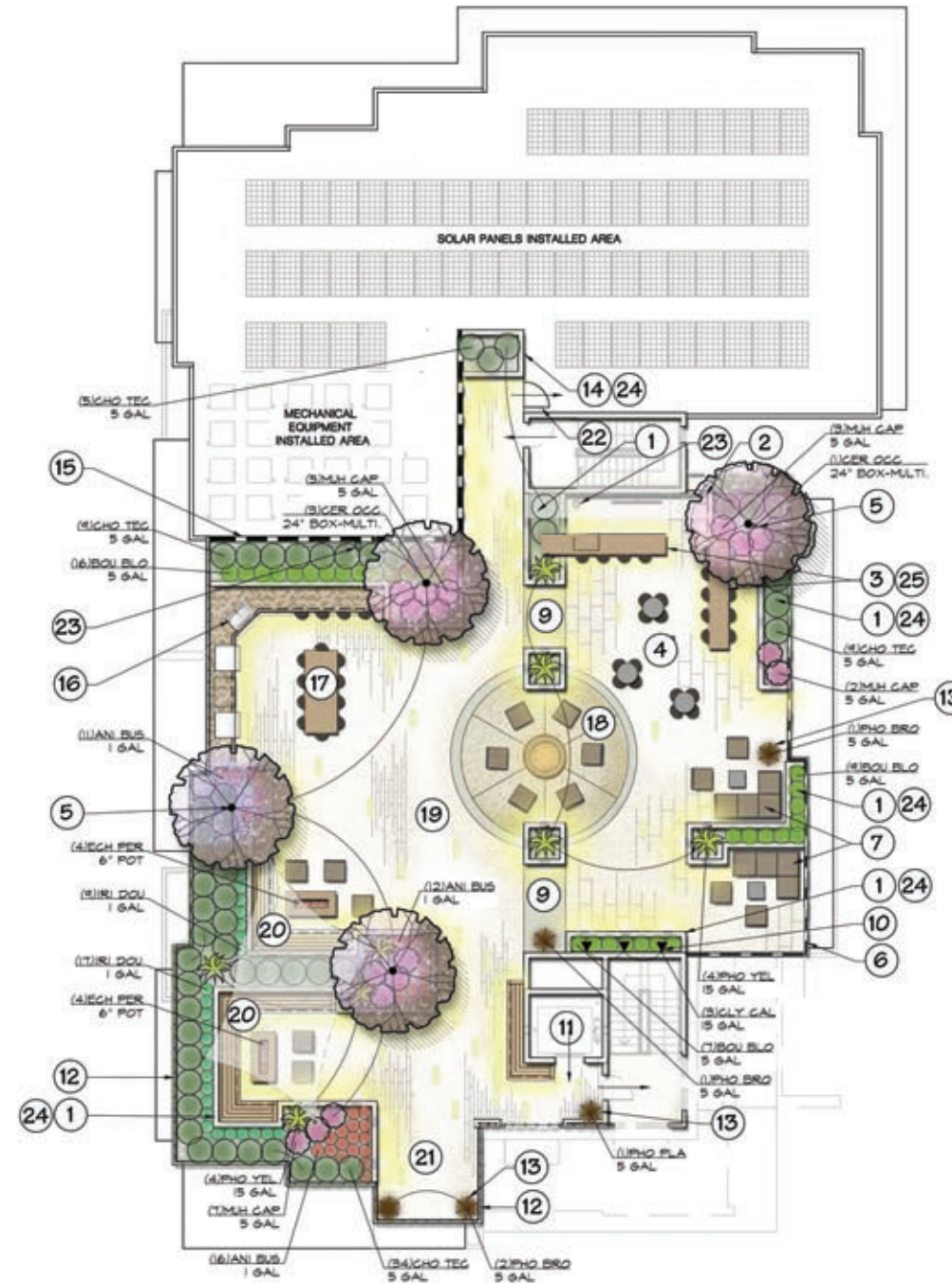
DATE: 06/04/19
JOB# 18026.01



PROGRAM AMENITY LEGEND

- 1 36" RAISED PLANTER, TYPICAL
- 2 OUTDOOR FLAT TV BACKDROP W/ HORIZONTAL WOOD FEATURE WALL
- 3 BAR COUNTER TABLES AND CHAIRS CANTILEVERED TO RAISED PLANTERS
- 4 BISTRO TABLE SEATING NICHE WITH LARGE FORMAT PRECAST PAVERS, TYPICAL
- 5 SMALL ACCENT TREE & UNDERSTORY PLANTING, TYPICAL (SEE PLANTING LEGEND FOR DETAILS)
- 6 7' HT. METAL RAIL AT PREVAILING WIND SIDE, TYPICAL
- 7 LOUNGE SEATING AND TABLE, TYPICAL
- 8 HORIZONTAL WOOD FEATURE WALL
- 9 COLORED CONCRETE PAVING
- 10 WIRE CABLE WALL TRELLIS WITH SHOWY VINES ON STAIRWELL WALL
- 11 ELEVATOR SHAFT W/ CANTILEVERED BENCH FEATURE
- 12 42" HT. METAL & GLASS GUARDRAIL, TYPICAL
- 13 DECORATIVE POTS AT CORNERS, TYPICAL
- 14 36" HT. RAISED PLANTER W/ UPRIGHT SCREEN VEGETATION TO BUFFER SOLAR PANELS (LOW VEGETATION BEFORE TV SCREEN)
- 15 HORIZONTAL WOOD FEATURE WALL W/ OUTDOOR TV
- 16 BBQ GRILLS (2) W/ SINK AND REFRIGERATOR AND BAR COUNTER WITH CHAIRS. TRASH/RECYCLE/GREEN BINS WILL BE INCLUDED UNDER COUNTER
- 17 RAISED BAR STOOL SEATING COUNTER
- 18 CENTRAL FOCAL FIRE PIT COMMUNAL SEATING AREA W/ COLORED CONCRETE PAVING AND BANDING
- 19 LINEAR MODULAR PRECAST PAVERS W/ IN-GROUND FLOOD LIGHTS, TYPICAL
- 20 CANTILEVERED BENCH SEATING W/ PLANTED COFFEE TABLE W/ SHADE SAILS ABOVE
- 21 LINEAR MODULAR PRECAST PAVERS @ VIEWING OVERLOOK, TYPICAL
- 22 ROOF MAINTENANCE ACCESS GATE
- 23 OUTDOOR ELECTRICAL DUPLEX, TYPICAL
- 24 WALL LIGHTS AT PLANTER WALLS, TYPICAL. SEE PHOTOMETRIC PLAN FOR DETAILS
- 25 TAPE LIGHTS UNDER TABLES, TYPICAL. SEE PHOTOMETRIC PLAN FOR DETAILS

NOTE: SEE L-1 FOR PLANTING LEGEND.



ALTOS II

Los Altos, 4898 ECR LLC

PRELIMINARY ROOF DECK LANDSCAPE PLAN

NOT FOR CONSTRUCTION



DATE: 06/04/19
JOB# 18026.01



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