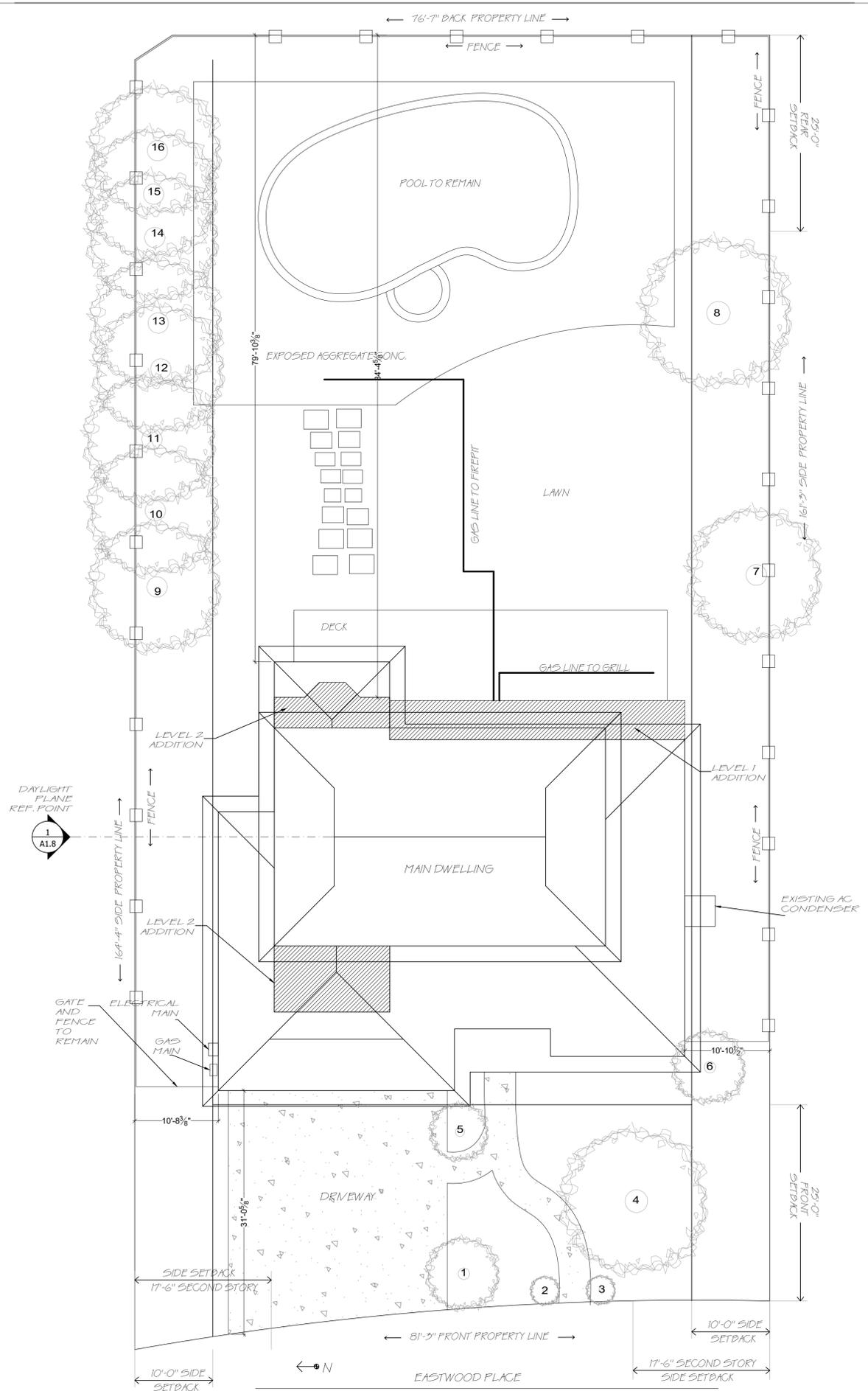
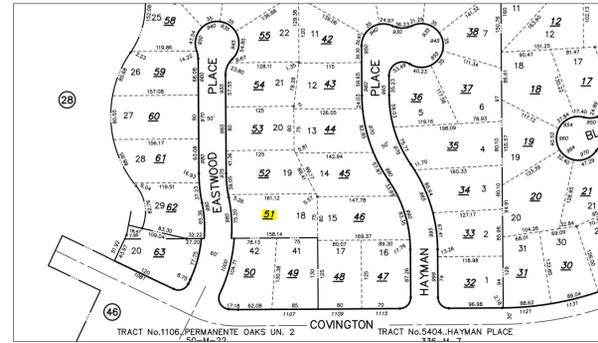


SITE PLAN



PARCEL MAP



VICINITY MAP



SHEET INDEX

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A1.10	AREA OF WORK SECTIONS
GB-1	CA GREEN CODE 2019

PROJECT TEAM

ARCHITECTURAL DESIGNER
 DANIELLE DIVITTORIO
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GENERAL CONTRACTOR
 TBD

STRUCTURAL ENGINEER
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PROJECT NOTES

SCOPE OF WORK:

ADDITION OF 383 SQ. FT. (LEVEL 1 - 183 SQ. FT., LEVEL 2 - 199 SQ. FT.), REMODEL OF KITCHEN APPLIANCES IN SIMILAR LOCATIONS, REMODEL OF FAMILY ROOM AND ADD TWO WINDOWS, ADDED SKYLIGHTS OVER ENTRY, KITCHEN AND MASTER BATHROOM, REMODEL OF MASTER BATHROOM, NEW MASTER CLOSET, NEW GAS INSERT FIREPLACE IN MASTER, SURFACE UPDATES (APPLIANCES REMAIN IN SAME LOCATION) OF GUEST BATHROOM AND LEVEL 2 BATHROOM, LANDSCAPE REMAIN AS IS - ADD NEW FIREPIT NEAR POOL.

ZONING R-1-10 LOT #18 PARCEL #193-21-051 - YEAR BUILT: 1975
 LOT SIZE: 12,700 SF.
 BUILDING AREA: 3,622 SF.
 EXISTING HOUSE: 3,022 SF.
 EXISTING GARAGE: 600 SF.
 NEW ADDITION: 383 SF. OF CONDITIONED SPACE
 NEW 528 SF. DECK

OCCUPANCY - R-3; TYPE OF CONSTRUCTION - VD

NOTE: THE FOLLOWING CODES AND REGULATIONS AS MENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.

- CEC 2019 CALIFORNIA ELECTRICAL CODE
- CPC 2019 CALIFORNIA BUILDING CODE
- CPC 2019 CALIFORNIA PLUMBING CODE
- CMC 2019 CALIFORNIA MECHANICAL CODE
- CEC 2019 CALIFORNIA ENERGY CODE
- CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

PROJECT SUMMARY TABLE

ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED/REQ.
Lot Coverage: Land area over 6' in height	3138 sq.ft. 25%	3240 sq.ft. 26%	3810 sq.ft. 30%
Floor Area: Measured to outside surface of exterior walls	3622 sq.ft. 28%	4006 sq.ft. 31%	4020 sq.ft. 32%
SETBACKS:			
Front	31 ft.	31 ft.	Min. 25 ft.
Rear	79 ft. 10 in.	79 ft. 10 in.	Min. 25 ft.
Right Side (1st/2nd) INTERIOR	10 ft. 11 in. / 21 ft.	10 ft. 11 in. / 21 ft.	10 ft. / 17.5 ft.
Left Side (1st/2nd) INTERIOR	10 ft. 8 in. / 17ft. 10in.	10 ft. 8 in. / 17ft. 10in.	10 ft. / 17.5 ft.
HEIGHT	21 ft. 9 in.	21 ft. 9 in.	27 ft.

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROP.
HABITABLE LIVING AREA: Includes habitable basement	3022 sq.ft.	+383 sq.ft.	3405sq.ft.
NON- HABITABLE AREA: Covered porches/open structures not included	600 sq.ft.	0 sq.ft.	600 sq.ft.

LOT CALCULATIONS		
NET LOT AREA:		12700 sq.ft.
FRONT YARD HARDSCAPE AREA: Shall not exceed 50% of setback	(Driveway and walkways) 916 sq. ft.	36%
LANDSCAPE BREAKDOWN:	Total hardscape area (existing and prop)	7141 sq. ft.
	Existing softscape (undisturbed) area	5458 sq. ft.
	(N) softscape (new or replaced landscape) area	101 sq. ft.
	Sum of all three should equal the site's net lot area	

SITE PLAN NOTES

- VERIFY UTILITY HOOK UP LOCATIONS
- EXISTING TREES TO BE PROTECTED AND FENCED DURING CONSTRUCTION.
- ALL SITE GRADING AND CONDITIONS TO CONFORM TO LUDC ARTICLE 19, CHAPTER 5 AND CBC CHAPTER 1804.
- ALL FILL AREAS TO BE COMPACTED TO CONFORM TO SECTION 1803.5 OF THE CALIFORNIA BUILDING CODE.
- PROVIDE MINIMUM 5% DRAINAGE AWAY FROM BUILDING AND 5% FROM SITE TO STREET DRAINAGE AREAS OR AS SHOWN ON PLAN AS PER CBC 1803.3. SEE GRADING PLAN.
- PROVIDE EROSION CONTROL AND CONTROL OF RUN OFF DURING EARTH WORK OPERATIONS.
- EXISTING OR PROPOSED FILL SHALL NOT BE USED FOR SUPPORT OF CONCRETE FOOTING OR FLOOR SLABS UNLESS SOIL IS COMPACTED TO 95% WITH REQUIRED INSPECTIONS (SEE PLAN OR SOILS REPORT) - SIDEWALKS AND DRIVEWAYS MAY BE 90% OTHERWISE REQUIRED BY LOCAL REQUIREMENTS: E.G., FIRE DISTRICTS, CONSULT SOILS REPORT IF ONE WAS REQUIRED.
- MAX. CUT/FILL SLOPE - TWO (2) HORIZONTAL TO ONE (1) VERTICAL - SEE CBC 1803 FOR ADDITIONAL SITE / GRADING REQUIREMENTS.
- WHERE THE SURFACE OF THE GROUND SLOPES MORE THAN 1' IN 10', FOUNDATIONS SHALL BE LEVEL OR SHALL BE STEPPED SO THAT BOTH TOP AND BOTTOM OF SUCH FOUNDATION ARE LEVEL.
- FOUNDATION SUPPORTED ON FILL REQUIRE A SOIL INVESTIGATION REPORT AND A REPORT OF SATISFACTORY FILL PLACEMENT - SEE CBC 1803. ALL SOILS COMPACTION TESTING AND RELATED SOILS ENGINEERING WORK IS TO BE PROVIDED BY THE CONTRACTOR AND INCLUDED IN THE OVERALL COST OF THE PROJECT.
- ALL FOUNDATION AREAS AND RETAINING WALLS AT TOE OF SLOPES SHALL BE PROVIDED WITH AN ACCEPTABLE STANDARD SURFACE BACK DRAIN SYSTEM AND ALL DRAINAGE SHALL BE CONDUCTED TO DAYLIGHT OR STREET IN AN ACCEPTABLE MANNER AND IN A NON - EROSION DEVICE.
- INDICATED HEIGHTS FOR RETAINING WALLS ARE APPROXIMATE - VERIFY ACTUAL HEIGHTS IN FIELD, NOTIFY ARCHITECT IF IT VARIES FROM RETAINING HEIGHT DESIGNS. IF NO RETAINING WALLS ARE SHOWN ON DRAWING BUT ARE REQUIRED DUE TO SITE CONDITIONS, NOTIFY THE ARCHITECT AND OBTAIN DESIGN REQUIREMENTS FROM THE ARCHITECT IN WRITING.
- PROVIDE ALL ROUGH-IN FOR SEPTIC OR SEWER, PHONE, CABLE, GAS AND ELECTRICAL FROM STREET OR EXISTING SITE SOURCE TO THE PROJECT AS REQUIRED, VERIFY LOCATIONS, COMPARABILITY AND CAPACITY OF EXISTING SERVICES TO ACCOMMODATE PROPOSED TOTAL SERVICE IMPACT, NOTIFY ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH WORK IF EXISTING SERVICES CANNOT ACCOMMODATE TOTAL SERVICES PROPOSED, UNLESS ALREADY DESIGNED FOR HERE IN.
- REMOVE ALL EXISTING TREES WITHIN BUILDING PERIMETER IN ADDITION TO THOSE THAT ARE NOTED.
- SOIL FACTORS FOR FOUNDATION DESIGN ARE ASSUMED, ARCHITECT IS NOT RESPONSIBLE FOR IN FIELD SOIL CONDITIONS NOR IRREGULAR DRAINAGE OR GRADING.
- THE SIGNER OF THESE PLANS LIMITS HIS LIABILITY TO INFORMATION REPRESENTED THERE IN AND THE INTENDED USE THERE OF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS.
- CONSTRUCT PROJECT TO ARCHITECT/ENGINEER DESIGNS, ANY AND ALL STRUCTURAL OR DESIGN CHANGES SHALL FIRST BE APPROVED BY ARCHITECT AND RESUBMITTED FOR PLAN REVIEW.
- PROVIDE BACK FLOW PREVENTION ON SEWER LATERAL.
- ALL WORK TO COMPLY WITH THE 2019 CA BUILDING CODE, 2019 RESIDENTIAL CODE, 2019 GMC, GPG, CGBSC, AND 2019 CALIFORNIA ENERGY CODE.
- STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION SHALL COMPLY WITH CQ88C 4.106.2.
- PROVIDE DRAINAGE AROUND HOUSE, MIN. 6" FALL WITHIN THE FIRST 10'-0" AS PER CBC 401.3 AND GGBSC 4.106.103 #5.
- A MINIMUM OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGED FOR REUSE IN ACCORDANCE WITH SECTIONS 4.408.2, 4.408.3 OR 4.408.4 OR LOCAL ORDINANCE (WHICHEVER IS STRICTER).
- PROPERTY SHALL BE IN COMPLIANCE WITH VEGETATION CLEARANCE REQUIREMENTS PER CCR327 1.5.

EXISTING TREES ON SITE

Tree Protection Plan				
Tree Number #	Circumfrance size @ 48" above grade	Species	Remove or Remain	Protective Measure
1	14 in	Lagerstroemia Hybrid - Crape Myrtle	Remain	n/a
2	18 in	Cupresses Sempervirens - Italian Cypress	Remain	n/a
3	17 in	Cupresses Sempervirens - Italian Cypress	Remain	n/a
4	24 in	Lagerstroemia Hybrid - Crape Myrtle	Remain	n/a
5	12 in	Lagerstroemia Hybrid - Crape Myrtle	Remain	n/a
6	14 in	Ligustrum Texanum - Privet	Remain	n/a
7	33 in	Albizia Julibrissin - Saucer Magnolia	Remain	Fencing
8	13 in	Magnolia Soulangiana	Remain	n/a
9	28 in		Remain	Fencing
10	29 in		Remain	Fencing
11	34 in		Remain	Fencing
12	25 in		Remain	n/a
13	30 in	Syzgium Paniculatum - Brush Cherry	Remain	n/a
14	32 in		Remain	n/a
15	28 in		Remain	n/a
16	26 in		Remain	n/a

SITE PLAN AND COVER SHEET

REVISIONS	BY

DI VITTORIO ARCHITECTURE & DESIGN
 1512 WALNUT DRIVE
 CAMPBELL CA, 95008
 408.655.0565

PROPOSED REMODEL TO:
PARKER RESIDENCE
 EVAN AND CAILIN PARKER
 985 EASTWOOD PLACE
 LOS ALTOS, CA 94024

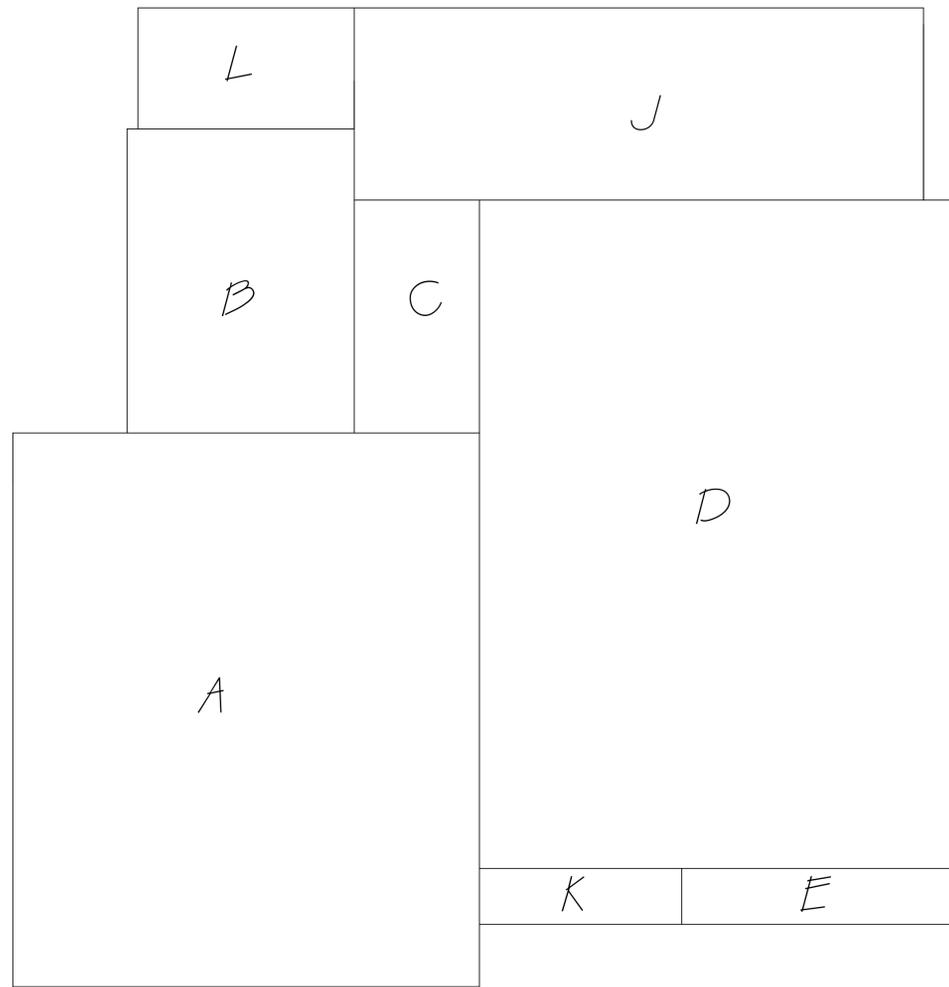
DRAWN BY: DANIELLE DIVITTORIO

SCALE: 1/8" = 1'0"

DATE: JUNE 29, 2020

SHEET NO. SA.1

FLOOR AREA AND LOT COVERAGE



DOOR SCHEDULE

MARK	QTY.	SIZE		DOOR			GLAZING	GENERAL NOTES	LOCATION	
		WIDTH	HEIGHT	TYPE	SWING	STYLE				MATL.
101	1	5'-6"	6'-8"	HD	BOTH	SL	WD/GLS	S	5, 9	ENTRY
102	2	6'-0"	6'-8"	PD	--	SL	WOOD		8	ENTRY/OFFICE
103	1	2'-0"	6'-8"	HS	RH	SL	WOOD		8	1/2 BATH
104	1	3'-0"	6'-8"	PS	--	SL	WOOD		8	OFFICE
105	2	8'-0"	6'-8"	SS	LH	FL	FG/GLS		8	OFFICE/FAMILY ROOM
106	1	8'-0"	7'-0"	MA	--	FL	FG/GLS		8	KITCHEN
107	1	3'-8"	6'-8"	HD	BOTH	SL	WOOD		8	KITCHEN STORAGE
108	1	4'-0"	6'-8"	BD	BOTH	SL	WOOD		8	GUEST CLOSET
109	1	16'-0"	7'-0"	MA	--	4U	FG/GLS	S	5, 8	GARAGE
110	1	8'-0"	7'-0"	MA	--	4U	FG/GLS	S	5, 8	GARAGE
201	1	4'-0"	6'-8"	BD	BOTH	SL	WOOD		8	BED 3 CLOSET
202	1	4'-0"	6'-8"	PD	BOTH	SL	WOOD		8	MASTER BATH
203	1	3'-0"	6'-8"	PS	--	SL	WOOD		8	MASTER CLOSET

NOTE: ALL EXTERIOR DOORS TO BE FIBERGLASS OR EQUAL. OTHER DOORS NOT LISTED REMAIN AS IS.

WINDOW SCHEDULE

MARK	QTY.	SIZE		TYPE	GLASS	SPECIAL ROOMS	GENERAL NOTES	LOCATION
		WIDTH	HEIGHT					
101	2	2'-6"	3'-0"	SKYLIGHT	DP	SG	4, 6	ENTRY
102	1	5'-0"	4'-0"	SLIDER	DP	--	4, 6	OFFICE
103	1	7'-6"	3'-6"	D. SLIDER	DP	SG	4, 6	KITCHEN
104	2	5'-0"	2'-0"	SKYLIGHT	DP	SG	4, 6, 11	KITCHEN
105	3	3'-0"	4'-0"	S. HUNG	DP	--	4, 6	FAMILY ROOM
106	2	5'-0"	2'-6"	SKYLIGHT	DP	SG	4, 6	OUTDOOR PATIO
201	2	2'-0"	4'-6"	D. HUNG	DP	--	4, 6	MASTER BAY WINDOW
202	1	3'-10"	4'-6"	CASEMENT	DP	EG	4, 6	MASTER BAY WINDOW
203	2	3'-0"	3'-6"	D. HUNG	DP	--	4, 6, 11	MASTER
204	2	3'-0"	2'-6"	D. HUNG	DP	TG	4, 13	MASTER BATH
205	2	2'-0"	3'-0"	SKYLIGHTS	DP	SG	4, 13, 11	MASTER BATH
206	1	4'-0"	3'-0"	SLIDER	DP	TG	4, 13	MASTER CLOSET

NOTE: ALL WINDOWS TO BE FIBERGLASS OR EQUAL. SEMI-CIRCLE WINDOW ABOVE WINDOW 106 TO REMAIN AS IS.

DOOR SCHEDULE LEGEND:
NOTE: ROUGH OPENING SIZES TO BE VERIFIED W/ MANUFACTURER

DOOR TYPES:
BD BIFOLD DOUBLE
BS BIFOLD SINGLE
CO CASED OPENING
HD HINGED - DOUBLE
HS HINGED - SINGLE
MA MULLED TOGETHER
ASSEMBLY
OP OPERABLE SIDELITE
W/SCREEN
OS OVERHEAD SECTIONAL
PD POCKET - DOUBLE
PS POCKET - SINGLE
SS SLIDING SINGLE
SD SLIDING DOUBLE

DOOR STYLES:
SL SLAB
SC SCREEN DOOR
#P NUMBER OF PANELS
FL FULL LIFE
TL THREE QTR. LIFE
HL HALF LIFE
#L NUMBER OF LITES
#U NUMBER OF UNITS
IN MULLED ASSEMBLY
#V NUMBER OF VENTS

GENERAL NOTES:
1 ACTIVE DOOR RIGHT FROM EXT.
2 ACTIVE DOOR LEFT FROM EXT.
3 TRANSOM MULLED TO UNIT
4 SIDELITE MULLED TO UNIT
5 WEATHER STRIPPING
6 20 MINUTE FIRE DOOR (UPC 302.4.23)
7 PHANTOM TYPE SCREEN
8 NEW DOOR
9 EXISTING DOOR
10 RELOCATED/REUSE DOOR
11 MINIMUM 1-3/8" SOLID CORE OR MIN. RATED WEATHER STRIPPED, SELF CLOSING AND SELF LATCHING.

GLAZING:
DP DOUBLE PANE
T TEMPERED (CBC 2406)
S SAFETY (CRC R208.4)
O OBSCURED
F FROSTED
W WIRED
L LOW E

FRAME NOTES:
FG PAINT GRADE
SG STAIN GRADE
FJ FINGER JOINT

WINDOW SCHEDULE LEGEND:
GLASS:
AC DOUBLE ACRYLIC DOME
AG ARGON GAS
DP DOUBLE PANE
LE LOW-E
OP OBSCURE
TI TINTED

SPECIAL REQUIREMENTS:
TG TEMPERED GLASS
SG SAFETY GLASS
EG EGRESS

GENERAL NOTES:
1 CLAD WHITE
2 NAIL ON FIN
3 RETROFIT
4 EXTERIOR CASING
5 INTERIOR PAINT GRADE
6 NEW WINDOW
7 MULLED UNIT
8 GRIDS
9 ELECTRIC OPERATION
10 MANUAL OPERATION W/ POLE
11 ELECTRIC SHADE
12 REUSE FROM EXISTING HOME
13 EXISTING SIZE NOT TO CHANGE
14 TO BE PASS THROUGH WINDOW

NOTE GLAZING REQUIREMENTS:
GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS, GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS .60" ABOVE THE FLOOR OR WALKING SURFACE

VENTILATION CALCS

Total Floor Area

SECTION	DIMENSIONS	AREA - SQ. FT.
A	29' X 34.5'	1001.000000
B	14.5' X 19	276
C	14.5' X 7.5'	109
D	29.5' X 41.5'	1225.000000
E	17' X 3.5'	59
LEVEL 1 TOTAL		2670.000000
F	42' X 27.5'	1155
G	3.5' X 14.5'	50.750000
H	1/2 (7' X 2')	7
I	8.5' X 14.5'	123.250000
LEVEL 2 TOTAL		1336
TOTAL		4006

TOTAL LOT COVERAGE

SECTION	DIMENSIONS	AREA - SQ. FT.
LEVEL 1 TOTAL		2670
J	35.5' X 12'	426
K	3.5' X 12'	42
L	7.5' X 13.5'	102
Total		3240

ATTIC VENTILATION CALCULATION ADDITION, LEVEL 2:
TOTAL VENT AREA REQUIRED: 1500.00 SQ. FT. OF NET FREE AREA FOR EVERY 100 SQ. FT. OF ATTIC FLOOR SPACE.
VENTING PROVIDED: PS 50.00 FT² / 100 SQ. FT. x 15 = 250.00 FT² X 44 SQ. IN = 288 SQ. IN.
TOTAL VENTING: - (1) 250.00 SQ. FT. VENTS - 77 SQ. IN PER VENT - (2) 14.5' X 19' VENT - 252 SQ. INCHES - 4 NEW VENTS TOTAL.

VENTILATION CALCULATION IN UNDER FLOOR ADDITION, LEVEL 1:
VENTING REQUIRED: 144 SQ. INCHES PER 100 SQ. FT. VENTING PROVIDED: PS 50.00 FT² / 100 SQ. FT. x 15 = 250.00 IN. TOTAL VENTING: - (2) 14.5' X 19' VENTS 50 INCHES - 201 - 2 VENTS FOR ADDITION.

CAL GREEN CODE NOTES

CAL Green Environmental Quality Requirements:
- ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR (CBC SECTION 4.504.24)
- PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR AN OWNER/BUILDER PROJECT) MUST BE PROVIDED TO THE TOWN OF LOS ALTOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CBC SECTION 4.504.

GENERAL CONSTRUCTION NOTES

- DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IF DISCREPANCIES ARE FOUND. CONTRACTOR SHALL IDENTIFY ARCHITECT IMMEDIATELY.
- ALL CONSTRUCTION TECHNIQUES, MATERIALS AND FINISHES SHALL BE AS REQUIRED BY THE APPROPRIATE GOVERNING AGENCY. INSTALLATION SHALL FOLLOW THE MANUFACTURER'S PUBLISHED SPECIFICATIONS AND/OR TRADE STANDARDS IN ADDITION TO MANUFACTURER'S PUBLISHED SPECIFICATIONS AND/OR TRADE STANDARDS IN ADDITION.
- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE REQUIREMENTS OF REFERENCED CODES AND ALL APPLICABLE LOCAL ORDINANCES. WHERE CONTRACT DOCUMENTS EXCEED WITHOUT VIOLATING CODE AND REGULATION REQUIREMENTS, CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE. WHERE CODES CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- SHOULD A CONDITION ARISE THAT IS IN CONFLICT WITH THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS, ARE COMPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ARCHITECTURAL DRAWINGS PRIOR TO THE COMMENCEMENT OF THE CONSULTANT'S PORTION OF THE WORK. DISCREPANCIES BETWEEN THE ARCHITECTURAL AND THE CONSULTING ENGINEERS/ARCHITECTS DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY FOR CLARIFICATION. CONSTRUCTION INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE AND NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION AND SIZE OF OPENINGS, CLEARANCES, AND ACCESS FOR ALL TRADES. COORDINATE ALL CONSTRUCTION AS INDICATED BY THE CONTRACT DOCUMENTS AS WELL AS THE APPROVED SHOP DRAWINGS/ SUBMITTALS.
- ALL DIMENSION ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- WHEN A DETAIL IS NOTED AS TYPICAL, THE CONTRACTOR SHALL APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- THE CONTRACTOR SHALL LOCATE BACKING PLATES OR BLOCKING AS REQUIRED AT ALL WALL MOUNTED EQUIPMENT, CASEWORK AND ACCESSORIES TO ENSURE POSITIVE ATTACHMENT TO STRUCTURE.
- THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF WATER, VENT, AND DRAIN INSTALLATION AND ALL OTHER REQUIRED SERVICES WITH EQUIPMENT MANUFACTURERS. THE CONTRACTOR SHALL REFER TO THE PROJECT MANUAL FOR A COMPLETE LIST OF GENERAL AND SUPPLEMENTARY CONDITIONS AND OTHER CRITERIA. CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY AND PRIOR TO COMMENCEMENT OF THE WORK.
- GRADING, DRAINAGE, AND ROAD IMPROVEMENTS, ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- ALL PIPES, DUCTS, AND CONDUITS, SHALL BE SUPPORTED AND BRACED PER THE SMACNA GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PIPING SYSTEMS.

SCHEDULES AND PROJECT NOTES

REVISIONS	BY



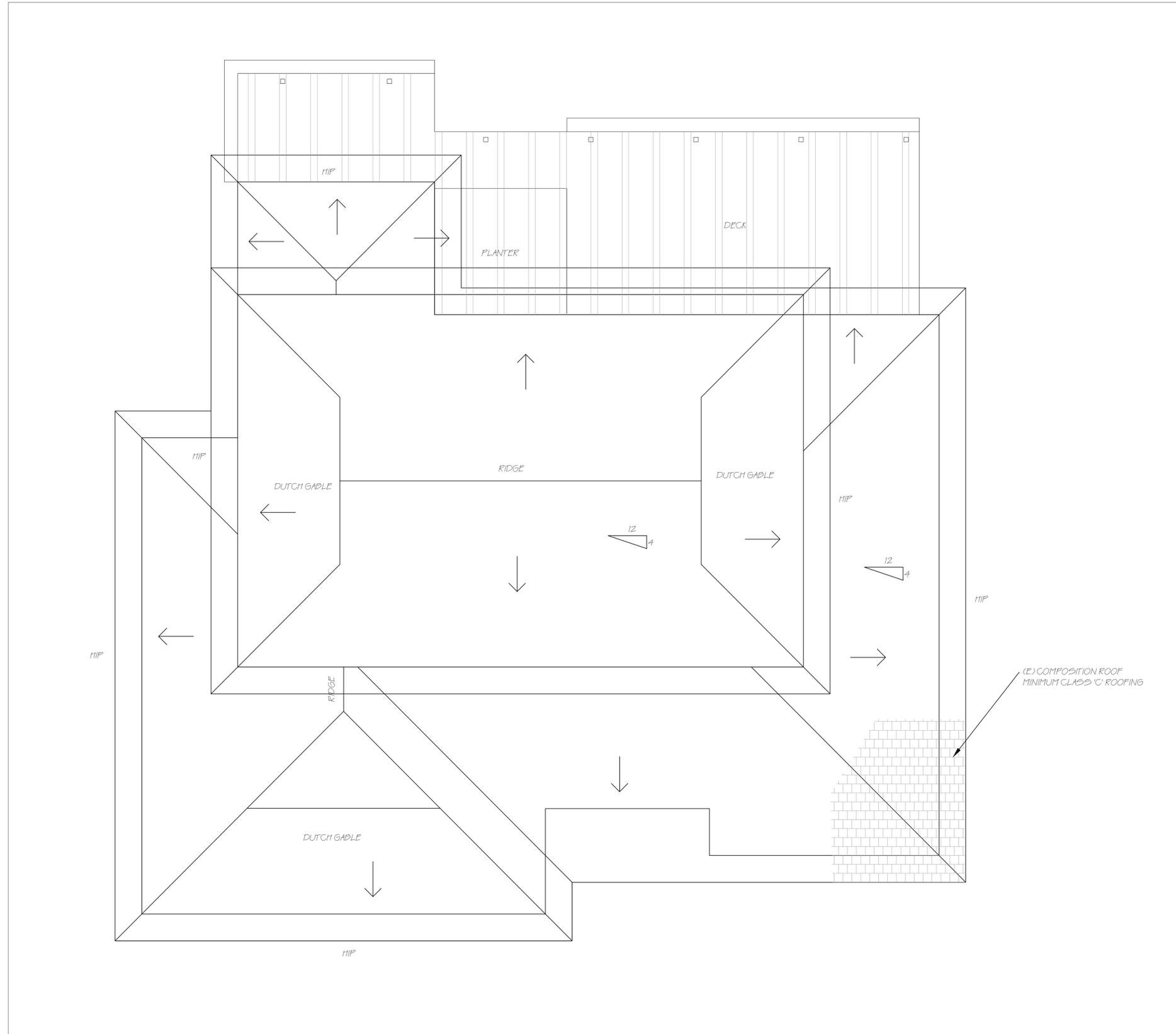
DI VITTORIO ARCHITECTURE & DESIGN
1512 WALNUT DRIVE
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510.709.7533

PROPOSED REMODEL TO:
PARKER RESIDENCE
EVAN AND CAILIN PARKER
985 EASTWOOD PLACE
LOS ALTOS, CA 94024

DRAWN BY: DANIELLE DIVITTORIO

SCALE: NTS
DATE: JUNE 29, 2020
SHEET NO. **A1.3**



ROOF PLAN NOTES:
 MIN CLASS 'C' ROOFING IN PROPOSED ROOF (CRC R902.19) THE FASTENERS FOR THE ROOFING SHALL BE CORROSION RESISTANT IN ACCORDANCE WITH CRC 905.2.5.

ATTIC ACCESS:
 A. THE ROUGHED FRAMED OPENING SHALL BE NOT LESS THAN 22IN BY 30IN AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.
 B. WHERE LOCATED IN A WALL THE OPENING SHALL BE NOT LESS THAN 22IN 30 IN HIGH
 C. WHERE THE ACCESS IS LOCATED IN A CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30 IN AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS.

WATER HEATER NOTES - REMAIN AS IS
 - 120V electrical receptacle to be located within 3ft front the water heater and accessible to the water heater with no obstructions.
 - A gas supply line with a minimum capacity of at least 200,000 Btu/hr for the new tankless water heater design has input
 -- Gas input rating listed in the Manufacturer's Specifications/Energy Calculations may be less than 200,000 Btu/hr for the water heater, but the Energy Code requires the gas line size to be designed for 200,000 Btu/hr minimum input for the water heater.
 - Gas piping is adequate in size for the loading provided.

REVISIONS	BY



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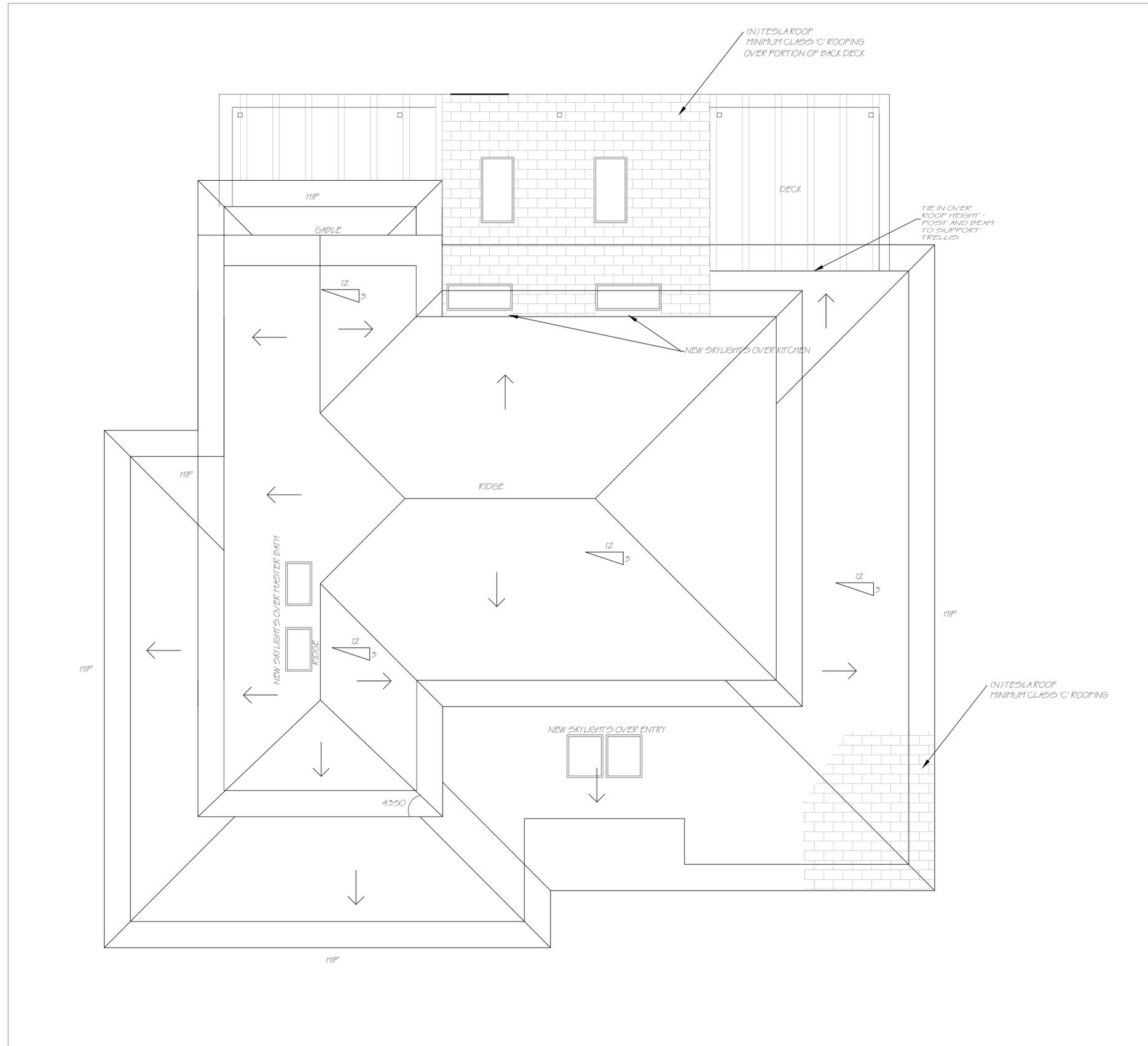
PROPOSED REMODEL TO:
PARKER RESIDENCE
 EVAN AND CAILIN PARKER
 985 EASTWOOD PLACE
 LOS ALTOS, CA 94024
 510.709.7533

DRAWN BY: DANIELLE DIVITTORIO

SCALE: 1/4" = 1'-0"
 DATE: JUNE 29, 2020
 SHEET NO.

A1.4

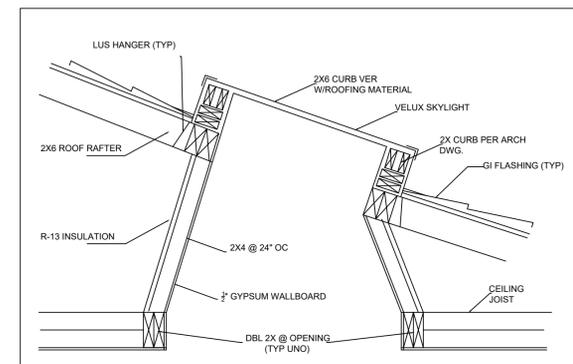
EXISTING ROOF PLAN



ROOF PLAN NOTES:
 MIN CLASS 'C' ROOFING IN PROPOSED ROOF (CRC R902.15) THE FASTENERS FOR THE ROOFING SHALL BE CORROSION RESISTANT IN ACCORDANCE WITH CRC 905.2.5.

ATTIC ACCESS:
 A. THE ROUGHED FRAMED OPENING SHALL BE NOT LESS THAN 22IN BY 30IN AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION.
 B. WHERE LOCATED IN A WALL THE OPENING SHALL BE NOT LESS THAN 22IN 30 IN HIGH.
 C. WHERE THE ACCESS IS LOCATED IN A CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30 IN AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS.

WATER HEATER NOTES - REMAIN AS IS
 - 120V electrical receptacle to be located within 3ft from the water heater and accessible to the water heater with no obstructions.
 - A gas supply line with a minimum capacity of at least 200,000 Btu/hr for the new tankless water heater design has input
 -- Gas input rating listed in the Manufacturer's Specifications/Energy Calculations may be less than 200,000 Btu/hr for the water heater, but the Energy Code requires the gas line size to be designed for 200,000 Btu/hr minimum input for the water heater.
 - Gas piping is adequate in size for the loading provided.



1 SKYLIGHT WELL NOT TO SCALE

REVISIONS	BY

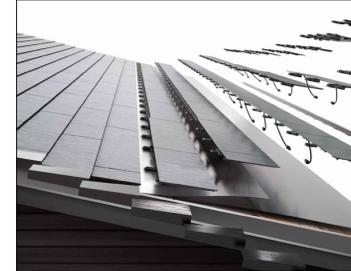


DI VITTORIO ARCHITECTURE & DESIGN
 1512 WALNUT DRIVE
 CAMPBELL CA, 95008
 408.655.0565

PROPOSED REMODEL TO:
PARKER RESIDENCE
 EVAN AND CAILIN PARKER
 985 EASTWOOD PLACE
 LOS ALTOS, CA 94024

DRAWN BY: DANIELLE DIVITTORIO
 SCALE: 1/4" = 1'-0"
 DATE: JUNE 29, 2020
 SHEET NO. **A1.5**

TESLA ROOF



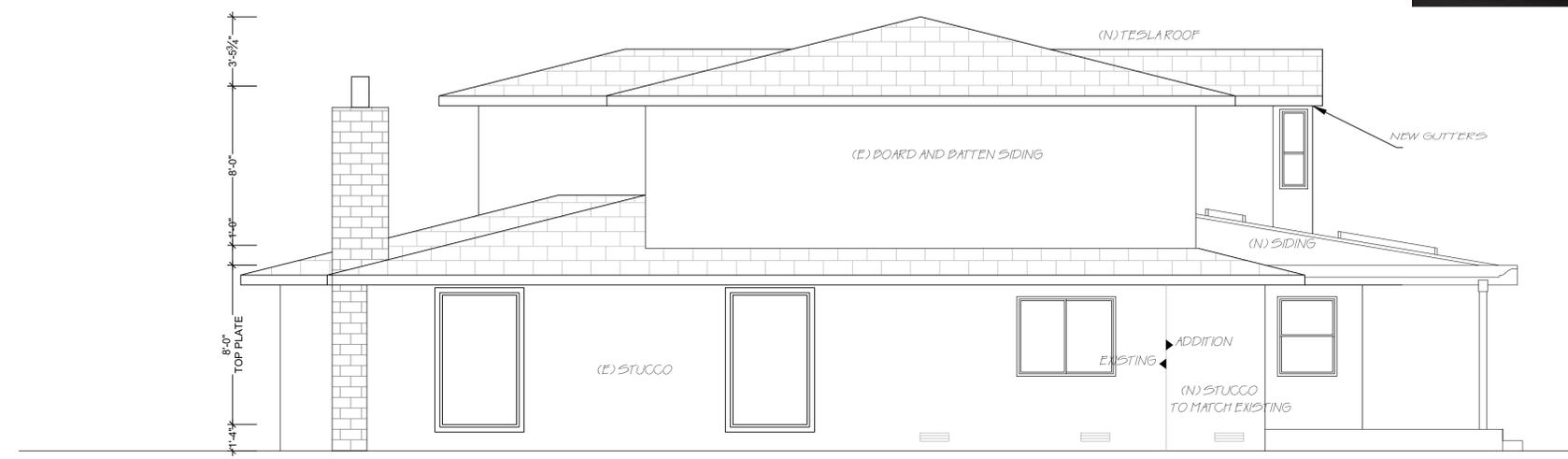
- KEY**
- FOUNDATION VENTS
 - TESLAROOOF
 - ATTIC VENT AT GABLE
 - EXISTING SIDING

TREAD, RISER, HANDRAIL SPECS:
 HAND RAILS SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS, ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL.
 HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSIONS AND SHALL HAVE A SMOOTH GRIPPING SURFACE WITH NO SHARP CORNERS, SEE THE ABOVE MENTIONED CODE CHAPTER FOR ADDITIONAL INFORMATION REGARDING HANDRAIL REQUIREMENTS.

LANDING REQUIREMENTS:
 A LANDING OR FLOOR IS REQUIRED ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF THE LANDING SHALL NOT BE LESS THAN THE DOOR WIDTH AND 36" MIN. IN DEPTH. HANDRAILS AT REQUIRED EGRESS DOORS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN TOP OF THRESHOLD.

EXCEPTION: A DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7-3/4" LOWER THAN THE FLOOR LEVEL IF THE DOOR DOES NOT SWING OVER THE LANDING (CRC R311.3.1 & R311.3.2)

- PLAN NOTES:**
- A. WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD BASED SHEATHING, SHALL INCLUDE A WATER RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.7.3)
 - B. PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING (R703.7.2)
 - C. A MINIMUM 26 GA GALVANIZED CORROSION RESISTANT WEEP SCREED WITH (R703.7.2.1)
 1. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
 2. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.



3 INTERIOR RIGHT SIDE ELEVATION



4 INTERIOR LEFT SIDE ELEVATION

- REMODEL NOTES**
- PAINT EXTERIOR OF HOUSE
 - NEW EXTERIOR LIGHTING
 - NEW TESLA ROOF
 - NEW GUTTERS
 - ADD PERMANENT HOOKS AROUND GUTTERS FOR CHRISTMAS LIGHTS
 - REPLACE TOP OF CHIMNEY WHERE FIXING IS NEEDED

PROPOSED ELEVATIONS 3 & 4

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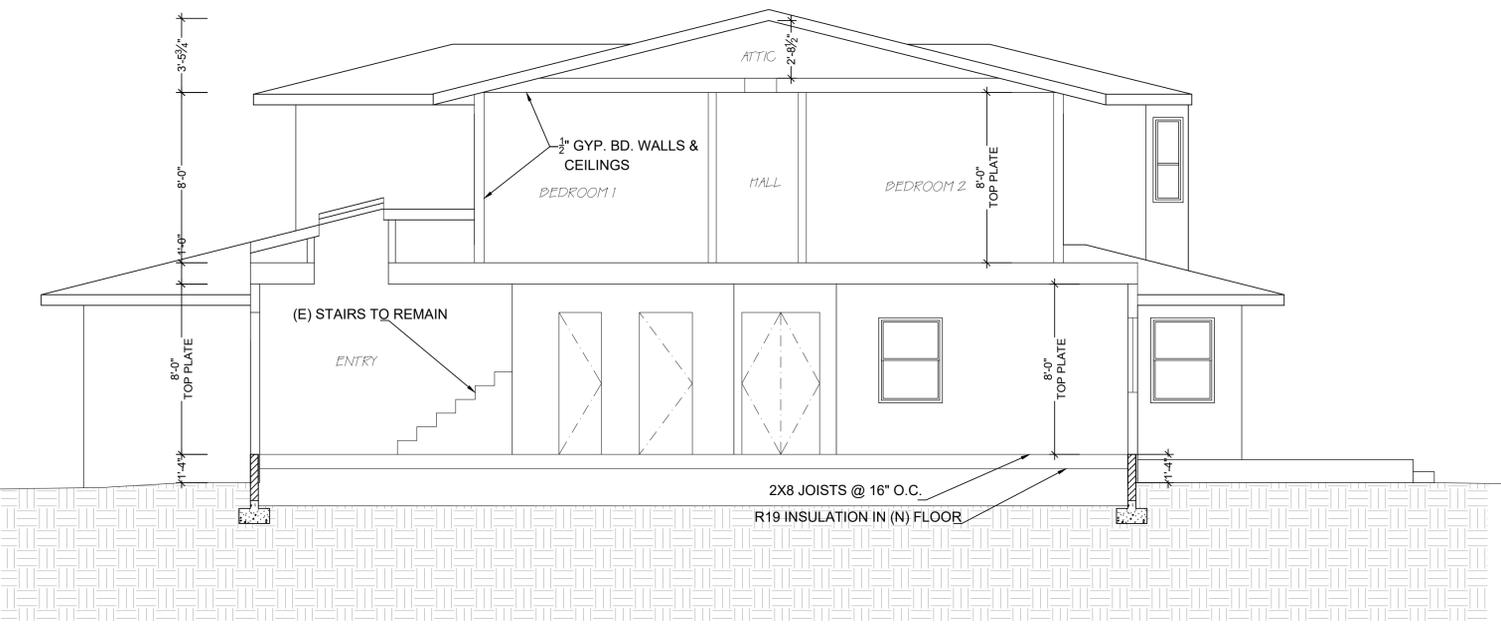
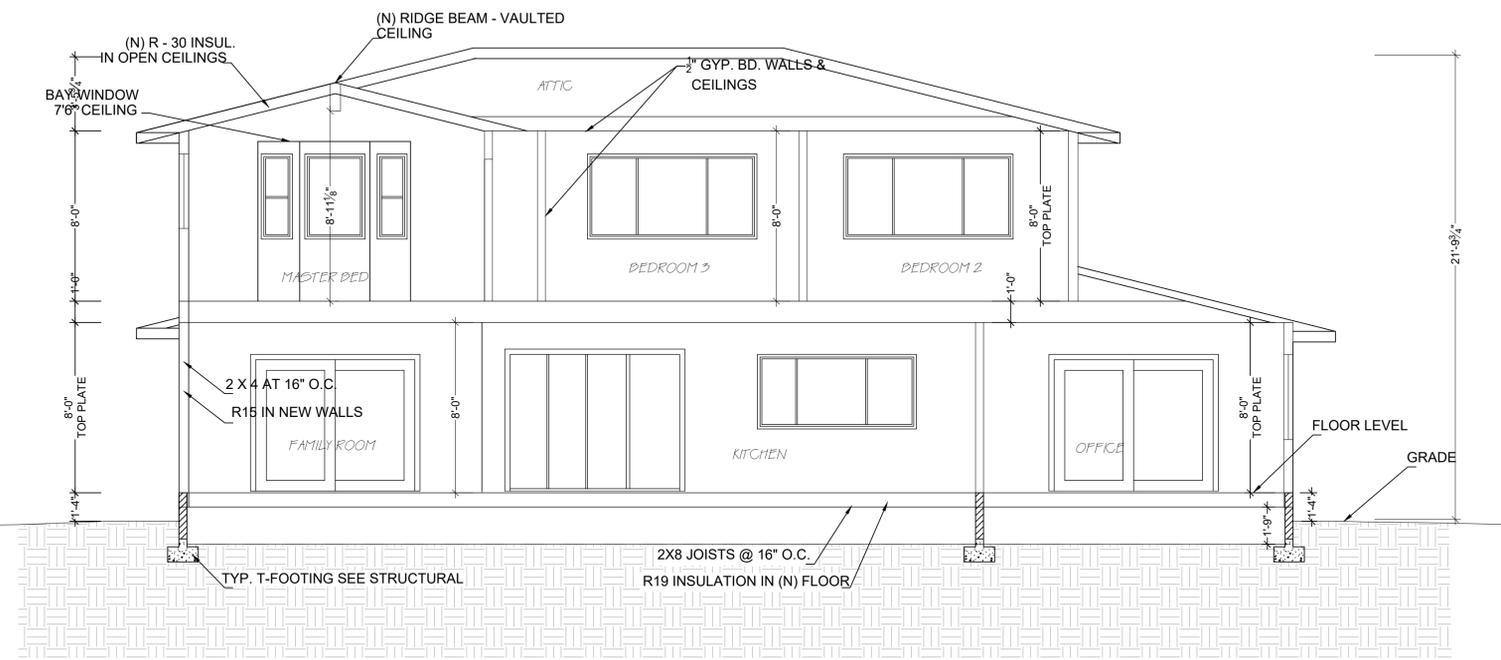
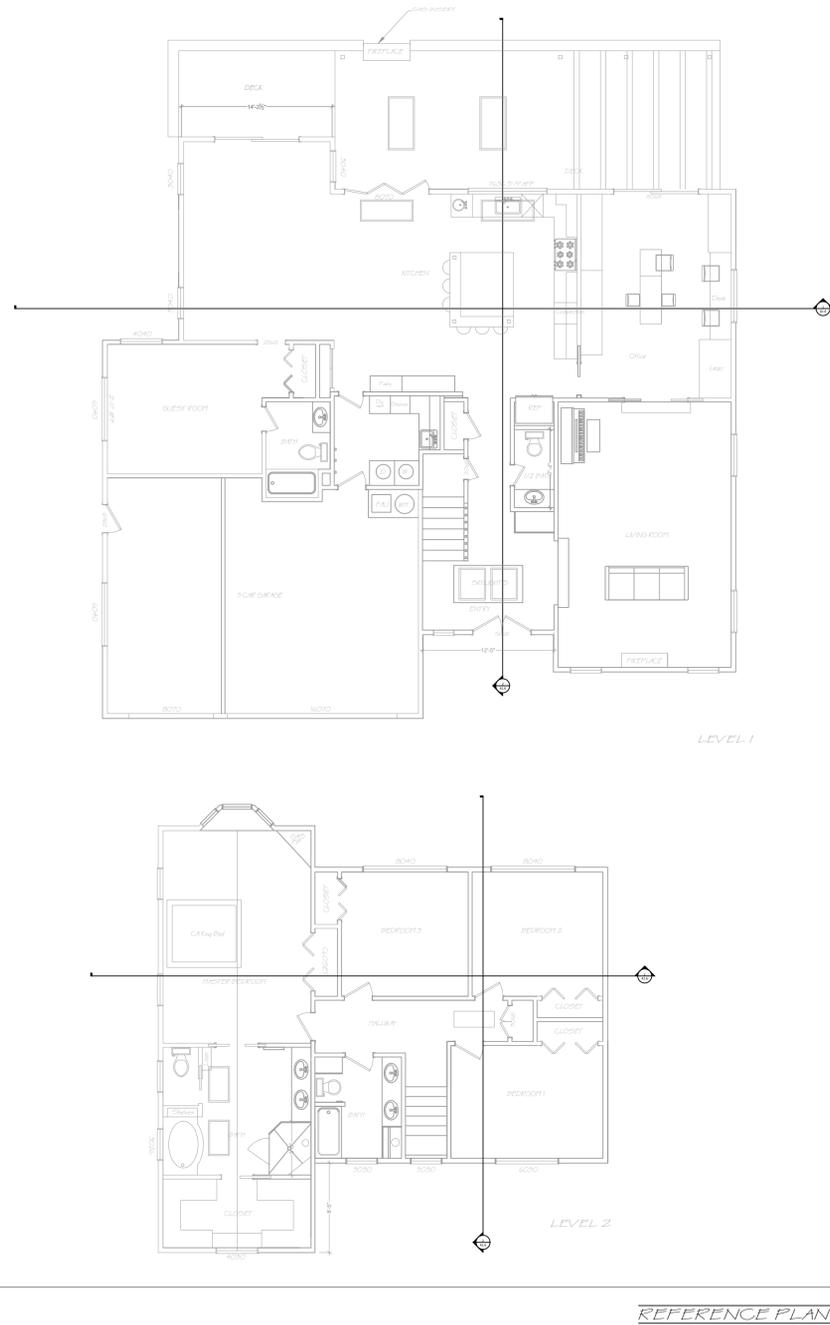
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DRAWN BY: DANIELLE DIVITTORIO

SCALE: 1/4" = 1'-0"
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 SHEET NO. **A1.9**

PLAN NOTES

WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD BASED SHEATHING, SHALL INCLUDE A WATER RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.7.3)
 PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING (R703.7.2)
 A MINIMUM 26 GA. GALVANIZED CORROSION RESISTANT WEEP SCREED WITH (R703.7.2.1)
 A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
 THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.



PROPOSED SECTIONS

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SCALE: 1/4" = 10"
 DATE: JUNE 29, 2020
 SHEET NO. **A1.10**

