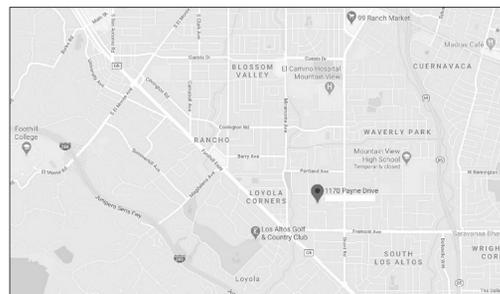
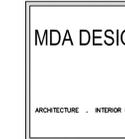
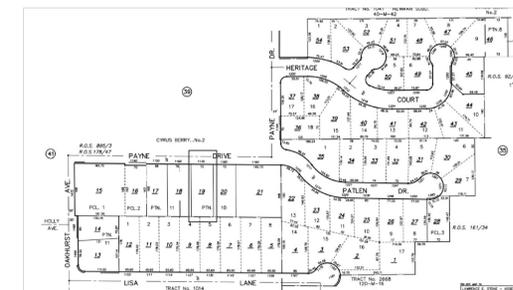


AREA MAP



VICINITY MAP



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E. PALO ALTO, CA 94303

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EMAIL
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MOBILE
650-353-0273

SCOPE OF WORK:

DEMOLITION OF AN EXISTING 1,769 SQUARE FEET ONE STORY RESIDENCE AND THE CONSTRUCTION OF A NEW 3959 TWO STORY RESIDENTIAL STRUCTURE WITH ATTACHED ATTACHED ADU UNIT LOCATED AT THE REAR SIDE OF THE PROPERTY.

CODE COMPLIANCE:	PROJECT SITE INFORMATION:	BUILDING DATA SUMMARY:
CITY OF LOS ALTOS MUNICIPAL CODE 2019 CA. RESIDENTIAL CODE 2019 CA. BUILDING CODE 2019 CA. ELECTRICAL CODE 2019 CA. MECHANICAL CODE 2019 CA. PLUMBING CODE 2019 CA. ENERGY EFFICIENCY STANDARDS 2019 CA. GREEN BUILDING STANDARDS CODES 2019 CA. FIRE CODE	PROJECT ADDRESS: 1170 PAYNE DRIVE LOS ALTOS, CA 94024 OWNER'S NAME(S): PAYNE LLC CONTACT PERSON: ZACK HOU CONTACT NUMBER: (650) 213-6512 A.P.N.: 193-38-019	ZONING DISTRICT: R1-10 SINGLE FAMILY DISTRICT SPRINKLER SYSTEM: DEFERRED SUBMITTAL TYPE OF CONSTRUCTION: V-B LOT AREA: 12,094.0 SQUARE FEET NUMBER OF STORIES: ONE BUILDING OCCUPANCY GROUP: R3/U FLOOD ZONE: NO

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE: Land area covered by all structures that are over 6 feet in height	1,769.29 square feet (14.6%)	2,963.05 square feet (25%)	3628.80 square feet (30%)
FLOOR AREA: Measured to the outside surfaces of exterior walls	1,769.29 square feet (14.6%)	3946.0 square feet (32.6%)	3,850 + 109 = 3,959.0 square feet (32.8%)
SETBACKS: * narrow lot*			
Front	29'-4"	25'-0" / 36'-7 1/2"	25'-0" / 32'- 1/2"
Rear	69'-9"	46'-5" / 74'-8"	25'-0" / 32'- 1/2"
Right side (1st / 2nd)	18'-5"	7'-2" / 19'-1"	7'-2" (10% of lot width/not less than 5 feet/ 14'-2 1/2"
Left side (1st / 2nd)	7'-2"	4'-7" / 21'-2"	7'-2" (10% of lot width/not less than 5 feet/ 14'-2 1/2"
HEIGHT:		15'-0"	26'-0"

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: Includes habitable basement areas	1,448.0 square feet	2,057.0 square feet	3505.0 square feet
NON-HABITABLE AREA: Does not include covered porches or open structures	321.29.0 square feet	119.71 square feet	441.0 square feet

LOT CALCULATIONS

NET LOT AREA:		square feet	
FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed 50%		FRONT YARD AREA = 1,800.0 SF HARDSCAPE : 581.0 Square feet (.32%)	
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed):sq.ft.	EXISTING	PROPOSED
	Existing softscape (new or replaced landscaping) area: sq.ft.	3,366.47	3,667.74
	New softscape (new or replaced landscaping) area: sq.ft.	8,727.53	1,685.41
	Sum of all three should equal the site's net lot area	6,740.85	12,094.00
		12,094.00	12,094.00

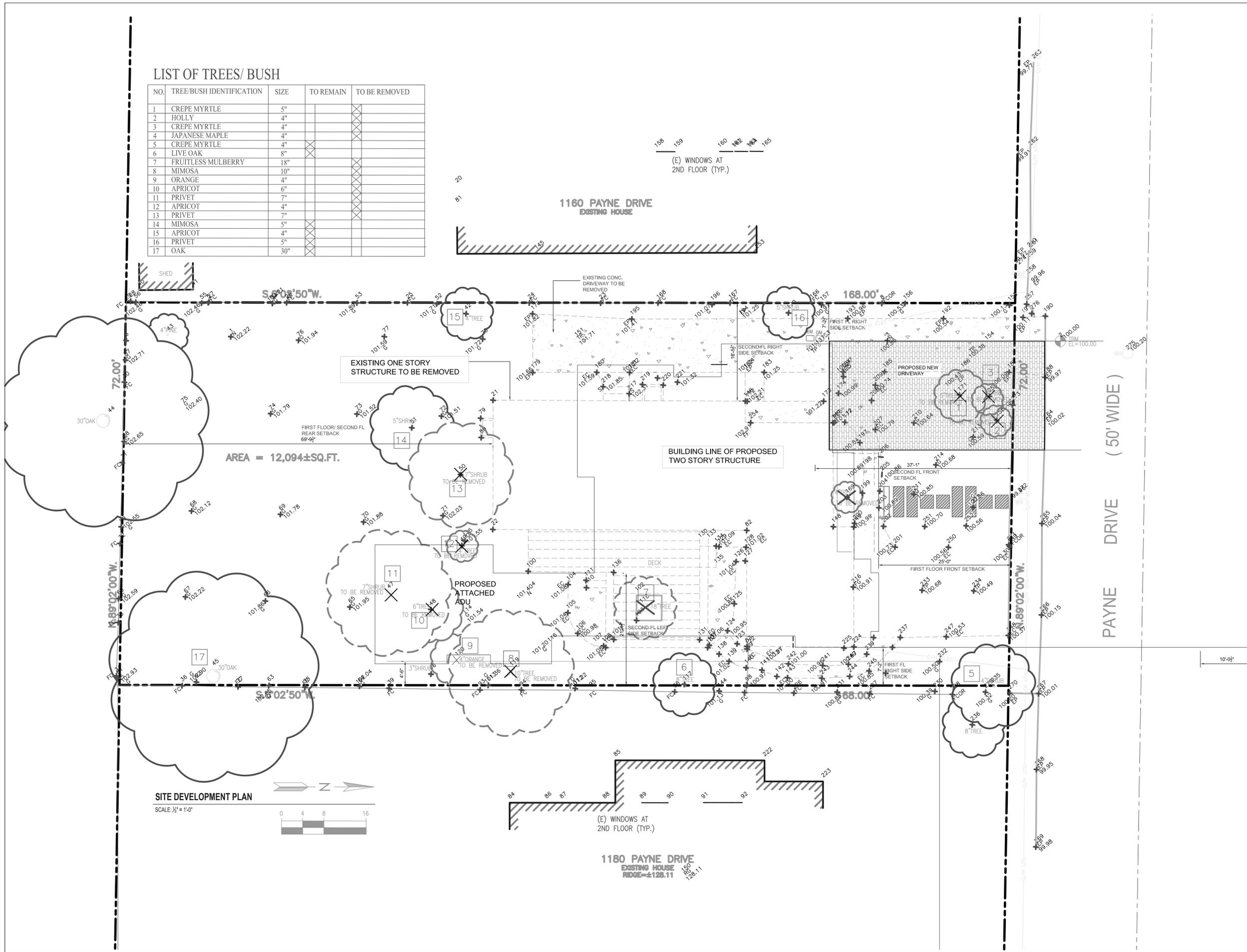
PROPERTY ADDRESS	1170 PAYNE DRIVE LOS ALTOS, CA. 94024
PROPERTY OWNERS	PAYNE LLC 804 FIELDING DRIVE PALO ALTO, CA 94303
ASSESSOR PARCEL NO.	193-38-019
REVISIONS BY:	
REVISIONS NO.: BY:	
DATE	8-30-20
JOB NO.	
SCALE:	AS NOTED
DRAWN BY:	MA
CHECKED BY:	
APPLIES TO ALL PLANS	
NORTH ARROW	
CONTENT:	PROJECT DATA
SHEET NUMBER	A.1

APPROVAL STAMP

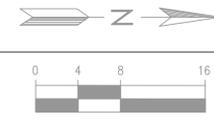
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LIST OF TREES/ BUSH

NO.	TREE/BUSH IDENTIFICATION	SIZE	TO REMAIN	TO BE REMOVED
1	CREPE MYRTLE	5"		☒
2	HOLLY	4"		☒
3	CREPE MYRTLE	4"		☒
4	JAPANESE MAPLE	4"		☒
5	CREPE MYRTLE	4"		☒
6	LIVE OAK	8"	☒	
7	FRUITLESS MULBERRY	18"		☒
8	MIMOSA	10"		☒
9	ORANGE	4"		☒
10	APRICOT	6"		☒
11	PRIVET	7"		☒
12	APRICOT	4"		☒
13	PRIVET	7"		☒
14	MIMOSA	5"	☒	
15	APRICOT	4"		☒
16	PRIVET	5"		☒
17	OAK	30"	☒	



SITE DEVELOPMENT PLAN
SCALE: 1/4" = 1'-0"



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PROPERTY OWNERS	PAYNE LLC 804 FIELDING DRIVE PALO ALTO, CA 94303
ASSESSOR PARCEL NO.	193-38-019
REVISIONS BY:	
REVISIONS NO:	BY:
DATE	8-30-20
JOB NO.	
SCALE:	AS NOTED
DRAWN BY:	MA
CHECKED BY:	
APPLIES TO ALL PLANS	
NORTH ARROW	
CONTENT:	
SITE PLAN/ DEMO PLAN	
SHEET NUMBER	A.2

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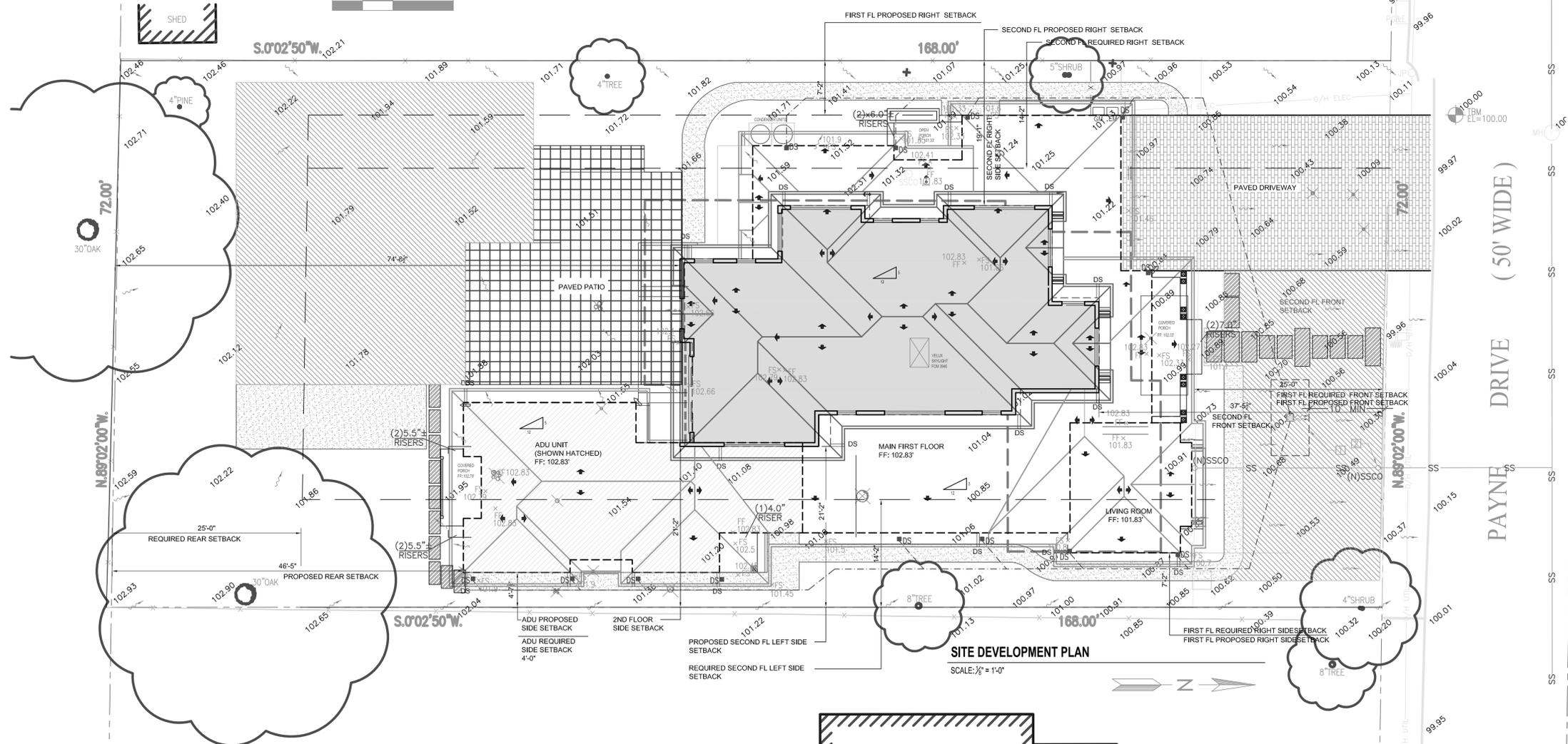
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- 1 INfiltration Device, 5'x10'x 3' DEEP, SEE 4/0.3
 - 2 CONTRACTOR TO FIELD VERIFY EXISTING SEWER LINE LOCATION AND INSTALL SEWER LINE BETWEEN BUILDING AND EXISTING SEWER LATERAL. NEW SSSCO, IF TO BE INSTALLED, SHALL BE WITHIN 5' FROM PROPERTY LINE.
- PROPERLY LINE: _____
SOLID PVC SD LINE: _____
GRADE BREAK: _____



1160 PAYNE DRIVE
EXISTING HOUSE

1180 PAYNE DRIVE
EXISTING HOUSE
RIDGE#128.11



LEGEND:

PERMEABLE BRICK PAVER	NATURAL STONE STEPPING STONE	BLUESTONE TILE
LAWN	DECOMPOSED GRANITE PATH	

PROPERTY ADDRESS

1170 PAYNE DRIVE
LOS ALTOS, CA.
94024

PROPERTY OWNERS

PAYNE LLC
804 FIELDING DRIVE
PALO ALTO, CA
94303

ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:
REVISIONS NO.: BY:

DATE 8-30-20

JOB NO.

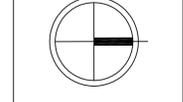
SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

SITE DEVELOPMENT PLAN

SHEET NUMBER

A.3

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APPROVAL STAMP



1141 PAYNE DRIVE
ONE STORY
ARCH STYLE:
EICHLER
MATERIALS:
WALL: STUCCO AND
WOOD SIDING
ROOF: TAR AND
GRAVEL
DRIVEWAY:
PERMEABLE STONE
GARAGE LOCATION:
FRONT



1151 PAYNE DRIVE
TWO STORY
ARCH STYLE:
AMERICAN
CRAFTSMAN
WALL: WOOD SIDING
ROOF: COMPOSITION
SHINGLE
DRIVEWAY:
CONCRETE
GARAGE LOCATION:
FRONT

1161 PAYNE DRIVE
TWO STORY
ARCH STYLE:
MODERN COLONIAL
WALL: STUCCO
ROOF: CONCRETE
TILE
DRIVEWAY:
CONCRETE
GARAGE LOCATION:
FRONT/ SIDE ACCESS



1171 PAYNE DRIVE
ONE STORY
ARCH STYLE:
AMERICAN
CRAFTSMAN
WALL: WOOD SIDING
ROOF: COMPOSITION
SHINGLE
DRIVEWAY:
PERMEABLE STONE
GARAGE LOCATION:
REAR (RECESSED)



1121 PAYNE DRIVE
TWO STORY
ARCH STYLE:
MEDITERRANEAN
WALL : STUCCO
ROOF: CLAY TILE
DRIVEWAY:
CONCRETE
GARAGE LOCATION:
FRONT

1160 PAYNE DRIVE
TWO STORY
ARCH STYLE: MODERN
MATERIALS:
WALL: STUCCO
ROOF: COMPOSITION SHINGLE
DRIVEWAY: CONCRETE
GARAGE LOCATION: FRONT



1150 PAYNE DRIVE
ONE STORY
ARCH STYLE: AMERICAN CRAFTSMAN
MATERIALS:
WALL: WOOD SIDING BOARD AND BATTEN
ROOF: COMPOSITION SHINGLE
DRIVEWAY: CONCRETE
GARAGE LOCATION: FRONT/SIDE ACCESS



1127 LISA LANE
ONE STORY
ARCH STYLE:
BUNGALOW
MATERIALS:
WALL: WOOD SIDING/
BOARD AND BATTEN
ROOF: COMPOSITION
SHINGLE
DRIVEWAY:
CONCRETE
GARAGE LOCATION:
FRONT

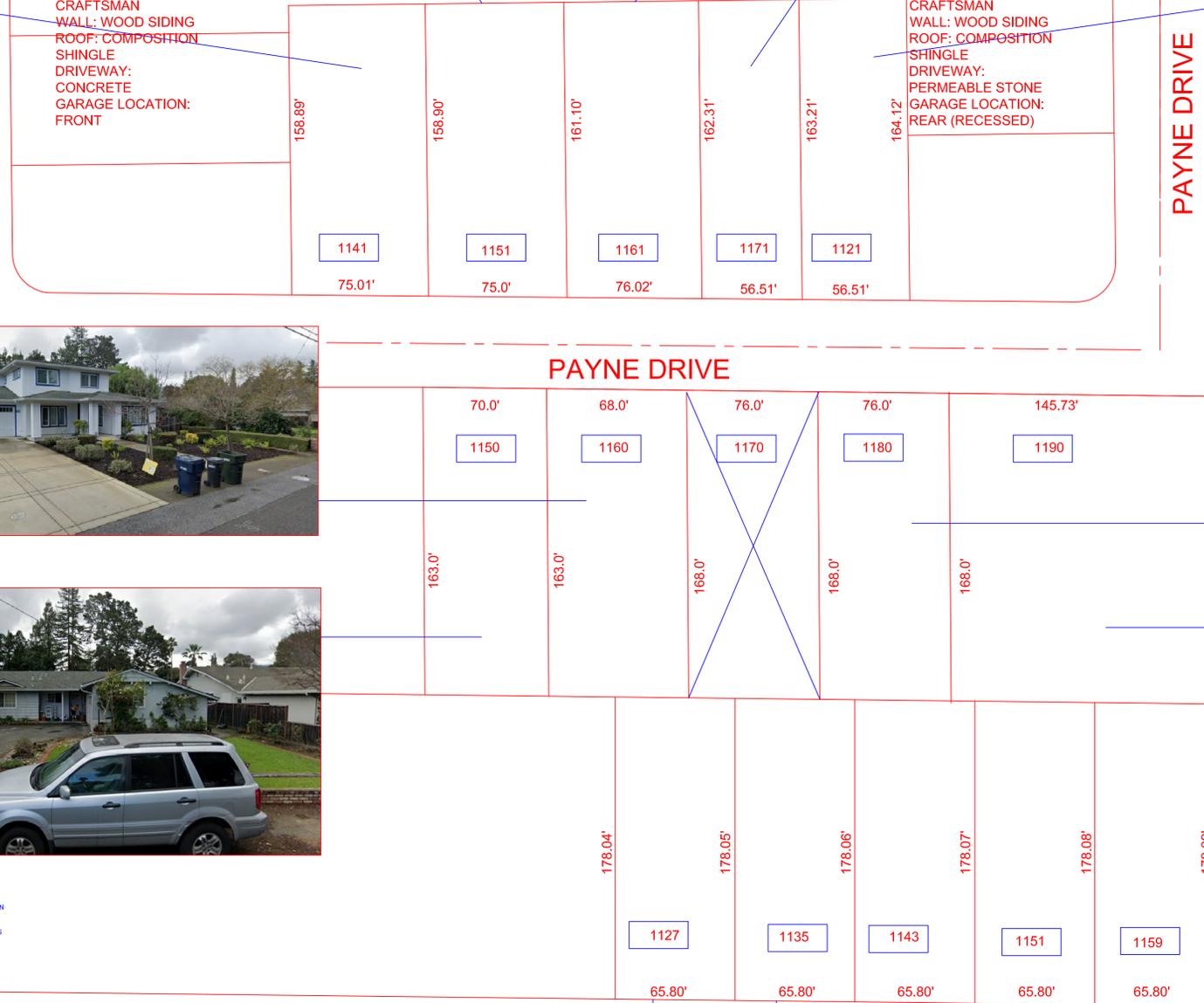


1135 LISA LANE
ONE STORY
ARCH STYLE:
BUNGALOW
MATERIALS:
WALL: STUCCO/
STONE VENEER
ROOF: COMPOSITION
SHINGLE
DRIVEWAY:
PERMEABLE STONE
GARAGE LOCATION:
FRONT

1190 PAYNE DRIVE
TWO STORY
ARCH STYLE:
FARMHOUSE
WALL : SHINGLE/
STONE VENEER
ROOF: COMPOSITION
SHINGLE
DRIVEWAY:
CONCRETE
GARAGE LOCATION:
REAR (RECESSED)



1180 PAYNE DRIVE
TWO STORY
ARCH STYLE:
FARMHOUSE
WALL : BOARD AND
BATTEN
ROOF: METAL
DRIVEWAY:
CONCRETE
GARAGE LOCATION:
FRONT



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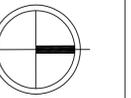
ASSESSOR PARCEL NO.
193-38-019

REVISIONS BY:
REVISIONS NO.: BY:

DATE 8-30-20
JOB NO.
SCALE: AS NOTED
DRAWN BY: MA
CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:
SITE
CONTEXTUAL
PLAN

SHEET NUMBER

A.4

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94024

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PAYNE LLC
804 FIELDING DRIVE
PALO ALTO, CA
94303

ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

REVISIONS NO.: BY:

DATE 8-30-20

JOB NO.

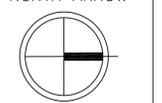
SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



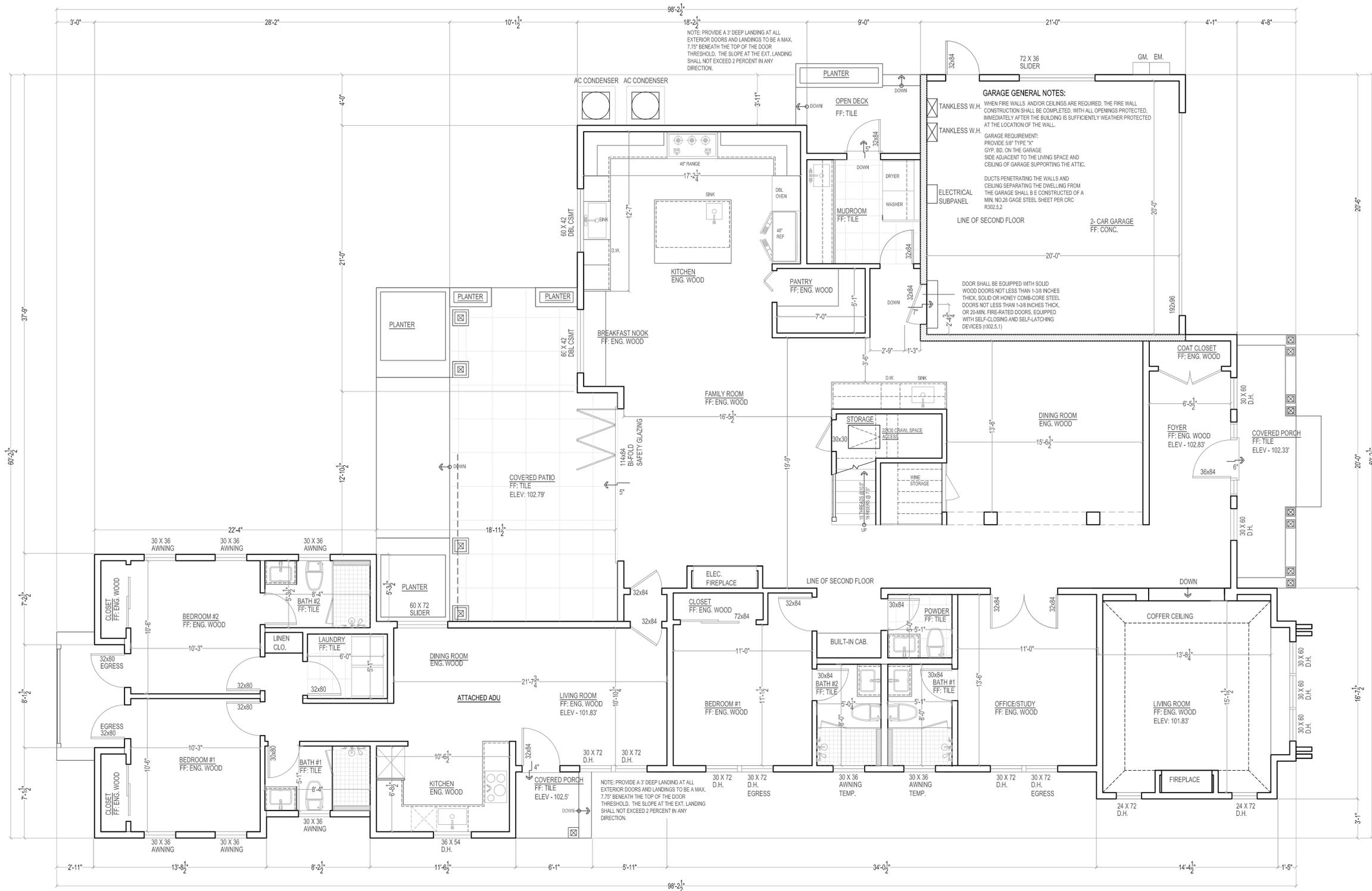
CONTENT:

FIRST FLOOR PLAN

SHEET NUMBER

A.5

APPROVAL STAMP



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

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GENERAL NOTES:
PLUMBING REQUIREMENTS:

Shower Requirements:

- The mixing valve in a shower (including over a tub) shall be pressure balancing set at a maximum 120° F. The water-filler valve in bathtubs/hot tubs shall have a temperature limiting device set at a maximum of 120° F. The water heater thermostat cannot be used to meet these provisions. (CPC 408.3, 409.4)
- New or reconfigured shower stalls shall be a minimum finished interior of 1,024 square inches, be capable of encompassing a 30 inch diameter circle. Any doors shall swing out of the enclosure have a clear opening of 22 inches minimum. (CPC 408.5, 408.6)
- Showers stalls and bathtubs with shower heads installed, shall have walls finished with a non-slip surface for a minimum of 6 feet above the floor. (CBC 1209 and CRC R307.2)

- Hydro-massage tubs (i.e. Jacuzzi tubs) shall have access to the motor, be supplied by a GFCI protected dedicated circuit, and be listed by a recognized testing agency (i.e. UL). All metal cables, fittings, piping, or other metal surfaces, within 5 feet of the inside wall of the hydromassage tub shall be properly bonded. Hydro-massage tubs shall be bonded with a minimum #8 AWG bare copper wire and the bonding shall be accessible. (CEC 680.70)

- Underlayment material used as backers for wall tile or solid surface material in tub and shower enclosures shall be either glass mat/fiber-reinforced gypsum backing panels (i.e. DensShield, Dens Armor Plus), non-astbestos fiber cement/back board (i.e. Hardibacker, cement board). All material shall be installed in accordance with the manufacturer's recommendations. Water-resistant gypsum board (i.e. purple board) may be used when attached directly to studs, overlaid with minimum Grade B building paper and wire lath. The shall be attached to the wire lath. (CBC 2509 and CRC R102.4)

- Showers floors shall be finished with an approved shower pan or an on-site built waterproofing approved lining (i.e. hot mop). On-site built shower flings shall extend a minimum of 3 inches vertically up the wall and shall be sloped 1/4" per foot to weep holes. (CPC 408.7)

- When a curb is provided at a shower, it shall be a minimum of 1 inch above the shower floor and between 2 inches and 5 inches above the top of the drain. A waterproofing flange that extends a minimum of 1 inch high shall be installed where the shower floor meets the vertical surface of the shower compartment. The finished floor of the shower compartment shall be uniformly sloped between 1/8" and 1/2" per foot towards the drain. (CPC 408.5)

Where a curb is not provided at the shower compartment, the entire bathroom shall be considered a wet location. The flooring in the entire bathroom shall comply with the water proofing Rev. 11-2019 requirements described above for shower floors (previous bullet) and all lighting fixtures shall be approved for wet locations.

- If installing a tub next to an existing fire rated wall/walls (i.e. between apartment units or townhomes, etc.), the integrity of the fire rated wall/walls construction shall be maintained (i.e., fire-blocking shall be installed in the wall/walls per R302.11 and R302.11.1 of the CRC and shall be constructed per CRC 302 Fire-Resistant Construction. Continuity of such fire-resistance-rated wall/walls shall be per R302.2.3 of the CRC. (i.e., continuity of protection shall be full height from floor to ceiling, etc.)

Lavatory sinks require a minimum of 24 inches floor clearance (CPC 402.5).

Showers require a minimum 2 inch drain and trap (CPC Table 702.1)

All piping 1/2" inch or more in diameter and all hot water pipes associated with the recirculation system are to be insulated with min. 1-inch thick insulation. Existing inaccessible piping does not require insulation (CNC 150.01)(2)

Newly installed plumbing fixtures shall be water-conserving in compliance with the California Plumbing Code and Green Building Standards. All existing plumbing fixtures not included in the scope of new work shall be replaced if necessary to comply with SBA07 Plumbing Fixtures Replacement requirements.

Water Efficient Plumbing Fixtures (CalGreen 301.1.1, 4.303)

All plumbing fixtures (based on water efficiency) throughout the house shall meet the following table:

Plumbing Fixture	Fixture Required Water-Conserving Plumbing Fixtures (maximum flow/rates)
Water Closet (Toilet)	1.28 gallons/flush
Showerhead	1.8 gallons/minute at 80 psi
Faucet - Bathroom	1.2 gallons/minute at 80 psi
Faucet - Kitchen	1.8 gallons/minute at 80 psi (average)

Smoke and Carbon Monoxide Alarms (CBC 907.2.10, CRC 314 and 315)

Smoke alarms shall be installed on the ceiling or wall (between 4" and 12" of the ceiling) in all sleeping rooms, each area/hallway adjacent to sleeping rooms, each story of the building, and in any basement. Smoke alarms shall be replaced 10 years after the date of manufacture listed on the alarm (if no date is listed the alarm shall be replaced). Newly installed smoke alarms shall have a 10-year battery. Carbon monoxide (CO) alarms shall be installed on the ceiling or wall (above the door header) in each area/hallway adjacent to sleeping rooms, each occupiable story, and within a bedroom if the bedroom or attached bathroom contains a fuel-burning appliance. CO alarms are not required if there is no fuelburning appliance or fireplace in the house and where the garage is detached from the house.

Tempered Glazing (CBC 2406.4, 2403.1 and CRC 308.1, R308.4)

Tempered glazing shall be installed in the locations listed below. Tempered glazing shall be permanently identified by a manufacturer marking that is permanently applied and cannot be removed without being destroyed (e.g., sand blasted, acid etched, ceramic fired, laser etched, or embossed).

- Within a portion of wall enclosing a tub/shower where the bottom exposed edge of the glazing is less than 60 inches above the standing surface and drain inlet.
- Within 60 inches of a tub/shower where the glazing is less than 60 inches above the walking surface.
- Glazing within 24 inches of either side of the door in the plane of the door in a closed position.
- Glazing on the hinge-side of an in-swinging door that is installed perpendicular to a door in a closed position and within 24 inches of the door.

MECHANICAL REQUIREMENTS:

Mechanical ventilation is required in all bathrooms with tubs or showers. The fan must move a minimum 50 CFM of air and be separately switched from the lighting. Fans that operate continuously can be 20 CFM. The duct must terminate on the exterior not less than 3 feet from the openings into the building (CNC 502.2.1)

Baths with no tub or shower (half baths) do not require mechanical ventilation if they are provided with a window at least 3 sq.ft. half of which is operable (CRC R303.3)

Water Closet Requirements

- The water closet shall have a clearance of 30 inches wide (15 inches on center) and 24 inches in front. (CPC 402.5)
- Where the water closet (or other plumbing fixture) comes into contact with the wall or floor, the joint shall be caulked and sealed to be watertight. (CPC 402.2)

LAUNDRY REQUIREMENTS:

PLUMBING REQUIREMENTS:

Clothes washer standpipes must be 2-inch diameter. The weel of the trap must be roughed in 6-18 inches above the floor; the standpipe must be a minimum of 18 and a maximum of 30 inches above the trap (CPC 804.1)

MECHANICAL REQUIREMENTS:

CLOTHES DRYERS IN CLOSETS REQUIRE A MINIMUM OF 100 SQ. IN. OF MAKEUP AIR, WHICH CAN BE SUPPLIED BY LOUVERS OR UNDERCUTTING THE DOOR (CNC 504.4.1)

Dryer ducts must be smooth-walled metal 4 inch diameter and not more than 14 feet in length, with an allowance of 2 90 degree bend in excess of 2 (CNC 504.4.2.1)

Ducts may not pass through plenums or be shared with other systems or vents. They cannot be connected with screws that penetrate the duct interior (CNC 504.4)

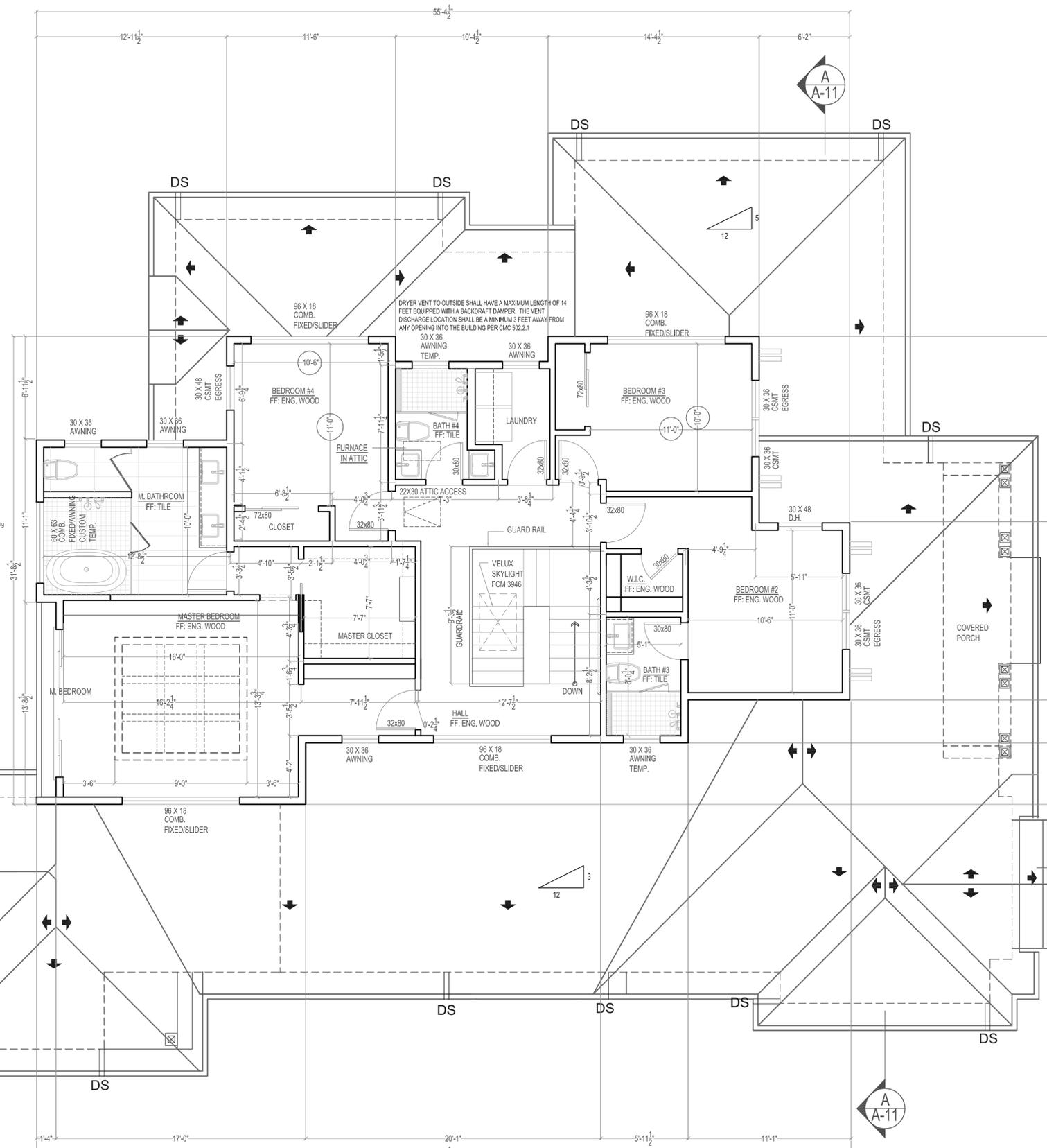
Dryer ducts must terminate on the building exterior in a backdraft damper. Screens or louvers cannot be installed (CNC 504.4)

Flexible transition ducts (connectors) between the dryer and the metal duct are allowed in lengths up to 6 feet and cannot be concealed within construction (CNC 504.4.2.2 exception). They must be UL listed and labeled (LAL) as dryer transition ducts, and cannot be plastic.

FIRE PROTECTION NOTES:

Smoke and Carbon Monoxide Alarms (CBC 907.2.10, CRC 314 and 315)

Smoke alarms shall be installed on the ceiling or wall (between 4" and 12" of the ceiling) in all sleeping rooms, each area/hallway adjacent to sleeping rooms, each story of the building, and in any basement. Smoke alarms shall be replaced 10 years after the date of manufacture listed on the alarm (if no date is listed the alarm shall be replaced). Newly installed smoke alarms shall have a 10-year battery. Carbon monoxide (CO) alarms shall be installed on the ceiling or wall (above the door header) in each area/hallway adjacent to sleeping rooms, each occupiable story, and within a bedroom if the bedroom or attached bathroom contains a fuel-burning appliance. CO alarms are not required if there is no fuelburning appliance or fireplace in the house and where the garage is detached from the house.



FIRST FLOOR ROOF PLAN / SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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ARCHITECTURE · INTERIOR DESIGN

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804 FIELDING DRIVE
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94303

ASSESSOR PARCEL NO.
193-38-019

REVISIONS BY:
REVISIONS NO.: BY:

DATE 8-30-20
JOB NO.
SCALE: AS NOTED
DRAWN BY: MA
CHECKED BY:

APPLIES TO ALL PLANS

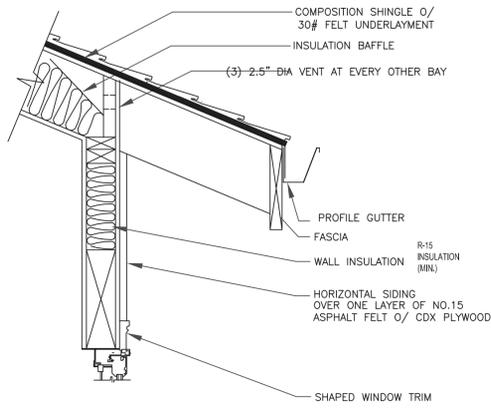
NORTH ARROW

CONTENT:
FIRST FL ROOF PLAN AND SECOND FLOOR PLAN

SHEET NUMBER
A.6

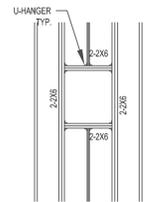
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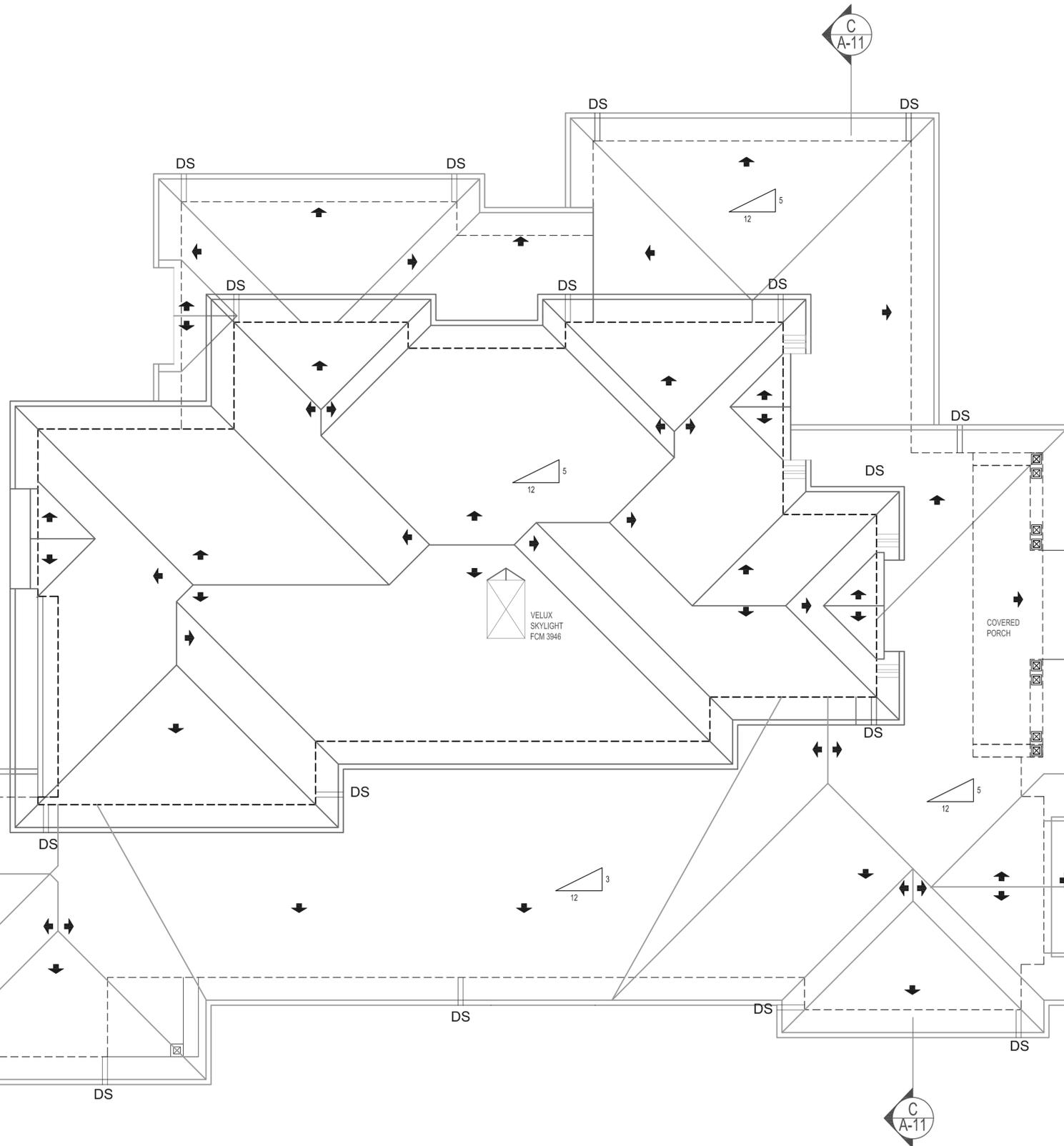
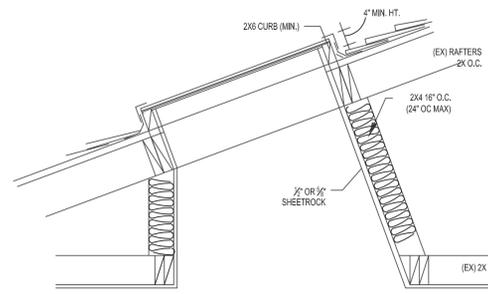


1 TYP. ROOF EAVE DETAIL N.T.S.

PLAN VIEW



2 SKYLIGHT DETAIL N.T.S.



FIRST FLOOR ROOF PLAN / SECOND FLOOR PLAN

SCALE: 1/2" = 1'-0"

MDA DESIGN

ARCHITECTURE · INTERIOR DESIGN

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E. PALO ALTO, CA 94303

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mda-projects.com

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mdadesign1992@gmail.com

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94024

PROPERTY OWNERS

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94303

ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

REVISIONS NO.: BY:

DATE 8-30-20

JOB NO.

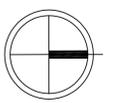
SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

SECOND FL ROOF PLAN

SHEET NUMBER

A.7

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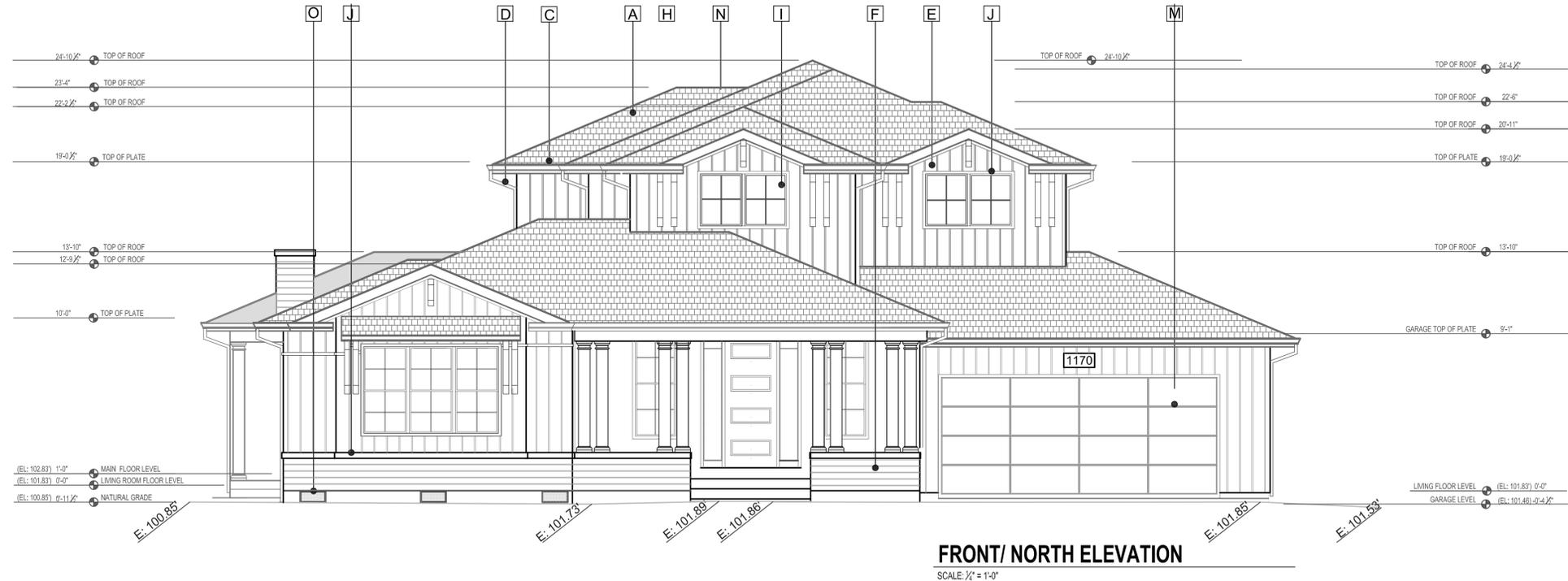


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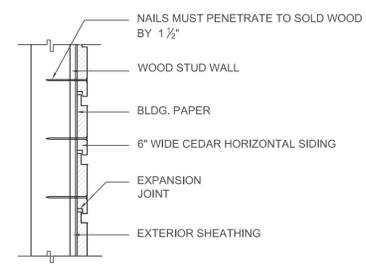
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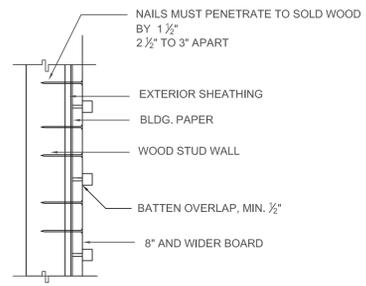


FRONT/ NORTH ELEVATION
SCALE: 1/2" = 1'-0"

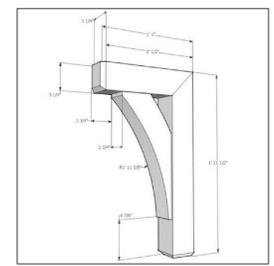
ELEVATION NOTES				LEGEND FOR GRADING:	
<p>A ROOF MATERIAL: CLASS "A" ROOF COMPOSITION SHINGLE PER CODE AND MANUFACTURER REQUIREMENTS AND INSTALLATION INSTRUCTIONS. TYPICAL 5:12 PITCH UNLESS OTHERWISE NOTED. ROOF OVERHANG: 1'-6" TYPICAL, U.N.O.</p> <p>B ROOF VENTILATION: PROVIDE ROOF/ATTIC VENT 1:150 SQ.FT. OR ROOF AREA AT EAVE AREA (OR 1:300 SQ.FT. AT TOP AND BOTTOM OF ROOF AREA). SEE ROOF PLAN ON SHEET A-6 FOR ROOF VENT CALCULATION</p> <p>C GUTTER: 4" 26 GA G.I. PROFILE CUTTER OVER 2X4 SPRUCE FASCIA BOARD.</p>	<p>D DOWNSPOUT: 2X4 RECTANGLE SHAPE, PAINTED ALUMINUM</p> <p>E EXTERIOR WALL-1: PAINTED BOARD AND BATTEN</p> <p>F EXTERIOR WALL-2: PAINTED HORIZONTAL WOOD SIDING</p> <p>G EXTERIOR WALL-3: STONE VENEER, COLOR AND FINISH T.B.D.</p> <p>H BRACKETS: PAINTED WOOD</p>	<p>I WINDOWS: DOUBLE PANE, VINYL CLAD BY MILGUARD OR SIM. FRAME COLOR: TBD EGRESS WINDOW SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR. CBC SECTION 1026</p> <p>NOTE: OBSCURED GLAZING SHALL BE PERMANENT IN NATURE AND SHALL REMAIN FOR THE LIFE OF THE STRUCTURE. OBSCURE GLAZING IS EITHER DECORATIVE GLAZING THAT DOES NOT ALLOW VIEWS THOUGH PLACED INTO THE WINDOW FRAME OR ACID ETCHED OR SIMILAR PERMANENT ALTERATION OF THE GLASS. FILMS OR LIKE ADDITIONS TO CLEAR GLASS ARE NOT PERMITTED WHERE OBSCURE GLAZING IS SHOWN. OBSCURE GLAZING SHALL NOT BE ALTERED IN THE FUTURE AND SHALL BE REPLACED WITH LIKE MATERIALS IF DAMAGED. WINDOWS WITH OBSCURE GLAZING WILL BE IDENTIFIED AS "OG (OBSCURE GLAZING)"</p>	<p>J WINDOW AND DOOR TRIM: 2.5" PAINTED WOOD. COLOR T.B.D.</p> <p>K ENTRY DOOR: PAINTED FIBER GLASS DOORS. GLAZING TO BE TEMPERED</p> <p>L EXTERIOR PATIO DOOR: VINYL CLAD WITH SAFETY GLAZING</p> <p>M GARAGE DOOR: PAINTED FIBERGLASS ROLL UP DOOR WITH GLAZING</p> <p>N SKYLIGHT: FIXED CURBED SKYLIGHT BY VELLUX OR EQUAL</p>	<p>O CRAWL SPACE VENT: 8 X 16 VENT WITH SCREEN</p> <p>P RAILING: PAINTED WROUGH IRON</p> <p>Q PATIO DOOR: VINYL CLAD WITH SAFETY GLAZING</p>	<p>LEGEND FOR GRADING:</p> <p>(E) GRADE</p> <p>(N) GRADE</p>



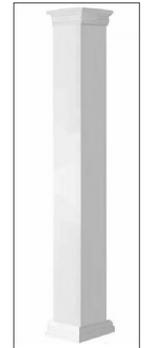
3 HORIZONTAL WOOD SIDING N.T.S.



4 BOARD AND BATTEN N.T.S.



5 DECORATIVE WOOD BRACKETS N.T.S.

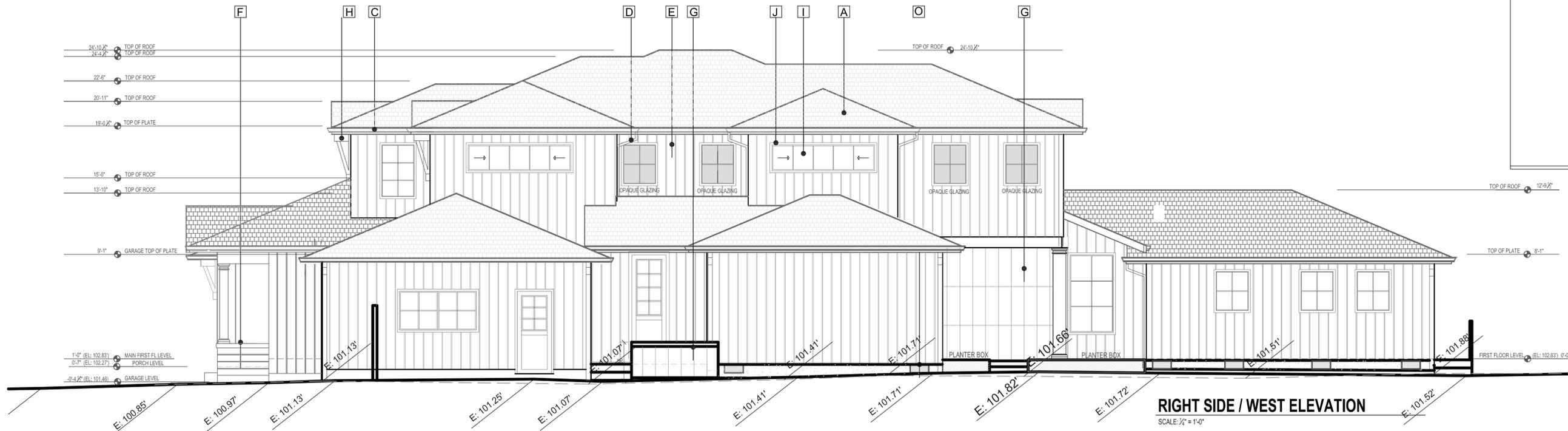


6 SQUARE FIBERGLASS COLUMN N.T.S.

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PROPERTY OWNERS	
PAYNE LLC 804 FIELDING DRIVE PALO ALTO, CA 94303	
ASSESSOR PARCEL NO.	
193-38-019	
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REVISIONS NO:	BY:
DATE	8-30-20
JOB NO.	
SCALE:	AS NOTED
DRAWN BY:	MA
CHECKED BY:	
APPLIES TO ALL PLANS	
NORTH ARROW	
CONTENT:	
FRONT-NORTH ELEVATION	
DETAILS	
SHEET NUMBER	
A.8	

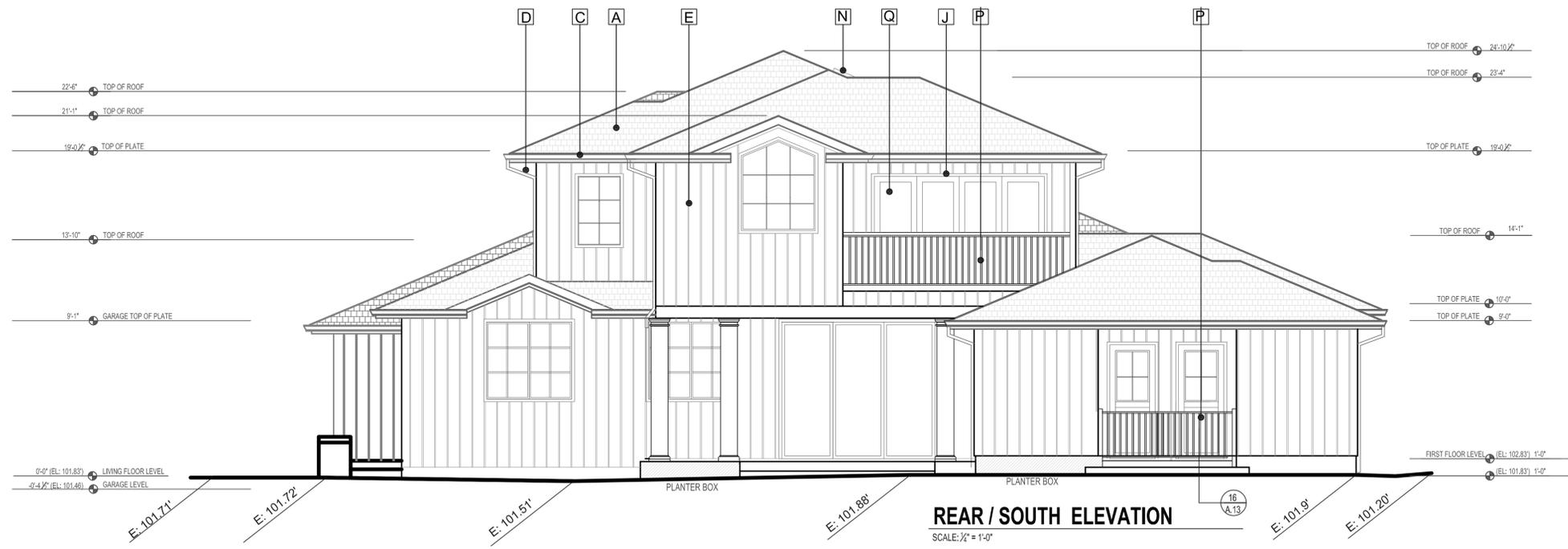
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RIGHT SIDE / WEST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES				LEGEND FOR GRADING:	
A ROOF MATERIAL: CLASS "A" ROOF COMPOSITION SHINGLE PER CODE AND MANUFACTURER REQUIREMENTS AND INSTALLATION INSTRUCTIONS. TYPICAL 5:12 PITCH UNLESS OTHERWISE NOTED. ROOF OVERHANG: 1'-6" TYPICAL, U.N.O.	D DOWNSPOUT: 2X4 RECTANGLE SHAPE, PAINTED ALUMINUM	I WINDOWS: DOUBLE PANE, VINYL CLAD BY MILGUARD OR SIM. FRAME COLOR: TBD EGRESS WINDOW SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR. CBC SECTION 1026 NOTE: OBSCURED GLAZING SHALL BE PERMANENT IN NATURE AND SHALL REMAIN FOR THE LIFE OF THE STRUCTURE. OBSCURE GLAZING IS EITHER DECORATIVE GLAZING THAT DOES NOT ALLOW VIEWS THOUGH PLACED INTO THE WINDOW FRAME OR ACID ETCHED OR SIMILAR PERMANENT ALTERATION OF THE GLASS. FILMS OR LIKE ADDITIONS TO CLEAR GLASS ARE NOT PERMITTED WHERE OBSCURE GLAZING IS SHOWN. OBSCURE GLAZING SHALL NOT BE ALTERED IN THE FUTURE AND SHALL BE REPLACED WITH LIKE MATERIALS IF DAMAGED. WINDOWS WITH OBSCURE GLAZING WILL BE IDENTIFIED AS "OG (OBSCURE GLAZING)"	J WINDOW AND DOOR TRIM: 2.5" PAINTED WOOD, COLOR T.B.D.	O CRAWL SPACE VENT: 8 X 16 VENT WITH SCREEN	
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REAR / SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

REVISIONS NO: BY:

DATE 8-30-20

JOB NO.

SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW

CONTENT:

RIGHT SIDE/
WEST ELEVATION

REAR/ SOUTH
ELEVATION

SHEET NUMBER

A.9

APPROVAL STAMP

ELEVATION NOTES

A ROOF MATERIAL:
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SEE ROOF PLAN ON SHEET A-6 FOR ROOF VENT CALCULATION

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PAINTED BOARD AND BATTEN

F EXTERIOR WALL-2:
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G EXTERIOR WALL-3:
STONE VENEER, COLOR AND FINISH T.B.D.

H BRACKETS:
PAINTED WOOD

I WINDOWS:
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FRAME COLOR: TBD
EGRESS WINDOW SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR. CBC SECTION 1026

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K ENTRY DOOR:
PAINTED FIBER GLASS DOORS, GLAZING TO BE TEMPERED

L EXTERIOR PATIO DOOR:
VINYL CLAD WITH SAFETY GLAZING

M GARAGE DOOR:
PAINTED FIBERGLASS ROLL UP DOOR WITH GLAZING

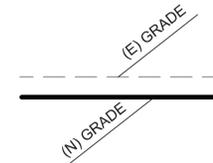
N SKYLIGHT:
FIXED CURBED SKYLIGHT BY VELLUX OR EQUAL

O CRAWL SPACE VENT:
8 X 16 VENT WITH SCREEN

P RAILING:
PAINTED WROUGH IRON

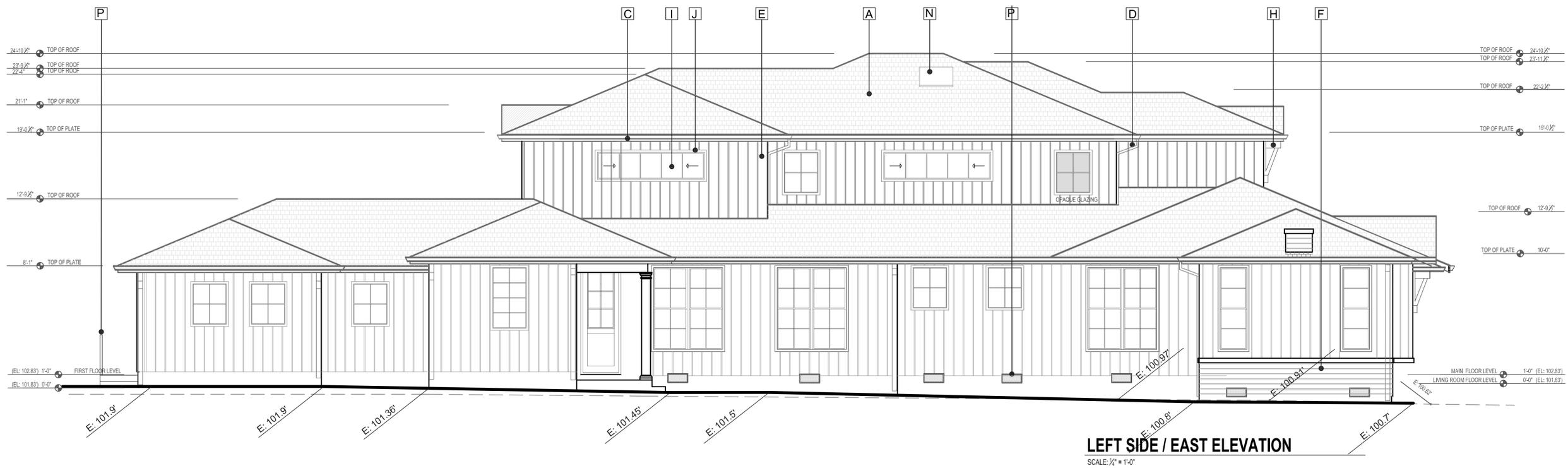
Q PATIO DOOR:
VINYL CLAD WITH SAFETY GLAZING

LEGEND FOR GRADING:



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LEFT SIDE / EAST ELEVATION
SCALE: 1/2" = 1'-0"

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REVISIONS NO: BY:

DATE 8-30-20

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SCALE: AS NOTED

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CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

LEFT SIDE/ EAST
ELEVATION

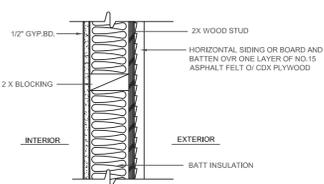
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SHEET NUMBER

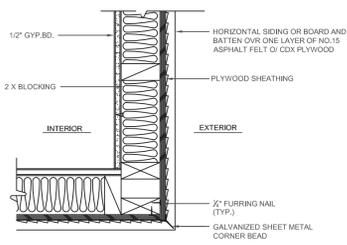
A.10

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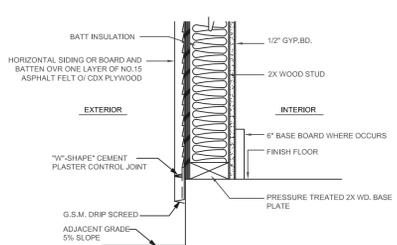
APPROVAL STAMP



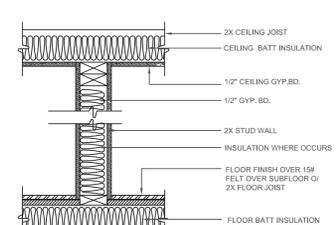
7 EXTERIOR WALL DETAIL N.T.S.



8 EXTERIOR WALL DETAIL N.T.S.



9 EXTERIOR WALL DETAIL N.T.S.



10 INTERIOR WALL DETAIL N.T.S.

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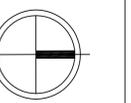
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APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

BLDG SECTION
A-A

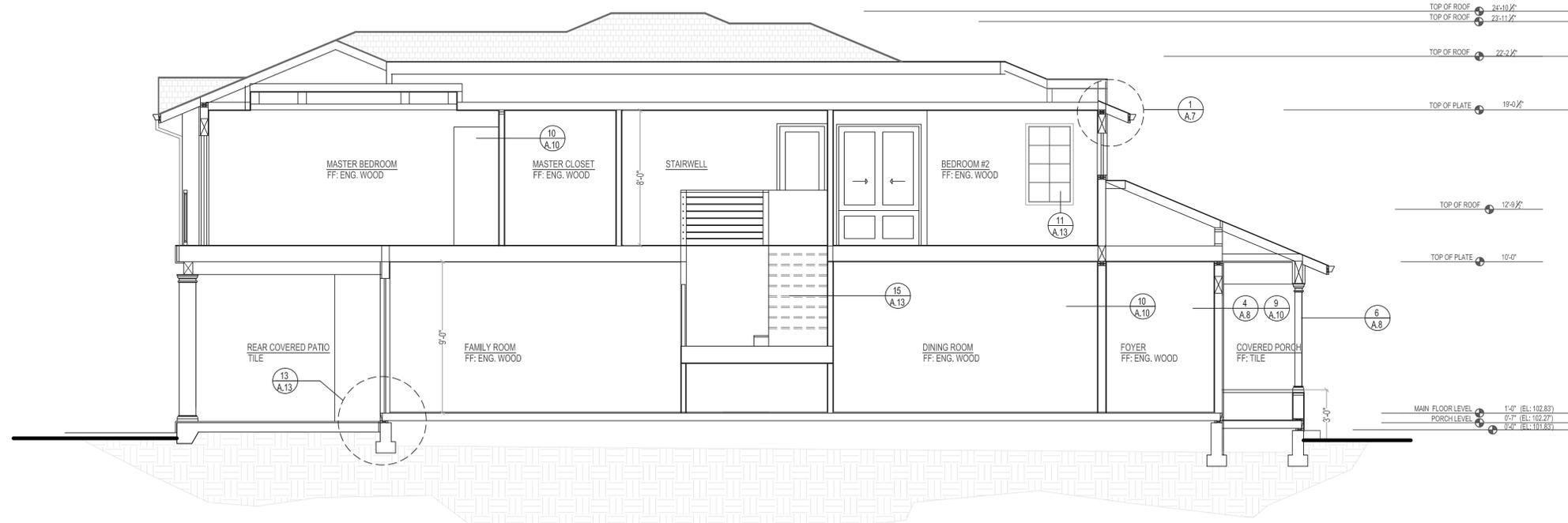
BLDG SECTION
B-B

DETAILS

SHEET NUMBER

A.11

APPROVAL STAMP



BUILDING SECTION A-A

SCALE: 1/2" = 1'-0"



BUILDING SECTION B-B

SCALE: 1/2" = 1'-0"

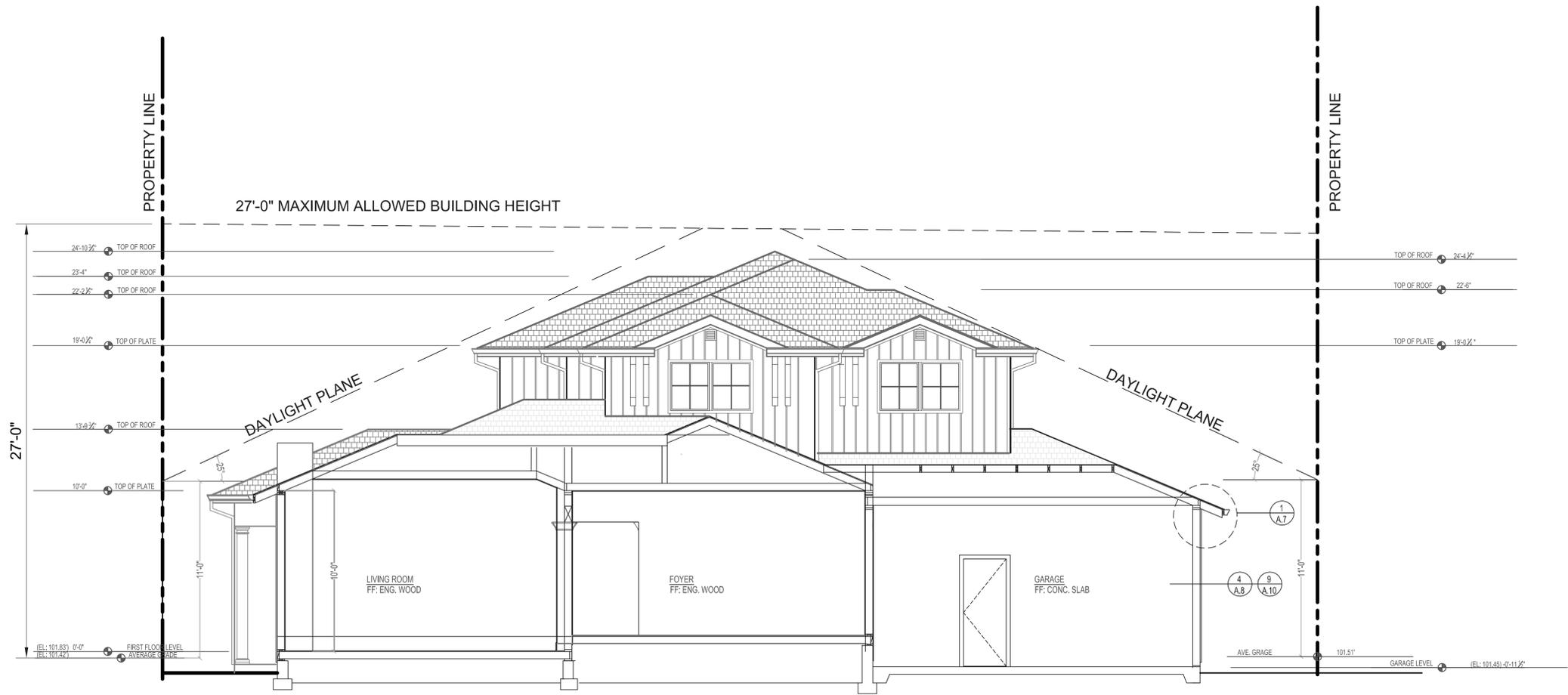
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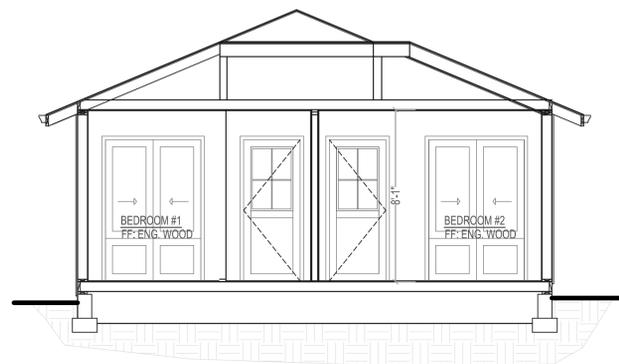
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BUILDING SECTION C-C

SCALE: 1/2" = 1'-0"



BUILDING SECTION D-D

SCALE: 1/2" = 1'-0"

ATTIC FURNACE
2016 CALIFORNIA MECHANICAL CODE
SECTIONS 904.10 THROUGH 904.10

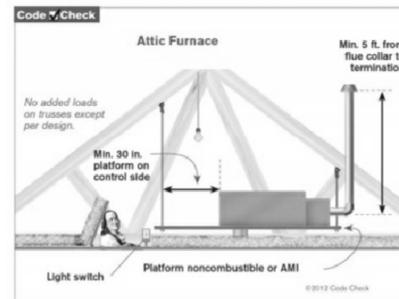
The following are general requirements for an attic furnace based on the 2016 CA Mechanical Code. This handout is intended to provide only general information, for further information contact the Building & Safety Division.

CMC Section 304.4 Appliances in Attics and Under-Floor Spaces.

An attic or under-floor space in which an appliance is installed shall be accessible through an opening and passageway not less than the largest component of the applicant, and not less than 22 inches by 30 inches (559 mm by 762 mm).

304.4.1 Length of Passageway.

Where the height of the passageway is less than 6 feet (1829 mm), the distance from the passageway access to the appliance shall not exceed 20 feet (6096 mm) measured along the center line of the passageway. [NFPA 54:9.5.1.1]



304.2 Width of Passageway.

The passageway shall be unobstructed and shall have solid flooring not less than 24 inches (610 mm) wide from the entrance opening to the appliance. [NFPA 54:9.5.1.2]

304.4.3 Work Platform.

A level working platform or grade surface not less than 30 inches (762 mm) by 30 inches (762 mm) shall be provided in front of the service side of the appliance. [NFPA 54:9.5.2]

Exception: A working platform need not be provided where the furnace is capable of being serviced from the required access opening. The furnace service side shall not exceed 12 inches (305 mm) from the access opening.

304.4.4 Lighting and Convenience Outlet.

A permanent 120-volt receptacle outlet and lighting fixture shall be installed near the appliance. The switch controlling the lighting fixture shall be located at the entrance to the passageway. [NFPA 54:9.5.3]

904.10 Furnace (Upright and Horizontal).

Upright furnaces shall be permitted to be installed in an attic, furred, or under-floor space exceeding 5 feet (1524 mm) in height, provided the required listings and furnace and duct clearances are observed. Horizontal furnaces shall be permitted to be installed in an attic, furred, or under-floor space, provided the required listings and furnace and duct clearances are observed.

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REVISIONS BY:

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JOB NO.

SCALE: AS NOTED

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APPLIES TO ALL PLANS

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CONTENT:

BLDG SECTION
C-C

BLDG SECTION
D-D

DETAILS

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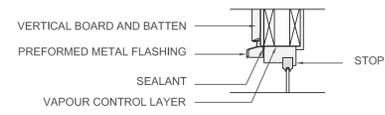
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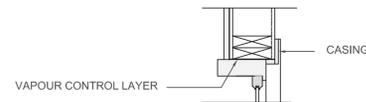
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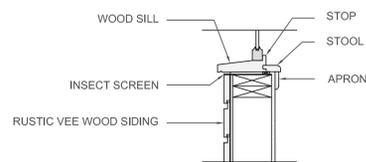
HEAD DETAIL SECTION



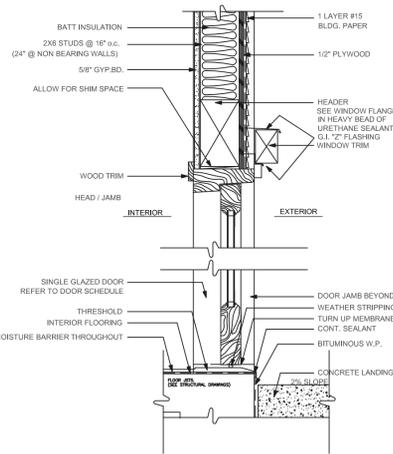
JAMB DETAIL PLAN



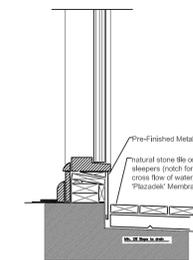
SILL DETAIL SECTION



11 WINDOW SECTION DETAIL N.T.S.



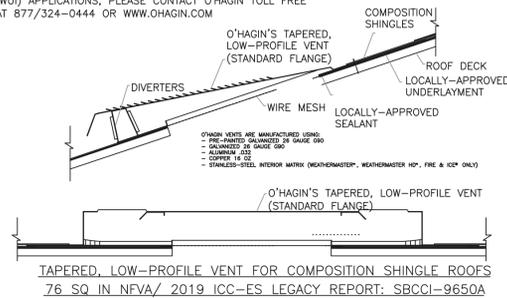
12 EXTERIOR DOOR DETAIL N.T.S.



13 FLASHING DETAIL @ THRESHOLD N.T.S.

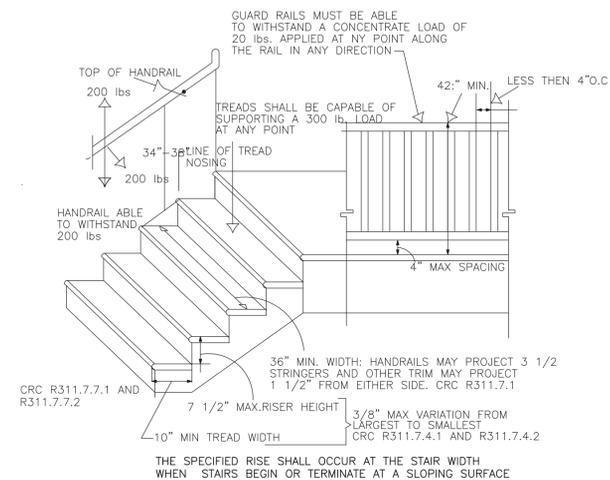
O'HAGIN VENT SECTIONS

FOR COORDINATING ROOF TILE MANUFACTURERS, INSTALLATION INSTRUCTIONS, TECHNICAL BULLETINS & SPECIFIC INFORMATION REGARDING RAIN, SNOW, HIGH-VELOCITY WIND OR WILDLAND URBAN INTERFACE (WUI) APPLICATIONS, PLEASE CONTACT O'HAGIN TOLL FREE AT 877/324-0444 OR WWW.OHAGIN.COM

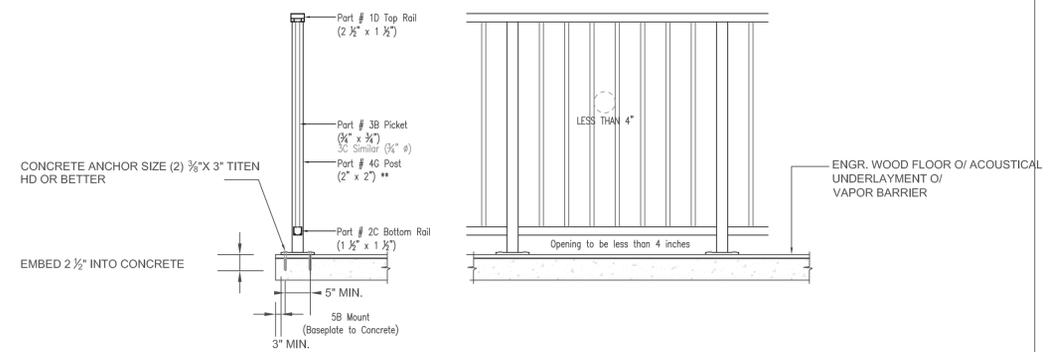


14 LOW PROFILE ROOF VENT N.T.S.

THE TOP OF THE HANDRAIL SHALL BE PLACED NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE THE NOSING OF THE TREAD AND LANDINGS. HANDRAIL SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT AND SHALL BE RETURNED OR HAVE ROUNDED TERMINATION OR BEND.



15 INTERIOR STAIR DETAIL N.T.S.



16 GUARDRAIL DETAIL N.T.S.

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ADDRESS
908 BAINES STREET
E. PALO ALTO, CA 94303

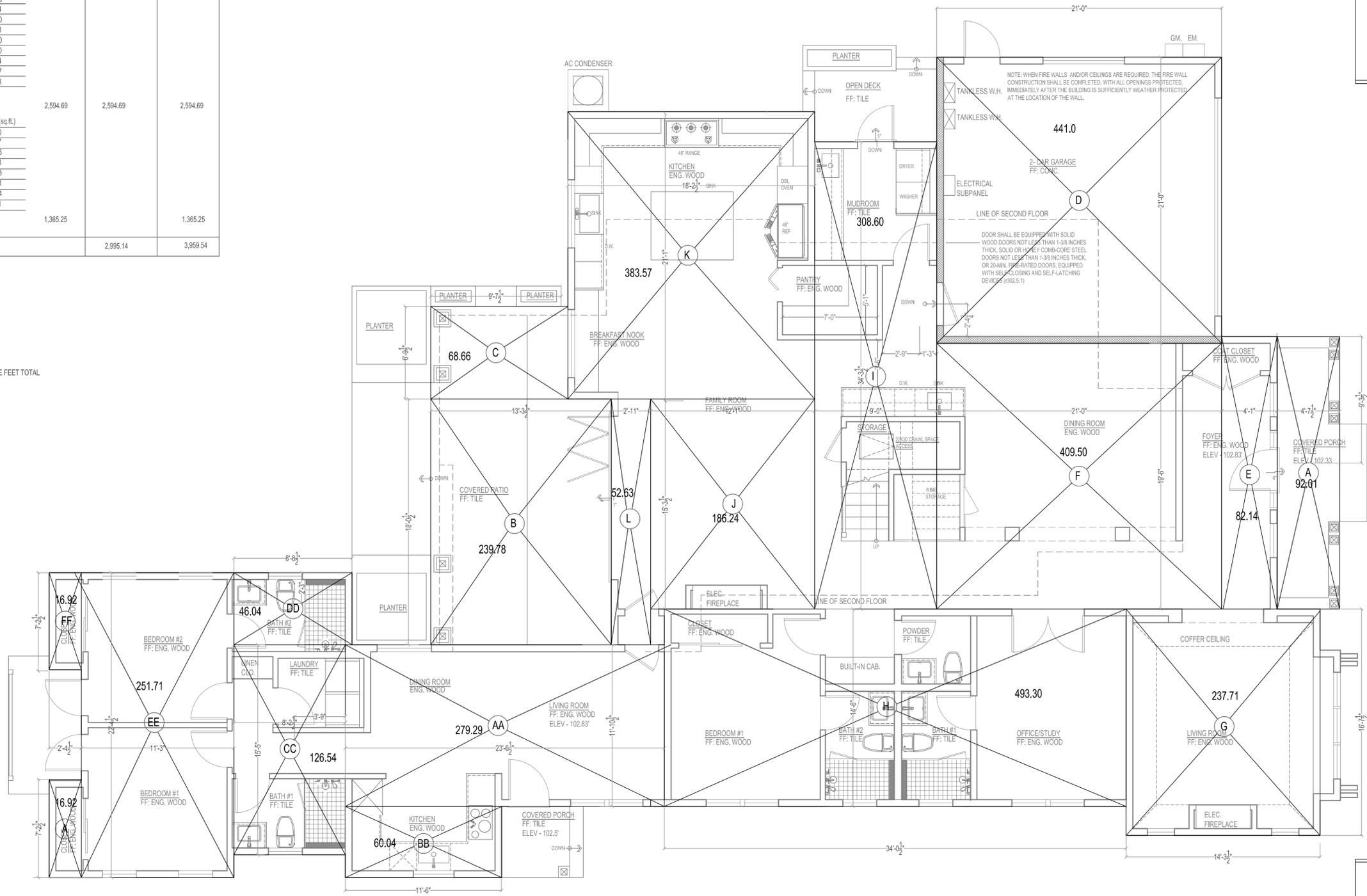
WEBSITE
mda-projects.com

EMAIL
mdadesign1992@gmail.com

MOBILE
650-353-0273

FIRST FLOOR COVERED PORCH:				TOTAL AREA	LOT COVERAGE	FLOOR AREA
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)	TOTAL AREA			
A	4'-7 1/2" x 20'-0"	92.01				
B	13'-3 1/2" x 18'-0 1/2"	239.78				
C	9'-7 1/2" x 6'-9 1/2"	68.66				
FIRST FLOOR				400.45	400.45	
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)	TOTAL AREA	LOT COVERAGE	FLOOR AREA	
D (GARAGE)	21'-0" x 21'-0"	441.00				
E	4'-1" x 20'-0"	82.14				
F	21'-0" x 19'-6"	409.50				
G	16'-7 1/2" x 14'-3 1/2"	237.71				
H	14'-6" x 34'-0 1/2"	493.30				
I	9'-0" x 34'-3 1/2"	308.60				
J	12'-1" x 15'-3 1/2"	186.24				
K	18'-2 1/2" x 21'-1"	383.57				
L	2'-11" x 16'-0 1/2"	52.63				
SECOND FLOOR				2,594.69	2,594.69	2,594.69
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)	TOTAL AREA	LOT COVERAGE	FLOOR AREA	
M	11'-0" x 12'-0"	132.00				
N	14'-4 1/2" x 12'-6"	181.77				
O	9'-6 1/2" x 5'-4 1/2"	51.33				
P	10'-4 1/2" x 16'-4"	169.43				
Q	9'-6 1/2" x 23'-10"	227.03				
R	18'-0 1/2" x 11'-6"	207.41				
S	17'-0" x 13'-8 1/2"	267.64				
T	12'-11 1/2" x 11'-0"	142.41				
TOTAL AREA				1,365.25	2,995.14	3,959.54

ACCESSORY DWELLING UNIT		
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)
AA	11'-10 1/2" x 22'-6 1/2"	267.44
BB	5'-2 1/2" x 11'-6"	60.04
CC	8'-2 1/2" x 15'-6"	128.54
DD	5'-3 1/2" x 8'-8 1/2"	46.04
EE	11'-9" x 22'-4 1/2"	262.90
FF	2'-4 1/2" x 7'-2 1/2"	16.92
GG	2'-4 1/2" x 7'-2 1/2"	16.92
796.08 SQUARE FEET TOTAL		



FIRST FLOOR AREA CALCULATIONS
SCALE: 1/4" = 1'-0"

PROPERTY ADDRESS	1170 PAYNE DRIVE LOS ALTOS, CA. 94024
PROPERTY OWNERS	PAYNE LLC 804 FIELDING DRIVE PALO ALTO, CA 94303
ASSESSOR PARCEL NO.	193-38-019
REVISIONS BY:	
REVISIONS NO.:	
DATE	8-30-20
JOB NO.	
SCALE:	AS NOTED
DRAWN BY:	MA
CHECKED BY:	
APPLIES TO ALL PLANS	
NORTH ARROW	
CONTENT:	FIRST FLOOR AREA CALCULATIONS
SHEET NUMBER	A.14

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APPROVAL STAMP

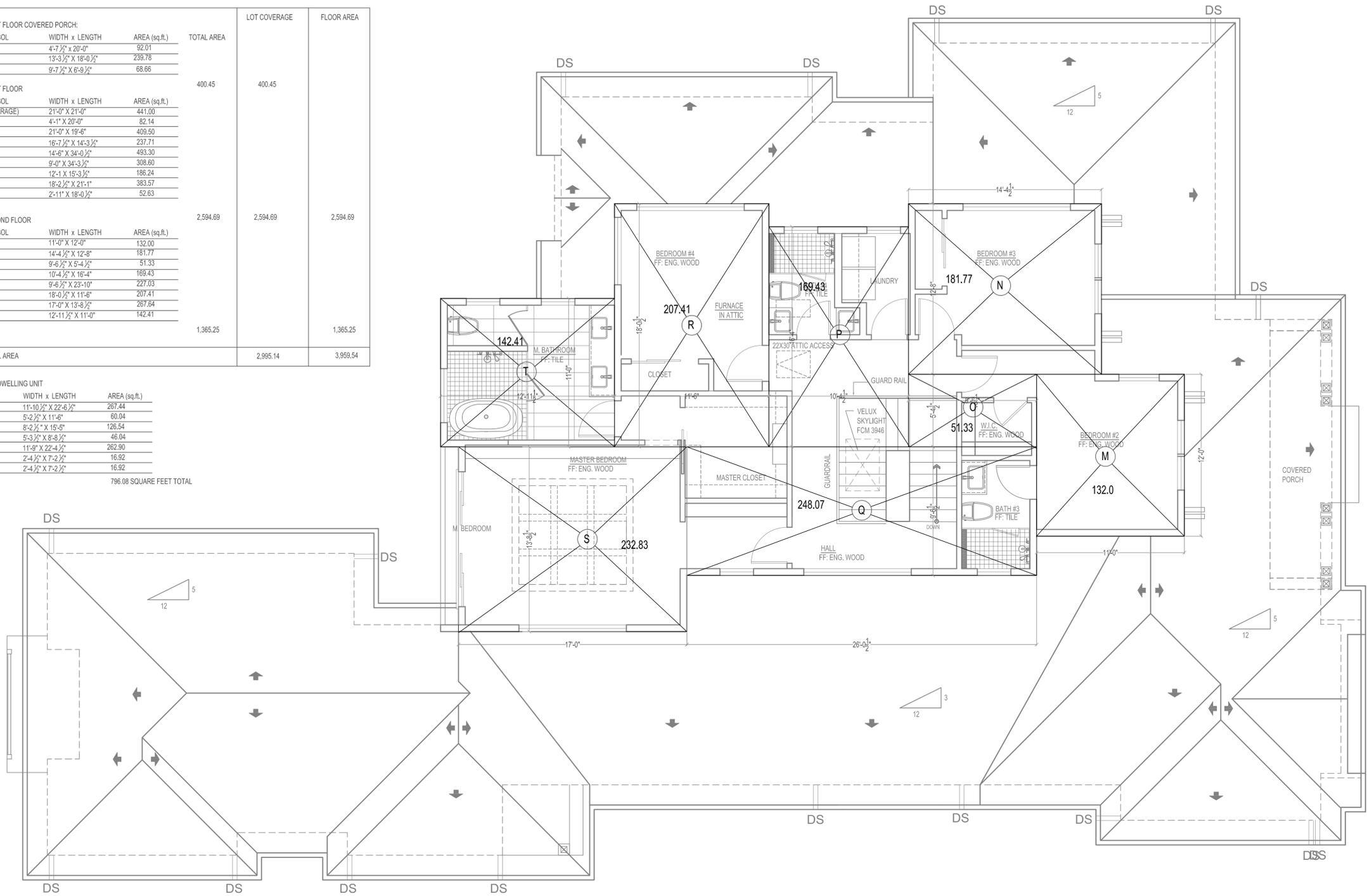


ADDRESS
908 BAINES STREET
E. PALO ALTO, CA 94303

WEBSITE
mda-projects.com
EMAIL
mdadesign1992@gmail.com
MOBILE
650-353-0273

FIRST FLOOR COVERED PORCH:				TOTAL AREA	LOT COVERAGE	FLOOR AREA
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)				
A	4'-7 1/2" x 20'-0"	92.01		400.45	400.45	2,594.69
B	13'-3 1/2" x 18'-0 1/2"	239.78				
C	9'-7 1/2" x 6'-9 1/2"	68.66				
FIRST FLOOR						
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)				
D (GARAGE)	21'-0" x 21'-0"	441.00				
E	4'-1" x 20'-0"	82.14				
F	21'-0" x 19'-6"	409.60				
G	16'-7 1/2" x 14'-3 1/2"	237.71				
H	14'-8" x 34'-0 1/2"	493.30				
J	9'-0" x 34'-3 1/2"	308.60				
K	12'-1" x 15'-3 1/2"	186.24				
L	18'-2 1/2" x 21'-1"	383.67				
	2'-11" x 18'-0 1/2"	52.63				
SECOND FLOOR						
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)				
M	11'-0" x 12'-0"	132.00				
N	14'-4 1/2" x 12'-8"	181.77				
O	9'-6 1/2" x 5'-4 1/2"	51.33				
P	10'-4 1/2" x 16'-4"	169.43				
Q	9'-6 1/2" x 23'-10"	227.03				
R	18'-0 1/2" x 11'-6"	207.41				
S	17'-0" x 13'-8 1/2"	232.83				
T	12'-11 1/2" x 11'-0"	142.41				
TOTAL AREA				1,365.25	2,995.14	3,959.54

ACCESSORY DWELLING UNIT		
SYMBOL	WIDTH x LENGTH	AREA (sq.ft.)
AA	11'-10 1/2" x 22'-6 1/2"	267.44
BB	5'-2 1/2" x 11'-6"	60.04
CC	8'-2 1/2" x 15'-5"	126.54
DD	5'-3 1/2" x 8'-8 1/2"	46.04
EE	11'-9" x 22'-4 1/2"	262.90
FF	2'-4 1/2" x 7'-2 1/2"	16.92
GG	2'-4 1/2" x 7'-2 1/2"	16.92
796.08 SQUARE FEET TOTAL		



SECOND FLOOR AREA CALCULATIONS

SCALE: 1/4" = 1'-0"

PROPERTY ADDRESS

1170 PAYNE DRIVE
LOS ALTOS, CA.
94024

PROPERTY OWNERS

PAYNE LLC
804 FIELDING DRIVE
PALO ALTO, CA
94303

ASSESSOR PARCEL NO.

193-38-019

REVISIONS BY:

REVISIONS NO.: BY:

DATE 8-30-20

JOB NO.

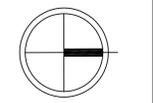
SCALE: AS NOTED

DRAWN BY: MA

CHECKED BY:

APPLIES TO ALL PLANS

NORTH ARROW



CONTENT:

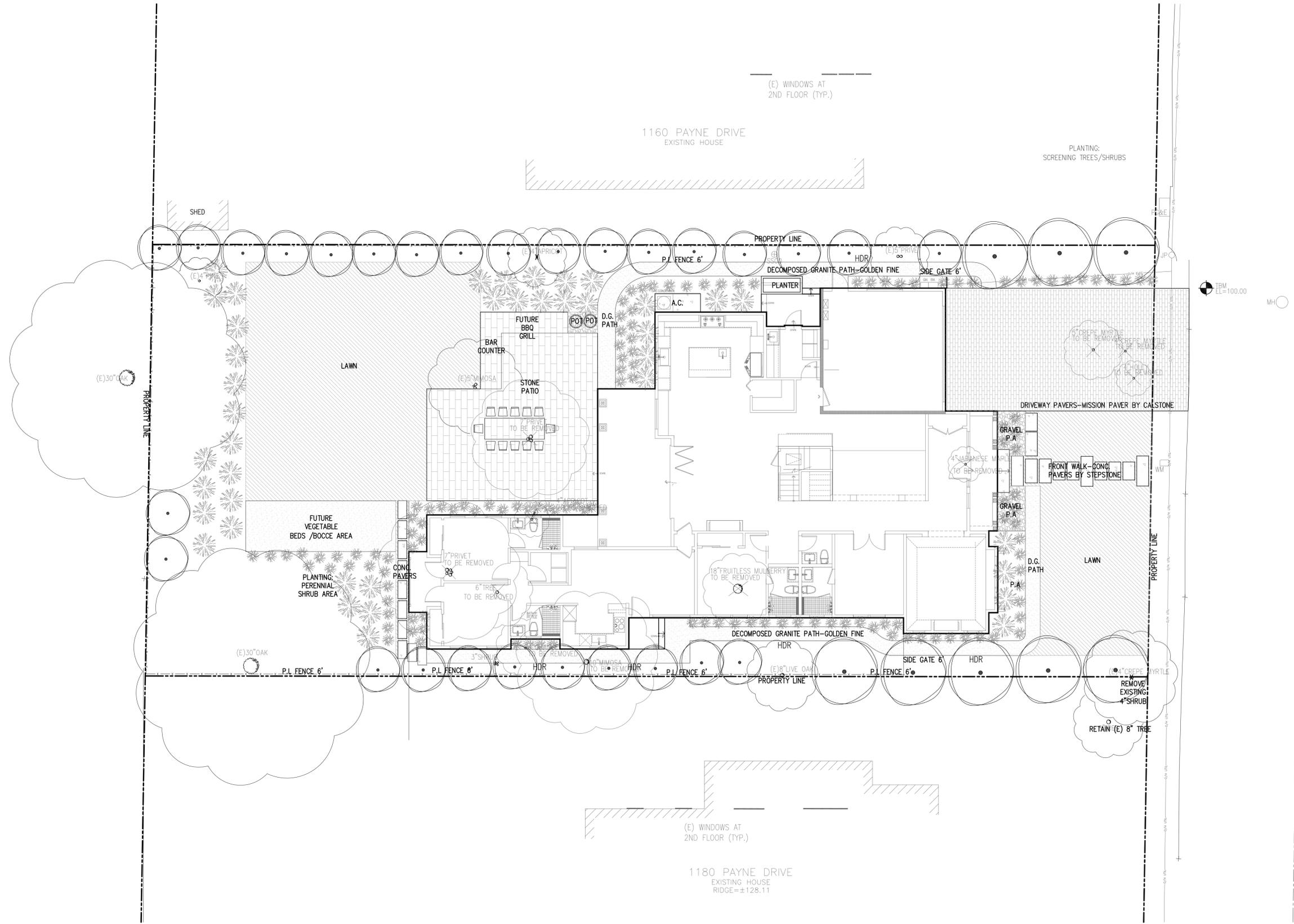
SECOND FLOOR
AREA
CALCULATIONS

SHEET NUMBER

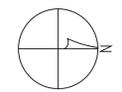
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APPROVAL STAMP

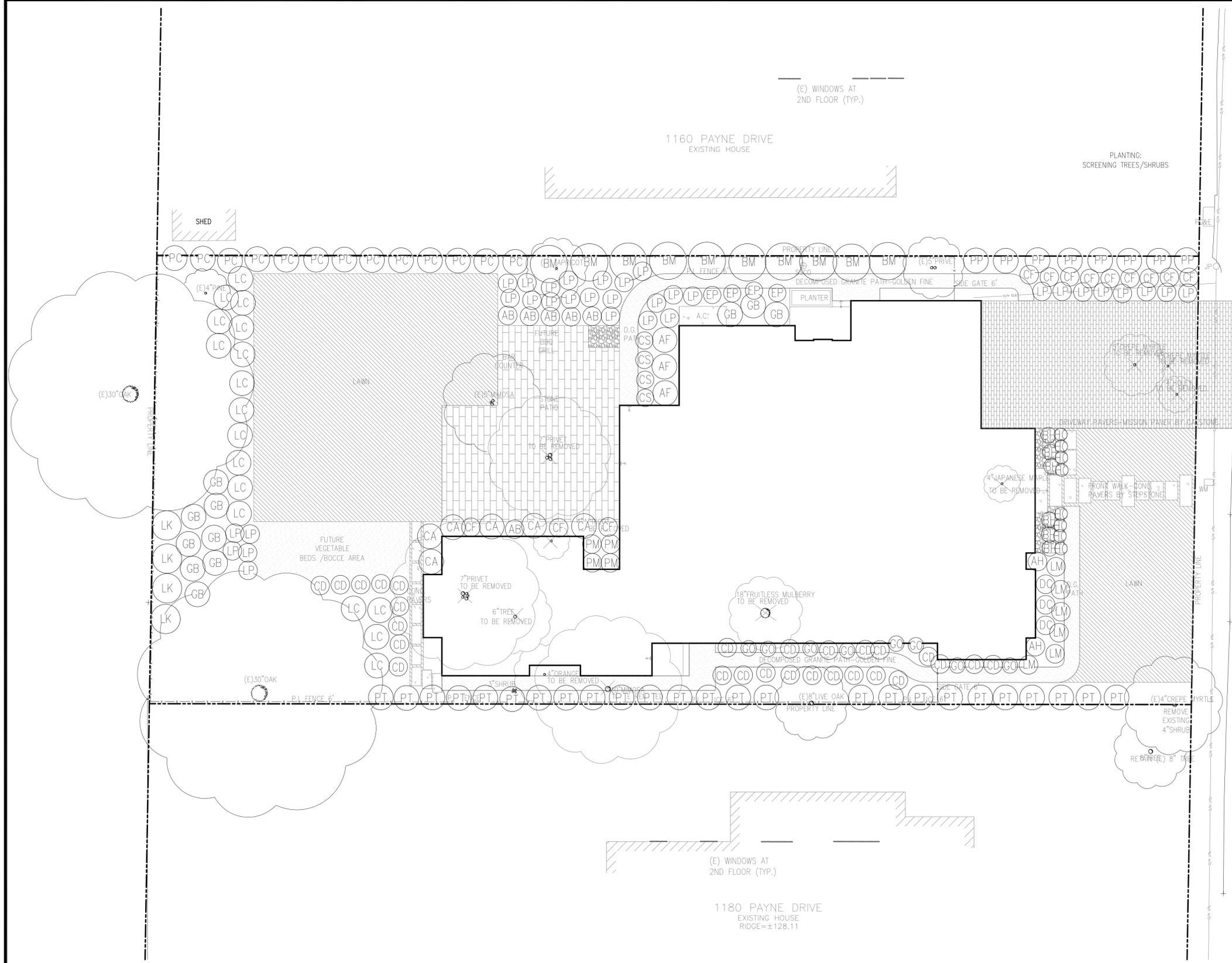
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1 LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



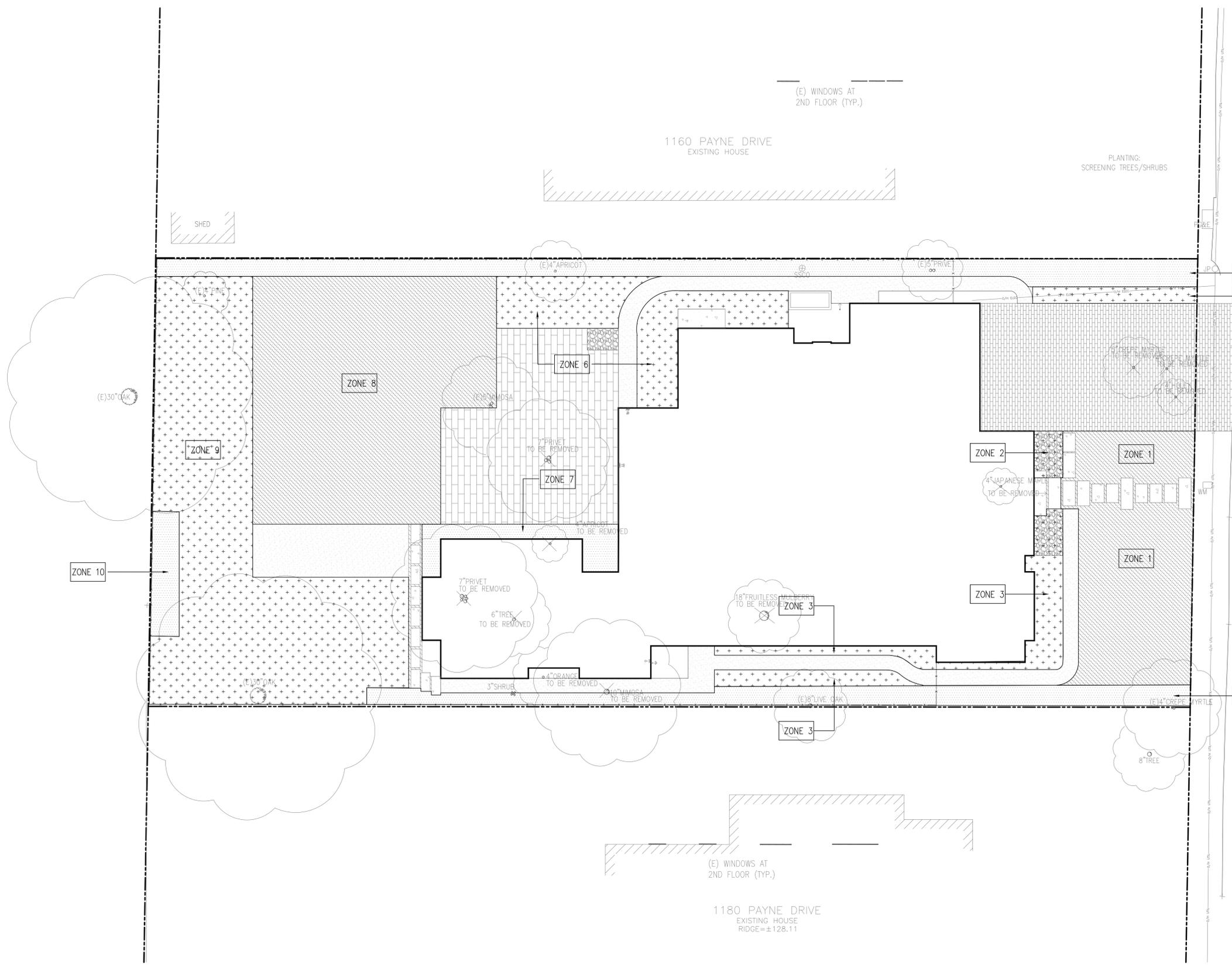
MWELO COMPLIANCE NOTE:
I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT
LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT
USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
DATE: 08.07.2020
SIGNATURE: *Jennifer Li*



LEGEND	SIZE (G)	AMOUNT	WATER
(E) EXISTING TREE/SHRUB TO REMAIN			
(X) EXISTING TREE/SHRUB TO BE REMOVE			
(AB) Anigozanthos 'Big Red'	5	6	LW
(AF) Aloe Fosteri	1	3	LW
(AH) Anigozanthos 'Harmony'	5	2	LW
(BH) Bulbine Frutescens 'Hallmark'	1	6	LW
(BM) Borinda Fungosa 'Maroon'	15	10	MW
(CA) Cestrum Aurantiacum	5	6	MW
(CD) Carex Divulsa	1	27	LW
(CF) Calamagrostis 'Karl Foerster'	1	12	MW
(CS) Cotyledon 'Silver Peak'	1	4	LW
(DC) Deschampsia Cespitosa 'Goldgenhange'	1	3	LW
(EP) Erica Carnea 'Springwood Pink'	1	4	LW
(GB) Grevillea 'Rosmarinifolia'	5	11	LW
(GO) Geranium 'Bikovo'	1	8	LW
(HC) Hemerocallis 'Cranberry Eyes'	1	8	LW
(LC) Leymus Condensatus 'Canyon Prince'	1	17	LW
(LK) Lophomyrtus x Ralpii 'Kathryn'	5	4	MW
(LM) Lavandula 'Angustifolia Munstead'	1	6	LW
(LP) Lavender Provence	1	32	LW
(PC) Prunus Caroliniana 'Compacta'	5	13	LW
(PM) Polystichum Munitum	1	4	MW
(PP) Pittosporum 'Irene Patterson'	5	8	MW
(PT) Pittosporum Tenuifolium	5	25	MW
	1 G	134	
	5 G	75	
	15 G	11	
	TOTAL	220	

MWELo COMPLIANCE NOTE:
I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT
LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT
USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
DATE: 08.07.2020
SIGNATURE: *Jennifer Li*

LEGEND
++++ LOW WATER USAGE
[Pattern] LOW/ MEDIUM WATER USAGE



MWELO COMPLIANCE NOTE:
 I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT
 LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT
 USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

 DATE: 08.07.2020
 SIGNATURE: *Jennifer Li*

California Water Efficient Landscape Worksheet							
Reference Evapotranspiration (ET _a)	43	Project Type	Residential		0.55		
Hydrozone # / Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
HZ1	0.5	DRIP	0.75	0.67	706.33	471	12554
HZ2	0.2	DRIP	0.81	0.25	34.91	9	230
HZ3	0.2	DRIP	0.81	0.25	287.09	71	1890
HZ4	0.2	DRIP	0.81	0.25	70.41	17	463
HZ5	0.5	DRIP	0.81	0.62	515.93	318	8491
HZ6	0.2	DRIP	0.81	0.25	400.91	99	2639
HZ7	0.5	DRIP	0.81	0.62	124.24	77	2045
HZ8	0.5	DRIP	0.75	0.67	1396.81	931	24826
HZ9	0.2	DRIP	0.81	0.25	1511.34	373	9949
HZ10	0.5	DRIP	0.81	0.62	89.13	55	1467
HZ11	0.5	DRIP	0.81	0.62	402.34	248	6621
Totals					5539	2670	71174
Special Landscape Areas							
				1		0	0
				1		0	0
				1		0	0
				1		0	0
Totals					0	0	0
					ETWU Total		47638
					Maximum Allowed Water Allowance (MAWA)^e		72831

Hydrozone Category	PF-Plant Factor
Very Low Water Use	0.0 - 0.1
Low Water Use*	0.1 - 0.3
Moderate Water Use	0.4 - 0.6
High Water Use	0.7 - 1.0

Hydrozone Category	PF-Plant Factor
0.45 Non-Residential	
0.55 Residential	
0.81 Drip	
0.75 Overhead	
0.45 Non-Residential	
0.55 Residential	
0.81 Drip	
0.75 Overhead	

^a Hydrozone # / Planting Description e.g.
 1.) Front lawn
 2.) Low water use planting
 3.) Medium water use planting

^b Irrigation Method
 1.) Overhead Spray
 2.) Drip

^c Irrigation Efficiency
 1.) 0.75 for Overhead Spray
 2.) 0.81 for Drip

^d ETWU (Annual Gallons Required) =
 Eto x 0.62 x ETAF x Area
 Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year

^e MAWA (Annual Gallons Allowed) =
 (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
 Where 0.62 is a conversion factor to change acre-inches per acre per year to gallons per square foot per year, LA is the total regular landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is 0.55 for residential areas and 0.45 for non-residential areas

ETAF Calculations	
Total ETAF x Area	3958
Total Area	8046
Average ETAF	0.49
All Landscape Areas	
Total ETAF x Area	985
Total Area	2016
Average ETAF	0.49

LANDSCAPE
 WELO
 CALCULATION
 FORMS

JOB
 PAYNE RES

LANDSCAPE
 WELO
 CALCULATION
 FORMS

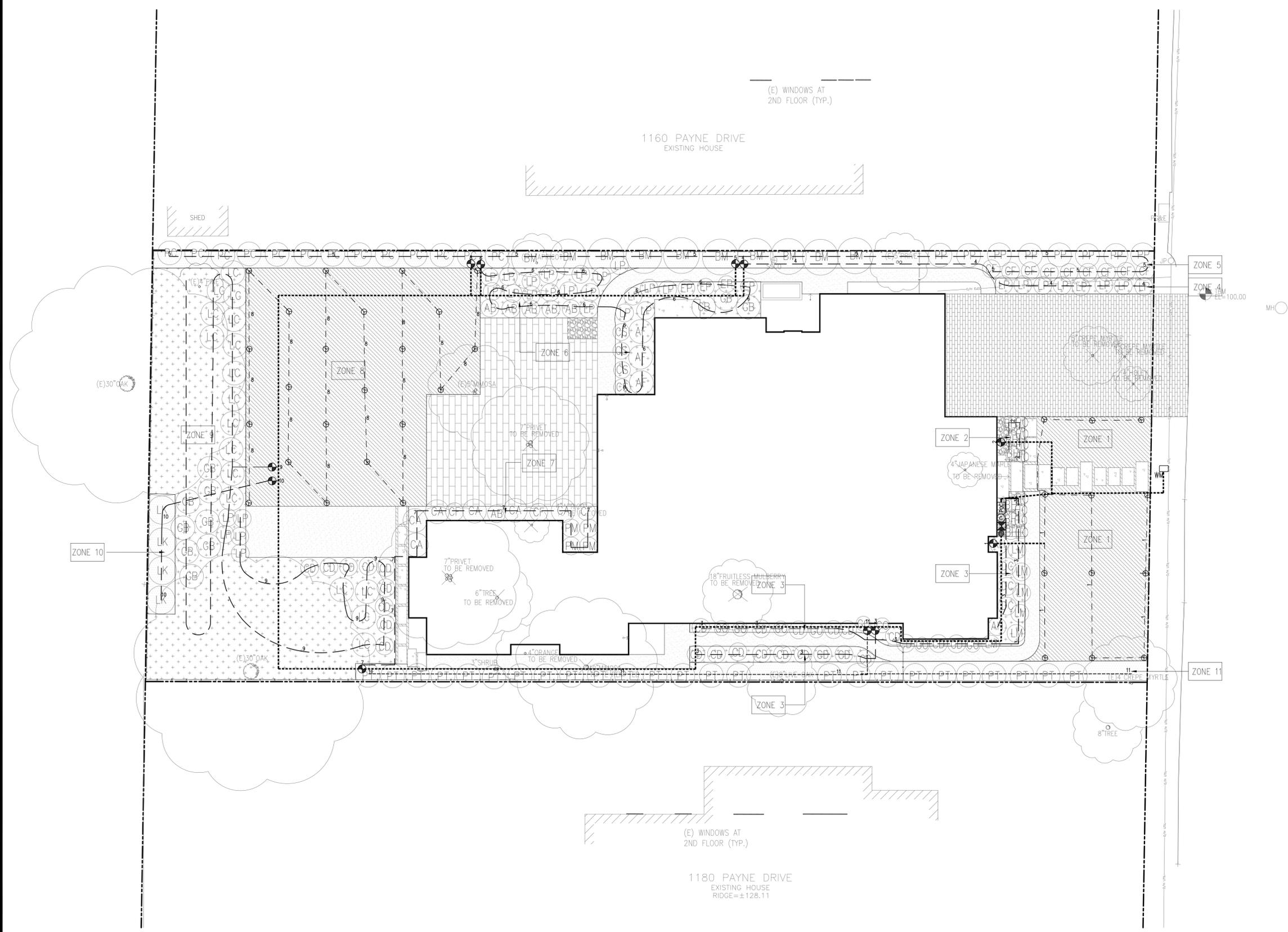
DESIGNER
 JENNIFER LI

PAYNE RESIDENCE
 1170 PAYNE DR. LOS ALTOS, CA94024

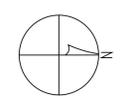
DATE
 08.07.2020

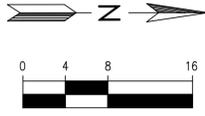
SCALE
 AS SHOWN

L3.01



1 LANDSCAPE IRRIGATION PLAN
SCALE: 1/8" = 1'-0"





(E) WINDOWS AT 2ND FLOOR (TYP.)

1160 PAYNE DRIVE
EXISTING HOUSE



AREA = 12,094±SQ.FT.

1170 PAYNE DRIVE
EXISTING HOUSE
FF = ±102.91

DECK

(E) WINDOWS AT 2ND FLOOR (TYP.)

1180 PAYNE DRIVE
EXISTING HOUSE
RIDGE=±128.11

LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PROPERTY CORNER
- RM RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOP OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

BASIS OF BEARINGS:

THE BEARING, S89°02'00"E, OF THE CENTER LINE OF PAYNE DRIVE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 895 OF MAPS AT PAGE 3, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV=100.00 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

NOTE:

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

NEW RESIDENCE

1170 PAYNE DRIVE
LOS ALTOS, CA
APN: 193-38-019



2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: APRIL 6, 2020
SCALE: 1/8"=1'-0"
DRAWN: BG
JOB: 10078

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NO.

C.0

NEW RESIDENCE

1170 PAYNE DRIVE
LOS ALTOS, CA
APN: 193-38-019



2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

DATE: AUG 16, 2020
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

GRADING & DRAINAGE PLAN

SHEET NO.

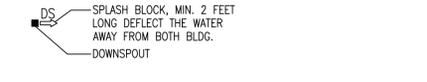
C.1

EARTHWORK QUANTITIES:

CUT(OUTSIDE BLDG FOOTPRINT)	10 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	135 C.Y.
FILL	15 C.Y.
BALANCE	130 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

SS	SANITARY SEWER	SL	STREET LIGHT
E	ELECTRIC	IRR	IRRIGATION
TV	TV/CABLE TV	X	FENCE
FS	FIRE SERVICE	JT	JOINT TRENCH
W	DOMESTIC WATER SERVICE	O/H	OVERHEAD WIRES
T	TELEPHONE	× 16.07	(E) SPOT ELEVATION
G	NATURAL GAS	× 16.07	(N) SPOT ELEVATION
FM	FORCE MAIN		

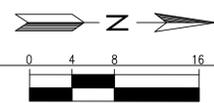


CUT AND FILL EST. 4

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	PKG	PARKING
DS	DOWNSPOUT	POC	POINT OF CONNECTION
DWY	DRIVEWAY	RET	RETAINING WALL
(E)	EXISTING WALL	RIM	RIM ELEVATION
EG	EXISTING GRADING	S	SLOPE
EM	ELECTRICAL METER	SD	STORM DRAIN LINE
EP	EDGE OF PAVEMENT	SDCO	STORM DRAIN CLEANOUT
FC	FACE OF CURB ELEV.	SDFM	STORM DRAIN FORCED MAIN
FD	FRENCH DRAIN	SS	SANITARY SEWER
FF	FINISH FLOOR ELEVATION	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GROUND ELEV.	TW	TOP OF WALL ELEVATION
FL	FLOW LINE ELEVATION	TYP	TYPICAL
FM	FORCE MAIN LINE	W	DOMESTIC WATER LINE
FP	FINISHED PAVEMENT	WM	WATER METER
FS	FINISH SURFACE ELEV.		
FW	FIRE WATER LINE		

LEGEND 5

- 1 INFILTRATION DEVICE, 5'X10', 3' DEEP, SEE 4/C.3
 - 2 CONTRACTOR TO FIELD VERIFY EXISTING SEWER LINE LOCATION AND INSTALL SEWER LINE BETWEEN BUILDING AND EXISTING SEWER LATERAL. NEW SSCO, IF TO BE INSTALLED, SHALL BE WITHIN 5' FROM PROPERTY LINE.
- PROPERTY LINE
SOLID PVC SD LINE
GRADE BREAK



ABBREVIATION 3

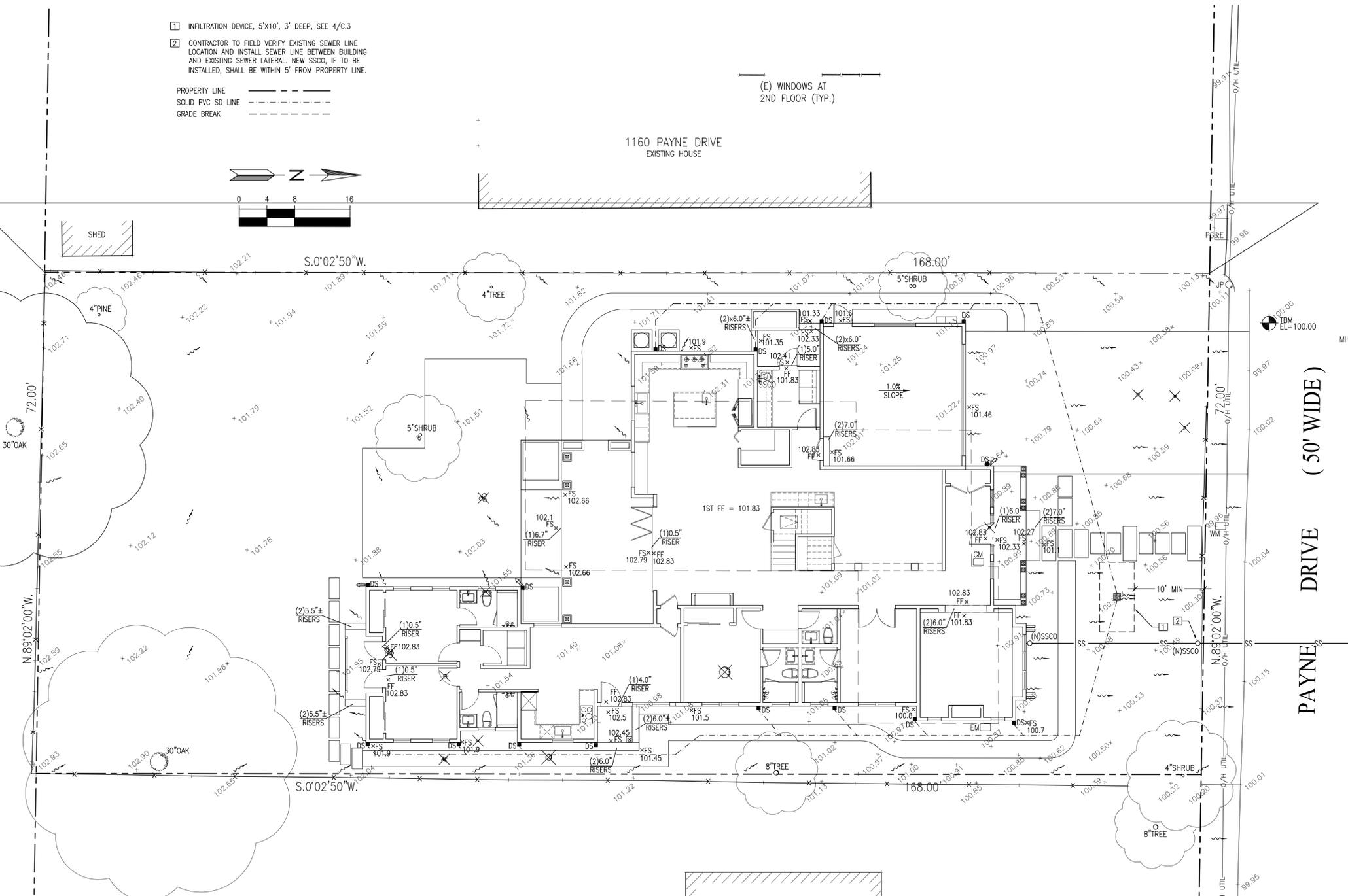
GRADING AND DRAINAGE NOTES:

- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.
- THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% ACROSS VEGETATED OR DIRT AREA AND 2% ACROSS HARDSCAPED AREA, AWAY FROM THE BUILDING PERIMETER. EXISTING DRAINAGE COMING FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
- UNLESS SHOWN ON THE PLAN OTHERWISE, HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.
- CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.
- ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.
- IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

UTILITY NOTES:

- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES. CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL GRAVITY SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION. ALL WORK FOR GRAVITY SYSTEMS SHALL BEGIN AT THE 1. DOWNSTREAM CONNECTION POINT. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION. ELBOWS AND TEE SHOULD BE AVOIDED.
- CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS.
- A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
- A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE (5) FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

GENERAL NOTES 2



GRADING AND DRAINAGE PLAN SCALE: 1/8"=1'-0" 1

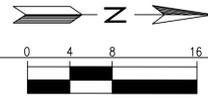
EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

- 1 MAINTAIN STABILIZED CONSTRUCTION AREA. SEE DETAIL 2/C.3
- 2 MAINTAIN FIBER ROLL FOR EROSION CONTROL. SEE DETAIL 1/C.3
- 3 DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
- 4 PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
- 5 CONCRETE WASHOUT AREA, SEE DETAIL 3/C.3
- 6 USE (DON'T OVERUSE) WATER FOR DUST CONTROL.
- 7 SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOIST BEFORE GRADING ACTIVITIES.
- 8 DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER. CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.

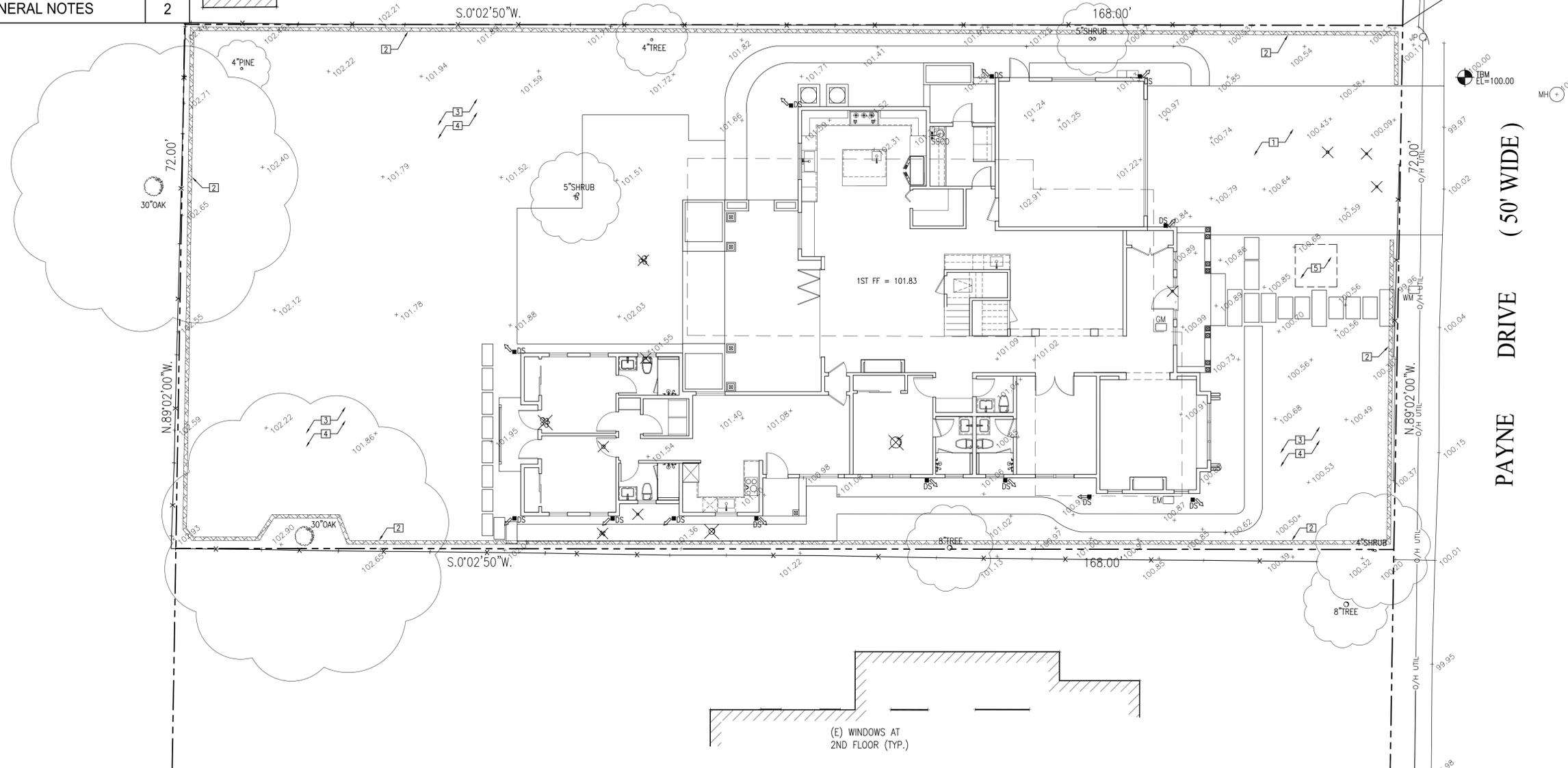
(E) WINDOWS AT 2ND FLOOR (TYP.)

1160 PAYNE DRIVE
EXISTING HOUSE



GENERAL NOTES

2



(E) WINDOWS AT 2ND FLOOR (TYP.)

EROSION CONTROL PLAN SCALE: 1/8"=1'-0" 1

NEW RESIDENCE

1170 PAYNE DRIVE
LOS ALTOS, CA
APN: 193-38-019

W E C
& ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED		
No.	Description	Date

DATE: AUG 16, 2020
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

EROSION CONTROL PLAN

SHEET NO.

C.2

