

376 FIRST STREET



ARCHITECTURAL DRAWINGS

- 0 - GENERAL
 - T.1 TITLE SHEET
 - T.2 CODE ANALYSIS
 - T.3 CODE ANALYSIS - BUILDING AREA
- 2 - CIVIL
 - C 0.0 TITLE SHEET
 - C 1.0 DEMOLITION PLAN
 - C 2.0 UTILITY AND GRADING PLAN
 - C 3.0 STORMWATER CONTROL PLAN
- 3 - ARCHITECTURAL
 - A.1 SITE PLAN
 - A.2 EXISTING SITE CONDITIONS
 - A.3 BASEMENT LEVEL PLAN
 - A.4 GROUND LEVEL PLAN
 - A.5 SECOND LEVEL PLAN
 - A.6 THIRD LEVEL PLAN
 - A.7 FOURTH LEVEL PLAN
 - A.8 ROOF LEVEL PLAN
 - A.9 UNIT PLANS - 1 BEDROOM
 - A.10 UNIT PLANS - 1 BEDROOM
 - A.11 UNIT PLANS - 2 BEDROOM
 - A.12 ELEVATION - EAST
 - A.13 ELEVATION - WEST
 - A.14 ELEVATION - NORTH
 - A.15 ELEVATION - SOUTH
 - A.16 ALLOWABLE OPENING
 - A.17 MATERIAL BOARD
 - A.18 SECTIONS
 - A.19 SECTIONS
 - A.20 PERSPECTIVES

PROJECT DIRECTORY

OWNER:
LAB LCC
376 First Street
Los Altos CA 94022
Contact: Jan Unlu

ARCHITECT:
DAHLIN GROUP
5865 Owens Drive
Pleasanton CA 94588

CIVIL ENGINEER:
JMH WEISS INC.
1731 Technology Drive,
Suite 880,
San Jose, CA 95110

VICINITY MAP



PROJECT DATA

UNIT SCHEDULE

Number	Unit Area	Patio Net Area
1 BEDROOM UNIT		
106	880 SF	111 SF
107	732 SF	173 SF
111	877 SF	67 SF
113	862 SF	92 SF
120	877 SF	63 SF
122	862 SF	92 SF
130	863 SF	92 SF
131	880 SF	60 SF
1 BEDROOM UNIT: 8		
2 BEDROOM UNIT		
105	1324 SF	87 SF
112	1304 SF	55 SF
114	1244 SF	55 SF
121	1304 SF	55 SF
123	1244 SF	55 SF
129	1304 SF	55 SF
132	1244 SF	54 SF
2 BEDROOM UNIT: 7		
Grand total: 15		

RESIDENTIAL PARKING REQUIRED:

0 TO 1 BEDROOM UNIT = 1 ONSITE SPACE (PER LOS ALTOS, CA CODE OF ORDINANCES SECTION 14.28.040)

2 TO 3 BEDROOM UNIT = 2 ONSITE SPACES (PER LOS ALTOS, CA CODE OF ORDINANCES SECTION 14.28.040)

EV CHARGING SPACE = NONE (PER CALGREEN SECTION 4.106.4.2)

PARKING PROVIDED:

SPACES ON PARKING LIFTS = 20
ADA SPACES = 2
TOTAL RESIDENTIAL SPACE = 22

NO OF VISITOR PARKING SPACE = NONE (PER LOS ALTOS, CA CODE OF ORDINANCES SECTION 14.28.040.G)

EV CHARGING SPACE = OWNER INTENDS TO PREWIRE IN THE PUZZLE LIFTS

RESIDENT BIKE PARKING PROVIDED: 12 SPACES (IN BASEMENT)

AFFORDABLE HOUSING:

TOTAL RESIDENCES PROVIDED = 15
20% OF 15 = 3 BMR UNITS
TO BE GRANTED TWO INCENTIVES AS PER SECTION 14.28.040 TABLE DB 2
REQUEST CONCESSIONS FOR FRONT SETBACK AND BUILDING HEIGHT

SITE ZONING INFORMATION:

SITE AREA: 0.20 ACRES (8670 SF)

ALLOWABLE BUILDING HEIGHT:

TYPE 1A = UNLIMITED

TYPE VA = 70'-0" (4 STORIES WITHOUT AREA INCREASE FOR SPRINKLERS)

ACTUAL BUILDING HEIGHT: 59'-3" TO AVERAGE OF HIGHEST ROOF SURFACE (4 STORIES)

BUILDING FOOTPRINT: 5745 SF

LOT COVERAGE: 66%

IMPERVIOUS SURFACE: 7451 SF

PERVIOUS SURFACE: 1,310 SF

DENSITY: 75 DU/A

ZONING: C-D/R-3

STORIES: FOUR STORIES TYPE VA OVER BASEMENT

376 FIRST STREET

LOS ALTOS, CALIFORNIA

TITLE SHEET



DAHLIN

JOB NO. 1493.001

DATE 07/15/19

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

T.1

BUILDING CODE ANALYSIS

Reference: Approved Plans as per the CBC

Project 376 First Street
Los Altos, California

Code	Reference
Building - Multi-Family	2016 California Building Code (CBC) (Based on the 2015 International Building Code (IBC))
Fire	2016 California Fire Code (CFC) (Based on the 2015 International Fire Code (IFC))
Sprinkler	NFPA 13, 2016
Mechanical	2016 California Mechanical Code (CMC) (Based on the 2015 Uniform Mechanical Code (UMC))
Plumbing	2016 California Plumbing Code (CPC) (Based on the 2015 Uniform Plumbing Code (UPC))
Electric	2016 California Electrical Code (CEC) (Based on the 2015 National Electrical Code (NEC))
Energy	2016 California Energy Code
Accessibility	2016 California Building Code (CBC) Chapter 11A and Chapter 11B
California Green Building	ANSI A117.1-2003
California Green Building Standards (CalGreen)	2016 California Green Building Standards (CalGreen)
Zoning	Los Altos CA Code of Ordinances
Flaming	

Occupancy Classification	Code Section
Residential	(Sec. 309)

Description	Type	Code Section	Remarks
Lobby 1/Multi-Parcel Area	Accessory	308.2	Accessory Use
Rice Parking	S-2	311.3, 406.4	
Apartment Dwelling Units	R-2	210.4	
Enclosed Parking Garage	S-2	311.3, 406.4	
Utility Room	S-2	311.3, 508.2	
Rooftop Terrace	Accessory	303.2, 508.2	Occupancy is 49 or less, Accessory Use
Tram Collection Rooms	Incidental	Table 509, 713.13	Incidental Use, 2-tr. F.R. Enclosure
Tram + Cable Exam	Accessory	308.2	

Type of Construction	Code Section
Residential	(Table 601)

Description	Type	Code Section	Remarks
Below grade concrete structure with metal stud wall framing for non-load bearing partitions	IA	Yes (NFPA 13)	309.2, 602.2, 903.1
Parking, Utility	NA	Yes (NFPA 13)	310.2, 602.5, 903.2.4

Allowable Height	Code Section
Maximum Stories for type IA construction	Unlimited
Maximum Height for type IA construction	Unlimited

Maximum Stories for type VA construction	Code Section
4 (above Grade Plane; without increase for sprinklers per Table 504.4, NFPA 13)	
70 (above Grade Plane; without area increase for sprinklers per Table 504.3 NFPA 13)	

Actual Height	Code Section
Stories	4 (Type VA Building - Sec. 504) Levels 1,2,3 and 4

Building Height	Code Section
Type VA: 59'-2" to average of highest roof surface	

Allowable Building Area	Code Section
See sheet CA-2	(Sec. 506 & Table 506.2)

Occupancy Separation	Code Section
R-2 / S-2	1-FR (Fire Separation per Sec. 508.4 and Fire Barrier per Sec. 707)

Dwelling Unit Separation	Code Section
Wall Separation	1-FR (Fire Partition per Sec. 708.3)
Floor Separation	1-FR (Horizontal Assembly per Sec. 711.2.4.3)

Fire Resistance Ratings	Code Section
Structural frame	1-FR
Bearing walls: Exterior	1-FR
Bearing walls: Interior	1-FR
Nonbearing walls & Partitions: Exterior	1-FR
X < 5 Fire Separation	1-FR
5 ≤ X < 10 Fire Separation	1-FR
10 ≤ X < 30 Fire Separation	0-FR
X ≥ 30 Fire Separation	0-FR
Nonbearing walls & Partitions: Interior	1-FR
Floor Construction (incl. beams & joists)	1-FR
At Podium Floor	1-FR
At other floors	1-FR
Roof Construction (incl. joists & joists)	1-FR

Shall Enclosures	Code Section
Less than 4 stories	1-FR (Fire Barrier per Sec. 707)
4 stories or more	2-FR (Fire Barrier per Sec. 707)
Exterior Walls	1-FR (Exception per 713.6)

Opening Protection	Code Section
1-FR Enclosures	1-FR
2-FR Enclosures	1-FR
Tresh (Amputation) Rooms in Garage require 2-FR Fire Barrier with self-closing 1 1/2-FR doors (713.13.4)	

Stair Enclosures	Code Section
4 stories or more	1-FR (Fire Barrier per Sec. 707)
Exterior Walls	1-FR (Exception per 1023.7)

Windows	Code Section
2-FR Enclosures	1 1/2-FR
Exterior Walls	See table 703.8
Exterior Walls	See table 703.8

Max. Area of Unprotected Exterior Wall Openings at 1st Story	Code Section
Wall facing street with 15' fire separation distance	No Limit
Wall facing unoccupied spaces w/30' vertical access	No Limit

Max. Area of Unprotected Exterior Wall Openings Above 1st Story	Code Section
X < 3' Fire Separation Distance	Not Permitted
3 ≤ X < 5'	15%
5 ≤ X < 10'	25%
10 ≤ X < 15'	45%
15 ≤ X < 20'	75%
20 ≤ X < 25'	No Limit

Fireproofing	Code Section
Verticality and Ceiling and Floor Level; Horizontally at materials not exceeding 10' (711.2.2)	

Draftstopping	Code Section
Not required w/ NFPA 13 sprinklers	(Sec. 718.3 & 718.4)

Fire Wall	Code Section
R-2 Occupancy	5-FR Fire Rating

Penetrations	Code Section	
Description	Test System	Code Section
Through Penetrations	Approved Material or ASTM E 814 or UL 1479	714.3.1.1, 714.4.1.1.2
Membrane Penetrations	Approved Material or ASTM E 814 or UL 1479	714.3.2, 714.4.1.2

Opening Protection	Code Section		
Description	Wall Assembly Fire Rating	Opening Fire Rating	Remarks
Exit Enclosure	2-FR	1.5-FR	See table 703.8
Stairs	2-FR	1.5-FR	See table 703.8
Oil or Fire Barrier	1-FR	3/4-FR	See table 703.8
Fire Partitions	1-FR	1/2-FR	See table 703.8
Fire Partitions	1-FR	1/2-FR	See table 703.8
Fire Walls	3-FR	3-FR	See table 703.8

Draft Stopping	Code Section	
Description	Test System	Code Section
Fire Stoppers	UL 555 and/or JLB333	717.3.1
Penetration Firestop	ASTM E 814 or UL 1479	714.3.1.2

Means of Egress	Code Section
Occupant Load	(Table 1004.1.2)

Occupant Load	Code Section
Club + Business Center	15 net s./occupant
Leasing Office	100 gross s./occupant
Bike Storage	300 gross s./occupant
Executive Office	50 gross s./occupant
Patrol/Police	300 gross s./occupant
Bike Shop	30 gross s./occupant
Apartment Dwelling Units	200 gross s./occupant
Enclosed Parking Garage	200 gross s./occupant
Utility Room	300 gross s./occupant
Rooftop Terrace	15 net s./occupant

Egress Width	Code Section
Stairways	0.2 inches per occupant
Other Egress Components	0.2 inches per occupant

Means of Egress Illumination	Code Section
Emergency Power Required	(Exception for individual dwelling unit)
Corridors, Exit Enclosure, Exit Passageways, Eler or Landings	(1004.3)

Accessible Means of Egress	Code Section
Required for 305.1 and 1006	(Sec. 1006.1009)
Egress from occupied roof	1006.3

Elevators	Code Section
Elevators are not required to be part of the accessible means of egress per 1009.2.1 (Exception 1)	
Stairways 44 inches minimum width (1011.2)	

Areas of Refuge	Code Section
Areas of Refuge are not required (1009.3.5)	

Doors	Code Section
Door Width: 32 inches minimum clear width (1010.1.1)	

Stairways	Code Section
Ramps	7' max. 4' min. (1011.5.2)
Trails	11' max. (1011.5.2)

Ramps	Code Section
Min. Width	48"
Max. Slope of Egress	8%
Max. Slope of other areas	12%
Max. cross-slope	2%
Max. Rise of outlanding	30"
Landing size	60"
Handrails required	Greater than 6' rise (1012.8)

Exit Signs	Code Section
Required at Exit, Exit Access Doors, and at Path of Egress Travel	
Not required in rooms with one exit	
Visible Exit sign required at exit stairway, exit passageway, and exit discharge	

Handrails	Code Section
Required to be 34"-38" height above surface or stair tread nosing	

Guards	Code Section
Required to be 42" minimum height above floor surface or tread nosing	
Openable windows must be equipped with a window fall prevention device that complies with ASTM F2490.	

Exit Access	Code Section
Common Path of Egress Travel (R-2)	120'
Common Path of Egress Travel (E, S)	100'
Common Path of Egress Travel (A3, M)	75'

Exit	Code Section
One exit allowed in individual dwelling units with occupant load less than 20	Sec. 1006.2.1 (Exception 1)
One exit allowed in S-2 occupancy with occupant load less than 29	Table 1006.2.1.1
Separation of 10' length of diagonal between exits	Sec. 1007.1.1 (Exception 1)

Exit Access Travel Distance	Code Section
Occupancy	Distance
R-2	250'
S-2	400'

Corridors	Code Section
Fire Rating at S-2	3-FR
Fire Rating at R-2	1-FR
Doors Sec. 706.6, 716.5 & Table 715.6)	1-3-FR
Windows or Exterior Walls	
Non-protected Exterior Wall	No Protection Required
Non-protected openings in 1-FR rated Exterior Walls	Table 602 & 715.5
Protected openings in 1-FR rated Exterior Wall	3/4-FR (Table 715.5)
Dead Ends	50' max

Exterior Exit Ramps and Stairways	Code Section
Emergency Escape and Rescue	(Sec. 1007)

Emergency Escape and Rescue	Code Section
Group R-2 occupancies constructed as Type IIIA equipped with sprinklers are not required to have emergency and rescue openings (CBC 1030.1 (Exception 1))	

Accessibility	Code Section
Dwelling Units: Some countertops to be providing the kitchen to be exempt from providing the repositionable countertop (CBC 1135A.4.1)	

Elevator	Code Section
Elevator not required as an accessible means of egress (CBC 1009.2.1, exception 1)	
For an elevator building all R-2 dwelling units to be accessible/acceptable (CBC 1136A.1.2)	

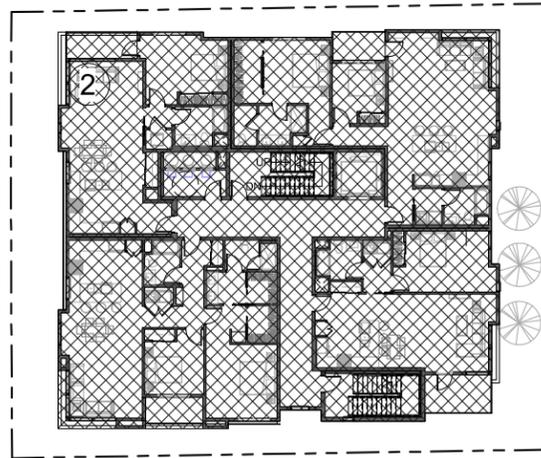
No common area window are operable, therefore compliance to CBC 1126A.8 not required	Code Section

Common Use Facilities	Code Section
Common Use Facilities Shall Be Accessible (1127A)	
Public & Commercial Use Facilities Shall Be Accessible per ADA & CBC Chapter 11	
Parking shall be accessible (Sec. 1109A)	
Parking shall be accessible per ADA and CBC Chapter 11A, 11B Requirements	
Parking Requirements	(Sec. 1109A.1 & 11B-208)
R-2 Residential	
Accessible Spaces	5% of Total Unassigned & Visitors Parking Spaces (1109A.5)
Van Accessible Spaces	1/8 of Accessible Spaces, min 1 (1109A.8.6)
Electrical Vehicle Charging Parking Spaces	2% Minimum of Parking Spaces Provided (CalGreen Sec. 4.106.4)

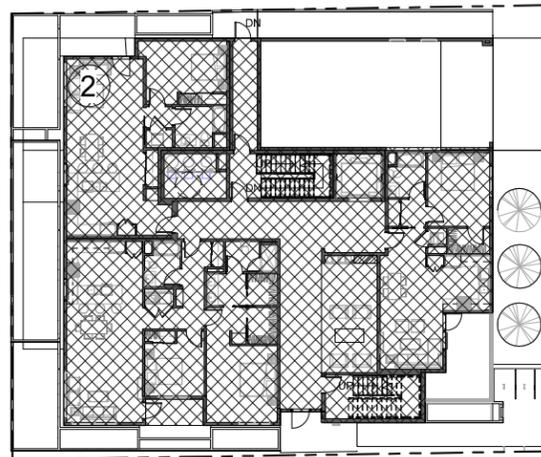
Interior Environment	Code Section
Ventilation	(Sec. 1103)
AIRC	1/200, high and low of pitched roof; 1/150 flat roof (Sec. 1203.2)
Neutral Ventilation	4% of floor area (Sec. 1203.5.1)
Lighting	(Sec. 1105)
Neutral Light	8% of floor area
Courts	(Sec. 1106)
Air Intake	10 of minimum required
Sound Transmission	(Sec. 1107)
Air-borne sound	STC 50 minimum
Structure-borne sound	IRC 50 minimum
Interior Space Dimensions	(Sec. 1108)
Min. Room Width	7'-0"
Kitchen	5'-0" clear passageway
Min. Ceiling Height, Typical	7'-6"
Min. Ceiling Height, Kitchen, Laundry	7'-0"
Access to Unoccupied Spaces	(Sec. 1109)
AIRC spaces over 30'	20:30 access

Miscellaneous Requirements	Code Section
1. In new underground parking garage area the automatic fire sprinkler system shall be designed to 1.8gpm/3,000 square feet coverage area. Residential Units shall be designed to a Light Hazard Group.	
a. Each floor level shall have a dedicated sprinkler riser assembly installed including fire department access.	
b. A 2" (51.8mm) Standpipe Outlet shall be located on main floor landing and shall reach all portions of the floor served or a 200 foot distance from the Standpipe Outlet. NFPA 11 Section 7.3.2(1) & 7.3.2.2.	
c. Roof access shall have a two standpipe outlets, and roof egress shall be calculated at 500gpm, an additional 20gpm added to egress below landing 710gpm.	
2. Provide Fire Alarm System in R-2 occupancy per CFC 207 & NFPA 72 CFC 107.2.9	
a. Manual alarm boxes are not required per CFC Exception #02, 902.2.9.1	
b. Provide Smoke Alarms in 1-2 occupancy CFC 907.2.11.2	
c. Provide Wiring to support Smoke Alarms in 1-2 occupancy CFC 907.5.2.3.3	
3. CO Alarms are required outside of each separate sleeping area in the immediate vicinity of the bedroom in dwelling units within which fuel-burning appliances are installed CBC 913.2.1	
4. Parking Garage:	
a. Clear garage height 7-ft. min. CBC 404.4.1, except 8'-2" min. at entries and to accessible spaces CBC 109A.8.1	
b. 7'-6" clear at means of egress CBC 1003.2) exceptions per CBC 1003.3.1	
c. Stairs & Vehicle Egress CBC 406.4.2 and CBC 416.4.3	
6. Approved numbers or addresses shall be placed on all new area existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property.	
a. Structures up to 50 feet (15240 mm) in height shall have addresses with a min. 1 inch (25.4 mm) stroke wide by min. 8 inches (203.2 mm) high.	
b. Structures over 50 feet (15240 mm) high shall have addresses with a min 2.5 inch (63.5 mm) stroke wide by min. 12 inches (304.8 mm) high.	
7. Elevators shall conform to the provisions of listed in Section 3002.4 of the CBC 2016.	
a. Increased Elevator lobby net require CBC 3306.3.5	
b. Doors shall be self- or automatic-closing by smoke detection in accordance with CBC 716.5.2.3 & CBC 713.7	
c. Smoke guard at 2nd through 6th floor elevator CBC 3004.3.9	
8. CFC Appendix L, Firefighter Air Systems: When required by the fire code official, a firefighter air system shall be installed in new buildings four or more stories in height.	
9. CFC Section 310, Emergency Responder Radio Coverage: When required by the fire code official, all new buildings shall have approved radio coverage for emergency responders within the building.	
10. Aerial access shall be provided to within 15' to 30' of all three buildings, with 25' clear net width access roads and a minimum 40' outside turn radius	
11. Portable fire extinguishers per CFC 906	
b. Garage 4A-40BC w/75' maximum distance	
12. Exit signs, emergency lighting, address posting, fire hose, making, fire extinguishers and Knox Box location to be field verified by Fire Inspector.	
13. Means of egress components to include exit passageway throughout use, exit stairwells, exit enclosure providing access to exit doors, door hardware, exit signs, exit illumination and emergency lighting shall comply with CFC/CBC Chapter 10.	
14. The single man door providing direct access to the Sprinkler Riser Assembly for each building shall require signage on the door accessing riser stating: "Rise Room" or correct on language.	
15. See sheet CA-2.3E for cropped ceiling construction below the fire rated horizontal assembly	
16. Typical unit includes stacked washers and dryers (front loaded) or side-by-side. Where devices are not front loaded, management is responsible for providing upon request assistive devices. A combination washer-dryer unit is an acceptable alternate that meets clearance and reach range requirement (CAC 1135A).	
17. All exterior doors, which will be had open by magnetic hold-open devices shall automatically close upon activation of smoke detector. Smoke detectors shall be connected to the fire alarm system. The approved hold-open devices shall release the assemblies once power failure occurs. (703) CFC / (715.4.3.3) CBC	
18. Cross-swinging corridor doors protecting openings in two-hour, fire-resistive fire walls shall be approved 60 minute rated fire-resistive, tight-fitting, self-closing fire door assemblies. (Table 7-6.5)	
19. Fire walls, fire barriers, fire partitions, smoke partitions, and smoke barriers or any other wall required to have protected openings or penetrations shall be permanently identified with signs or numbering in the floor/ceiling space every 30 feet (maximum) with lettering at least one-half inch in height	

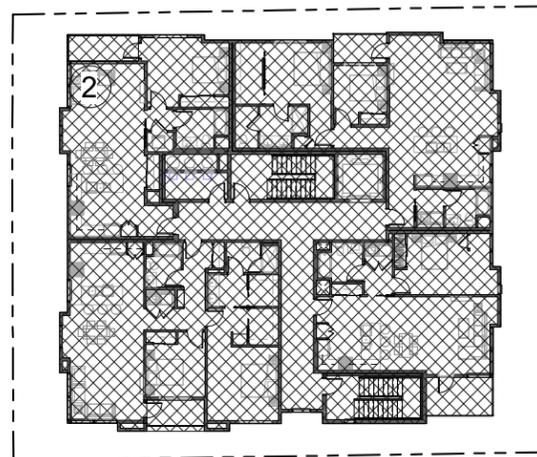
Interior Environment	Code Section
Ventilation	(Sec. 1103)
AIRC	1/200, high and low of pitched roof; 1/150 flat roof (Sec. 1203.2)
Neutral Ventilation	4% of floor area (Sec. 1203.5.1)
Lighting	(Sec. 1105)
Neutral Light	8% of floor area
Courts	(Sec. 1106)
Air Intake	10 of minimum required
Sound Transmission	(Sec. 1107)
Air-borne sound	STC 50 minimum
Structure-borne sound	IRC 50 minimum
Interior Space Dimensions	(Sec. 1108)
Min. Room Width	7'-0"
Kitchen	5'-0" clear passageway
Min. Ceiling Height, Typical	7'-6"
Min. Ceiling Height, Kitchen, Laundry	7'-0"
Access	



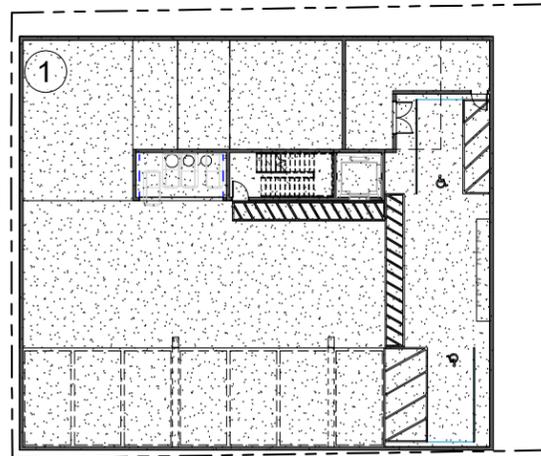
SECOND FLOOR (TYPE VA) - AREA: 6122 SF



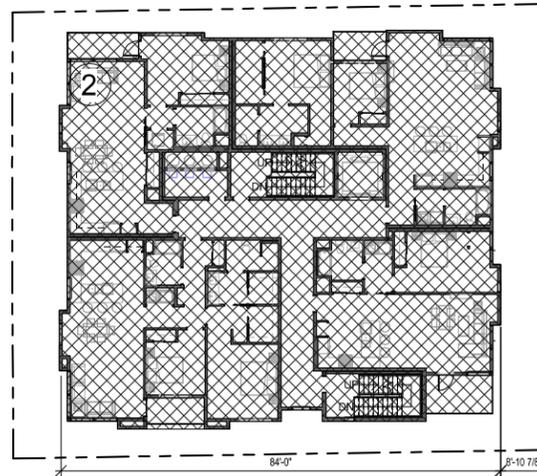
GROUND LEVEL (TYPE VA) - AREA: 4821 SF



FOURTH FLOOR (TYPE VA) - AREA: 6061 SF



BASEMENT LEVEL (TYPE 1A) - AREA: 7135 SF



THIRD FLOOR (TYPE VA) - AREA: 6061 SF

376 FIRST STREET

LOS ALTOS, CALIFORNIA

CODE ANALYSIS - BUILDING AREA

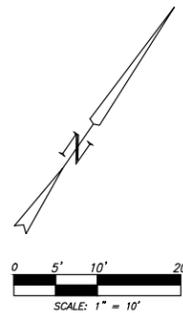
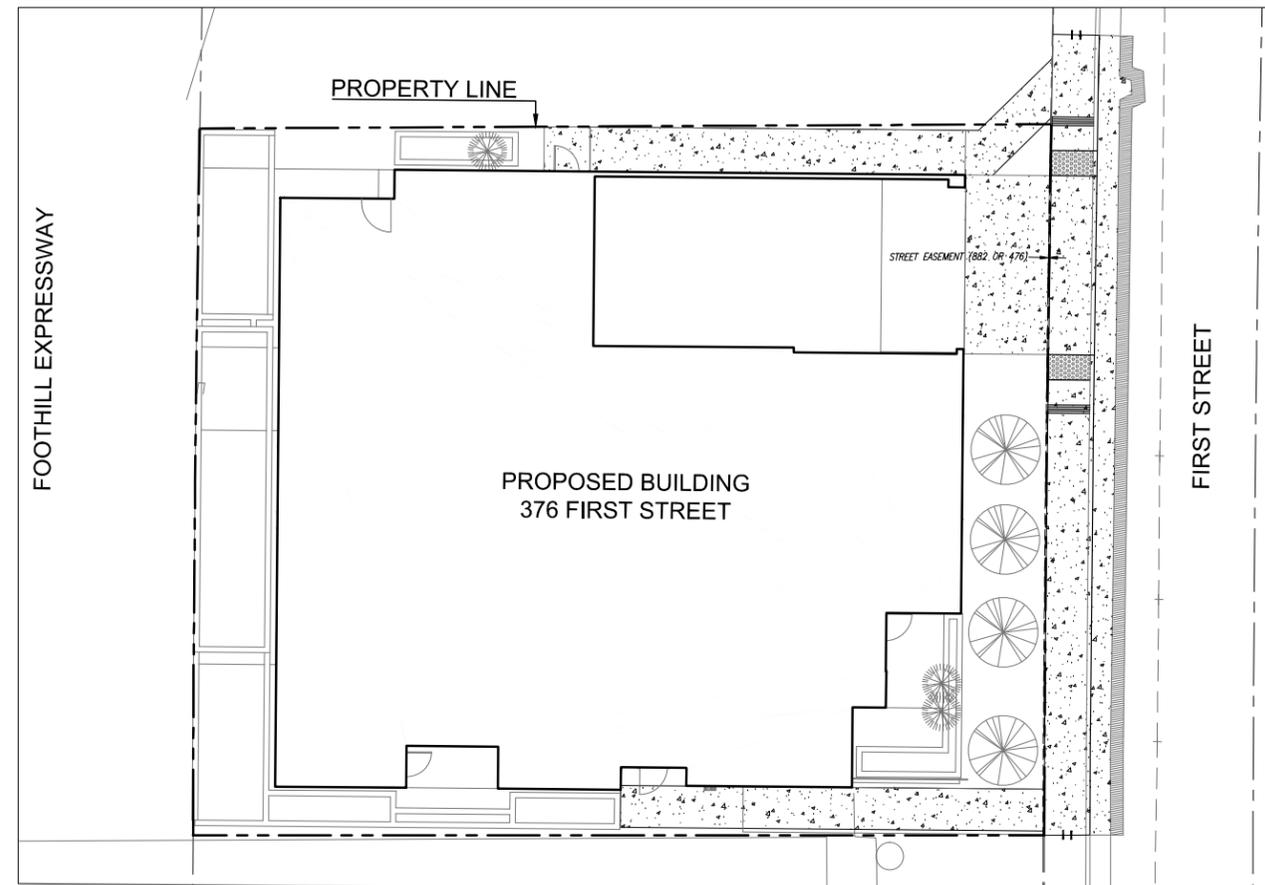


JOB NO. 1493.001
 DATE 07/15/19
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

T.3

FIRST STREET IMPROVEMENT PLAN

376 FIRST STREET
LOS ALTOS, CALIFORNIA



LEGEND & ABBREVIATIONS

---	PROPERTY LINE - SUBJECT PARCEL
- - - -	PROPERTY LINE - ADJACENT PARCEL
---	CENTERLINE / MONUMENT LINE, AS NOTED
---	EXISTING EASEMENT LINE
- - - -	NEW EASEMENT LINE
---	BUILDING LINE
---	CONCRETE
---	CURB & GUTTER
---	EDGE OF PAVEMENT
---	FENCELINE
---	UNDERGROUND SANITARY SEWER
---	UNDERGROUND STREET LIGHTING
---	UNDERGROUND WATER
c	COMMUNICATIONS BOX
■	CATCH BASIN
e	ELECTRIC UTILITY BOX
ev	ELECTRIC VAULT
⊕	ELECTROLIER
⊕	FIRE HYDRANT
gm	GAS METER
ir	IRRIGATION BOX
o ^{ss}	SANITARY SEWER CLEANOUT
⊙	SANITARY SEWER MANHOLE
+	SIGN
x 109.65	SPOT ELEVATION
⊙	STORM DRAIN MANHOLE
sl	STREET LIGHT BOX
⊗	TRAFFIC SIGNAL
⊗	TRAFFIC SIGNAL W/ARM & LIGHT
xfr	TRANSFORMER
● 12"	TREE TRUNK / SIZE
uc	UTILITY CONDUIT
up	UTILITY PEDESTAL
⊙	UTILITY POLE
w	WATER METER
ws	WATER SERVICE
o ^v	WATER VALVE

SHEET INDEX

C0.0	TITLE SHEET
C1.0	DEMOLITION PLAN
C2.0	UTILITY & GRADING PLAN
C3.0	STORMWATER CONTROL PLAN

BASIS OF BEARINGS:

FOUND SURVEY MONUMENTS IN THE RIGHT OF WAY OF FIRST ST. RECORD INFORMATION WAS USED. PER RECORD MAP, CORNER RECORD :2029 WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

SITE BENCHMARK:

SURVEY CONTROL
SET MAG NAIL
ELEVATION=100.00'
(ASSUMED DATUM)

376 FIRST STREET

LOS ALTOS, CALIFORNIA

TITLE SHEET

JMH WEISS, INC.
Civil Engineering ~ Surveying ~ Land Planning
1731 Technology Drive, Suite 880
San Jose, CA 95110
(408) 286-4555 FAX:(408) 286-4558
www.jmhweiss.com

JOB NO. 5154

DATE 12/14/2018

C0.0

LEGEND

-  LANDSCAPE TO BE REMOVED
-  CONCRETE TO BE REMOVED
-  AC TO BE REMOVED
-  1 TO BE REMOVED
-  2 TO BE RELOCATED
-  3 TO REMAIN
-  UTILITY LINE TO BE REMOVED

GENERAL DEMOLITION NOTES:

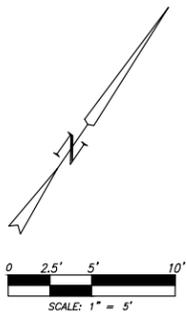
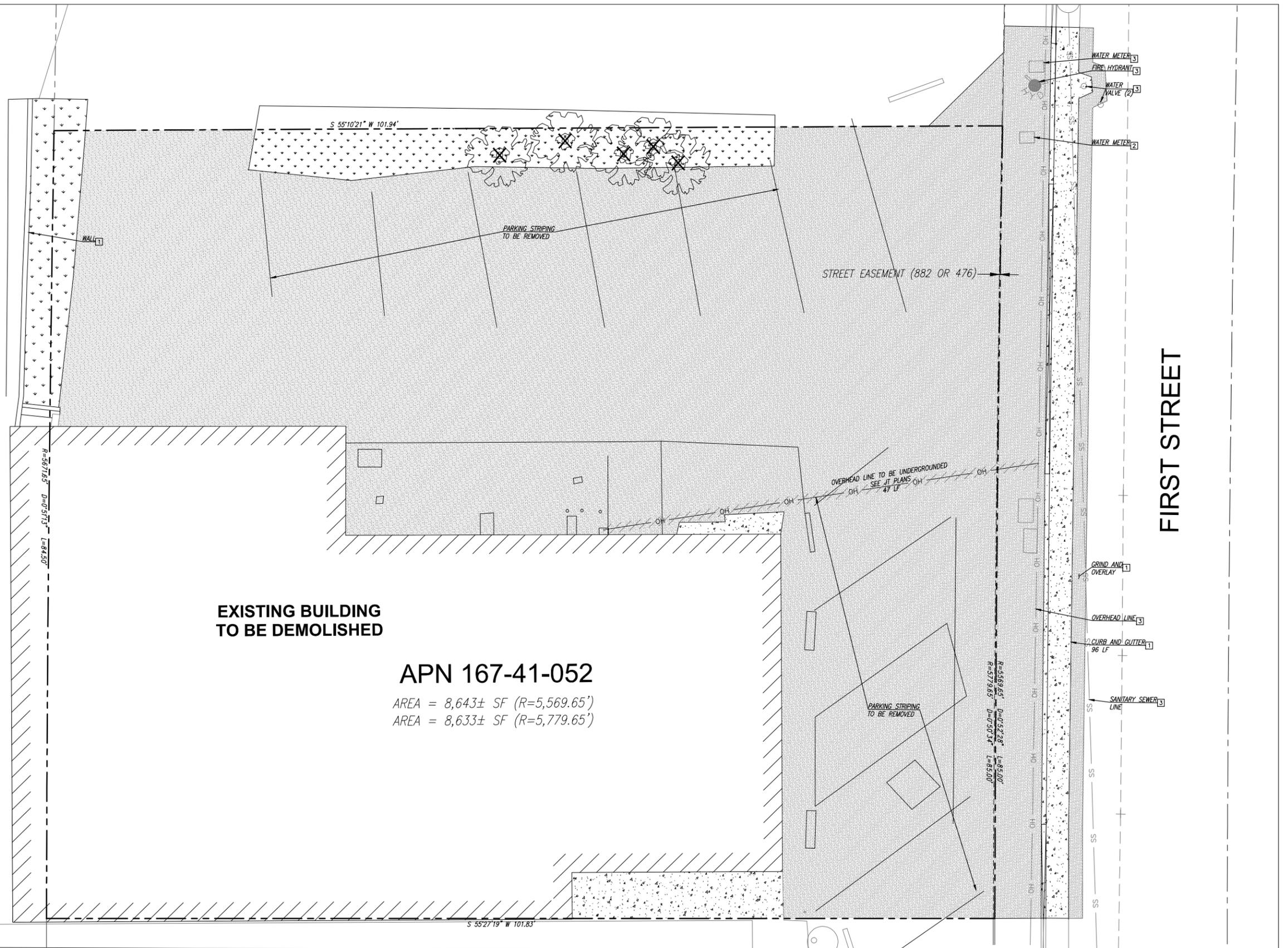
1. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY SIZES AND INVERTS. ANY DISCREPANCY BETWEEN THESE PLANS AND THE FIELD SHALL BE COMMUNICATED TO THE ENGINEER PRIOR TO DEMOLITION.
2. UTILITIES SHOWN ON THIS PLAN FOR REFERENCE ONLY. CONTRACTOR SHALL CONTACT U.S.A. (UNDERGROUND SERVICE ALERT) AT (800)-227-2600 FOR LOCATION OF ALL UTILITIES. THE OWNER/CONTRACTOR MAY HIRE AN INDEPENDENT CONSULTANT TO LOCATE AND VERIFY ALL ON-SITE UTILITIES AT THEIR OWN DISCRETION.
3. EXISTING ELECTRICAL AND GAS FACILITIES TO BE PROTECTED AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION OPERATIONS.
4. ALL PIPE ABANDONMENT AND/OR REMOVAL TO BE COMPLETED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. ALL REMOVAL AND BACKFILL OF EXISTING FACILITIES TO BE SUPERVISED BY THE GEOTECHNICAL ENGINEER.
5. ALL TREES TO BE DEMOLISHED UNLESS OTHERWISE NOTED.
6. WATER METERS SHALL BE REMOVED ONLY WITH APPROVAL OF OWNING AGENCY.
7. ALL WATER VALVES TO BE MARKED FOR LOCATION. CONTRACTOR TO MAINTAIN RECORD OF ALL EXISTING VALVES ON-SITE RELATED TO FIRE SUPPLY. NO HYDRANTS SHALL BE REMOVED UNLESS NOTED ON THIS PLAN.
8. SEE GEOTECHNICAL REPORT FOR OPTION OF MATERIAL RECYCLING INCLUDING ASPHALT, CONCRETE, AND BASE MATERIAL.
9. EXISTING UTILITY LINES TO REMAIN UNLESS OTHERWISE NOTED.

ADDITIONAL NOTES:

1. MAINTAIN DRIVEWAY ACCESS FOR ADJACENT PROPERTIES AT ALL TIMES. PROVIDE TRAFFIC SIGNAGE CONTROLS FOR ALL AREAS WHERE TRAFFIC WILL BE LIMITED DUE TO DEMOLITION ACTIVITIES.
2. CONTRACTOR TO PROVIDE EROSION CONTROL BMP'S FOR ALL EXPOSED AREAS DURING DEMOLITION, INCLUDING STOCKPILES. CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AT ACCESS POINTS TO DISTURBED AREAS.
3. AN AIR QUALITY PERMIT FOR DEMOLITION IS REQUIRED FROM THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT (BAQMD). CONTACT PHONE NUMBER IS 415-771-4000.
4. ALL WORK ALONG FIRST STREET REQUIRES AN ENCROACHMENT PERMIT FROM THE CITY OF LOS ALTOS.

FOOTHILL EXPRESSWAY

FIRST STREET



376 FIRST STREET

LOS ALTOS, CALIFORNIA

DEMOLITION PLAN

JMH WEISS, INC.
 Civil Engineering ~ Surveying ~ Land Planning
 1731 Technology Drive, Suite 880
 San Jose, CA 95110
 (408) 286-4555 FAX: (408) 286-4558
 www.jmhweiss.com

JOB NO. **5154**

DATE **12/14/2018**

C1.0

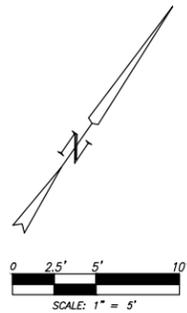
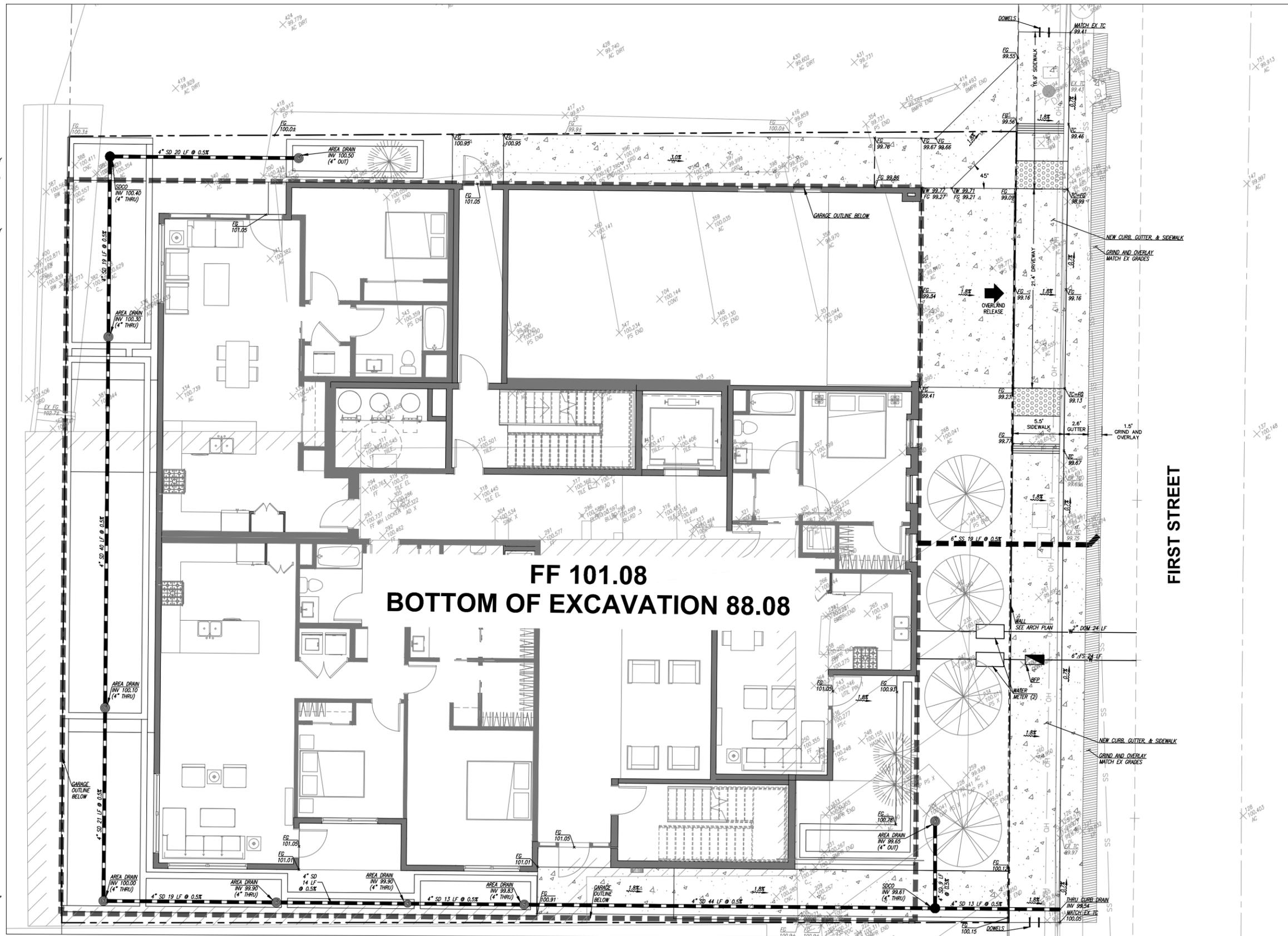
EARTH WORK QUANTITIES

CUT: 3,400 CY
FILL: 0 CY
EXPORT: 3,400 CY
IMPORT: 0 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HISHER OWN USE.

GENERAL NOTES

- SEE LANDSCAPE PLANS FOR TREE REMOVAL AND PAVING TREATMENT DETAILS.
- WATER SUPPLY REQUIREMENT: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THE PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). SEE CFC SEC. 507.2010 CFC SEC. 903.35 AND HEALTH AND SAFETY CODE 13114.7



376 FIRST STREET

LOS ALTOS, CALIFORNIA

GRADING, DRAINAGE, & UTILITY PLAN

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JOB NO. 5154

DATE 12/14/2018

C2.0

TREATMENT CONTROL SUMMARY TABLE (REGULATORY REQUIRED)							
ID AREA	TCM#	TYPE	DRAINAGE AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	FLOW-THROUGH PLANTER AREA REQUIRED (SF)	FLOW-THROUGH PLANTER AREA PROVIDED (SF)
A	1	THRU CURB DRAIN	8,761	7,451	1,310	-	-

FOOTHILL EXPRESSWAY

LEGEND

TCM LIMITS

STORMWATER EVALUATION FORM

FORM #120 - Stormwater Evaluation Form page 2 of 4

2. SURFACE DATA

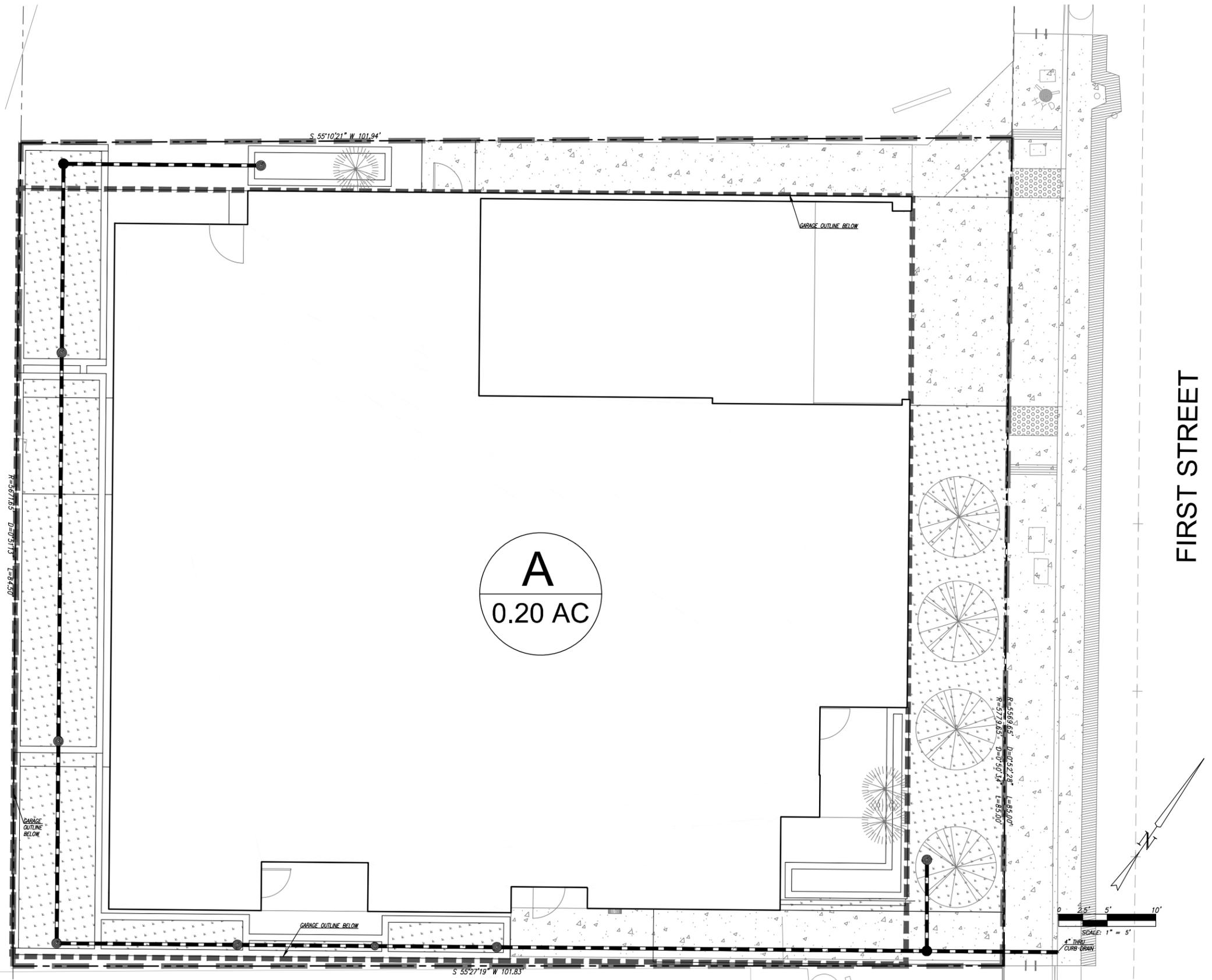
2.a. Enter the Project Phase Number (1, 2, 3, etc. or N/A if Not Applicable): 1

2.b. Total area of site: 0.20 acres

2.c. Total Existing Impervious Surfaces on site: 8,415 sq. ft.

2.d. Total area of site that will be disturbed: 0.22 acres

COMPARISON OF IMPERVIOUS AND PERVIOUS SURFACES AT PROJECT SITE	Existing Surface Area Disturbed (sq. ft.)		Proposed Surface (sq. ft.)		NET CALCULATION
	To Be Replaced	New	To Be Replaced	New	
2.e. IMPERVIOUS SURFACES					
Roof Area	1,779	4,783			
Parking	4,718	0			
Sidewalk, Patio, Driveways, Etc.	408	3,448	280		
Public Streets	0	0	0		
Private Streets	0	0	0		
Online form auto-calculates: Impervious Surfaces Total	6,895	8,231	280	220	6,435
2.f. PERVIOUS SURFACES					
Landscaped Area	206	36	1,374		
Pervious Paving	0	0	0		
Green Roof and other Pervious Surfaces	0	0	0		
Online form auto-calculates: Pervious Surfaces Total	206	36	1,374		1,616
2.g. Percentage of Site's Impervious Area Replacement $(\frac{2.f. + 2.e.}{2.c.}) \times 100$	Online form auto-calculates				88.93 %



FIRST STREET

376 FIRST STREET

LOS ALTOS, CALIFORNIA

STORMWATER CONTROL

PLAN **JMH WEISS, INC.**

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San Jose, CA 95110
(408) 286-4555 FAX: (408) 286-4558
www.jmhweiss.com

JOB NO. 5154
DATE 12/14/2018

C3.0



376 FIRST STREET

LOS ALTOS, CALIFORNIA

SITE PLAN



DAHLIN

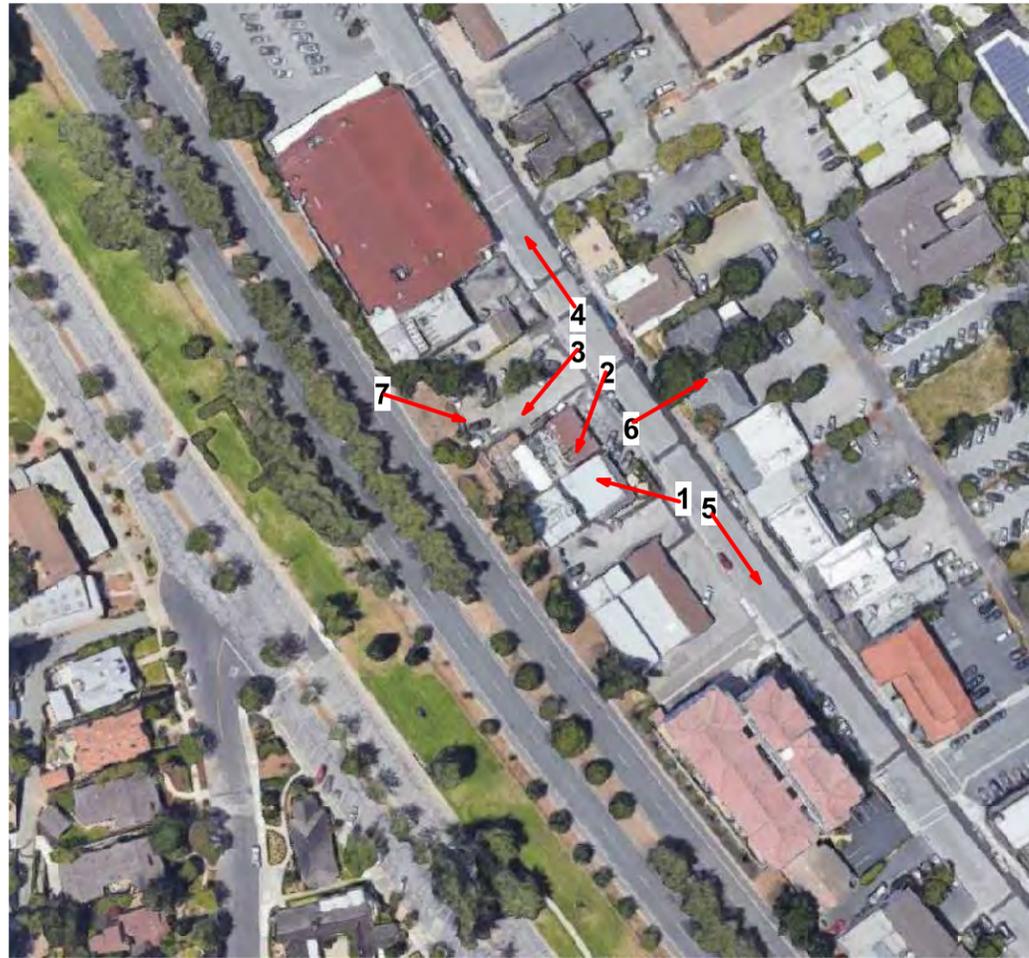
SCALE: 1"16" = 1'-0"

JOB NO. 1493.001

DATE 07/15/19

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.1



KEY ARIAL MAP (NTS)



1 - SOUTH EAST CORNER OF THE SITE



2 - NORTH EAST CORNER OF SITE



3 - EXISTING NORTH EAST PARKING IN THE SITE



4 - TOWARDS NORTH OF FIRST STREET



5 - OVERLOOKING FROM THE SITE TOWARDS EAST



6 - TOWARDS SOUTH OF FIRST STREET



7 - FROM THE EXPRESSWAY - NORTH WEST

376 FIRST STREET

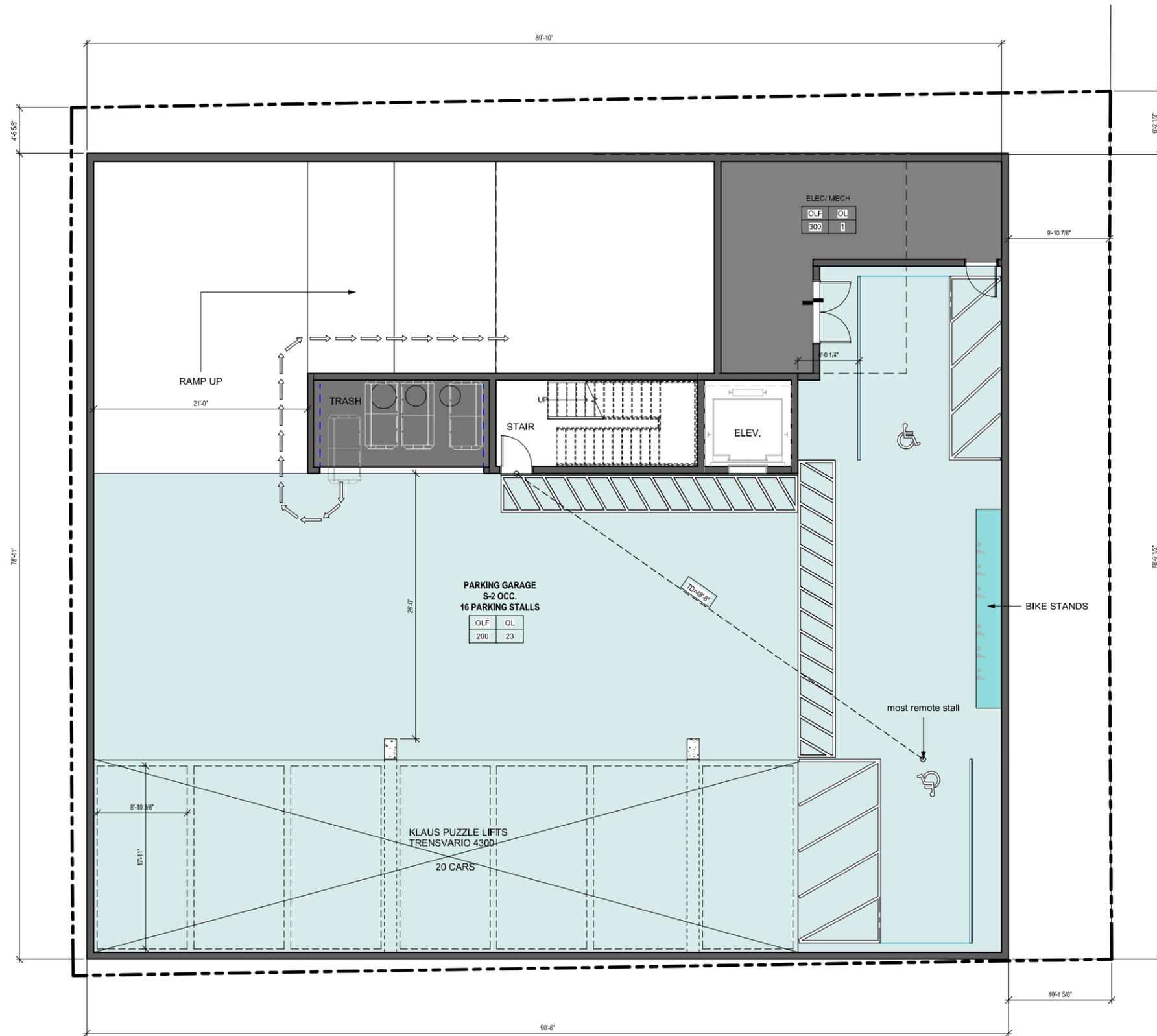
LOS ALTOS, CALIFORNIA

EXISTING SITE CONDITIONS



JOB NO. 1493.001
 DATE 07/15/19
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

A.2



Room Legend

- AMENITY
- PARKING GARAGE
- UTILITY

376 FIRST STREET

LOS ALTOS, CALIFORNIA

BASEMENT LEVEL PLAN



SCALE: 3/16" = 1'-0"
 JOB NO. 1493.001
 DATE 07/15/19
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

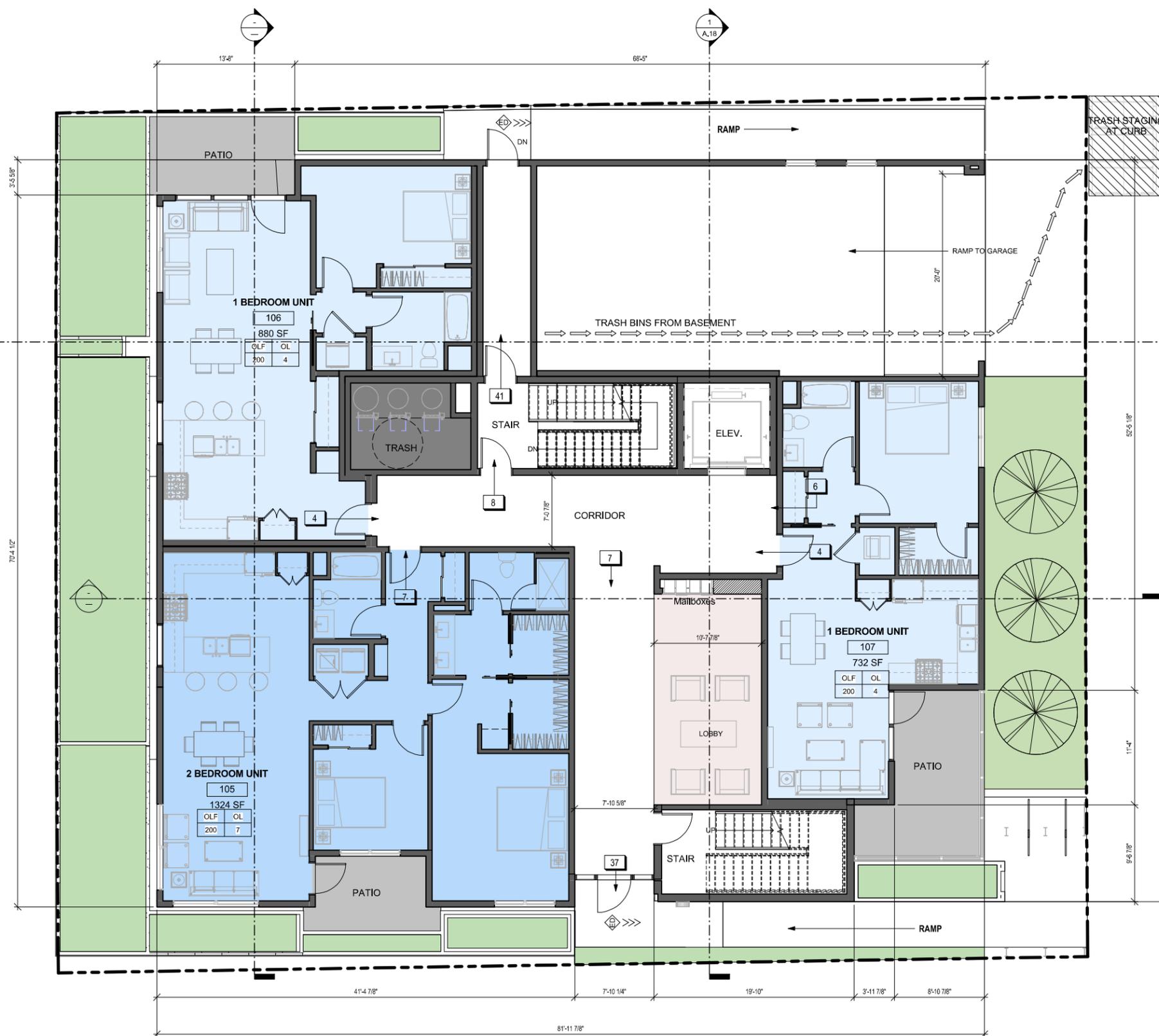
A.3

CODE ANALYSIS LEGEND

- EXIT SIGN, S.E.D.
- SEMI RECESSED FIRE EXTINGUISHER CABINET AND EXTINGUISHER (2A-10B-C) SEE EXTINGUISHERS SHALL BE MOUNTED ON THE WALL OR IN CABINETS, SUCH THAT THE TOP OF THE EXTINGUISHER IS NO MORE THAN FIVE(5) FEET ABOVE FLOOR LEVEL. EXTINGUISHER SHALL BE COMMERCIAL GRADE, CURRENTLY TAGGED, OR HAVE MANUFACTURER DATE CLEARLY MARKED ON THE EXTINGUISHER.
- OCCUPANCY EXITING LOAD (ARROW INDICATES DIRECTION OF TRAVEL)
- INTERIOR ACCESSIBLE PATH OF EGRESS: 10 OR MORE OCCUPANTS 44" MIN. WIDTH; LESS THAN 10 OCCUPANTS 36" MIN. WIDTH (CBC 1119A.3).
- MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1007.1.1
- 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SEC. 1007.1.1.2
- 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SEC. 1007.1.1
- ACTUAL DISTANCE BETWEEN EXITS PROVIDED.
- OCCUPANT LOAD FACTOR PER TABLE 1004.1
- OCCUPANT LOAD FOR THIS SPACE
- R-2** OCCUPANCY TYPE
- EXIT DISCHARGE TO PUBLIC WAY PER CBC 1028
- PROPERTY LINE
- KNOX BOX UNIT SHALL BE LOCATED ON THE EXTERIOR, RIGHT SIDE OF THE DOOR, BETWEEN FIVE AND SIX FEET ABOVE GROUND. PROVIDE MASTER KEYS AND ACCESS CONTROL CARDS TO OBTAIN ACCESS TO ALL AREAS WITHIN THE BUILDING, IN ADDITION, PROVIDE KEYS NECESSARY TO OPERATE FIRE ALARM CONTROL PANELS, ANNUNCIATORS, RESET OF ALARM DEVICES LOCKS FOR SPRINKLER CONTROL VALVES, FV, BACK FLOW, ETC. CONTACT THE FIRE DISTRICT FOR APPLICATION AND PURCHASE.
- SIGN: "THIS ROOM'S MAXIMUM OCCUPANCY IS _____ PERSONS" PER CBC 1004.3, MOUNT AT 7'-0" (U,Q,N) VERIFY LOCATION WITH ARCHITECT. # - NUMBER OF OCCUPANTS
- DOOR TO BE EQUIPT WITH PANIC HARDWARE - SEE PROJECT MANUAL AND HARDWARE SCHEDULE FOR MORE INFORMATION.
- EXTERIOR BUILDING SIGNAGE, SEE ELEVATIONS FOR FURTHER INFORMATION
- FIRE RISER ROOM SIGNAGE PER CFC 509.1
- FIRE ALARM CONTROL PANEL SIGNAGE PER CFC 509.1
- FIRE RATED DOOR PER CBC TABLE 716.5. PROVIDE SELF-CLOSING DEVICE (CBC 716.5.9) SEE DOOR SCHEDULE, SHEETS A7.1 SERIES
- PROPOSED LOCATION OF ANNUNCIATOR PANEL - ANNUNCIATOR PANEL IS PART A DEFERRED SUBMITTAL. FINAL PANEL LOCATION SHALL BE DETERMINED AT THE TIME OF SUBMITTAL BY CITY FIRE DEPARTMENT.
- FIRE RATED WINDOW, PER CBC (716.2), SEE WINDOW SCHEDULE SHEETS A7.2 SERIES

Room Legend

- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- CIRCULATION
- DECK
- LANDSCAPE
- LOBBY
- UTILITY



376 FIRST STREET

LOS ALTOS, CALIFORNIA

GROUND LEVEL PLAN



DAHLIN

SCALE: 3/16" = 1'-0"

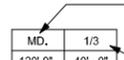
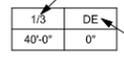
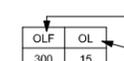
JOB NO. **1493.001**

DATE **07/15/19**

A.4

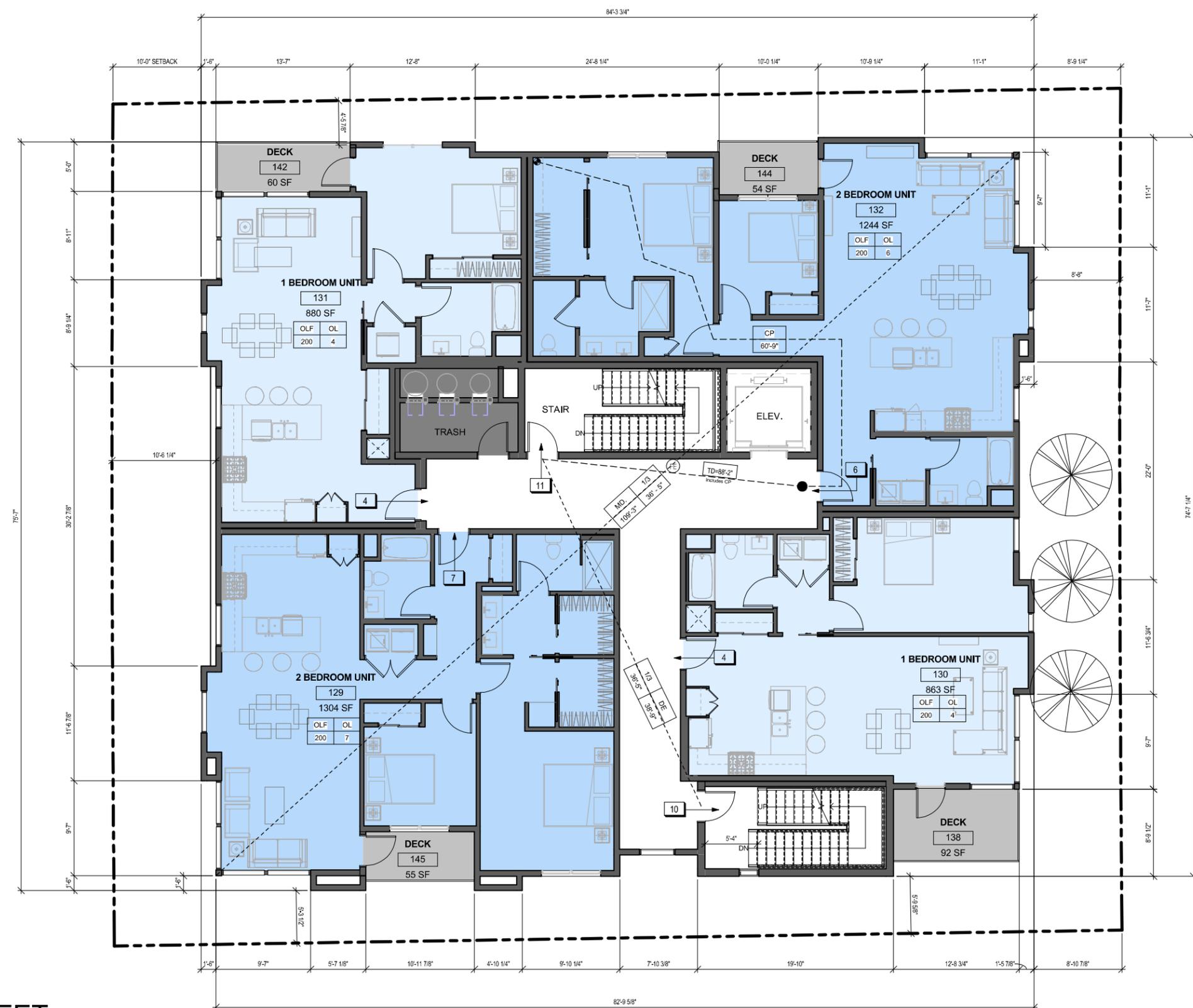
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

CODE ANALYSIS LEGEND

-  EXIT SIGN, S.E.D.
-  SEMI RECESSED FIRE EXTINGUISHER CABINET AND EXTINGUISHER (2A-10B-C) SEE EXTINGUISHERS
SHALL BE MOUNTED ON THE WALL OR IN CABINETS, SUCH THAT THE TOP OF THE EXTINGUISHER IS NO MORE THAN FIVE(5) FEET ABOVE FLOOR LEVEL.
EXTINGUISHER SHALL BE COMMERCIAL GRADE, CURRENTLY TAGGED, OR HAVE MANUFACTURER DATE CLEARLY MARKED ON THE EXTINGUISHER.
-  OCCUPANCY EXTING LOAD (ARROW INDICATES DIRECTION OF TRAVEL).
-  INTERIOR ACCESSIBLE PATH OF EGRESS, 10 OR MORE OCCUPANTS 44" MIN. WIDTH; LESS THAN 10 OCCUPANTS 36" MIN. WIDTH (CBC 1119A.3).
-  MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1007.1.1
-  1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SEC. 1007.1.1,2
-  1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SEC. 1007.1.1
-  ACTUAL DISTANCE BETWEEN EXITS PROVIDED.
-  OCCUPANT LOAD FACTOR PER TABLE 1004.1
-  OCCUPANT LOAD FOR THIS SPACE
- R-2** OCCUPANCY TYPE
-  EXIT DISCHARGE TO PUBLIC WAY PER CBC 1028
-  PROPERTY LINE
-  KNOX BOX UNIT SHALL BE LOCATED ON THE EXTERIOR, RIGHT SIDE OF THE DOOR, BETWEEN FIVE AND SIX FEET ABOVE GROUND. PROVIDE MASTER KEYS AND ACCESS CONTROL CARDS TO OBTAIN ACCESS TO ALL AREAS WITHIN THE BUILDING. IN ADDITION, PROVIDE KEYS NECESSARY TO OPERATE FIRE ALARM CONTROL PANELS, ANNUNCIATORS, RESET OF ALARM DEVICES LOCKS FOR SPRINKLER CONTROL VALVES, FIV. BACK FLOW, ETC. CONTACT THE FIRE DISTRICT FOR APPLICATION AND PURCHASE.
-  SIGN: "THIS ROOM'S MAXIMUM OCCUPANCY IS # PERSONS" PER CBC 1004.3. MOUNT AT 7'-0" (U.O.N) VERIFY LOCATION WITH ARCHITECT. # - NUMBER OF OCCUPANTS
-  DOOR TO BE EQUIP WITH PANIC HARDWARE - SEE PROJECT MANUAL AND HARDWARE SCHEDULE FOR MORE INFORMATION.
-  EXTERIOR BUILDING SIGNAGE, SEE ELEVATIONS FOR FURTHER INFORMATION
-  FIRE RISER ROOM SIGNAGE PER CFC 509.1
-  FIRE ALARM CONTROL PANEL SIGNAGE PER CFC 509.1
-  FIRE RATED DOOR PER CBC TABLE 716.5. PROVIDE SELF-CLOSING DEVICE (CBC 716.5.9) SEE DOOR SCHEDULE, SHEETS A7.1 SERIES
-  PROPOSED LOCATION OF ANNUNCIATOR PANEL - ANNUNCIATOR PANEL IS PART A DEFERRED SUBMITTAL. FINAL PANEL LOCATION SHALL BE DETERMINED AT THE TIME OF SUBMITTAL BY CITY FIRE DEPARTMENT.
-  FIRE RATED WINDOW, PER CBC (716.2), SEE WINDOW SCHEDULE SHEETS A7.2 SERIES

Room Legend

-  1 BEDROOM UNIT
-  2 BEDROOM UNIT
-  CIRCULATION
-  DECK
-  UTILITY



376 FIRST STREET
LOS ALTOS, CALIFORNIA

SECOND LEVEL PLAN

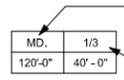
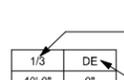
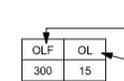


SCALE: 3/16" = 1'-0"

JOB NO. **1493.001**
DATE **07/15/19**
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.5

CODE ANALYSIS LEGEND

-  EXIT SIGN, S.E.D.
-  SEMI RECESSED FIRE EXTINGUISHER CABINET AND EXTINGUISHER (2A-10B C) SEE EXTINGUISHERS SHALL BE MOUNTED ON THE WALL OR IN CABINETS, SUCH THAT THE TOP OF THE EXTINGUISHER IS NO MORE THAN FIVE(5) FEET ABOVE FLOOR LEVEL. EXTINGUISHER SHALL BE COMMERCIAL GRADE, CURRENTLY TAGGED, OR HAVE MANUFACTURER DATE CLEARLY MARKED ON THE EXTINGUISHER.
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-  1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SEC. 1007.1.1.2
-  1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SEC. 1007.1.1
-  ACTUAL DISTANCE BETWEEN EXITS PROVIDED.
-  OCCUPANT LOAD FACTOR PER TABLE 1004.1
-  OCCUPANT LOAD FOR THIS SPACE
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-  EXIT DISCHARGE TO PUBLIC WAY PER CBC 1028
-  PROPERTY LINE
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-  FIRE RATED WINDOW, PER CBC (716.2), SEE WINDOW SCHEDULE SHEETS A7.2 SERIES

- Room Legend**
-  1 BEDROOM UNIT
 -  2 BEDROOM UNIT
 -  CIRCULATION
 -  DECK
 -  UTILITY



376 FIRST STREET

LOS ALTOS, CALIFORNIA

THIRD LEVEL PLAN



DAHLIN

SCALE: 3/16" = 1'-0"

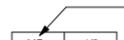
JOB NO. 1493.001

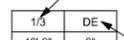
DATE 07/15/19

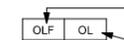
A.6

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

CODE ANALYSIS LEGEND

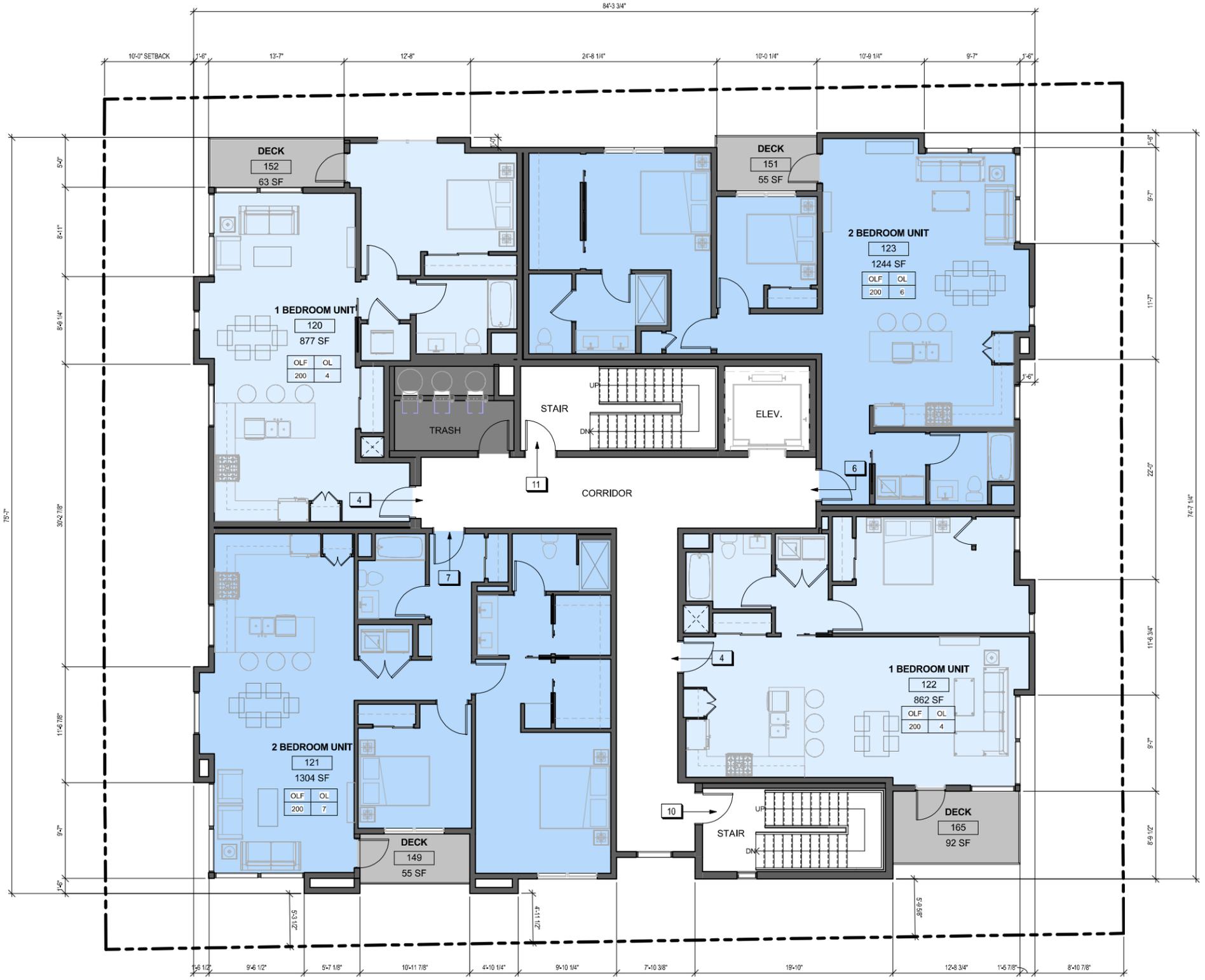
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-  MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1007.1.1

MD.	1/3
120'-0"	40'-0"
-  1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SEC. 1007.1.1.2

1/3	DE
40'-0"	0"
-  ACTUAL DISTANCE BETWEEN EXITS PROVIDED.

OLF	OL
300	15
-  OCCUPANT LOAD FACTOR PER TABLE 1004.1

OLF	OL
300	15
-  OCCIPANT LOAD FOR THIS SPACE
- R-2** OCCUPANCY TYPE
-  EXIT DISCHARGE TO PUBLIC WAY PER CBC 1028
-  PROPERTY LINE
-  KNOX BOX UNIT SHALL BE LOCATED ON THE EXTERIOR, RIGHT SIDE OF THE DOOR, BETWEEN FIVE AND SIX FEET ABOVE GROUND. PROVIDE MASTER KEYS AND ACCESS CONTROL CARDS TO OBTAIN ACCESS TO ALL AREAS WITHIN THE BUILDING. IN ADDITION, PROVIDE KEYS NECESSARY TO OPERATE FIRE ALARM CONTROL PANELS, ANNUNCIATORS, RESET OF ALARM DEVICES LOCKS FOR SPRINKLER CONTROL VALVES, PIV, BACK FLOW, ETC. CONTACT THE FIRE DISTRICT FOR APPLICATION AND PURCHASE.
-  SIGN: "THIS ROOM'S MAXIMUM OCCUPANCY IS _____ PERSONS" PER CBC 1004.3, MOUNT AT 7'-0" (U.O.N) VERIFY LOCATION WITH ARCHITECT. # - NUMBER OF OCCUPANTS
-  DOOR TO BE EQUIP* WITH PANIC HARDWARE - SEE PROJECT MANUAL AND HARDWARE SCHEDULE FOR MORE INFORMATION.
-  EXTERIOR BUILDING SIGNAGE, SEE ELEVATIONS FOR FURTHER INFORMATION
-  FIRE RISER ROOM SIGNAGE PER CFC 509.1
-  FIRE ALARM CONTROL PANEL SIGNAGE PER CFC 509.1
-  FIRE RATED DOOR PER CBC TABLE 716.5. PROVIDE SELF-CLOSING DEVICE (CBC 716.5.9) SEE DOOR SCHEDULE, SHEETS A7.1 SERIES
-  PROPOSED LOCATION OF ANNUNCIATOR PANEL - ANNUNCIATOR PANEL IS PART A DEFERRED SUBMITTAL. FINAL PANEL LOCATION SHALL BE DETERMINED AT THE TIME OF SUBMITTAL BY CITY FIRE DEPARTMENT.
-  FIRE RATED WINDOW, PER CBC (716.2). SEE WINDOW SCHEDULE SHEETS A7.2 SERIES



- Room Legend**
-  1 BEDROOM UNIT
 -  2 BEDROOM UNIT
 -  CIRCULATION
 -  DECK
 -  UTILITY

376 FIRST STREET
 LOS ALTOS, CALIFORNIA

FOURTH LEVEL PLAN



SCALE: 3/16" = 1'-0"

JOB NO. **1493.001**
 DATE **07/15/19**
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

A.7

CODE ANALYSIS LEGEND

- EXIT SIGN, S.E.D.
- SEMI RECESSED FIRE EXTINGUISHER CABINET AND EXTINGUISHER (2A-10B-C) SEE EXTINGUISHERS SHALL BE MOUNTED ON THE WALL OR IN CABINETS, SUCH THAT THE TOP OF THE EXTINGUISHER IS NO MORE THAN FIVE(5) FEET ABOVE FLOOR LEVEL. EXTINGUISHER SHALL BE COMMERCIAL GRADE, CURRENTLY TAGGED, OR HAVE MANUFACTURER DATE CLEARLY MARKED ON THE EXTINGUISHER.
- OCCUPANCY EXITING LOAD (ARROW INDICATES DIRECTION OF TRAVEL).
- INTERIOR ACCESSIBLE PATH OF EGRESS, 10 OR MORE OCCUPANTS 44" MIN. WIDTH; LESS THAN 10 OCCUPANTS 36" MIN. WIDTH (CBC 1119A.3).
- MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1007.1.1

MD.	1/3
120'-0"	40'-0"
- 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SEC. 1007.1.1.2

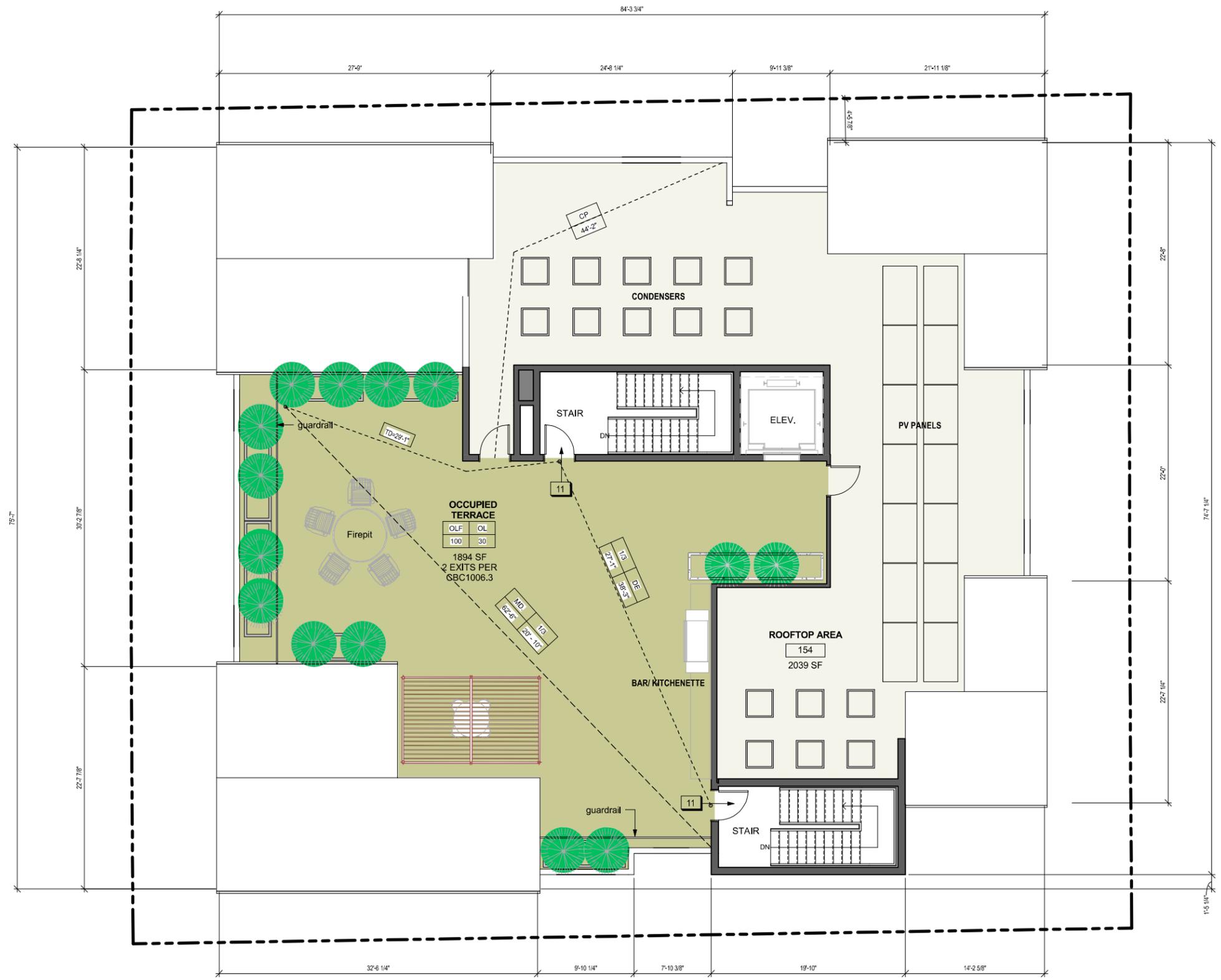
1/3	DE
40'-0"	0"
- 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SEC. 1007.1.1

1/3	DE
40'-0"	0"
- ACTUAL DISTANCE BETWEEN EXITS PROVIDED.
- OCCUPANT LOAD FACTOR PER TABLE 1004.1

OLF	OL
300	15
- OCCUPANT LOAD FOR THIS SPACE
- R-2** OCCUPANCY TYPE
- EXIT DISCHARGE TO PUBLIC WAY PER CBC 1028
- PROPERTY LINE
- KNOX BOX UNIT SHALL BE LOCATED ON THE EXTERIOR, RIGHT SIDE OF THE DOOR, BETWEEN FIVE AND SIX FEET ABOVE GROUND, PROVIDE MASTER KEYS AND ACCESS CONTROL CARDS TO OBTAIN ACCESS TO ALL AREAS WITHIN THE BUILDING. IN ADDITION, PROVIDE KEYS NECESSARY TO OPERATE FIRE ALARM CONTROL PANELS, ANNUNCIATORS, RESET OF ALARM DEVICES LOCKS FOR SPRINKLER CONTROL VALVES, P.W. BACK FLOW, ETC. CONTACT THE FIRE DISTRICT FOR APPLICATION AND PURCHASE.
- SIGN - THIS ROOM'S MAXIMUM OCCUPANCY IS _____ PERSONS* PER CBC 1004.3. MOUNT AT 7'-0" (U.O.N) VERIFY LOCATION WITH ARCHITECT. # - NUMBER OF OCCUPANTS
- DOOR TO BE EQUIP WITH PANIC HARDWARE - SEE PROJECT MANUAL AND HARDWARE SCHEDULE FOR MORE INFORMATION.
- EXTERIOR BUILDING SIGNAGE, SEE ELEVATIONS FOR FURTHER INFORMATION
- FIRE RISER ROOM SIGNAGE PER CFC 509.1
- FIRE ALARM CONTROL PANEL SIGNAGE PER CFC 509.1
- FIRE RATED DOOR PER CBC TABLE 716.5. PROVIDE SELF-CLOSING DEVICE (CBC 716.5.9) SEE DOOR SCHEDULE, SHEETS A7.1 SERIES
- PROPOSED LOCATION OF ANNUNCIATOR PANEL - ANNUNCIATOR PANEL IS PART A DEFERRED SUBMITTAL. FINAL PANEL LOCATION SHALL BE DETERMINED AT THE TIME OF SUBMITTAL BY CITY FIRE DEPARTMENT.
- FIRE RATED WINDOW, PER CBC (716.2). SEE WINDOW SCHEDULE SHEETS A7.2 SERIES

Room Legend

- CIRCULATION
- OCCUPIED TERRACE
- ROOFTOP AREA
- UTILITY



376 FIRST STREET

LOS ALTOS, CALIFORNIA

ROOF LEVEL PLAN



SCALE: 3/16" = 1'-0"

JOB NO. **1493.001**
 DATE **07/15/19**
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

A.8



UNIT 1A | 1 BEDROOM

Unit Areas :732 SF
Deck Area: 173 SF



UNIT 1B | 1 BEDROOM

Unit Areas :880 SF
Deck Area: 60 SF

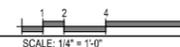
376 FIRST STREET

LOS ALTOS, CALIFORNIA

UNIT PLANS - 1 BEDROOM

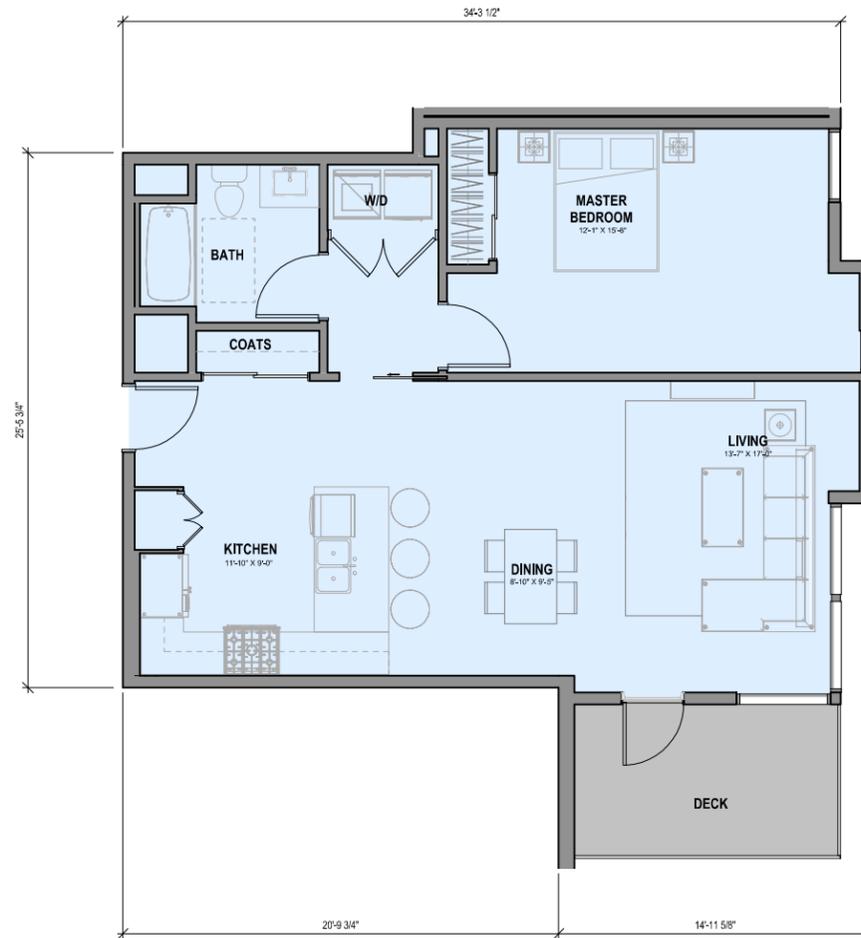


DAHLIN



SCALE: 1/4" = 1'-0"
JOB NO. 1493.001
DATE 07/15/19
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.9



UNIT 1C | 1 BEDROOM
 Unit Areas :858 SF
 Deck Area: 92 SF

376 FIRST STREET

LOS ALTOS, CALIFORNIA

UNIT PLANS - 1 BEDROOM



DAHLIN

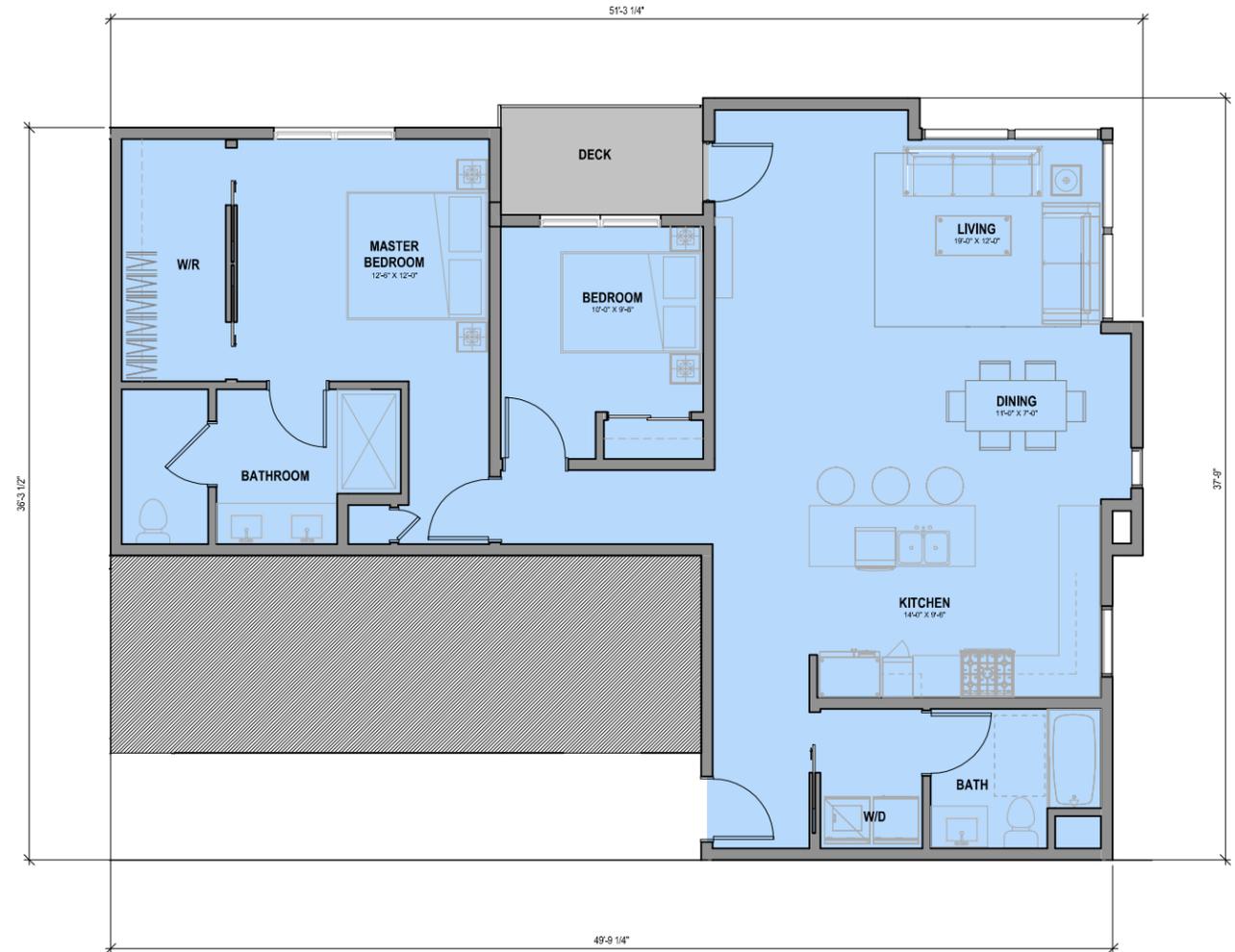


JOB NO. **1493.001**
 DATE **07/15/19**
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

A.10



UNIT 2A | 2 BEDROOM
 Unit Areas :1304 SF
 Deck Area: 55 SF



UNIT 2A | 2 BEDROOM
 Unit Areas :1244 SF
 Deck Area: 55 SF

376 FIRST STREET

LOS ALTOS, CALIFORNIA

UNIT PLANS - 2 BEDROOM



SCALE: 1/4" = 1'-0"

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 Pleasanton, CA 94588
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A.11



376 FIRST STREET

LOS ALTOS, CALIFORNIA

ELEVATION - EAST



SCALE: 1/4" = 1'-0"
 JOB NO. 1493.001
 DATE 07/15/19
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

DAHLIN

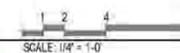
A.12



376 FIRST STREET

LOS ALTOS, CALIFORNIA

ELEVATION - WEST



JOB NO. 1493.001
 DATE 07/15/19
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

A.13



376 FIRST STREET

LOS ALTOS, CALIFORNIA

ELEVATION - NORTH



SCALE: 1/8" = 1'-0"

JOB NO. 1493.001

DATE 07/15/19

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.14



376 FIRST STREET

LOS ALTOS, CALIFORNIA

ELEVATION - SOUTH



SCALE: 1/4" = 1'-0"

JOB NO. 1493.001
 DATE 07/15/19
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

A.15



STONE VENEER



STUCCO - WHITE



STUCCO - GREY



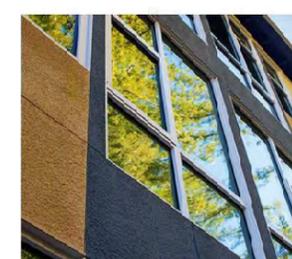
WOOD SIDING



TRELLIS - ROOF DECK



RAILING



RECESSED ALUMINUM WINDOW

376 FIRST STREET

LOS ALTOS, CALIFORNIA

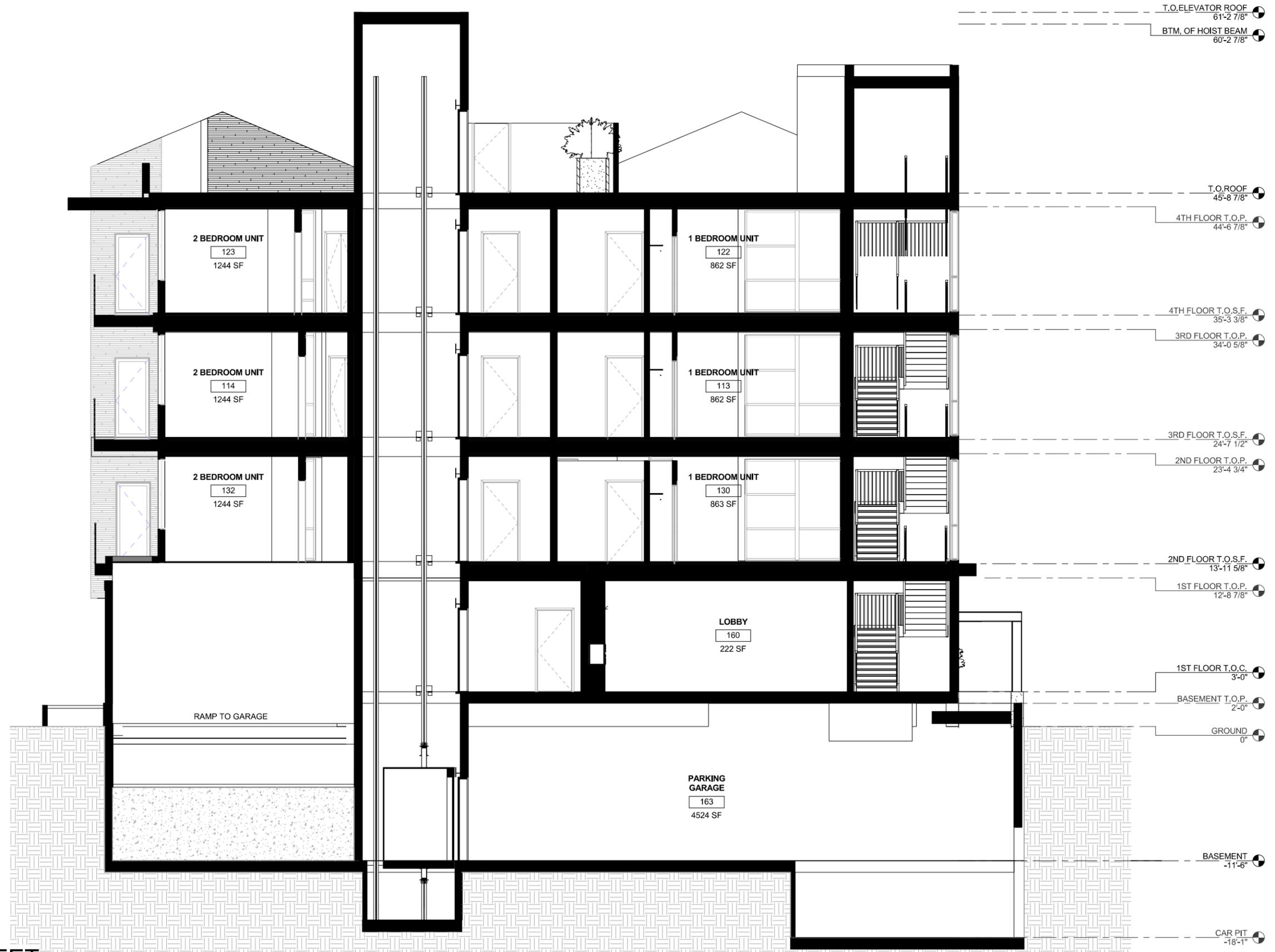
MATERIAL BOARD



SCALE: 1/8" = 1'-0"

JOB NO. 1493.001
 DATE 07/15/19
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

A.17



376 FIRST STREET

LOS ALTOS, CALIFORNIA

SECTIONS



SCALE: 1/4" = 1'-0"

JOB NO. 1493.001
 DATE 07/15/19
 5865 Owens Drive
 Pleasanton, CA 94588
 925-251-7200

A.18



376 FIRST STREET

LOS ALTOS, CALIFORNIA

SECTIONS



SCALE: 1/4" = 1'-0"

JOB NO. 1493.001

DATE 07/15/19

5865 Owens Drive
Pleasanton, CA 94588
925-251-7200

A.19



376 FIRST STREET

LOS ALTOS, CALIFORNIA

PERSPECTIVES



JOB NO. 1493.001
DATE 07/15/19
5865 Owens Drive
Pleasanton, CA 94588
925-251-7200