



DRAWING INDEX

TITLE SHEET	T1
PROJECT DATA SHEET	T2
CONTEXT - LOS ALTOS MULTI-FAMILY	A01
CONTEXT - 4846 & 4856 EL CAMINO REAL VICINITY	A02
CONTEXT - SITE PHOTOS	A03
CONTEXT - SAMPLE DETAILS	A04
LOWER LEVEL BASEMENT FLOOR PLAN	A0
UPPER LEVEL BASEMENT FLOOR PLAN	A1
ARCHITECTURAL SITE PLAN	A2.1
FIRST FLOOR PLAN	A2.2
SECOND FLOOR PLAN	A3
THIRD FLOOR PLAN	A4
FOURTH FLOOR PLAN	A5
FIFTH FLOOR PLAN	A6
ROOF PLAN	A7
FRONT ELEVATION	A8
RIGHT ELEVATION	A9
REAR ELEVATION	A10
LEFT ELEVATION	A11
BUILDING SECTION A	A12
BUILDING SECTION B	A13
ELEVATOR SECTIONS	A14
ELEVATOR CUT SHEET	A15
UNIT 1A FLOOR PLAN	A16
UNIT 1B FLOOR PLAN	A17
UNIT 1C FLOOR PLAN	A18
UNIT 2A ALT FLOOR PLAN	A19
UNIT 2B FLOOR PLAN	A20
UNIT 2C FLOOR PLAN	A21
UNIT 2D FLOOR PLAN	A22
UNIT 2E FLOOR PLAN	A23
UNIT 2F FLOOR PLAN	A24
UNIT 2G FLOOR PLAN	A25
UNIT 2H FLOOR PLAN	A26
UNIT 3A FLOOR PLAN	A27
UNIT 3B FLOOR PLAN	A28
UNIT 3C FLOOR PLAN	A29
UNIT 3D FLOOR PLAN	A30
UNIT 3E FLOOR PLAN	A31
BUILDING PERSPECTIVE	A32
BUILDING PERSPECTIVE	A33
BUILDING PERSPECTIVE	A34
VIGNETTE PERSPECTIVES	A35
BUILDING PERSPECTIVES	A36
SHADOW STUDY	A37
SHADOW STUDY	A38
OPEN SPACE	A39
WALL SECTIONS & DETAILS	A40
WALL SECTIONS & DETAILS	A41
WALL SECTIONS & DETAILS	A42
GROUND FLOOR PRELIMINARY LANDSCAPE PLAN	L-1
ROOF DECK PRELIMINARY LANDSCAPE PLAN	L-2
LANDSCAPING DESIGN IMAGES	L-3
TITLE SHEET	TM-1.0
TENTATIVE PARCEL MAP	TM-1.1
GRADING AND DRAINAGE PLAN	TM-2.0
STORMWATER CONTROL & UTILITY PLAN	TM-3.0
STORMWATER CONTROL DETAILS	TM-3.1
4856 TOPOGRAPHIC SURVEY	SU1
4846 TOPOGRAPHIC SURVEY	SU1
TREE NUMBER EXHIBIT	EX-T
PRELIMINARY CONSTRUCTION MANAGEMENT PLAN	CMP 1
PRELIMINARY CONSTRUCTION MANAGEMENT PLAN	CMP 2

PROJECT DIRECTORY

OWNER

LUXONE LLC
572 CHIMALUS DR.
PALO ALTO, CA 94306
PHONE: (650) 996-1114
EMAIL: MIRCEA@ALTOSONE.COM

ARCHITECT

CONTACT: JEFF POTTS
SDG ARCHITECTS INC.
3361 WALNUT BLVD. SUITE 120
BRENTWOOD, CA 94513
PHONE: (925) 634-7000
EMAIL: JPOTTS@STRAUSSDESIGN.COM

CIVIL ENGINEER

CONTACT : PETER CARLINO
LEA & BRAZE ENGINEERING, INC
2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CA 94545
PHONE: (510) 887-4086
EMAIL: PCARLINO@LEABRAZE.COM

LANDSCAPE ARCHITECT

CONTACT : SCOTT E. FEUER
ENVIRONMENTAL FORESIGHT, INC.
1700 N. BROADWAY, SUITE 401
WALNUT CREEK, CA 94596
PHONE: (925) 945-0300
EMAIL: SFEUER@ENVIRONMENTALFORESIGHT.COM

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

T1 TITLE SHEET

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.

UNIT AREA SUMMARY

UNIT	SQUARE FOOTAGE	NUMBER OF UNITS IN BUILDING	TOTAL SQ FT. OF UNITS IN BUILDING	UNIT MAKEUP		OCC. LOAD PER UNIT	TOTAL OCC. LOAD
				BEDROOMS	BATHS		
1A	782	5	3,910	1	1.0	3.91	19.55
1B	785	3	2,355	1	1.0	3.93	11.78
1C	902	1	902	1	1.0	4.51	4.51
2A	1081	2	2,162	2	2.0	5.41	10.81
2B	1169	9	10,521	2	2.0	5.85	52.61
2C	1308	2	2,616	2	2.0	6.54	13.08
2D	1353	3	4,059	2	2.0	6.77	20.30
2E	1430	3	4,290	2	2.0	7.15	21.45
2F	1407	3	4,221	2	2.0	7.04	21.11
2G	1451	3	4,353	2	2.5	7.26	21.77
2H	1546	5	7,730	2	2.5	7.73	38.65
3A	1569	3	4,707	3	2.0	7.85	23.54
3B	2053	2	4,106	3	3.5	10.27	20.53
3C	2159	2	4,318	3	3.5	10.80	21.59
3D	2140	2	4,280	3	3.5	10.70	21.40
3E	2302	2	4,604	3	3.5	11.51	23.02
FITNESS	791	1	791	0	0.0	3.96	3.96
FAMILY/GATHERING	911	1	911	0	0.0	4.56	4.56
TOTAL BUILDING		50	70,836				354.18

AFFORDABLE HOUSING / DENSITY BONUS

AFFORDABLE HOUSING

- LOT SIZE: 31,576 / 43560 = .72 AC
ALLOWABLE DENSITY: .725 AC x 38 DU/AC = 27.55 = 28 UNITS
- AFFORDABLE HOUSING PER LAMC
28 UNITS x 10% BMR = 2.8 = 3 BMR

DENSITY BONUS

- AFFORDABLE UNITS = 8 UNITS
2 MODERATE / 6 VERY LOW
6 VERY LOW / 28 = 21.4 % = 75.25 % DENSITY BONUS
28 UNITS X 75.25 % = 50 UNITS
ACTUAL DENSITY = 69.4 DU/AC
PROPOSED BUILDING CONFIGURATION
(4) 1 BEDROOM UNITS 600 SF - 800 SF
(28) 2 BEDROOM UNITS 1100 SF - 1600 SF
(10) 3 BEDROOM UNITS 1700 SF - 2150 SF
PROPOSED BMR UNITS
(6) 1 BEDROOM VERY LOW INCOME
(1) 2 BEDROOM MODERATE INCOME
(1) 3 BEDROOM MODERATE INCOME

INCENTIVES (15% VERY LOW = 3 INCENTIVES)

	STANDARD	REQUESTED
1. REAR YARD SETBACK DECREASE BY 20% (4th AND 5th FLOORS ONLY)	100'	60'
2. REAR YARD SETBACK DECREASE BY ADDITIONAL 20 % (4th AND 5th FLOORS ONLY)	100'	60'
3. HEIGHT INCREASE		
FRONT PORTION OF BUILDING INCLUDING INCREASED SETBACK AREA	45'	58'
REAR PORTION OF BUILDING OUTSIDE INCREASED SETBACK AREA	30'	35'

WAIVERS

1. ELEVATOR TOWER HEIGHT INCREASE	12'	17'-10.75"
2. 118 SF ROOF STRUCTURE INCREASE*	(4%) 824 SF	(4.6%) 942 SF

*INCLUDES ELEVATORS, STAIRS, AND TRASH ENCLOSURE

PARKING STANDARDS

- PARKING STANDARDS (PER LAMC 14.28.040 SECTION G2a)
REQUIRED SPACES
1 SPACE PER 1 BEDROOM UNIT: 9 SPACES
2 SPACES PER 2+ BEDROOM UNIT: 82 SPACES
TOTAL REQUIRED: 91 SPACES
INCLUDES GUEST AND HANDICAPPED SPACES
- PARKING PROVIDED
TANDEM SPACES: 40 SPACES
STANDARD SPACES: 65 SPACES
ADA SPACES: 3 SPACES
TOTAL PROVIDED: 108 SPACES

PROJECT DATA SUMMARY

ADDRESS: 4846 & 4856 EL CAMINO REAL
LOS ALTOS, CA 94022

ZONING: COMMERCIAL THOROUGHFARE (CT)
SITE AREA: 31,576 S.F. (.725 ACRES)

OCCUPANCY: S2 / R2
CONSTRUCTION TYPE: IA / IIIA

RESIDENTIAL UNITS: 50 UNITS
ACTUAL DENSITY: 68.96 DU/AC

UNIT SUMMARY

(9) 1 BEDROOM UNITS
(30) 2 BEDROOM UNITS
(11) 3 BEDROOM UNITS

BUILDING AREA SUMMARY

LOWER BASEMENT FLOOR: 25,428 S.F.
UPPER BASEMENT FLOOR: 25,428 S.F.
FIRST FLOOR: 18,055 S.F.
SECOND FLOOR: 18,721 S.F.
THIRD FLOOR: 18,623 S.F.
FOURTH FLOOR: 16,760 S.F.
FIFTH FLOOR: 16,760 S.F.
TOTAL LIVING: 88,919 S.F.
GARAGE: 50,856 S.F.

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

T2 PROJECT DATA SHEET

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



86 THIRD STREET



86 THIRD STREET



100 FIRST STREET



396 FIRST STREET



960 NORTH SAN ANTONIO ROAD



4750 EL CAMINO REAL

ALTOS ONE

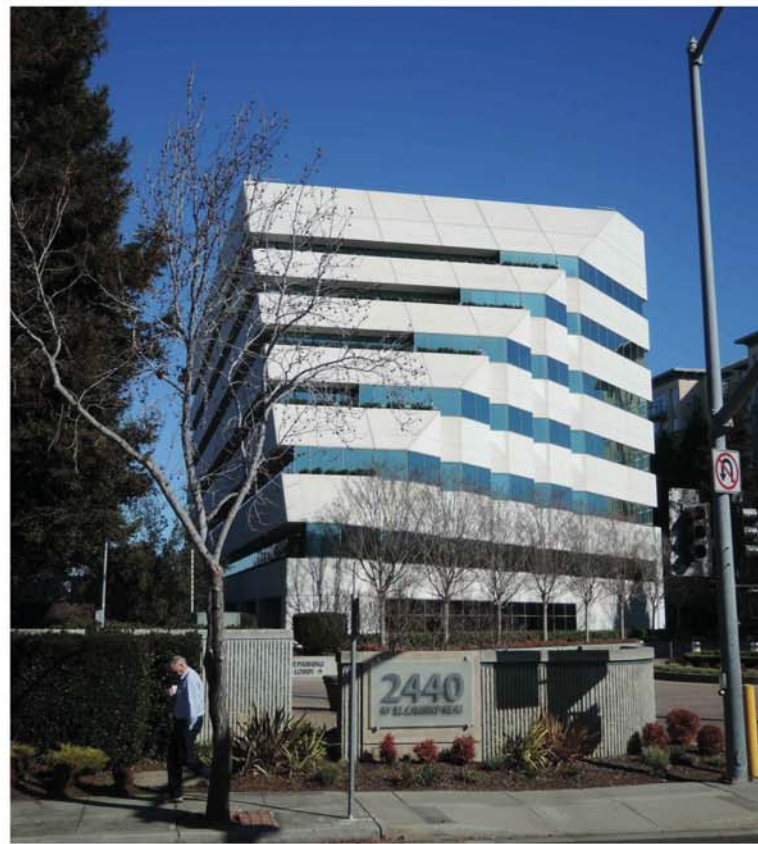
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

LOS ALTOS MULTI-FAMILY





2440 EL CAMINO REAL



2400EL CAMINO REAL



2350 EL CAMINO REAL



2464 EL CAMINO REAL



4880 EL CAMINO REAL



JACK-IN-THE-BOX

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

4846 & 4856 EL CAMINO REAL VICINITY





EL CAMINO VIEW FROM NORTHEAST



EL CAMINO VIEW



VIEW FROM ACROSS EL CAMINO



VIEW TOWARDS REAR PROPERTY LINE



VIEW TOWARDS REAR PROPERTY LINE



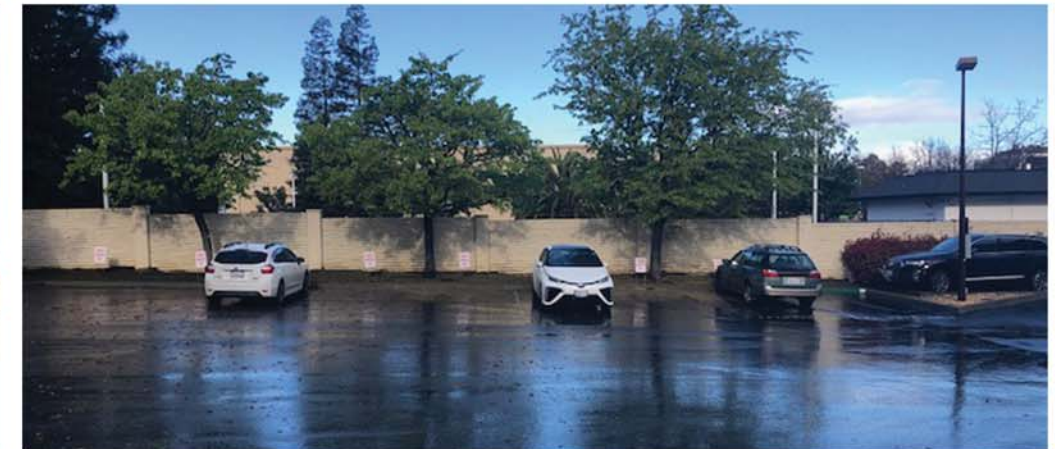
VIEW FROM REAR PROPERTY LINE



VIEW FROM WEST (SEE'S CANDIES)



VIEW FROM SOUTHEAST (JACK-IN-THE-BOX)



VIEW FROM EAST PROPERTY LINE

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

SITE PHOTOS





STUCCO OVER FOAM TRIM WINDOW FRAME



DOORS AND WINDOWS: METAL WINDOW CORPORATION



DECK MOUNTED GLASS GAURD RAILINGS



SIDING: KEBONY CLEAN 90° SHIPLAP CLADDING



CENTRIA ARCHITECTURAL METAL PANELS
RUST FINISH

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

PROJECT MATERIALS



BUILDING EXIT ANALYSIS PLAN

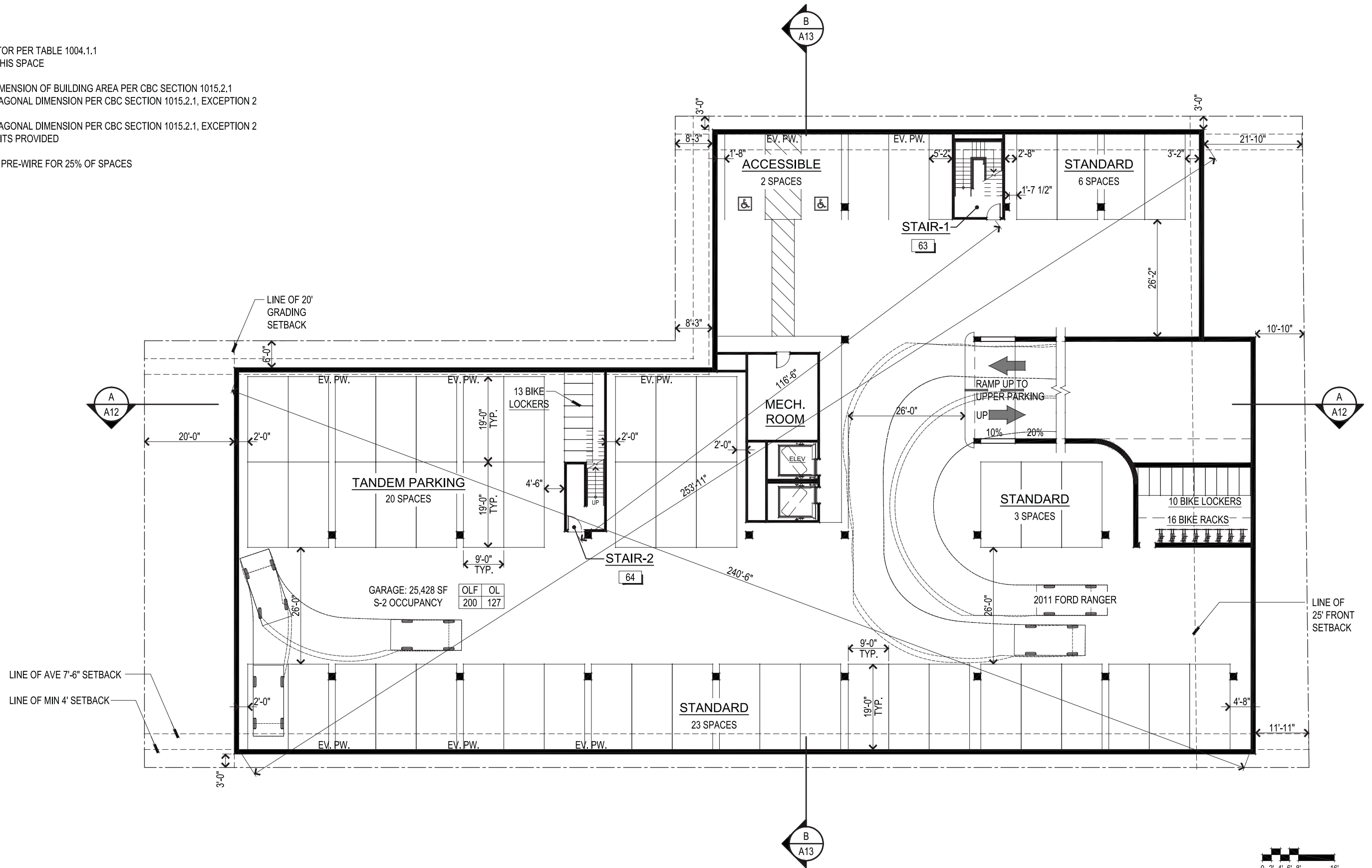
25 OCCUPANCY EXITING LOAD

OLF	OL	OLF = OCCUPANT LOAD FACTOR PER TABLE 1004.1.1
200	127	OL = OCCUPANT LOAD FOR THIS SPACE

MD	1/3	MD = MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1015.2.1
253'	84'	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2

1/3	DE	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2
28'	85'	DE = DISTANCE BETWEEN EXITS PROVIDED

EV. PW. PROVIDE ELECTRIC VEHICLE PRE-WIRE FOR 25% OF SPACES

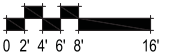


ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306



A0 LOWER LEVEL BASEMENT FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.

BUILDING EXIT ANALYSIS PLAN

25 OCCUPANCY EXITING LOAD

OLF	OL	OLF = OCCUPANT LOAD FACTOR PER TABLE 1004.1.1
200	127	OL = OCCUPANT LOAD FOR THIS SPACE

MD	1/3	MD = MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1015.2.1
253'	84'	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2

1/3	DE	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2
28'	85'	DE = DISTANCE BETWEEN EXITS PROVIDED

EV. PW. PROVIDE ELECTRIC VEHICLE PRE-WIRE FOR 25% OF SPACES

PARKING STANDARDS

- PARKING STANDARDS (PER LAMC 14.28.040 SECTION G2)

REQUIRED SPACES

1 SPACE PER 1 BEDROOM UNIT:	9 SPACES
2 SPACES PER 2+ BEDROOM UNIT:	82 SPACES
TOTAL REQUIRED:	91 SPACES

INCLUDES GUEST AND HANDICAPPED SPACES

PROVIDED SPACES

TANDEM PARKING:	40 SPACES
STANDARD PARKING:	65 SPACES
ACCESSIBLE PARKING:	3 SPACES
TOTAL PROVIDED:	108 SPACES

TRASH MANAGEMENT PLAN

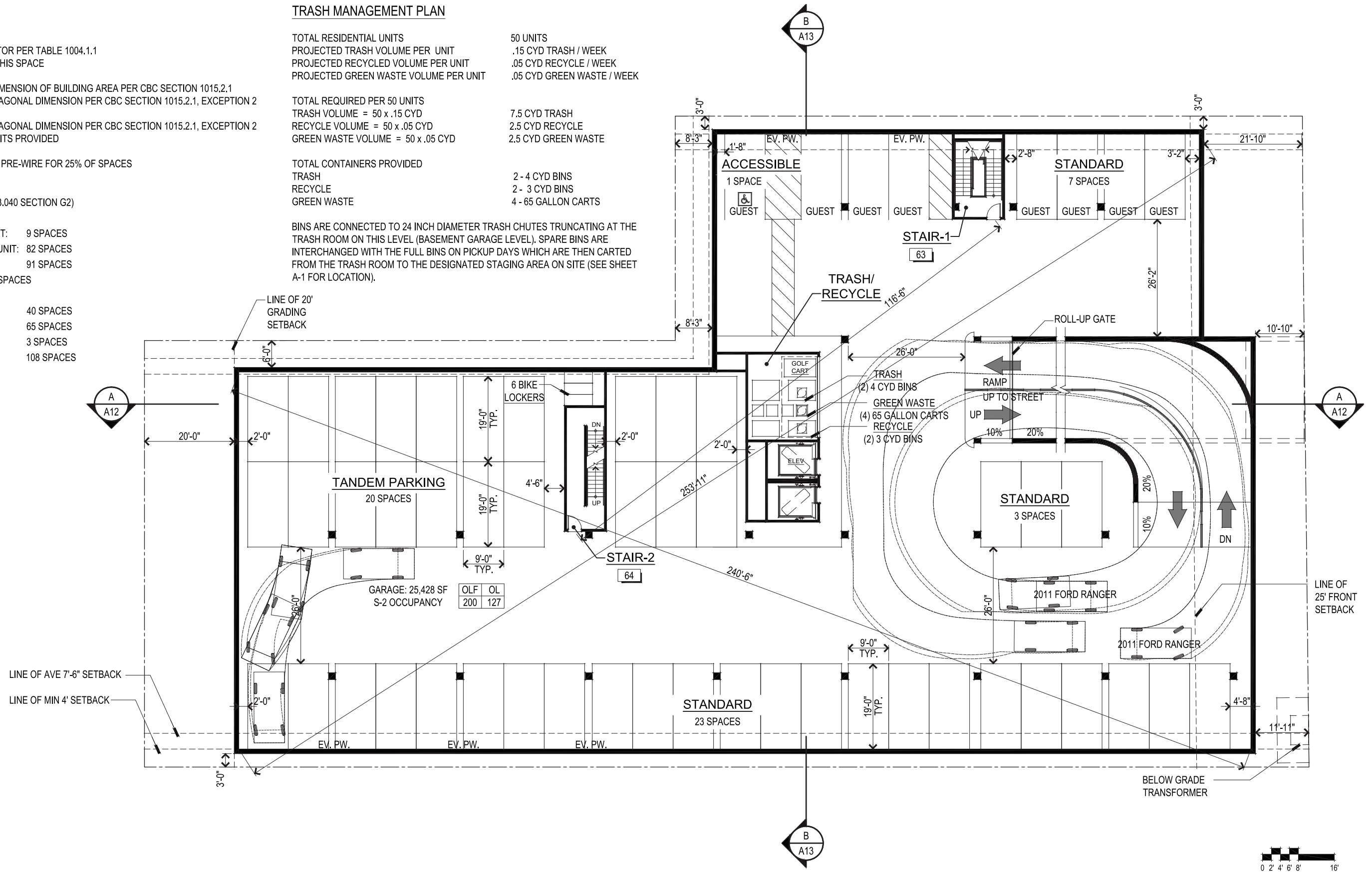
TOTAL RESIDENTIAL UNITS	50 UNITS
PROJECTED TRASH VOLUME PER UNIT	.15 CYD TRASH / WEEK
PROJECTED RECYCLED VOLUME PER UNIT	.05 CYD RECYCLE / WEEK
PROJECTED GREEN WASTE VOLUME PER UNIT	.05 CYD GREEN WASTE / WEEK

TOTAL REQUIRED PER 50 UNITS	
TRASH VOLUME = 50 x .15 CYD	7.5 CYD TRASH
RECYCLE VOLUME = 50 x .05 CYD	2.5 CYD RECYCLE
GREEN WASTE VOLUME = 50 x .05 CYD	2.5 CYD GREEN WASTE

TOTAL CONTAINERS PROVIDED

TRASH	2 - 4 CYD BINS
RECYCLE	2 - 3 CYD BINS
GREEN WASTE	4 - 65 GALLON CARTS

BINS ARE CONNECTED TO 24 INCH DIAMETER TRASH CHUTES TRUNCATING AT THE TRASH ROOM ON THIS LEVEL (BASEMENT GARAGE LEVEL). SPARE BINS ARE INTERCHANGED WITH THE FULL BINS ON PICKUP DAYS WHICH ARE THEN CARTED FROM THE TRASH ROOM TO THE DESIGNATED STAGING AREA ON SITE (SEE SHEET A-1 FOR LOCATION).

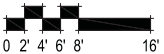


ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

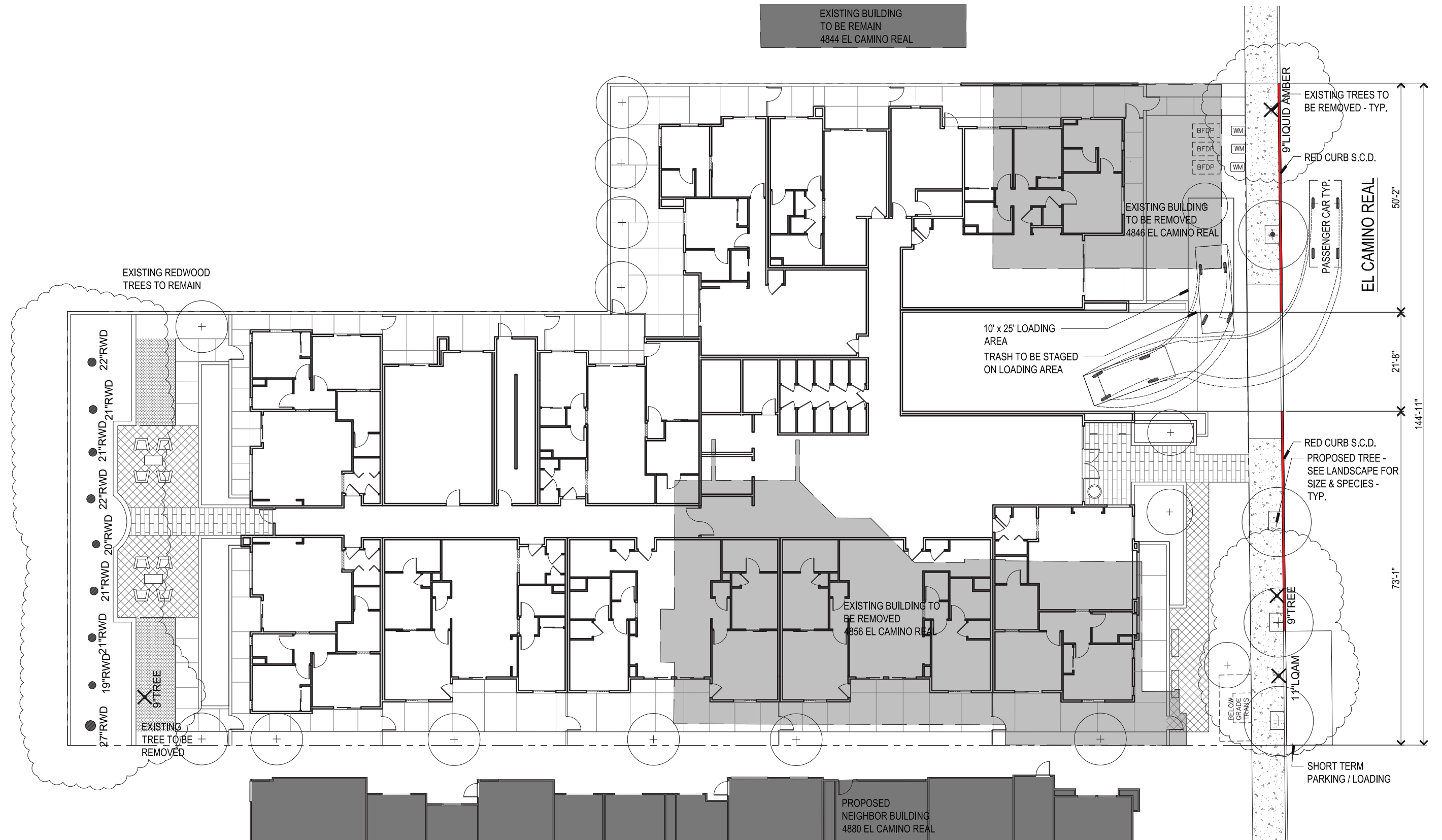


**A1
UPPER LEVEL BASEMENT FLOOR PLAN**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com

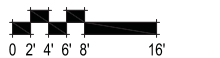


SDG Architects, Inc.



ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



A2.1
ARCHITECTURAL SITE PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.straussdesign.com



SDG Architects, Inc.

BUILDING EXIT ANALYSIS PLAN

25 OCCUPANCY EXITING LOAD

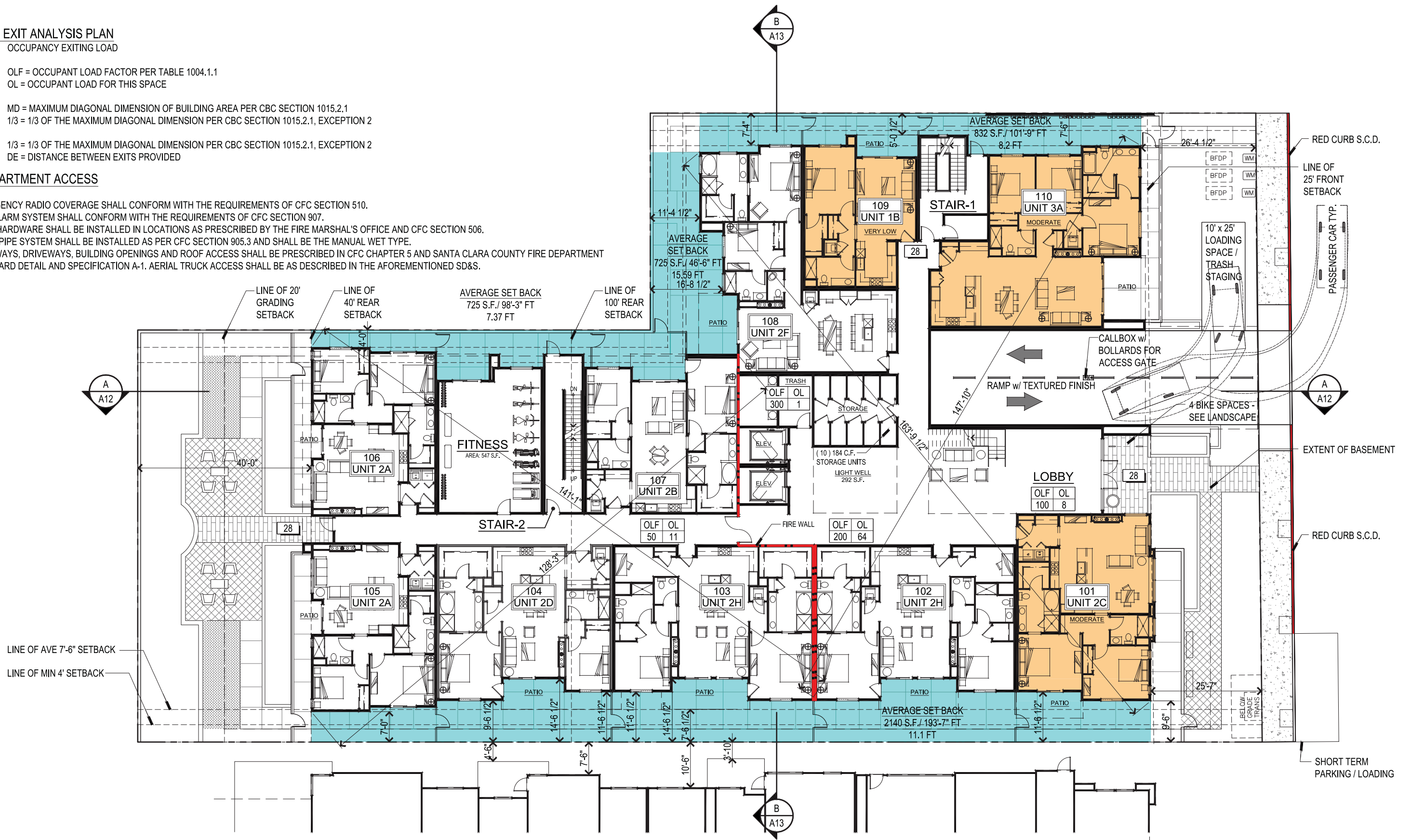
OLF	OL	OLF = OCCUPANT LOAD FACTOR PER TABLE 1004.1.1
200	32	OL = OCCUPANT LOAD FOR THIS SPACE

MD	1/3	MD = MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1015.2.1
232'	77'	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2

1/3	DE	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2
77'	80"	DE = DISTANCE BETWEEN EXITS PROVIDED

FIRE DEPARTMENT ACCESS

- EMERGENCY RADIO COVERAGE SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 510.
- FIRE ALARM SYSTEM SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 907.
- KNOX HARDWARE SHALL BE INSTALLED IN LOCATIONS AS PRESCRIBED BY THE FIRE MARSHAL'S OFFICE AND CFC SECTION 506.
- STANDPIPE SYSTEM SHALL BE INSTALLED AS PER CFC SECTION 905.3 AND SHALL BE THE MANUAL WET TYPE.
- ROADWAYS, DRIVEWAYS, BUILDING OPENINGS AND ROOF ACCESS SHALL BE PRESCRIBED IN CFC CHAPTER 5 AND SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAIL AND SPECIFICATION A-1. AERIAL TRUCK ACCESS SHALL BE AS DESCRIBED IN THE AFOREMENTIONED SD&S.

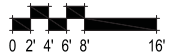


ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306



**A2.2
FIRST FLOOR PLAN**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.

BUILDING EXIT ANALYSIS PLAN

25 OCCUPANCY EXITING LOAD

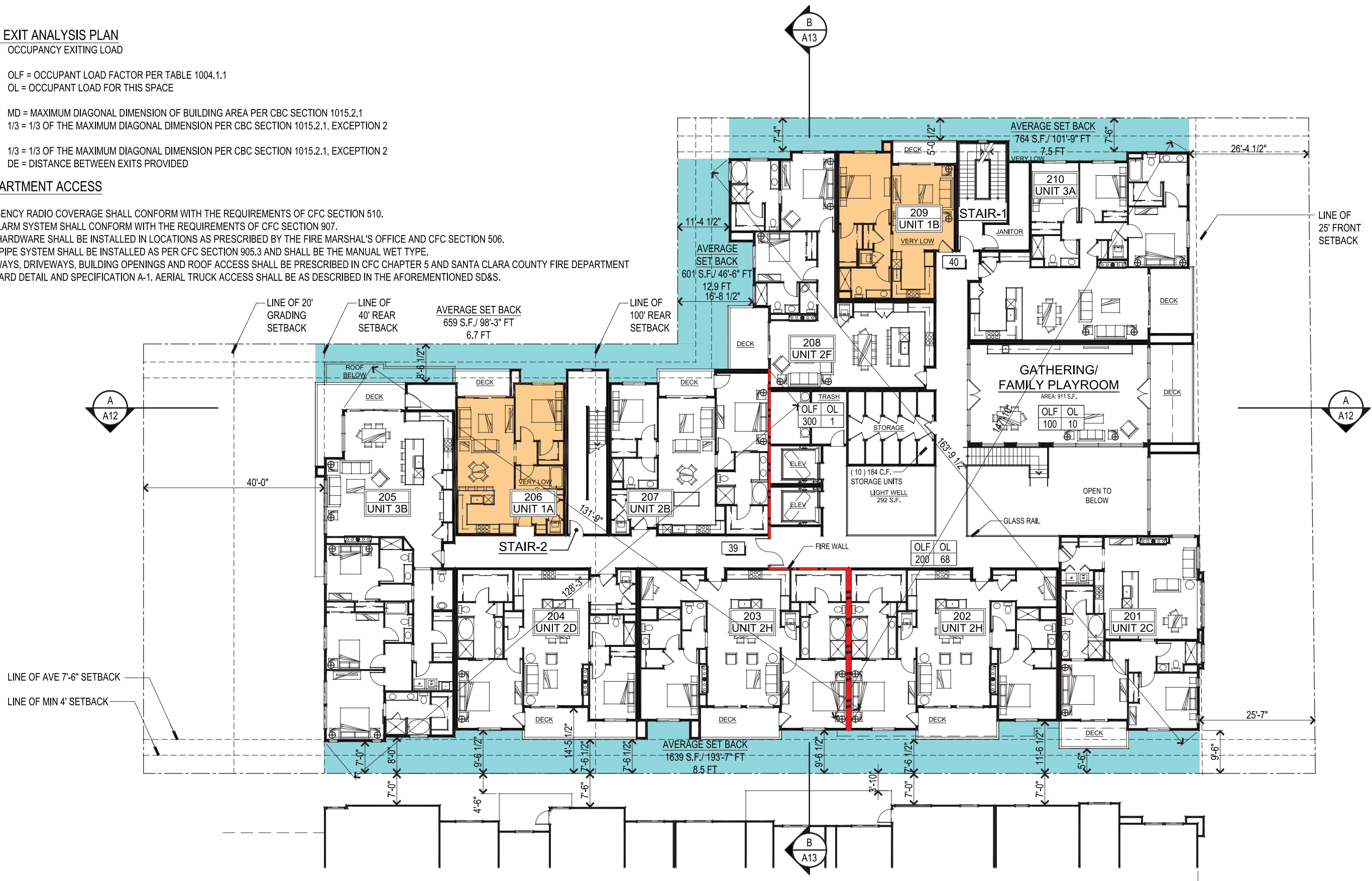
OLF	OL	OLF = OCCUPANT LOAD FACTOR PER TABLE 1004.1.1
200	32	OL = OCCUPANT LOAD FOR THIS SPACE

MD	1/3	MD = MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1015.2.1
232'	77"	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2

1/3	DE	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2
77'	80"	DE = DISTANCE BETWEEN EXITS PROVIDED

FIRE DEPARTMENT ACCESS

- EMERGENCY RADIO COVERAGE SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 510.
- FIRE ALARM SYSTEM SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 907.
- KNOX HARDWARE SHALL BE INSTALLED IN LOCATIONS AS PRESCRIBED BY THE FIRE MARSHAL'S OFFICE AND CFC SECTION 506.
- STANDPIPE SYSTEM SHALL BE INSTALLED AS PER CFC SECTION 905.3 AND SHALL BE THE MANUAL WET TYPE.
- ROADWAYS, DRIVEWAYS, BUILDING OPENINGS AND ROOF ACCESS SHALL BE PRESCRIBED IN CFC CHAPTER 5 AND SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAIL AND SPECIFICATION A-1. AERIAL TRUCK ACCESS SHALL BE AS DESCRIBED IN THE AFOREMENTIONED SD&S.

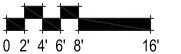


ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306



**A3
SECOND FLOOR PLAN**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.

BUILDING EXIT ANALYSIS PLAN

25 OCCUPANCY EXITING LOAD

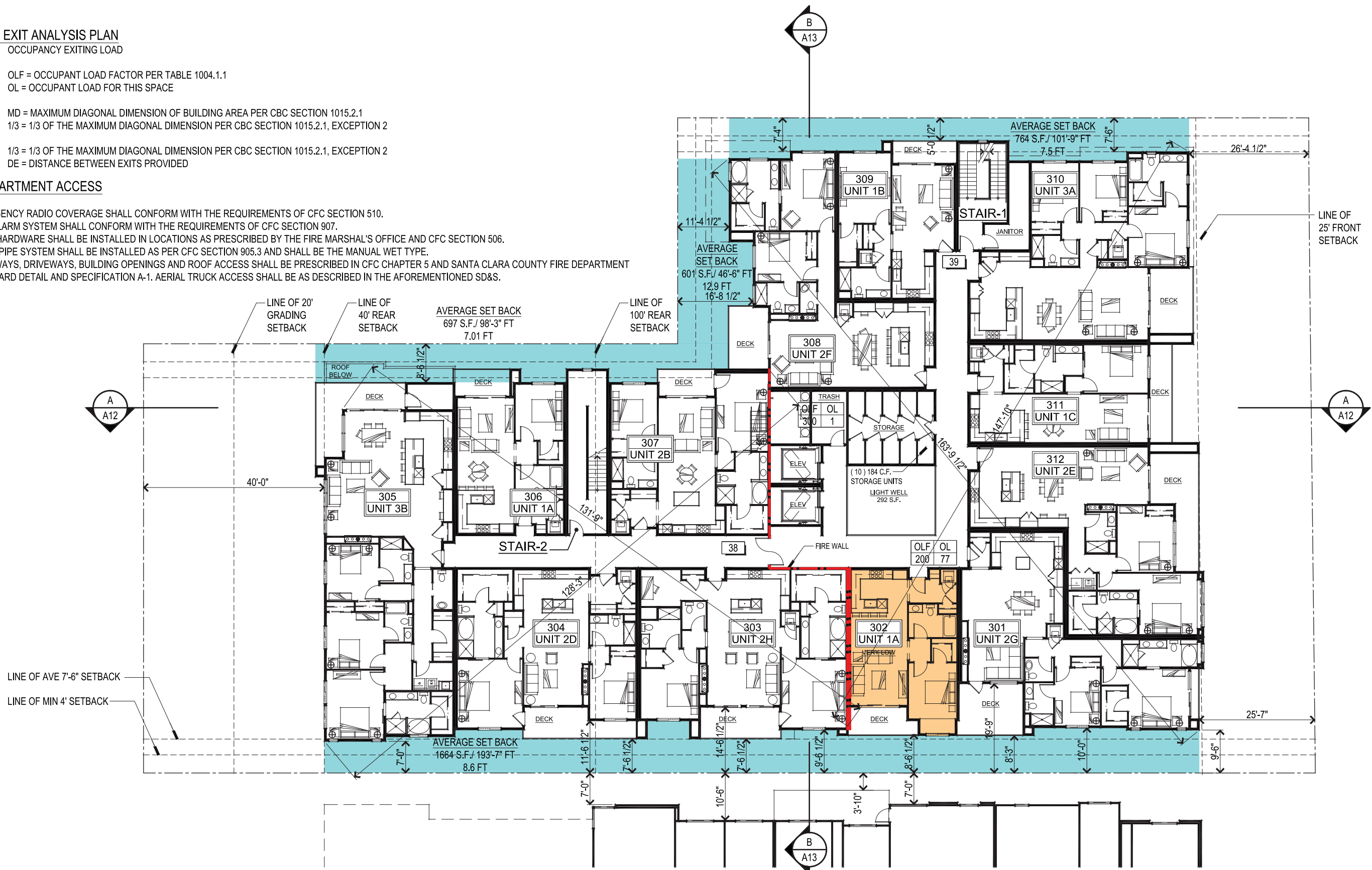
OLF	OL	OLF = OCCUPANT LOAD FACTOR PER TABLE 1004.1.1
200	32	OL = OCCUPANT LOAD FOR THIS SPACE

MD	1/3	MD = MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1015.2.1
232'	77"	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2

1/3	DE	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2
77'	80"	DE = DISTANCE BETWEEN EXITS PROVIDED

FIRE DEPARTMENT ACCESS

- EMERGENCY RADIO COVERAGE SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 510.
- FIRE ALARM SYSTEM SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 907.
- KNOX HARDWARE SHALL BE INSTALLED IN LOCATIONS AS PRESCRIBED BY THE FIRE MARSHAL'S OFFICE AND CFC SECTION 506.
- STANDPIPE SYSTEM SHALL BE INSTALLED AS PER CFC SECTION 905.3 AND SHALL BE THE MANUAL WET TYPE.
- ROADWAYS, DRIVEWAYS, BUILDING OPENINGS AND ROOF ACCESS SHALL BE PRESCRIBED IN CFC CHAPTER 5 AND SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAIL AND SPECIFICATION A-1. AERIAL TRUCK ACCESS SHALL BE AS DESCRIBED IN THE AFOREMENTIONED SD&S.

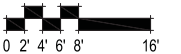


ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306



**A4
THIRD FLOOR PLAN**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.

BUILDING EXIT ANALYSIS PLAN

25 OCCUPANCY EXITING LOAD

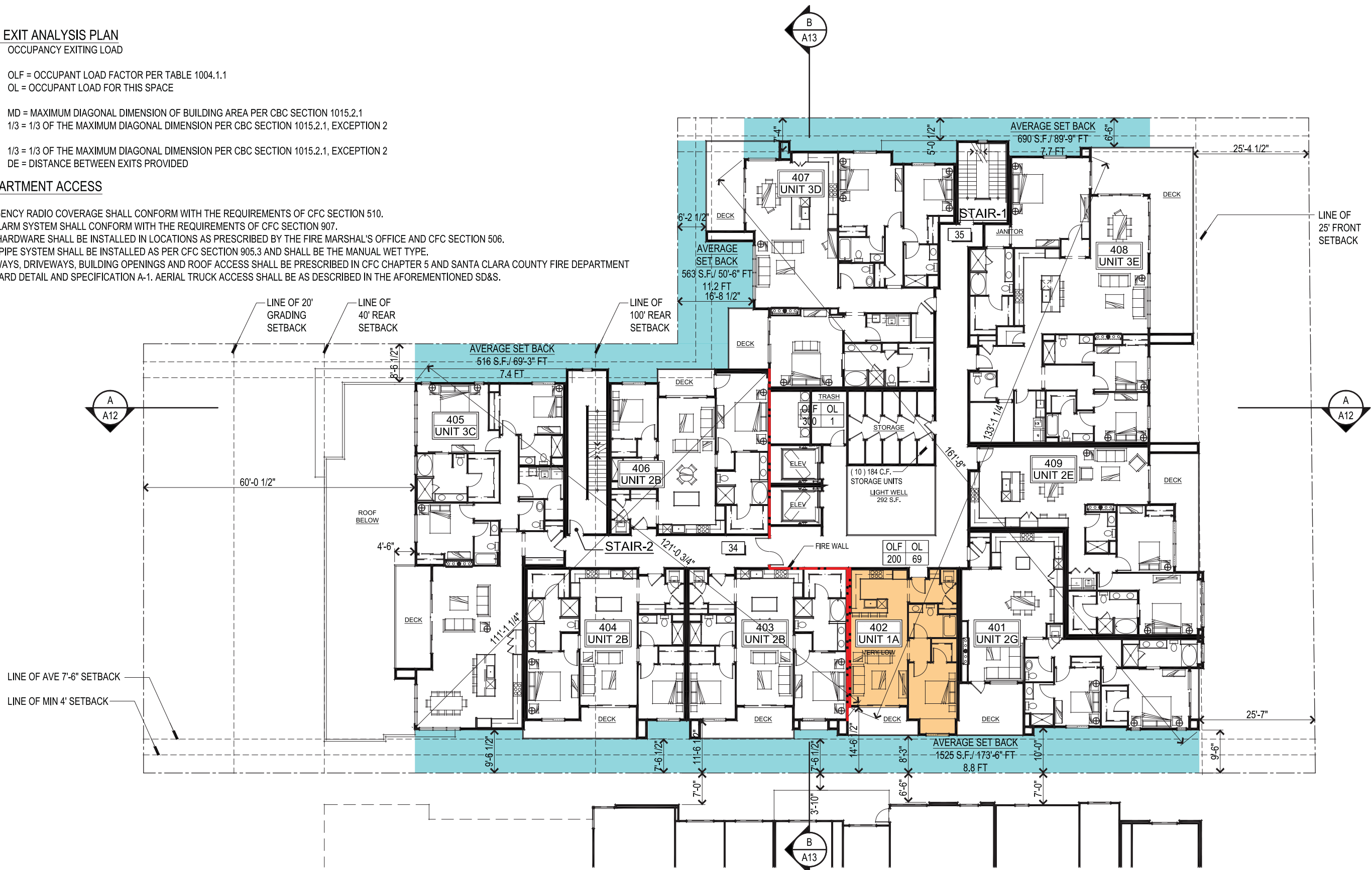
OLF	OL	OLF = OCCUPANT LOAD FACTOR PER TABLE 1004.1.1
200	32	OL = OCCUPANT LOAD FOR THIS SPACE

MD	1/3	MD = MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1015.2.1
232'	77"	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2

1/3	DE	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2
77'	80"	DE = DISTANCE BETWEEN EXITS PROVIDED

FIRE DEPARTMENT ACCESS

- EMERGENCY RADIO COVERAGE SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 510.
- FIRE ALARM SYSTEM SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 907.
- KNOX HARDWARE SHALL BE INSTALLED IN LOCATIONS AS PRESCRIBED BY THE FIRE MARSHAL'S OFFICE AND CFC SECTION 506.
- STANDPIPE SYSTEM SHALL BE INSTALLED AS PER CFC SECTION 905.3 AND SHALL BE THE MANUAL WET TYPE.
- ROADWAYS, DRIVEWAYS, BUILDING OPENINGS AND ROOF ACCESS SHALL BE PRESCRIBED IN CFC CHAPTER 5 AND SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAIL AND SPECIFICATION A-1. AERIAL TRUCK ACCESS SHALL BE AS DESCRIBED IN THE AFOREMENTIONED SD&S.

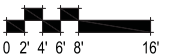


ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306



**A5
FOURTH FLOOR PLAN**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.

BUILDING EXIT ANALYSIS PLAN

25 OCCUPANCY EXITING LOAD

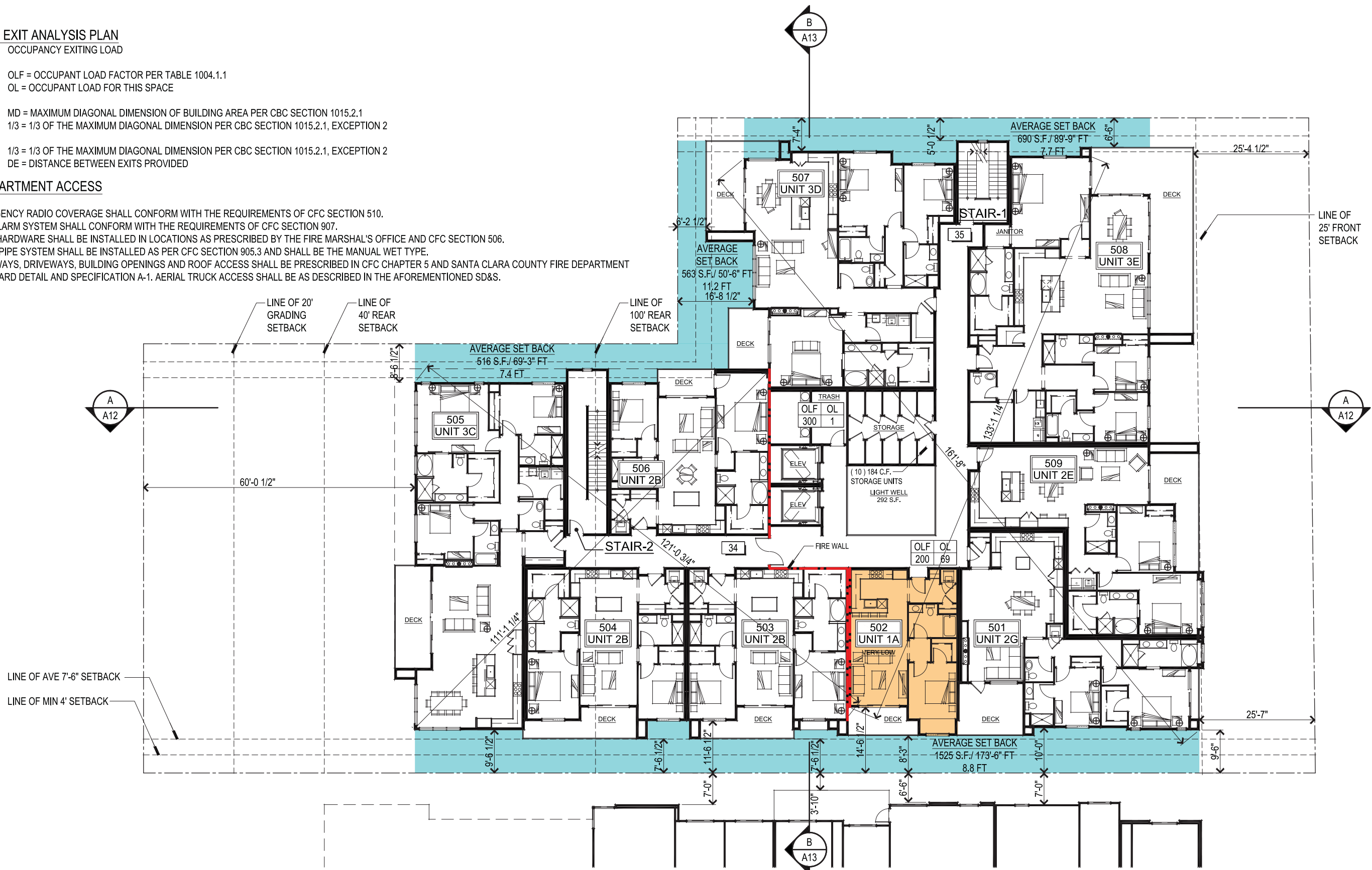
OLF	OL	OLF = OCCUPANT LOAD FACTOR PER TABLE 1004.1.1
200	32	OL = OCCUPANT LOAD FOR THIS SPACE

MD	1/3	MD = MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1015.2.1
232'	77"	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2

1/3	DE	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2
77'	80"	DE = DISTANCE BETWEEN EXITS PROVIDED

FIRE DEPARTMENT ACCESS

- EMERGENCY RADIO COVERAGE SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 510.
- FIRE ALARM SYSTEM SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 907.
- KNOX HARDWARE SHALL BE INSTALLED IN LOCATIONS AS PRESCRIBED BY THE FIRE MARSHAL'S OFFICE AND CFC SECTION 506.
- STANDPIPE SYSTEM SHALL BE INSTALLED AS PER CFC SECTION 905.3 AND SHALL BE THE MANUAL WET TYPE.
- ROADWAYS, DRIVEWAYS, BUILDING OPENINGS AND ROOF ACCESS SHALL BE PRESCRIBED IN CFC CHAPTER 5 AND SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAIL AND SPECIFICATION A-1. AERIAL TRUCK ACCESS SHALL BE AS DESCRIBED IN THE AFOREMENTIONED SD&S.

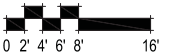


ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306



**A6
FIFTH FLOOR PLAN**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.

BUILDING EXIT ANALYSIS PLAN

25 OCCUPANCY EXITING LOAD

OLF	OL	OLF = OCCUPANT LOAD FACTOR PER TABLE 1004.1.1
15	32	OL = OCCUPANT LOAD FOR THIS SPACE

MD	1/3	MD = MAXIMUM DIAGONAL DIMENSION OF BUILDING AREA PER CBC SECTION 1015.2.1
123'	41'	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2

1/3	DE	1/3 = 1/3 OF THE MAXIMUM DIAGONAL DIMENSION PER CBC SECTION 1015.2.1, EXCEPTION 2
27'	83"	DE = DISTANCE BETWEEN EXITS PROVIDED

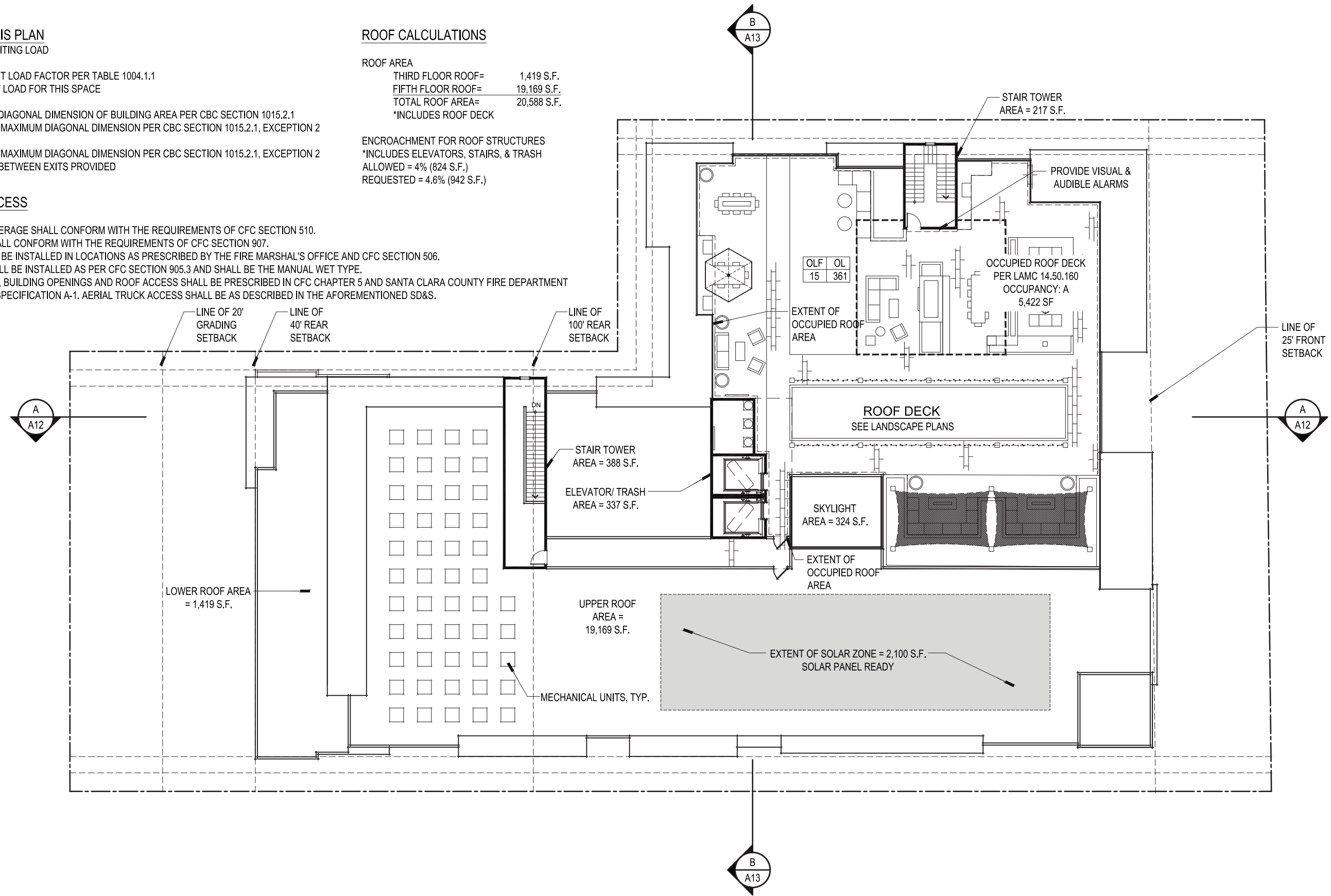
FIRE DEPARTMENT ACCESS

- EMERGENCY RADIO COVERAGE SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 510.
- FIRE ALARM SYSTEM SHALL CONFORM WITH THE REQUIREMENTS OF CFC SECTION 907.
- KNOX HARDWARE SHALL BE INSTALLED IN LOCATIONS AS PRESCRIBED BY THE FIRE MARSHAL'S OFFICE AND CFC SECTION 506.
- STANDPIPE SYSTEM SHALL BE INSTALLED AS PER CFC SECTION 905.3 AND SHALL BE THE MANUAL WET TYPE.
- ROADWAYS, DRIVEWAYS, BUILDING OPENINGS AND ROOF ACCESS SHALL BE PRESCRIBED IN CFC CHAPTER 5 AND SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAIL AND SPECIFICATION A-1. AERIAL TRUCK ACCESS SHALL BE AS DESCRIBED IN THE AFOREMENTIONED SD&S.

ROOF CALCULATIONS

ROOF AREA
 THIRD FLOOR ROOF= 1,419 S.F.
 FIFTH FLOOR ROOF= 19,169 S.F.
 TOTAL ROOF AREA= 20,588 S.F.
 *INCLUDES ROOF DECK

ENCROACHMENT FOR ROOF STRUCTURES
 *INCLUDES ELEVATORS, STAIRS, & TRASH
 ALLOWED = 4% (824 S.F.)
 REQUESTED = 4.6% (942 S.F.)

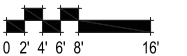


ALTOS ONE

4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC

572 Chimalus Dr.
 Palo Alto, CA 94306



A7
ROOF PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.



STUCCO or FOAM WINDOW TRIM

GLASS BALCONY GUARD

ARCHITECTURAL METAL PANELS: RUST FINISH

PERFORATED METAL RAILING, COLOR TO MATCH METAL PANELS

SAND TEXTURE STUCCO FINISH

WOOD BALCONY GUARD

BOARD FORMED CONCRETE PRIVACY WALL AND PLANTER

ELEVATOR TOWER HEIGHT 75'-10 3/4"

STAIR TOWER 69'-11 3/4"

GLASS RAIL 65'-5 3/4"

PARAPET HEIGHT 62'-11 3/4"

ROOF DECK FINISHED FLOOR 59'-5 3/4"

T.O. PL. 11'-1" A.F.F.

FIFTH FLOOR FINISHED FLOOR 45'-9"

T.O. PL. 10'-1" A.F.F.

FOURTH FLOOR FINISHED FLOOR 34'-3 3/4"

T.O. PL. 10'-1" A.F.F.

THIRD FLOOR FINISHED FLOOR 22'-10 1/2"

T.O. PL. 10'-1" A.F.F.

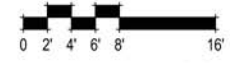
SECOND FLOOR FINISHED FLOOR 11'-5 1/4"

T.O. PL. 10'-1" A.F.F.

See's CANDIES.

ALTOS ONE
 4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC
 572 Chimalus Dr.
 Palo Alto, CA 94306



A8
 FRONT ELEVATION

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.



ELEVATOR TOWER HEIGHT 75'-10 3/4"

STAIR TOWER 69'-11 3/4"

GLASS RAIL 65'-5 3/4"

PARAPET HEIGHT 62'-11 3/4"

ROOF DECK

FINISHED FLOOR 59'-5 3/4"

T.O. PL. 11'-1" A.F.F.

FIFTH FLOOR

FINISHED FLOOR 45'-9"

T.O. PL. 10'-1" A.F.F.

FOURTH FLOOR

FINISHED FLOOR 34'-3 3/4"

T.O. PL. 10'-1" A.F.F.

THIRD FLOOR

FINISHED FLOOR 22'-10 1/2"

T.O. PL. 10'-1" A.F.F.

SECOND FLOOR

FINISHED FLOOR 11'-5 1/4"

T.O. PL. 10'-1" A.F.F.

SAND TEXTURE
STUCCO FINISH

GLASS BALCONY RAIL

ARCHITECTURAL METAL
PANELS: RUST FINISH

WOOD SIDING

WOOD BALCONY
GUARD

BOARD FORMED
CONCRETE PRIVACY
WALL AND PLANTER

PROPERTY LINE

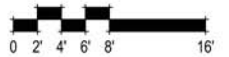
PROPERTY LINE

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306



**A9
RIGHT ELEVATION**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



- 75'-10 3/4" ELEVATOR TOWER HEIGHT
- 69'-11 3/4" STAIR TOWER
- 65'-5 3/4" GLASS RAIL
- 62'-11 3/4" PARAPET HEIGHT
- ROOF DECK
- 59'-5 3/4" FINISHED FLOOR
- 11'-1" A.F.F. T.O. PL.
- FIFTH FLOOR FINISHED FLOOR
- 45'-9"
- 10'-1" A.F.F. T.O. PL.
- FOURTH FLOOR FINISHED FLOOR
- 34'-3 3/4"
- 10'-1" A.F.F. T.O. PL.
- THIRD FLOOR FINISHED FLOOR
- 22'-10 1/2"
- 10'-1" A.F.F. T.O. PL.
- SECOND FLOOR FINISHED FLOOR
- 11'-5 1/4"
- 10'-1" A.F.F. T.O. PL.

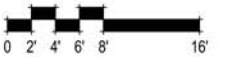
- ARCHITECTURAL METAL PANELS: RUST FINISH
- GLASS BALCONY GUARD
- STUCCO w/ FOAM WINDOW TRIM
- SAND TEXTURE STUCCO FINISH
- WOOD BALCONY GUARD
- WOOD SIDING
- BOARD FORMED CONCRETE PRIVACY WALL AND PLANTER

ALTOS ONE

4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC

572 Chimalus Dr.
 Palo Alto, CA 94306



**A10
 REAR ELEVATION**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.



ARCHITECTURAL METAL
PANELS: RUST FINISH

GLASS BALCONY GUARD

SAND TEXTURE
STUCCO FINISH

STUCCO or FOAM
WINDOW TRIM

BOARD FORMED CONCRETE
PRIVACY WALL AND PLANTER

PROPERTY LINE

ELEVATOR TOWER HEIGHT 75'-10 3/4"

STAIR TOWER 69'-11 3/4"

GLASS RAIL 65'-5 3/4"

PARAPET HEIGHT 62'-11 3/4"

ROOF DECK
FINISHED FLOOR 59'-5 3/4"

T.O. PL. 11'-1" A.F.F.

FIFTH FLOOR
FINISHED FLOOR 45'-9"

T.O. PL. 10'-1" A.F.F.

FOURTH FLOOR
FINISHED FLOOR 34'-3 3/4"

T.O. PL. 10'-1" A.F.F.

THIRD FLOOR
FINISHED FLOOR 22'-10 1/2"

T.O. PL. 10'-1" A.F.F.

SECOND FLOOR
FINISHED FLOOR 11'-5 1/4"

T.O. PL. 10'-1" A.F.F.



ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

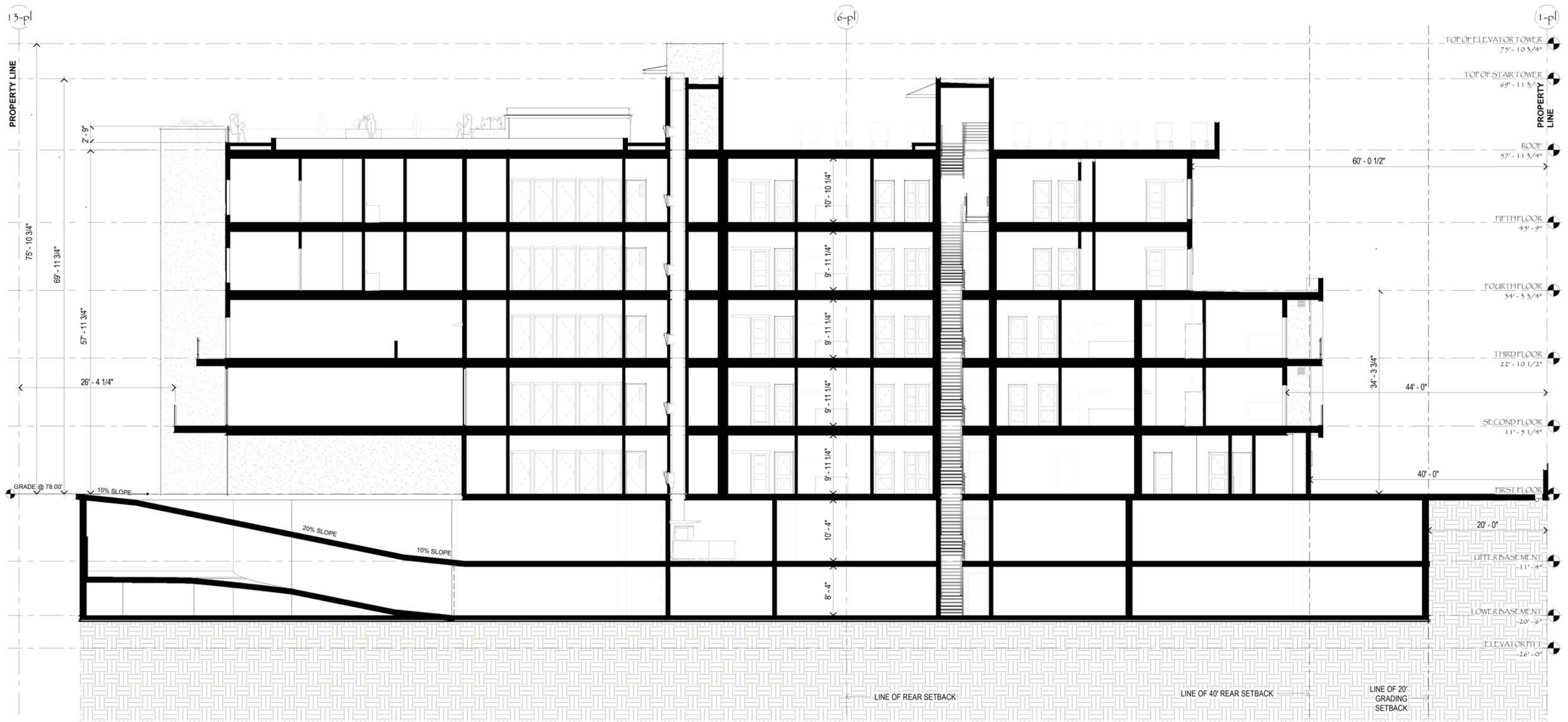
LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306

**A11
LEFT ELEVATION**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.

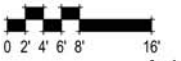


ALTOS ONE

4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC

572 Chimalus Dr.
 Palo Alto, CA 94306

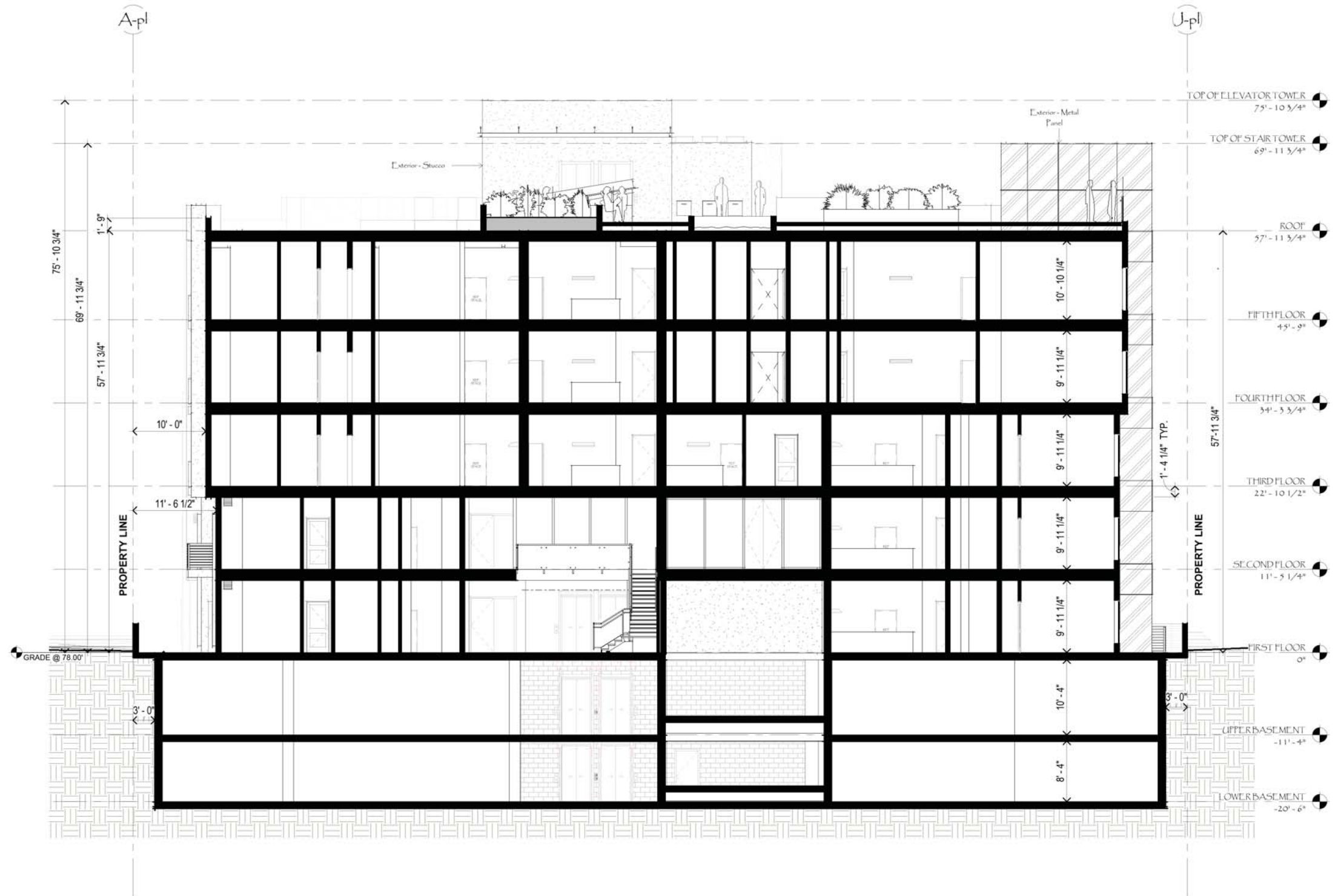


**A12
 BUILDING SECTION A**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.

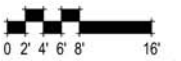


ALTOS ONE

4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC

572 Chimalus Dr.
 Palo Alto, CA 94306

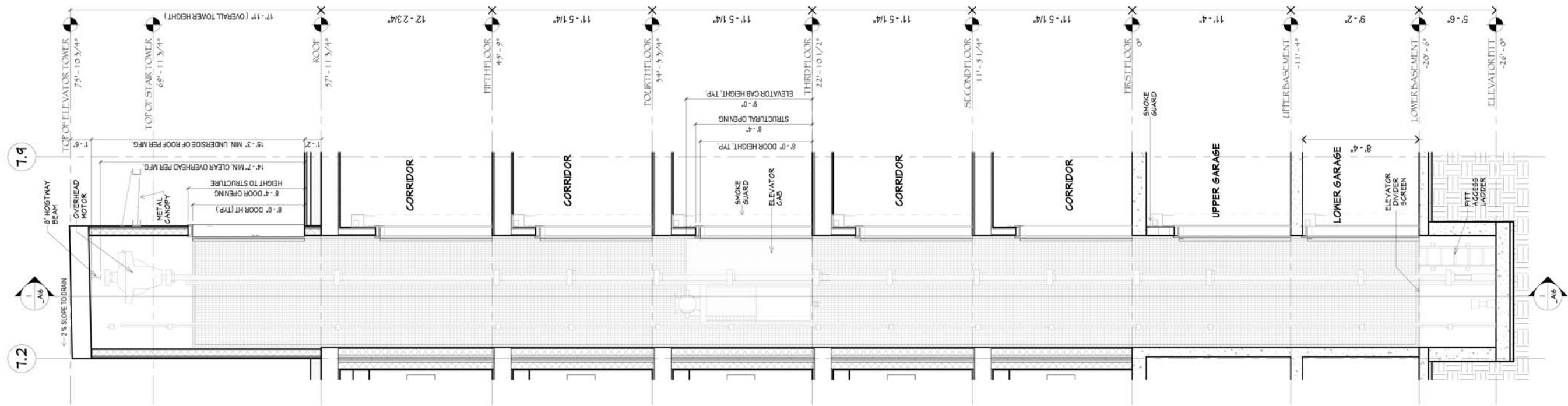


**A13
 BUILDING SECTION B**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com

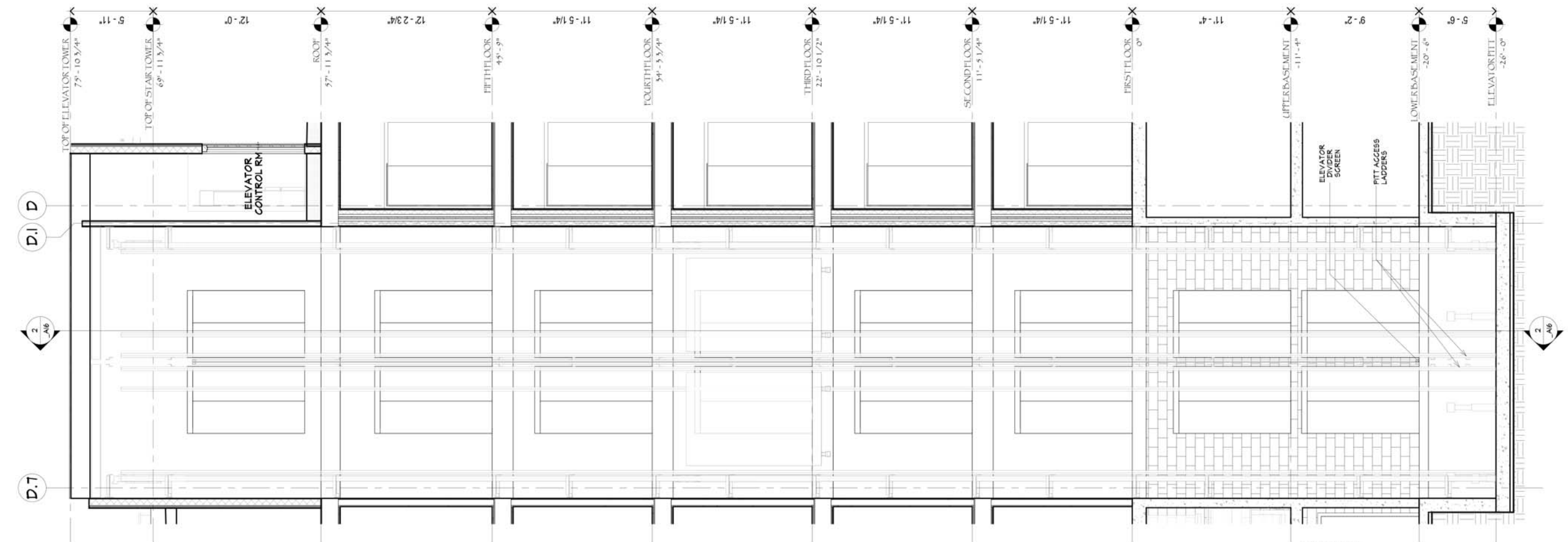


SDG Architects, Inc.



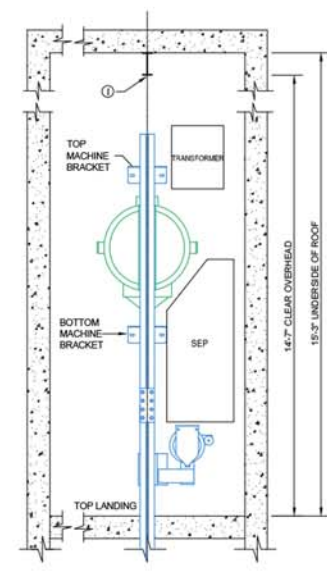
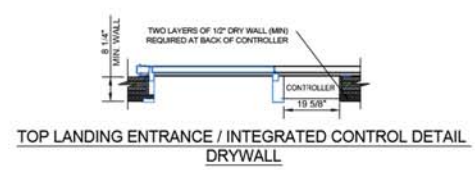
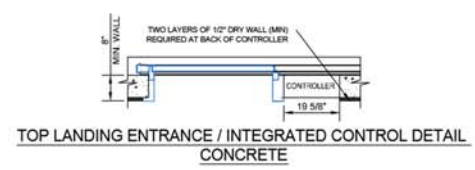
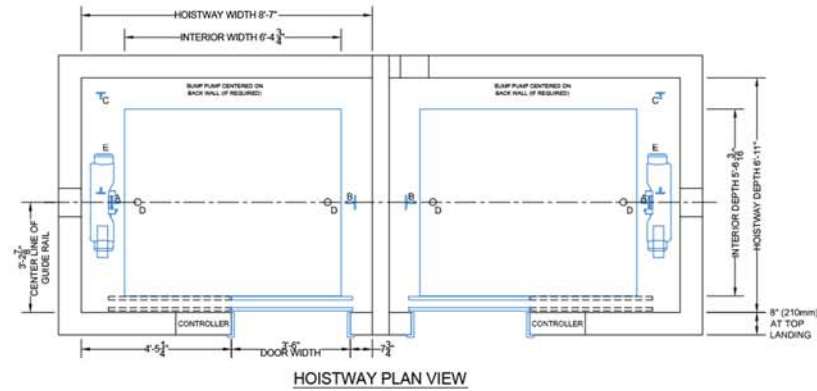
SCALE: 1/4" = 1'-0"

2 ELEVATOR SIDE SECTION



SCALE: 1/4" = 1'-0"

1 ELEVATOR FRONT SECTION



BRKTS ABOVE TOPMOST LANDING - IMPACT LOADING REACTIONS (lb)			
REACTION LOCATION	A	B	C
X DIRECTION	1500	240	50
Y DIRECTION	530	1670	100

BRKTS BELOW TOPMOST LANDING - RUNNING REACTIONS (lb)			
REACTION LOCATION	A	B	C
X DIRECTION	290	240	50
Y DIRECTION	200	110	100

MAX DEFLECTION NOT TO EXCEED 0.25" (6mm) DUE TO APPLIED LOADS

SEISMIC ZONES 3 & 4 - ALL BRKTS LOCATIONS - IMPACT LOADING (lb)			
REACTION LOCATION	A	B	C
X DIRECTION	2200	2000	1100
Y DIRECTION	2100	1500	2100

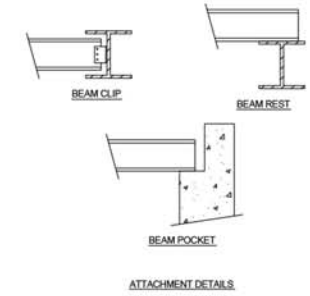
MAX DEFLECTION NOT TO EXCEED 0.25" (6mm) DUE TO APPLIED LOADS

*ORTHOGONAL REACTIONS DO NOT OCCUR SIMULTANEOUSLY
 *CALCULATIONS BASED UPON IBC SEISMIC ZONE 3-4 AND IBC D = (p x S_h) ≤ 1.0
 *ACCEPTABLE GUIDE RAIL BRACKET ATTACHMENT MATERIAL: CONCRETE, STEEL, OR INSERTS

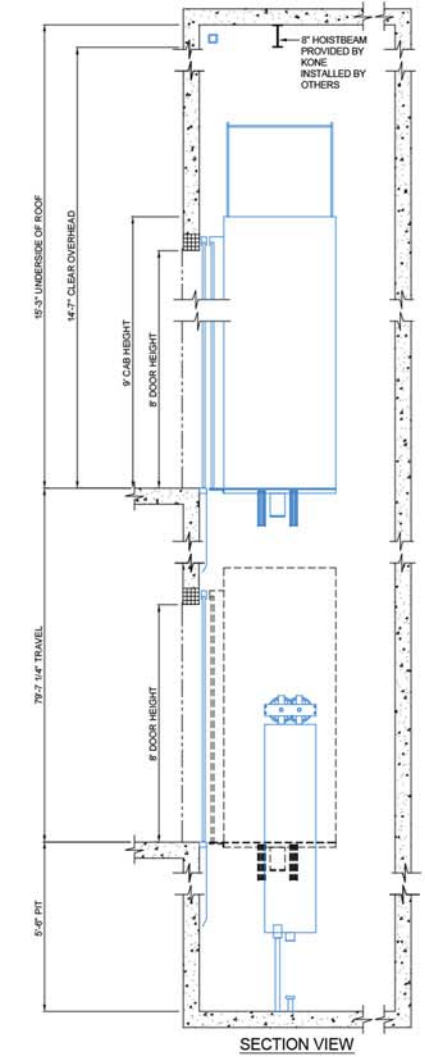
VERTICAL FORCES ONTO PIT FLOOR (lb)					
REACTION LOCATION	A	B	C	D	E
Z DIRECTION	21600	10700	6000	8600	13800

*VERTICAL REACTIONS A, B & C OCCUR SIMULTANEOUSLY. VERTICAL REACTIONS D & E OCCUR INDIVIDUALLY AND SEPARATELY FROM A, B & C.

HOISTBEAM & LIFELINE VERTICAL FORCES (lb)				
REACTION LOCATION	A	B	C	D
Z DIRECTION	4800	4700	5000	5000



FLOOR BY FLOOR HEIGHTS CHART					
LANDING 5	11' 5.25"	LANDING 10	N/A	LANDING 15	N/A
LANDING 4	11' 5.25"	LANDING 9	N/A	LANDING 14	N/A
LANDING 3	11' 5.25"	LANDING 8	8"	LANDING 13	N/A
LANDING 2	11' 2"	LANDING 7	13' 4.25"	LANDING 12	N/A
LANDING 1	9' 4"	LANDING 6	11' 5.25"	LANDING 11	N/A



SCALE: NOT TO SCALE

RE-OPEN CONFIGURATION IN THE TOOLBOX: <http://architectoolbox.kone.us/Mono500?savedConfigurationID=46385>

PREPARATORY WORK BY OTHERS: THE CUSTOMER OR CUSTOMER'S CONTRACTOR, SHALL BE RESPONSIBLE FOR THE FOLLOWING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AT NO COST TO KONE, INC. LOCAL CODES SHALL PREVAIL WHEN APPLICABLE.

1. PROVIDE A CLEAR, PLUMB HOISTWAY OF THE SIZE SHOWN ON THE FINAL KONE LAYOUT. VARIATIONS MUST NOT EXCEED 1". (TOLERANCE = -0" + 1")
2. PROVIDE ADEQUATE SUPPORT FOR GUIDE RAIL BRACKETS (INCLUDING DIVIDER BEAMS FOR MULTIPLE ELEVATORS IN A COMMON HOISTWAY) FROM PIT FLOOR TO THE TOP OF THE HOISTWAY AND NOT SPANNING FURTHER THAN ALLOWED BY THE GOVERNING CODE AUTHORITY. FIREPROOFING SHALL BE AFTER INSTALLATION OF BRACKETS.
3. HOISTWAY VENTILATION SHALL BE PROVIDED PER CODE REQUIREMENTS.
4. PROJECTIONS REQUIRING BEVELING IN ACCORDANCE WITH CODE REQUIREMENTS SHALL BE BEVELED AT AN ANGLE NOT LESS THAN 75 DEGREES FROM THE HORIZONTAL.
5. PROVIDE REMOVABLE, OSHA COMPLIANT BARRICADES AROUND ALL HOISTWAY OPENINGS AND BETWEEN ELEVATORS INSIDE OF THE HOISTWAY AS REQUIRED. PROVIDE TWO LIFELINE ATTACHMENTS AT THE TOP, FRONT OF THE HOISTWAY.
6. ARRANGE FOR ALL BLOCK OUT / CUTOUT OF OPENINGS TO INSTALL HALL PUSHBUTTONS, SIGNAL FIXTURES, AND HATCH DUCT.
7. PROVIDE A DRY PIT REINFORCED TO SUSTAIN VERTICAL FORCE FROM RAILS AND BUFFERS. REFERENCE THE REACTION LOAD TABLES FOR VERTICAL FORCES. SUMPS AND / OR PUMPS (WHERE PERMITTED) LOCATED WITHIN THE PIT MAY NOT INTERFERE WITH THE ELEVATOR EQUIPMENT.
8. PROVIDE SUITABLE LIGHTING FOR THE MACHINE SPACE WITH A LIGHT SWITCH LOCATED IN THE HOISTWAY. PROVIDE A LIGHT FIXTURE AND A SEPARATE GFCI PROTECTED DUPLEX CONVENIENCE OUTLET IN THE ELEVATOR PIT.
9. ENTRANCE WALLS ARE TO BE LEFT OPEN UNTIL THE ELEVATOR EQUIPMENT IS INSTALLED. ADEQUATE SUPPORT FOR ENTRANCE ATTACHMENT POINTS IS REQUIRED AT ALL LANDINGS. ALL FINISHED FLOORING AND GROUTING IS TO BE INSTALLED AFTER THE ENTRANCE FRAMES ARE INSTALLED.
10. A PIT LADDER IS SUPPLIED BY KONE UNLESS OTHERWISE NOTED ON THE LAYOUT DRAWING. LOCATE AND INSTALL PER KONE FINAL LAYOUT DRAWINGS.

11. AN I-BEAM, PROVIDED BY KONE, MUST BE INSTALLED IN THE ELEVATOR HOISTWAY OVERHEAD PER THE KONE FINAL LAYOUT DRAWINGS.
12. FOR PROPER EQUIPMENT OPERATION, THE MACHINE SPACE AT THE TOP OF THE HOISTWAY MUST BE PROPERLY VENTED PER CODE REQUIREMENTS. MAX ALLOWED HUMIDITY IS 90% NON-CONDENSING. HOISTWAY MUST MAINTAIN A TEMPERATURE BETWEEN 41 F AND 104 F.
13. THE ACCESS DOOR TO THE CONTROL SPACE OR THE CONTROL ROOM MUST BE SECURED AGAINST UNAUTHORIZED ACCESS. IT SHALL BE SELF-LOCKING AND SELF-CLOSING.
14. PROVIDE A 15-AMP 120V AC FUSED SERVICE WITH GROUND (VIA EMERGENCY LIGHT SUPPLY IF AVAILABLE) CONNECTED TO EACH CONTROL CABINET FOR LIGHTING AND FAN. PROVIDE DEDICATED PHONE LINE TERMINATING AT THE ELEVATOR CONTROL CABINET.
15. FOR CONTROL SPACES LOCATED REMOTELY FROM THE ELEVATOR HOISTWAY, PROVIDE A GOVERNOR ACCESS DOOR OF SIZE AND LOCATION PER KONE FINAL LAYOUT DRAWINGS. THE ACCESS DOOR SHALL BE SECURED AGAINST UNAUTHORIZED ACCESS.
16. FOR INTEGRATED CONTROL SPACE LOCATED IN SEISMIC AREA, PROVIDE A SEISMIC SWITCH ACCESS DOOR OF SIZE AND LOCATION PER KONE FINAL LAYOUT DRAWINGS. THE ACCESS DOOR SHALL BE SECURED AGAINST UNAUTHORIZED ACCESS.
17. PROVIDE A SUITABLE WORKING ENVIRONMENT INCLUDING ADEQUATE ACCESS TO THE BUILDING, PROPER LIGHTING IN ALL AREAS, CLEAN AND SAFE STORAGE ADJACENT TO THE HOISTWAY, AND SUFFICIENT ON-SITE REFUSE CONTAINERS FOR THE DISPOSAL OF ELEVATOR PACKING MATERIALS.
18. THIS DRAWING MUST BE REVIEWED AND APPROVED BY A LICENSED PROFESSIONAL TO ENSURE COMPLIANCE WITH LOCAL BUILDING CODES.
19. THESE DRAWINGS ARE FOR INFORMATION PURPOSES ONLY AND MUST NOT BE USED FOR CONSTRUCTION PURPOSES. FULLY DETAILED CONSTRUCTION DRAWINGS ARE AVAILABLE FROM THE PRODUCT MANUFACTURER.

KONE

MonoSpace

ONE KONE COURT
 MOLINE
 P. P: 1-800-956-KONE (5663)
 F. F: 309-743-5489
 www.KONE.com

SPECIFICATIONS		
PRODUCT NAME: KONE MONOSPACE 500 ELEVATOR SEISMIC CAPACITY: 3500 LB SPEED: 350 FPM DOOR: RIGHT/LEFT OPENINGS TRAVEL: 7' 7.25" CONTROL LOCATION: INTEGRATED POWER SUPPLY: 480V REQUIRED FUSE AMPS: 40.0 amps CONTROLLER HEAT OUTPUT: 3.4 kBTU/h MACHINE HEAT OUTPUT: 3.4 kBTU/h	BUILDING (PROJECT NAME) ALTOS ONE	LOCATION LOS ALTOS CA
	ARCHITECT JEFF POTTS	DATE 17/02/2018
	DRAWING# -	SHEET 1
	PIXID: 46385	

ALTOS ONE
 4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC
 572 Chimalus Dr.
 Palo Alto, CA 94306

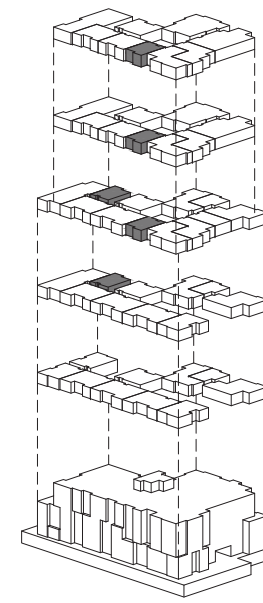
A15
 ELEVATOR CUT SHEET

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com





- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

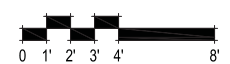


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	782 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

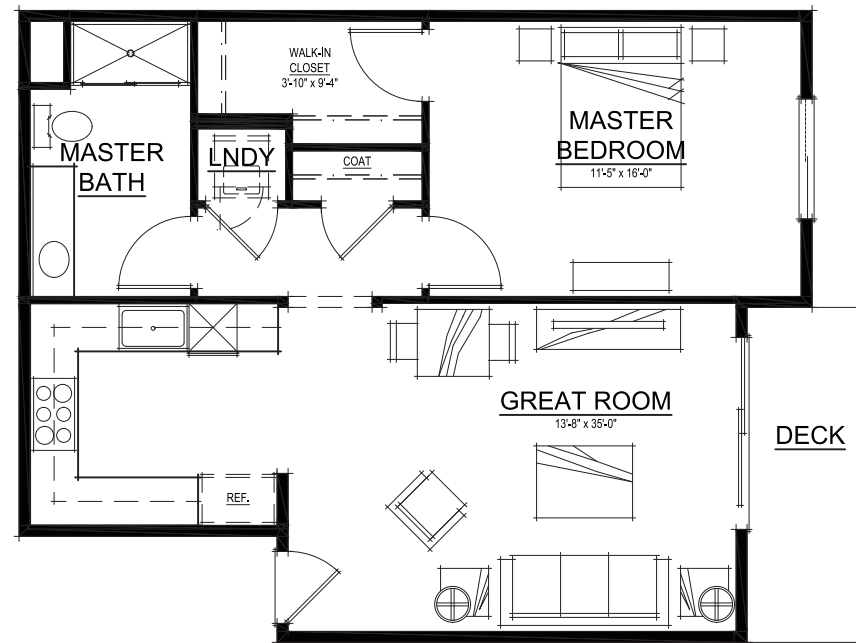
LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



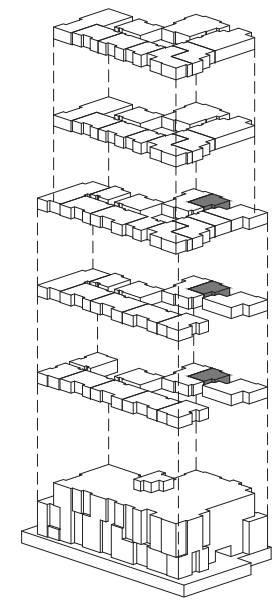
A16
UNIT 1A FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com





- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

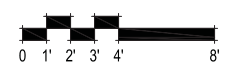


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	785 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

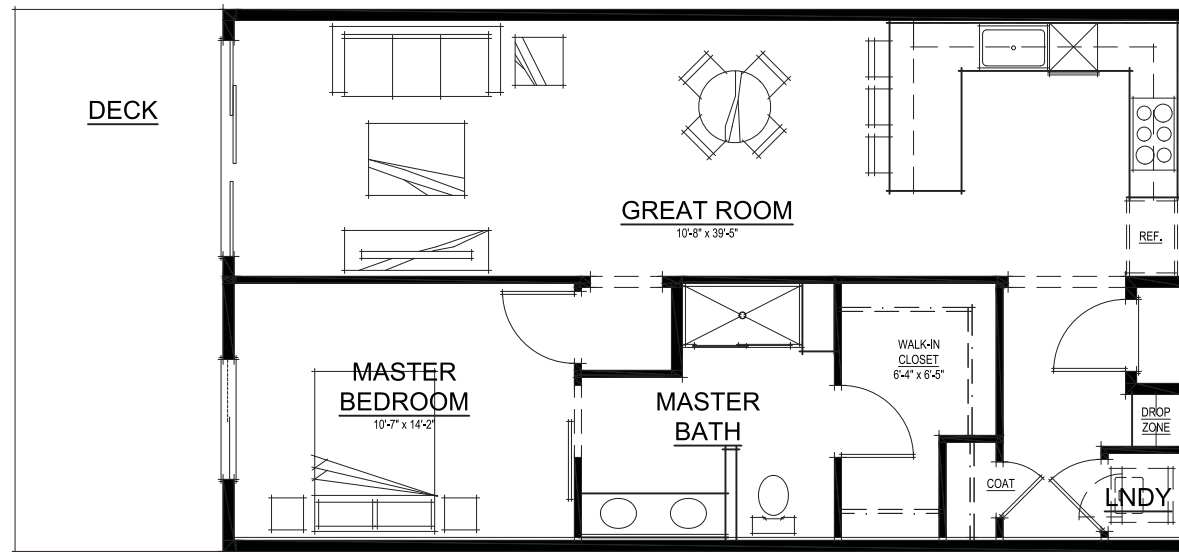
LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



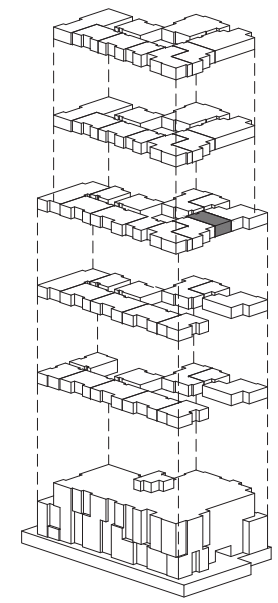
A17
UNIT 1B FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com





- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

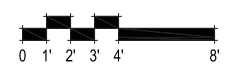


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	902 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



A18
UNIT 1C FLOOR PLAN

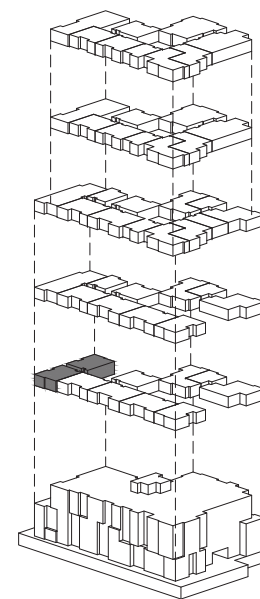
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL



NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

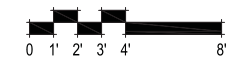
SQUARE FOOTAGES	
LIVING	1081 SQ. FT.

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306



**A19
UNIT 2A FLOOR PLAN**

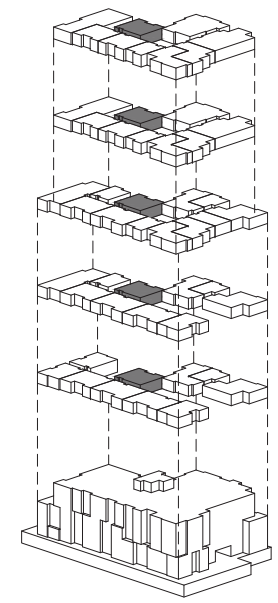
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

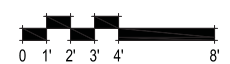


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	1169 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

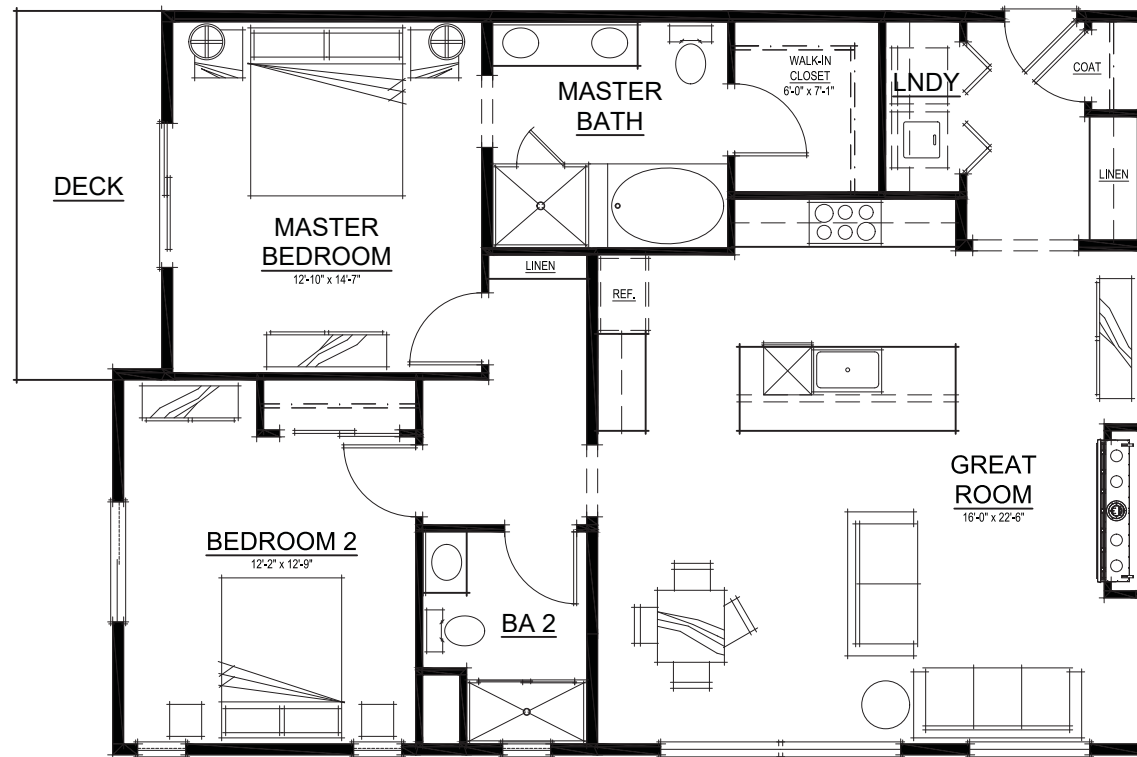
LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



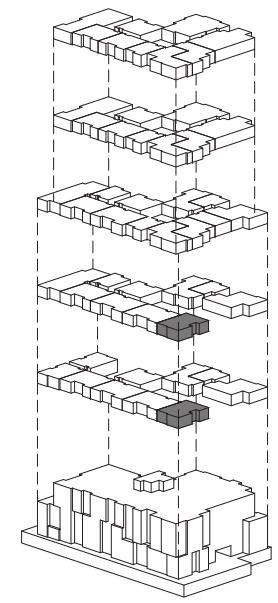
A20
UNIT 2B FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com





- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

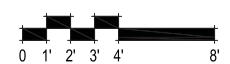


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	1308 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306

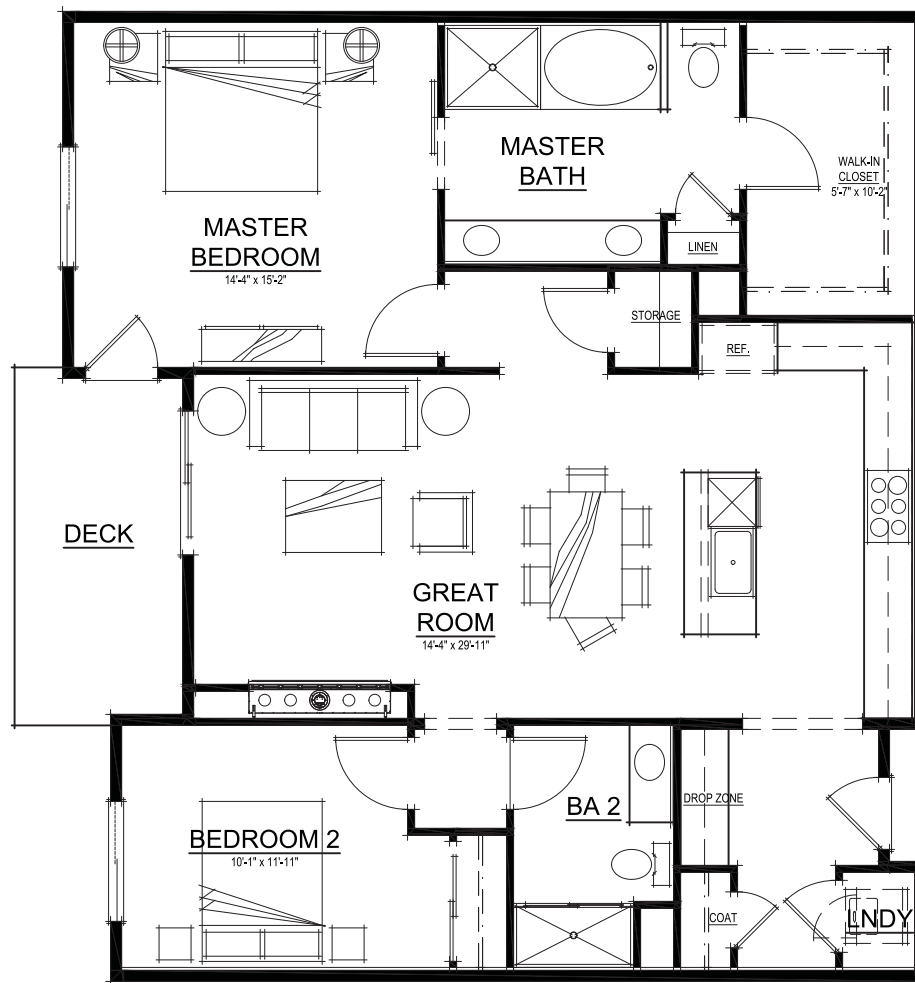


A21
UNIT 2C FLOOR PLAN

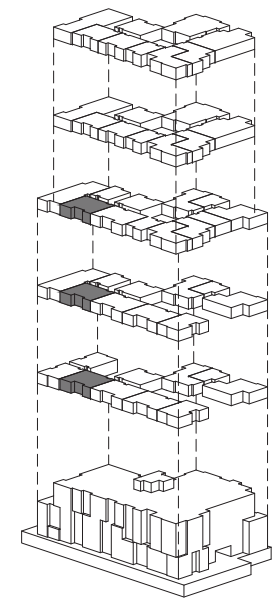
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

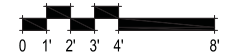


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	1353 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

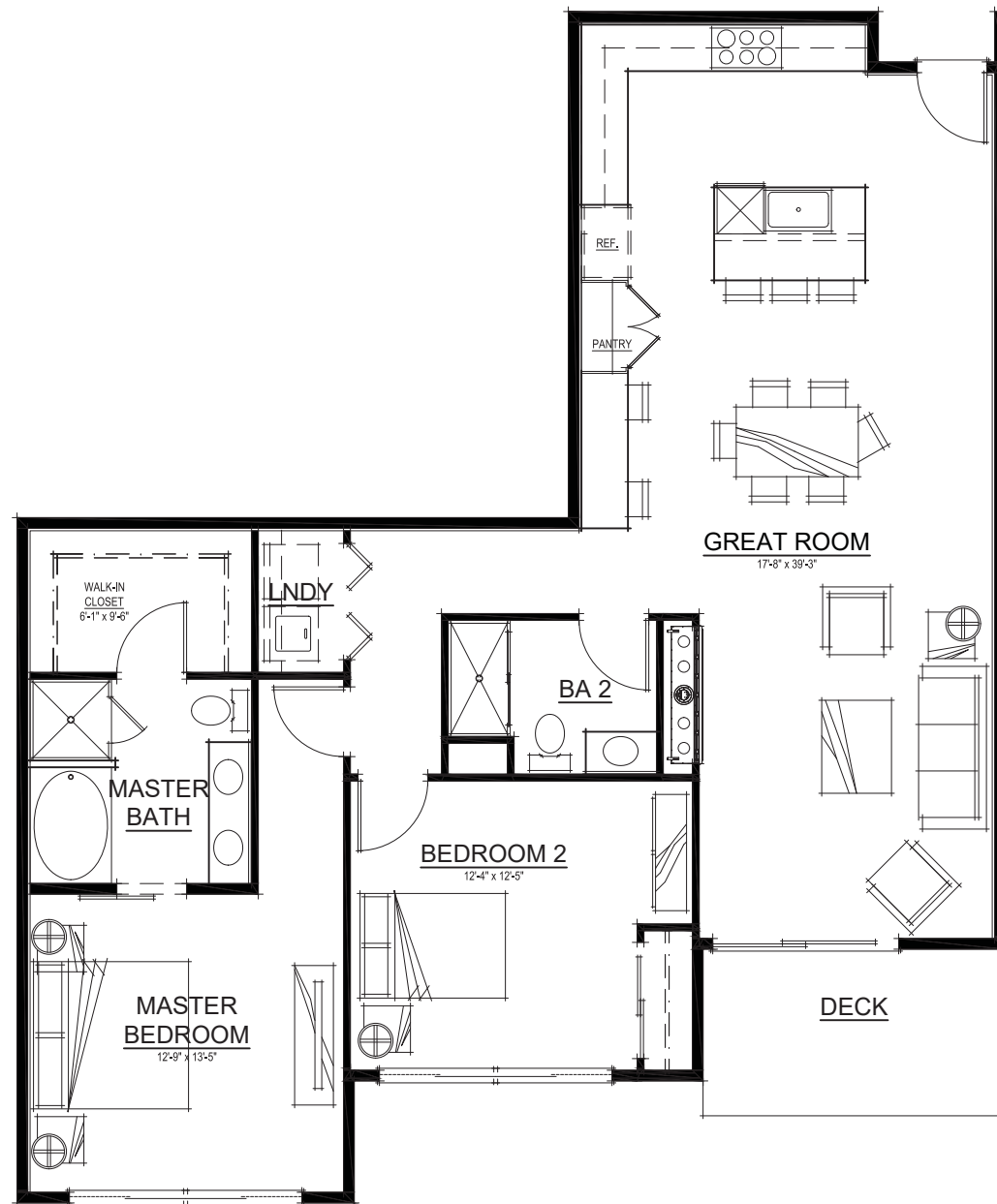
LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



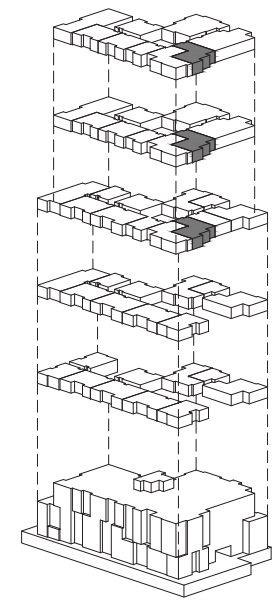
A22
UNIT 2D FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com





- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

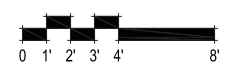


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	1430 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



A23
UNIT 2E FLOOR PLAN

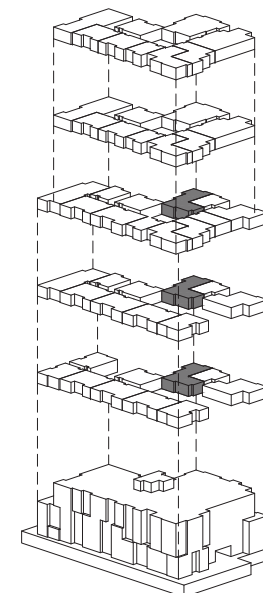
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

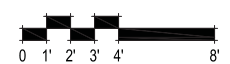


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	1407 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



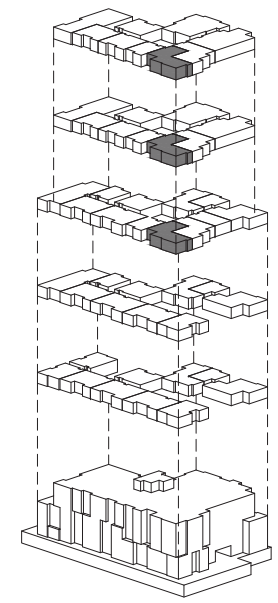
A24
UNIT 2F FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com





- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

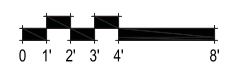


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	1451 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

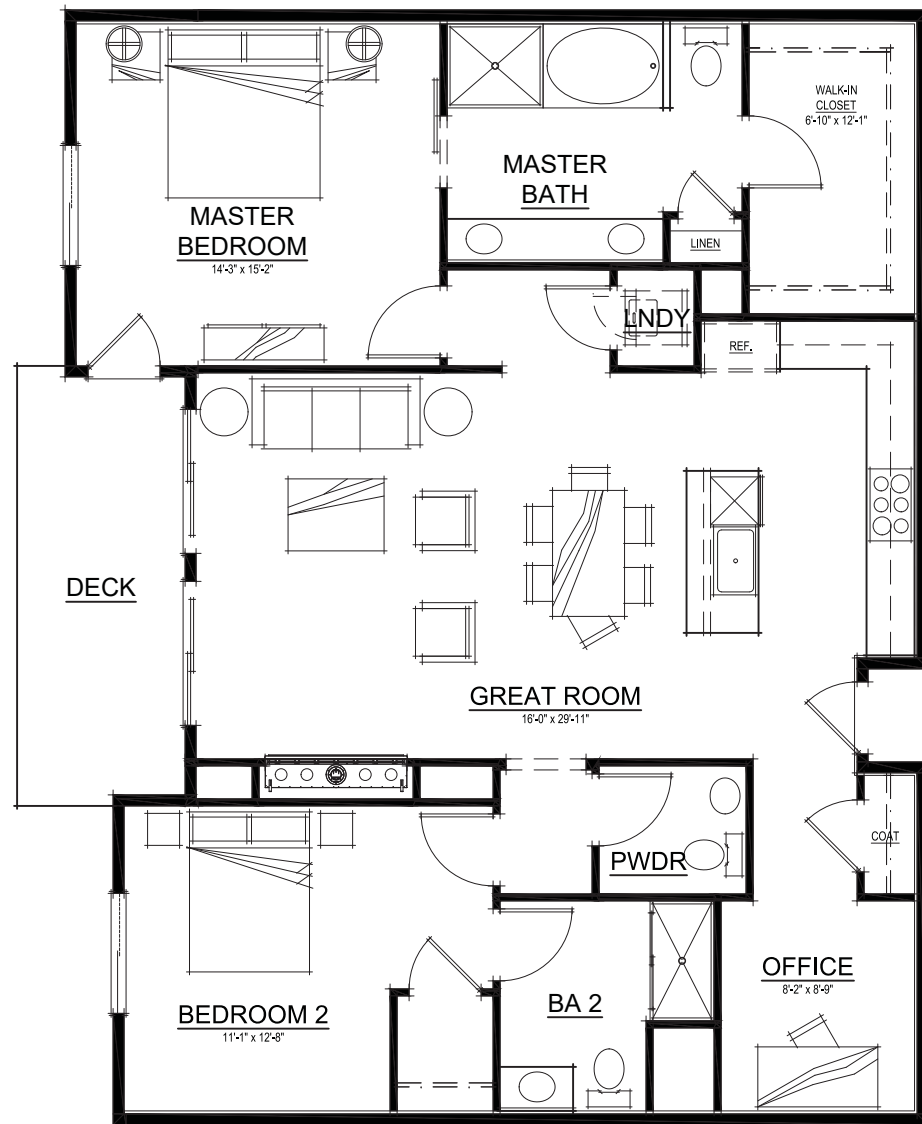
LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



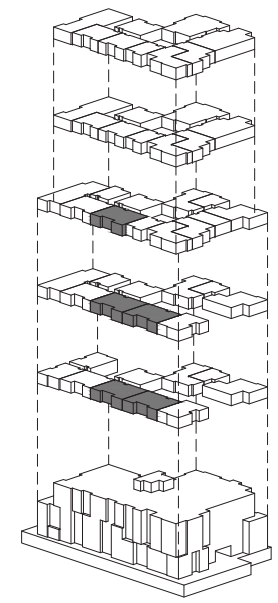
A25
UNIT 2G FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com





- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

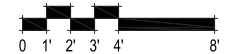


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	1546 SQ. FT.

ALTOS ONE
 4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

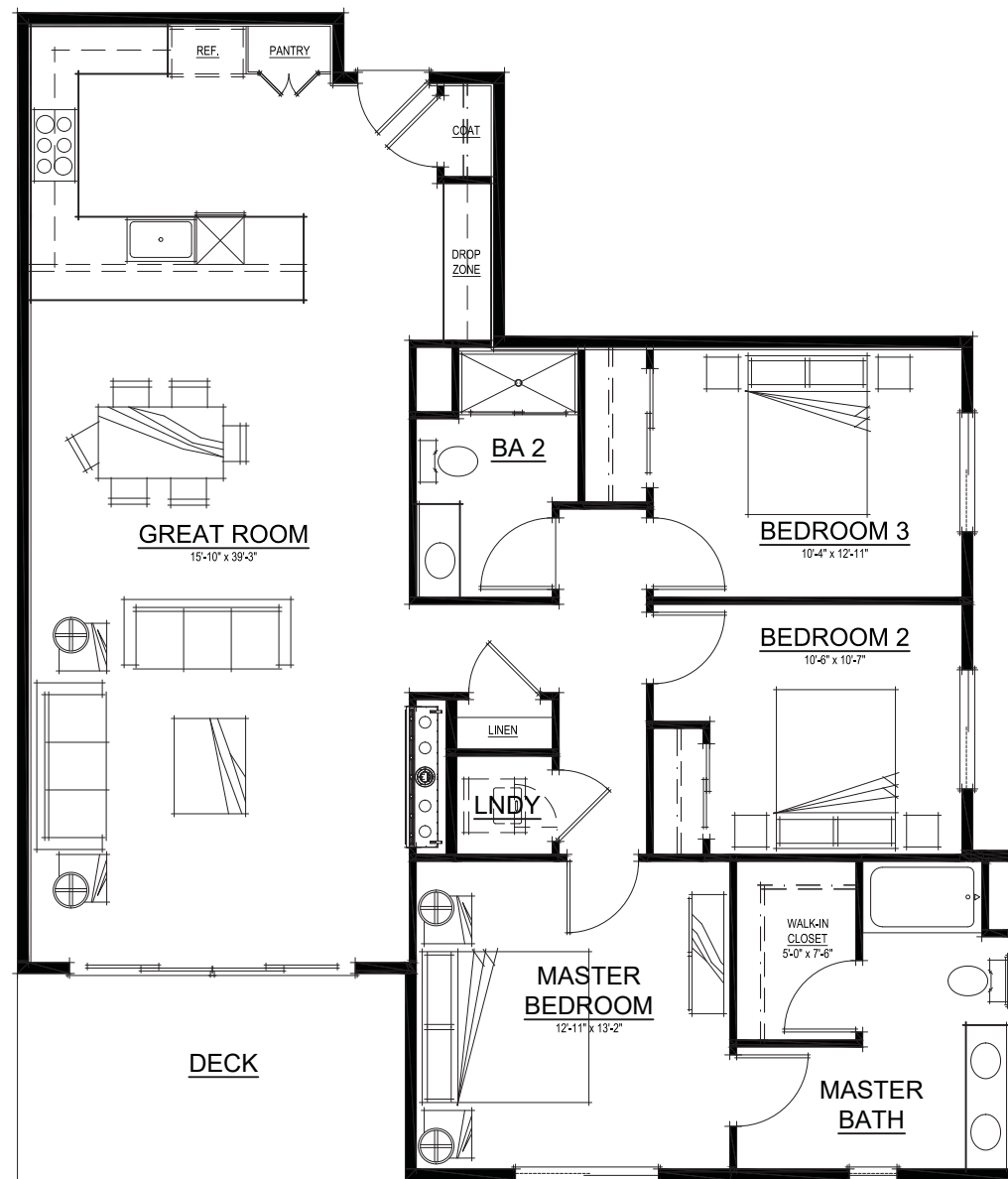
LUXONE LLC
 572 Chimalus Dr.
 Palo Alto, CA 94306



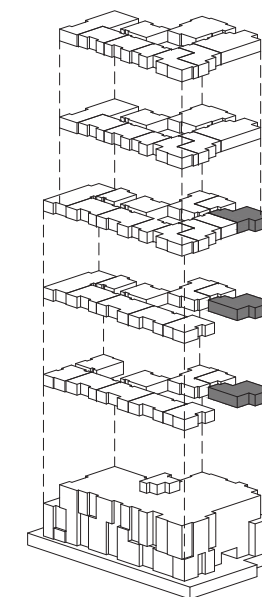
A26
UNIT 2H FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



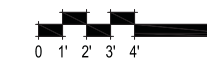


- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL



NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	1569 SQ. FT.



A27
UNIT 3A FLOOR PLAN

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

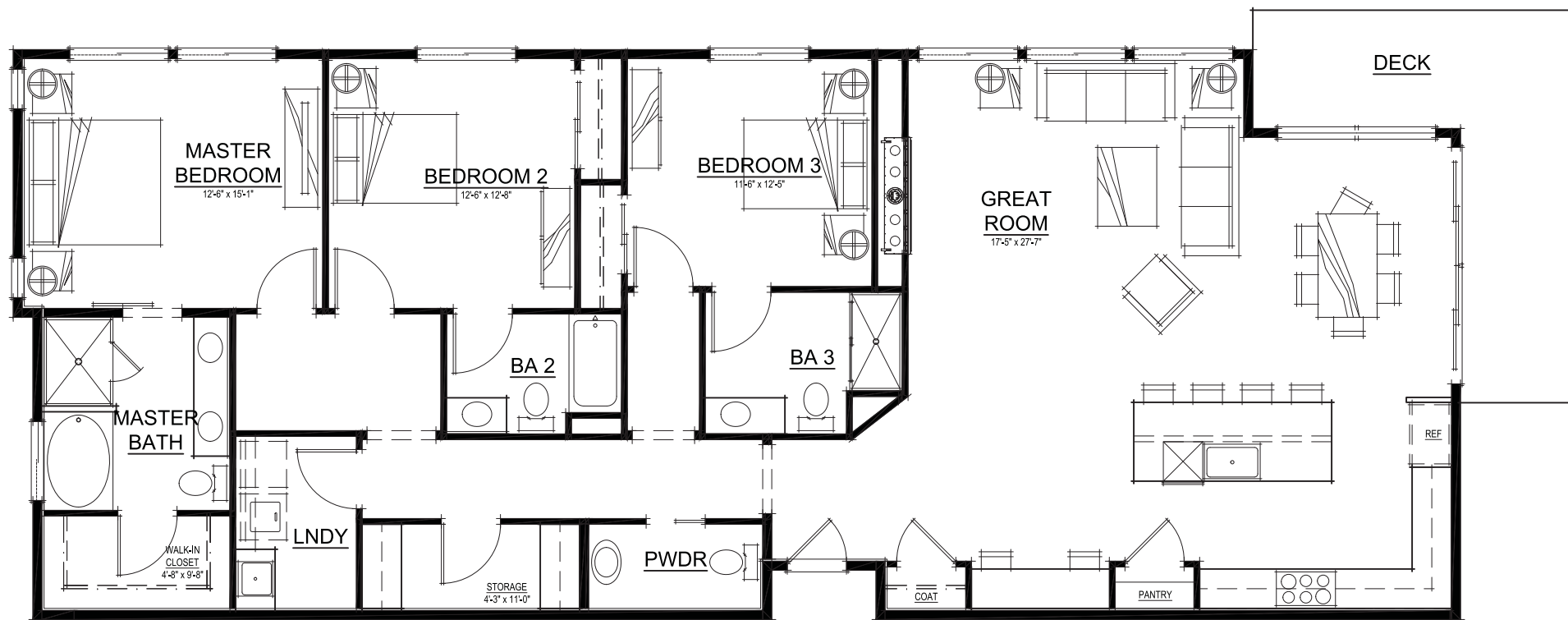
LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

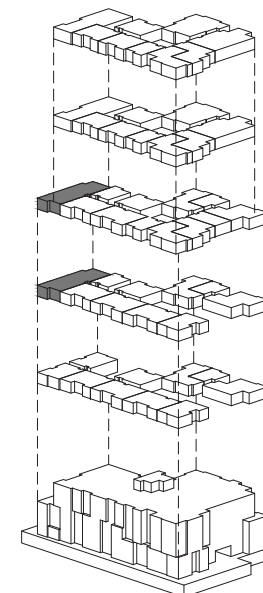
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

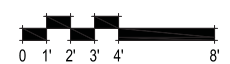


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	2053 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

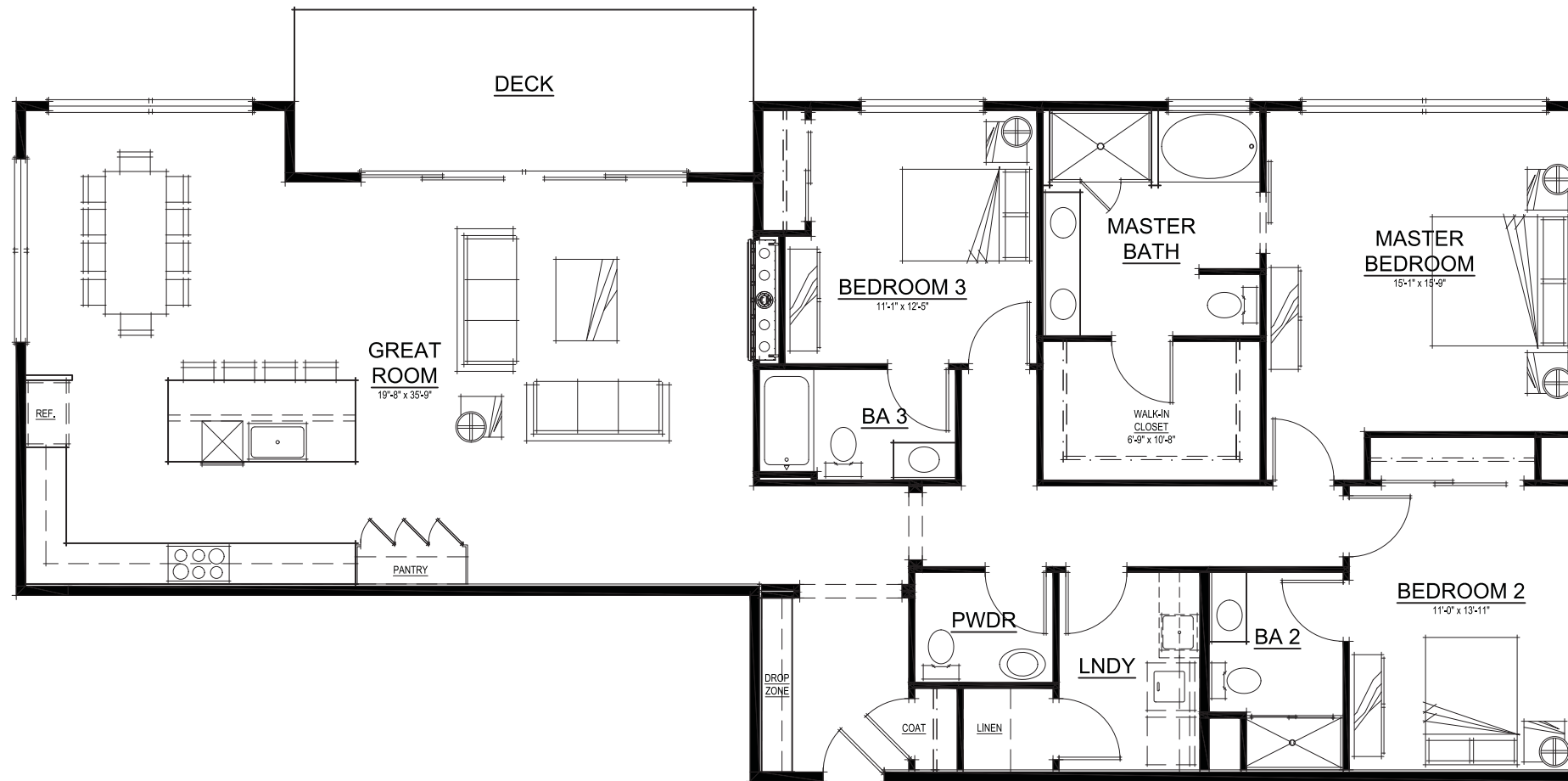
LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



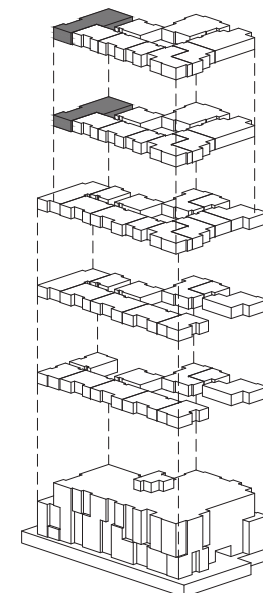
A28
UNIT 3B FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



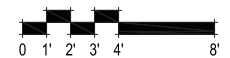


- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL



NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	2159 SQ. FT.



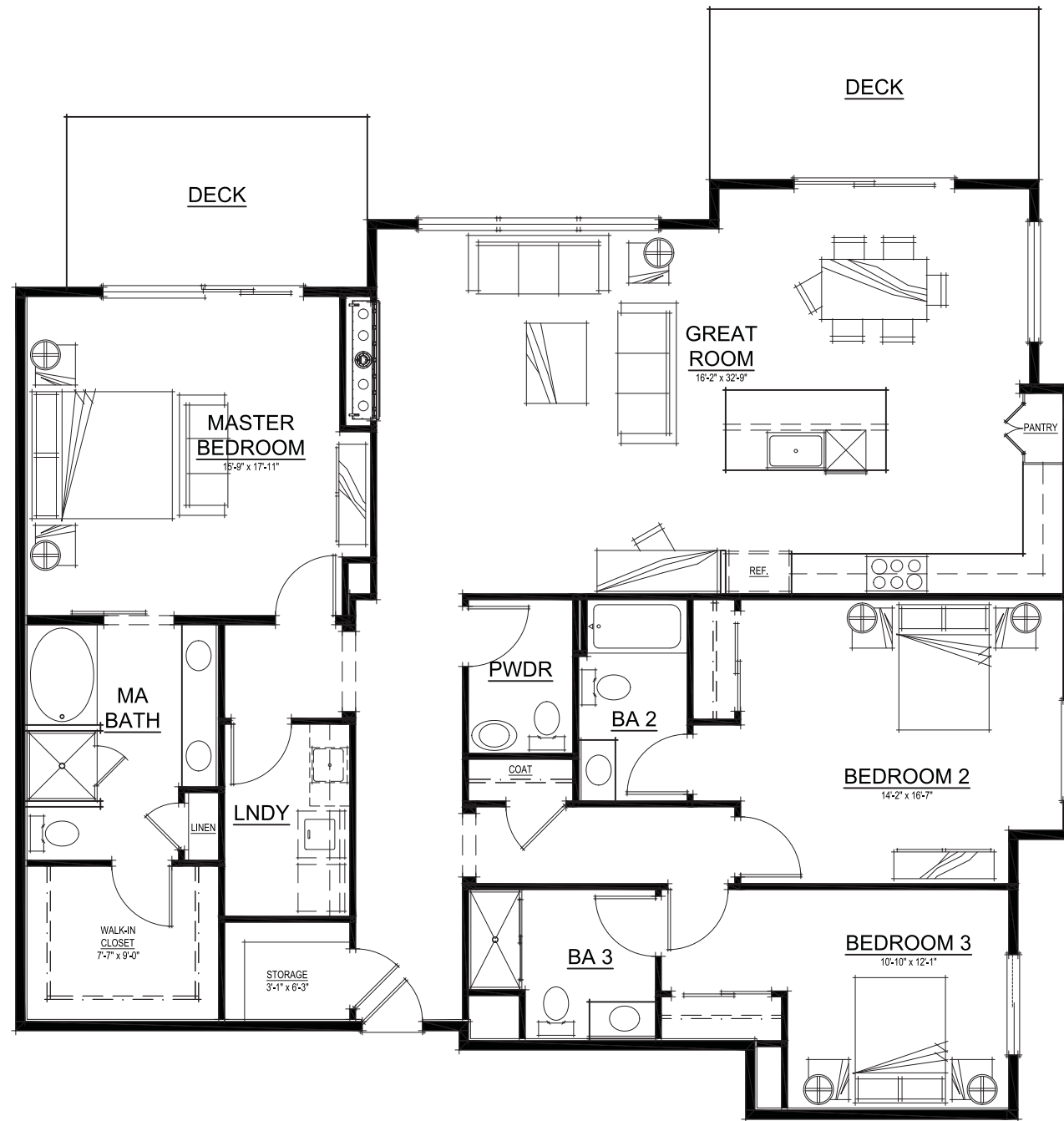
A29
UNIT 3C FLOOR PLAN

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

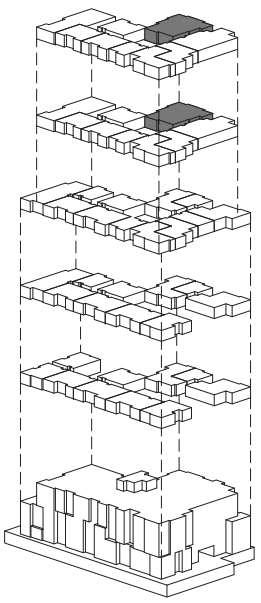
LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com





- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

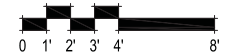


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	2140 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

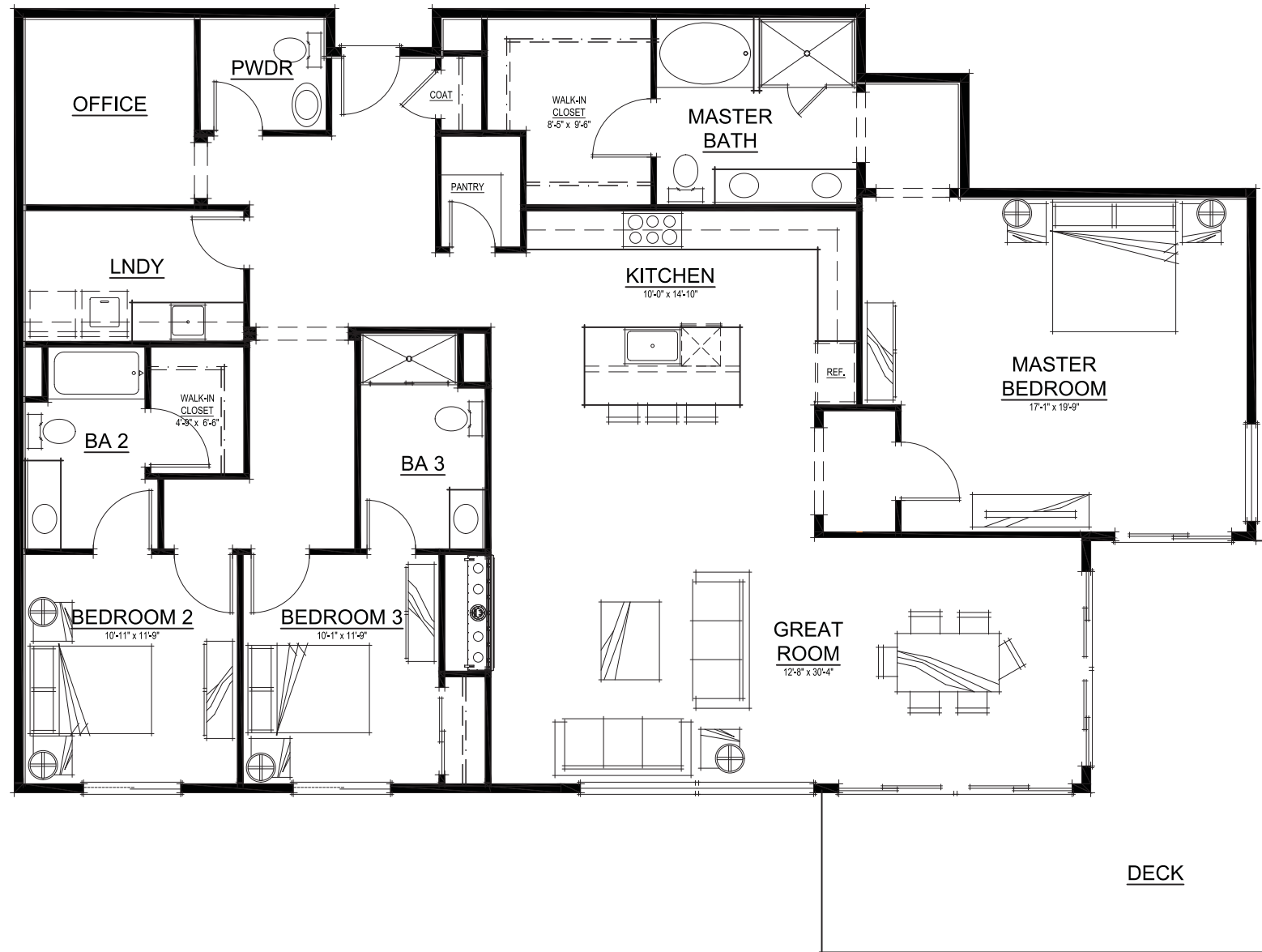
LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



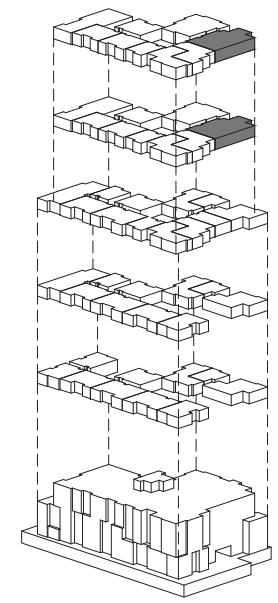
A30
UNIT 3D FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com





- 05 5TH FLOOR UNITS
- 04 4TH FLOOR UNITS
- 03 3RD FLOOR UNITS
- 02 2ND FLOOR UNITS
- 01 1ST FLOOR UNITS
- 00 BUILDING SHELL

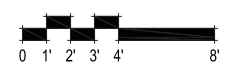


NOTE:
FOR ACTUAL DECK, WINDOW, AND EXTERIOR
DOOR LOCATIONS SEE BUILDING PLANS

SQUARE FOOTAGES	
LIVING	2302 SQ. FT.

ALTOS ONE
4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC
572 Chimalus Dr.
Palo Alto, CA 94306



A31
UNIT 3E FLOOR PLAN

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com





VIEW FROM EL CAMINO REAL

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

A32
BUILDING PERSPECTIVE

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



VIEW FROM CORNER OF EL CAMINO REAL / SHOWERS DRIVE

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

A33
BUILDING PERSPECTIVE

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



VIEW FROM CORNER OF EL CAMINO REAL / SHOWERS DRIVE

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

A34
BUILDING PERSPECTIVE

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



PEDESTRIAN VIEW FROM EL CAMINO REAL



PEDESTRIAN VIEW FROM SEE'S CANDY



VIEW FROM 2ND STORY WINDOW OF APARTMENTS TO THE REAR w/o SCREEN TREES



ROOF DECK

ALTOS ONE

4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC

572 Chimalus Dr.
 Palo Alto, CA 94306

A35
 VIGNETTE PERSPECTIVES

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.



SOUTH PERSPECTIVE



NORTH PERSPECTIVE



WEST PERSPECTIVE



EAST PERSPECTIVE

ALTOS ONE

4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC

572 Chimalus Dr.
 Palo Alto, CA 94306

A36
 BUILDING PERSPECTIVES

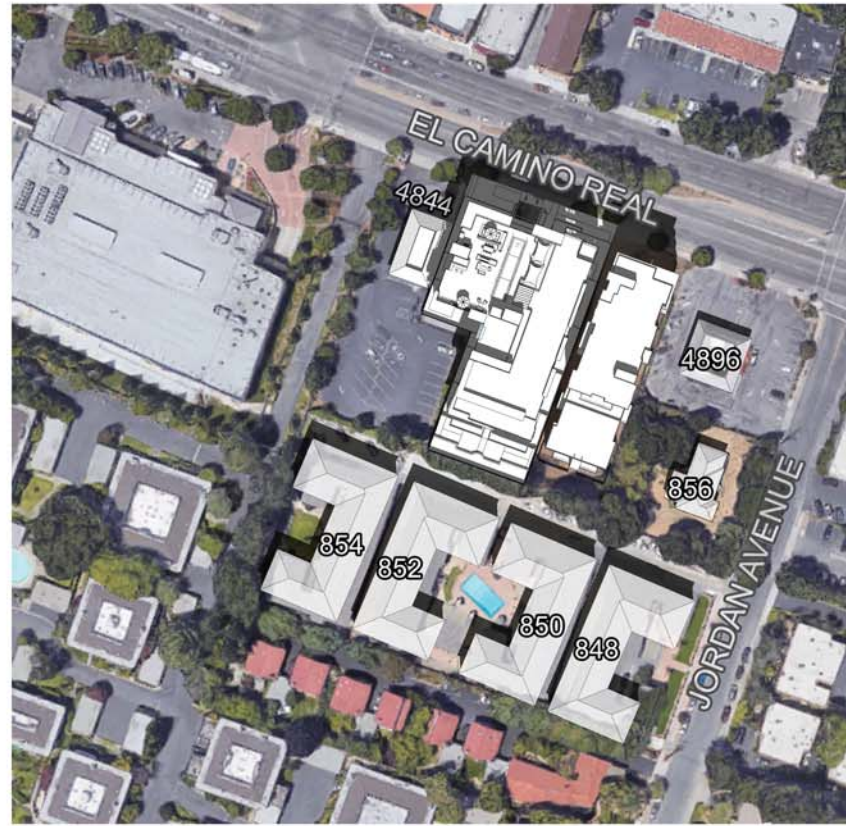
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.



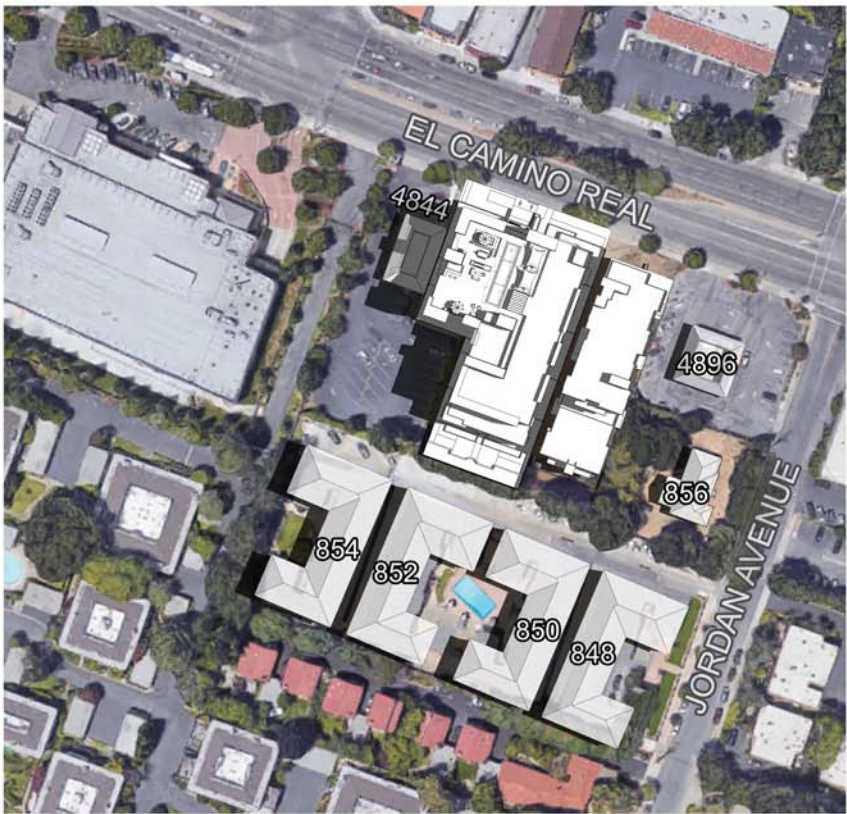
MARCH 20TH - 9:00 AM



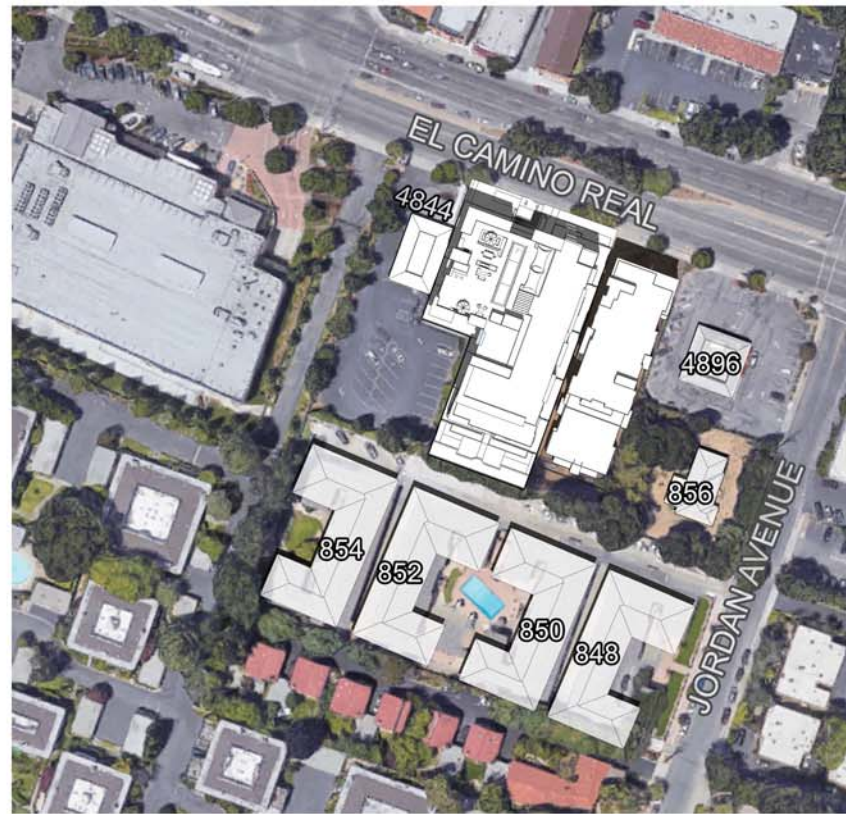
MARCH 20TH - 12:00 PM



MARCH 20TH - 3:00 PM



JUNE 21ST - 9:00 AM



JUNE 21ST - 12:00 PM



SCALE: 1" = 80'

JUNE 21ST - 3:00 PM

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

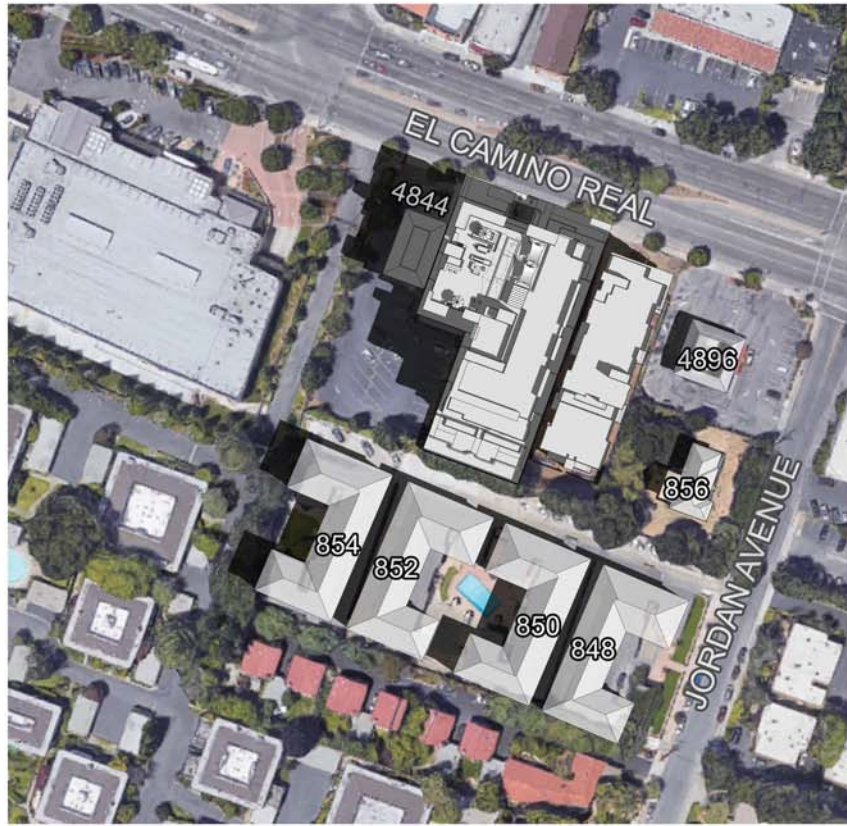
572 Chimalus Dr.
Palo Alto, CA 94306

A37
SHADOW STUDY

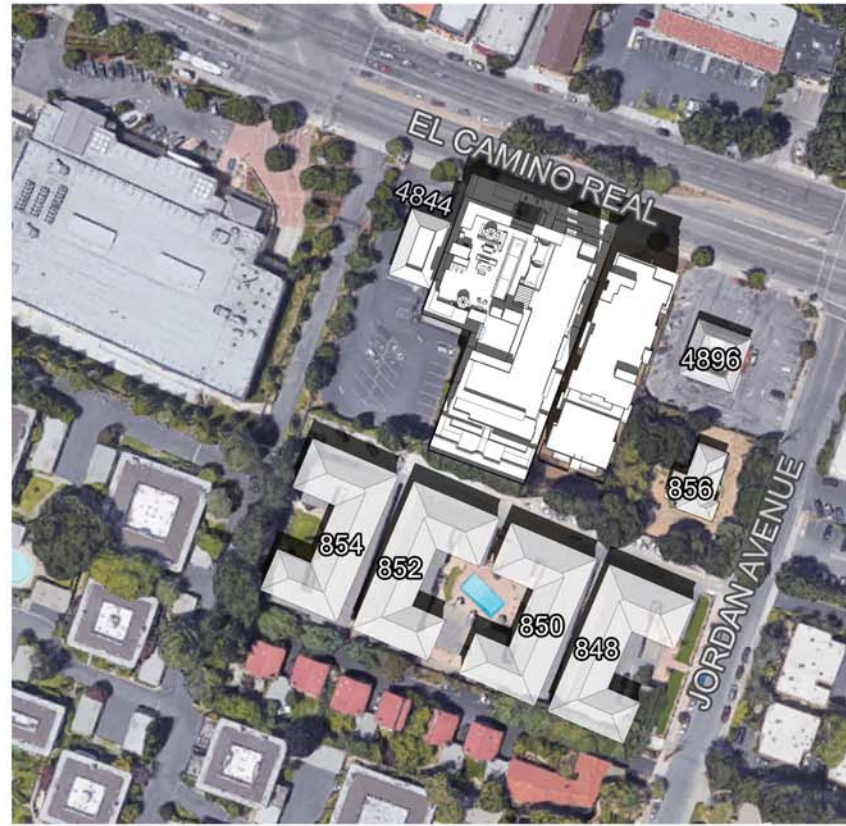
3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



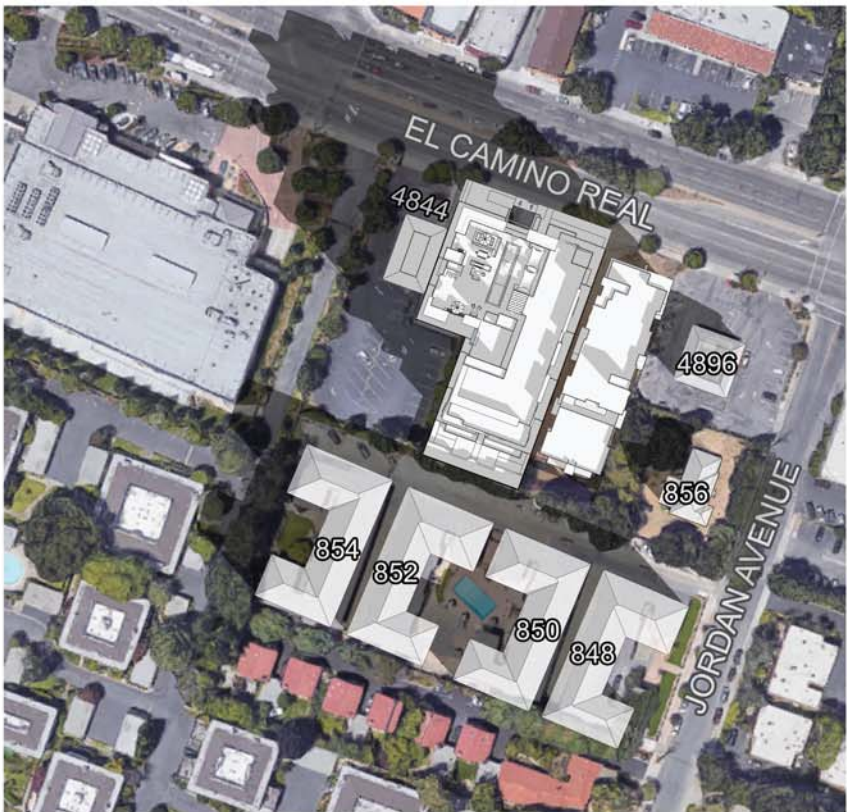
SEPTEMBER 23RD - 9:00 AM



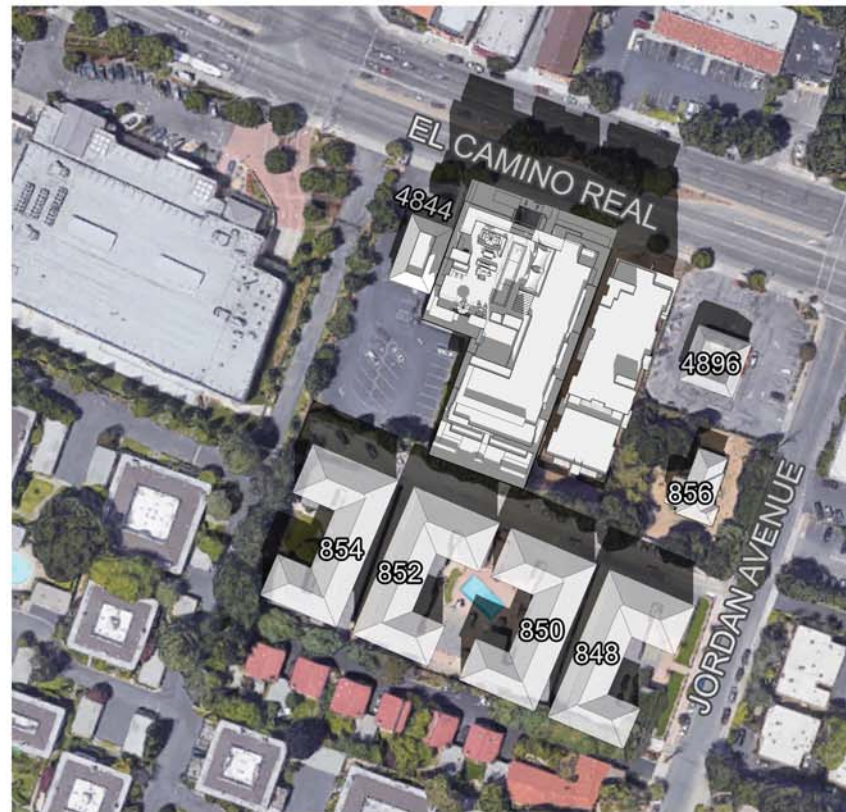
SEPTEMBER 23RD - 12:00 PM



SEPTEMBER 23RD - 3:00 PM



DECEMBER 21ST - 9:00 AM



DECEMBER 21ST - 12:00 PM



DECEMBER 21ST - 3:00 PM

ALTOS ONE

4846 & 4856 El Camino Real
Los Altos, CA
July 18, 2018

LUXONE LLC

572 Chimalus Dr.
Palo Alto, CA 94306

SCALE: 1" = 80'

A38
SHADOW STUDY

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
925.634.7000
www.strausdesign.com



SDG Architects, Inc.



THIRD FLOOR

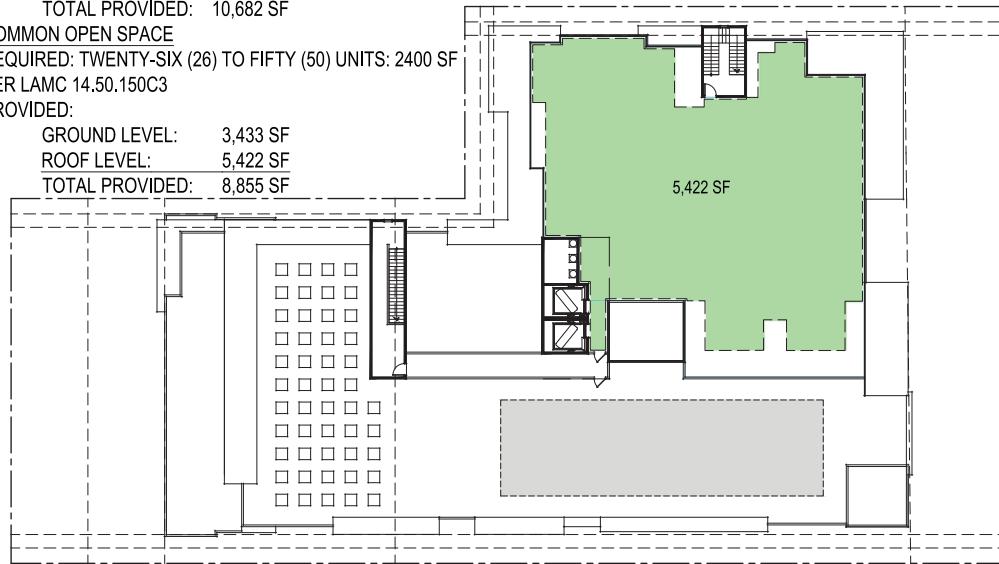
OPEN SPACE

PRIVATE OPEN SPACE
 REQUIRED: 50 SF AVERAGE / UNIT X 50 UNITS = 2500 SF
 PER LAMC 14.50.150A

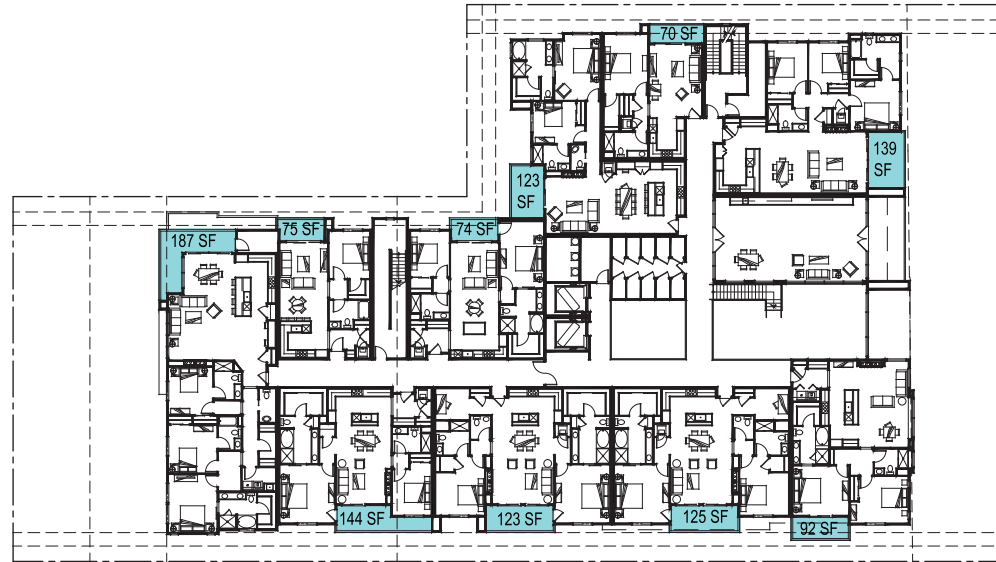
PROVIDED:
 FIRST FLOOR: 4,965 SF
 SECOND FLOOR: 1,152 SF
 THIRD FLOOR: 1,187 SF
 FOURTH FLOOR: 1,689 SF
 FIFTH FLOOR: 1,689 SF
 TOTAL PROVIDED: 10,682 SF

COMMON OPEN SPACE
 REQUIRED: TWENTY-SIX (26) TO FIFTY (50) UNITS: 2400 SF
 PER LAMC 14.50.150C3

PROVIDED:
 GROUND LEVEL: 3,433 SF
 ROOF LEVEL: 5,422 SF
 TOTAL PROVIDED: 8,855 SF



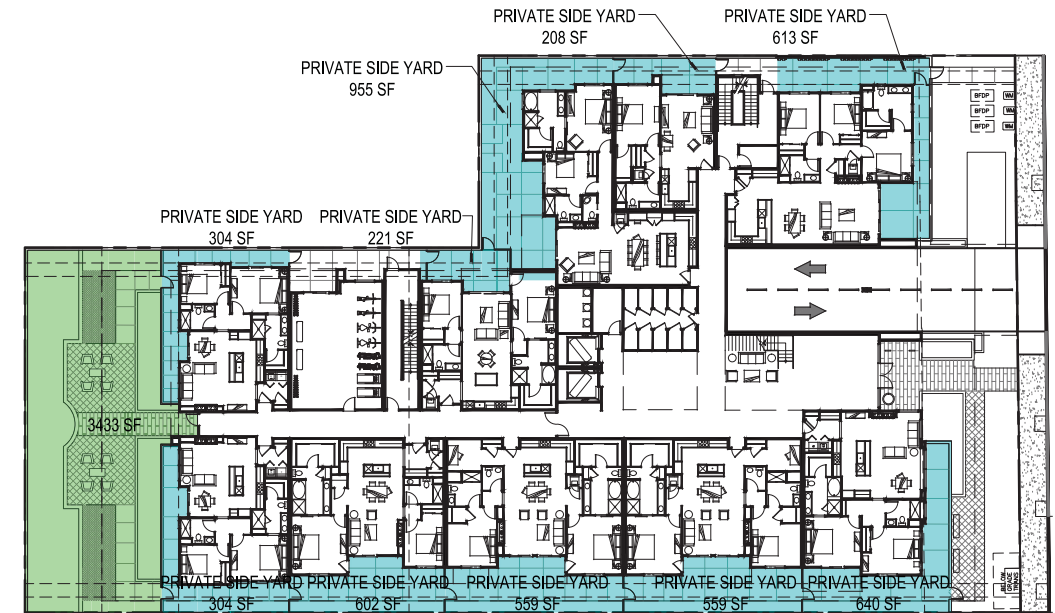
ROOF



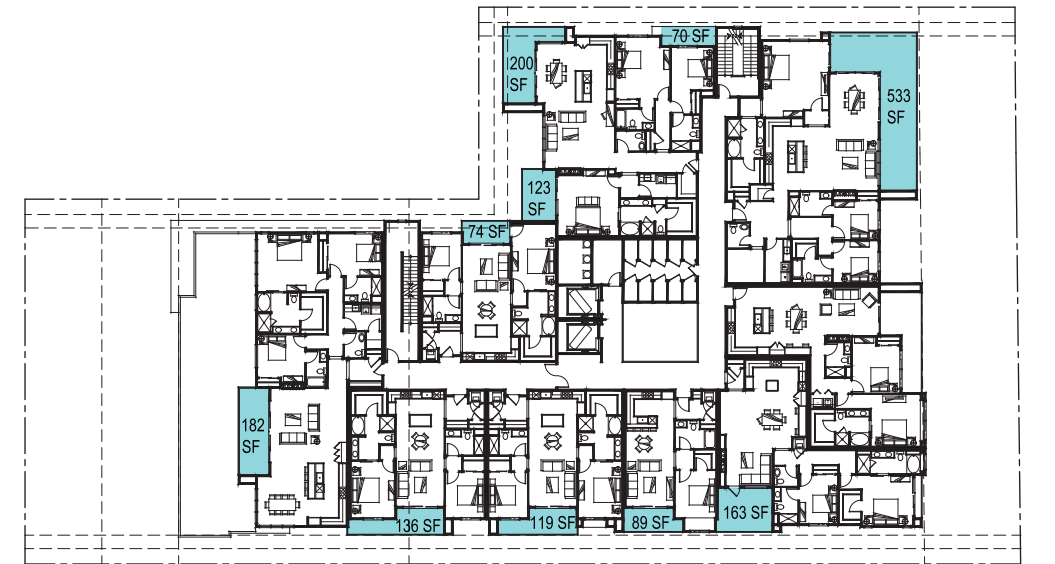
SECOND FLOOR



FIFTH FLOOR



FIRST FLOOR



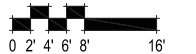
FOURTH FLOOR

ALTOS ONE

4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC

572 Chimalus Dr.
 Palo Alto, CA 94306

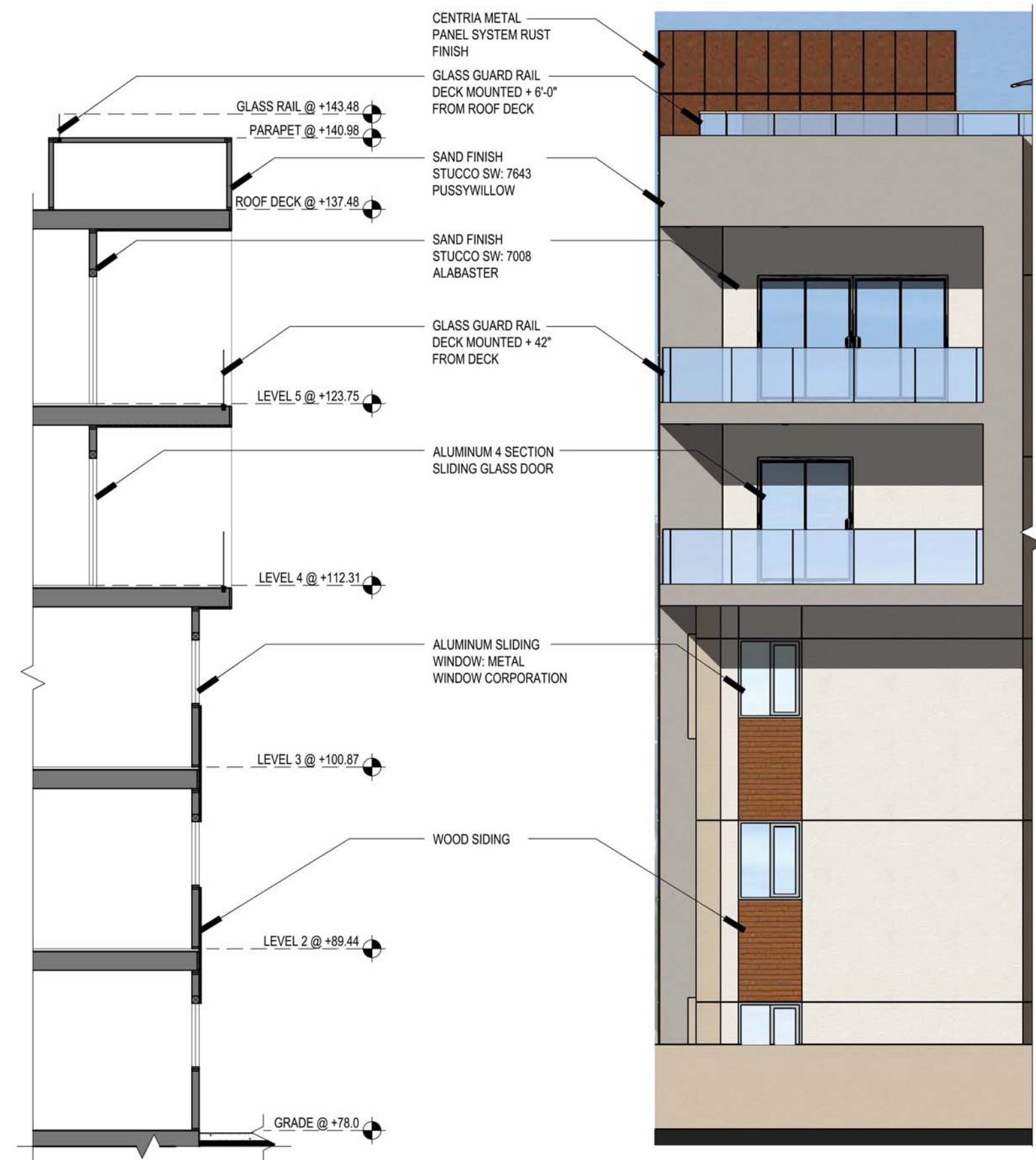
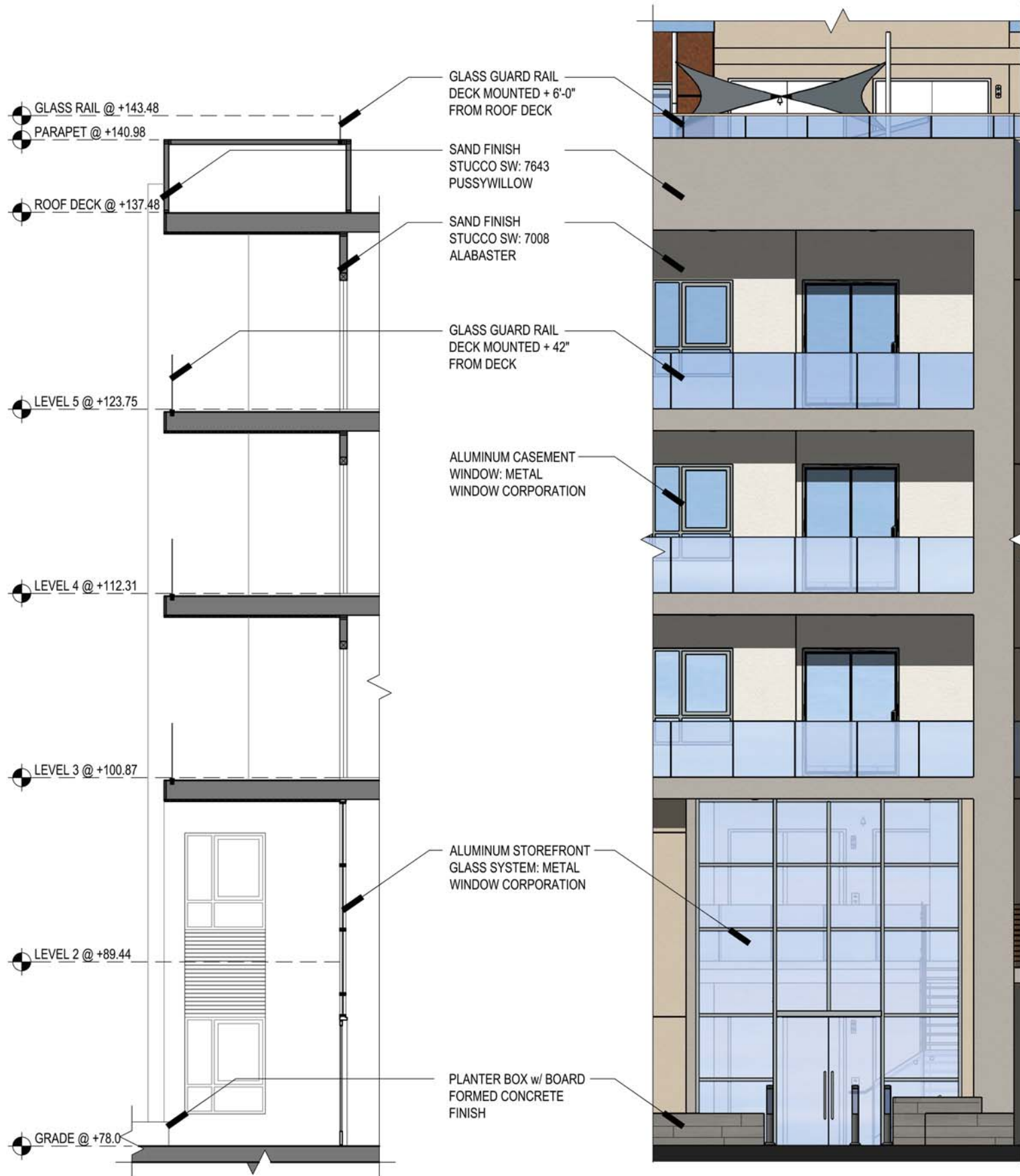


**A39
 OPEN SPACE**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.straussdesign.com



SDG Architects, Inc.

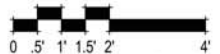


ALTOS ONE

4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC

572 Chimalus Dr.
 Palo Alto, CA 94306



**A40
 WALL SECTIONS & DETAILS**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.

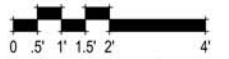


ALTOS ONE

4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC

572 Chimalus Dr.
 Palo Alto, CA 94306

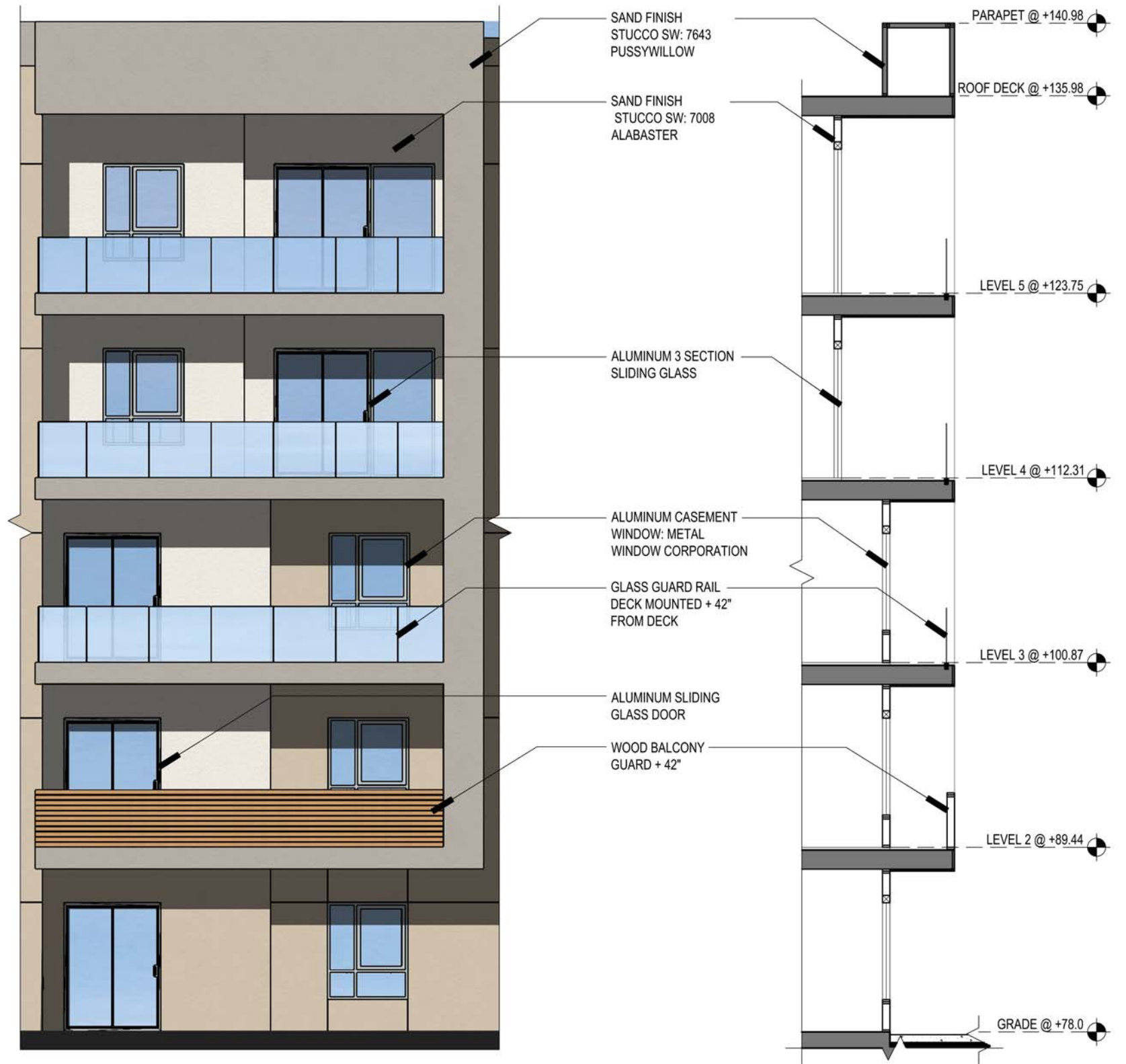


**A41
 WALL SECTIONS & DETAILS**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.

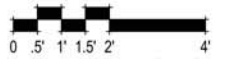


ALTOS ONE

4846 & 4856 El Camino Real
 Los Altos, CA
 July 18, 2018

LUXONE LLC

572 Chimalus Dr.
 Palo Alto, CA 94306



**A42
 WALL SECTIONS & DETAILS**

3361 Walnut Blvd. Suite 120 Brentwood, CA 94513
 925.634.7000
 www.strausdesign.com



SDG Architects, Inc.

NOTE: PLANTING CALLOUTS, REFER TO SHEET L-2 FOR PLANT LEGEND

TOTAL SITE AREA: (EXCLUDES BLDG., PODIUM DECK & DRIVEWAY)	12,728 SF
TOTAL HARDSCAPE:	5,825 SF
TOTAL SOFTSCAPE PLANTING: (INCLUDES SYNTH. TURF AREA)	6,903 SF
% LANDSCAPE	54.2%
FRONT SETBACK - TOTAL AREA	3,751 SF
FRONT SETBACK - TOTAL LANDSCAPE	1,887 SF
FRONT SETBACK - TOTAL HARDSCAPE	1,864 SF
FRONT SETBACK - % LANDSCAPE	50.3%



PROGRAM AMENITY LEGEND

- 1 LARGE FORMAT PAVERS, TYPICAL
- 2 3' +/- RETAINING WALL TO REPLACE EXISTING WALL PRESERVE GRADES AROUND REDWOODS
- 3 EXISTING CMU PROPERTY WALL TO REMAIN. TREES SPACED TO WORK WITH EXISTING TREES ON ADJACENT PROPERTY
- 4 PLANTING AREA AT STREET FRONTAGE
- 5 36" HT. RAISED PLANTER WALL, TYPICAL
- 6 SEMI-PRIVATE PATIO: WOOD DECK PAVING WITH BENCH SEATING
- 7 4' HT. CONCRETE PRIVACY WALL WITH BOARD FORM FINISH AND 4' HT WOOD FIRE ACCESS GATE
- 8 PUBLIC SIDEWALK, S.C.D.
- 9 RAMP TO PARKING GARAGE, S.C.D.
- 10 COLORED CONCRETE PAVING, TYPICAL
- 11 EXISTING TREE TO BE REMOVED, TYPICAL
- 12 LOADING PARKING STALL, S.C.D.
- 13 6' HT. WOOD PRIVACY FENCE AND FIRE ACCESS GATE W/ KNOX BOX, TYPICAL
- 14 SIDE PROPERTY LINE SCREEN PLANTING, TYPICAL
- 15 PASSIVE LOUNGE AREA: LOUNGE SEATING NICHES W/ WOOD DECK PAVING AND FEATURE RETAINING WALL AROUND EXISTING REDWOODS
- 16 24" HT. RAISED PLANTER WALL, TYP.
- 17 EXISTING REDWOOD TREES TO REMAIN, TYPICAL
- 18 PROPERTY LINE, TYPICAL
- 19 20'-0" URBAN FOREST SETBACK
- 20 PROPOSED NEW STREET TREE LOCATION, TYPICAL OF (4)
- 21 CURBSIDE TRASH PICK-UP AT DESIGNATED RED CURB ZONE
- 22 SHADE TOLERANT UNDERSTORY PLANTING BENEATH EXISTING REDWOOD TREES
- 23 BUILDING UTILITY VAULTS/ BOXES, S.C.D.
- 24 SYNTHETIC LAWN, TYP.
- 25 PODIUM PARKING DECK BELOW SHOWN DASHED
- 26 NEW 6' HEIGHT CMU WALL, TYPICAL
- 27 BIKE PARKING, (4) BIKES TOTAL
- 28 GAS METERS, TYP.
- 29 UNDERGROUND TRANSFORMER, SEE CIVIL DRAWINGS.
- 30 6' HT. CONCRETE PRIVACY WALL WITH BOARD FORM FINISH AND 6' HT WOOD FIRE ACCESS GATE

GROUND FLOOR PRELIMINARY LANDSCAPE PLAN

NOT FOR CONSTRUCTION
APPLICATION NOS. 18-D-01, 18-UP-01, and 18-SD-01

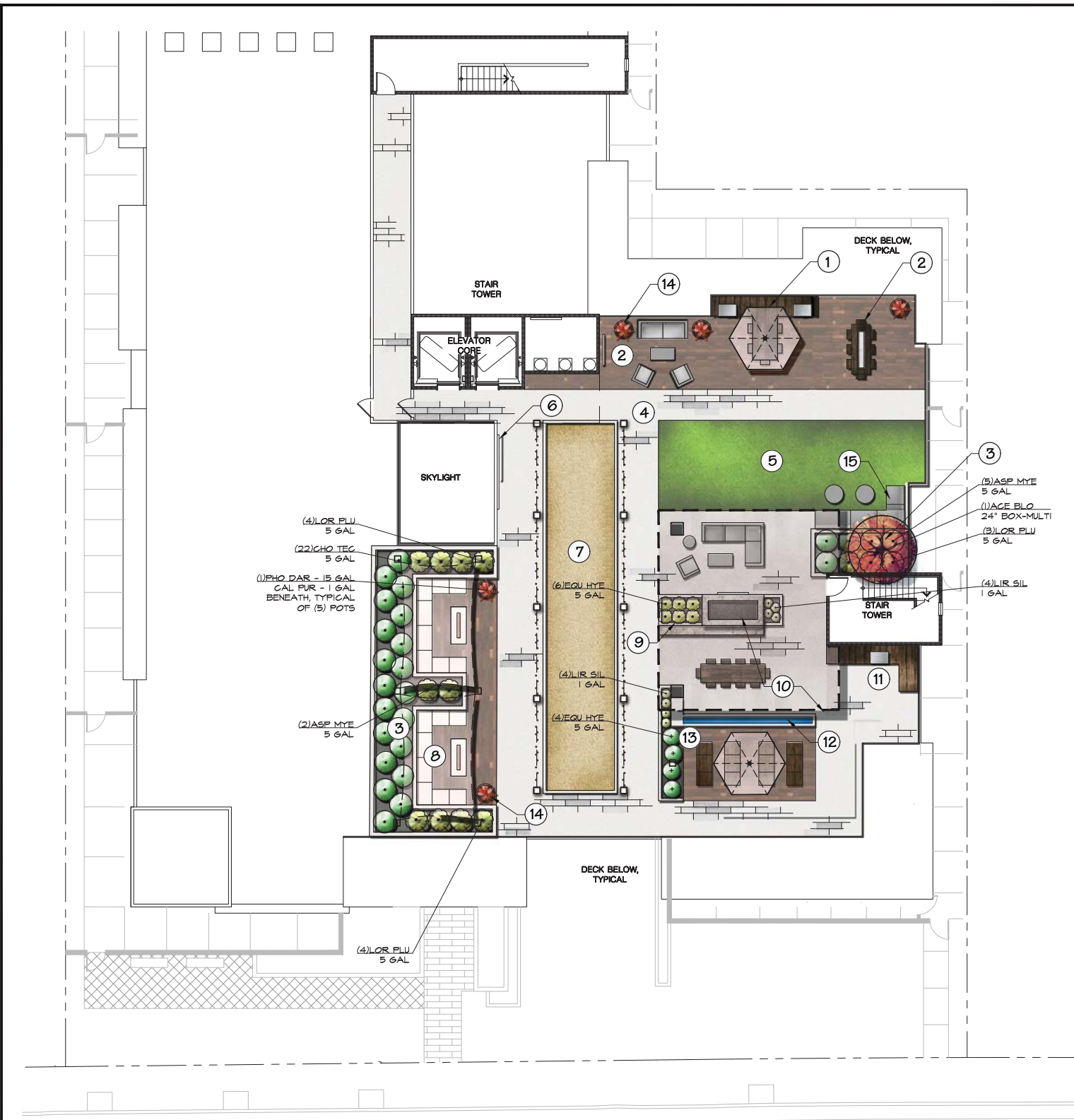
ALTOS ONE
4856 & 4846 EL CAMINO REAL
LOS ALTOS, CALIFORNIA 94022



0 5 10 20 FT.
DATE: 07/16/18
JOB# 16017.01



ENVIRONMENTAL FORESIGHT, INC.
Landscape Architecture
1700 N. Broadway, Suite 401
Walnut Creek, CA 94596
T (925) 945-0300 F (925) 945-6688
www.environmentalforesight.com



PROGRAM AMENITY LEGEND

- ① OUTDOOR KITCHEN: BBQ GRILLS & BUILT-IN BAR SEATING WITH UMBRELLA ABOVE
- ② ENTERTAINMENT NOOK: COUNTER HEIGHT TABLE SEATING WITH DROP-IN ICE CHEST AT CENTER. OUTDOOR TV FEATURE WALL, LOUNGE SEATING & WOOD PAVING. TYPICAL OF (2)
- ③ RAISED PLANTER WITH ACCENT TREES, & PLANTING
- ④ LARGE FORMAT PAVERS, TYPICAL
- ⑤ OUTDOOR SYNTHETIC TURF AREA, PICNIC VIEWING FOR OUTDOOR MOVIES
- ⑥ OUTDOOR MOVIE SCREEN
- ⑦ 12' X 60' BOCCO COURT WITH CONTEMPORARY FESTOON LIGHTS OVERHEAD
- ⑧ OUTDOOR LOUNGE AREA WITH SHADE SAIL ABOVE & RAISED PLANTER BEHIND BUILT-IN WOOD BENCH SEATING WITH FIREPIT AT CENTER. TYPICAL OF (2)
- ⑨ RAISED CORTEN STEEL PLANTER
- ⑩ CABANA: DOUBLE SIDED FIREPLACE WITH FARM TABLE DINING ONE SIDE, LOUNGE SEATING OTHER SIDE, APPROXIMATELY 28' X 32'
- ⑪ OUTDOOR KITCHEN
- ⑫ 42" HEIGHT TROUGH WATER FOUNTAIN
- ⑬ SUN DECK: RAISED 12" DECK WITH LOUNGE CHAIRS FOR SUN BATHING
- ⑭ DECORATIVE POTTERY, TYPICAL
- ⑮ BUILT-IN BENCH FEATURE WITH COFFEE TABLES

PLANT MATERIAL KEY

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WUCOLS (1)
TREES					
ACE BLO*	Acer p. 'Bloodgood'	Bloodgood Japanese Maple	24" BOX-STD.	SEE PLANS	M
ACE SAN*	Acer p. 'Sango Kaku'	Coral Bark Maple	36" BOX-MULTI	SEE PLANS	M
LAG MYE	Lagerstroemia l. 'Muskaquee'	Crape Myrtle	24" BOX-STD.	SEE PLANS	L
LAU SAR*	Laurus nobilis 'Saratoga'	Saratoga Laurel	24" BOX-STD.	SEE PLANS	L
LOP CON	Lophostemon confertus	Brisbane Box	24" BOX-STD.	SEE PLANS	M
SHRUBS, GROUNDCOVERS & GRASSES					
ANI BUS	Anigozanthus h. 'Bush Gold'	Kangaroo Paw	5 GAL	36" O.C.	L
ASP ELA*	Aspidistra elatior	Cast-Iron-Plant	1 GAL	18" O.C.	L
ASP MYE*	Asparagus d. 'Myers'	Myers Asparagus Fern	5 GAL	30" O.C.	M
AZA ALA*	Azalea x. 'Alaska'	White Azalea	5 GAL	48" O.C.	M
CAL PUR	Callibrachoa x 'Purple'	Purple Million Bells	4" POTS	8" O.C.	M
CHO TEC	Chondropetalum tectorum	Small Cape Rush	5 GAL	48" O.C.	L
DIE VEG*	Dietes vegeta	Fortnight Lily	5 GAL	36" O.C.	L
EVO SIL*	Evonymus j. 'Silver King'	Upright Evonymus	5 GAL	36" O.C.	L
EGU HYM	Equisetum hymale	Horsetail	5 GAL	24" O.C.	H
FES ELI	Festuca g. 'Elijah Blue'	Common Blue Fescue	1 GAL	18" O.C.	L
LIR SIL*	Liriope m. 'Silvery Sunproof'	Variegated Lily Turf	1 GAL	18" O.C.	M
LOR FLU*	Loropetalum chinense 'Plum Delight'	Fringe Flower	5 GAL	42" O.C.	L
NAN GUL*	Nandina d. 'Sulf Stream'	Dwarf Heavenly Bamboo	1 GAL	24" O.C.	L
PHO DAR	Phormium h. 'Dark Delight'	New Zealand Flax	15 GAL	36" O.C.	L
PHO PLA	Phormium h. 'Platt's Black'	New Zealand Flax	5 GAL	36" O.C.	L
PIT CRE*	Pittosporum t. 'Cream De Mint'	Pittosporum	5 GAL	30" O.C.	L
PIT VAR*	Pittosporum tobira 'Variegata'	Variegated Tobira	5 GAL	48" O.C.	L
POD MAK*	Podocarpus m. 'Maki'	Shrubby Yew Pine	15 GAL	42" O.C.	M
SAR HUM*	Sarcococca hookeriana humilis	Sweet Box	15 GAL	36" O.C.	L
TAX HIC*	Taxus x. media 'Hicksii'	Upright Yew	15 GAL	42" O.C.	M
TRA JAS*	Trachelospermum jasminoides	Star Jasmine	5 GAL	42" O.C.	M
WOO FIM*	Woodwardia fimbriata	Giant Chain Fern	5 GAL	48" O.C.	M

NOTES:
 1. - WUCOLS (W) RATING ABOVE IS AN INDUSTRY STANDARD FOR IRRIGATION WATER NEEDS OF LANDSCAPE PLANTINGS IN SPECIFIC CALIFORNIA REGIONS. THE MAJORITY OF PLANTS FOR THIS REGION ARE VERY LOW (VL) TO MEDIUM (M) WATER REQUIREMENTS AND PLANTED IN SPECIFIC HYDROZONES. ABBREVIATIONS FOR WUCOLS WATER NEEDS ARE: VL - VERY LOW, L - LOW, M - MEDIUM, H - HIGH.
 2. * DENOTES SHADE TOLERANT PLANTS (I.E. SHADY CONDITIONS ALONG THE ADJACENT SOUTHEAST DEVELOPMENT AND UNDER THE EXISTING REDWOODS).

EL CAMINO REAL

**ROOF DECK
PRELIMINARY LANDSCAPE PLAN**

NOT FOR CONSTRUCTION
 APPLICATION NOS. 18-D-01, 18-UP-01, and 18-SD-01

ALTOS ONE
 4856 & 4846 EL CAMINO REAL
 LOS ALTOS, CALIFORNIA 94022



DATE: 07/16/18
 JOB# 18017.01



L-2
 2 of 3



TREE IMAGERY



Bloodgood Japanese Maple
Acer p. 'Bloodgood'
Accent Tree,
Slow Growth to 20' H x 15' W



Coral Bark Maple
Acer p. 'Sango Kaku'
Accent Tree,
Moderate Growth to 20' H x 15' W



Crape Myrtle
Lagerstroemia i. 'Muskogee'
Screen Tree,
Moderate Growth to 18' H x 10' W



Saratoga Laurel
Laurus n. 'Saratoga'
Screen Tree,
Moderate Growth to 20' H x 10' W



Brisbane Box
Lophostemon confertus
Street Tree,
Moderate Growth to 35' H x 25' W

SHRUB & GROUNDCOVER IMAGERY



Myers Asparagus Fern
Asparagus d. 'Myers'



White Azalea
Azalea x. 'Alaska'



Purple Million Bells
Calibrachoa x. 'Purple'



Small Cape Rush
Chondropetalum tectorum



Fortnight Lily
Dietes vegeta



Horsetail
Equisetum hyemale



Upright Euonymus
Euonymus j. 'Silver King'



Variegated Lily Turf
Liriope m. 'Silvery Sunproof'



Variegated Lily Turf
Liriope m. 'Variegata'



Fringe Flower
Loropetalum c. 'Plum Delight'



Dwarf Heavenly Bamboo
Nandina d. 'Gulf Stream'



New Zealand Flax
Phormium t. 'Dark Delight'



Dwarf Pittosporum
Pittosporum t. 'Cream De Mint'



Variegated Tobira
Pittosporum t. 'Variegata'



Shrubby Yew Pine
Podocarpus m. 'Maki'
Screen Shrub, Moderate Growth to 9' H x 3' W



Sweet Box
Sarcococca hookeriana humilis



Upright Yew
Taxus x. media 'Hicksii'
Screen Shrub, Moderate Growth to 10' H x 3' W



Star Jasmine
Trachelospermum jasminoides



Giant Chain Fern
Woodwardia fimbriata

SITE AMENITY IMAGERY



FIREPIT AREA - ROOF DECK PRECEDENT



LARGE FORMAT PAVERS



BOARD FORM FINISH CONCRETE



DECORATIVE MASONRY WALL



OUTDOOR MOVIE SCREEN



CORTEN STEEL, RAISED PLANTER



LOUNGE CHAIR



BUILT-IN BENCH



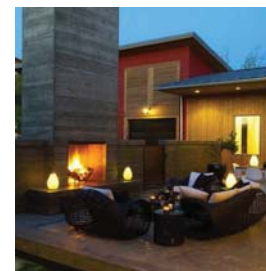
OUTDOOR KITCHEN



DINING TABLE



ROOF DECK - WOOD PAVING



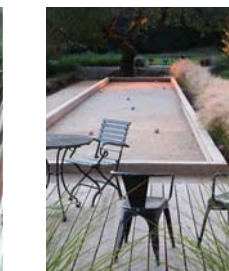
FIREPLACE



WATER FEATURE



SHADE SAIL



BOCCO COURT



WATER FEATURE

LANDSCAPE DESIGN IMAGES

NOT FOR CONSTRUCTION

APPLICATION NOS. 18-D-01, 18-UP-01, and 18-SD-01

ALTOS ONE
4856 & 4846 EL CAMINO REAL
LOS ALTOS, CALIFORNIA 94022

NOTE: PLANTING CALLOUTS, REFER TO
SHEET L-2 FOR PLANT LEGEND



DATE: 07/18/18
JOB# 16017.01

L-3
3 of 3



**ENVIRONMENTAL
FORESIGHT, INC.**
Landscape Architecture
1700 N. Broadway, Suite 401
Walnut Creek, CA 94596
T (925) 945-0300 F (925) 945-6688
www.environmentalforesight.com

ALTOS ONE

4846 & 4856 EL CAMINO REAL LOS ALTOS, CALIFORNIA

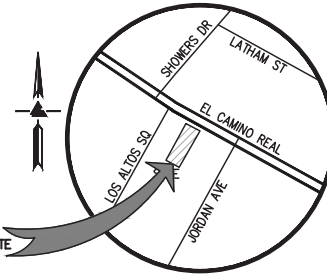


LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
BAY AREA REGION
SACRAMENTO REGION
2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CALIFORNIA 94545
(510) 887-4086
(510) 887-3006
(510) 887-7388
(510) 887-7389
WWW.LEABRAZE.COM

ALTOS ONE
4846 & 4856 EL CAMINO REAL
LOS ALTOS, CALIFORNIA
APN: 170-02-029 & 170-02-029
SANTA CLARA COUNTY

TITLE SHEET

REVISIONS	BY
JOB NO:	2160433
DATE:	04-30-18
SCALE:	1" = 30'
DESIGN BY:	PC/CA
DRAWN BY:	TB
SHEET NO:	
TM-1.0	
01 OF 07 SHEETS	



VICINITY MAP
NO SCALE

OWNER'S ACKNOWLEDGMENT

I/WE HEREBY STATE THAT I/WE THE OWNER(S) OF THE LAND INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THIS MAP AND I HEREBY AGREE TO THE FILING OF THIS TENTATIVE MAP AND AGREE TO COMPLY WITH THE PROVISIONS OF THE CITY OF LOS ALTOS COMPREHENSIVE PLAN AND STATE OF CALIFORNIA MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP. THE CURRENT ZONING FOR THIS PROPERTY IS R3-1.8. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF LOS ALTOS/UTILITY DISTRICT STANDARDS.

AS OWNER: LUXONE LLC

BY: _____ DATE: _____
LUXONE LLC

OWNER'S INFORMATION

OWNER:
LUXONE LLC
572 CHIMALUS DRIVE
PALO ALTO, CA 94306

APN: 170-02-029 AND 170-02-27

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, INC. ENTITLED: "TOPOGRAPHIC SURVEY" 4846 & 4856 EL CAMINO REAL LOS ALTOS, CA DATED: 5-16-16 JOB#: 2160409
 - SITE PLAN BY SDG ARCHITECTS, INC. ENTITLED: "CONCEPTUAL SITE PLAN" 4846 & 4856 EL CAMINO REAL LOS ALTOS, CA
 - LANDSCAPE PLANS BY ENVIRONMENTAL INSIGHT, INC. ENTITLED: "LANDSCAPE PLAN" 4846 & 4856 EL CAMINO REAL LOS ALTOS, CA
- THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

PROJECT DATA

TRACT NO.	
RECORD OWNER(S)/ SUBDIVIDERS:	LUXONE LLC 572 CHIMALUS DRIVE PALO ALTO, CA 94306
CIVIL ENGINEER:	LEA & BRAZE ENGINEERING INC. 2495 INDUSTRIAL PARKWAY WEST HAYWARD, CA 94545 (510) 887-4086 CONTACT: PETE CARLINO
UNIT COUNT:	50 RESIDENTIAL UNITS
ASSESSOR'S PARCEL NO.	170-02-029 AND 170-02-27
UTILITIES SERVICES:	CAL WATER CITY OF LOS ALTOS PG&E AT&T COMCAST CITY OF LOS ALTOS

PROJECT DESCRIPTION/IMPROVEMENTS

CONSTRUCTION OF A NEW MULTIFAMILY RESIDENTIAL CONDOMINIUMS.

UNIT COUNT

50 RESIDENTIAL UNITS

SHEET INDEX

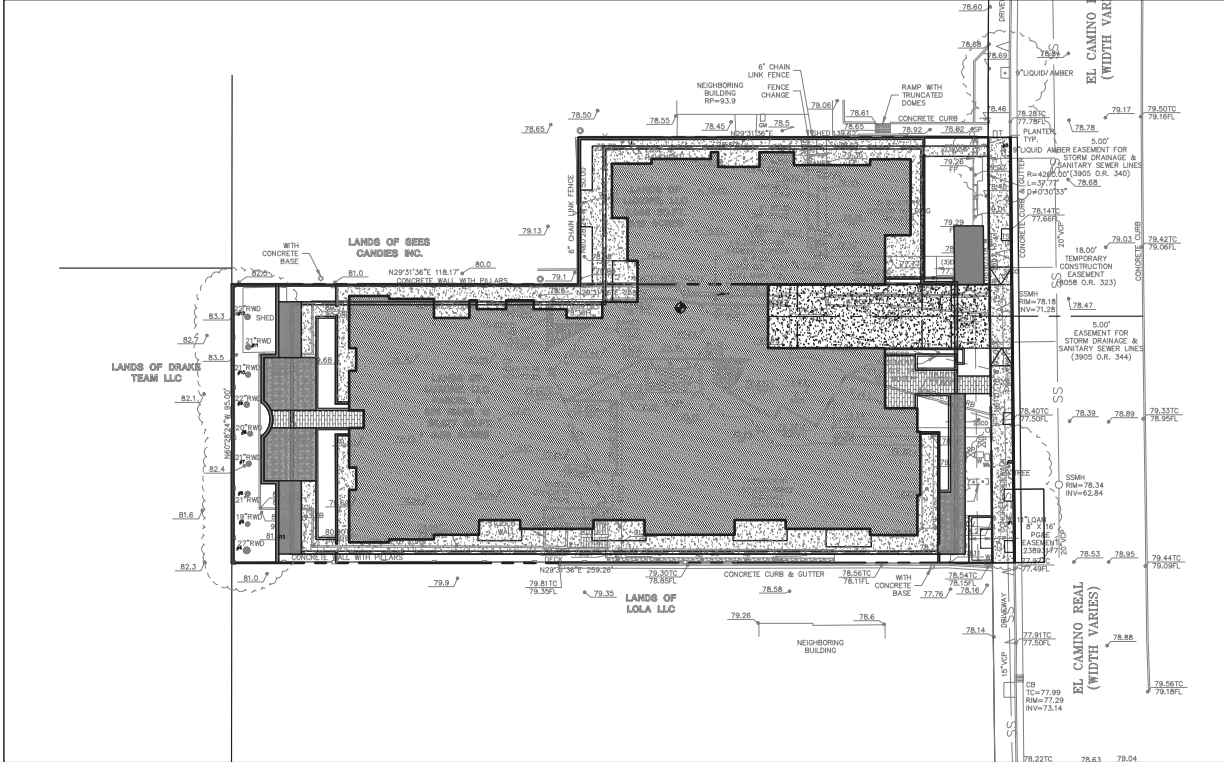
TM-1.0	TITLE SHEET
TM-1.1	TENTATIVE MAP
TM-2.0	GRADING & DRAINAGE PLAN
TM-3.0	STORMWATER CONTROL & UTILITY PLAN
TM-3.1	STORMWATER CONTROL DETAILS
SU-1	TOPOGRAPHIC SURVEY
SU-2	TOPOGRAPHIC SURVEY

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
- - -	- - -	PROPERTY LINE
=====	=====	RETAINING WALL
=====	=====	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
- - -	- - -	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	(N)	NEW
BM	BENCHMARK	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH	NTS	NOT TO SCALE
GRADE		O.C.	ON CENTER
CB	CATCH BASIN	O/	OVER
C & G	CURB AND GUTTER	(PA)	PLANTING AREA
CL	CENTER LINE	PED	PEDESTRIAN
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PIV	POST INDICATOR VALVE
CO	CLEANOUT	PSS	PUBLIC SERVICES EASEMENT
COTT	CLEANOUT TO GRADE	P	PROPERTY LINE
CONC	CONCRETE	PUE	PUBLIC UTILITY EASEMENT
CONST	CONSTRUCT or -TION	PVC	POLYVINYL CHLORIDE
CONC COR	CONCRETE CORNER	R	RADIUS
CY	CUBIC YARD	RCP	REINFORCED CONCRETE PIPE
D	DIAMETER	RIM	RIM ELEVATION
DI	DROP INLET	RW	RAINWATER
DIP	DUCTILE IRON PIPE	R/W	RIGHT OF WAY
EA	EACH	S	SLOPE
EG	END OF CURVE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EL	ELEVATIONS	SAN	SANITARY
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EQ	EQUIPMENT	SDMH	STORM DRAIN MANHOLE
EW	EACH WAY	SHT	SHEET
(E)	EXISTING	S.L.D.	SEE LANDSCAPE DRAWINGS
FC	FACE OF CURB	SPEC	SPECIFICATION
FF	FINISHED FLOOR	SS	SANITARY SEWER
FG	FINISHED GRADE	SSCO	SANITARY SEWER CLEANOUT
FH	FIRE HYDRANT	SSMH	SANITARY SEWER MANHOLE
FL	FLOW LINE	ST.	STREET
FS	FINISHED SURFACE	STA	STATION
G	GAS	STD	STANDARD
GA	GAGE OR GAUGE	STRUCT	STRUCTURAL
GB	GRADE BREAK	T	TELEPHONE
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	TC	TOP OF CURB
HORIZ	HORIZONTAL	TEMP	TEMPORARY
HI PT	HIGH POINT	TP	TOP OF PAVEMENT
H&T	HUB & TACK	TW/FG	TOP OF WALL/FINISH GRADE
ID	INSIDE DIAMETER	TYF	TYPICAL
INV	INVERT ELEVATION	VC	VERTICAL CURVE
JB	JUNCTION BOX	VCP	VERTIFIED CLAY PIPE
JT	JOINT TRENCH	VERT	VERTICAL
JP	JOINT UTILITY POLE	W/	WITH
L	LENGTH	WM	WATER METER
LNDG	LANDING	WVF	WELDED WIRE FABRIC



KEY MAP
1" = 30'

NOTES

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
- UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
- BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

4846 EL CAMINO REAL EASEMENT NOTE

EASEMENTS SHOWN ARE PER TITLE REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY, ORDER NO. 4316-5620193, DATED JANUARY 18, 2018 AND EASEMENT DOCUMENT NO. 23893177. NOTE: EASEMENT DOCUMENT (K331 O.R. 1473) ADJUSTS THE EASEMENT SHOWN ON PARCEL MAP (574 MAPS 13) AND DESCRIBED IN DOCUMENT (K157 O.R. 1249)

SITE BENCHMARK

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 77.80'
(NAVD 88)

BENCHMARK

CITY OF MOUNTAIN VIEW BENCHMARK IV-25
BRONZE DISK STAMPED "IV-25" SET IN TOP OF CURB AT THE NORTH END OF THE NORTHWEST RETURN OF SHOWERS DR & EL CAMINO REAL.
ELEVATION = 76.789'
(NAVD 88 DATUM)

ESTIMATED EARTHWORK QUANTITIES

CUBIC YARDS	WITHIN BUILDING FOOTPRINT	OUTSIDE BUILDING FOOTPRINT	TOTAL CUBIC YARDS
CUT	22,580	5	22,585
FILL	0	0	0
EXPORT			22,585

NOTE:
GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

- ### GENERAL NOTES:
- DEMOLISH AND REMOVE ALL (E) IMPROVEMENTS AS NECESSARY FOR NEW CONSTRUCTION.
 - STREET LIGHTING WILL BE PROVIDED PER CITY OF LOS ALTOS' STANDARD SPECIFICATIONS (AS REQUIRED)

BUILDING PAD NOTE:
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.





LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 SACRAMENTO REGION
 3007 DOUGLAS BLVD., # 300
 HAYWARD, CALIFORNIA 94545
 (P) (510) 887-3306
 (F) (510) 887-3008
 WWW.LEA-BRAZE.COM

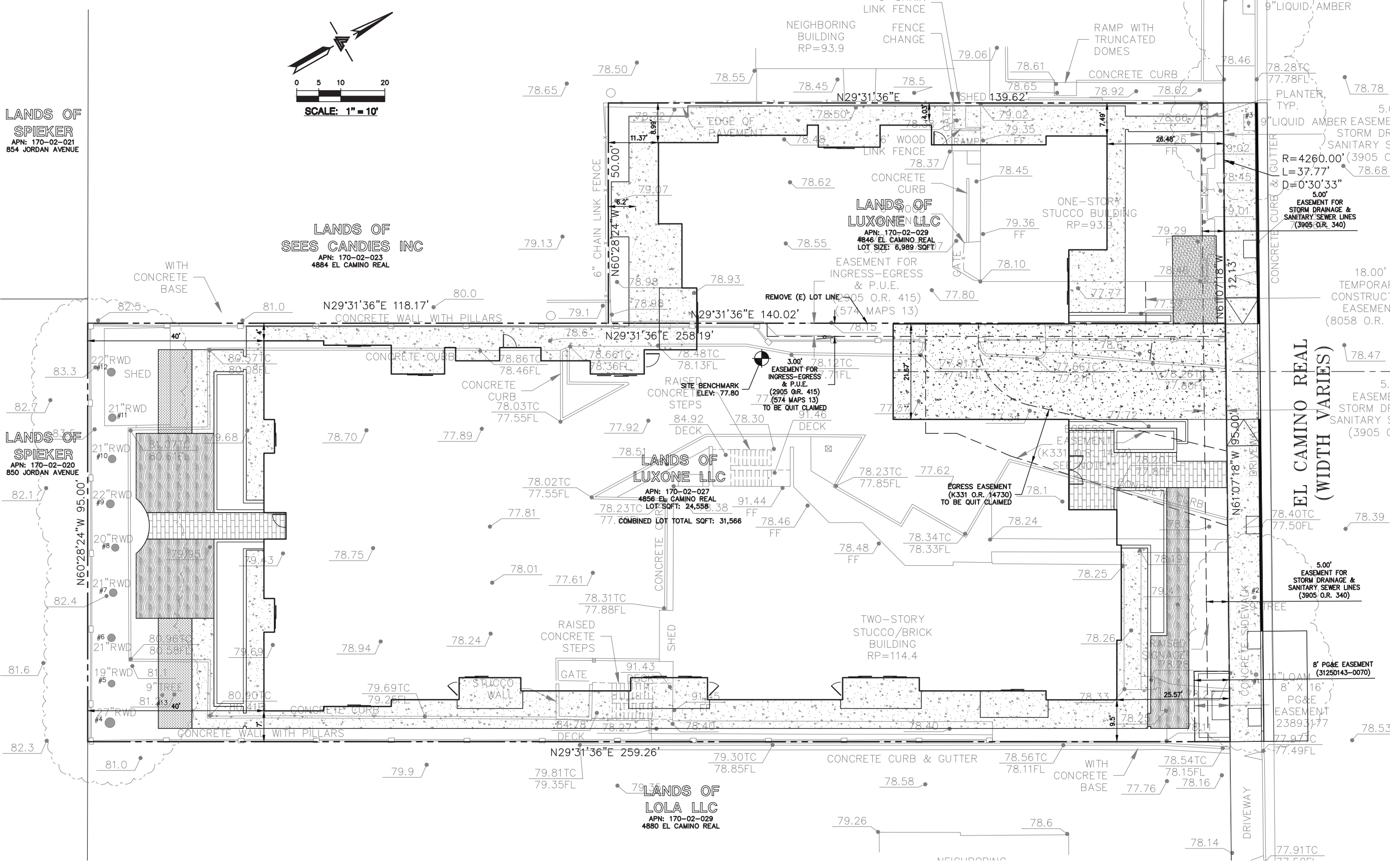
ALDOS ONE
4846 & 4856 EL CAMINO REAL
LOS ALTOS, CALIFORNIA
 APN: 170-02-(027 & 029)
 SANTA CLARA COUNTY

TENTATIVE PARCEL
MAP

REVISIONS	BY

JOB NO: 2160433
 DATE: 04-30-18
 SCALE: 1" = 30'
 DESIGN BY: PC/CA
 DRAWN BY: TB
 SHEET NO:

TM-11
 02 OF 07 SHEETS



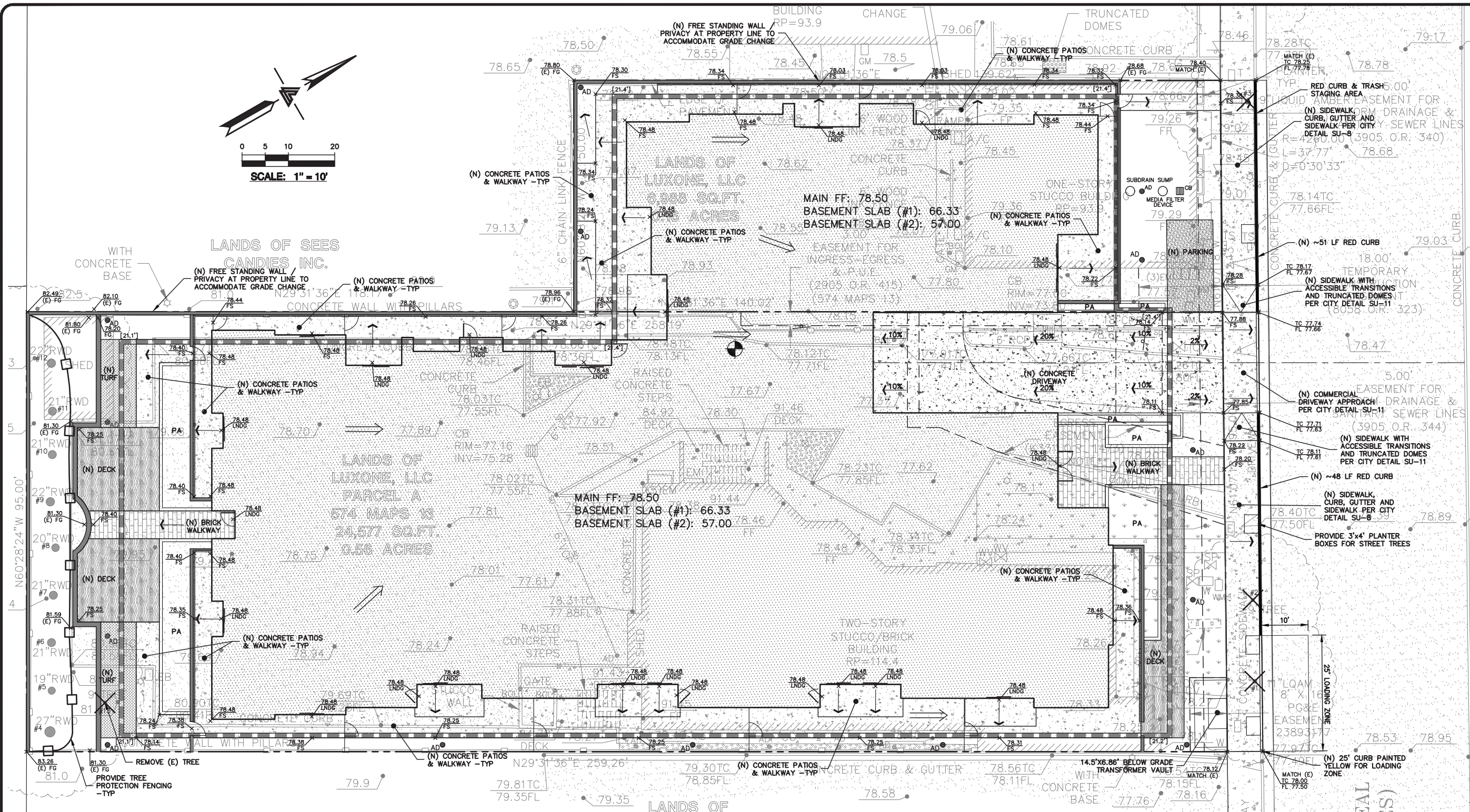
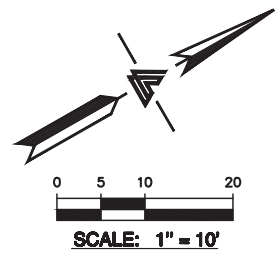
LANDS OF SPIEKER
 APN: 170-02-021
 854 JORDAN AVENUE

LANDS OF SEES CANDIES INC
 APN: 170-02-023
 4884 EL CAMINO REAL

LANDS OF LUXONEN LLC
 APN: 170-02-029
 4846 EL CAMINO REAL
 LOT SIZE: 6,989 SQFT

LANDS OF LUXONE LLC
 APN: 170-02-027
 4856 EL CAMINO REAL
 LOT SIZE: 24,558
 77. COMBINED LOT TOTAL SQFT: 31,566

LANDS OF LOLA LLC
 APN: 170-02-029
 4880 EL CAMINO REAL



**PRELIMINARY CONSTRUCTION PLAN
TRAFFIC, PARKING, AND NOISE NOTES
MANAGEMENT**

- CONSTRUCTION HOURS:**
NON HOLIDAYS AND WEEKDAYS 7:00AM-7:00PM
HEAVY NOISE IMPACT ACTIVITIES 8:00AM-3:00PM
 - TRUCK ROUTES ARE IDENTIFIED ON THE PLAN.
 - NO SIDEWALK CLOSURES ARE NOTED ON THE PLAN.
 - TRANSPORTATION PERMITS FOR OVERSIZED LOADS WILL BE OBTAINED AS REQUIRED.
- PARKING**
- CONTRACTORS AND THEIR EMPLOYEES WILL CARPOOL WHENEVER POSSIBLE.
 - CONTRACTORS AND THEIR EMPLOYEES WILL DELIVER TOOLS, EQUIPMENT AND MATERIALS ON SITE BUT PARK OFF SITE TO AVOID NEARBY RESIDENTIAL STREETS AND NEIGHBORHOODS.
 - CONSTRUCTION HEAVY EQUIPMENT, LIFTS, AND TOOLS TO REMAIN ON SITE AND BE STORED ON SITE.
 - CONTRACTOR WILL OBTAIN PERMITS FOR NEARBY PARKING LOTS IF AVAILABLE.
 - NO SPILL OVER PARKING TO RESIDENTIAL STREETS AND NEIGHBORHOODS.
 - CONTRACTORS AND EMPLOYEES ARE TO WALK FROM OFFSITE PARKING TO JOB SITE VIA APPROVED PEDESTRIAN ROUTES.
 - INGRESS AND EGRESS FOR CONSTRUCTION EQUIPMENT IS PER PLAN.

SIGNAGE

- SIGNAGE TO BE POSTED TO REINFORCE TRUCK DELIVERY ROUTES.
- SIDEWALK CLOSURE NOTIFICATION SIGNS AND BARRICADES TO BE PLACED AS NEEDED DURING SIDEWALK CLOSURE PERIODS.

PEDESTRIAN/BICYCLE ROUTES

- CONSTRUCTION SITE TO BE FENCED OFF FROM PEDESTRIAN AND BICYCLES.
- PEDESTRIAN SIDEWALK ROUTES TO BE SIDE OF STREET OPPOSITE THE CONSTRUCTION SITE.
- SIDEWALK CLOSURES AND DETOURS TO BE CLEARLY MARKED AT ALL TIMES.
- SIDEWALK CLOSURE SIGNS TO BE PLACED AND NEAREST CROSSWALKS IN EACH DIRECTION TO DETOUR PEDESTRIAN TRAFFIC.

NOISE REDUCTION

- COMPLY WITH CITY'S NOISE CONTROL ORDINANCE AS STATED IN CHAPTER 6.16 OF THE MUNICIPAL CODE.
- AT LEAST 24 HOURS PRIOR TO ANY JACK HAMMERING ACTIVITIES, ALL OCCUPANTS OF THE ADJACENT PROPERTIES WILL BE NOTIFIED.

FLATWORK

FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.3 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.11.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.

SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP

PROVIDE 2% (1% MIN.) SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 2304.11.2. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.

- (N) AC DRIVEWAY. GRIND (N) AC TO TIE INTO (E) AC PAVING.
- (N) CONCRETE DRIVEWAY.
- (N) CONCRETE PATIOS/WALKWAYS.
- (N) BRICK PATIOS/WALKWAYS.
- (N) WOOD DECKING. SEE LANDSCAPE PLANS FOR DESIGN DETAILS.

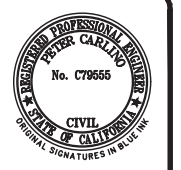
DEMOLITION

DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.

REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.

PROVIDE TREE PROTECTION AROUND TREES TO REMAIN.

TREE INVENTORY		
SIZE/DESCRIPTION		STATUS
22" REDWOOD (#12)		TO REMAIN
21" REDWOOD (#11)		TO REMAIN
21" REDWOOD (#10)		TO REMAIN
22" REDWOOD (#9)		TO REMAIN
20" REDWOOD (#8)		TO REMAIN
21" REDWOOD (#7)		TO REMAIN
21" REDWOOD (#6)		TO REMAIN
19" REDWOOD (#5)		TO REMAIN
27" REDWOOD (#4)		TO REMAIN
9" AMBER (#3)		TO BE REMOVED
9" TREE (#2)		TO BE REMOVED
11" AMBER (#1)		TO BE REMOVED
9" TREE (#13)		TO BE REMOVED



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
SACRAMENTO REGION
307 DOUGLAS BLVD., # 300
ROSEVILLE, CA 95661
HAYWARD, CALIFORNIA 94545
(916) 887-3006
(916) 887-3006
(916) 887-3006
WWW.LEABRAZE.COM

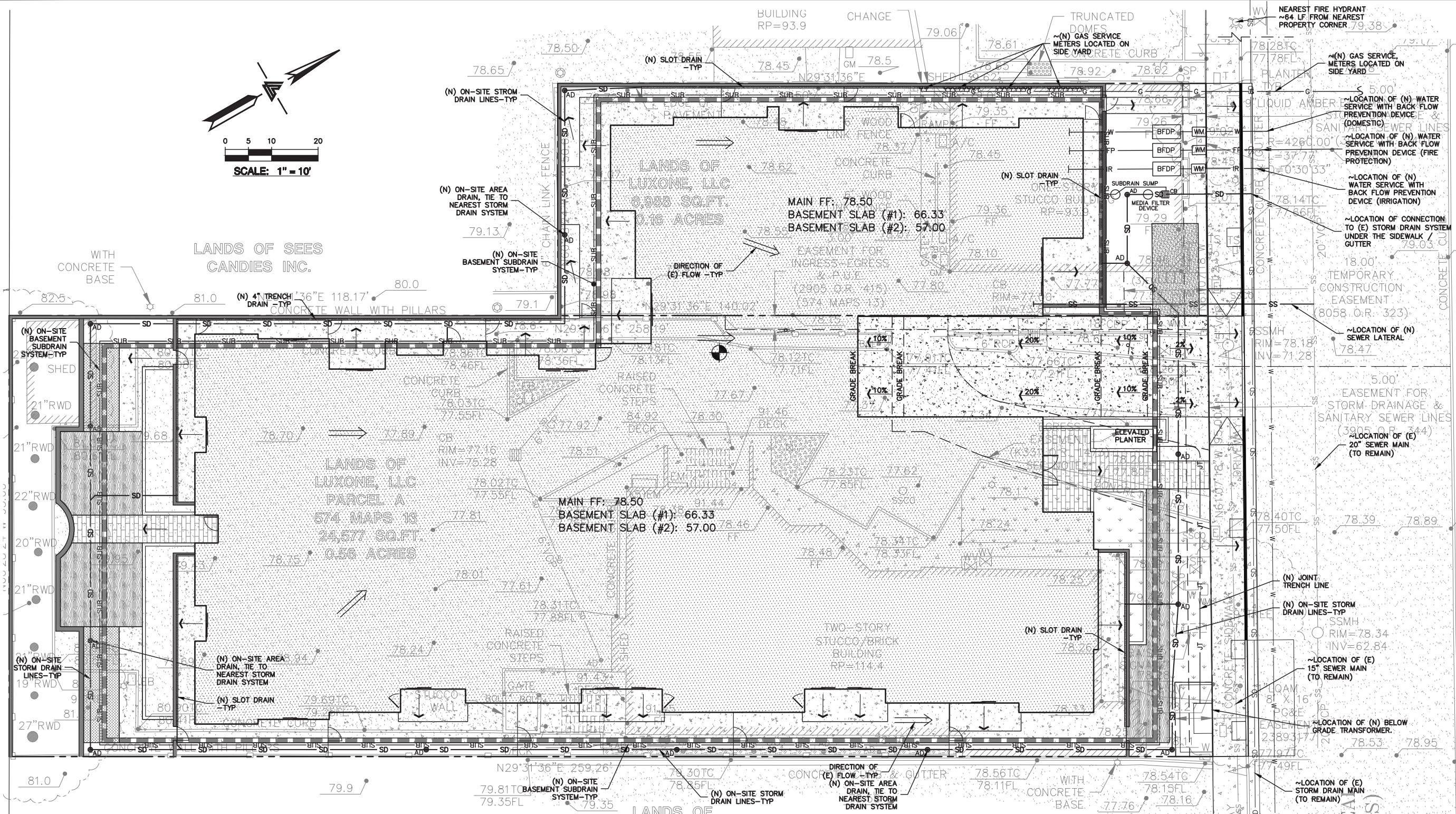
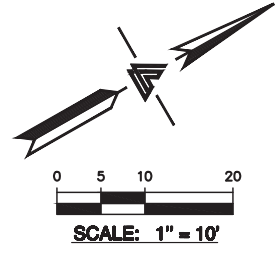
ALTOS ONE
4846 & 4856 EL CAMINO REAL
LOS ALTOS, CALIFORNIA
SANTA CLARA COUNTY
APN: 170-02-(027 & 029)

**GRADING &
DRAINAGE PLAN**

REVISIONS	BY

JOB NO: 2160433
DATE: 04-30-18
SCALE: 1" = 10'
DESIGN BY: TC/CA
DRAWN BY: PB
SHEET NO:





STORM DRAIN

INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.

INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.

CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL.

CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE, SLOPED AT 1% MINIMUM. DIRECT TO NEAREST STORM DRAIN LINE. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES, HOWEVER, NOT CONNECT TO SUBDRAIN LINES. CONNECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLAN.

INSTALL (N) "CHRISTY V-1" AREA DRAINS. CONNECT TO ON-SITE STORM DRAIN SYSTEM.

INSTALL (N) 4" DIAMETER BRASS AREA DRAIN (AD) IN HARDSCAPE AREAS (NDS PART 90C).

INSTALL (N) "CHRISTY V-24" CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL.

INSTALL (N) SUMP PUMP FOR SUBDRAIN SYSTEM.

INSTALL (N) MEDIA FILTER DEVICE.

UTILITIES

INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS.

CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.

INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

INSTALL (N) GAS.

Pervious and impervious surface comparison table			
		Total Site 0.72 Acre	
		Total Area of Site Disturbed 0.72 Acre	
Impervious surfaces (SF)	Existing Condition	Proposed Condition	
Roof Area	6665	6665	25428
Parking	17293	0	200
Sidewalks, patios, Paths, etc.	3070	0	1526
Streets (public)	0	0	0
Streets (private)	0	0	0
Total Impervious Surfaces:	27028	6665	27154
Pervious Surfaces (SF)			
Landscaped Areas	4537	4537	4411
Pervious Pavers	0	0	0
Other pervious areas	0	0	0
Total Pervious Surfaces	4537	4537	4411
Total (SF)	31565	31565	31565

Treatment Control Summary Table						
ID Area	TCH#	Type	Drainage Area	Impervious Area	Pervious Area	Location
A	1	Media Filter	31,565	27,154	4,411	On-site

LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 SACRAMENTO REGION
 307 DOUGLAS BLVD., # 300
 ROSELILLE, CA 95661
 HAYWARD, CALIFORNIA 94545
 (S) (916) 887-1306
 (F) (916) 887-1306
 (C) (916) 887-7383
 WWW.LEA-BRAZE.COM

ALTOS ONE
 4846 & 4856 EL CAMINO REAL
 LOS ALTOS, CALIFORNIA
 APN: 170-02-(027 & 029)
 SANTA CLARA COUNTY

STORMWATER CONTROL
 &
 UTILITY PLAN

REVISIONS	BY

JOB NO: 2160433
 DATE: 04-30-18
 SCALE: 1" = 10'
 DESIGN BY: PC/CA
 DRAWN BY: TB
 SHEET NO:



TM-3.0
 04 OF 07 SHEETS



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 BAY AREA REGION
 2495 INDUSTRIAL PKWY WEST
 HAYWARD, CALIFORNIA 94545
 (510) 887-5006
 (510) 887-5008
 WWW.LEABRAZE.COM

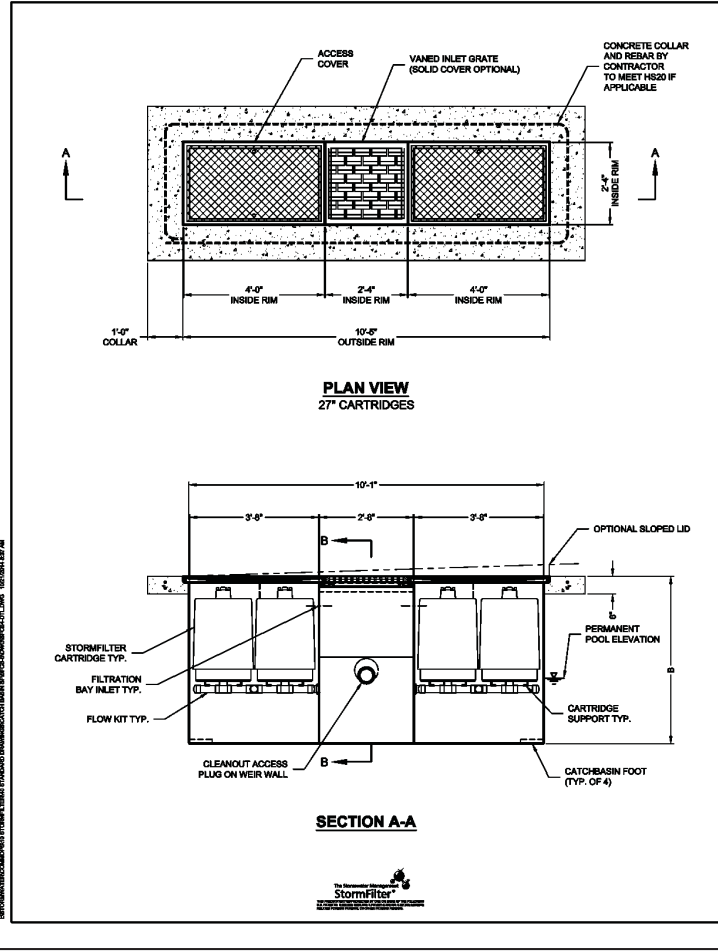
ALTO S O N E
 4846 & 4856 EL CAMINO REAL
 LOS ALTOS, CALIFORNIA
 APN: 170-02-(027 & 029)
 SANTA CLARA COUNTY

STORMWATER CONTROL
 DETAILS

REVISIONS	BY

JOB NO: 2160433
 DATE: 04-30-18
 SCALE: 1" = 10'
 DESIGN BY: PC/CA
 DRAWN BY: TB
 SHEET NO:

TM-3.1
 05 OF 07 SHEETS



STORMFILTER CATCHBASIN DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 4 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF FOUR CARTRIDGES. SYSTEM IS SHOWN WITH A 27" CARTRIDGE, AND IS ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL.

CARTRIDGE SELECTION	27"	18"	18" DEEP
MINIMUM HYDRAULIC DROP (H)	3.09'	2.3'	3.7'
SPECIFIC FLOW RATE (gpm/ft²)	2 gpm/ft²	1 gpm/ft²	1 gpm/ft²
CARTRIDGE FLOW RATE (gpm)	22.5	11.25	15
PEAK HYDRAULIC CAPACITY	1.0	1.0	1.0
INLET PERMANENT POOL LEVEL (A)	1'-0"	1'-0"	2'-0"
OVERALL STRUCTURE HEIGHT (B)	4'-0"	3'-0"	4'-0"

GENERAL NOTES

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTRACTOR ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
- STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- INLET SHOULD NOT BE LOWER THAN OUTLET. INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
- STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUBS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUB IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUB IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLING BY CONTRACTOR.
- STEEL STRUCTURE TO BE MANUFACTURED OF 1/4 INCH STEEL PLATE. CASTINGS SHALL MEET A500M LOAD RATING. TO MEET H200 LOAD RATING ON STRUCTURE, A CONCRETE COLLAR IS REQUIRED. WHEN REQUIRED, CONCRETE COLLAR WITH QUANTITY (2) #4 REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 37 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

4-CARTRIDGE CATCHBASIN STORMFILTER DATA

STRUCTURE ID	XXX
WATER QUALITY FLOW RATE (cfs)	XXX
PEAK FLOW RATE (<1 cfs)	XXX
RETURN PERIOD OF PEAK FLOW (hrs)	XXX
CARTRIDGE FLOW RATE (gpm)	XX
MEDIA TYPE (CSF, PERLITE, ZPG, GAC, PHS)	XXXXX
RIM ELEVATION	XXXXXX

PIPE DATA:
 INLET STUB: XXXXX" XX"
 OUTLET STUB: XXXXX" XX"

CONFIGURATION:
 OUTLET
 INLET

SLOPED LID: YES/NO
 SOLID COVER: YES/NO
 NOTES/SPECIAL REQUIREMENTS:
 *PER ENGINEER OF RECORD

CONTECH ENGINEERED SOLUTIONS LLC
 www.ContechES.com
 6025 Contra Pointe Dr., Suite 400, West Chester, OH 45386
 800-238-1122 513-615-7000 513-615-7383 FAX

4 CARTRIDGE CATCHBASIN STORMFILTER STANDARD DETAIL

LOCATION OF RECEIVING WATER BODY	ADOBE CREEK (ENGINEERED CHANNEL)
POLLUTANTS & POLLUTANT SOURCE AREAS INCLUDING LOADING DOCKS, FOOD SERVICE AREAS, REFUSE AREAS, OUTDOOR PROCESSES AND STORAGE, VEHICLE CLEANING, REPAIR OR MAINTENANCE, FUEL DISPENSING.	RETAIL AND SURFACE PARKING AND BUILDINGS ON APPROXIMATELY 0.7 ACRES EXISTING.
EXISTING NATURAL HYDROLOGIC FEATURES (DEPRESSIONS, NAMES OF WATERCOURSES, ETC.) AND SIGNIFICANT NATURAL RESOURCES.	NONE.
PROJECT WITHIN FLOOD ELEVATION?	SITE IS IN FLOOD ZONE X. FLOOD ZONE X IS AN AREA OF 0.2% ANNUAL FLOOD CHANCE; AVERAGE DEPTHS OF LESS 1' OR WITH DRAINAGE AREA LESS THAN 1SQ MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. THERE ARE NO CITY FLOOD PLAN REQUIREMENTS X.
EXISTING AND PROPOSED TREES, SPECIFYING SIZE SPECIES, CONDITION AND DISPOSITION.	SEE LANDSCAPE PLAN FOR INFORMATION ON PROPOSED TREES.
DRAINAGE FLOWS AND OVERLAND RELEASE FLOWS	SEE PLAN FOR ARROWS.
EXISTING AND PROPOSED TOPOGRAPHIC CONTOURS WITH DRAINAGE AREAS AND SUB AREAS DELINEATED AND ARROWS SHOWING FLOW DIRECTION.	SEE PLAN SHEET TM-3.0
TYPES OF PAVING MATERIALS	CONCRETE PODIUM AND PAVERS
DETAILS OF PERVIOUS PAVEMENT	NONE.
SEPARATE DRAINAGE AREAS DEPENDING ON COMPLEXITY OF DRAINAGE NETWORK.	
FOR EACH DRAINAGE AREA, SPECIFY TYPES OF IMPERVIOUS AREA (ROOF, PLAZA, SIDEWALK, STREETS, PARKING, ETC.) AND AREA OF EACH.	SEE PERVIOUS & IMPERVIOUS SURFACES COMPARISON CHART ON SHEET TM-3.0
LOCATION, SIZE, AND IDENTIFICATION OF TYPES OF SOURCE CONTROL MEASURES, WATER QUALITY TREATMENT CONTROL MEASURES AND BEST MANAGEMENT PRACTICES.	SCMs INCLUDE COVERED INTERIOR PARKING, COVERED TRASH ENCLOSURES, INTERIOR POOL, COVERED LOADING BAYS, BENEFICIAL LANDSCAPING, EFFICIENT IRRIGATION SYSTEMS, PAVEMENT AND STORM DRAIN MAINTENANCE, AND STORM DRAIN LABELING.
DETAILED MAINTENANCE PLAN AND MAINTENANCE SCHEDULE FOR ALL PROPOSED SCMs AND TCMs.	
DETAILS OF ALL PROPOSED WATER QUALITY TREATMENT MEASURES.	SITE WILL BE TREATED BY MECHANICAL FILTRATION UNITS.
LOCATION, SIZE, AND IDENTIFICATION OF PROPOSED LANDSCAPING/PLANT MATERIAL	SEE PLAN AND ALSO LEGEND FOR LOCATION/SIZE OF PLANTING AREAS. SEE LANDSCAPE PLANS FOR INFORMATION ON PROPOSED PLANT MATERIAL.
ENSURE CONSISTENCE WITH GRADING & DRAINAGE PLAN AND LANDSCAPE PLAN	DONE
CALCULATION ILLUSTRATING WATER QUALITY TREATMENT CONTROL MEASURES MEET NUMERICAL STANDARDS.	SEE TABLE ON SHEET TM-3.0 - AND CALCULATION ON THIS SHEET.
LICENSED CERTIFICATION THAT THE SPECIFIC TCMs MEET THE REQUIREMENTS FOR POST-CONSTRUCTION URBAN RUNOFF MANAGEMENT	PLAN STAMPED BY CIVIL ENGINEER.

STORMWATER FILTER UNIT SIZING (SITE)
 THE FOLLOWING STEPS FOR SIZING THE PROPOSED STORMFILTER UNITS ARE TAKEN FROM THE PRODUCT DESIGN GUIDELINES BY CONTECH INC. STORMWATER MANAGEMENT INC. (PRODUCT MANUFACTURER). THE RATIONAL METHOD INFORMATION CONTAINED IN STEP 1 IS BASED ON THE METHODOLOGY PROVIDED BY THE SANTA CLARA VALLEY RUNOFF POLLUTION PREVENTION PROGRAM FOR CALCULATING TREATABLE FLOW RATES.

- DETERMINE THE NUMBER OF CARTRIDGES FOR A HIGHLY DRAINAGE AREA (>75% IMPERVIOUS)
- TOTAL DRAINAGE AREA
- STEP 1
 CALCULATE THE TREATABLE FLOW RATE FROM THE WATER QUALITY STORM (Q-treat) FOR THE SITE. USE THE RATIONAL METHOD TO SOLVE FOR Q.
- $Q = CIA$
 $C = 0.9$ (PAVED SURFACE RUNOFF COEFFICIENT)
 $I = 0.2$ (RAINFALL INTENSITY, INCHES/HOUR)
 $A = 0.7$ ACRES
 $Q = 0.9 \times 0.2 \times 0.7$
 $Q = 0.13$ CFS
- STEP 2
 CALCULATE THE NUMBER OF CARTRIDGES REQUIRED TO TREAT THE PEAK WATER QUALITY FLOW RATE (N-flow) FOR THE SITE.
- $N\text{-flow} = Q\text{-treat} (449\text{gpm/cart, WHICH IS THE MAXIMUM FLOW RATE THAT AN INDIVIDUAL CARTRIDGE CAN TREAT.})$
- IF THE NUMBER OF CARTRIDGES IS NOT A WHOLE NUMBER, ROUND THE NUMBER OF CARTRIDGES UP TO THE NEXT WHOLE NUMBER.
 $N\text{-flow} = (0.13 \text{ CFS}) \times (449 \text{ gpm/cart} / 12.50 \text{ gpm/cart})$
 $N\text{-flow} = 4.66 = 5$ CARTRIDGES
- STEP 3
 CALCULATE THE FLOW RATE FROM 10 YEAR STORM. USE THE RATIONAL METHOD TO SOLVE FOR Q.
- $Q = CIA$
 $C = 0.9$ (PAVED SURFACE RUNOFF COEFFICIENT)
 $I = 2.0$ (RAINFALL INTENSITY PER CPC, INCHES/HOUR)
 $A = 0.7$ ACRES
 $Q = 0.9 \times 2.0 \times 0.7$
 $Q = 1.26$ CFS (TOTAL FLOWRATE)

RESPONSIBLE PARTY
 A MAINTENANCE AND MONITORING PROGRAM SHALL BE IMPLEMENTED TO ENSURE THAT ALL STORMWATER TREATMENT BMP'S WILL BE PERMANENTLY MAINTAINED BY THE PROPERTY OWNER, FOR THE LIFE OF THE DEVELOPMENT, TO THE SATISFACTION OF THE DIRECTOR OF PLANNING.

BEST MANAGEMENT PRACTICES
 CONSTRUCTION BMP'S MAY INCLUDE, BUT ARE NOT LIMITED TO, SILT FENCE/STRAW WADDLES AROUND PERIMETER OF SITE FOR SEDIMENT CONTROL, REGULAR STREET CLEANING, AND INLET PROTECTION DURING CONSTRUCTION.

STORMWATER TREATMENT STATEMENT
 THIS PROJECT IS A TYPICAL MID-RISE URBAN INFILL SITE WITH HIGH DENSITY REQUIRED BY THE CITY'S GENERAL PLAN. 93% OF THE SITE IS PRESENTLY IMPERVIOUS. THE USE OF BELOW GROUND MECHANICAL STORMWATER TREATMENT UNITS SUCH AS THOSE MANUFACTURED BY CONTECH INC. MAY BE USED FOR THIS PROJECT. ALL STORMWATER RUNOFF FROM THIS PROJECT, INCLUDING THE ROOF COLLECTED WATER AND GROUND LEVEL RUNOFF, WILL BE TREATED BEFORE IT ENTERS THE COLLECTION SYSTEM.

THE PROPOSED MIXED USE PROJECT WILL INCREASE THE AMOUNT OF IMPERVIOUS SURFACES AND RUNOFF QUANTITY.

CONSTRUCTION MANAGEMENT PLAN

4846 & 4855 EL CAMINO REAL
LOS ALTOS CA JULY 1, 2012



ACKNOWLEDGEMENT

THE GOAL OF THIS CONSTRUCTION MANAGEMENT PLAN IS TO MINIMIZE CONSTRUCTION RELATED IMPACTS TO THE SURROUNDING NEIGHBORHOOD AND ADJACENT PROPERTIES AND THEIR OCCUPANTS. SPECIFICALLY, THE OBJECTIVES OF THIS PLAN ARE TO:

- REDUCE PARKING IMPACTS RELATED TO THE PROPOSED CONSTRUCTION;
- CONTAIN CONSTRUCTION RELATED PARKING TO PROJECT SITE AND AREAS APPROVED BY THE CITY;
- REDUCE CONSTRUCTION NOISE IMPACTS TO THE GREATEST EXTENT TECHNICALLY AND ECONOMICALLY FEASIBLE;
- AND MINIMIZE OFF-SITE DUST AND AIR QUALITY IMPACTS PER BEST MANAGEMENT PRACTICES.

IN ORDER TO ACHIEVE THE ABOVE STATED GOAL AND OBJECTIVES, WE AGREE TO, AND WILL ABIDE BY, THE TERMS CONTAINED IN THIS CONSTRUCTION MANAGEMENT PLAN.

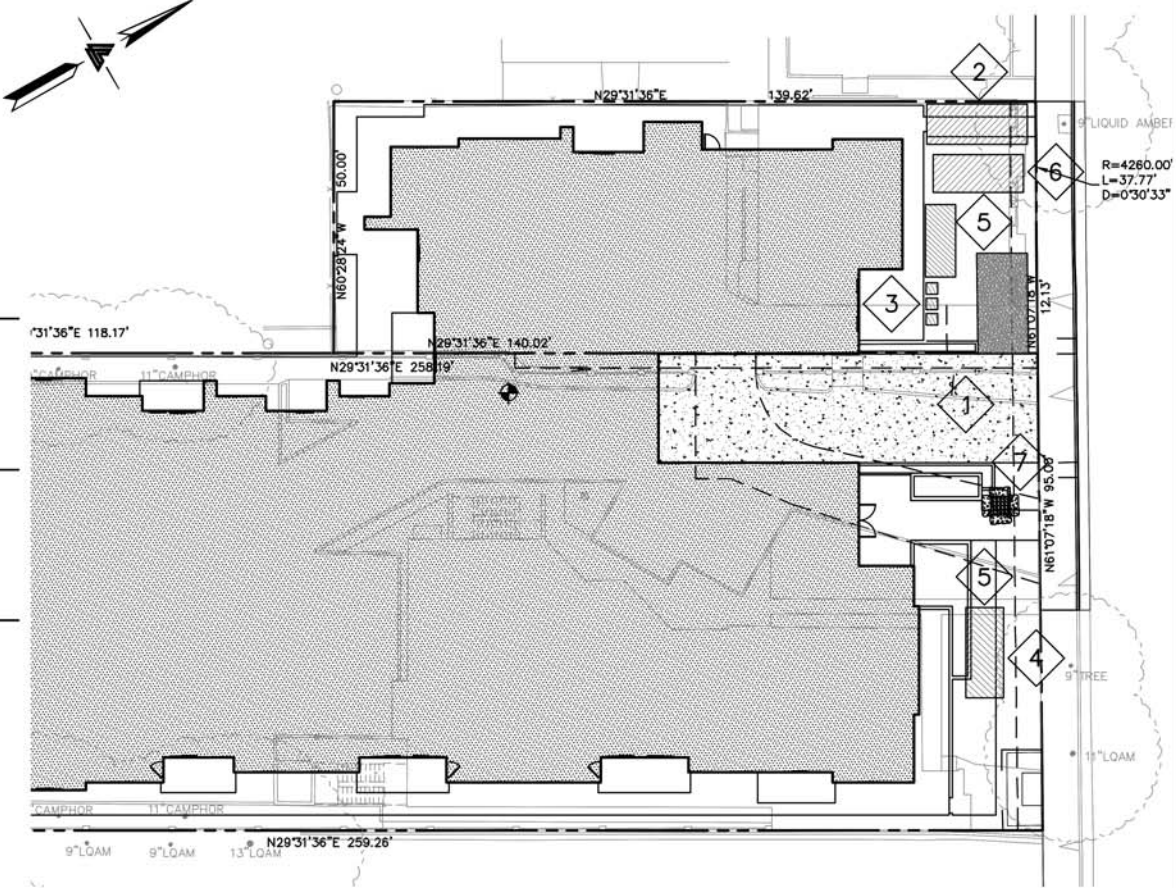
OWNER, 4846 & 4855 EL CAMINO REAL DATE

APPROVALS

ENGINEERING DIVISION

PLANNING DIVISION

BUILDING DIVISION



4846 & 4856 ECR Project Los Altos, CA.

Material Delivery Plan

Luxone LLC has developed this material delivery plan to reduce the construction traffic impact on the surrounding neighbors. The project Superintendent will be the designated on site responsible party and will have full authority in any required action necessary to enforce compliance of this plan. This plan outlines general practices to be followed to reduce the construction traffic caused by our construction activity.

1. When possible all deliveries shall be completed before 10:00 am.
2. All delivery trucks shall strictly adhere to the designated routes as shown on the Truck Route map.
3. Whenever possible deliver full loads to eliminate multiple deliveries of the same materials.
4. Schedule deliveries so that multiple trucks do not show up at the same time and cause interference with normal flow of local traffic.
5. When deliveries are scheduled make sure the site is ready for the materials and that the appropriate traffic control is in place to minimize the unloading and presence of the truck at the site.

Construction Site Parking and Staging Plan

Luxone LLC has developed this Construction Site Parking and Staging Plan to reduce the construction impact on the surrounding neighbors. The project Superintendent will be the designated on site responsible party and will have full authority in any required action necessary to enforce compliance of this plan. This plan outlines general practices to be followed to reduce the construction impact on the surrounding neighbors.

1. During the basement excavation and construction there will be an average of 10 vehicles associated with this phase of construction. Parking for this phase will be limited to the project frontage on El Camino and across the street on El Camino.
2. During vertical construction, it is anticipated that there will be an average of 30 vehicles to support this phase of construction. Upon completion of the basement parking structure, the parking structure shall be used for employee parking and material storage for non-combustible materials such as the plumber's pipes and fittings and electrician's wire and boxes.
3. We anticipate the construction office trailer to be 8' x 20' and that there will be one other storage unit of similar size 8' x 20'. See plan sheet for the locations.
4. Construction fencing shall consist of a temporary fence on blocks approximately 8' tall with a green screen. Access to the site will be by one gate located at the building ramp.
5. Material staging area shall be located on site as shown on the construction management plan.

4846 & 4856 ECR Project Los Altos, CA.

Noise Reduction Plan

Luxone LLC has developed this noise reduction plan to reduce the construction noise impact on the surrounding neighbors. The project Superintendent will be the designated on site responsible party and will have full authority in any required action necessary to enforce compliance of this plan. This plan outlines general practices to be followed to reduce the noise impact caused by our construction activity.

1. Construction hour shall be 7:30 AM. to 4:00 PM. As outlined by the City of Los Altos.
2. All construction tools and equipment must be in good running order so that they operate at normal manufacturer's operation specifications, including at peak loading.
3. All construction equipment being operated on site must be equipped with the appropriate manufacturer's noise reduction devices(s) including but not limited to a muffler that is free of rust, holes, and exhaust leaks.
4. The project superintendent shall mitigate noise from construction devices with internal combustion engines by ensuring that the engine's housing doors are kept closed or as recommended by the manufacturer's guidelines for proper engine operation or exhaust.
5. Reduce Equipment noise by operating the device at lower engine speeds during the work to the maximum extent possible.
6. Vehicle and equipment engine idling on site shall be limited to 5 minutes when practical.
7. Whenever practical the smallest tool or equipment shall be used they tend to be quietest.
8. The positioning and operation of dump truck shall be reviewed to reduce the use of back up alarms.
9. Slamming of dump truck tailgates shall be avoided to the extent possible to prevent unreasonable noise.
10. At least 24 Hrs. prior to any jack-hammering activities, all occupants of adjacent properties will be notified.
11. All equipment shall be properly maintained and all moving part shall be well lubricated for proper operation and to avoid unnecessary noise from squeaking parts.
12. Steel Plates shall be installed on the street surface in a way that creates a smooth transition from pavement to the plate surface and to keep the plates firmly in place and reduce the noise as vehicles cross over it.
13. Wedges or other similar devices shall be used to prevent steel plates from rocking or shifting.
14. Asphalt cold-patch shall be applied when feasible around the edges of the steel plate's to minimize vehicle tire impact on the plates and to help keep the plates in place.

NOTES:

1. PROVIDE TEMPORARY CONSTRUCTION ENTRANCE, THE SITE SHALL HAVE A TEMPORARY CONSTRUCTION DRIVEWAY OF BASE ROCK, OR ALTERNATE MATERIAL APPROVED BY THE ENGINEERING DEPARTMENT, BEGINNING AT THE EDGE OF PAVEMENT AND EXTENDING TO A POINT ON-SITE TO REDUCE DUST AND MUD TRACKING. SIGNS, DELINEATORS, AND FLAG PERSONS SHALL BE AVAILABLE ON-SITE IF NECESSARY. IF AN EXISTING PAVED DRIVEWAY IS MAINTAINED DURING CONSTRUCTION, A TEMPORARY ACCESS WILL NOT BE REQUIRED. ENSURE SOIL AND DEBRIS DOES NOT ENTER THE CITY RIGHT OF WAY. PROVIDE STREET SWEEPING AS REQUIRED.
2. CONSTRUCTION TRAILER (ESTIMATED SIZE 8FT X 20FT) - FINAL LOCATION SHALL BE CONFIRMED BY CONTRACTOR AT THE TIME OF PLACEMENT.
3. SANITARY FACILITIES - THE TEMPORARY SANITARY FACILITIES SHALL BE PLACED OUT OF VIEWS OF ADJACENT NEIGHBORING PROPERTIES. THE FACILITIES SHALL BE ABLE TO BE ACCESSED FROM A PAVED OR ROCKED ROAD OR DRIVEWAY. THE SANITARY FACILITIES MAY NOT BE LOCATED IN THE PUBLIC RIGHT OF WAY.
4. PROVIDE TEMPORARY POWER SOURCE, COORDINATE WITH PG&E FOR FINAL LOCATION.
5. CONSTRUCTION MATERIALS STORAGE - AN AREA SHALL BE DESIGNATED ON-SITE FOR THE STORAGE OF CONSTRUCTION MATERIALS.
6. DEBRIS BOX - A DEBRIS BOX SHALL BE PLACED ON-SITE FOR COLLECTION OF CONSTRUCTION DEBRIS. ARRANGEMENTS MUST BE MADE WITH THE LOS ALTOS GARBAGE COMPANY FOR THE DEBRIS BOX, SINCE THEY HAVE A FRANCHISE WITH THE TOWN AND NO OTHER HAULER IS ALLOWED WITHIN THE TOWN LIMITS. THE DEBRIS BOX SHOULD BE ACCESSIBLE FROM A PAVED OR ROCKED ACCESS ROAD.
7. CLEAN-UP AREA - WHEN ON-SITE CLEANING OF EQUIPMENT IS REQUIRED FOR CEMENT FORMS AND TRUCKS, PAINT BRUSHES, PLASTERING TOOLS, AND SUCH, THEN A CLEAN-UP AREA MUST BE SPECIFIED AND POSTED WITH A SIGN. THIS AREA MUST NOT BE LOCATED BENEATH ANY TREE'S CANOPY OR IN ANY PROPOSED PLANTING AREA. RUN OFF FROM THE CLEAN-UP AREA CAN BE CONTAINED BY PROVIDING A TEMPORARY BASE OF WOOD CHIPS OR OTHER NATURAL ABSORBENT MATERIAL TO BE DISPOSED OFF SITE.

LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
BAY AREA REGION SACRAMENTO REGION
2495 INDUSTRIAL PKWY WEST # 300
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4088
(F) (510) 887-4010
WWW.LEABRAZE.COM

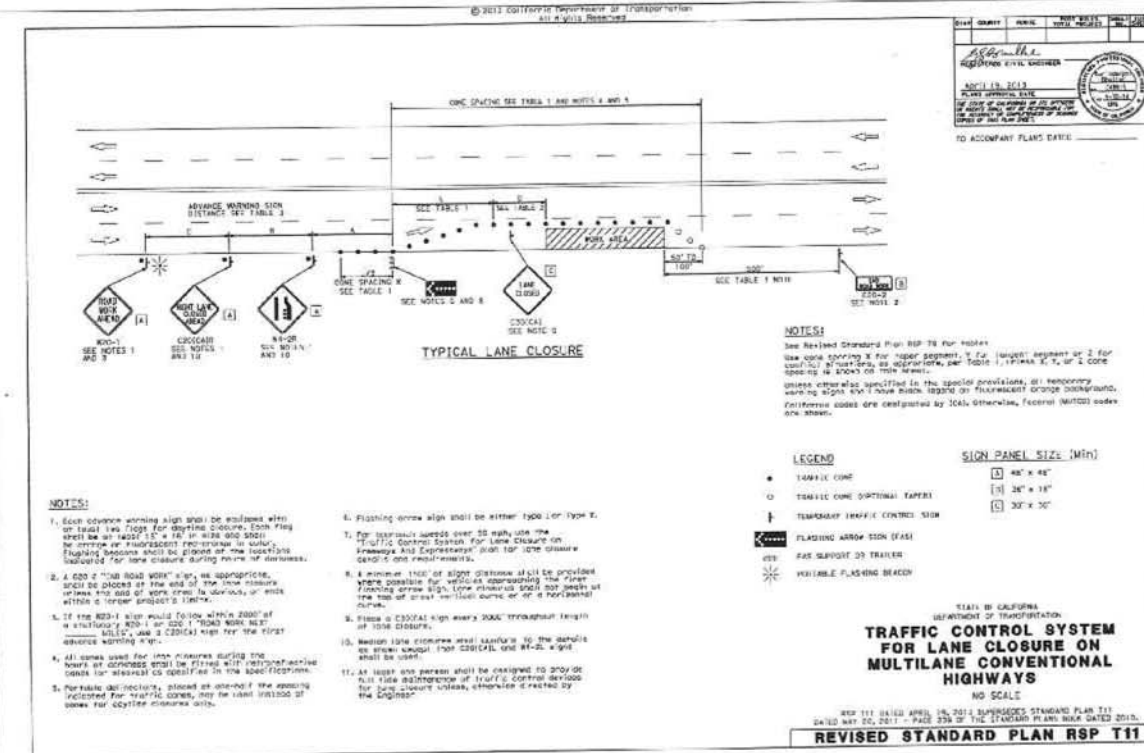
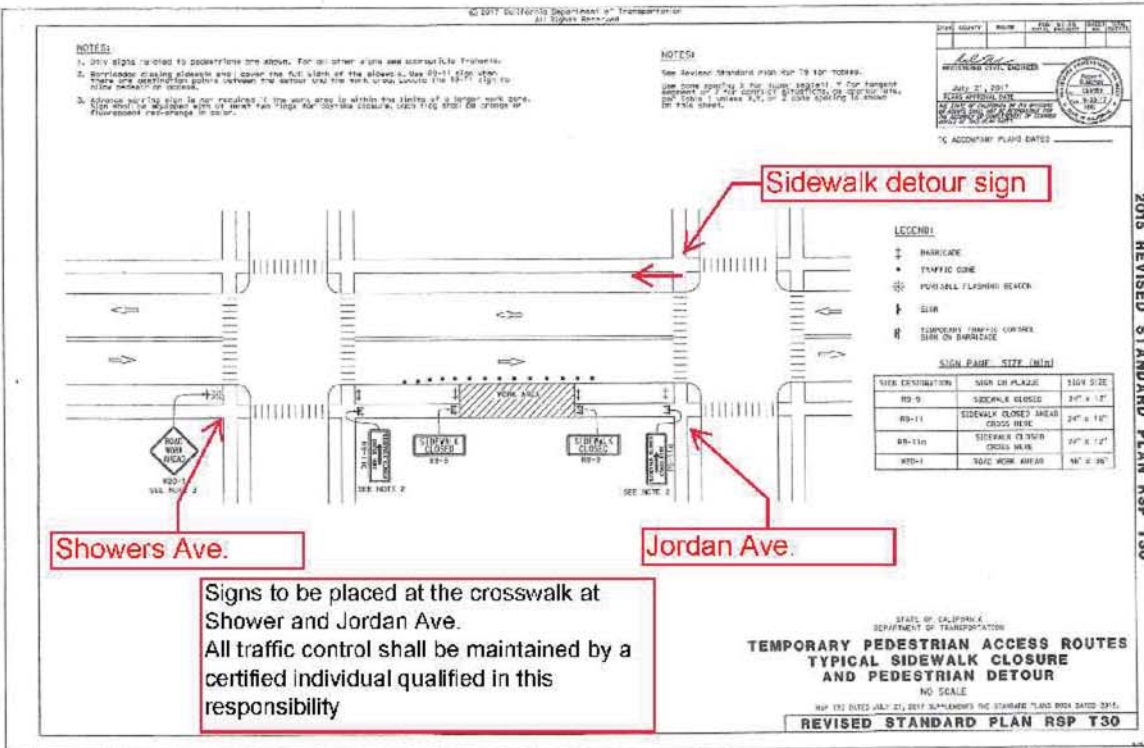
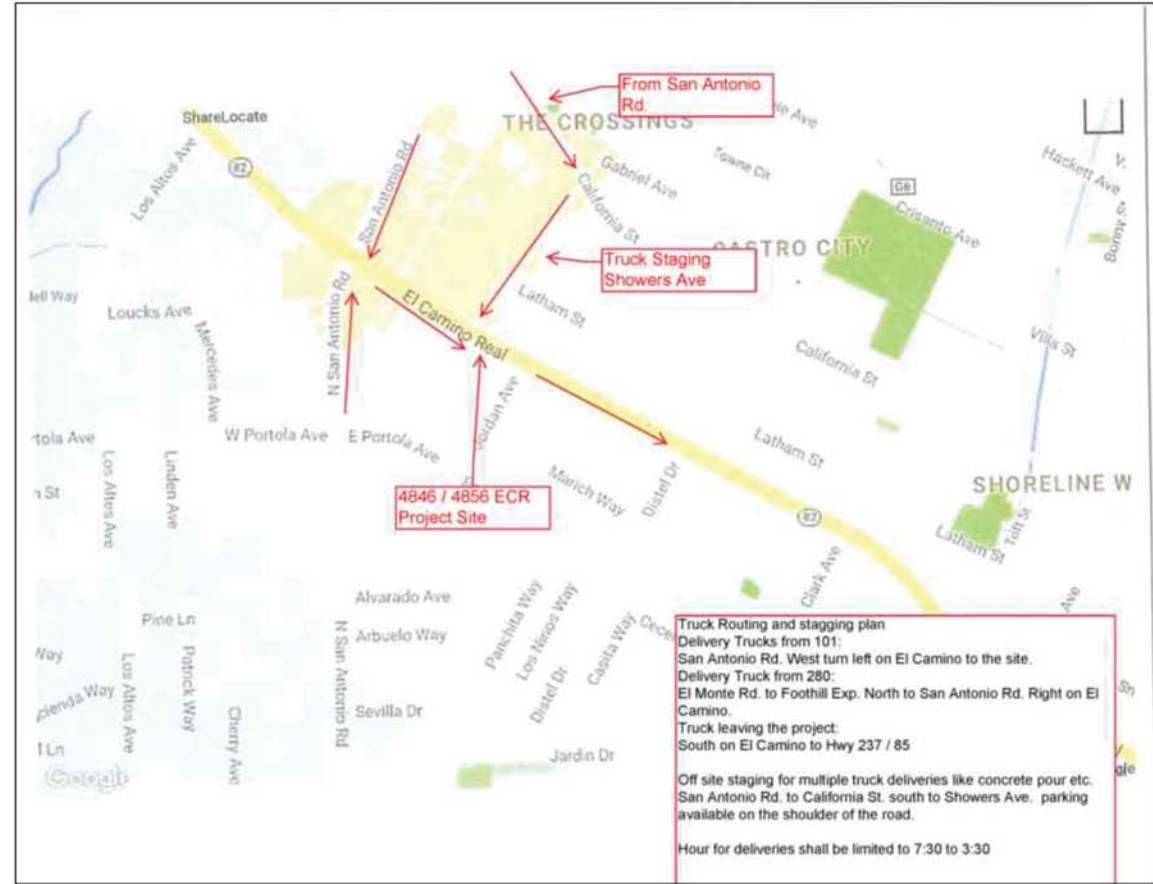
ALTAOS ONE
4846 & 4856 EL CAMINO REAL
LOS ALTOS, CALIFORNIA
SANTA CLARA COUNTY
APN: 170-02-(027 & 028)

PRELIMINARY
CONSTRUCTION
MANAGEMENT PLAN

REVISIONS	BY

JOB NO: 2160433
DATE: 03-05-18
SCALE: 1" = 30'
DESIGN BY: PC/CA
DRAWN BY: TB
SHEET NO:

CMP 1
02 OF 02 SHEETS



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS - LAND SURVEYORS
BAY AREA REGION
2445 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4088
(F) (510) 887-6999
WWW.LEAANDBRAZE.COM

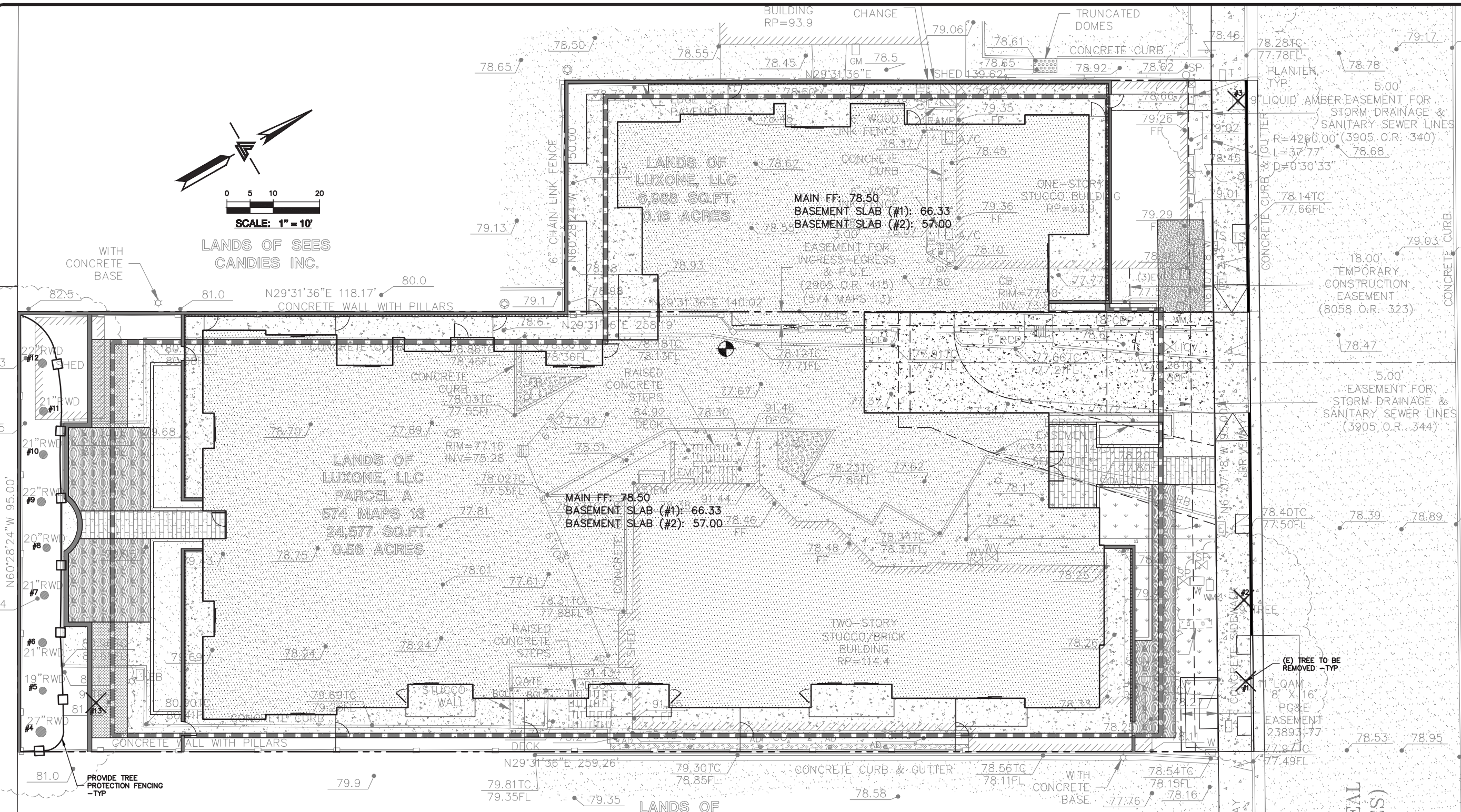
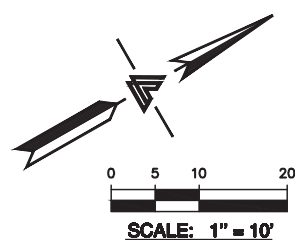
ALTOSONE
4846 & 4856 EL CAMINO REAL
LOS ALTOS, CALIFORNIA
APR: 17-02-(027 & 028)
SANTA CLARA COUNTY

**PRELIMINARY
CONSTRUCTION
MANAGEMENT PLAN**

REVISIONS	BY

JOB NO: 2160433
DATE: 03-05-18
SCALE: 1" = 30'
DESIGN BY: PC/CA
DRAWN BY: TB
SHEET NO:

CMP 2
02 OF 02 SHEETS



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 SACRAMENTO REGION
 2485 INDUSTRIAL PKWY WEST
 HAYWARD, CALIFORNIA 94545
 (916) 887-3006
 (916) 887-3008
 (916) 979-7393
 WWW.LEA-BRAZE.COM

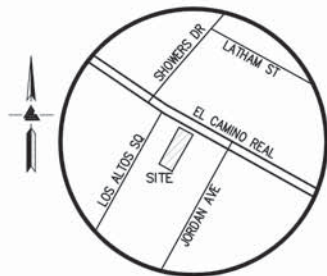
ALTOS ONE
 4846 & 4856 EL CAMINO REAL
 LOS ALTOS, CALIFORNIA
 SANTA CLARA COUNTY
 APN: 170-02-(027 & 029)

TREE NUMBER
 EXHIBIT

TREE INVENTORY	
SIZE/DESCRIPTION	STATUS
22" REDWOOD (#12)	TO REMAIN
21" REDWOOD (#11)	TO REMAIN
21" REDWOOD (#10)	TO REMAIN
22" REDWOOD (#9)	TO REMAIN
20" REDWOOD (#8)	TO REMAIN
21" REDWOOD (#7)	TO REMAIN
21" REDWOOD (#6)	TO REMAIN
19" REDWOOD (#5)	TO REMAIN
27" REDWOOD (#4)	TO REMAIN
9" AMBER (#3)	TO BE REMOVED
9" TREE (#2)	TO BE REMOVED
11" AMBER (#1)	TO BE REMOVED
9" TREE (#13)	TO BE REMOVED

REVISIONS	BY

JOB NO: 2160433
 DATE: 04-30-18
 SCALE: 1" = 10'
 DESIGN BY: PC/CA
 DRAWN BY: TB
 SHEET NO: EX-T



VICINITY MAP
NO SCALE

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

SITE BENCHMARK

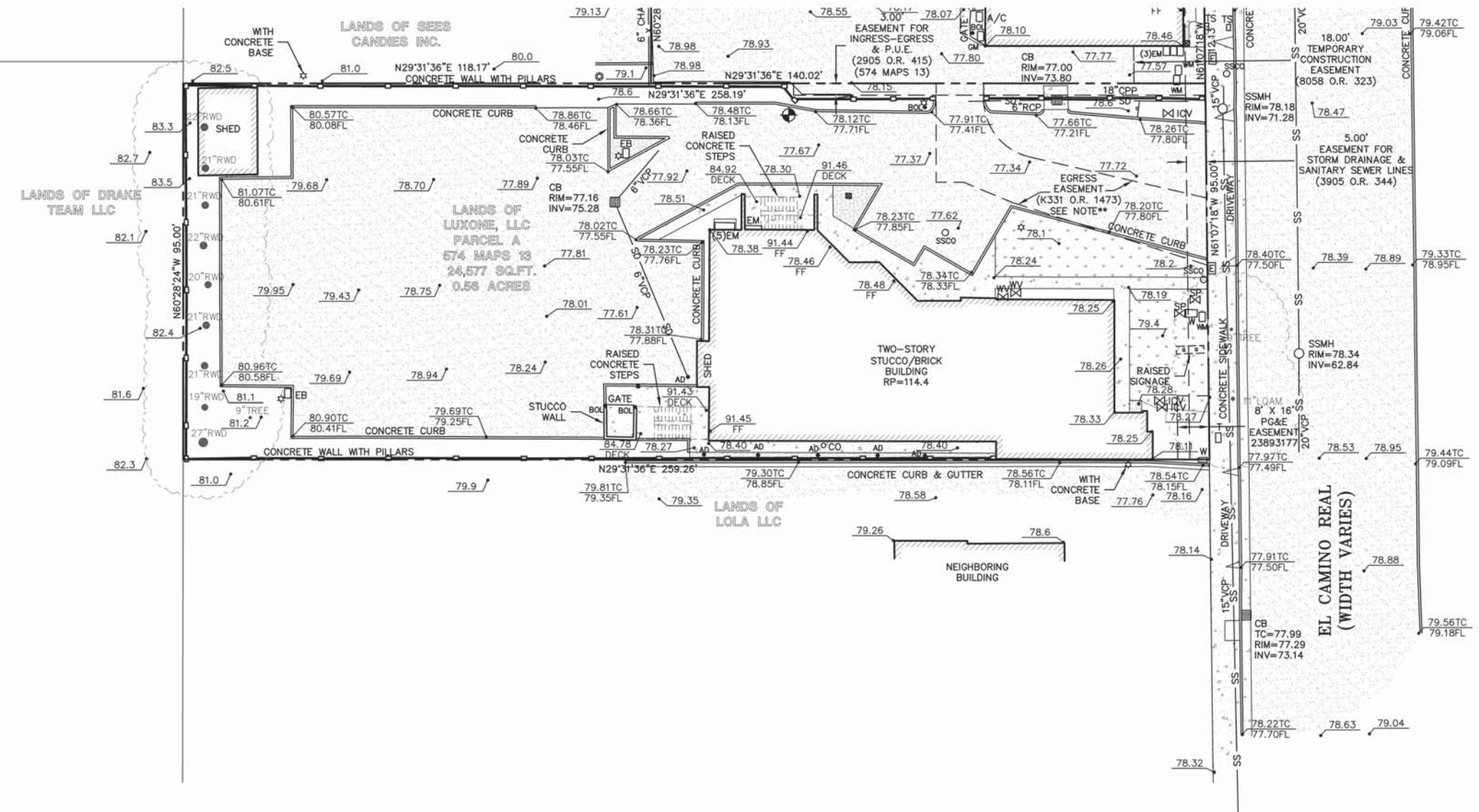
SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 77.80'
(NAVD 88)

EASEMENT NOTE

EASEMENTS SHOWN ARE PER TITLE REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY, ORDER NO. 4316-5620193, DATED JANUARY 18, 2018 AND EASEMENT DOCUMENT NO. 23893177. NOTE: EASEMENT DOCUMENT (K331 O.R. 1473)
ADJUSTS THE EASEMENT SHOWN ON PARCEL MAP (574 MAPS 13) AND DESCRIBED IN DOCUMENT (K157 O.R. 1249)

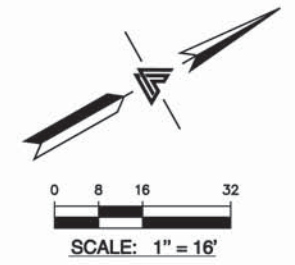
BENCHMARK

CITY OF MOUNTAIN VIEW BENCHMARK IV-25 BRONZE DISK STAMPED "IV-25" SET IN TOP OF CURB AT THE NORTH END OF THE NORTHWEST RETURN OF SHOWERS DR & EL CAMINO REAL ELEVATION = 76.789'
(NAVD 88 DATUM)



LEGEND AND NOTES

---	BOUNDARY LINE	□ EB	ELECTRICAL BOX	○ SSMH	SANITARY SEWER MANHOLE	□ w	WATER VAULT
- - -	EASEMENT	□ EM	ELECTRICAL METER	⊗ SP	SPRINKLER SYSTEM VALVE	xxx.xx	SPOTGRADE
x	FENCE LINE	□ E	ELECTRICAL VAULT	○ SP	STANDPIPE		ASPHALT
---	SANITARY SEWER LINE	FF	FINISH FLOOR	☆	STREET LIGHT		CONCRETE
---	STORM DRAIN LINE	⊗	FIRE HYDRANT	⊗	STREET LIGHT W/ CONCRETE BASE		GRAVEL
□ A/C	AIR CONDITIONING UNIT	FL	FLOW LINE	+	STREET SIGN		LAWN
*AD	AREA DRAIN	INV	INVERT	□ T	TELEPHONE BOX		PAVERS
⊕	BENCHMARK	⊗ I/CV	IRRIGATION CONTROL VALVE	TC	TOP OF CURB		
• BOL	BOLLARD	LQAM	LIQUID AMBER	□ TS	TRAFFIC SIGNAL BOX		
□ CB	CATCH BASIN	□ P	PILLAR, SIMILAR	VCP	VITRIFIED CLAY PIPE		
○ CO	CLEAN-OUT BOX	RWD	REDWOOD	□ WM	WATER METER		
CPP	CORRUGATED PLASTIC PIPE	RP	ROOF PEAK	⊗ WV	WATER VALVE		
		○ SSCO	SANITARY SEWER CLEAN-OUT				

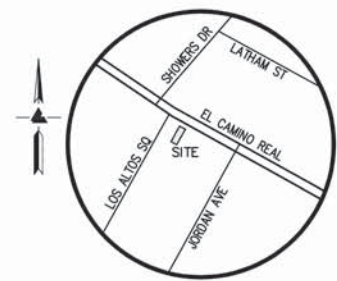


LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
BAY AREA REGION
2495 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086
(F) (510) 887-4019
WWW.LEA-BRAZE.COM

4856 EL CAMINO REAL
LOS ALTOS
CALIFORNIA

TOPOGRAPHIC
SURVEY

PG&E EASEMENT/ NEW TR 05-08-18	MT
TREE UPDATE 05-03-18	CA
REVISIONS	BY
JOB NO: 2160409	
DATE: 5-16-16	
SCALE: 1" = 16'	
FIELD BY: EH	
DRAWN BY: DB	
SHEET NO:	



VICINITY MAP
NO SCALE

NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

SITE BENCHMARK

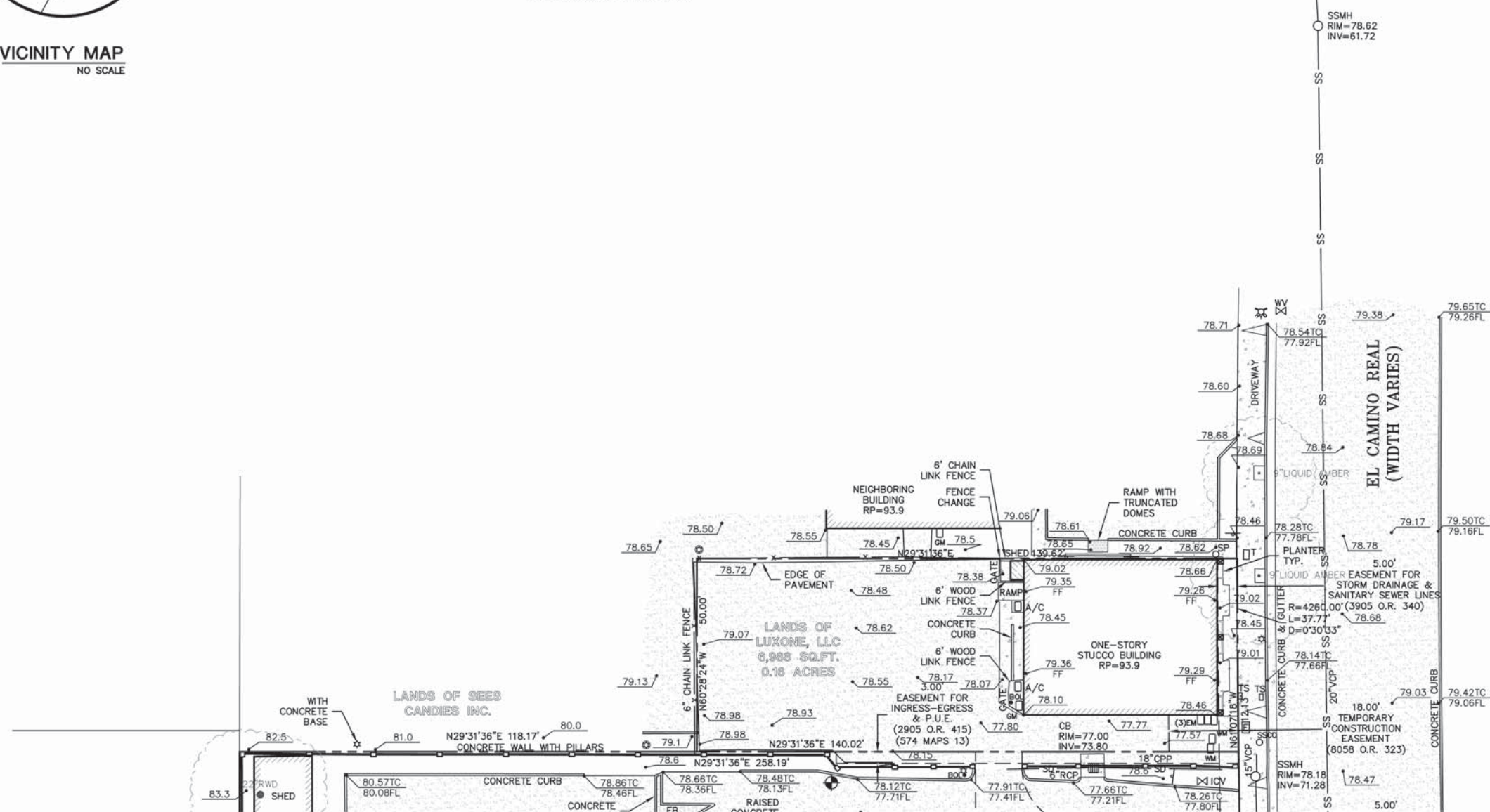
SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 77.80'
(NAVD 88)

EASEMENT NOTE

EASEMENTS SHOWN ARE PER TITLE REPORT PREPARED BY FIRST AMERICAN TITLE COMPANY, ORDER NO. 4316-5620193, DATED JANUARY 18, 2018 AND EASEMENT DOCUMENT NO. 23893177. NOTE: EASEMENT DOCUMENT (K331 O.R. 1473) ADJUSTS THE EASEMENT SHOWN ON PARCEL MAP (574 MAPS 13) AND DESCRIBED IN DOCUMENT (K157 O.R. 1249)

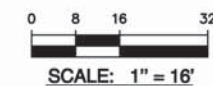
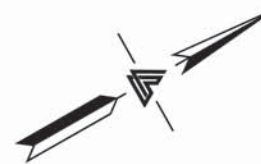
BENCHMARK

CITY OF MOUNTAIN VIEW BENCHMARK IV-25 BRONZE DISK STAMPED "IV-25" SET IN TOP OF CURB AT THE NORTH END OF THE NORTHWEST RETURN OF SHOWERS DR & EL CAMINO REAL ELEVATION = 76.789' (NAVD 88 DATUM)



LEGEND AND NOTES

---	BOUNDARY LINE	□ EB	ELECTRICAL BOX	○ SSMH	SANITARY SEWER MANHOLE	□ W	WATER VAULT
- - -	EASEMENT	□ EM	ELECTRICAL METER	⊠ SP	SPRINKLER SYSTEM VALVE	XXX.XX	SPOTGRADE
x	FENCE LINE	□ E	ELECTRICAL VAULT	○ SP	STANDPIPE		ASPHALT
SS	SANITARY SEWER LINE	FF	FINISH FLOOR	*	STREET LIGHT		CONCRETE
SD	STORM DRAIN LINE	FL	FIRE HYDRANT	⊙	STREET LIGHT W/ CONCRETE BASE		GRAVEL
□ A/C	AIR CONDITIONING UNIT	INV	FLOW LINE	⊠ T	STREET SIGN		LAWN
• AD	AREA DRAIN	ICV	INVERT	□ TS	TRAFFIC SIGNAL BOX		PAVERS
⊠ B	BENCHMARK	ICV	IRRIGATION CONTROL VALVE	□ TC	TRAFIC SIGNAL BOX		
• BOL	BOLLARD	LOAM	LIQUID AMBER	□ TS	TRAFFIC SIGNAL BOX		
▭ CB	CATCH BASIN	⊠	PILLAR, SIMILAR	□ TS	TRAFFIC SIGNAL BOX		
○ CO	CLEAN-OUT BOX	RP	REDWOOD	□ WM	WATER METER		
○ CPP	CORRUGATED PLASTIC PIPE	RP	ROOF PEAK	⊠ WV	WATER VALVE		
		○ SSCO	SANITARY SEWER CLEAN-OUT				



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
BAY AREA REGION
2495 INDUSTRIAL PKWY WEST
HAYWARD, CALIFORNIA 94545
(P) (510) 887-4086
(F) (510) 887-4019
WWW.LEA-BRAZE.COM

4846 EL CAMINO REAL
LOS ALTOS
CALIFORNIA

TOPOGRAPHIC
SURVEY

PG&E EASEMENT/ NEW TR 05-08-18	MT
TREE UPDATE 05-03-18	CA
REVISIONS	BY
JOB NO: 2160409	
DATE: 5-16-16	
SCALE: 1" = 16'	
FIELD BY: EH	
DRAWN BY: DB	
SHEET NO:	