



City of Los Altos

Objective Design Standards

City Council Adoption Hearing (continued) | August 24, 2021

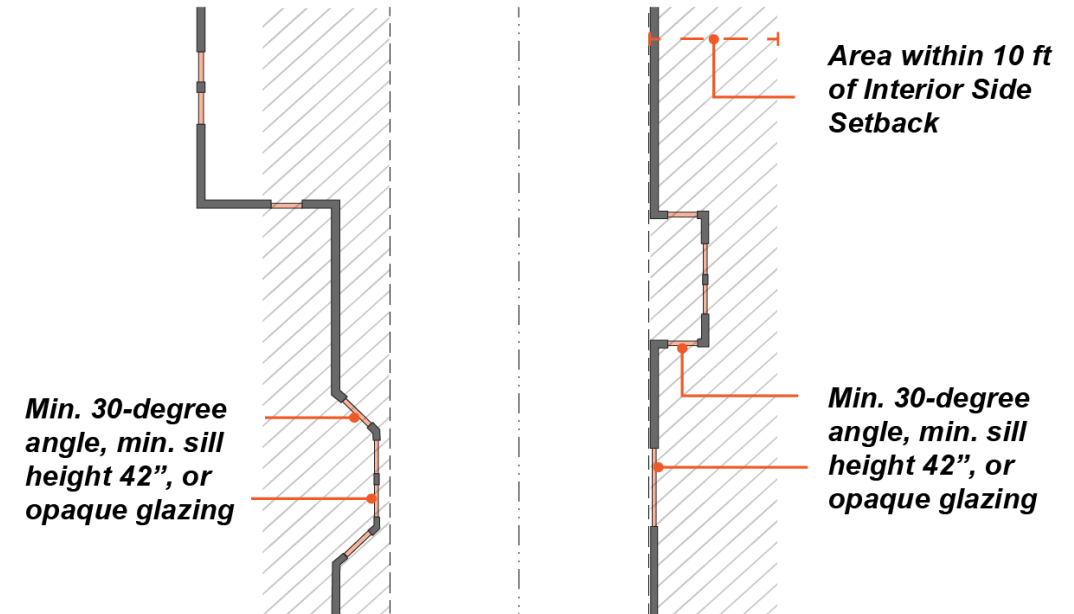


LWC

Key Revisions/ Discussion Topics

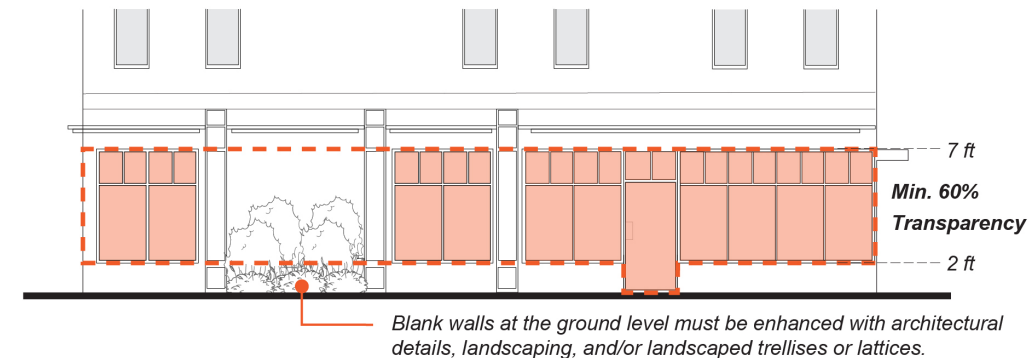
Privacy and Line of Sight

Zones	Standards	
CN	14.40.150.B.6	<ul style="list-style-type: none"> Primary living spaces and balconies located along a side setback shall orient principal windows and balconies toward the front and rear of the building.
CD	14.44.130.A.5	
CRS	14.48.130.A.5	<ul style="list-style-type: none"> Where windows are within 10 feet of and oriented toward an interior side setback, glazing shall either be a minimum 30-degree angle measured perpendicular to the adjacent side setback line, have minimum sill height of 42 inches, or be opaque.
CT	14.50.170.B.5	
CD/R3	14.52.110.A.5	
CRS/OAD	14.54.130.A.5	<ul style="list-style-type: none"> The maximum sill height for an ingress/egress window is 44 inches from finished floor.
R3-1	14.24.110.B.4	



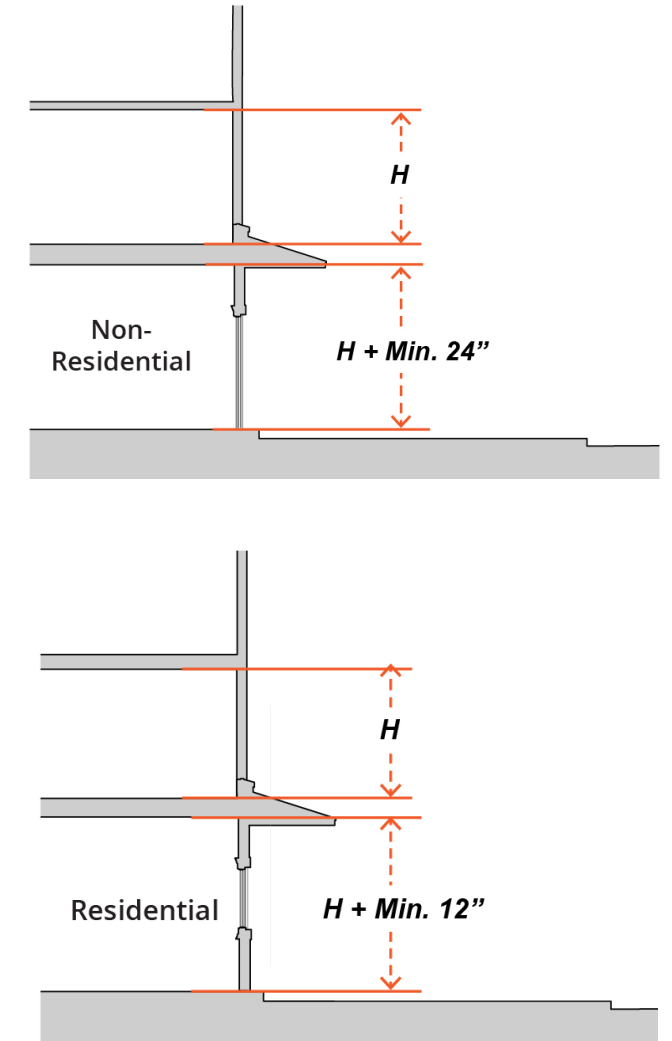
Blank Walls and Transparency

Zones	Standard	
CN	14.40.150.C.1.d	Non-glazed wall areas (blank walls) at the ground level must be enhanced with architectural details, landscaping, and/or landscaped trellises or lattices.
CD	14.44.130.B.1.a.iv	
CRS	14.48.130.B.1.a.iv	
CT	14.50.170.C.1.d	
CD/R3	14.52.110.B.1.a.iv	
CRS/OAD	14.54.130.B.1.a.iv	
R3-1	14.24.110.C.1.a.iv	
CD	14.44.130.B.2	A minimum 60 percent of commercial ground floor street-facing facades between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.
CRS	14.48.130.B.2	
CT	14.50.170.C.2	
CRS/OAD	14.54.130.B.2	



Relative Ground Floor Floor-to-Ceiling Height

Zones	Standards	
CN	14.40.150.C.3	
CD	14.44.130.B.4	
CRS	14.48.130.B.4	
CT	14.50.170.C.4	Minimum 24 inches taller than typical upper floor floor-to-ceiling height where ground floor is non-residential.
CD/R3	14.52.110.B.3	
CRS/OAD	14.54.130.B.4	Minimum 12 inches taller than typical upper floor floor-to-ceiling where ground floor is residential.
R3-4.5	14.16.100.B.4	
R3-5	14.18.120.B.4	
R3-3	14.20.120.B.A	
R3-1.8	14.22.110.B.4	
R3-1	14.24.110.C.7	



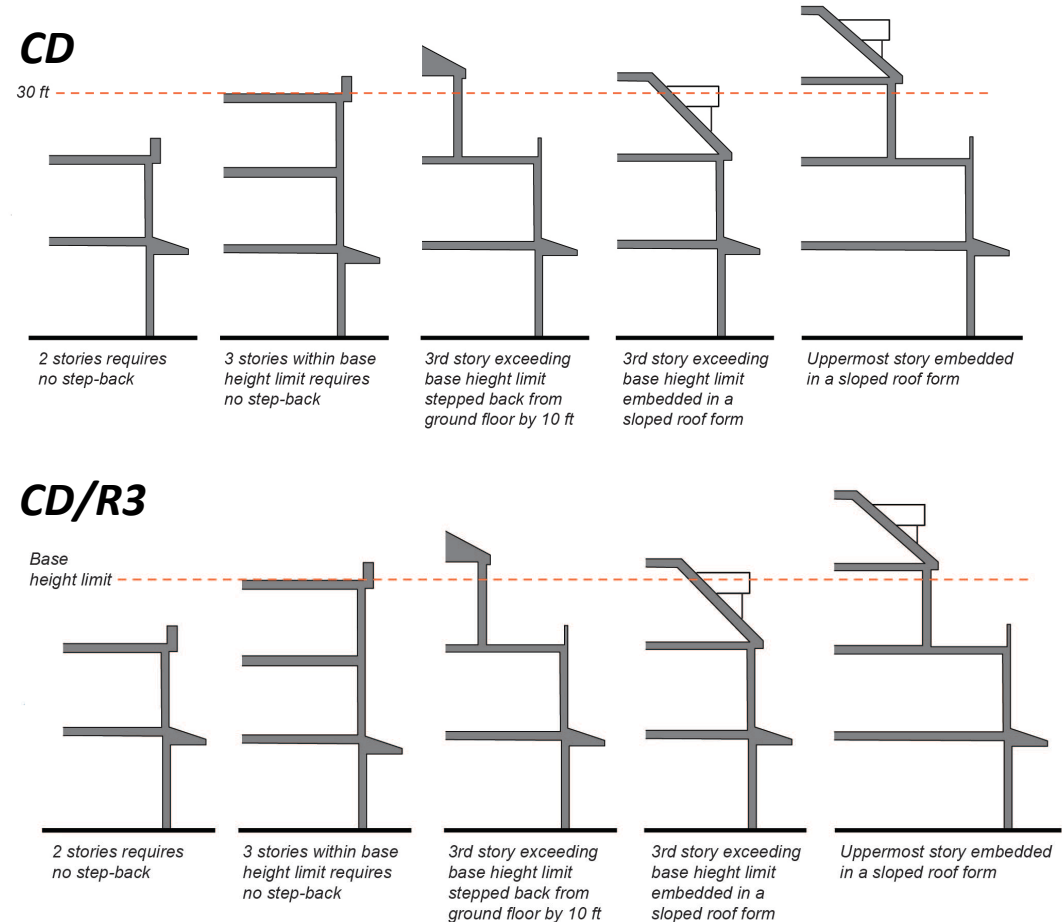
CT and CD/R3: Both graphics apply.

CN, CD, CRS, and CRS/OAD: Top graphic only applies (no ground floor residential permitted).

All R-3 Districts: Bottom graphic only applies (no ground floor non-residential permitted).

Upper-story Step-backs

Zones	Standards
CD	<p>14.44.130.A.1</p> <ul style="list-style-type: none"> • Front and street side above the base height limit (30 ft) must be stepped back 10 ft • 4th story and above, top story must be embedded in a sloped roof
CD/R3	<p>14.52.110.A.1</p> <ul style="list-style-type: none"> • Front and street side above the base height limit (30 ft for commercial or mixed-use and 35 ft for residential-only) must be stepped back 10 ft • 4th story and above, top story must be embedded in a sloped roof • Updated diagram dotted line to say “base height limit.”



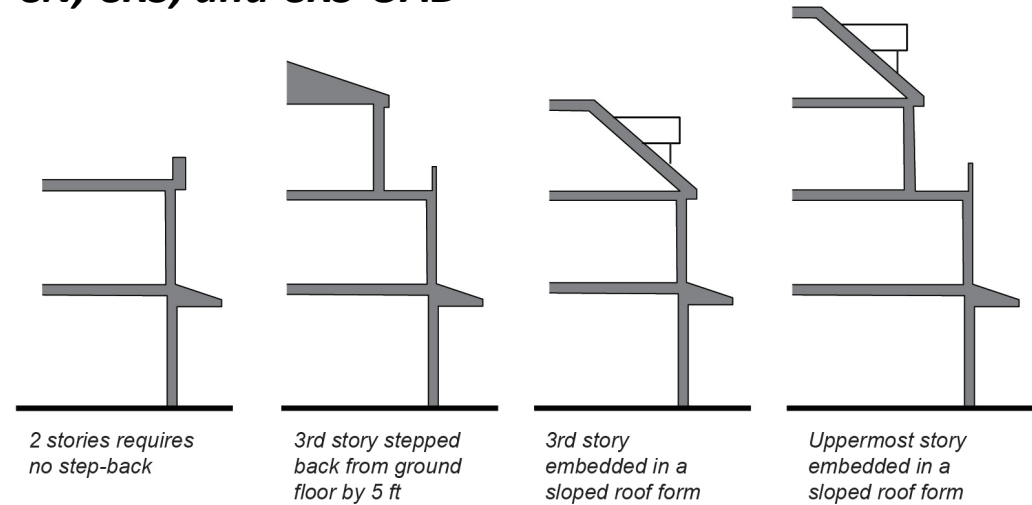
Standards and diagrams illustrate that:

- Per direction, 10-ft step-back is required beyond base height limit.
- When a 3rd story exceeds the base height limit, it must be stepped-back OR embedded in a sloped roof form.
- If a stepped-back uppermost story is included in a sloping roof form, the floor below must be stepped back as well.

Upper-story Step-backs

Zones	Standards	
CN	14.40.150.B.1	<ul style="list-style-type: none"> 3rd story stepped back 5 ft <u>or</u> embedded in a sloped roof form (applies all street-facing frontages except those along El Camino Real) 4th story and above, top story must be embedded in a sloped roof (does not apply to ECR)
CRS	14.48.130.A.1	<ul style="list-style-type: none"> 3rd story stepped back 5 ft <u>or</u> embedded in a sloped roof form
CRS/OAD	14.54.130.A.1	<ul style="list-style-type: none"> 4th story and above, top story must be embedded in a sloped roof
CT	14.50.170.B.1	Min. 10-ft step-back above base height limit (45 ft)

CN, CRS, and CRS-OAD



Standards and diagrams illustrate that:

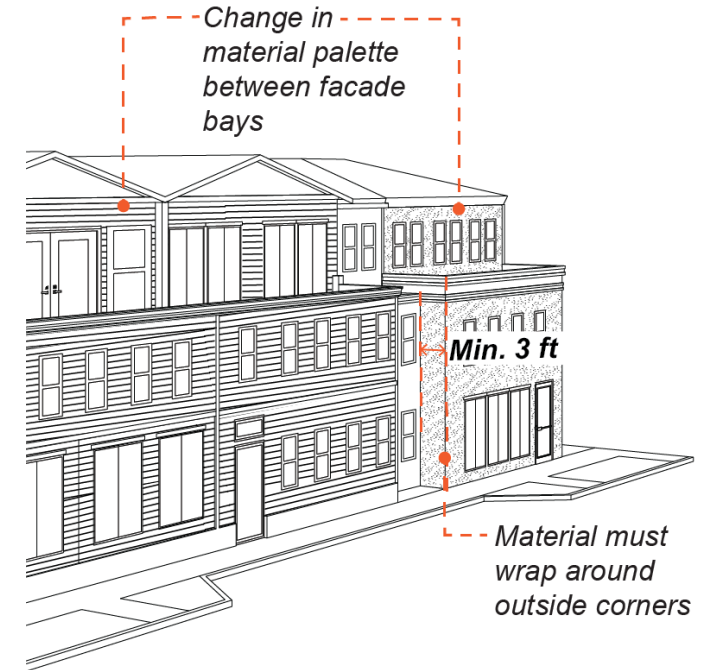
- 5-ft step-back is required for all 3rd stories, regardless of building height.
- If a stepped-back uppermost story is included in a sloping roof form, the floor below must be stepped back as well.

Site Circulation and Access

Zones	Standards	
CN	14.40.150.H	Standard requiring rear connectivity/access deleted.
CT	14.50.170.I	<ul style="list-style-type: none">• Rear pedestrian/bicycle access shall be provided from any abutting right-of-way or alley for projects on:<ul style="list-style-type: none">• Lots with a depth of 250 feet or greater; and• Lots where development abuts an R-1 district to the rear.

Architectural Integrity/Materials Palette

Zones	Standards	
All Zones	14.66.280.A.1	<p>Replaced the “Architectural Integrity” standards with the following:</p> <ul style="list-style-type: none"> Material palette on all floors above the ground floor, not including floors contained within a sloped roof form, must be consistent. Change in material may occur only at the inside corner of a change in wall plane. Material must wrap around outside corners
CD	14.44.130.B.1.b.iii	<p>“Change in architectural style” has been edited to “change in material palette.”</p>
CRS	14.48.130.B.1.b.iii	
CD/R3	14.52.110.B.1.b.iii	
CRS/OAD	14.54.130.B.1.b.iii	
R3-1	14.24.110.C.1.b.iii	





Thank you!

Additional slides for reference